



Historic Architectural Review Commission Staff Report for Item 2

To: Chairman Haven Burkee and Historic Architectural Review
Commission Members

From: Enid Torregrosa-Silva, MSHP
Historic Preservation Planner

Meeting Date: September 26, 2023

Applicant: Inocente Santiago, Owner

Application Number: H2021-0048

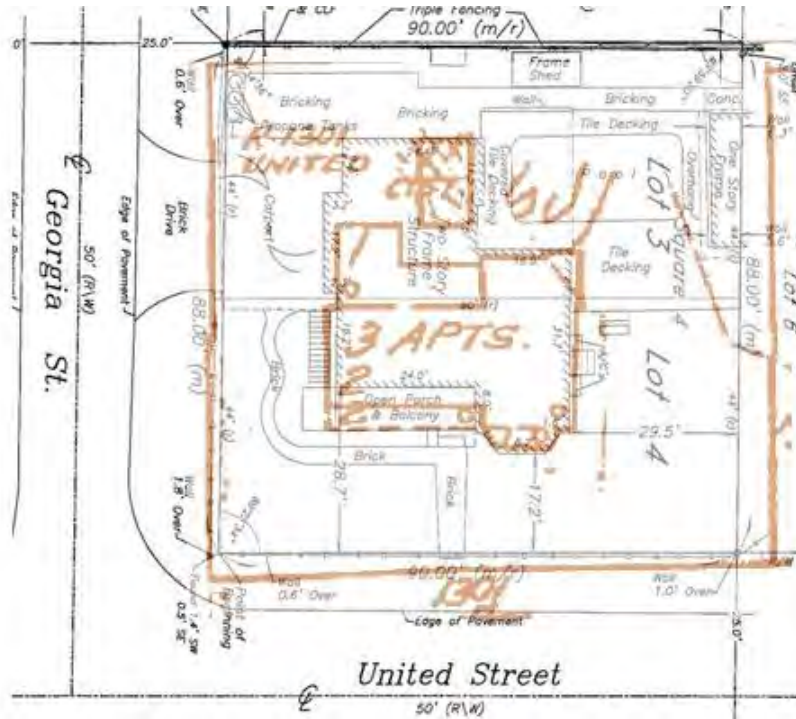
Address: 1301 United Street

Description of Work:

New one-story wood frame addition to southeast side of residence.

Site Facts:

The property under review contains a two-story wood frame structure located in the east corner of United and Georgia streets. The apartments building locate towards the east side of the parcel is a two-story structure. The principal building is listed as a contributing resource to the historic district. The frame vernacular house was built circa 1899 as a single-family home. By 1962 the Sanborn map depicts the house as a three apartments structure, as it is today. Some changes to the house include rear additions, rear porch, side street carport, and exterior staircases on the west elevation. A pool at the rear of the property is partially covered under a non-historic porch. The house has a distinctive bay window facing United Street, which is part of the original building form.



1962 Sanborn map over current survey.



1301 United Street circa 1965. Monroe County Library.

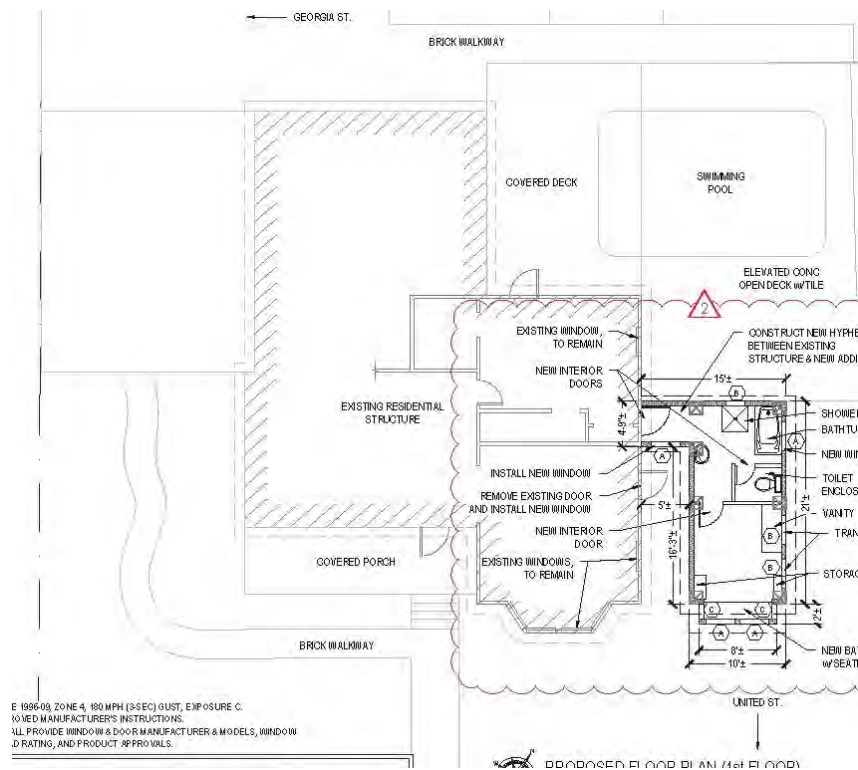
This project was included on the September 28, 2021, HARC public meeting but requested to be postponed by staff as at the time the project required Planning Board approval for exceeding impervious surface ratio. In the last weeks the applicant has revised plans and submitted a new design. The project meets current planning regulations.

Guidelines Cited on Review:

- Additions and alterations (pages 37a-37k), specifically guidelines 1, 5, 6, 11, 12, 13, 14, 19, 22, 23, 30, and 31.
- New Construction (pages 38a- 38q), specifically guidelines 1, 2, 3, 5, 6, 11, 12, 18, 22, 23, 24, and 25.

Staff Analysis:

The Certificate of Appropriateness under review proposes the addition of a one-story structure attached to the principal building through a small connector. As the owners need more interior space, the site does not provide any other area to expand the footprint of the house without removing required parking area. The new attached addition will be visible from United Street, but setback approximately three feet from the historic house's front façade. The new building will have a front gable roof with a squared bay window on the front covered with a hip roof. The structure will have a maximum height of approximately 15'- 6" from grade and will be build over concrete footers. The addition will be connected to the principal house by converting the second last window into a door. The addition will have no doors to the exterior and all new six over six windows will be aluminum units. The new design includes wood lap siding and 5 V-crimp as the roofing material.



Site plan with proposed addition.



6 EXISTING ELEVATION VIEW - SOUTH
SCALE: 1/8" = 1'-0"



Existing and proposed main façade.

Consistency with Cited Guidelines:

Staff finds the proposal to be consistent with cited guidelines. Although the proposed addition will be visible from the street it will be attached to a secondary elevation. Character defining features of the historic building will not be altered, obscured, or jeopardize with the new proposal. It is staff’s opinion that the addition will be harmonious with the principal structure and surrounding historic buildings. The scale, mass and proportions of the addition and connector will not outshine the historic house or surrounding buildings.

