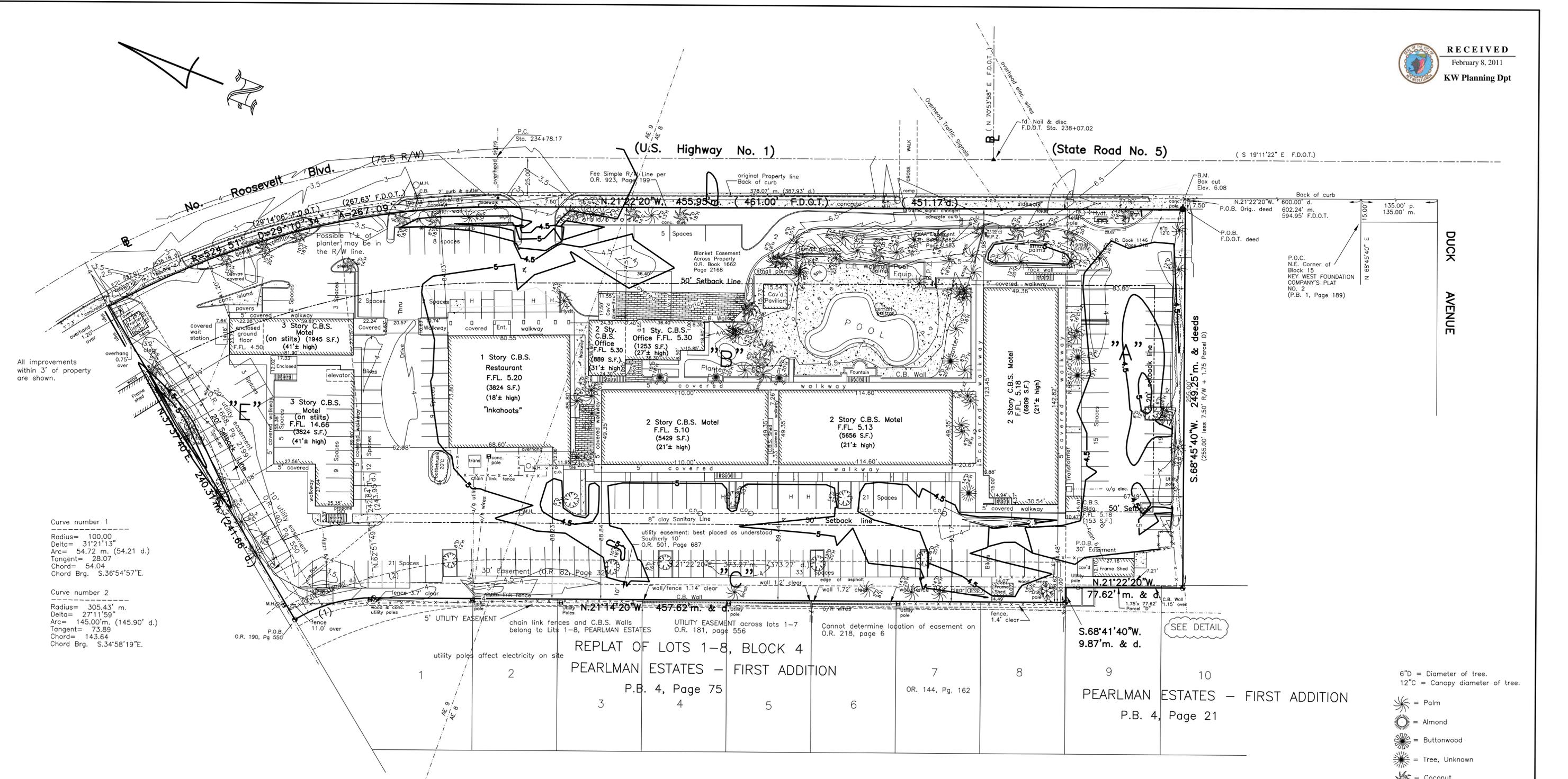


## **Site B: Survey and Site Plans**

1. Survey
2. Existing and Proposed Site Plans
3. Elevations and Floor Plans
4. Civil Plans
5. Landscape Plans
6. Waste Handling Plan
7. Scooter Parking Plan
8. Life Safety Plan



Curve number 1  
Radius= 100.00  
Delta= 31°21'13"  
Arc= 54.72 m. (54.21 d.)  
Tangent= 28.07  
Chord= 54.04  
Chord Brg. S.36°54'57"E.

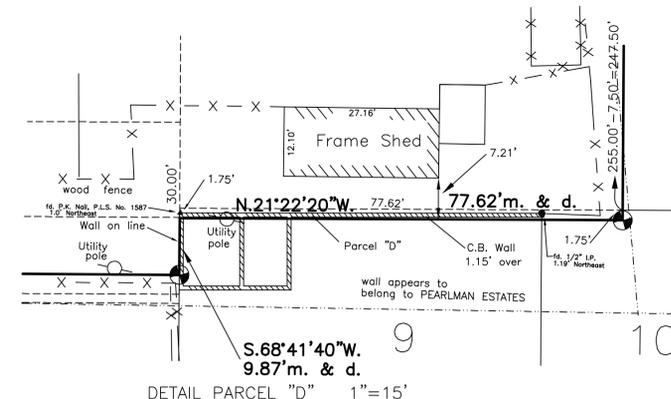
Curve number 2  
Radius= 305.43' m.  
Delta= 27°11'59"  
Arc= 145.00' m. (145.90' d.)  
Tangent= 73.89  
Chord= 143.64  
Chord Brg. S.34°58'19"E.

REPLAT OF LOTS 1-8, BLOCK 4  
PEARLMAN ESTATES - FIRST ADDITION  
P.B. 4, Page 75

PEARLMAN ESTATES - FIRST ADDITION  
P.B. 4, Page 21

6"D = Diameter of tree.  
12"C = Canopy diameter of tree.

- = Palm
- = Almond
- = Buttonwood
- = Tree, Unknown
- = Coconut
- = Pine
- = Gumbo Limbo
- = Umbrella
- = Ficus
- = Papaya
- = Rubber
- = Hong Kong Tulip
- = Seagrape



12/12/12: Updated, owner, trees, misc.  
2/10/09: Updated, office, misc.  
1/12/05: minor changes on legal, survey  
1/10/05: minor changes on legal, survey

|  |                        |                     |  |
|--|------------------------|---------------------|--|
| JL WOOD, LTD - Lexington Inn<br>3850 North Roosevelt Blvd. (Quality Inn), Key West, FL |                        | Dwn No.:<br>12-374B |  |
| BOUNDARY SURVEY  |                        | Ref. File: 139-61   |  |
| Scale: 1"=30'  | Flood panel No. 1509 K | Dwn. By: F.H.H.     |  |
| Date: 1/17/99  | Flood Zone: AE         | Flood Elev: g-9'    |  |
| REVISIONS AND/OR ADDITIONS   |                        |                     |  |
| 1/22/99: typos, details  |                        |                     |  |
| 10/24/99: Certification  |                        |                     |  |
| 2/25/05: added pool, other details, certification                                      |                        |                     |  |
| c:\drawings\key west\quality inn   |                        |                     |  |

ISLAND SURVEYING INC.  
ENGINEERS PLANNERS SURVEYORS

3152 Northside Drive  
Suite 201  
Key West, FL 33040

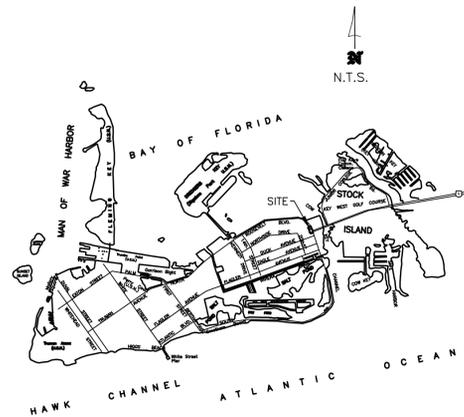
(305) 293-0466  
Fax: (305) 293-0237  
info@islandsouth.net  
L.B. No. 7700



RECEIVED

February 8, 2011

KW Planning Dpt



LOCATION MAP

City of Key West & Stock Island

SURVEYOR'S CERTIFICATE

This Certificate and the attached survey are made for the benefit of Baker & Hostetler LLP; JRC Key West Hotel LLC, an Illinois limited liability company; SH6, Inc., a Florida corporation; AVA Key West LLC, an Illinois limited liability company; JL Key West LLC, an Illinois limited liability company; RFA Key West LLC, an Illinois limited liability company; Bank of America, N.A.; Chicago Title Insurance Company and Riemer & Braunstein, LLP. I hereby certify

- 1. That the survey was made on the ground and is correct.
2. That the survey shows a complete legal description of the land and any easements appurtenant to the land necessary for access or utilities and an indication of the total acreage or square foot area of the land.
3. That the survey shows the location of the perimeter of the subject property by courses and distances and all lines described by reference to the line of another piece of property.
4. That all field measurements on the survey are balanced, both as to angles and distances, so as to provide a mathematical closure.
5. That the survey shows the location of all easements and rights-of-way, including all easements and rights-of-way shown as exceptions on Chicago Title Insurance Company Commitment for Number 10 0114 107 0000037 dated January 16, 2009, and Chicago Title Insurance Company Commitment for Title Insurance Number 630900076 with an effective date of January 22, 2009.
6. That the survey shows established building lines and setback, height and bulk restrictions of record or disclosed by applicable zoning or building codes.
7. That the survey shows all dedicated public streets, easements or rights-of-way providing access to the land, and whether such access is paved to the property line of the land and that the width of all of the foregoing are indicated.

8. That the survey shows lines of streets abutting the subject property and the width thereof, and that ingress and egress to the subject property is provided by North Roosevelt Blvd., (U.S. Highway 1) (State Road No. 5), the same being a dedicated public right-of-way maintained by the Island of Key West, and the State of Florida.

9. That the survey shows encroachments and the extent thereof in feet and inches (if practicable) upon the subject property, including, but without limitation, over, under or across buildings, easements and encroachments either way across the boundary lines of the subject property (or if any improvements located upon the land encroach upon other lands).

10. That the survey shows the exterior dimensions of all buildings at ground level and the square footage of the exterior footprint of all buildings, or gross floor area of all buildings at ground level and the height of all buildings above grade at a defined location, if applicable.

11. That the survey shows all substantial, visible improvements (in addition to buildings) such as signs, parking areas or structures, swimming pools, tennis courts, etc.

12. That the survey shows the relation of the improvements by distances to the perimeter of the subject property, the established building lines and the street lines.

13. That the survey shows all parking areas and, if striped, the striping and the type (e.g. handicapped, motorcycle, regular, etc) and number of parking spaces, if applicable.

14. That the survey shows the location of all easements necessary to bring utilities to the Property, together with the location of all utilities (i.e., sewer, water, electric, telephone and gas service) serving or existing on the property as evidenced by on-site observation or as determined by records provided by client, utility companies and other appropriate sources (with reference as to the source of information) (for example): (a) railroad tracks and sidings; (b) manholes, catch basins, valve vaults or other surface indications of subterranean uses; (c) wires and cables (including their function) crossing the surveyed premises, all poles on or within ten feet of the surveyed premises, and the dimensions of all crosswires or overhangs affecting the surveyed premises; and (d) utility company installations on the surveyed premises.

15. That the survey shows the location of all matters affecting the land, including fences, pipelines and streams.

16. That the survey shows all observable evidence of earth moving work, building construction or building additions within recent months.

17. That the survey shows all observable evidence of site use as a solid waste dump, sump or sanitary landfill.

18. That if the subject property is described as being on a field map or plat, a legend relating the survey to said map or plat is on the survey.

19. That the survey shows any coastal body of water or navigable waterway within 150 feet of the subject property, if applicable.

20. That the survey shows all applicable coastal construction lines, bulkhead lines, mean high water marks and erosion control lines must be shown on the survey or a statement contained therein that same do not lie within the boundary of the subject property.

21. That the subject property does not serve any adjoining property for drainage, ingress or egress or any other purpose, except as shown on the survey.

22. That the subject property is within special flood hazard area 120168, Panel 1509 K, AE, Elevation 8 & 9, dated 2/18/05 as shown in the most recent Flood Hazard Boundary Maps prepared by the Department of Housing and Urban Development.

23. That the Subject Property is zoned General Commercial under zoning codes of the Island of Key West.

24. That the survey shows any significant observations not otherwise disclosed.

25. That the survey represented hereon meets the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA, ACSM and NSPS in 1997, and pursuant to the Accuracy Standards (as adopted by ALTA and ACSM and in effect on the date of this certification) of an Urban Survey. This instrument is not valid unless it bears an original signature and an embossed surveyor's seal.

26. That the following parcels are contiguous as noted: The Westerly side of parcel A abuts the Easterly side of parcel D, the Northerly side of parcel A abuts the Southerly side of parcel B, the Southerly side of parcel C abuts the Northerly side of parcels A and D, the Southerly side of parcel E abuts the Northerly side of parcel B, the Easterly side of parcel C abuts the Westerly side of parcels E and B.

PARCEL A
A PARCEL OF LAND ON THE ISLAND OF KEY WEST, MONROE COUNTY, FLORIDA, AND BEING DESCRIBED AS FOLLOWS:

COMMENCE at the Northeast corner of Block 15 of the KEY WEST FOUNDATION COMPANY'S PLAT NO. 2, as recorded in Plat Book 1, at Page 189, of the Public Records of Monroe County, Florida, and run thence N 68°45'40"E for a distance of 15 feet to the Westerly curb line of Roosevelt Boulevard; thence run N 21°22'20" W along the said Westerly curb line of Roosevelt Boulevard for a distance of 600 feet to the POINT OF BEGINNING of the parcel of land being described herein; thence run S 68°45'40" W for a distance of 255 feet; thence run N 21°22'20" W for a distance of 77.62 feet to a point on the dividing line between Parcel 1 and Parcel 22 as shown on an unrecorded map compiled by Bailey-Crawshaw; thence run N 68°41'40" E along the dividing line between the said Parcels 1 and 22 for a distance of 255 feet to a point being the Southeast corner of the said Parcel 1 and the Northeast corner of the said Parcel 22 and said point also being on the Westerly right of way (curb line) of the said Roosevelt Boulevard; thence run S 21°22'20" E along the Westerly right of way (curb line) of the said Roosevelt Boulevard for a distance of 77.90 feet back to the POINT OF BEGINNING; Less and Except right of way for North Roosevelt Boulevard (U.S. Highway No. 1) as set forth in recorded in Official Records Book 762, Page 1561, and Order of Taking recorded in Official Records Book 923, Page 199, Public Records of Monroe County, Florida.

AND
PARCEL B:
A PARCEL OF LAND ON THE ISLAND OF KEY WEST, MONROE COUNTY, FLORIDA, AND BEING DESCRIBED AS FOLLOWS:

COMMENCE at the Northeast corner of Block 15 of the KEY WEST FOUNDATION COMPANY'S PLAT NO. 2, as recorded in Plat Book 1, at Page 189, of the Public Records of Monroe County, Florida, and run thence N 68°45'40" E for a distance of 15 feet to the Westerly curb line of Roosevelt Boulevard; thence run N 21°22'20" W along the said Westerly curb line of Roosevelt Boulevard for a distance of 677.90 feet to the POINT OF BEGINNING of the parcel of land being described herein, said POINT OF BEGINNING also known as the Southeast corner of Parcel 1 and the Northeast corner of Parcel 22 as shown on an unrecorded map compiled by Bailey-Crawshaw; thence run S 68°41'40", W along the dividing line between the said Parcels 1 and 22 for a distance of 240 feet; thence run N 21°22'20", W for a distance of 373.27 feet to the beginning of a curve, concave to the Southwest and having a radius of 305.43 feet; thence run Northwesterly along said curve for an arc distance of 85.90 feet; thence run N 62°51'49" E for a distance of 243.95 feet; more or less, to the Westerly right of way (curb line) of the said Roosevelt Boulevard; run thence Southeasterly along the curved Westerly right of way (curb line) of the said Roosevelt Boulevard, said curve being concave to the Southwest and having a radius of 536.16 feet, for an arc distance of 95.50 feet; thence run S 21°22'20" E along the Westerly right of way (curb line) of the said Roosevelt Boulevard for a distance of 387.93 feet back to the POINT OF BEGINNING; Less and Except right of way for North Roosevelt Boulevard (U.S. Highway No. 1) as set forth in recorded in Official Records Book 762, Page 1561, and Order of Taking recorded in Official Records Book 923, Page 199, Public Records of Monroe County, Florida.

AND

PARCEL C:

A PARCEL OF LAND ON THE ISLAND OF KEY WEST, MONROE COUNTY, FLORIDA, AND BEING DESCRIBED AS FOLLOWS:

COMMENCE at the Northeast corner of Block 15 of the KEY WEST FOUNDATION COMPANY'S PLAT NO. 2, as recorded in Plat Book 1, at Page 189, of the Public Records of Monroe County, Florida, and run thence N 68° 45'40", E for a distance of 15 feet to the Westerly curb line of Roosevelt Boulevard; thence run N 21°22'20" W along the said Westerly curb line of Roosevelt Boulevard for a distance of 677.90 feet to a point known as the Southeast corner of Parcel 1 and the Northeast corner of Parcel 22 as shown on an unrecorded map compiled by Bailey-Crawshaw; thence run S 68°41'40", W along the dividing line between the said Parcels 1 and 22 for a distance of 240 feet to the POINT OF BEGINNING of the parcel of land being described herein, thence continue S 68°41'40"W for a distance of 28.62 feet, thence run N 21°14'20" W for a distance of 457.62 feet to the beginning of a curve, concave to the Southwest and having a radius of 100 feet; thence run Northwesterly along the said curve for an arc distance of 54.21 feet; thence run N 37°37' 40" E for a distance of 6.69 feet, thence run Southeasterly along a curve concave to the Southwest and having a radius of 305.43 feet for an arc distance of 145.90 feet; thence run S 21°22'20" E for a distance of 373.27 feet back to the POINT OF BEGINNING.

AND

PARCEL D:

A PARCEL OF LAND ON THE ISLAND OF KEY WEST, MONROE COUNTY, FLORIDA, AND BEING DESCRIBED AS FOLLOWS:

COMMENCE at the Northeast corner of Block 15 of the KEY WEST FOUNDATION COMPANY'S PLAT NO. 2, as recorded in Plat Book 1, at Page 189, of the Public Records of Monroe County, Florida, and run thence N 68° 45'40", E for a distance of 15 feet to the Westerly curb line of Roosevelt Boulevard; thence run N 21°22'20" W along the said Westerly curb line of Roosevelt Boulevard for a distance of 600 feet, thence run S 68°45'40", W for a distance of 255 feet to the POINT OF BEGINNING of the parcel of land being described herein; thence run N 21°22'20" W for a distance of 77.62 feet; thence run S 68°41'40", W for a distance of 1.75 feet; thence run S 21°22'20" E for a distance of 77.62 feet; thence run N 68°45'40", E for a distance of 1.75 feet back to the POINT OF BEGINNING.

Said lands situate, lying and being in Monroe County, Florida.

LEGAL DESCRIPTION: PARCEL "E"
A parcel of land on the Island of Key West, Monroe County, Florida, and being described as follows:
Commence at the Northeast corner of Block 15, of the KEY WEST FOUNDATION COMPANY'S PLAT NO. 2, as recorded in Plat Book 1, at Page 189, of the Public Records of Monroe County, Florida, and run thence N 68°45'40" E for a distance of 15 feet to the Westerly curb line of Roosevelt Boulevard; thence run N 21°22'20" W along the said Westerly curb line of Roosevelt Boulevard for a distance of 1065.83 feet to the beginning of a curve concave to the Southwest and having a radius of 536.16 feet; thence run Northwesterly along said curve and Westerly right-of-way (curb line) of said Roosevelt Boulevard for an arc distance of 95.50 feet to the POINT OF BEGINNING of the parcel of land being described herein; thence run S 62°51'49" W for a distance of 243.95 feet to a point on a curve concave to the Southwest and having a radius of 305.43 feet; thence run Northwesterly along the said curve for an arc distance of 60 feet; thence run N 37°37'40" E for a distance of 241.66 feet, more or less, to the Westerly right-of-way (curb line) of said Roosevelt Boulevard; thence run Southeasterly along the curved Westerly right-of-way (curb line) of said Roosevelt Boulevard, said curve being concave to the Southwest and having a radius of 536.16 feet, for an arc distance of 165 feet back to the POINT OF BEGINNING; Less and Except right of way for North Roosevelt Boulevard (U.S. Highway No. 1) as set forth in recorded in Official Records Book 762, Page 1561, and Order of Taking recorded in Official Records Book 923, Page 199, Public Records of Monroe County, Florida, containing 0.63 acres, more or less.