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$463.05 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 10/02/2022 ET



City of Key West
1300 White Street
Key West, Florida 33040

HARC COA # A 2021-0048	REVISION #	INITIAL & DATE <i>ef</i>
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:	1301 United St, Key West FL 33040	
NAME ON DEED:	Inocente Santiago, Jr.	PHONE NUMBER 305-304-6063
OWNER'S MAILING ADDRESS:	1301 United St Key West, FL 33040	EMAIL Sandy@kw@aol.com
APPLICANT NAME:	Inocente Santiago Jr.	PHONE NUMBER
APPLICANT'S ADDRESS:		EMAIL
APPLICANT'S SIGNATURE:	<i>[Signature]</i>	DATE 8.30.2023

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS___ RELOCATION OF A STRUCTURE___ ELEVATION OF A STRUCTURE___
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES NO___ INVOLVES A HISTORIC STRUCTURE: YES NO___
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES___ NO

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.
GENERAL: Construct a 222 ± SF addition for a new bathroom and closet / sitting room. Addition will be located on SE corner of existing residence, approx 12' high. Wood frame construction with 5V crimp and architectural metal shingles to match existing. Wood lap siding to match
MAIN BUILDING: Existing, using existing material where possible.
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
 PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

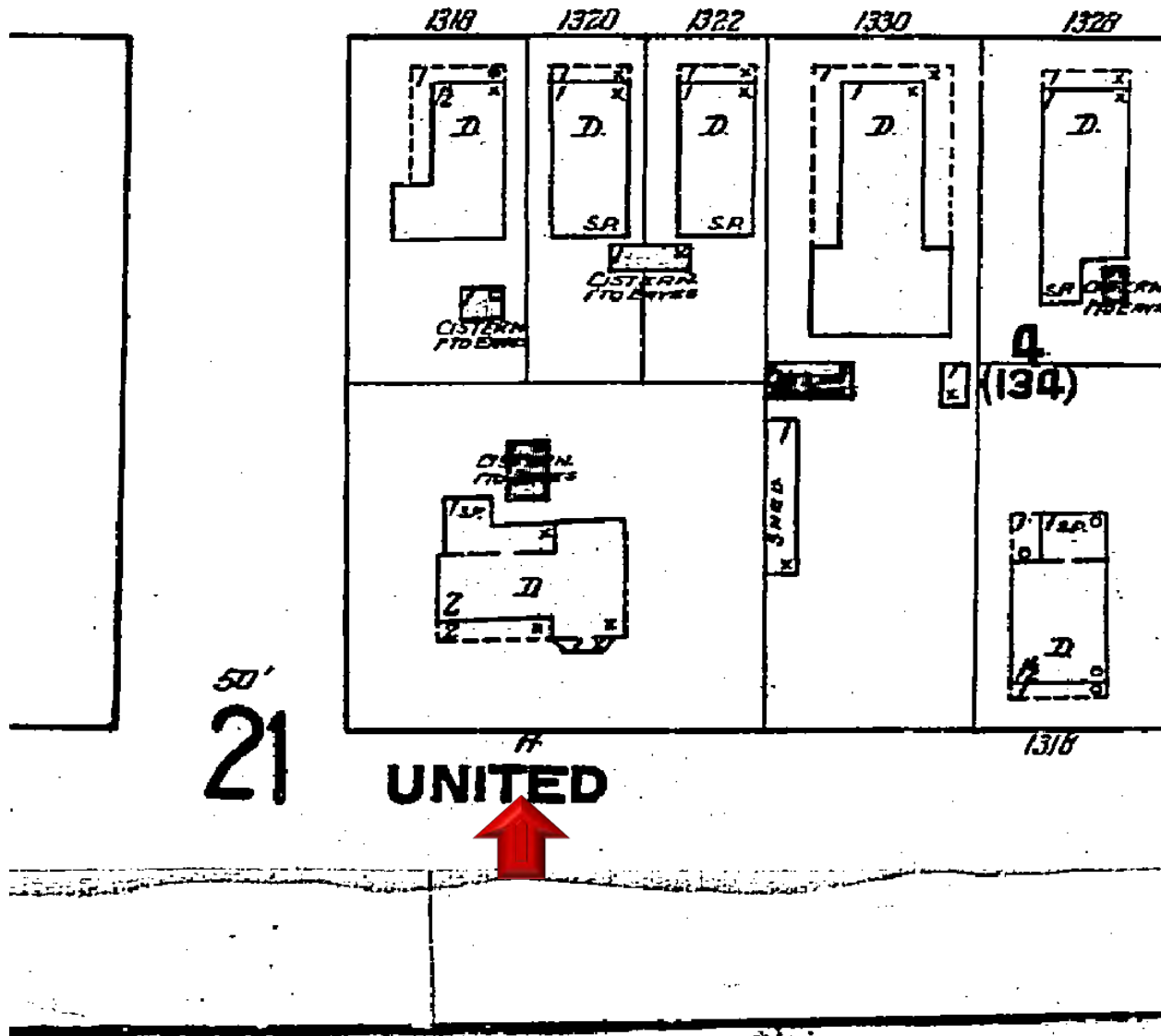
ACCESSORY STRUCTURE(S):	
PAVERS:	FENCES:
DECKS:	PAINTING: <i>yellow paint to match existing</i>
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (INCLUDING EQUIPMENT):
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER:

OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

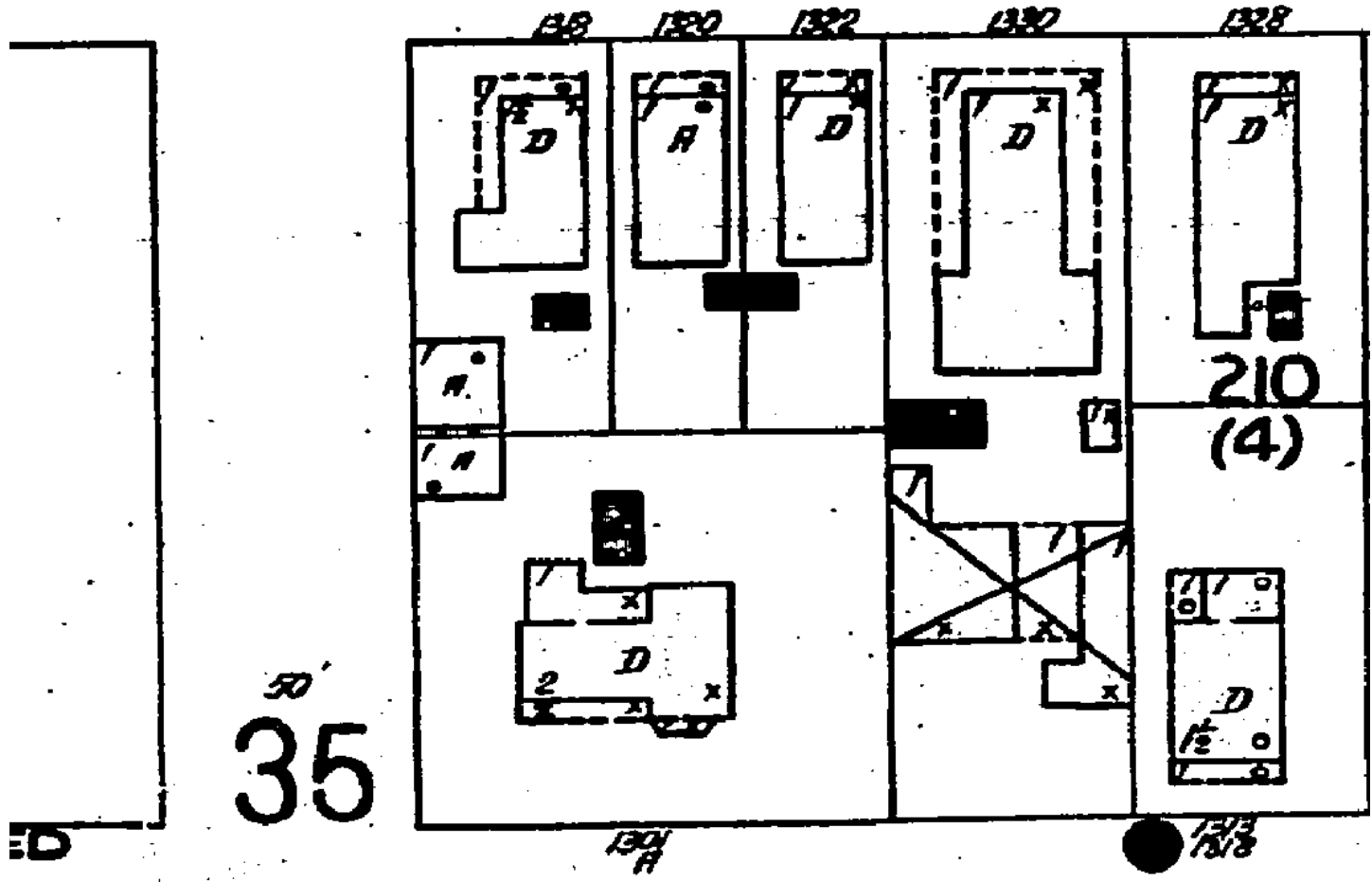
SANBORN MAPS

DUNCAN



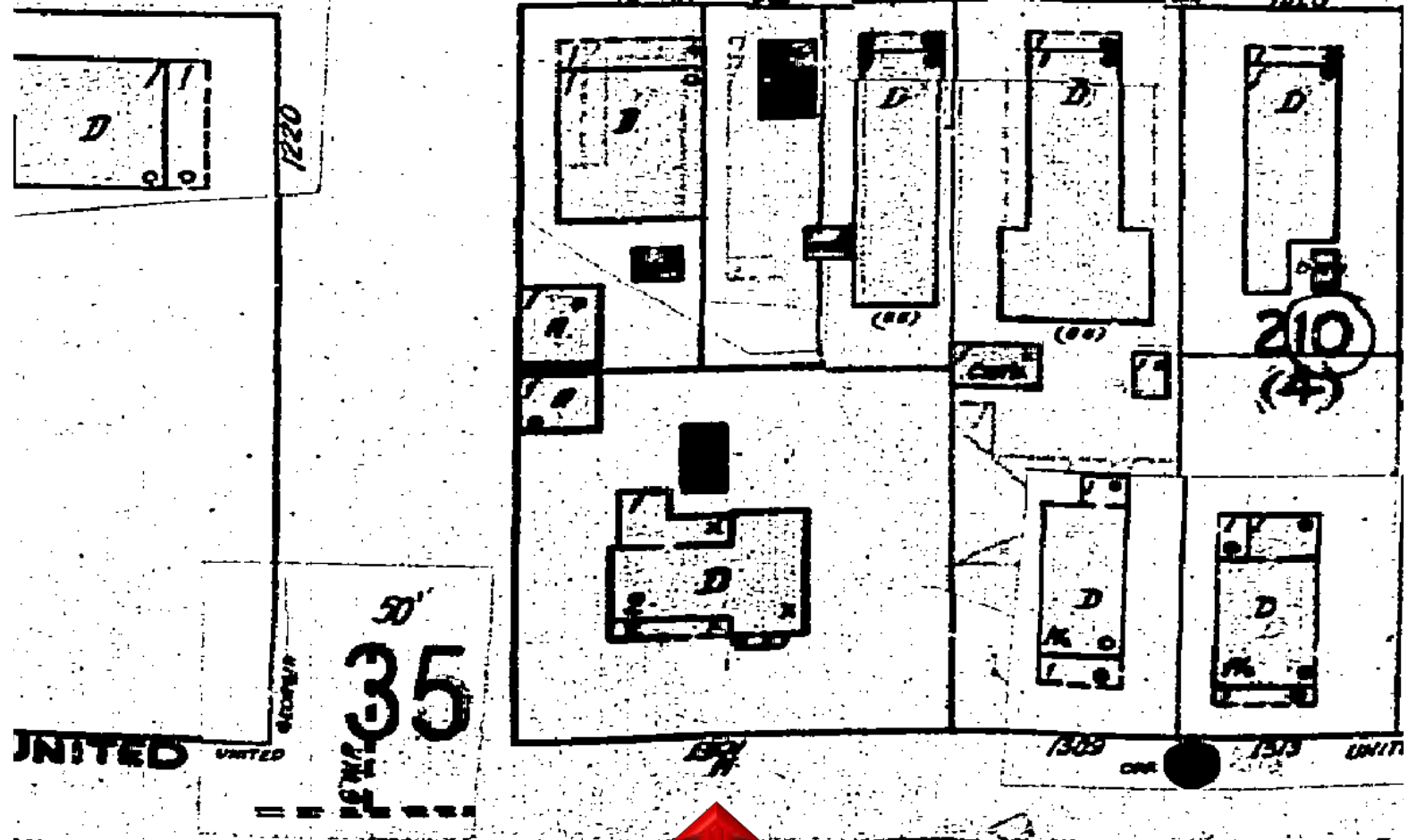
1922 Sanborn Map

AN

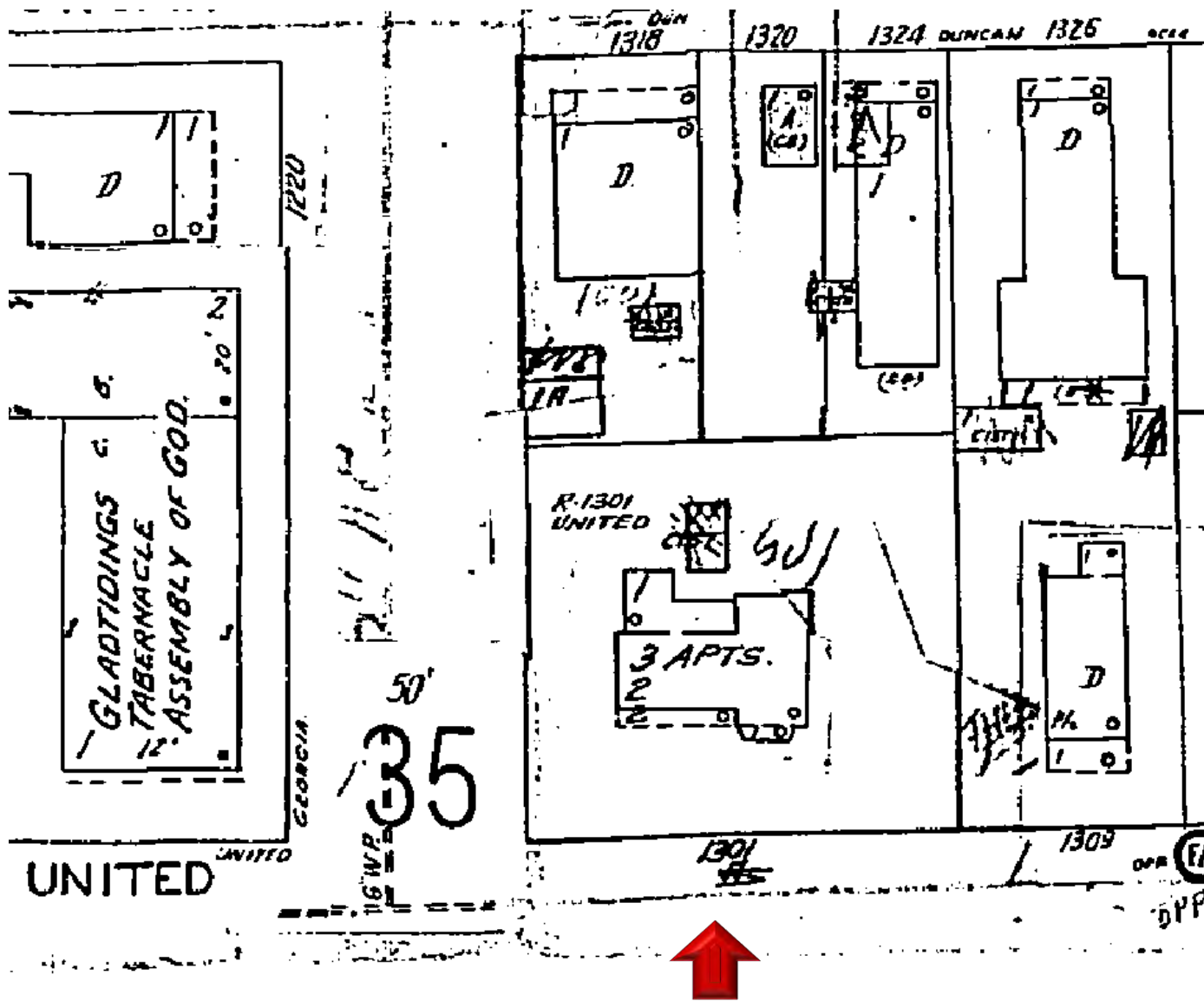


1926 Sanborn Map

UNCAN



1948 Sanborn Map



1962 Sanborn Map

PROJECT PHOTOS



1301 United Street circa 1965. Monroe County Library.











Proposed New Bathroom/Closet Addition
1301 United St., Key West, FL



Figure 1 – South view of existing residence



Figure 2 – South view of existing residence front entry



Figure 3 – East view of existing residence



Figure 4 – East view of existing residence



Figure 5 – North view of existing residence



Figure 6 – North view of existing residence



Figure 7 – North view of existing residence



Figure 8 – West view of existing residence



Figure 9 – West view of existing residence



Figure 10 – West view of existing residence



Figure 11 – Southernmost window on east side of existing residence, to be removed (exterior)



Figure 12 – Door on east side of existing residence, to be removed



Figure 13 – 2nd window from the south on east side of existing residence, to be removed (exterior)



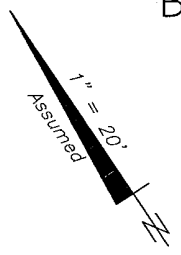
Figure 14 – Southernmost window on east side of existing residence, to be removed (interior)



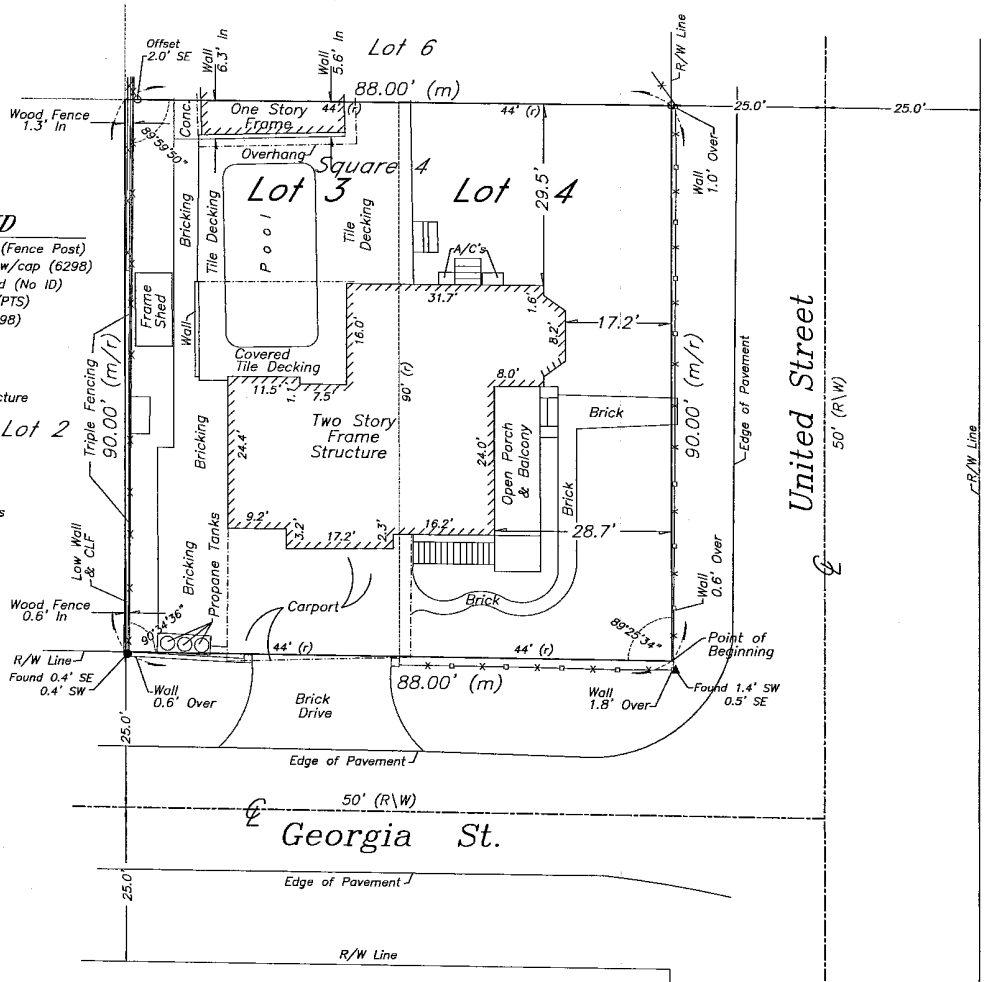
Figure 15 – 2nd window from the south on east side of existing residence, to be removed (interior)

SURVEY

Boundary Survey Map of Lots 3 & 4, Square 4, Tract 14, Island of Key West, FL



- LEGEND**
- ⊙ Found 2" Iron Pipe (Fence Post)
 - Set 3/4" Iron Pipe w/cap (6298)
 - Found 1/2" Iron Rod (No ID)
 - ▲ Found Nail & Disc (PTS)
 - △ Set Nail & Disc (6298)
 - (M) Measured
 - (R) Record
 - (M/R) Measured & Record
 - C.B.S. Concrete Block Structure
 - R\W Right of Way
 - CLF Chain Link Fence
 - Lot 2
 - ⊕ Centerline
 - ⊗ Wood Utility Pole
 - ⊗ Concrete Utility Pole
 - P- Overhead Utility Lines



- NOTES:**
1. The legal description shown hereon was furnished by the client or their agent.
 2. Underground foundations and utilities were not located.
 3. All angles are 90° (Measured & Record) unless otherwise noted.
 4. Street address: 1301 United Street, Key West, FL.
 5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
 6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
 7. North Arrow is assumed and based on the legal description.
 8. Date of field work: December 21, 2013 and March 17, 2021
 9. Ownership of fences is undeterminable, unless otherwise noted.
 10. Adjoiners are not furnished.
 11. The Survey Report is not full and complete without the attached Survey Map.

BOUNDARY SURVEY OF: On the Island of Key West, known on William A. Whitehead's Map of said Island, delineated in February, A.D. 1829 as a part of Tract Fourteen (14), but now better known as Lots Three (3) and Four (4) in Square Four (4) of said Tract Fourteen (14), according to a diagram or plat of the S.E. one-third (1/3) of said Tract Fourteen (14) recorded in Plat Book Number One (1), Page 12, Monroe County, Florida, Public Records. Commencing at the corner of United and Georgia Streets and running thence along Georgia Street in a Northwesterly direction Eighty-eight (88) feet; thence at right angles in a Northeasterly direction Ninety (90) feet; thence at right angles in a Southeasterly direction Eighty-eight (88) feet; thence at right angles in a Southwesterly direction Ninety (90) feet to the Point of Beginning.