SURVEYOR'S NOTES:

North arrow based on plat
Reference Bearing: R/W No. Roosevelt Blvd. per deeds
denotes existing elevation 5,1440
Elevations based on N.G.V.D. 1929 Datum
Bench Mark No.: NOS 1982 Elevation

Monumentation:

- Iron Pipe, P.L.S. No. 2749
Found 1/2" Iron Bar
Set P.K. Nail, P.L.S. No. 2749
Found P.K. Nail

Abbreviations:

- Sty. = Story
R/W = Right-of-Way
fd. = Found
p. = Plat
m. = Measured
d. = Deed
M.H.W. = Mean High Water
O.R. = Official Records
Sec. = Section
Twp. = Township
Rge. = Range
N.T.S. = Not to Scale
C. = Centerline
Elev. = Elevation
B.M. = Bench Mark
P.C. = Point of Curvature
P.T. = Point of Tangency
P.O.C. = Point of Commence
P.O.B. = Point of Beginning
P.B. = Plat Book
pg. = page
Elec. = Electric
Tel. = Telephone
Ench. = Encroachment
O.L. = On Line
C.L.F. = Chain Link Fence
o/h = Overhead
u/g = Underground
F.F.L. = Finish Floor Elevation
L.B. = Low Beam
Rad. = Radial
Irr. = Irregular
conc. = concrete
I.P. = Iron Pipe
I.B. = Iron Bar
B. = Baseline
C.B.S. = Concrete Block Stucco
cov'd. = Covered
P.I. = Point of Intersection
wd. = Wood
R. = Radius
A. = Arc (Length)
D. = Delta, (Central angle)
w.m. = Water Meter
Bal. = Balcony
Pl. = Planter
Hyd. = Fire Hydrant
F.W. = Fire Well
A/C = Air Conditioner

Field Work performed on: 12/15/98 - 1/16/99, 2/10/09 12/7/12

- Concrete Utility Pole
Wood utility Pole
Wood Utility Pole with Guy wire
F.W. = Fire Well
M.W. = Monitoring Well
Water Meter
Water Valve
Electric Manhole
Electric Utility Vault
Man Hole
Sanitary
Storm Water Catch Basin
Invert
Backflow Prevention Valve
Polyvinyl Pipe
Reinforced Concrete pipe
Fire Hydrant
Light
sign

F.D.O.T. = Florida Department of Transportation

ADDITIONAL NOTES:

Zoning 'CG' General Commercial
FIRM: 120168, Panel 1509 K
Zone, AE, Elevation 8 and 9
2/18/05

Setbacks:
Front & Rear . . . 50'
Sides . . . . . 20'
(setbacks shown per new Property Lines however, all structures were built with the old property lines, which extended an additional 7.5' onto U.S. No. 1)

Area: 166,895 S.F.
3.83± Acres
148 Rooms

Parking: 227 Spaces
10 Handicapped Spaces
2 Bicycle Spaces

CERTIFICATION:

I HEREBY CERTIFY that the attached BOUNDARY SURVEY is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 5J-17, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT
Professional Land Surveyor & Mapper No. 2749
Professional Engineer No. 36810
State of Florida

DATED:

Frederick H. Hildebrandt
Registered Land Surveyor No. 2749
State of Florida

- 12/12/12: Updated, owner, trees, misc
2/10/09: Updated, office, misc.
1/12/05: minor changes on legal, survey
1/10/05: minor changes on legal, survey

- 1/22/99: typos, details
10/24/99: Certification
2/25/05: edited pool, other details, certification
c:\drawings\key west\quality.inn

JL WOOD, LTD - Lexington Inn
3850 North Roosevelt Blvd. (Quality Inn), Key West, FL

BOUNDARY SURVEY
Scale: 1"=30'
Date: 1/17/99
Ref. file: 139-61
Flood panel No.: 120168 K
Flood Zone: AE
Flood Elev.: 8'-9"

REVISONS AND/OR ADDITIONS
Dwn No.: 12-3748
Dwn. By: F.H.H.
Flood Elev.: 8'-9"

ISLAND SURVEYING, INC.
ENGINEERS PLANNERS SURVEYORS
3152 Northside Drive Suite 201 Key West, FL 33040
(305) 293-0466
Fax: (305) 293-0237
fhilde1@delstate.net
L.B. No. 7700



# COOPER CARRY

ATLANTA WASHINGTON NEW YORK NEWPORT BEACH

191 Peachtree Street NE  
Suite 2400  
Atlanta, GA 30303-1770  
(404) 237-2000

www.coopercarry.com  
FL STATE LICENSE # AA26000496  
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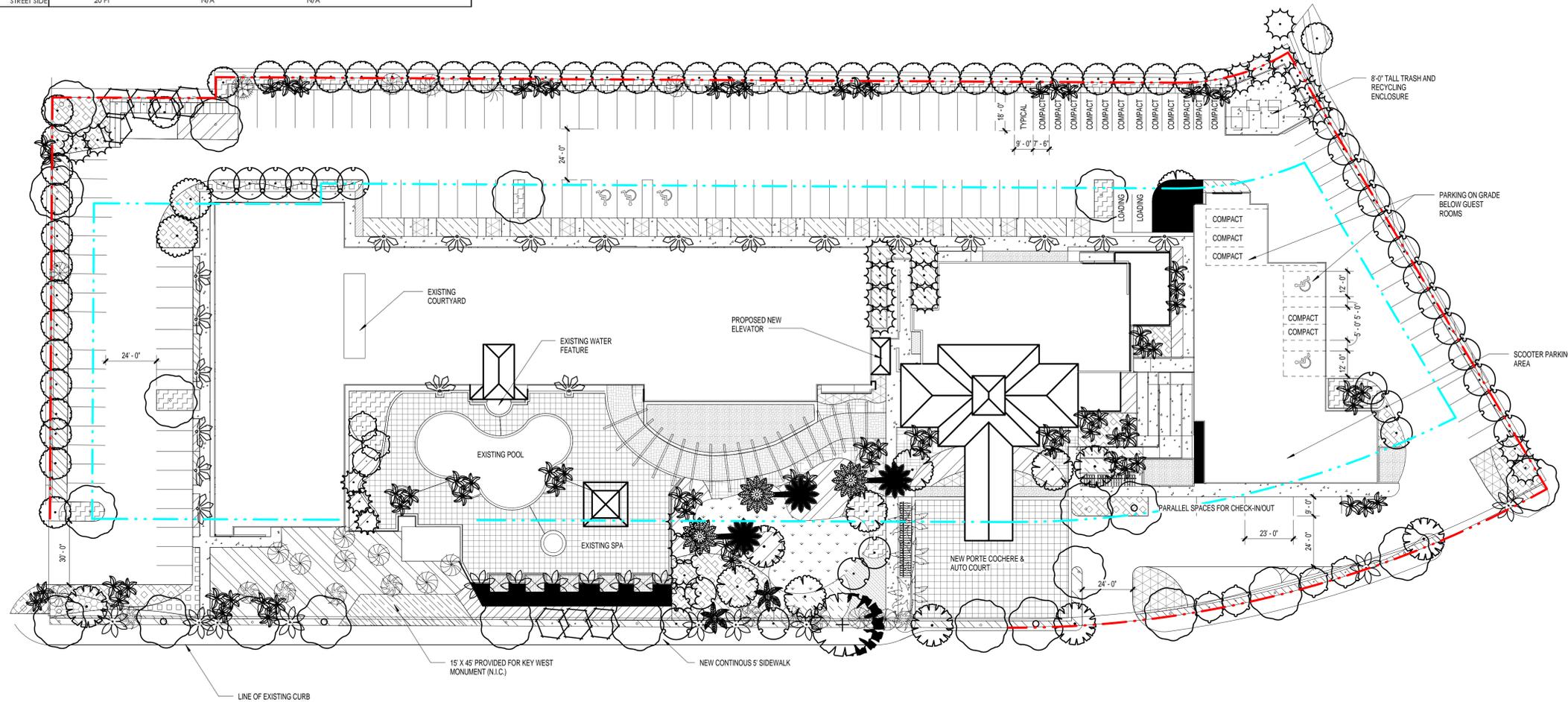
### SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

| ISSUANCES |                           |      |
|-----------|---------------------------|------|
| No.       | Drawing Issue Description | Date |
|           |                           |      |

## SITE B

| CHARACTERISTIC  | REQUIRED                                     | EXISTING                    | PROPOSED                    | REMARKS   |
|---|--|-----------------------------|-----------------------------|---|
| CG - GENERAL COMMERCIAL, BOULEVARD SAFETY/APPEARANCE ZONE |  |                             |                             |   |
| SITE SIZE   | MIN LOT SIZE 15,000 SF                       | 166,895 SF                  | 166,895 SF                  |   |
| LEGAL DESCRIPTION   | ON SURVEY                                    |                             |                             |   |
| FLOOD ELEVATION   | ZONES AE 8' & 9'; DFE = 10'-1" NGVD          |                             |                             | DFE AT NEW PUBLIC BUILDING ONLY, ALL OTHER F.E. TO REMAIN                               |
| BUILDING SIZE   | MAX 133,516 SF PER F.A.R.                    | 93,697 SF                   | 95,531 SF                   | INCLUDES ALL BUILDINGS ON SITE  |
| BUILDING HEIGHT   | MAX 40'-0"                                   | 37'-5"                      | 37'-5"                      | MEASUREMENTS FROM CROWN OF ROAD   |
| FLOOR AREA RATIO  | MAX 0.8                                      | 0.494                       | 0.526                       | INCLUDES BALCONIES PER CODE   |
| BUILDING COVERAGE   | MAX 40%                                      | 44,575 / 166,895 = 26.71%   | 44,660 / 166,895 = 26.76%   | INCLUDES BALCONIES AND CANOPIES PER CODE  |
| IMPERVIOUS SURFACE  | MAX 60%                                      | 137,944 / 166,895 = 82.68%  | 126,443 / 166,895 = 75.76%  |   |
| PERVIOUS SURFACE  |  | 28,951 / 166,895 = 17.34%   | 40,452 / 166,895 = 24.24%   |   |
| LANDSCAPE AREA  | 166,895 X 20% = 33,379 SF                    | 25,189 SF                   | 34,062 SF                   |   |
| PARKING SPACES  | 144  | 186                         | 148                         | PROSP. INCLUDES (S) HD/CP AND (U) COMPACT; NOT INCLUDES (S) LOADING AND (AL) RECREATION |
| BIKE PARKING SPACES                                       | 35% HOTEL SPACES                             | 0                           | 52                          |   |
| LOCATION OF STRUCTURES                                    | TO BE SHOWN ON SURVEY AND TECHNICAL DRAWINGS |                             |                             |   |
| # AND TYPE OF UNITS                                       |  | 148                         | 141                         | ALL ARE TRANSIENT LODGING   |
| LAND USE  | MAX 16 DU/ACRE                               | 148 / 3.8314 = 38.6 DU/ACRE | 141 / 3.8314 = 36.8 DU/ACRE |   |
| CONSUMPTION SPACE   |  | 3,790 SF                    | 1,361 SF                    | EXISTING = RESTAURANT; NEW = BREAKFAST AREA FOR HOTEL                                   |
| SETBACKS  | PULLED FROM SURVEY                           |                             |                             |   |
| FRONT   | 50 FT  | 41.20 FT                    | 41.20 FT                    |   |
| REAR  | 50 FT  | 7.21 FT                     | 50.52 FT                    |   |
| SIDE  | 20 FT  | 40.38 FT                    | 40.38 FT                    |   |
| STREET SIDE   | 20 FT  | N/A                         | N/A                         |   |



## KEY WEST HOTEL COLLECTION HILTON GARDEN INN (SITE B)

3850 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.

### DRC SITE PLAN

|                     |             |
|---------------------|-------------|
| BOB NEAL            | 20120295    |
| Principal-in-Charge | Project No. |
| MANNY DOMINGUEZ     | 02/26/13    |
| Design Director     | Date        |
| ANDRES RUBIO        |             |
| Project Manager     |             |
| T. JACK BAGBY       |             |
| Project Architect   |             |

# DRC-1

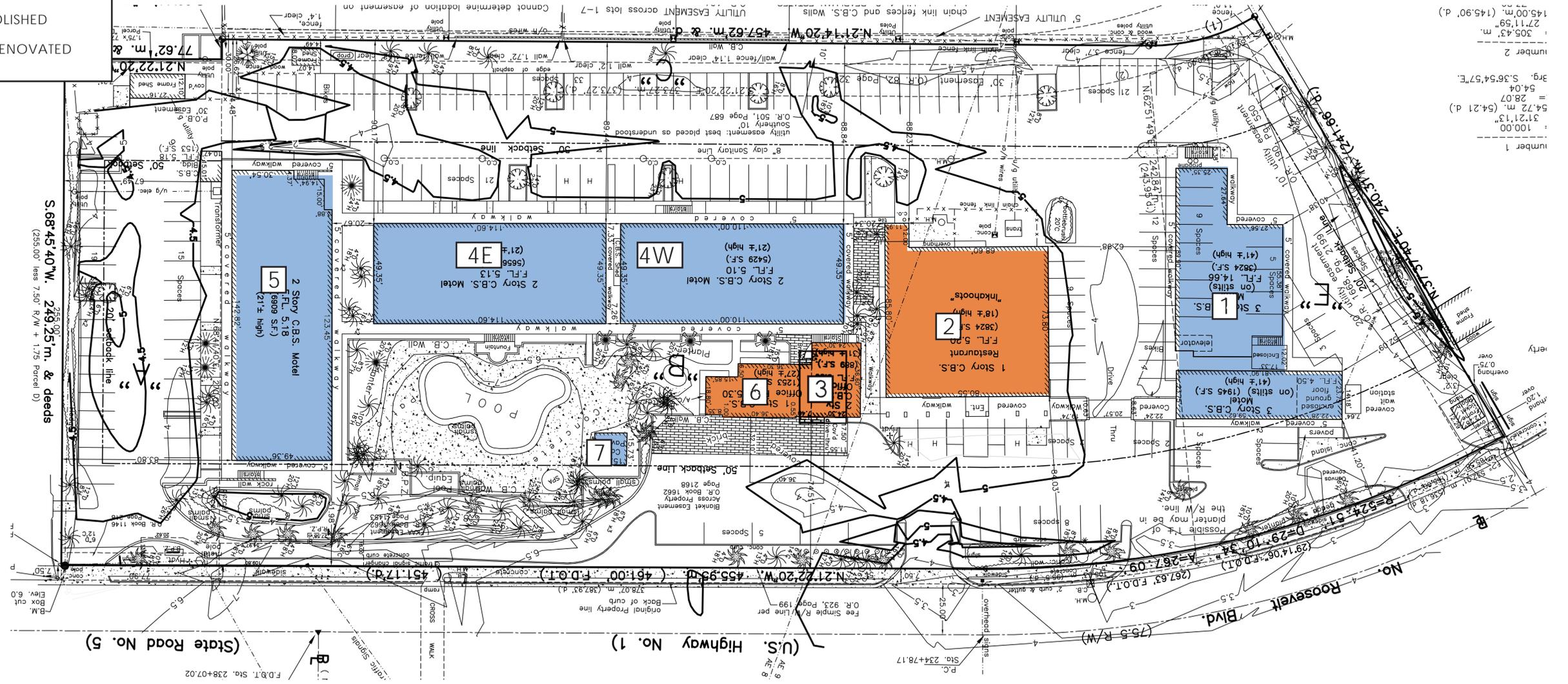
NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION HILTON GARDEN INN (SITE B)  
SHEET NUMBER: DRC-1 - DRC SITE PLAN  
M:\2012\20120295\07 drawings\07-1 rev\users\20120295\_2011\_site\_b-hgl\_mcdanielj.rvt  
3/20/2013 3:21:47 PM

1 DRC-1  
SCALE: 1" = 30'-0"

LEGEND

- EXISTING BUILDING TO REMAIN
- EXISTING BUILDING TO DEMOLISH
- NEW BUILDING
- 1 EXISTING GUEST ROOM TOWER TO BE RENOVATED
- 2 EXISTING RESTAURANT BUILDING TO BE DEMOLISHED
- 3 EXISTING LOBBY BUILDING TO BE DEMOLISHED
- 4W EXISTING GUEST ROOM BUILDING TO BE RENOVATED
- 4E EXISTING GUEST ROOM BUILDING TO BE RENOVATED
- 5 EXISTING GUEST ROOM BUILDING TO BE RENOVATED
- 6 EXISTING LOBBY BUILDING TO BE DEMOLISHED
- 7 EXISTING POOL-SIDE BUILDING TO BE RENOVATED



number 1 : 100.00  
 = 54.72 m. (54.21 d.)  
 = 28.07  
 54.04  
 3rg. S.365457'E.  
 number 2 : 305.43 m.  
 271.159 m.  
 145.00 m. (145.90° d.)

PROJECT N<sup>o</sup> 20120295.00 | REVISION N<sup>o</sup> 000 | DATE 02 27 2013

Notes

SITE B EXISTING SITE PLAN

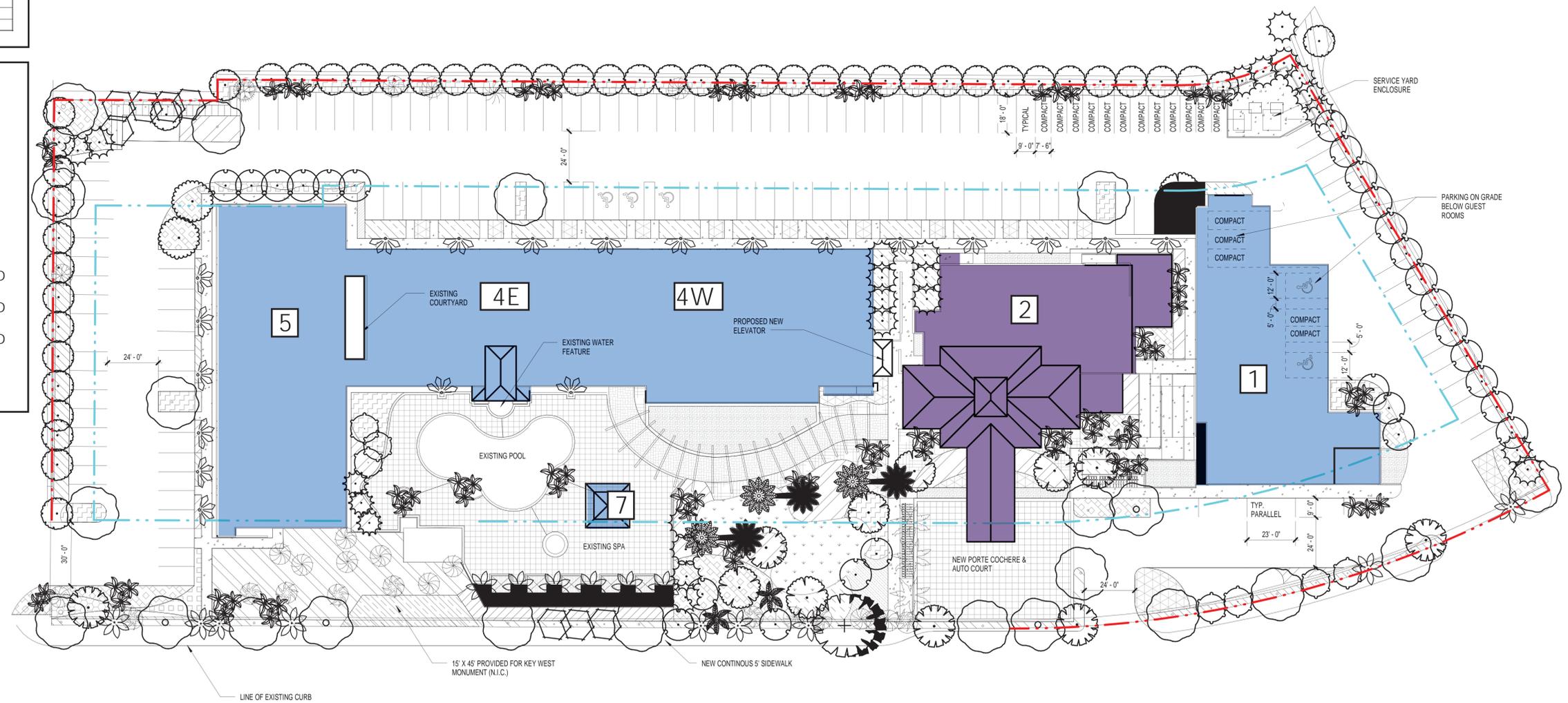


KEY WEST DEVELOPMENT PACKAGE  
 Key West, Florida 33040



| SITE B                 |   |                             |                             |  |
|------------------------|---|-----------------------------|-----------------------------|--|
| CHARACTERISTIC         | REQUIRED  | EXISTING                    | PROPOSED                    | REMARKS  |
| ZONING                 | CG - GENERAL COMMERCIAL, BOULEVARD SAFETY/APPEARANCE ZONE |                             |                             |  |
| SITE SIZE              | MIN LOT SIZE 15,000 SF                                    | 166,895 SF                  | 166,895 SF                  |  |
| LEGAL DESCRIPTION      | ON SURVEY   |                             |                             |  |
| FLOOD ELEVATION        | ZONES AE 8' & 9'; DFE = 10'-1" NGVD                       |                             |                             |  |
| BUILDING SIZE          | MAX 133,516 SF PER F.A.R.                                 | 93,697 SF                   | 95,531 SF                   | DFE AT NEW PUBLIC BUILDING ONLY, ALL OTHER FTE TO REMAIN |
| BUILDING HEIGHT        | MAX 40'-0"  | 37'-5"                      | 34'-1"                      | INCLUDES ALL BUILDINGS ON SITE                           |
| FLOOR AREA RATIO       | MAX 0.8   | 0.494                       | 0.526                       | MEASUREMENTS FROM CROWN OF ROAD                          |
| BUILDING COVERAGE      | MAX 40%   | 44,575 / 166,895 = 26.71%   | 44,660 / 166,895 = 26.76%   | INCLUDES BALCONIES PER CODE                              |
| IMPERVIOUS SURFACE     | MAX 60%   | 137,944 / 166,895 = 82.68%  | 126,443 / 166,895 = 75.76%  | INCLUDES BALCONIES AND CANOPIES PER CODE                 |
| PERVIOUS SURFACE       |   | 28,951 / 166,895 = 17.34%   | 40,452 / 166,895 = 24.24%   |  |
| LANDSCAPE AREA         | 166,895 X 20% = 33,379 SF                                 | 25,189 SF                   | 34,062 SF                   |  |
| PARKING SPACES         | 148   | 186                         | 148                         | PROP. INCLUDES (S) HOCP                                  |
| BIKE PARKING SPACES    | 35% HOTEL SPACES  | 0                           | 52                          |  |
| LOCATION OF STRUCTURES | TO BE SHOWN ON SURVEY AND TECHNICAL DRAWINGS              |                             |                             |  |
| # AND TYPE OF UNITS    | 148   | 141                         | 141                         | ALL ARE TRANSIENT LODGING                                |
| LAND USE               | MAX 16 DU/ACRE  | 148 / 3.8314 = 38.6 DU/ACRE | 141 / 3.8314 = 36.8 DU/ACRE |  |
| CONSUMPTION SPACE      | 3,790 SF  | 1,361 SF                    |                             | EXISTING - RESTAURANT; NEW - BREAKFAST AREA FOR HOTEL    |
| SETBACKS               | PULLED FROM SURVEY  |                             |                             |  |
| FRONT                  | 50 FT   | 41.20 FT                    | 41.20 FT                    |  |
| REAR                   | 50 FT   | 7.21 FT                     | 50.52 FT                    |  |
| SIDE                   | 20 FT   | 40.38 FT                    | 40.38 FT                    |  |
| STREET SIDE            | 20 FT   | N/A                         | N/A                         |  |

| LEGEND |  |
|--------|--|
|        | EXISTING BUILDING TO REMAIN                  |
|        | EXISTING BUILDING TO DEMOLISH                |
|        | NEW BUILDING                                 |
| 1      | EXISTING GUEST ROOM TOWER TO BE RENOVATED    |
| 2      | NEW LOBBY AND REGISTRATION BUILDING          |
| 4W     | EXISTING GUEST ROOM BUILDING TO BE RENOVATED |
| 4E     | EXISTING GUEST ROOM BUILDING TO BE RENOVATED |
| 5      | EXISTING GUEST ROOM BUILDING TO BE RENOVATED |
| 7      | EXISTING POOL-SIDE BUILDING TO BE RENOVATED  |