BOUNDARY SURVEY FOR: Inocente & Denise Santiago;

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
 Florida Reg. #6298
 December 28, 2013
 Revised Dimension 1/9/14
 Updated 5/20/20
 Updated 3/17/21 location of propane tanks

THIS SURVEY
IS NOT
ASSIGNABLE

J. LYNN O'FLYNN, Inc.

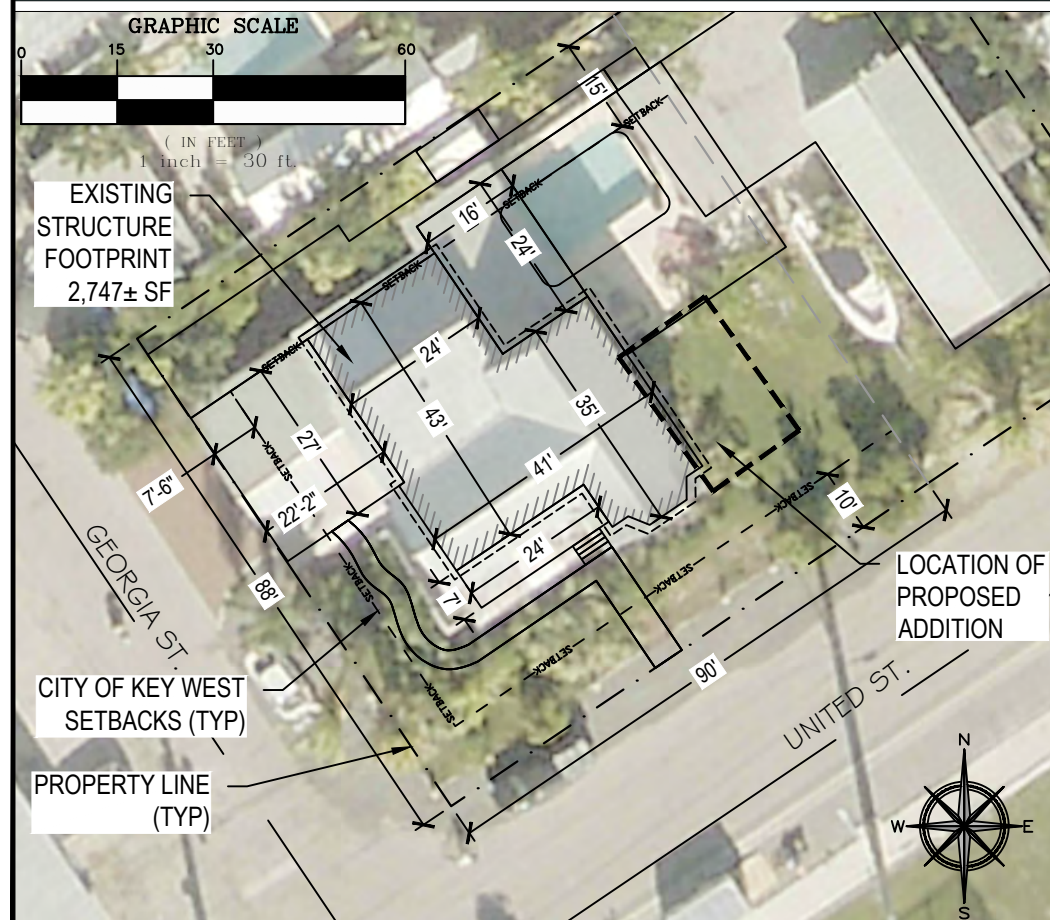
Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

PROPOSED DESIGN

PROJECT INFO

RE# 00035400-000000
 OWNER INOCENTE & DENISE SANTIAGO
 ADDRESS 1301 UNITED ST, KEY WEST, FL 33040
 SCT/TWN/RNG 05-68-25
 LEGAL KW MOFFATS SUB PB1-12 LOTS 3 AND 4 SQR 4 TR 14
 FLOOD ZONE EFFECTIVE: X (NGVD); PRELIM: AE-9 (NAVD)
 FIRM COMMUNITY #12087C; MAP & PANEL 1516K; (02/18/05)
 SETBACKS FRONT 10 FT / STREET SIDE 7.5 FT / SIDE 5 FT / REAR 15 FT
 LOT AREA 7,920 SF
 MAX HEIGHT 30 FT
 OCCUPANCY R-3
 ZONING HMDR (HISTORIC MEDIUM DENSITY RESIDENTIAL)
 TYPE OF CONST V-B



GENERAL REQUIREMENTS

- CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL SITE CONDITIONS, DIMENSIONS, AND DETAILS AND SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES, PERCEIVED OR REAL, PRIOR TO COMMENCEMENT OF WORK.
- ANY ISSUES OR QUESTIONS PERTAINING TO THE CONSTRUCTION DRAWINGS RELATED TO SITE WORK IMPROVEMENTS SHALL BE DIRECTED TO THE ENGINEER.
- ALL MATERIALS, EQUIPMENT, CONNECTORS, AND WORK SHALL MEET OR EXCEED THE DESIGN DATA AND COMPLIANCE CODE CITED.
- ENGINEER IS NOT RESPONSIBLE FOR ANY SUPERVISION DURING CONSTRUCTION.
- THE CONTRACTOR MAINTAINS THE RESPONSIBILITY FOR ALL CONSTRUCTION MEANS, METHODS, AND TECHNIQUES REQUIRED TO PERFORM THE WORK AS OUTLINED IN THE CONSTRUCTION PLANS. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER.
- THE STRUCTURAL INTEGRITY OF THE WORK SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF SUPPORTING DURING CONSTRUCTION AND REQUIRE TEMPORARY BRACING UNTIL PERMANENTLY APPLIED TO STRUCTURE AS DIRECTED. THE ENGINEER ASSUMES NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE PLANS AND SPECIFICATIONS, OR ARE SUPERVISED BY THE STRUCTURAL ENGINEER DURING CONSTRUCTION.
- ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE ENGINEER.
- DISSIMILAR METALS SHALL BE ISOLATED TO PREVENT GALVANIC ACTION.
- ALL DEBRIS AND FILL MATERIAL EXCAVATED FROM THE SITE SHALL BE HANDLED IN COMPLIANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND SHALL BE HAULED TO AN APPROVED DISPOSAL SITE.
- UPON COMPLETION OF WORK, LEAVE SITE IN CLEAN CONDITION SATISFACTORY TO OWNER. CLEAN-UP SHALL INCLUDE DISPOSAL OF ALL ITEMS AND MATERIALS NOT REQUIRED FOR NEW CONSTRUCTION AS WELL AS ALL DEBRIS AND RUBBISH.

DESIGN DATA

- THE WORK DEPICTED HEREIN WAS DESIGNED TO MEET THE REQUIREMENTS OF THE 2020 FLORIDA RESIDENTIAL BUILDING CODE, THE CITY OF KEY WEST HISTORIC ARCHITECTURAL GUIDELINES, AND THE LATEST EDITIONS OF THE FLORIDA ENERGY CODE, FIRE CODE, AND LIFE SAFETY CODE.
- FLOOR AND DECK LOADS: DEAD=20 PSF / LIVE=40 PSF
- ROOF LOADS: DEAD=15 PSF / LIVE=20 PSF
- INTERIOR PARTITIONS: DEAD=6 PSF
- EXTERIOR 2x6 WALLS: DEAD=10 PSF
- CEILING (MINIMAL ATTIC STORAGE): DEAD=5 PSF / LIVE=10 PSF
- WIND SPEED = 180 MPH
- EXPOSURE "D"
- ASCE 7-16 USED FOR ALL WIND PRESSURE CALCULATIONS

HURRICANE ANCHORS

- ALL HURRICANE ANCHORS TO BE FBC TESTED AND APPROVED, AND SIZED FOR LOADS REQUIRED.
- SEE DRAWING PLANS AND DETAILS FOR SPECIFIC TYPE OF ANCHORS TO BE USED FOR EACH INDIVIDUAL APPLICATION.
- ALL SIMPSON STRONG-TIE OR OTHER APPROVED WOOD CONNECTORS TO BE ZMAX GALVANIZED COATED UNLESS NOTED OTHERWISE.