PROJECT N<sup>o</sup> 20120295.00 | REVISION N<sup>o</sup> 000 | DATE 02 27 2013

Notes

SITE B ARCHITECTURAL SITE PLAN



KEY WEST DEVELOPMENT PACKAGE  
Key West, Florida 33040



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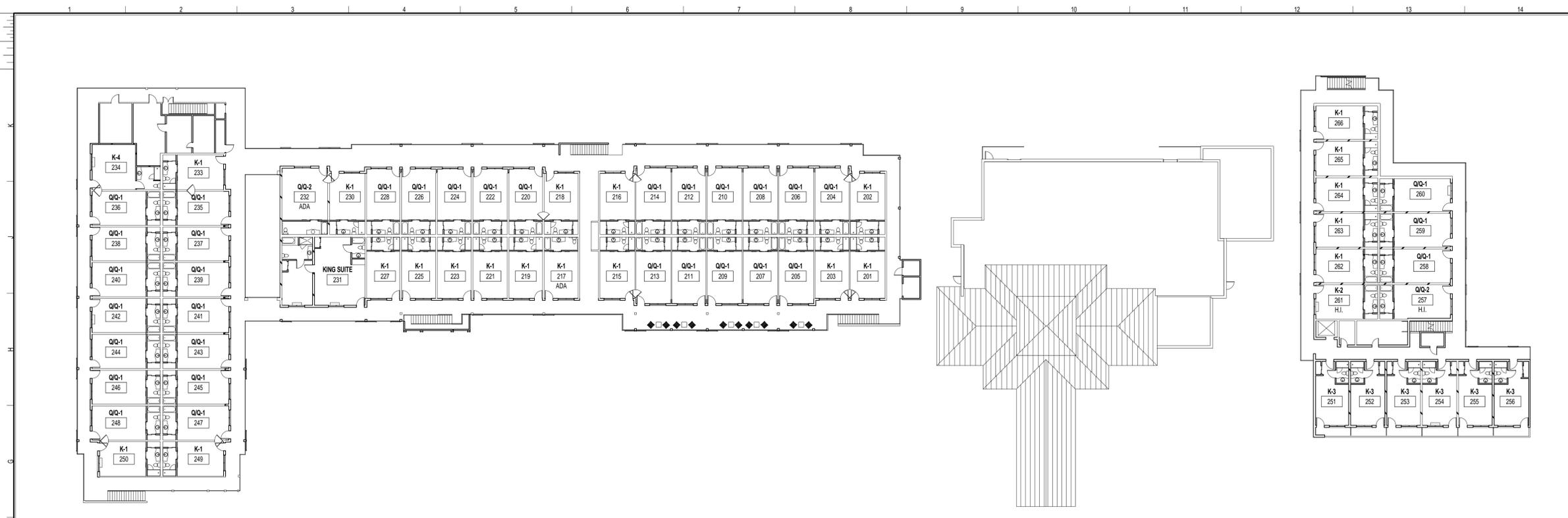
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**SCOPE DOCUMENTS**

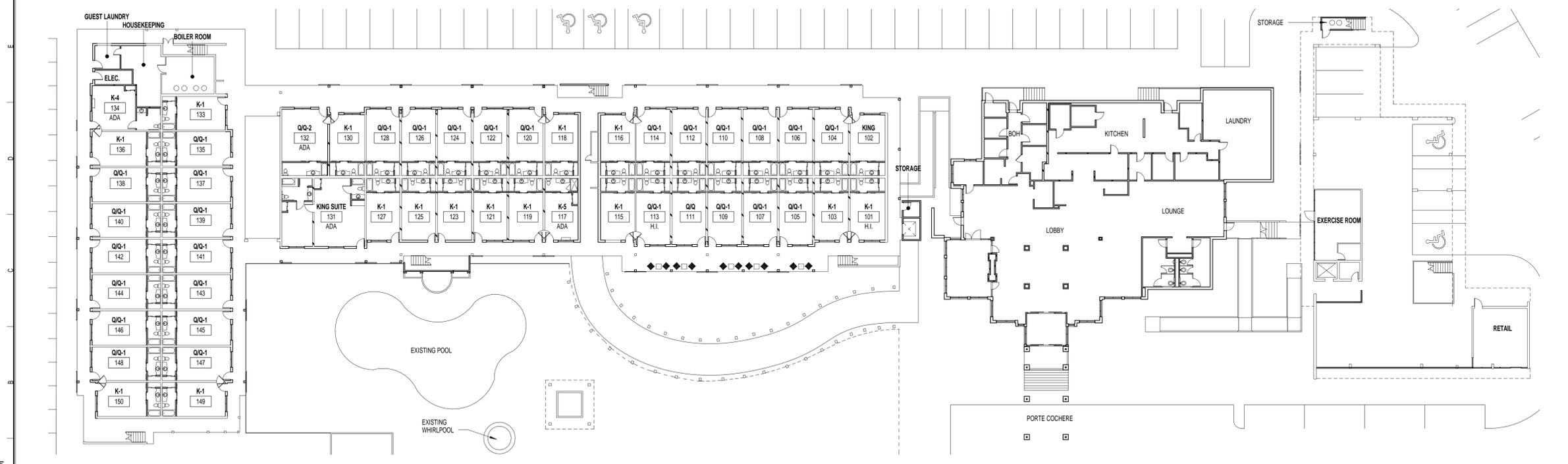
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**ISSUANCES**

| No. | Drawing Issue Description | Date       |
|-----|---------------------------|------------|
|     | DESIGN DEVELOPMENT        | 02/25/2013 |




**2 SECOND LEVEL FLOOR PLAN**  
 A1.0 SCALE: 3/64" = 1'-0"




**1 GROUND LEVEL FLOOR PLAN**  
 A1.0 SCALE: 3/64" = 1'-0"

**KEY WEST HOTEL  
COLLECTION HILTON GARDEN  
INN (SITE B)**

3850 North Roosevelt Boulevard  
 Key West, Florida 33040

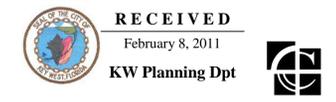
J.L. Woode Ltd.  
**FLOOR PLANS**

|                     |             |
|---------------------|-------------|
| BOB NEAL            | 20120295    |
| Principal-in-Charge | Project No. |
| MANNY DOMINGUEZ     | 02/01/2013  |
| Design Director     | Date        |
| ANDRES RUBIO        |             |
| Project Manager     |             |
| T. JACK BAGBY       |             |
| Project Architect   |             |

**A1.0**

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION HILTON GARDEN INN (SITE B)  
 SHEET NUMBER: A1.0 - FLOOR PLANS  
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PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION HILTON GARDEN INN (SITE B)  
 SHEET NUMBER: A2.0 - FLOOR PLANS  
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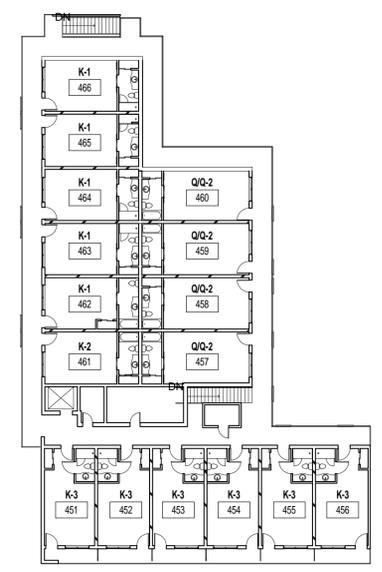
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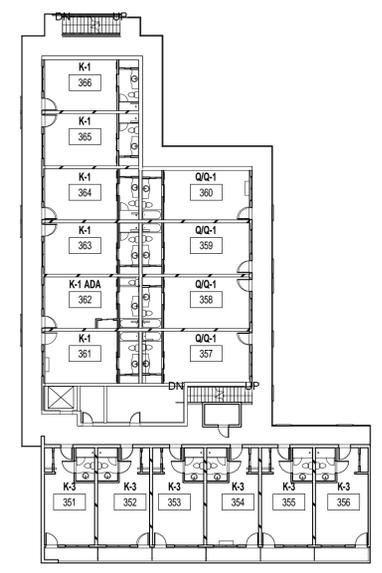
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| ISSUANCES |                           |            |
|-----------|---------------------------|------------|
| No.       | Drawing Issue Description | Date       |
|           | DESIGN DEVELOPMENT        | 02/25/2013 |



**2** LEVEL 400 - DEVELOPMENT PLAN  
 A2.0 SCALE: 3/64" = 1'-0"



**1** LEVEL 300 - DEVELOPMENT PLAN  
 A2.0 SCALE: 3/64" = 1'-0"

## KEY WEST HOTEL COLLECTION HILTON GARDEN INN (SITE B)

3850 North Roosevelt Boulevard  
 Key West, Florida 33040

J.L. Woode Ltd.

## FLOOR PLANS

BOB NEAL 20120295  
 Principal-in-Charge Project No.  
 MANNY DOMINGUEZ 02/01/2013  
 Design Director Date  
 ANDRES RUBIO  
 Project Manager  
 T. JACK BAGBY  
 Project Architect

**A2.0**

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION HILTON GARDEN INN (SITE B)  
 SHEET NUMBER: A3.0 - ELEVATIONS  
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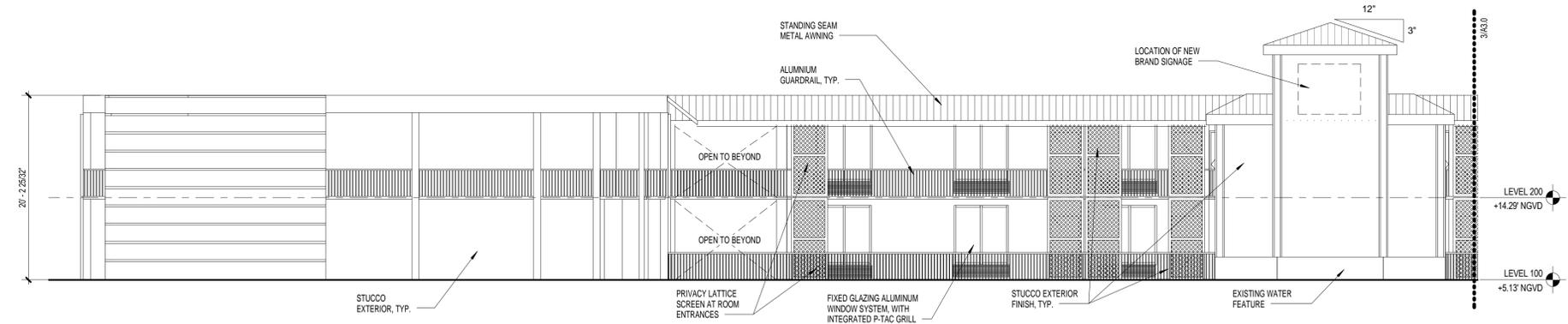
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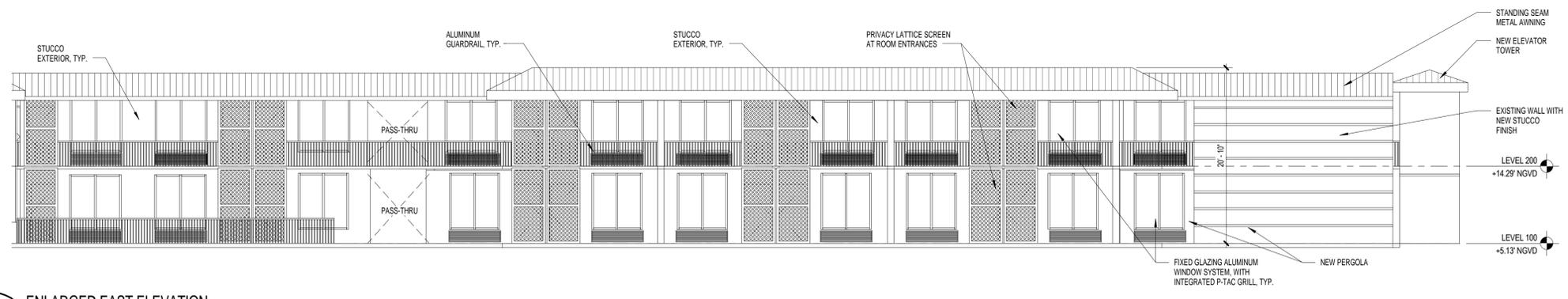
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| ISSUANCES |                           |            |
|-----------|---------------------------|------------|
| No.       | Drawing Issue Description | Date       |
|           | DESIGN DEVELOPMENT        | 02/25/2013 |



**3 ENLARGED EAST ELEVATION**  
 A3.0 SCALE: 1/8" = 1'-0"



**2 ENLARGED EAST ELEVATION**  
 A3.0 SCALE: 1/8" = 1'-0"



**1 COMPOSITE NORTH ELEVATION**  
 A3.0 SCALE: 3/64" = 1'-0"

**KEY WEST HOTEL  
 COLLECTION HILTON GARDEN  
 INN (SITE B)**

3850 North Roosevelt Boulevard  
 Key West, Florida 33040

J.L. Woode Ltd.

**ELEVATIONS**

|                                    |                         |
|------------------------------------|-------------------------|
| BOB NEAL<br>Principal-in-Charge    | 20120295<br>Project No. |
| MANNY DOMINGUEZ<br>Design Director | 02/01/2013<br>Date      |
| ANDRES RUBIO<br>Project Manager    |                         |
| T. JACK BAGBY<br>Project Architect |                         |

**A3.0**



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### SCOPE DOCUMENTS

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### ISSUANCES

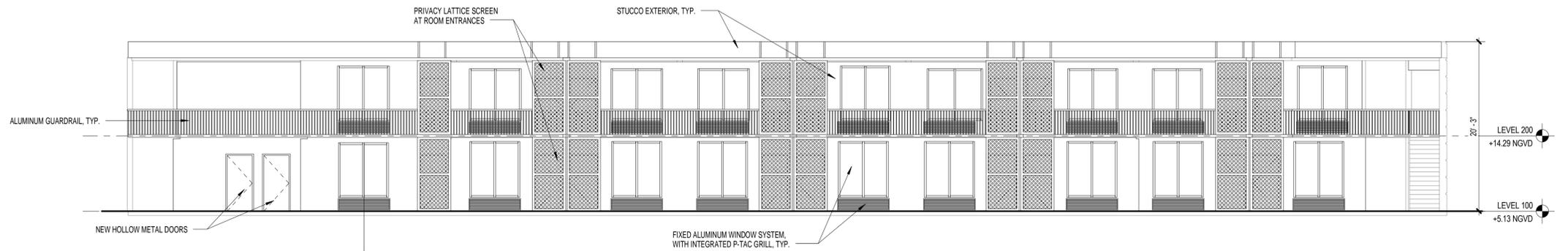
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|-----|---------------------------|------------|
|     | DESIGN DEVELOPMENT        | 02/25/2013 |



**3** ENLARGED EAST ELEVATION  
A4.0 SCALE: 1/8" = 1'-0"



**2** ENLARGED EAST ELEVATION  
A4.0 SCALE: 1/8" = 1'-0"



**1** ENLARGED WEST ELEVATION  
A4.0 SCALE: 1/8" = 1'-0"

## KEY WEST HOTEL COLLECTION HILTON GARDEN INN (SITE B)

3850 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.

### ELEVATIONS

|                                    |                         |
|------------------------------------|-------------------------|
| BOB NEAL<br>Principal-in-Charge    | 20120295<br>Project No. |
| MANNY DOMINGUEZ<br>Design Director | 02/01/2013<br>Date      |
| ANDRES RUBIO<br>Project Manager    |                         |
| T. JACK BAGBY<br>Project Architect |                         |

# A4.0

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SHEET NUMBER: A4.0 ELEVATIONS  
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 SHEET NUMBER: A5.0 - ELEVATIONS  
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| ISSUANCES |                           |            |
|-----------|---------------------------|------------|
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|           | DESIGN DEVELOPMENT        | 02/25/2013 |



**1**  
 A5.0 ENLARGED WEST ELEVATION  
 SCALE: 1/8" = 1'-0"

**KEY WEST HOTEL  
 COLLECTION HILTON GARDEN  
 INN (SITE B)**

3850 North Roosevelt Boulevard  
 Key West, Florida 33040

J.L. Woode Ltd.

**ELEVATIONS**

BOB NEAL 20120295  
 Principal-in-Charge Project No.  
 MANNY DOMINGUEZ 02/01/2013  
 Design Director Date  
 ANDRES RUBIO  
 Project Manager  
 T. JACK BAGBY  
 Project Architect

**A5.0**

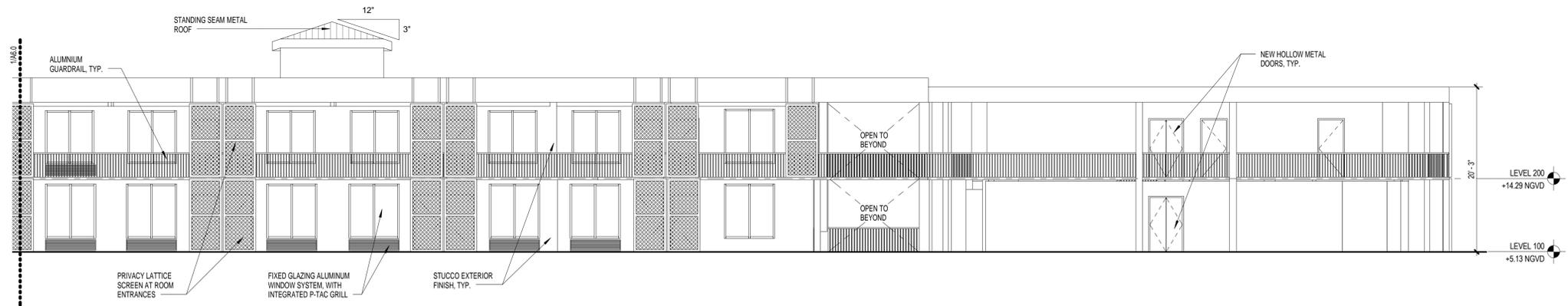
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 SHEET NUMBER: A6.0 - ELEVATIONS  
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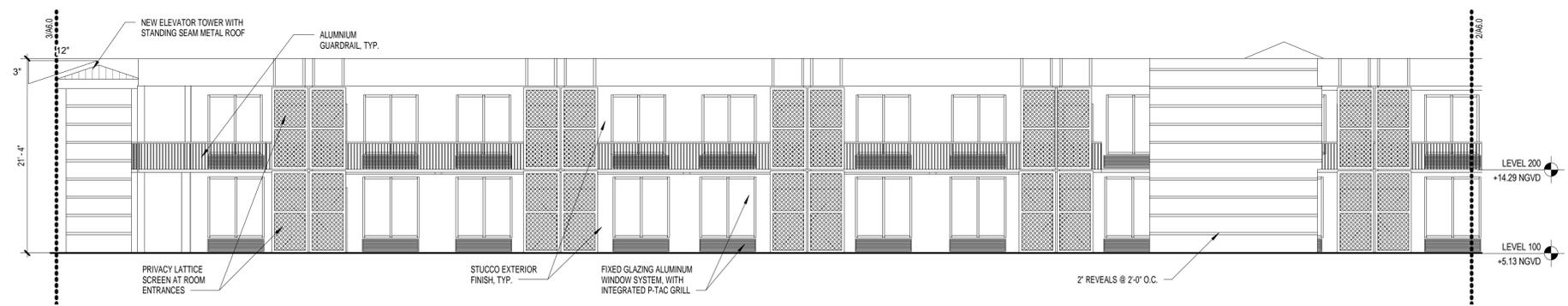
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| ISSUANCES |                           |            |
|-----------|---------------------------|------------|
| No.       | Drawing Issue Description | Date       |
|           | DESIGN DEVELOPMENT        | 02/25/2013 |



**2**  
 A6.0 ENLARGED SOUTH ELEVATION  
 SCALE: 1/8" = 1'-0"



**1**  
 A6.0 ENLARGED SOUTH ELEVATION  
 SCALE: 1/8" = 1'-0"

**KEY WEST HOTEL  
 COLLECTION HILTON GARDEN  
 INN (SITE B)**

3850 North Roosevelt Boulevard  
 Key West, Florida 33040

J.L. Woode Ltd.