SCOPE OF WORK
 CONSTRUCT A NEW ADDITION FOR EXISTING RESIDENTIAL STRUCTURE

INDEX OF DRAWINGS

- SHEET G-1.0 - SITE LOCATION AND NOTES
- SHEET S-1.0 - EXISTING CONDITIONS
- SHEET S-2.0 - PROPOSED FLOOR PLAN
- SHEET S-3.0 - PROPOSED FLOOR FRAMING & FOUNDATION PLAN
- SHEET S-4.0 - PROPOSED ROOF FRAMING PLAN
- SHEET S-5.0 - CONSTRUCTION DETAILS
- SHEET S-6.0 - ELEVATIONS
- SHEET S-6.1 - ELEVATIONS (CONT'D)
- SHEET S-6.2 - ELEVATIONS (CONT'D)
- SHEET S-7.0 - PROPOSED ELECTRICAL PLAN

LUMBER

- PRESSURE TREATMENT SHALL BE PROVIDED TO MEET OR EXCEED THE COMPLIANCE CODE CITED AND, WHERE NOTED, P.T. MEANS PRESSURE TREATMENT. FIELD CUTS AND HOLES SHALL BE PRESERVATIVE TREATED.
- SEE RELATED NOTES ON ROOF TRUSSES AND ON HURRICANE ANCHORS.
- WALL STUDS MIN. Fb = 1100 P.S.I. ALL 2x4 INTERIOR BEARING WALLS SHALL BE FRAMED 12" O.C., ALL 2x6 EXTERIOR WALLS AND 2x4 INTERIOR NON-BEARING WALLS SHALL BE FRAMED 16" O.C.
- WOOD HEADERS MIN. Fb = 975 P.S.I. WHERE NOT NOTED SHALL BE (2) 2" x 12".
- BEAM STRESSES: 2x8 Fb = 1610 P.S.I., E = 1,700,000
- MIN 3/8" CDX PLYWOOD ROOF SHEATHING, WHERE NOT NOTED OTHERWISE, SHALL BE NAILED WITH 8d RING OR SCREW SHANK (0.131" x 2 1/2") NAILS AT 4" O.C. ALONG PANEL ENDS AND AT 6" O.C. IN THE FIELD ALONG INTERMEDIATE FRAMING SUPPORTS. USE PLYWOOD CLIPS AT ALL LOCATIONS.
- ALL STRUCTURAL LUMBER SHALL CONFORM TO THE LATEST EDITION OF THE NFPA "NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENINGS" AND SUPPLEMENT, "DESIGN VALUES FOR WOOD CONSTRUCTION".
- PROVIDE BLOCKING BETWEEN ALL JOISTS 2x6 OR GREATER AT INTERVALS NOT TO EXCEED 8 FEET AND AT ALL SUPPORTS.
- ALL FLUSH CONNECTIONS SHALL HAVE BEAM OR JOIST HANGERS CAPABLE OF SUPPORTING THE MAXIMUM REACTION OF THE MEMBER.
- ALL NAILING SHALL BE IN ACCORDANCE WITH FBC 2020 AND SHALL BE COMMON NAILS U.N.O.
- ALL CONNECTIONS SHALL CONFORM TO THE CURRENT EDITION OF THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION AND THE CONTRACT DOCUMENTS.
- ALL STRUCTURAL LUMBER SHALL BE STAMPED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S "CONSTRUCTION MANUAL."
- ALL WOOD FRAMING SHALL BE SOUTHERN PINE NO. 2 OR BETTER, KILN DRIED TO 15% MOISTURE CONTENT, UNLESS OTHERWISE NOTED, AND SHALL HAVE A MINIMUM ALLOWABLE BENDING STRESS OF 1100 PSI, MODULUS OF ELASTICITY OF 1,400,000 PSI AND HORIZONTAL SHEAR STRESS OF 90 PSI.
- HANGERS, FRAMING ANCHORS, AND FASTENERS: PROVIDE AND INSTALL STAMPED AND FABRICATED STEEL OF THE TYPE INDICATED AS REQUIRED IN THE CONSTRUCTION DOCUMENTS OR CONNECTION SHOP DRAWINGS. NAILS TO BE THOSE FURNISHED BY THE MANUFACTURER FOR THIS SPECIFIC USE. NAILS SHALL BE FULLY DRIVEN IN ALL HOLES IN THE ANCHOR. "SIMPSON STRONG-TIE" OR OTHER APPROVED HANGERS SHALL BE PROVIDED CONFORMING TO THE REQUIREMENTS INDICATED. ALL HANGERS AND ANCHORS SHALL BE ZMAX GALVANIZED UNLESS NOTED OTHERWISE.
- BOLTS AND EXPANSION ANCHORS SHALL BE ASTM A325, GALV., UNLESS NOTED OTHERWISE.