**ELEVATIONS**

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 Principal-in-Charge Project No.  
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 Design Director Date  
 ANDRES RUBIO  
 Project Manager  
 T. JACK BAGBY  
 Project Architect

**A6.0**

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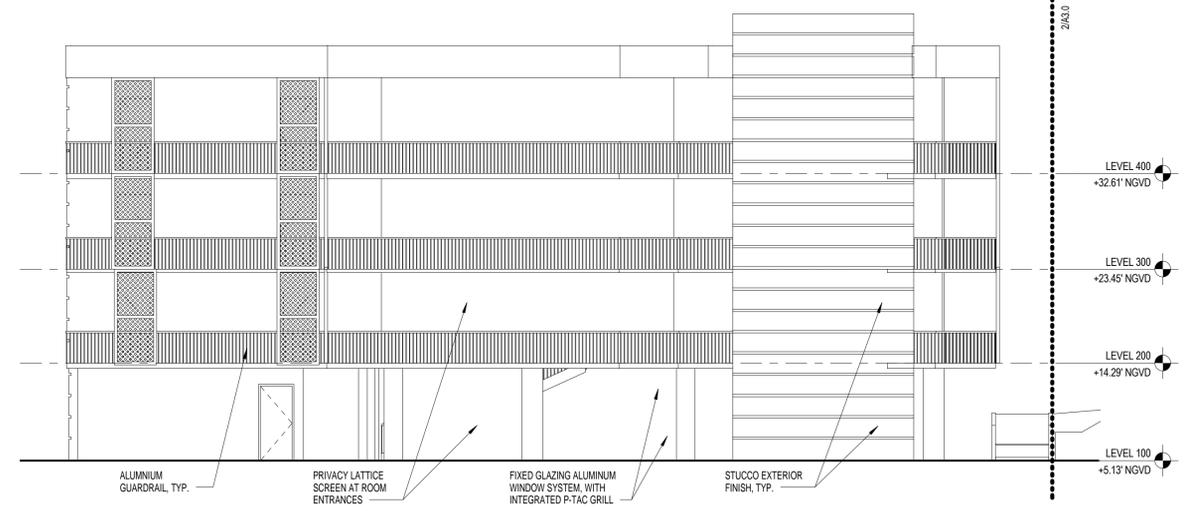
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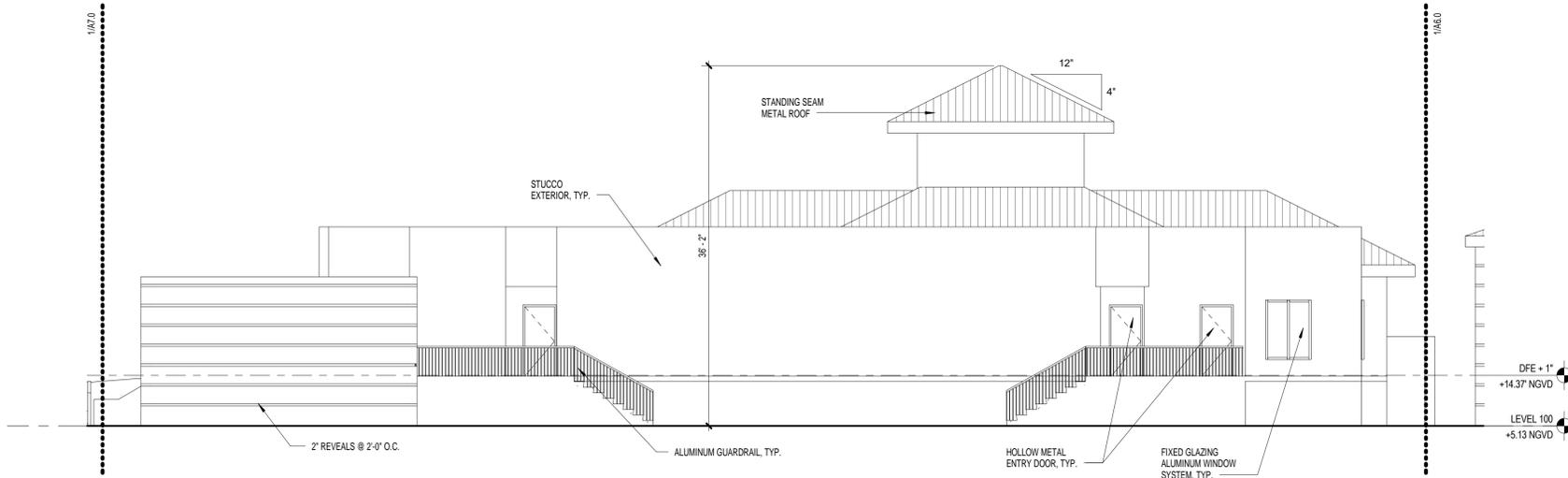
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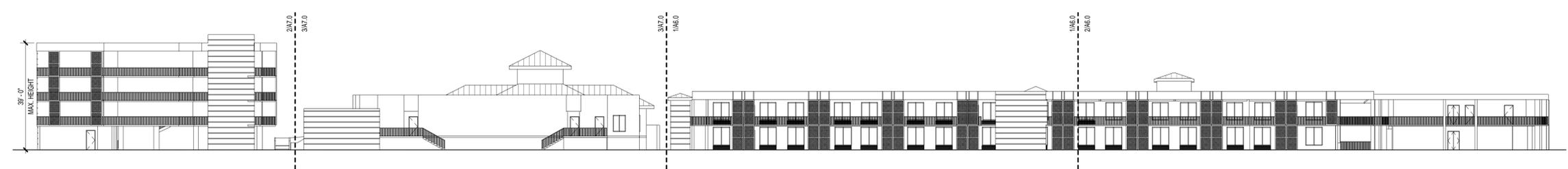
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|           | DESIGN DEVELOPMENT        | 02/25/2013 |



**3 ENLARGED SOUTH ELEVATION**  
 A7.0 SCALE: 1/8" = 1'-0"



**2 ENLARGED SOUTH ELEVATION**  
 A7.0 SCALE: 1/8" = 1'-0"



**1 COMPOSITE SOUTH ELEVATION**  
 A7.0 SCALE: 3/64" = 1'-0"

**KEY WEST HOTEL  
 COLLECTION HILTON GARDEN  
 INN (SITE B)**

3850 North Roosevelt Boulevard  
 Key West, Florida 33040

J.L. Woode Ltd.

**ELEVATIONS**

BOB NEAL 20120295  
 Principal-in-Charge Project No.  
 MANNY DOMINGUEZ 02/01/2013  
 Design Director Date  
 ANDRES RUBIO  
 Project Manager  
 T. JACK BAGBY  
 Project Architect

**A7.0**

NOT ISSUED FOR CONSTRUCTION

| Water Quantity and Water Quality Calculations  |                                |       |            |
|--|--------------------------------|-------|------------|
| <b>Water Quantity - Predevelopment</b>   |                                |       |            |
| Project Area   | A = 3.831                      | ac    | 166,895 sf |
| PerVIOUS Area  | 0.685                          | ac    | 28,951 sf  |
| Impervious Area  | 3.167                          | ac    | 137,944 sf |
| % Impervious   | 82.65%                         |       |            |
| Rainfall for 25yr/24hr event   | P <sub>24</sub> = 9            | in    |            |
| Rainfall for 25yr/72hr event   | P <sub>72</sub> = 12.23        | in    |            |
| Depth to Water Table   | 2                              | ft    |            |
| Predeveloped Available Storage   | 1.88                           | in    |            |
| Soil Storage   | S = 0.33                       | in    |            |
| Q <sub>pre</sub> = (P <sub>24</sub> - 0.2S) <sup>2</sup> / (P <sub>24</sub> + 0.8S)  | Q <sub>pre</sub> = 11.85       | in    |            |
| Runoff Volume from 25 year / 3 day storm   | V <sub>25yr/24hr</sub> = 45.39 | ac-in |            |
| <b>Water Quantity - Postdevelopment</b>  |                                |       |            |
| Project Area   | A = 3.831                      | ac    | 166,895 sf |
| PerVIOUS Area  | 0.929                          | ac    | 40,452 sf  |
| Impervious Area  | 2.903                          | ac    | 126,443 sf |
| % Impervious   | 75.8%                          |       |            |
| Rainfall for 25yr/24hr event   | P <sub>24</sub> = 9            | in    |            |
| Rainfall for 25yr/72hr event   | P <sub>72</sub> = 12.23        | in    |            |
| Depth to Water Table   | 2                              | ft    |            |
| Developed Available Storage  | 1.88                           | in    |            |
| Soil Storage   | S = 0.46                       | in    |            |
| Q <sub>post</sub> = (P <sub>24</sub> - 0.2S) <sup>2</sup> / (P <sub>24</sub> + 0.8S) | Q <sub>post</sub> = 11.70      | in    |            |
| Runoff Volume from 25 year / 3 day storm   | V <sub>25yr/24hr</sub> = 44.83 | ac-in |            |

| Postdevelopment - Predevelopment  |                               |              |                  |
|---|-------------------------------|--------------|------------------|
| C <sub>pre-post</sub> = Q <sub>post</sub> - Q <sub>pre</sub>                                    | Q <sub>pre-post</sub> = -0.15 | in           |                  |
| Pre/Post Volume = Q <sub>pre-post</sub> x A   | V <sub>pre-post</sub> = -0.57 | ac-in        |                  |
| <b>Water Quality</b>  |                               |              |                  |
| Basin A   | 3.831                         | ac           | 166,895 sf       |
| Surface Water   | 0.000                         | ac           | 0 sf             |
| Roof Area   | 0.605                         | ac           | 26,371 sf        |
| Pavement/Walkways   | 2.297                         | ac           | 100,072 sf       |
| PerVIOUS area   | 0.929                         | ac           | 40,452 sf        |
| Site Area for water quality (Total Area - (Surface Water + Roof Area))                          | 3.226                         | ac           | 140,524 sf       |
| PerVIOUS area for water quality (Site area for Water Quality - PerVIOUS area)                   | 2.297                         | ac           | 100,072 sf       |
| % Impervious  | 60%                           |              |                  |
| A) One inch of runoff from project area   | 3.831                         | ac-in        |                  |
| B) 2.5 inches times percent impervious (2.5 x percent impervious x (site area - surface water)) | 5.743                         | ac-in        |                  |
| <b>Comparison of Water Quality Methods</b>  |                               |              |                  |
|   | 3.831                         | <            | 5.743            |
| <b>Comparison of Water Quality vs Water Quantity</b>  |                               |              |                  |
|   | 5.743                         | >            | -0.565           |
| <b>Pretreatment Volume Required</b>   |                               |              |                  |
|   | 5.743                         | ac-in        | 20,848 cf        |
| <b>Pretreatment volume provided (Dry Retention)</b>   |                               |              |                  |
|   | 1.924                         | ac-in        | 6,983 cf         |
| <b>Pretreatment Volume Provided (Exfiltration Trench)</b>                                       |                               |              |                  |
|   | 3.825                         | ac-in        | 11,613 cf        |
| <b>Total Pretreatment Volume Provided</b>   | <b>5.749</b>                  | <b>ac-in</b> | <b>20,868 cf</b> |

| Exfiltration Trench Design                                      |             |
|---|-------------|
| Required trench length (L) =                                    |             |
| $K(H^2W + 2H^2Du - Du^2 + 2H^2Ds) + 1.39 \times 10^{-4}(W)(Du)$ |             |
| Hydraulic Conductivity, K =                                     | 0.0001      |
| H =   | 2.25 ft     |
| W =   | 5 ft        |
| Du =  | 1.25 ft     |
| Ds =  | 2.55 ft     |
| Volume of Trench, V =   | 3.820 ac-in |
| Trench Length Required =  | 1077 FT     |
| Trench Length Provided =  | 1080 FT     |

**LEGEND**

- PROJECT LIMITS
- BUILDING AREA
- ASPHALT PAVEMENT
- CONCRETE / MISC. IMPERVIOUS
- DRY RETENTION AREA
- EXISTING GRADE
- EXFILTRATION TRENCH
- STORMWATER PIPE
- STORMWATER INLET (NYLOPLAST STORM BASIN)
- STORMWATER INLET (FOOT DITCH BOTTOM)
- STORMWATER FLOW

NOTE: SYMBOLS IN LEGEND ARE NOT TO SCALE

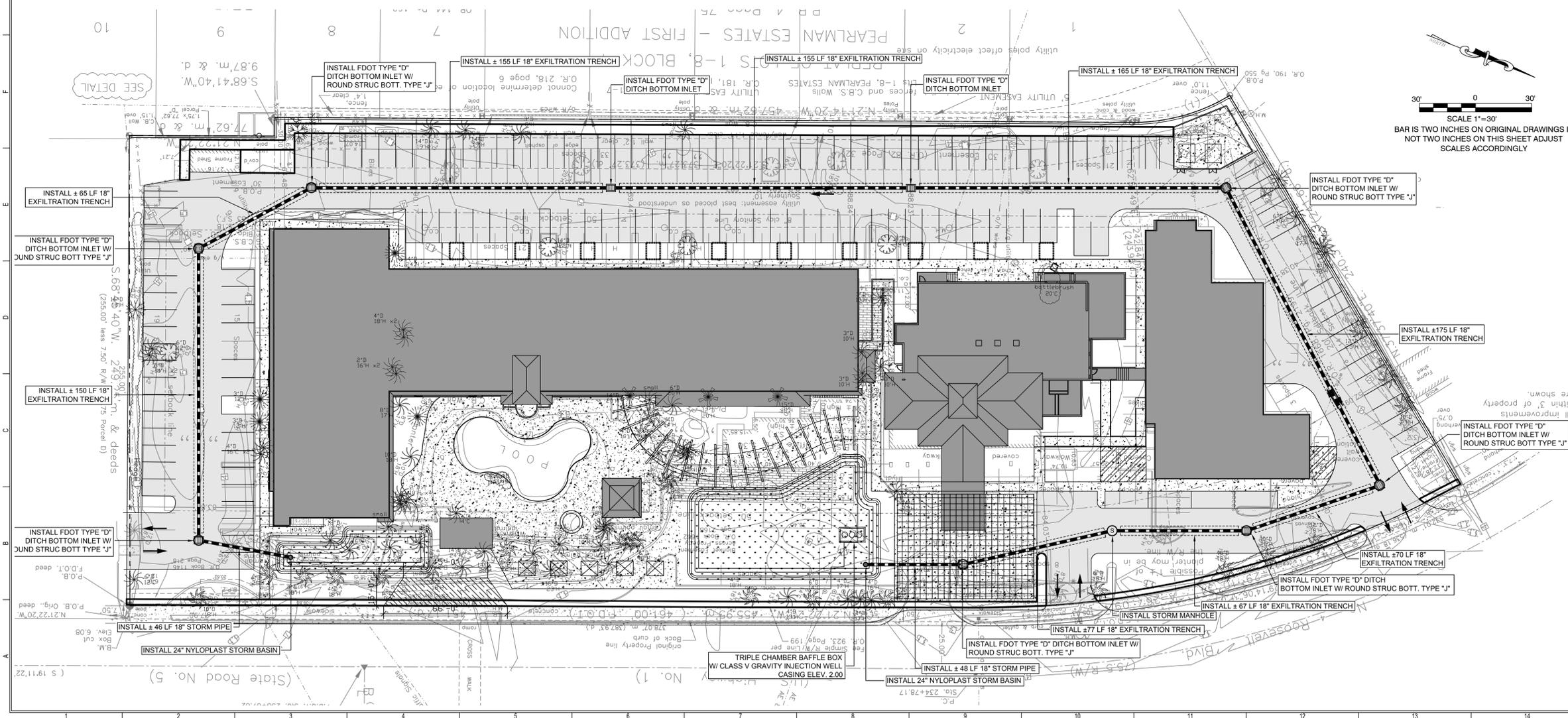
| PROJECT STATISTICS     |  |   |                             |  |
|------------------------|--|---|-----------------------------|--|
| CHARACTERISTIC         | REQUIRED                                     | EXISTING  | PROPOSED                    | REMARKS  |
| ZONING                 |  | CG - GENERAL COMMERCIAL, BOULEVARD SAFETY/APPEARANCE ZONE |                             |  |
| SITESIZE               | MIN LOT SIZE 15,000 SF                       | 166,895 SF  | 166,895 SF                  |  |
| LEGAL DESCRIPTION      |  | CN SURVEY   |                             |  |
| FLOOD ELEVATION        | ZONES AE 8' & 9'; DFE = 10'-1" NGVD          |   |                             | OFF AT NEW PUBLIC BUILDING ONLY, ALL OTHER PFTO REMAIN |
| BUILDING SIZE          | MAX 133,514 SF PER F.A.R.                    | 93,697 SF   | 95,531 SF                   | INCLUDES ALL BUILDINGS ON SITE                         |
| FLOOR AREA RATIO       | MAX 0.8                                      | 0.494   | 0.526                       | INCLUDES BALCONIES PER CODE                            |
| BUILDING COVERAGE      | MAX 40%                                      | 44,575 / 166,895 = 26.71%                                 | 44,660 / 166,895 = 26.76%   | INCLUDES BALCONIES AND CANOPIES PER CODE               |
| IMPERVIOUS SURFACE     | MAX 60%                                      | 137,944 / 166,895 = 82.95%                                | 126,443 / 166,895 = 75.76%  |  |
| PERVIOUS SURFACE       |  | 28,951 / 166,895 = 17.35%                                 | 40,452 / 166,895 = 24.20%   |  |
| LANDSCAPE AREA         |  |   |                             |  |
| PARKING SPACES         | 148  | 186   | 148                         | PROP. INCLUDES (S)HDCP                                 |
| BIKE PARKING SPACES    | 35% HOTEL SPACES                             | 0   | 52                          |  |
| LOCATION OF STRUCTURES | TO BE SHOWN ON SURVEY AND TECHNICAL DRAWINGS |   |                             |  |
| LAND USE               | MAX 16 DU/ACRE                               | 148 / 3.8314 = 38.6 DU/ACRE                               | 147 / 3.8314 = 38.4 DU/ACRE |  |
| SETBACKS               |  |   |                             | PULLED FROM SURVEY                                     |
|                        | FRONT  | 50 FT   | 41.20 FT                    | 41.20 FT   |
|                        | REAR   | 50 FT   | 7.21 FT                     | 50.52 FT   |
|                        | SIDE   | 20 FT   | 40.38 FT                    | 40.38 FT   |
|                        | STREET SIDE                                  | 20 FT   | N/A                         | N/A  |

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**SCOPE DOCUMENTS**

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| ISSUANCES |                           |            |
|-----------|---------------------------|------------|
| No.       | Drawing Issue Description | Date       |
|           | DEVELOPMENT PLAN          | 2013-02-01 |



SCALE 1"=30'

BAR IS TWO INCHES ON ORIGINAL DRAWINGS IF NOT TWO INCHES ON THIS SHEET ADJUST SCALES ACCORDINGLY

**PEREZ ENGINEERING & DEVELOPMENT, INC**  
 CERTIFICATE OF AUTHORIZATION NO. 8579  
 1010 Kennedy Drive, Suite 201  
 Key West, FL 33040  
 Tel (305) 293-9440  
 Fax (305) 296-0243  
 aperez@perezeng.com

**KEY WEST HOTEL COLLECTION - HILTON GARDEN INN - (SITE B)**

3850 North Roosevelt Boulevard  
 Key West, Florida 33040

J.L. Woode Ltd.

**SITE / CONCEPTUAL DRAINAGE PLAN**

|                   |             |
|-------------------|-------------|
| BOB NEAL          | 20120295    |
| Principal/Charge  | Project No. |
| MANNY DOMINGUEZ   | 02/01/13    |
| Design Director   | Date        |
| ANDRES RUBIO      |             |
| Project Manager   |             |
| T.JACK BAGBY      |             |
| Project Architect |             |

C-1



# COOPER CARRY

ATLANTA WASHINGTON NEW YORK NEWPORT BEACH

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### SCOPE DOCUMENTS

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### ISSUANCES

| No. | Drawing Issue Description | Date       |
|-----|---------------------------|------------|
|     | DEVELOPMENT PLAN          | 02/01/2013 |
|     | TREE PERMIT APPLICATION   | 02/20/2013 |

## KEY WEST HOTEL COLLECTION HILTON GARDEN INN (SITE B)

3850 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.

### EXISTING SITE PLAN

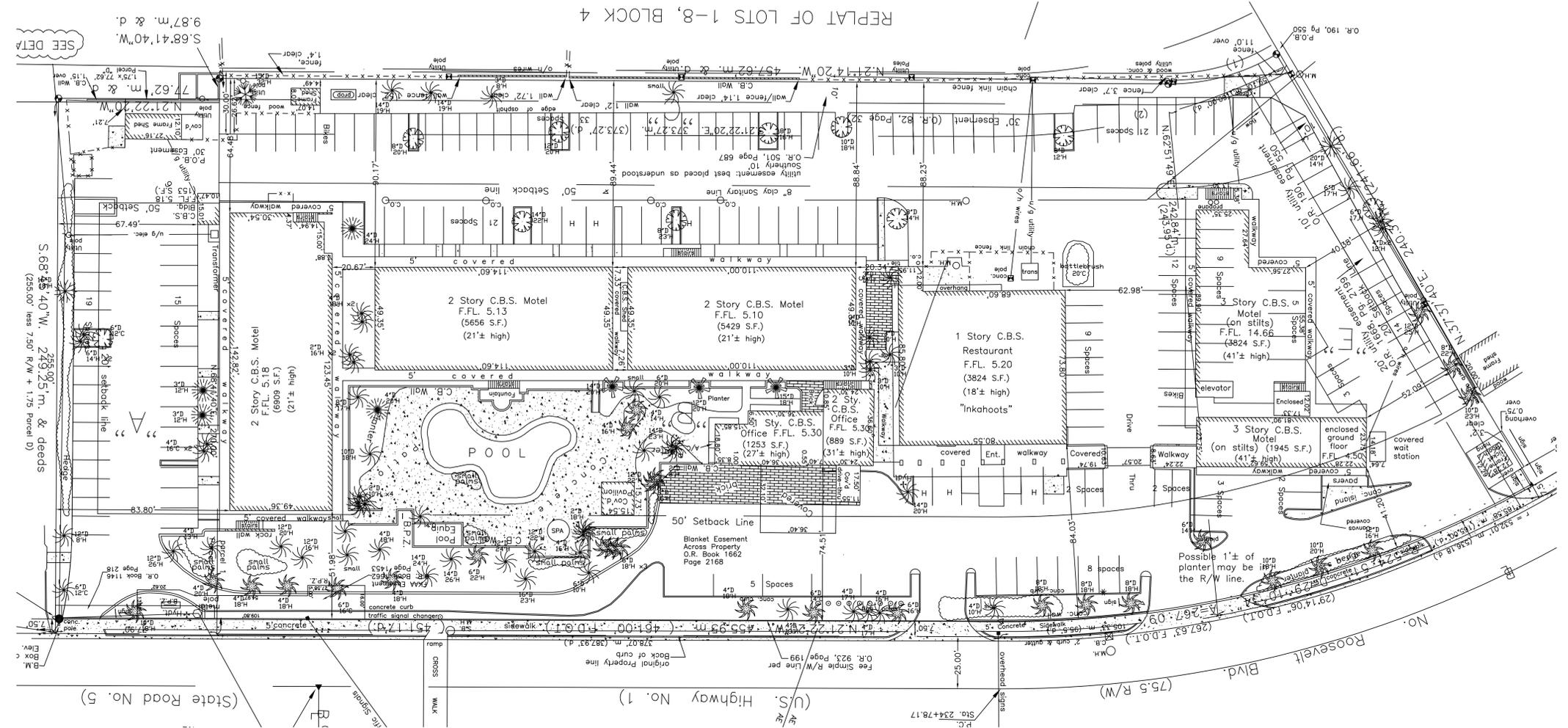
|                     |             |
|---------------------|-------------|
| BOB NEAL            | 20120295    |
| Principal-in-Charge | Project No. |
| MANNY DOMINGUEZ     | 02/01/2013  |
| Design Director     | Date        |
| ANDRES RUBIO        |             |
| Project Manager     |             |
| T. JACK BAGBY       |             |
| Project Architect   |             |

# L2.00

ISSUED FOR TREE PERMIT APPLICATION ONLY

### EXISTING TREE LEGEND

- 6"D = Diameter of tree.
- 12"C = Canopy diameter of tree.
- = Palm
- = Almond
- = Buttonwood
- = Tree, Unknown
- = Coconut
- = Pine
- = Gumbo Limbo
- = Umbrella
- = Ficus
- = Papaya
- = Rubber
- = Hong Kong Tulip
- = Seagrape



NOTE: SURVEY DONE BY OTHERS.  
ALL INVASIVE EXOTIC PLANTS TO  
BE REMOVED.

1 EXISTING SITE PLAN  
SCALE: 1" = 30'-0"



SCOPE DOCUMENTS

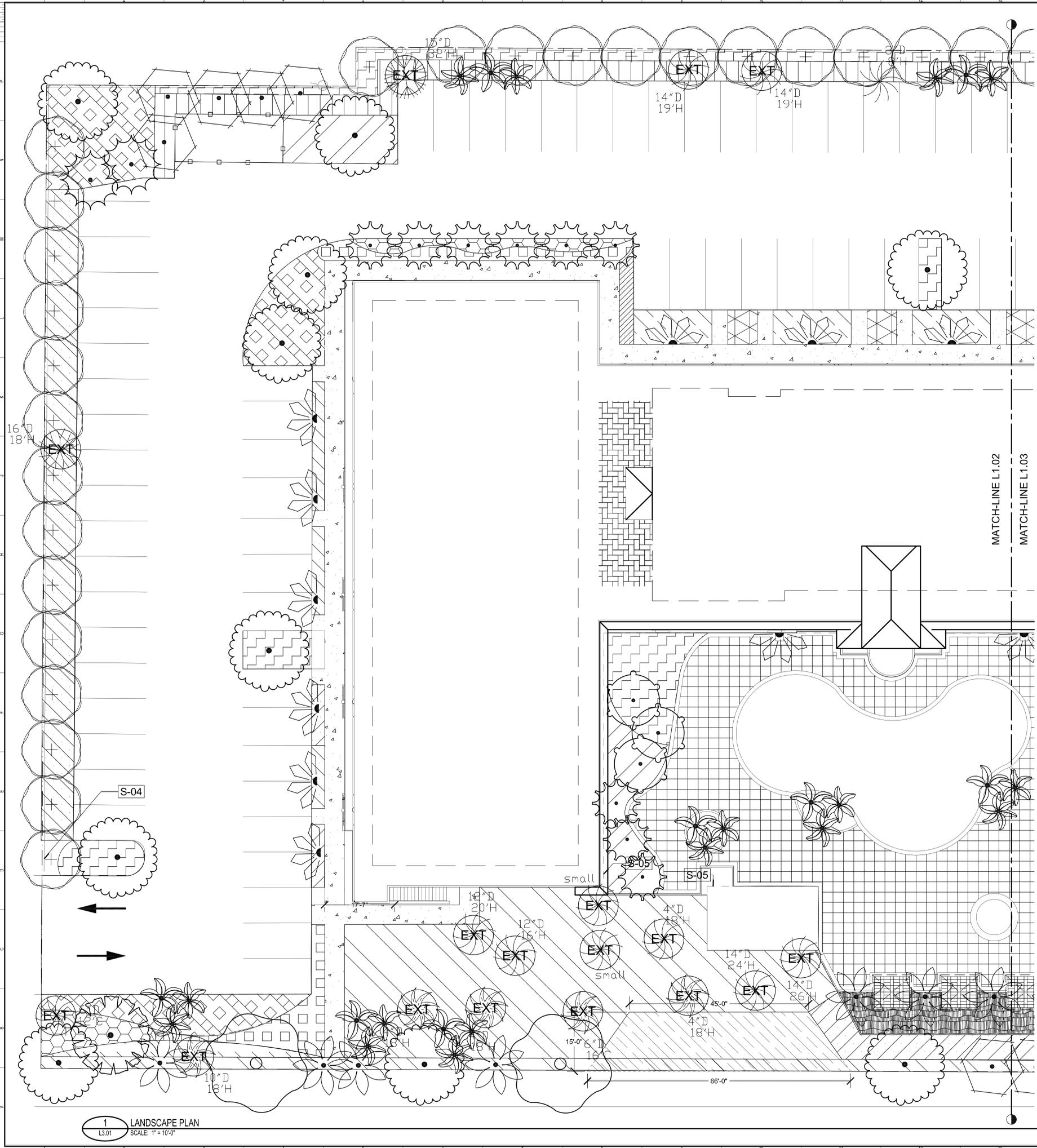
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ISSUANCES

| No. | Drawing Issue Description | Date       |
|-----|---------------------------|------------|
| 1   | SCHEMATIC DESIGN          | 12/17/2012 |
| 2   | DESIGN DEVELOPMENT        | 02/25/2013 |

PLANT SCHEDULE

| TREES         | QTY      | BOTANICAL NAME                      | COMMON NAME          | TYPE                    | SIZE                  | REMARKS |
|---------------|----------|-------------------------------------|----------------------|-------------------------|-----------------------|---------|
|               | 6        | BURSERIA SIMARUBA                   | GUMBO LIMBO          | B&B OR FG               | 3" GAL. 13-15' HT     | NATIVE  |
|               | 18       | CONOCARPUS ERECTUS                  | BUTTONWOOD           | B&B OR FG               | 8-10' HT. MULTI-TRUNK | NATIVE  |
|               | 7        | CORDIA SEBESTENA                    | ORANGE GEIGER TREE   | B&B OR FG               | 8-10' HT.             | NATIVE  |
|               | 25       | EXISTING TREE TO REMAIN             |                      | NA                      | VARIES                |         |
|               | 30       | ILEX CASSINE                        | DAHON HOLLY          | 25 GAL                  | 8-10' HT              | NATIVE  |
|               | 21       | ILEX VOMITORIA                      | YALPON HOLLY         | B&B OR FG               | 6'-8' HT              | NATIVE  |
|               | 9        | MAGNOLIA VIRGINIANA                 | SWEET BAY            | B&B OR FG               | 10-12' HT             | NATIVE  |
|               | 47       | MYRICA CERIFERA                     | WAX MYRTLE           | FG                      | 10-12' HT             |         |
|               | 4        | SIMAROUBA GLAUCA                    | PARADISE TREE        | B&B OR FG               | 8-10' HT              | NATIVE  |
|               | 3        | SWIETENIA MAHAGONI                  | WEST INDIAN MAHOGANY | B&B OR FG               | 14-16' HT             | NATIVE  |
| PALM TREES    | QTY      | BOTANICAL NAME                      | COMMON NAME          | TYPE                    | SIZE                  | REMARKS |
|               | 15       | COCOS NUCIFERA                      | COCONUT PALM         | FG                      | 12' CT                |         |
|               | 2        | PHOENIX DACTYLIFERA 'MEDJOL'        | DATE PALM            | FG                      | 10' CT                |         |
|               | 3        | PHOENIX RECLINATA                   | SENEGAL DATE PALM    | FG                      | MULTI-TRUNK 12-14' HT |         |
|               | 18       | RAVENALA MADAGASCARIENSIS           | TRAVELER'S TREE      | FG                      | 10-12' HT             |         |
|               | 9        | ROYSTONIA ELATA                     | FLORIDA ROYAL PALM   | FG                      | 14' CT                | NATIVE  |
|               | 26       | SABAL PALMETTO                      | CABBAGE PALMETTO     | FG                      | 10' CT                | NATIVE  |
|               | 26       | SABAL PALMETTO                      | CABBAGE PALMETTO     | FG                      | 12' CT                | NATIVE  |
|               | 26       | SABAL PALMETTO                      | CABBAGE PALMETTO     | FG                      | 14' CT                | NATIVE  |
| SHRUB AREAS   | QTY      | BOTANICAL NAME                      | COMMON NAME          | CONT.                   | REMARKS               |         |
|               | 495      | BLECHNUM SERRULATUM                 | SWAMP FERN           | 3 GAL 18-24" H@ 36" OC  |                       |         |
|               | 467      | CHRYSOBALANUS ICACOD                | COCO PLUM            | 3 GAL 18-24" H@ 36" OC  |                       |         |
|               | 433      | EXISTING SHRUB AREA                 | EXISTING SHRUB AREA  | 3 GAL @ 36" OC          |                       |         |
|               | 150      | IXORA COCCINEA                      | RED IXORA            | 3 GAL 18-24" H@ 36" OC  |                       |         |
|               | 284      | NEPHROLEPIS BISERRATA               | GIANT SWORDFERN      | 3 GAL 18-24" H@ 36" OC  |                       |         |
|               | 91       | PODOCARPUS MACROPHYLLUS             | YEW PINE             | 30 GAL 6' HT @ 72" OC   |                       |         |
|               | 16       | PSYCHOTRIA NERVOSA                  | WILD COFFEE          | 3 GAL 18-24" H@ 36" OC  |                       |         |
|               | 1,743    | SCHAEFFERIA FRUTESCENS              | FLORIDA BOXWOOD      | 1 GAL 12" H @ 12" OC    |                       |         |
|               | 271      | SERENOA REPENS                      | SAW PALMETTO         | 3 GAL 14-18" H @ 48" OC |                       |         |
|               | 2,132    | UNIOLA PANICULATA                   | SEA OATS             | 3 GAL @ 12" OC          |                       |         |
|               | 100      | ZAMIA FLURIFURACEA                  | CARDBOARD PALM       | 3 GAL 18-24" H@ 42" OC  |                       |         |
|               | 241      | ZAMIA PUMILA                        | COONTIE              | 3 GAL 12-14" H@ 36" OC  |                       |         |
| GROUND COVERS | QTY      | BOTANICAL NAME                      | COMMON NAME          | CONT.                   | REMARKS               |         |
|               | 2,499    | BLECHNUM SERRULATUM                 | SWAMP FERN           | 1 GAL 12"x12" @ 12" OC  |                       |         |
|               | 556      | CRINUM AMERICANUM                   | SEVEN SISTERS        | 1 GAL 12"x12" @ 12" OC  |                       |         |
|               | 5,530 SF | STENOTAPHRUM SECUNDATUM             | ST. AUGUSTINE GRASS  | SOD                     |                       |         |
|               | 471      | TRADESCANTIA CHIENSIS 'MRS. LOEWER' | SPIDERWORT           | 1 GAL 12"x12" @ 12" OC  |                       |         |



1 LANDSCAPE PLAN  
L3.01 SCALE: 1" = 10'-0"



KEY WEST HOTEL  
COLLECTION HILTON GARDEN  
INN (SITE B)

3850 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.

LANDSCAPE PLAN

|                                    |             |
|------------------------------------|-------------|
| BOB NEAL                           | 20120295    |
| Principal-Designer                 | Project No. |
| MANNY DOMINGUEZ                    | 02/25/13    |
| Design Director                    | Date        |
| ANDRES RUBIO                       |             |
| Project Manager                    |             |
| T.JACK BAGBY                       |             |
| Project Architect                  |             |
| GARY WARNER                        |             |
| Director of Landscape Architecture |             |

L3.01

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION HILTON GARDEN INN (SITE B)  
SHEET NUMBER: A3.01 - GROUND LEVEL FLOOR PLAN  
DATE: 02/25/13 12:28:39 PM  
DRAWING: 17 drawings and 7-1 revisions 20120295\_2011\_sit\_b\_hgl\_mcdanlej.rvt  
2/15/2013 12:28:39 PM

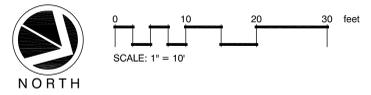
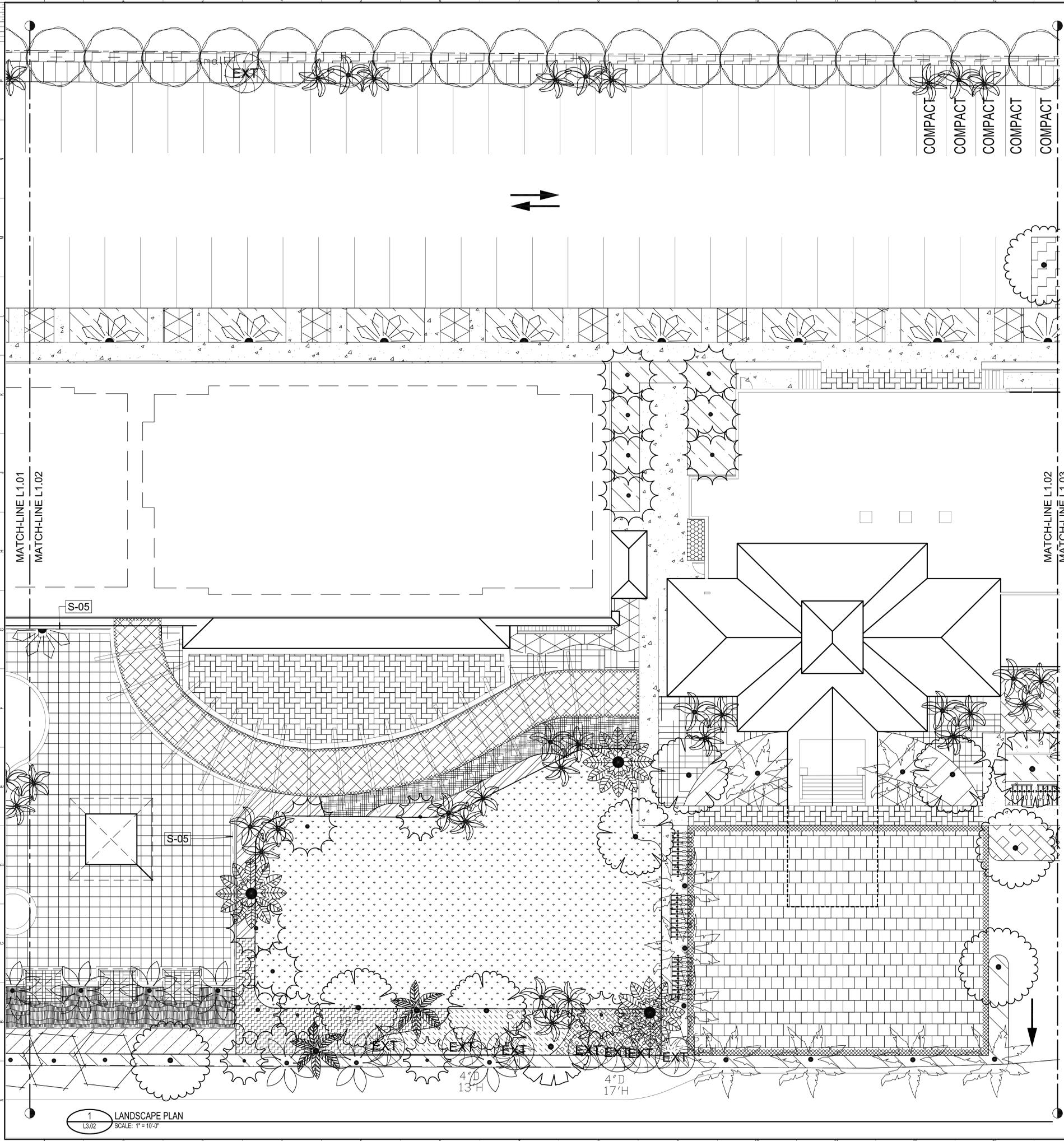


SCOPE DOCUMENTS  
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| ISSUANCES |                           |            |
|-----------|---------------------------|------------|
| No.       | Drawing Issue Description | Date       |
| 1         | SCHEMATIC DESIGN          | 12/17/2012 |
| 2         | DESIGN DEVELOPMENT        | 02/25/2013 |

PLANT SCHEDULE

| TREES         | QTY      | BOTANICAL NAME                    | COMMON NAME          | TYPE                     | SIZE                  | REMARKS |
|---------------|----------|-----------------------------------|----------------------|--------------------------|-----------------------|---------|
|               | 6        | BURSERIA SIMARUBA                 | GUMBO LIMBO          | BBB OR FG                | 3" CAL. 13-15' HT     | NATIVE  |
|               | 16       | CONOCARPUS ERECTUS                | BUTTWOOD             | BBB OR FG                | 8-10' HT. MULTI-TRUNK | NATIVE  |
|               | 7        | CORDIA SEBESTENA                  | ORANGE GERIGER TREE  | BBB OR FG                | 8-10' HT.             | NATIVE  |
|               | 25       | EXISTING TREE TO REMAIN           | NA                   | NA                       | VARIES                |         |
|               | 30       | ILEX CASSINE                      | DWYON HOLLY          | 25 GAL.                  | 6-10' HT              | NATIVE  |
|               | 21       | ILEX VOMITORIA                    | YALPON HOLLY         | BBB OR FG                | 6-8' HT               | NATIVE  |
|               | 9        | MAONILLA VIRGINIANA               | SWEET BAY            | BBB OR FG                | 15-12' HT             | NATIVE  |
|               | 47       | MYRTICA CERIFERA                  | WAX MYRTLE           | FG                       | 10-12' HT             |         |
|               | 4        | SMARXIA GLAUCA                    | PARADISE TREE        | BBB OR FG                | 8-10' HT              | NATIVE  |
|               | 3        | SWIETENIA MAHOGANI                | WEST INDIAN MAHOGANY | BBB OR FG                | 14-16' HT             | NATIVE  |
| SMALL TREES   | QTY      | BOTANICAL NAME                    | COMMON NAME          | TYPE                     | SIZE                  | REMARKS |
|               | 15       | COCOS NUCIFERA                    | COCONUT PALM         | FG                       | 12' CT                |         |
|               | 2        | PHOENIX DACTYLIFERA 'MEDJOL'      | DATE PALM            | FG                       | 10' CT                |         |
|               | 3        | PHOENIX RECLINATA                 | SENEGAL DATE PALM    | FG                       | MULTI-TRUNK 12-14' HT |         |
|               | 16       | RAVENALA MADAGASCARENENSIS        | TRAVELER'S TREE      | FG                       | 10-12' HT             |         |
|               | 9        | ROYSTONIA ELATA                   | FLORIDA ROYAL PALM   | FG                       | 14' CT                | NATIVE  |
|               | 26       | SABAL PALMETTO                    | CABBAGE PALMETTO     | FG                       | 10' CT                | NATIVE  |
|               | 26       | SABAL PALMETTO                    | CABBAGE PALMETTO     | FG                       | 12' CT                | NATIVE  |
|               | 26       | SABAL PALMETTO                    | CABBAGE PALMETTO     | FG                       | 14' CT                | NATIVE  |
| SHRUB AREAS   | QTY      | BOTANICAL NAME                    | COMMON NAME          | CONT.                    | REMARKS               |         |
|               | 495      | BLECHNUM SIERRULATUM              | SWAMP FERN           | 3 GAL 18-24" H @ 30" OC  |                       |         |
|               | 467      | CHRYSOBALANUS ICACO               | COCO PLUM            | 3 GAL 18-24" H @ 30" OC  |                       |         |
|               | 433      | EXISTING SHRUB AREA               | EXISTING SHRUB AREA  | 3 GAL @ 30" OC           |                       |         |
|               | 150      | IKORA COCCINEA                    | RED IKORA            | 3 GAL 18-24" H @ 30" OC  |                       |         |
|               | 284      | NEPHEROLEPIS BISERRATA            | GIANT SWIRDFERN      | 3 GAL 18-24" H @ 30" OC  |                       |         |
|               | 91       | PODOCARPUS MACROPHYLLUS           | YEW PINE             | 30 GAL 6' H @ 72" OC     |                       |         |
|               | 16       | PSYCHOTRIA NERVOSA                | WILD COFFEE          | 3 GAL 18-24" H @ 30" OC  |                       |         |
|               | 1,743    | SCHAEFFERIA FRUTESCENS            | FLORIDA BOXWOOD      | 1 GAL 12" H @ 12" OC     |                       |         |
|               | 271      | SERENCA REPENS                    | SAW PALMETTO         | 3 GAL 14-18" H @ 48" OC  |                       |         |
|               | 2,132    | UNOLA PANICULATA                  | SEA OATS             | 3 GAL @ 12" OC           |                       |         |
|               | 100      | ZAMIA FLURPURACEA                 | CARDBOARD PALM       | 3 GAL 18-24" H @ 42" OC  |                       |         |
|               | 241      | ZAMIA PUMILA                      | COONTIE              | 3 GAL 12-14" H @ 30" OC  |                       |         |
| GROUND COVERS | QTY      | BOTANICAL NAME                    | COMMON NAME          | CONT.                    | REMARKS               |         |
|               | 2,499    | BLECHNUM SIERRULATUM              | SWAMP FERN           | 1 GAL 12" X 12" @ 12" OC |                       |         |
|               | 566      | CRINUM AMERICANUM                 | SEVEN SISTERS        | 1 GAL 12" X 12" @ 12" OC |                       |         |
|               | 5,530 SF | STENOTAPHRUM SECUNDATUM           | ST. AUGUSTINE GRASS  | 800                      |                       |         |
|               | 471      | TRASCANTIA CHIENSIS 'MRS. LOEWER' | SPIDERWORT           | 1 GAL 12" X 12" @ 12" OC |                       |         |



PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION HILTON GARDEN INN (SITE B)  
SHEET NUMBER: A2.01 - GROUND LEVEL FLOOR PLAN  
DATE: 02/25/13 12:28:38 PM  
DRAWING: 17 drawings; 7-1 revisions; 20120295\_2011\_site\_b\_high\_modanajef.rvt

1 LANDSCAPE PLAN  
L3.02 SCALE: 1" = 10'-0"

KEY WEST HOTEL  
COLLECTION HILTON GARDEN  
INN (SITE B)

3850 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.