FOUNDATION & CONCRETE NOTES

- CONTRACTOR SHALL VERIFY DIMENSIONS OF MODULAR STRUCTURE PRIOR TO BEGINNING ANY WORK.
- ALL FOOTINGS ARE TO BE PLACED ON FIRM, UNDISTURBED, NATURAL ROCK UNLESS OTHERWISE NOTED.
- AUGER PILE DIAMETERS AND EMBEDMENT INTO ROCK SHALL BE NO LESS THAN 16" DIAMETER NOR LESS THAN 3' INTO ROCK UNLESS OTHERWISE NOTED. CONCRETE SHALL NOT BE MIXED IN PLACE IN A WET AUGER HOLE.
- CENTER ALL FOOTINGS UNDER WALLS, COLUMNS, OR GRID LINES UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FURNISH FIELD DENSITY TESTS ON COMPACTED FILL UNDER FOOTINGS AND SLABS PRIOR TO PLACING CONCRETE. A MINIMUM OF 3 REPRESENTATIVE TESTS SHALL BE TAKEN FOR EACH FOOTING AND SLAB POUR.
- ALL CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE I PORTLAND CEMENT, STONE AGGREGATE AND SHALL DEVELOP AT LEAST 4000 PSI COMPRESSIVE STRENGTH IN 28 DAYS. (UNLESS OTHERWISE NOTED.)
- SLABS, TOPPING, FOOTINGS, BEAMS AND WALLS SHALL NOT HAVE JOINTS IN THE HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE AT THE CENTER OF SPAN WITH VERTICAL BULKHEADS AND SHEAR KEYS, UNLESS OTHERWISE NOTED.
- CONSTRUCTION JOINTS FOR SLABS ON GRADE SHALL BE INSTALLED TO MINIMIZE RANDOM CRACKING PER ACI 224.3R-95(R2013), AS DETAILED IN THE PLANS, OR AS OTHERWISE APPROVED BY THE ENGINEER.
- ALL CONCRETE WORK AND REINFORCING DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 318. EXPOSED EDGES OF CONCRETE SHALL HAVE 1/2" CHAMFER. USE STANDARD HOOKS ON DOWELS UNLESS OTHERWISE NOTED.
- CONCRETE FORMS SHALL BE WETTED IMMEDIATELY PRIOR TO PLACING CONCRETE.
- MIXING, PLACING AND CURING OF ALL CONCRETE MUST BE IN ACCORDANCE WITH ACI 305R, HOT WEATHER CONCRETING. NEW CONCRETE EXPOSED TO DIRECT SUNLIGHT SHALL BE SPRAYED OR MOPPED WITH A CURING COMPOUND TO SEAL IN MOISTURE AFTER THE FINISH HAS SET, OR THE CONCRETE COVERED AND SPRAYED.
- ALL REINFORCING SHALL BE HIGH STRENGTH DEFORMED BARS CONFORMING TO ASTM A-615, GRADE 60.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 AND SHALL BE LAPPED ONE FULL MESH AND AT SIDE AND END SPLICES AND WIRED TOGETHER.
- REINFORCEMENT COVERAGE SHALL BE 2" MINIMUM WHEN FORMS ARE USED AND 3" MINIMUM WHEN Poured AGAINST THE EARTH, UNLESS OTHERWISE NOTED.
- LAP SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS. MAKE ALL BARS CONTINUOUS AROUND CORNERS.
- PROVIDE ALL ACCESSORIES NECESSARY TO SECURE REINFORCING IN PROPER POSITION AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH ACI 318. ALL ACCESSORIES TO BE GALVANIZED.
- ANCHOR BOLTS, NUTS, AND WASHERS SHALL BE MINIMUM 3/8" GALVANIZED STEEL AND EMBEDDED MINIMUM 7" INTO CONCRETE AND SPACED MAXIMUM 4' OC. ALL FASTENERS SHALL BE LOCATED A MINIMUM OF 6 TIMES THE FASTENER DIAMETER AWAY FROM CONCRETE EDGES.
- MANUFACTURED STRAPS AND ANCHORS SHALL BE GALVANIZED AND SHALL BE FASTENED PER THE MANUFACTURER RECOMMENDATIONS. IN NO EVENT SHALL A STRUCTURAL MEMBER SUCH AS PIER, SILL, JOIST, PLATE, RAFTER OR TRUSS BE WITHOUT ANCHORAGE DEVICES FOR HURRICANE PROTECTION, UNLESS SPECIFICALLY NOTED AND ADDRESSED BY OTHER MEANS.

PLANS NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED IN THIS BLOCK
 September 09, 2023
 STEPHEN L. MARKEY
 PROFESSIONAL ENGINEER
 LICENSE NO. 74560
 STATE OF FLORIDA

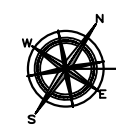
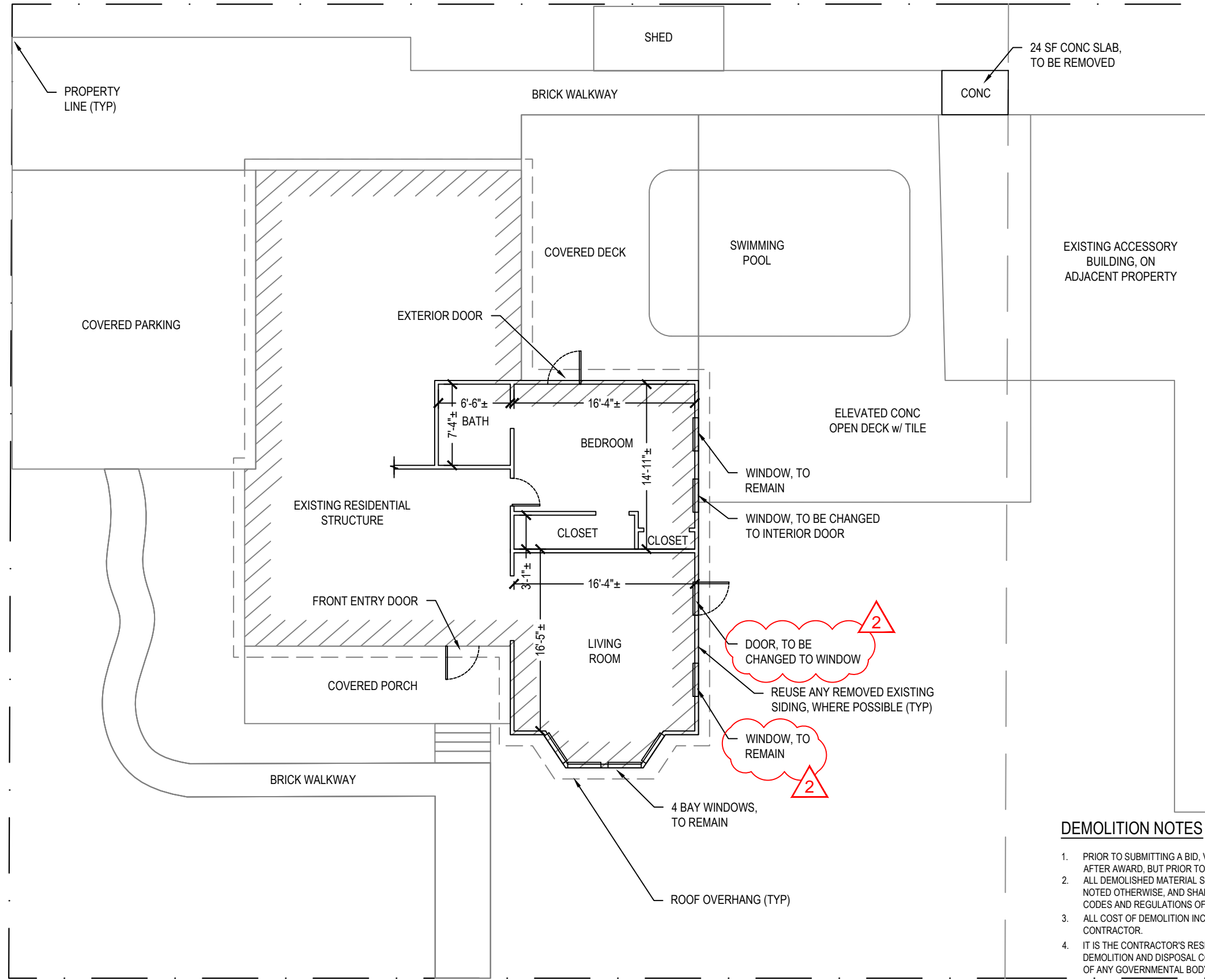
REVISION (09-09-2023)

SLIM ENGINEERING INC.
 CIVIL ENGINEERING SERVICES
 KEY WEST, FL
 (305) 509-2647
 CERTIFICATE OF AUTHORIZATION #30200

DRAWN BY: SLM	PROJECT NO: 21-18-1
REVIEWED BY: SLM	SCALE: AS NOTED
CAD FILE: 1301 United St Addition HYPHEN (09-09-23).dwg	SHEET SIZE: ANSIB (11x17)

SANTIAGO RESIDENCE RENOVATION PROJECT
 1301 UNITED ST.
 KEY WEST, FL 33040

SHEET TITLE: SITE LOCATION AND NOTES
 SHEET NUMBER: **G-1.0**
 SHEET 1 OF 10
 DATE: OCTOBER 28, 2021



FIRST FLOOR EXISTING CONDITIONS

SCALE: 1" = 10'