LANDSCAPE PLAN

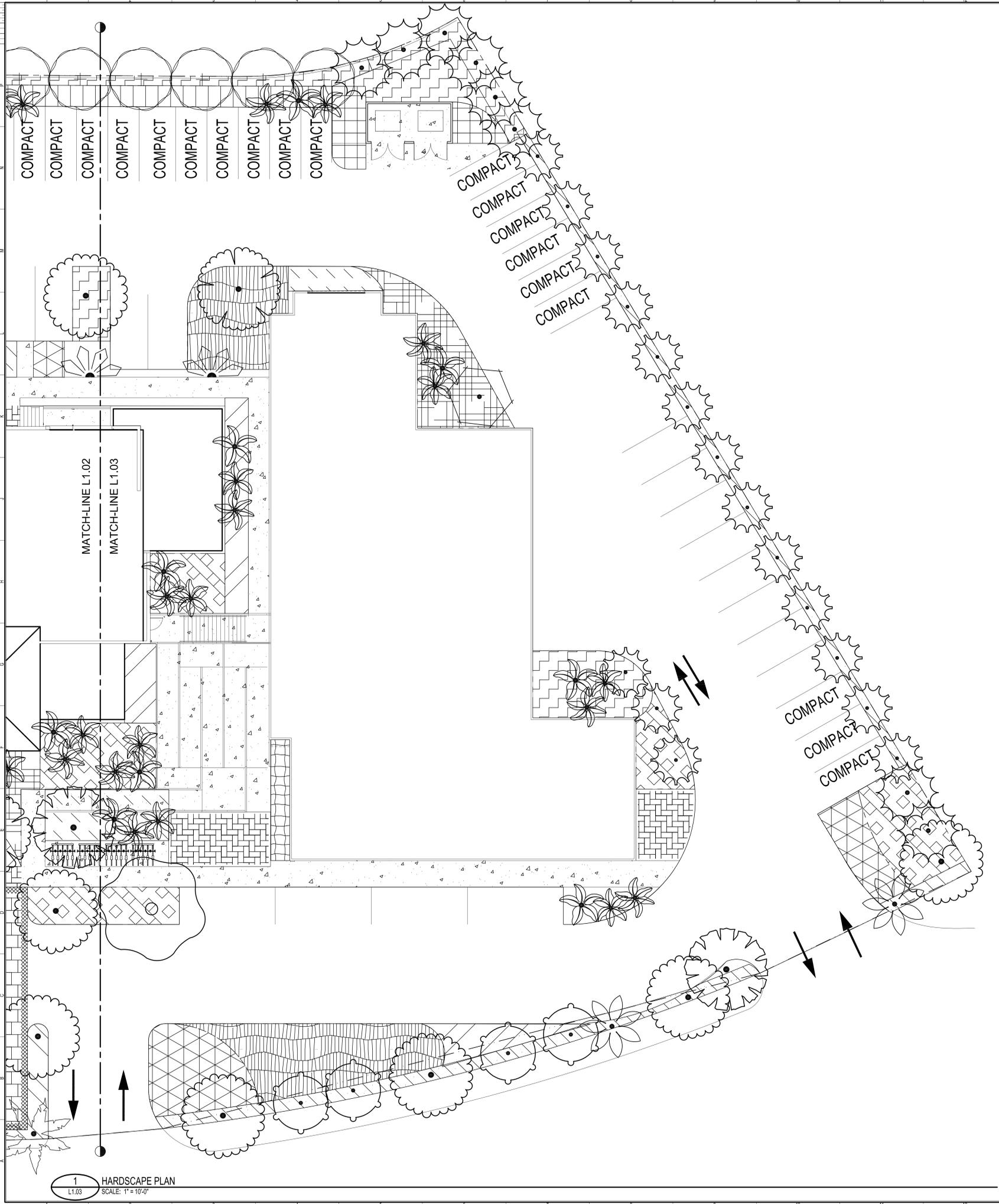
|                                    |             |
|------------------------------------|-------------|
| BOB NEAL                           | 20120295    |
| Principal/Designer                 | Project No. |
| MANNY DOMINGUEZ                    | 02/25/13    |
| Design Director                    | Date        |
| ANDRES RUBIO                       |             |
| Project Manager                    |             |
| T.JACK BAGBY                       |             |
| Project Architect                  |             |
| GARY WARNER                        |             |
| Director of Landscape Architecture |             |

L3.02



SCOPE DOCUMENTS  
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| ISSUANCES |                           |            |
|-----------|---------------------------|------------|
| No.       | Drawing Issue Description | Date       |
| 1         | SCHEMATIC DESIGN          | 12/17/2012 |
| 2         | DESIGN DEVELOPMENT        | 02/25/2013 |

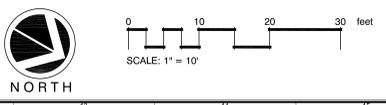


PLANT SCHEDULE

| TREES         | QTY      | BOTANICAL NAME                      | COMMON NAME          | TYPE                    | SIZE                  | REMARKS |
|---------------|----------|-------------------------------------|----------------------|-------------------------|-----------------------|---------|
|               | 6        | BURSERIA SIMARUBA                   | GUMBO LIMBO          | B&B OR FG               | 3" CAL, 13-15' HT     | NATIVE  |
|               | 18       | CONOCARPUS ERECTUS                  | BUTTONWOOD           | B&B OR FG               | 8-10' HT, MULTI-TRUNK | NATIVE  |
|               | 7        | CORDIA SEBESTENA                    | ORANGE GEIGER TREE   | B&B OR FG               | 8-10' HT.             | NATIVE  |
|               | 25       | EXISTING TREE TO REMAIN             |                      | NA                      | VARIES                |         |
|               | 30       | ILEX CASSINE                        | DAHOON HOLLY         | 25 GAL                  | 8-10' HT              | NATIVE  |
|               | 21       | ILEX VOMITORIA                      | YAUPON HOLLY         | B&B OR FG               | 6'-8' HT              | NATIVE  |
|               | 9        | MAGNOLIA VIRGINIANA                 | SWEET BAY            | B&B OR FG               | 10-12' HT             | NATIVE  |
|               | 47       | MYRICA CERIFERA                     | WAX MYRTLE           | FG                      | 10-12' HT             |         |
|               | 4        | SIMAROUBA GLAUCA                    | PARADISE TREE        | B&B OR FG               | 8-10' HT              | NATIVE  |
|               | 3        | SWIETENIA MAHAGONI                  | WEST INDIAN MAHOGANY | B&B OR FG               | 14-16' HT             | NATIVE  |
| PALM TREES    | QTY      | BOTANICAL NAME                      | COMMON NAME          | TYPE                    | SIZE                  | REMARKS |
|               | 15       | COCOS NUCIFERA                      | COCO NUT PALM        | FG                      | 12' CT                |         |
|               | 2        | PHOENIX DACTYLIFERA 'MEDJOL'        | DATE PALM            | FG                      | 10' CT                |         |
|               | 3        | PHOENIX RECLINATA                   | SENEGAL DATE PALM    | FG                      | MULTI-TRUNK 12-14' HT |         |
|               | 18       | RAVENALA MADAGASCARIENSIS           | TRAVELER'S TREE      | FG                      | 10'-12' HT            |         |
|               | 9        | ROYSTONIA ELATA                     | FLORIDA ROYAL PALM   | FG                      | 14' CT                | NATIVE  |
|               | 26       | SABAL PALMETTO                      | CABBAGE PALMETTO     | FG                      | 10' CT                | NATIVE  |
|               | 26       | SABAL PALMETTO                      | CABBAGE PALMETTO     | FG                      | 12' CT                | NATIVE  |
|               | 26       | SABAL PALMETTO                      | CABBAGE PALMETTO     | FG                      | 14' CT                | NATIVE  |
| SHRUB AREAS   | QTY      | BOTANICAL NAME                      | COMMON NAME          | CONT                    | REMARKS               |         |
|               | 495      | BLECHNUM SERRULATUM                 | SWAMP FERN           | 3 GAL 18-24" H@ 36" OC  |                       |         |
|               | 467      | CHRYSOBALANUS ICACO                 | COCO PLUM            | 3 GAL 18-24" H@ 36" OC  |                       |         |
|               | 433      | EXISTING SHRUB AREA                 | EXISTING SHRUB AREA  | 3 GAL@ 36" OC           |                       |         |
|               | 150      | IXORA COCCINEA                      | RED IXORA            | 3 GAL 18-24" H@ 30" OC  |                       |         |
|               | 284      | NEPHROLEPIS BISERRATA               | GIANT SWORDFERN      | 3 GAL 18-24" H@ 36" OC  |                       |         |
|               | 91       | PODOCARPUS MACROPHYLLUS             | YEW PINE             | 30 GAL 6' HT@ 72" OC    |                       |         |
|               | 16       | PSYCHOTRIA NERVOSA                  | WILD COFFEE          | 3 GAL 18-24" H@ 36" OC  |                       |         |
|               | 1,743    | SCHAEFFERIA FRUTESCENS              | FLORIDA BOXWOOD      | 1 GAL 12"H @ 12" OC     |                       |         |
|               | 271      | SERENOA REPENS                      | SAW PALMETTO         | 3 GAL 14-18" H @ 48" OC |                       |         |
|               | 2,132    | UNIOLA PANICULATA                   | SEA OATS             | 3 GAL@ 12" OC           |                       |         |
|               | 100      | ZAMIA FURFURACEA                    | CARDBOARD PALM       | 3 GAL 18-24" H@ 42" OC  |                       |         |
|               | 241      | ZAMIA PUMILA                        | COONTIE              | 3 GAL 12-14" H@ 36" OC  |                       |         |
| GROUND COVERS | QTY      | BOTANICAL NAME                      | COMMON NAME          | CONT                    | REMARKS               |         |
|               | 2,499    | BLECHNUM SERRULATUM                 | SWAMP FERN           | 1 GAL 12"X12" @ 12" OC  |                       |         |
|               | 556      | CRINUM AMERICANUM                   | SEVEN SISTERS        | 1 GAL 12"X12" @ 12" OC  |                       |         |
|               | 5,530 SF | STENOTAPHRUM SECUNDATUM             | ST. AUGUSTINE GRASS  | SOD                     |                       |         |
|               | 471      | TRADESCANTIA OHIENSIS 'MRS. LOEWER' | SPIDERWORT           | 1 GAL 12"X12" @ 12" OC  |                       |         |

NOTE:  
1. ALL TREES AND PALMS TO BE FLORIDA GRADE #1  
2. AN IRRIGATION PLAN WILL BE FORTHCOMING BY THE SECOND TREE COMMISSION REVIEW.

TREE PERMIT APPLICATION NOTES  
PALMS TO BE REPLACED:57  
NATIVE PALMS PLANTED:78  
NON NATIVE PALMS TO BE PLANTED:38  
CANOPY TREES TO BE REPLACED:17  
NATIVE CANOPY TREES TO BE PLANTED: 128  
NON-NATIVE CANOPY TREES TO BE PLANTED: 21  
EXISTING TREES TO REMAIN ON SITE:23



PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION HILTON GARDEN INN (SITE B)  
SHEET NUMBER: A2.01 - GROUND LEVEL FLOOR PLAN  
DATE: 02/25/13 12:28:38 PM  
DRAWING NO: 17 drawings and 7-1 revisions 20120295\_2011\_sit\_b\_hgl\_mdantiejf.rvt  
2/15/2013 12:28:38 PM

1 HARDSCAPE PLAN  
L1.03 SCALE: 1" = 10'-0"

KEY WEST HOTEL  
COLLECTION HILTON GARDEN  
INN (SITE B)

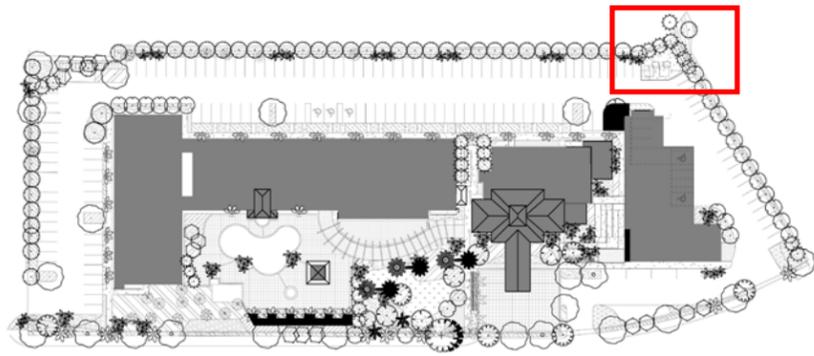
3850 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.

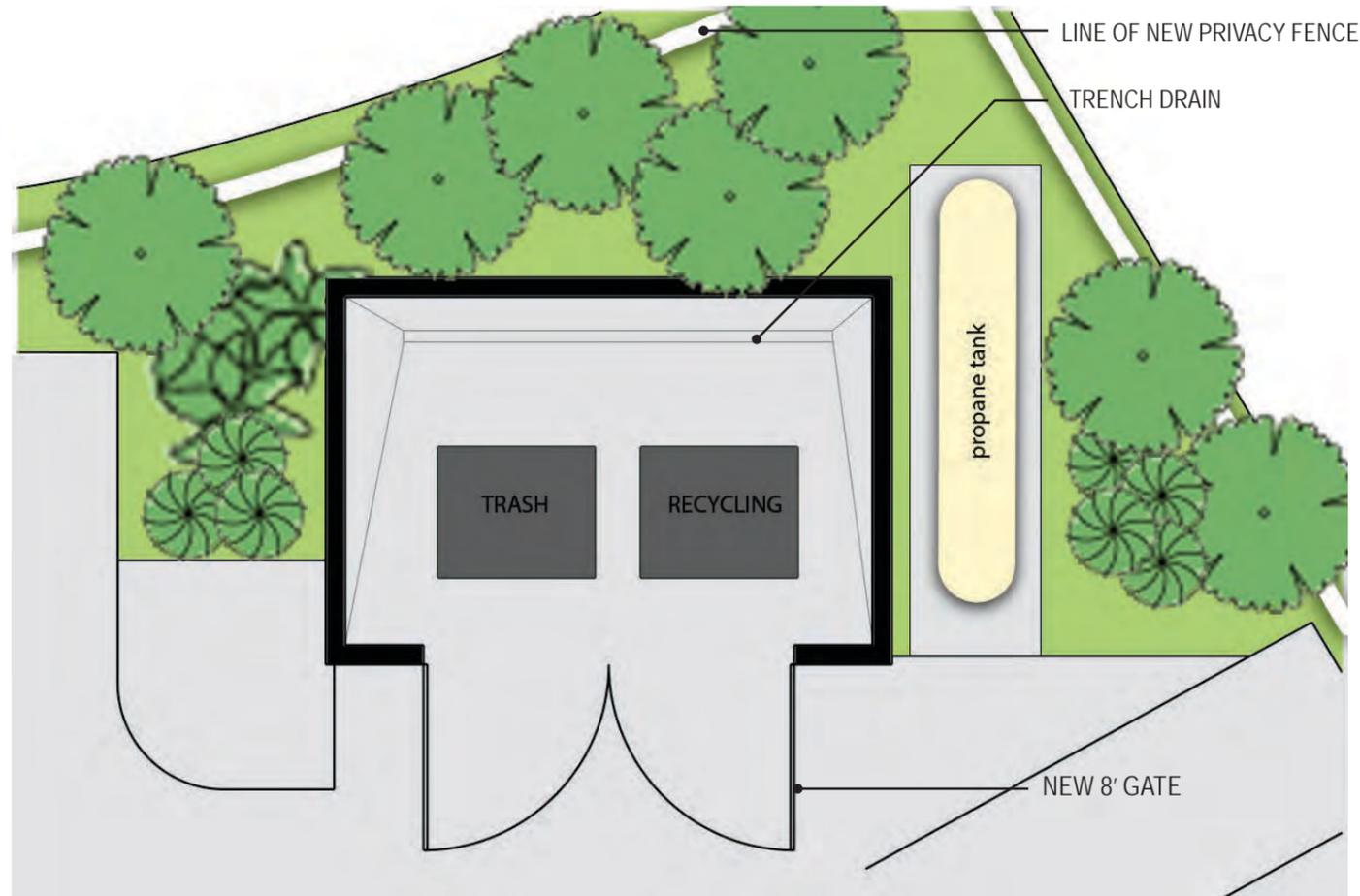
LANDSCAPE PLAN

|                                    |             |
|------------------------------------|-------------|
| BOB NEAL                           | 20120295    |
| Principal/Charge                   | Project No. |
| MANNY DOMINGUEZ                    | 02/25/13    |
| Design Director                    | Date        |
| ANDRES RUBIO                       |             |
| Project Manager                    |             |
| T.JACK BAGBY                       |             |
| Project Architect                  |             |
| GARY WARNER                        |             |
| Director of Landscape Architecture |             |

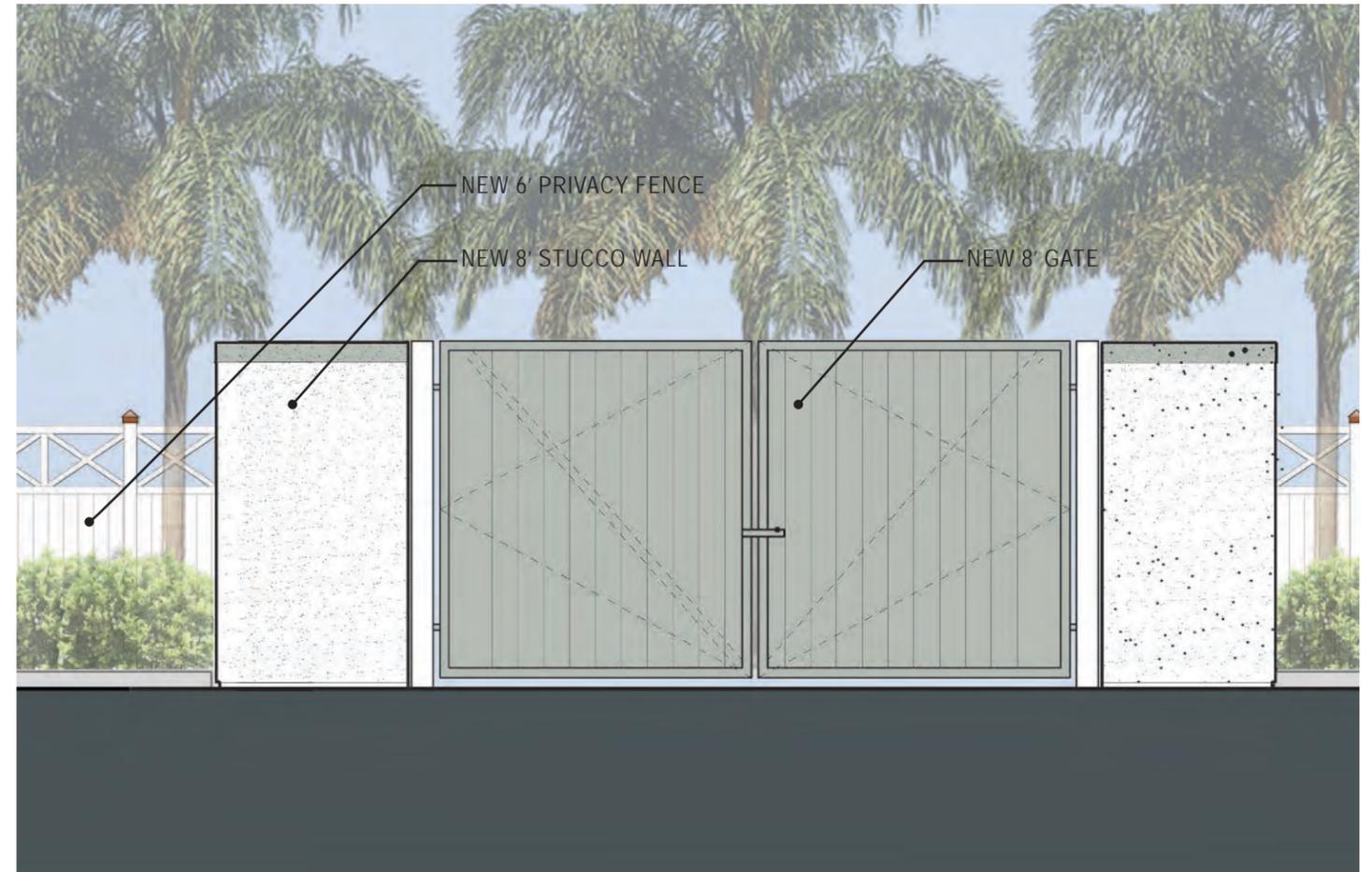
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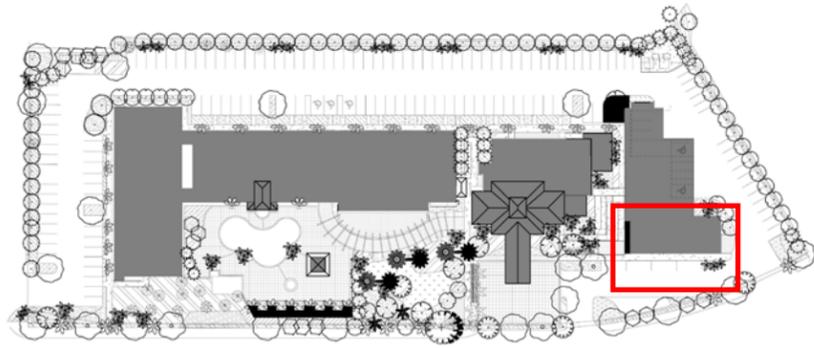
KEY PLAN



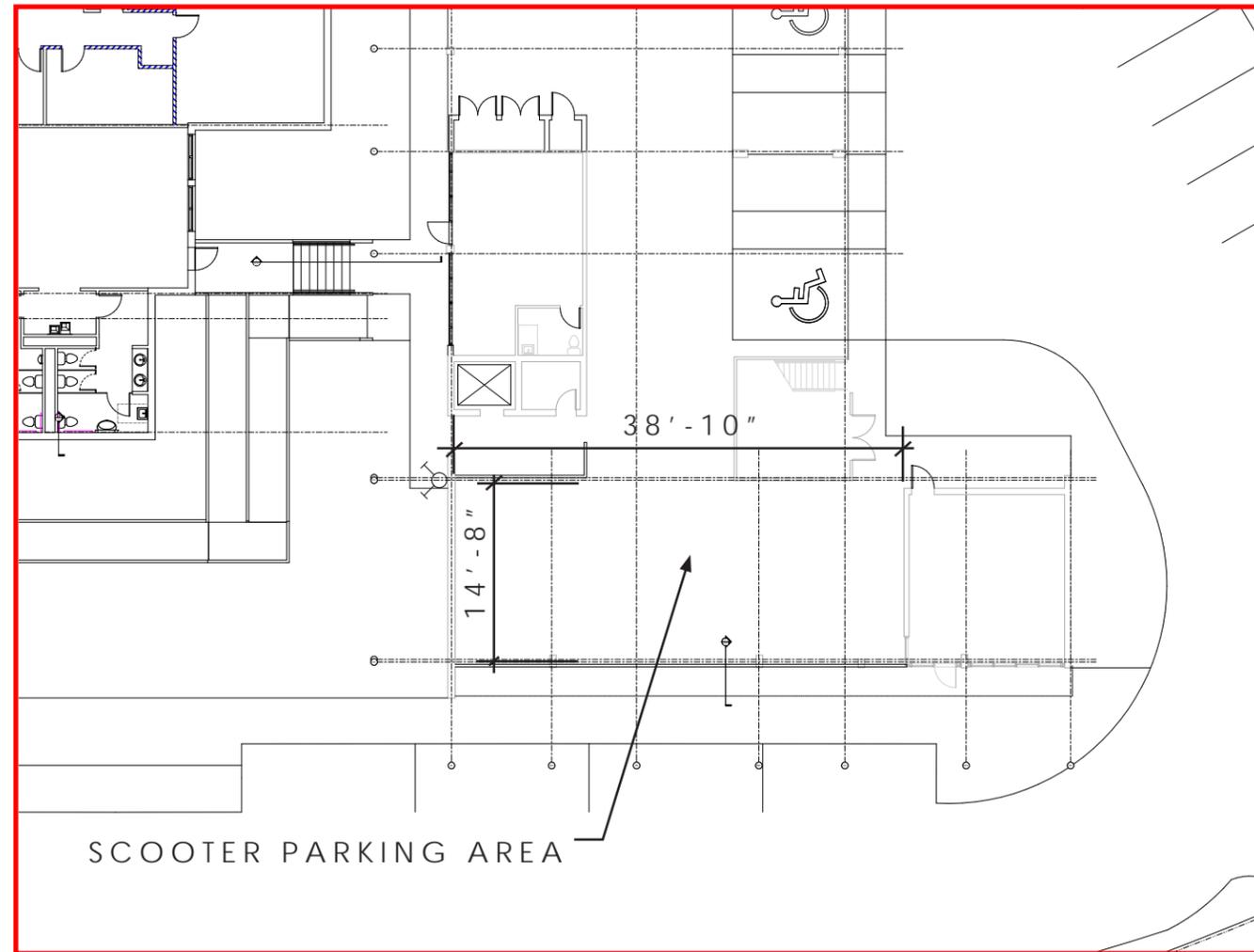
DUMPSTER ENCLOSURE - PLAN



DUMPSTER ENCLOSURE - ELEVATION



KEY PLAN



SCOOTER PARKING AREA

PROJECT N<sup>o</sup> 20120295.00 | REVISION N<sup>o</sup> 000 | DATE 03 06 2013

Notes

SCOOTER PARKING AREA

PAGE 1



KEY WEST HOTEL COLLECTION - TOWNEPLACE SUITES  
3850 North Roosevelt Blvd, Key West, Florida 33040

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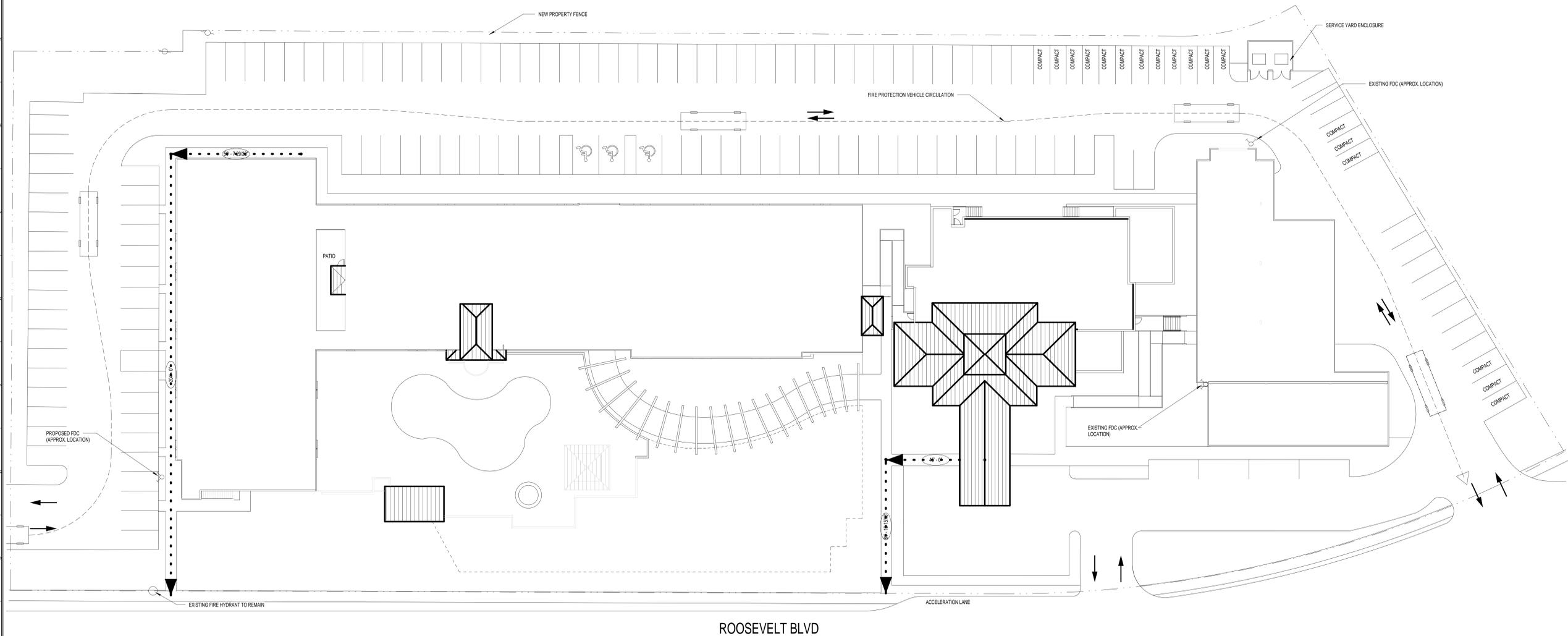




**SCOPE DOCUMENTS**  
The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

**ISSUANCES**

| No. | Drawing Issue Description | Date |
|-----|---------------------------|------|
|     |                           |      |



1 MEANS OF EGRESS SITE PLAN  
G1.01 SCALE: 1" = 20'-0"

**GENERAL NOTE:**  
ALL BUILDINGS (EXISTING AND NEW) TO HAVE FULLY AUTOMATIC FIRE SPRINKLER.

**MEANS OF EGRESS LEGEND**

|   |  |   |   |
|---|--|---|---|
| <p><b>WALL RATINGS</b></p> <p>1 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION</p> <p>2 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION</p> <p>3 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION</p> <p>4 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION</p> <p>SMOKE SEPARATION ASSEMBLY</p> | <p><b>DISTANCES</b></p> <p>COMMON PATH OF TRAVEL (XX FT. MAX)</p> <p>DEAD END CORRIDOR (XX FT. MAX)</p> <p>TRAVEL DISTANCE</p> <p>MAX DIAGONAL DISTANCE</p> <p>EXIT SEPARATION</p> | <p><b>LEVEL EXIT LOAD / CAPACITY</b></p> <p>LEVEL EXIT LOAD / CAPACITY @ DOORWAY</p> <p>LEVEL EXIT LOAD / CAPACITY @ CORRIDOR</p> <p>EXIT CAPACITY = (DOOR WIDTH - REDUCTION TO ACHIEVE CLEAR OPENING) X LOAD FACTOR</p> <p>EXIT CAPACITY = CLEAR OPENING X LOAD FACTOR</p> | <p><b>STAIR EXIT LOAD / CAPACITY</b></p> <p>MEASUREMENT OF MEANS OF EGRESS: THE WIDTH OF MEANS OF EGRESS SHALL BE MEASURED IN THE CLEAR AT THE NARROWEST POINT OF THE EGRESS COMPONENT UNDER CONSIDERATION PROJECTIONS WITHIN THE MEANS OF EGRESS IF NOT MORE THAN 4'12" IN STAIR (4' OTHERWISE) ON EACH SIDE SHALL BE PERMITTED AT A HEIGHT OF 36" AND BELOW.</p> <p>CLEAR EXIT WIDTH: FACE OF WALL TO FACE OF GUARD RAIL</p> <p>36" HIGH X 4" WIDE ALLOWABLE PROJECTION AREA ON EACH SIDE</p> <p>42" HIGH GUARD RAIL</p> <p>34" HIGH HANDRAIL LOCATED WITHIN PROJECTION AREA</p> <p>RAISED STRINGER, LOCATED WITHIN PROJECTION AREA</p> |
| <p><b>OCCUPANCY AREA LABELS</b></p> <p>AREA NAME</p> <p>150 SF</p> <p>FEC RECESSED FIRE EXTINGUISHER CABINET</p> <p>FE FIRE EXTINGUISHER</p> <p>FEC FIRE EXTINGUISHER CABINET ON POST</p>   | <p><b>PORTABLE EXTINGUISHER SYMBOLS</b></p> <p>FEC RECESSED FIRE EXTINGUISHER CABINET</p> <p>FE FIRE EXTINGUISHER</p> <p>FEC FIRE EXTINGUISHER CABINET ON POST</p>                 | <p>*REFERENCE 'MEASUREMENT OF MEANS OF EGRESS' UNDER STAIR EXIT CAPACITY</p>  | <p>STAIR EXIT LOAD / CAPACITY</p> <p>OCCUPANT LOAD</p> <p>EXIT CAPACITY</p>   |

PROJECT NUMBER: 20120295  
SHEET NUMBER: G1.01 - MEANS OF EGRESS SITE PLAN  
11/30/12 16:25:22 1844proj\2012\20120295-d-7 drawings\d-7-1 rev\120120295\_2011\_she\_b-hg\_central.rvt  
3/14/2013 10:35:42 AM

**KEY WEST HOTEL  
COLLECTION HILTON GARDEN  
INN (SITE B)**

3850 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.

**MEANS OF EGRESS SITE PLAN**

|                                    |                         |
|------------------------------------|-------------------------|
| BOB NEAL<br>Principal-in-Charge    | 20120295<br>Project No. |
| MANNY DOMINGUEZ<br>Design Director | 03/13/13<br>Date        |
| ANDRES RUBIO<br>Project Manager    |                         |
| Author                             |                         |
| Project Architect                  |                         |

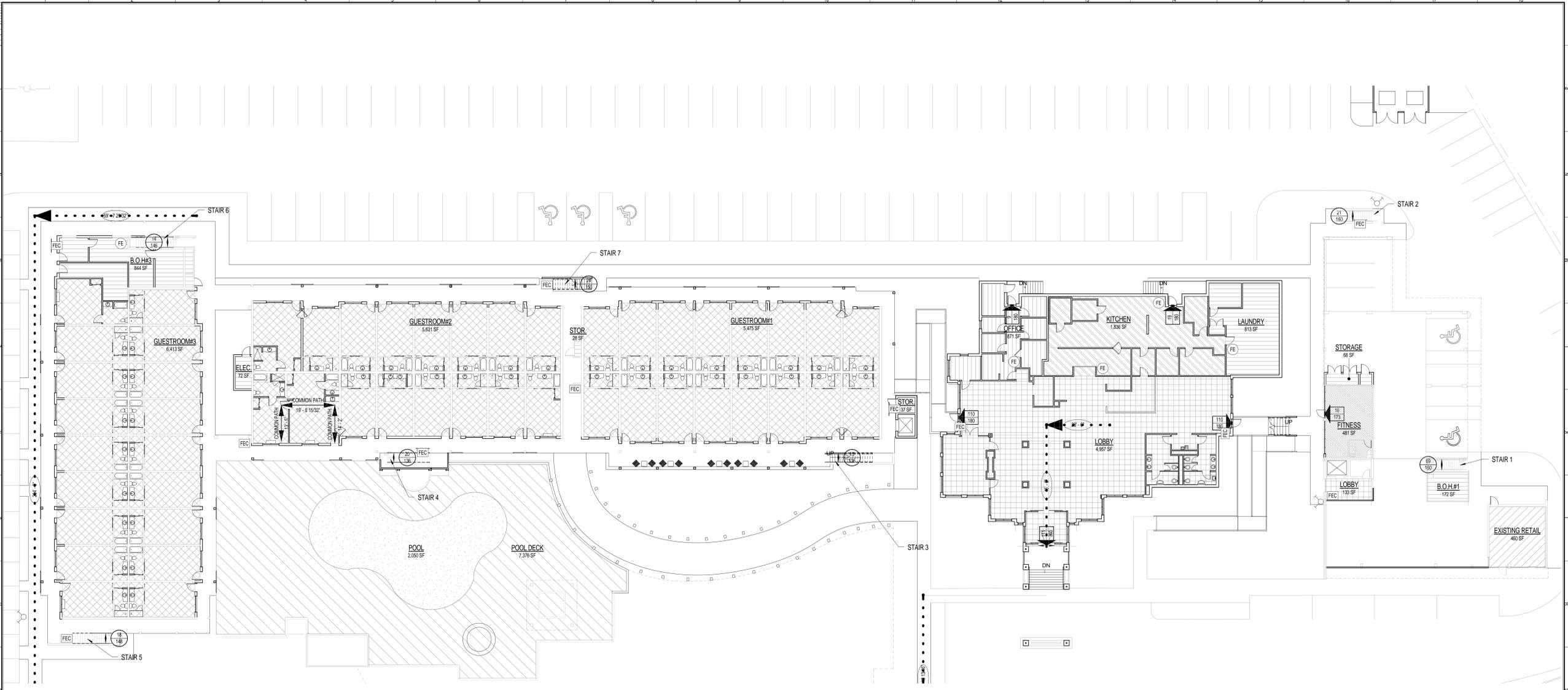
G1.01



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SCOPE DOCUMENTS
The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES table with columns: No., Drawing Issue Description, Date

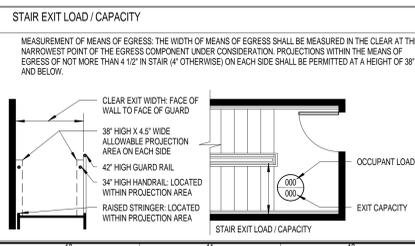
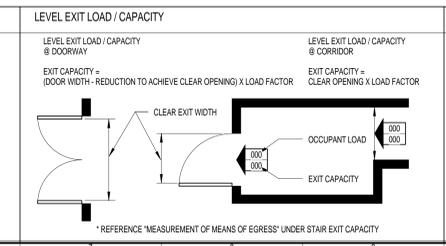
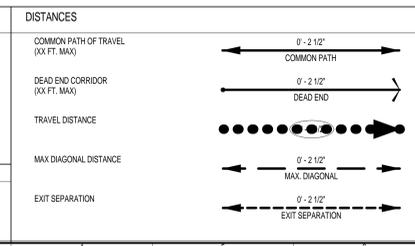
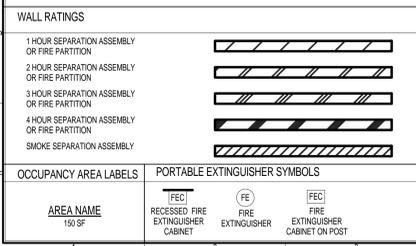


1 LEVEL 100
G2.01 SCALE: 1/16" = 1'-0"

MEANS OF EGRESS OCCUPANCY LEGEND

- Legend items: ASSEMBLY - EXERCISE ROOMS WITH EQUIPMENT, ASSEMBLY - KITCHENS, ASSEMBLY - LESS CONCENTRATED USE, W/O FIXED SEATING, ASSEMBLY - SWIMMING POOLS - DECK AREAS, ASSEMBLY - SWIMMING POOLS - WATER SURFACE, BUSINESS, MERCANTILE - SALES AREA ABOVE STREET FLOOR, RESIDENTIAL - HOTELS AND DORMITORIES, STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES

MEANS OF EGRESS LEGEND



GENERAL NOTE: ALL BUILDINGS (EXISTING AND NEW) TO HAVE FULLY AUTOMATIC FIRE SPRINKLER.

EXIT CAPACITY: FLOOR LEVEL 1 table with columns: STAIR EXITS, STAIR NO., STAIR CAPACITY, DOOR CAPACITY, GOVERNING CAPACITY, OCCUPANT LOAD @ STAIR EXIT

NFPA 101 LSC - OCCUPANCY LOAD SCHEDULE LEVEL 1 table with columns: NAME, OCCUPANT USE GROUP, AREA, OCC. LOAD FACTOR, SOFT TYPE, FIXED OCC. LOAD, OCCUPANT LOAD

PROJECT NUMBER: 20120295; PROJECT NAME: KEY WEST HOTEL COLLECTION HILTON GARDEN INN (SITE B); SHEET NUMBER: G2.01 - MEANS OF EGRESS PLAN - LEVEL 1

KEY WEST HOTEL COLLECTION HILTON GARDEN INN (SITE B)

3850 North Roosevelt Boulevard Key West, Florida 33040

J.L. Woode Ltd.

MEANS OF EGRESS PLAN - LEVEL 1

Project information table with columns: Name, Title, Date

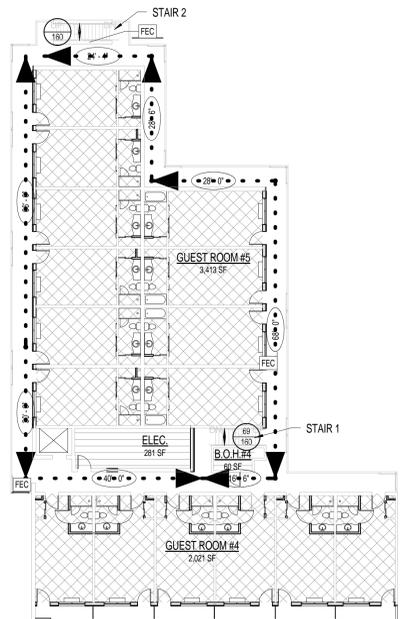
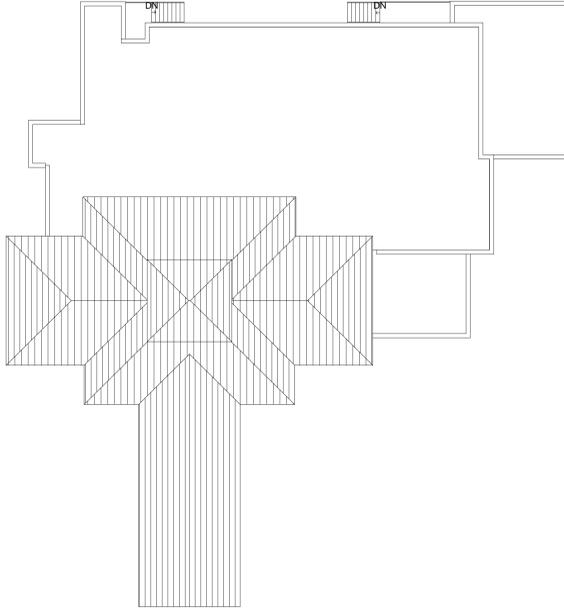
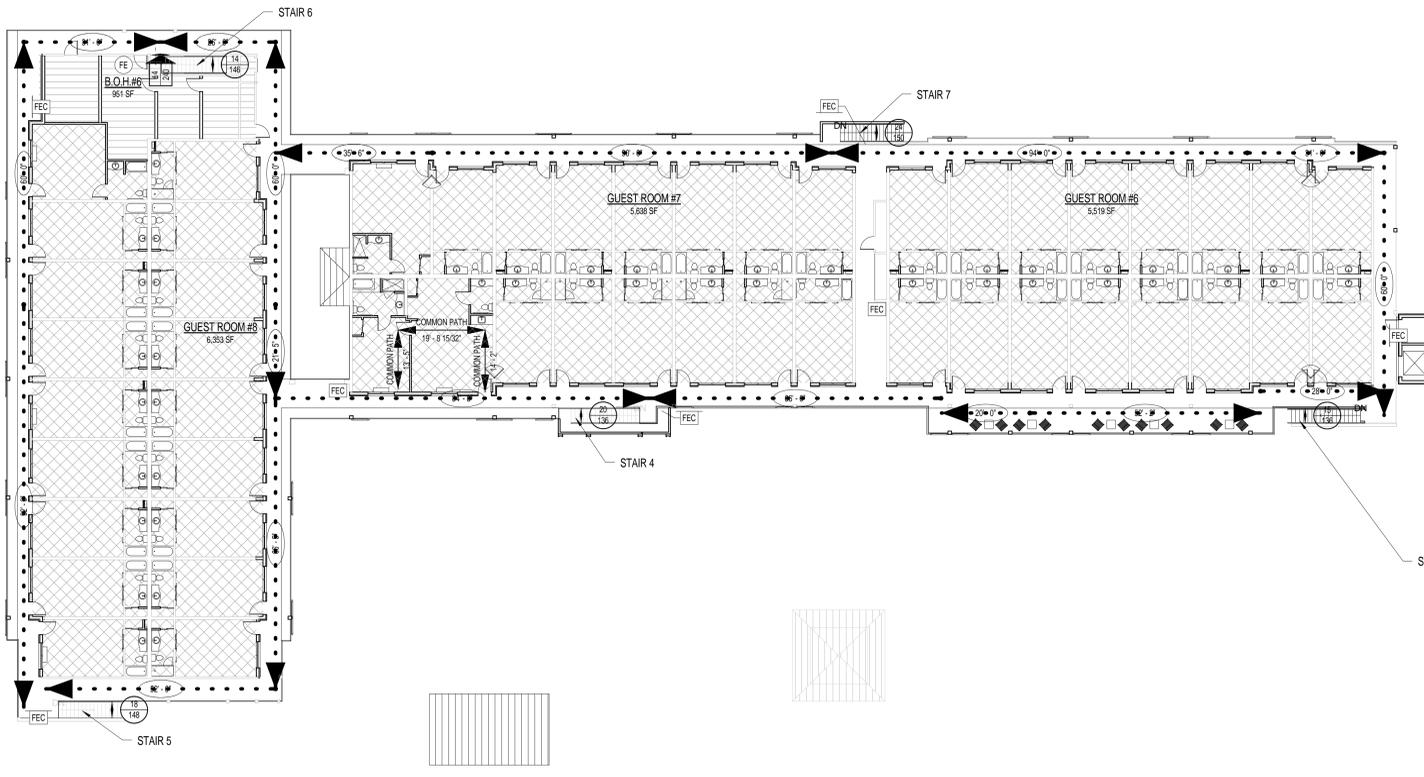
G2.01



SCOPE DOCUMENTS

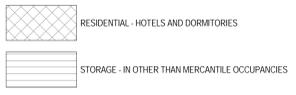
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| ISSUANCES |                           |            |
|-----------|---------------------------|------------|
| No.       | Drawing Issue Description | Date       |
|           | DESIGN DEVELOPMENT        | 02/25/2013 |



1 LEVEL 200  
G2.02 SCALE: 1/16" = 1'-0"

MEANS OF EGRESS OCCUPANCY LEGEND



GENERAL NOTE:  
ALL BUILDINGS (EXISTING AND NEW) TO HAVE FULLY AUTOMATIC FIRE SPRINKLER.

MEANS OF EGRESS LEGEND

| WALL RATINGS                                 | PORTABLE EXTINGUISHER SYMBOLS                |
|--|--|
| 1 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION | [Symbol: RECESSED FIRE EXTINGUISHER CABINET] |
| 2 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION | [Symbol: FIRE EXTINGUISHER]                  |
| 3 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION | [Symbol: FIRE EXTINGUISHER CABINET ON POST]  |
| 4 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION |  |
| SMOKE SEPARATION ASSEMBLY                    |  |
| OCCUPANCY AREA LABELS                        |  |
| AREA NAME<br>150 SF                          |  |

| DISTANCES                          |
|------------------------------------|
| COMMON PATH OF TRAVEL (XX FT. MAX) |
| DEAD END CORRIDOR (XX FT. MAX)     |
| TRAVEL DISTANCE                    |
| MAX DIAGONAL DISTANCE              |
| EXIT SEPARATION                    |

| LEVEL EXIT LOAD / CAPACITY  |
|---|
| LEVEL EXIT LOAD / CAPACITY @ DOORWAY  |
| LEVEL EXIT LOAD / CAPACITY @ CORRIDOR   |
| EXIT CAPACITY = (DOOR WIDTH - REDUCTION TO ACHIEVE CLEAR OPENING) X LOAD FACTOR |
| EXIT CAPACITY = CLEAR OPENING X LOAD FACTOR                                     |

| STAIR EXIT LOAD / CAPACITY   |
|--|
| MEASUREMENT OF MEANS OF EGRESS: THE WIDTH OF MEANS OF EGRESS SHALL BE MEASURED IN THE CLEAR AT THE NARROWEST POINT OF THE EGRESS COMPONENT UNDER CONSIDERATION. PROJECTIONS WITHIN THE MEANS OF EGRESS OF NOT MORE THAN 4 1/2" IN STAIR (4" OTHERWISE) ON EACH SIDE SHALL BE PERMITTED AT A HEIGHT OF 38" AND BELOW. |
| 38" HIGH X 4.5" WIDE ALLOWABLE PROJECTION AREA ON EACH SIDE  |
| 42" HIGH GUARD RAIL  |
| 34" HIGH HANDRAIL LOCATED WITHIN PROJECTION AREA   |
| RAISED STRINGER: LOCATED WITHIN PROJECTION AREA  |

EXIT CAPACITY: FLOOR LEVEL 2

| STAIR EXITS: EGRESS WIDTH (inches per occupant) | STAIR CAPACITY (0.30) | DOOR CAPACITY (0.20) | GOVERNING CAPACITY | OCCUPANT LOAD @ STAIR EXIT |
|---|-----------------------|----------------------|--------------------|----------------------------|
| STAIR NO. 1                                     | 160                   | NA                   | ?                  | 69                         |
| STAIR NO. 2                                     | 160                   | NA                   | ?                  | 21                         |
| STAIR NO. 3                                     | 136                   | NA                   | ?                  | 15                         |
| STAIR NO. 4                                     | 136                   | NA                   | ?                  | 20                         |
| STAIR NO. 5                                     | 146                   | 240                  | ?                  | 14                         |
| STAIR NO. 6                                     | 150                   | NA                   | ?                  | 24                         |

NFPA 101 LSC - OCCUPANCY LOAD SCHEDULE LEVEL 2

| NAME          | OCCUPANT USE GROUP (LSC TABLE 7.3.1.2)         | AREA     | OCC. LOAD FACTOR | SOFT TYPE | FIXED OCC. LOAD | OCCUPANT LOAD |
|---------------|--|----------|------------------|-----------|-----------------|---------------|
| GUEST ROOM #5 | RESIDENTIAL - HOTELS AND DORMITORIES           | 3,413 SF | 200              | GROSS     |                 | 18            |
| GUEST ROOM #4 | RESIDENTIAL - HOTELS AND DORMITORIES           | 2,021 SF | 200              | GROSS     |                 | 11            |
| GUEST ROOM #6 | RESIDENTIAL - HOTELS AND DORMITORIES           | 5,519 SF | 200              | GROSS     |                 | 28            |
| GUEST ROOM #7 | RESIDENTIAL - HOTELS AND DORMITORIES           | 5,638 SF | 200              | GROSS     |                 | 29            |
| GUEST ROOM #8 | RESIDENTIAL - HOTELS AND DORMITORIES           | 6,353 SF | 200              | GROSS     |                 | 32            |
| ELEC.         | STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES | 281 SF   | 500              | GROSS     |                 | 1             |
| B.O.H.#4      | STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES | 40 SF    | 500              | GROSS     |                 | 1             |
| B.O.H.#6      | STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES | 95 SF    | 500              | GROSS     |                 | 2             |

KEY WEST HOTEL COLLECTION HILTON GARDEN INN (SITE B)

3850 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.

MEANS OF EGRESS PLAN - LEVEL 2

|                     |             |
|---------------------|-------------|
| Designer            | 20120295    |
| Principal-in-Charge | Project No. |
| Approver            | 09/07/11    |
| Project Manager     | Date        |
| Checker             |             |
| Project Architect   |             |
| Author              |             |
| Staff Architect     |             |

G2.02

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION HILTON GARDEN INN (SITE B)  
 SHEET NUMBER: G2.02 - MEANS OF EGRESS PLAN - LEVEL 2  
 \1\92\_168\_252\_184\proj\2012\0120295-d-7 drawings\d-7-1 rev\0120120295\_2011\_site\_b-hgi\_central.rvt  
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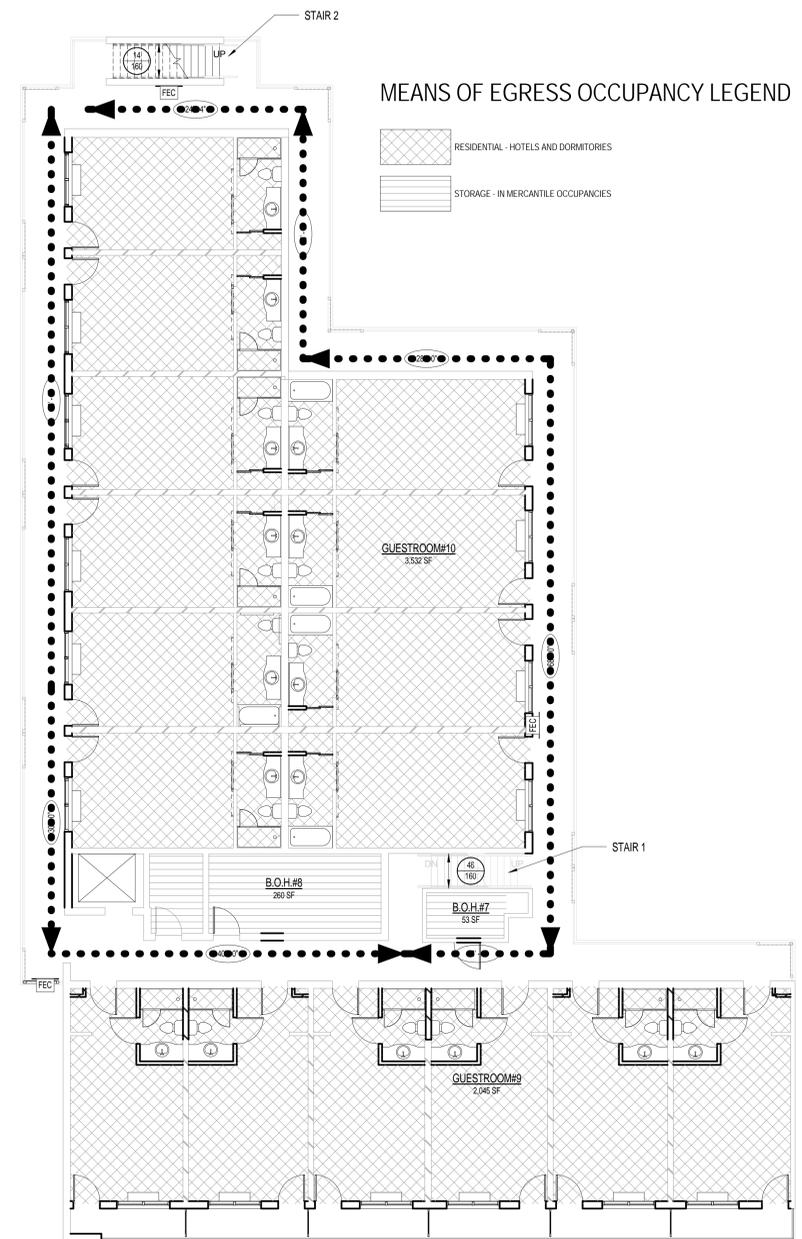


SCOPE DOCUMENTS

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ISSUANCES

| No. | Drawing Issue Description | Date       |
|-----|---------------------------|------------|
|     | DESIGN DEVELOPMENT        | 02/25/2013 |

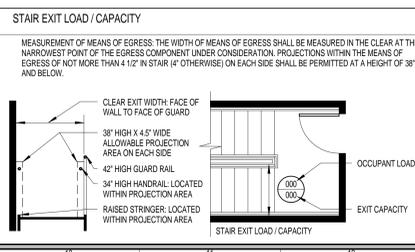
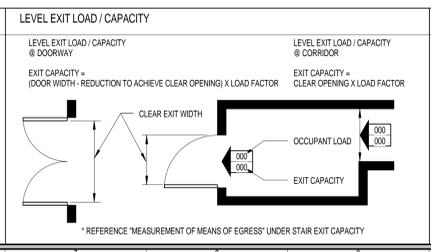
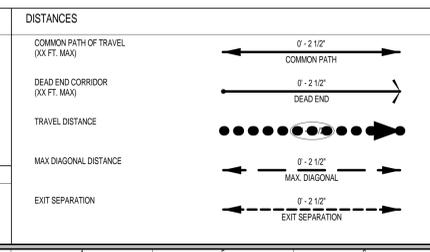


1 LEVEL 300  
G2.03 SCALE: 1/8" = 1'-0"

GENERAL NOTE:  
ALL BUILDINGS (EXISTING AND NEW) TO HAVE FULLY AUTOMATIC FIRE SPRINKLER.

MEANS OF EGRESS LEGEND

| WALL RATINGS                                 | DISTANCES                          |
|--|------------------------------------|
| 1 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION | COMMON PATH OF TRAVEL (XX FT. MAX) |
| 2 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION | DEAD END CORRIDOR (XX FT. MAX)     |
| 3 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION | TRAVEL DISTANCE                    |
| 4 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION | MAX DIAGONAL DISTANCE              |
| SMOKE SEPARATION ASSEMBLY                    | EXIT SEPARATION                    |



EXIT CAPACITY: FLOOR LEVEL 3

| STAIR NO.   | STAIR CAPACITY (0.30) | DOOR CAPACITY (0.25) | GOVERNING CAPACITY | OCCUPANT LOAD @ STAIR EXIT |
|-------------|-----------------------|----------------------|--------------------|----------------------------|
| STAIR NO. 1 | 160                   | NA                   | ?                  | 46                         |
| STAIR NO. 2 | 160                   | NA                   | ?                  | 14                         |

NFPA 101 LSC - OCCUPANCY LOAD SCHEDULE LEVEL 3

| NAME         | OCCUPANT USE GROUP (LSC TABLE 7.3.1.2) | AREA     | OCC. LOAD FACTOR | SOFT TYPE | FIXED OCC. LOAD | OCCUPANT LOAD |
|--------------|--|----------|------------------|-----------|-----------------|---------------|
| GUESTROOM#9  | RESIDENTIAL - HOTELS AND DORMITORIES   | 2,045 SF | 200              | GROSS     |                 | 11            |
| B.O.H.#7     | STORAGE - IN MERCANTILE OCCUPANCIES    | 53 SF    | 300              | GROSS     |                 | 1             |
| B.O.H.#8     | STORAGE - IN MERCANTILE OCCUPANCIES    | 260 SF   | 300              | GROSS     |                 | 18            |
| GUESTROOM#10 | RESIDENTIAL - HOTELS AND DORMITORIES   | 3,532 SF | 200              | GROSS     |                 | 18            |

KEY WEST HOTEL COLLECTION HILTON GARDEN INN (SITE B)

3850 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.

MEANS OF EGRESS PLAN - LEVEL 3

|                     |             |
|---------------------|-------------|
| BOB NEAL            | 20120295    |
| Principal-in-Charge | Project No. |
| MANNY DOMINGUEZ     | 12/18/12    |
| Project Manager     | Date        |
| ANDRES RUBIO        |             |
| Project Architect   |             |
| T. JACK BAGBY       |             |
| Staff Architect     |             |

G2.03

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION HILTON GARDEN INN (SITE B)  
 SHEET NUMBER: G2.03 - MEANS OF EGRESS PLAN - LEVEL 3  
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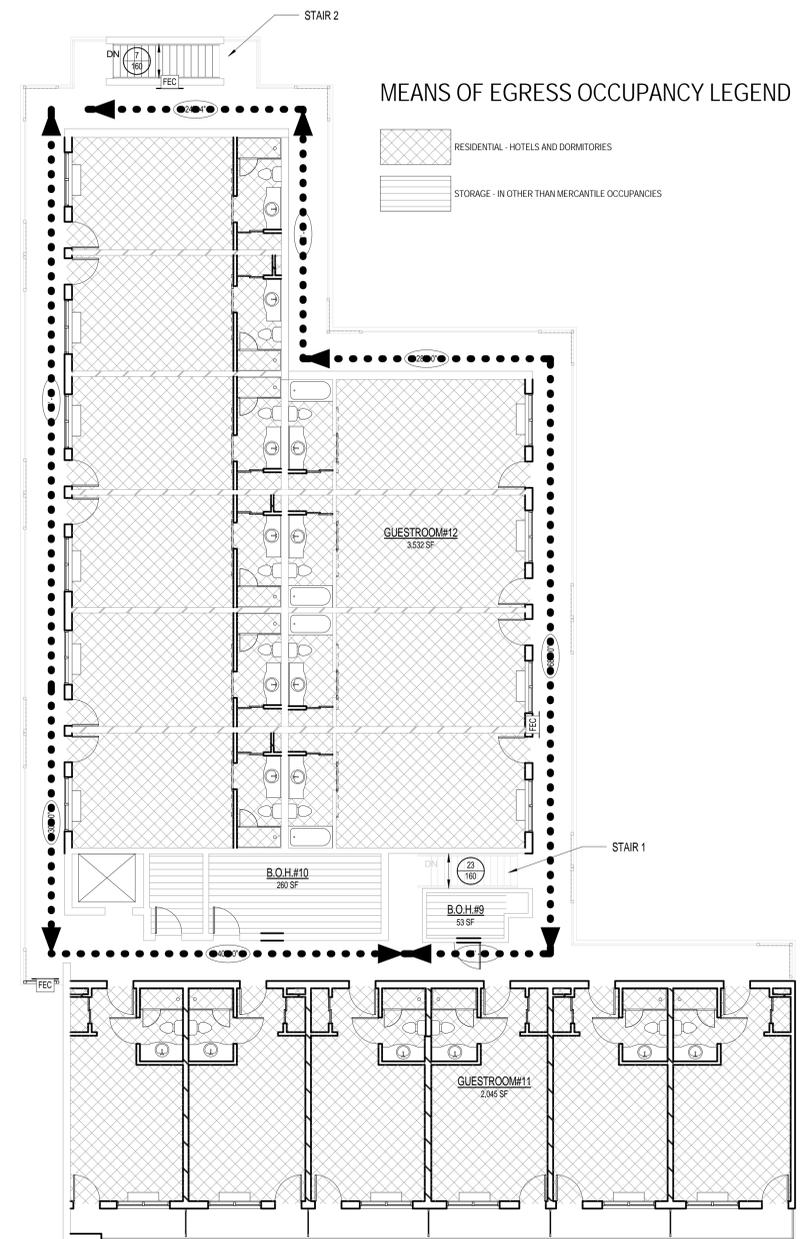
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SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES

| No. | Drawing Issue Description | Date       |
|-----|---------------------------|------------|
|     | DESIGN DEVELOPMENT        | 02/25/2013 |



1 LEVEL 400  
G2.04 SCALE: 1/8" = 1'-0"

GENERAL NOTE:  
ALL BUILDINGS (EXISTING AND NEW) TO HAVE FULLY AUTOMATIC FIRE SPRINKLER.

KEY WEST HOTEL  
COLLECTION HILTON GARDEN  
INN (SITE B)

3850 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.

MEANS OF EGRESS PLAN -  
LEVEL 4

MEANS OF EGRESS LEGEND

| WALL RATINGS                                 | PORTABLE EXTINGUISHER SYMBOLS          |
|--|--|
| 1 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION | FEC RECESSED FIRE EXTINGUISHER CABINET |
| 2 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION | FE FIRE EXTINGUISHER                   |
| 3 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION | FEC FIRE EXTINGUISHER CABINET ON POST  |
| 4 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION |  |
| SMOKE SEPARATION ASSEMBLY                    |  |
| OCCUPANCY AREA LABELS                        | PORTABLE EXTINGUISHER SYMBOLS          |
| AREA NAME<br>150 SF                          |  |

| DISTANCES   |
|---|
| COMMON PATH OF TRAVEL (XX FT. MAX)<br>COMMON PATH |
| DEAD END CORRIDOR (XX FT. MAX)<br>DEAD END        |
| TRAVEL DISTANCE                                   |
| MAX DIAGONAL DISTANCE<br>MAX. DIAGONAL            |
| EXIT SEPARATION<br>EXIT SEPARATION                |

| LEVEL EXIT LOAD / CAPACITY   |
|--|
| LEVEL EXIT LOAD / CAPACITY @ DOORWAY<br>LEVEL EXIT LOAD / CAPACITY @ CORRIDOR  |
| EXIT CAPACITY = DOOR WIDTH - REDUCTION TO ACHIEVE CLEAR OPENING X LOAD FACTOR<br>EXIT CAPACITY = CLEAR OPENING X LOAD FACTOR |
| Diagram showing occupant load and exit capacity under a doorway.   |

| STAIR EXIT LOAD / CAPACITY   |
|--|
| MEASUREMENT OF MEANS OF EGRESS: THE WIDTH OF MEANS OF EGRESS SHALL BE MEASURED IN THE CLEAR AT THE NARROWEST POINT OF THE EGRESS COMPONENT UNDER CONSIDERATION. PROJECTIONS WITHIN THE MEANS OF EGRESS OF NOT MORE THAN 4 1/2" IN STAIR (IF OTHERWISE) ON EACH SIDE SHALL BE PERMITTED AT A HEIGHT OF 38" AND BELOW. |
| Diagram showing stair exit load/capacity with clearances and guardrails.   |

EXIT CAPACITY: FLOOR LEVEL 4

| STAIR EXITS: (IBC TABLE 1005.1 OR LSC TABLE 7.3.3.1) | STAIR CAPACITY (0.30) | DOOR CAPACITY (0.20) | GOVERNING CAPACITY | OCCUPANT LOAD @ STAIR EXIT |
|--|-----------------------|----------------------|--------------------|----------------------------|
| STAIR NO. 1  | 160                   | NA                   | ?                  | 23                         |
| STAIR NO. 2  | 160                   | NA                   | ?                  | 7                          |

NFPA 101 LSC - OCCUPANCY LOAD SCHEDULE LEVEL 4

| NAME         | OCCUPANT USE GROUP (LSC TABLE 7.3.1.2)         | AREA     | OCC. LOAD FACTOR | SOFT TYPE | FIXED OCC. LOAD | OCCUPANT LOAD |
|--------------|--|----------|------------------|-----------|-----------------|---------------|
| GUESTROOM#12 | RESIDENTIAL - HOTELS AND DORMITORIES           | 3,532 SF | 200              | GROSS     |                 | 18            |
| GUESTROOM#11 | RESIDENTIAL - HOTELS AND DORMITORIES           | 2,045 SF | 200              | GROSS     |                 | 11            |
| B.O.H.#9     | STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES | 53 SF    | 500              | GROSS     |                 | 1             |
| B.O.H.#10    | STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES | 260 SF   | 500              | GROSS     |                 | 1             |
|              |  |          |                  |           |                 | 31            |

|                                    |          |
|------------------------------------|----------|
| BOB NEAL<br>Principal-in-Charge    | 20120295 |
| MANNY DOMINGUEZ<br>Project Manager | 12/18/12 |
| ANDRES RUBIO<br>Project Architect  |          |
| T. JACK BAGBY<br>Staff Architect   |          |

G2.04

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION HILTON GARDEN INN (SITE B)  
SHEET NUMBER: G2.04 - MEANS OF EGRESS PLAN - LEVEL 4  
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