DEMOLITION NOTES

1. PRIOR TO SUBMITTING A BID, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON THE JOB SITE, AND ALSO AFTER AWARD, BUT PRIOR TO THE START OF CONSTRUCTION.
2. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE, AND SHALL BE PROPERLY REMOVED FROM THE SITE. COMPLY WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
3. ALL COST OF DEMOLITION INCLUDING PERMIT FEES, DISPOSAL FEES, ETC. ARE THE RESPONSIBILITY OF THE CONTRACTOR.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF AND TO CONFORM WITH ALL APPLICABLE DEMOLITION AND DISPOSAL CODES, SAFETY REQUIREMENT, AND ENVIRONMENTAL PROTECTION REGULATIONS OF ANY GOVERNMENTAL BODY HAVING JURISDICTION OVER THE WORK.
5. PROVIDE SAFETY BARRICADES AS REQUIRED TO PROTECT THE SAFETY OF THE GENERAL PUBLIC AND WORKERS ASSOCIATED WITH THE PROJECT.
6. PROVIDE BRACING AND SHORING AS REQUIRED TO TEMPORARILY SUPPORT STRUCTURAL MEMBERS DURING CONSTRUCTION. BRACING & SHORING OF STRUCTURAL MEMBERS SHALL BE DESIGNED AND/OR APPROVED BY A PROFESSIONAL ENGINEER
7. DEMOLISHED MATERIAL CLASSIFIED AS CLEAN FILL MAY BE DISTRIBUTED ONSITE WHEN SPECIFICALLY APPROVED BY THE ENGINEER.

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 STEPHEN L. MARKEY
 PROFESSIONAL ENGINEER
 LICENSE NO. 74560
 STATE OF FLORIDA

SLIM ENGINEERING INC.
 CIVIL ENGINEERING SERVICES
 KEY WEST, FL
 (305) 509-2647
 CERTIFICATE OF AUTHORIZATION #30200

DRAWN BY:	SLM	PROJECT NO:	21-18.1
REVIEWED BY:	SLM	SCALE:	AS NOTED
CAD FILE:	1301 United Str Addition	SHEET SIZE:	ANSI B (11x17)
	HYPHEN (09-09-23).dwg		

SANTIAGO RESIDENCE RENOVATION PROJECT
 1301 UNITED ST.
 KEY WEST, FL 33040

SHEET TITLE:
 EXISTING CONDITIONS

SHEET NUMBER:
S-1.0
 SHEET 2 OF 10

DATE:
 OCTOBER 28, 2021

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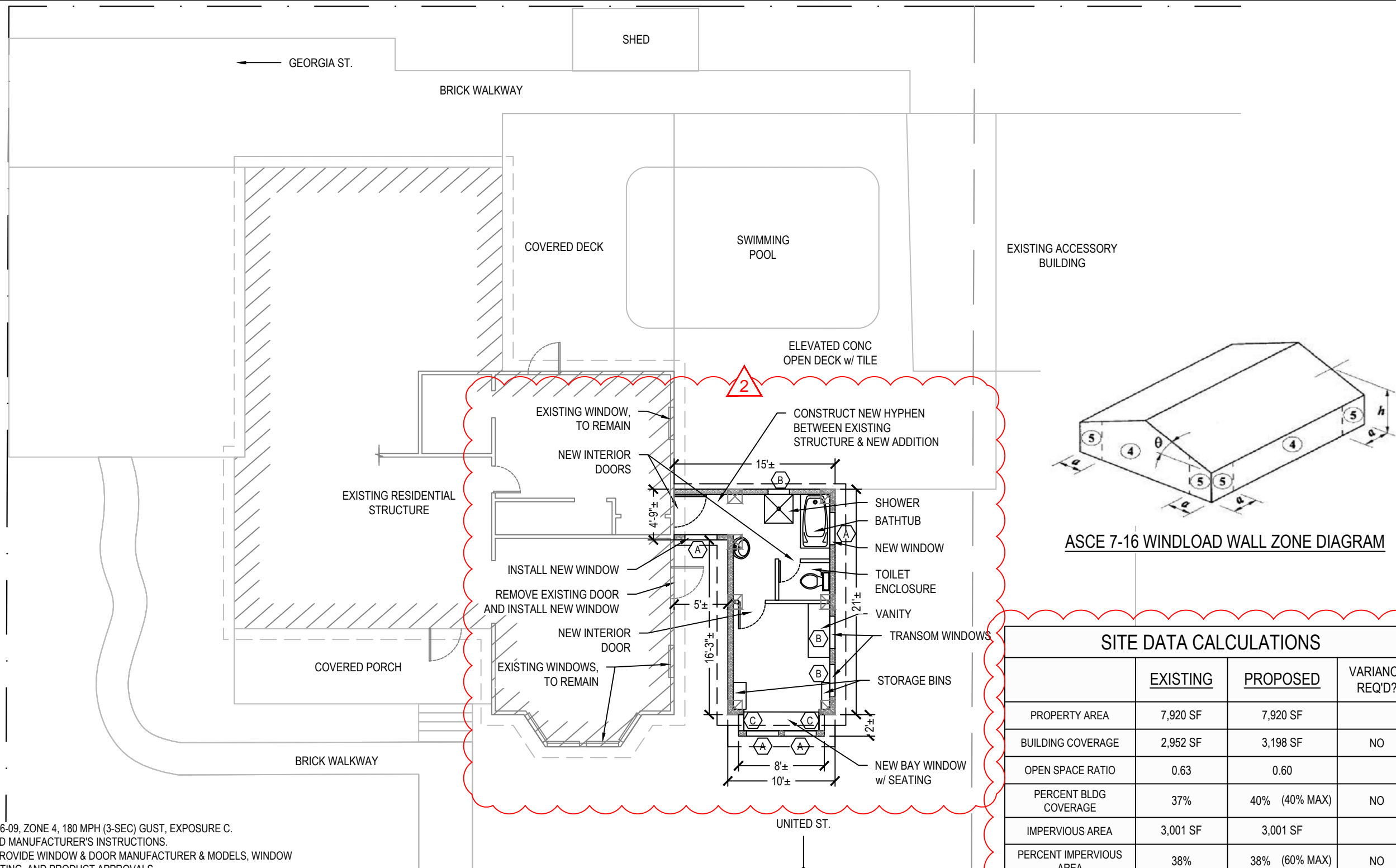
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PROJECT NO: 21-18.1
SCALE: AS NOTED
DRAWN BY: SLM
REVIEWED BY: SLM
CAD FILE: 1301 United St Addition HYPHEN (09-09-23).dwg
SHEET SIZE: ANSIB (11x17)

SANTIAGO RESIDENCE RENOVATION PROJECT
1301 UNITED ST.
KEY WEST, FL 33040

SHEET TITLE: PROPOSED FLOOR PLAN
SHEET NUMBER: S-2.0
SHEET 3 OF 10
DATE: OCTOBER 28, 2021



- ASCE 7-16 / ASTM E 1996-09, ZONE 4, 180 MPH (3-SEC) GUST, EXPOSURE C.
- INSTALL PER APPROVED MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL PROVIDE WINDOW & DOOR MANUFACTURER & MODELS, WINDOW & DOOR WIND LOAD RATING, AND PRODUCT APPROVALS.

WINDOW/DOOR SCHEDULE				
KEY	NOMINAL SIZE (W X H)	TYPE	WINDLOAD REQUIREMENT (ASCE 7-16)	
			ZONE 4	ZONE 5
A	30" x 60"	SINGLE HUNG WINDOW	+41.9/ -45.4	+41.9/ -55.7
B	30" x 18"	TRANSOM WINDOW	+42.3/ -45.9	+42.3/ -56.6
C	18" x 60"	SINGLE HUNG WINDOW	+42.3/ -45.9	+42.3/ -56.6

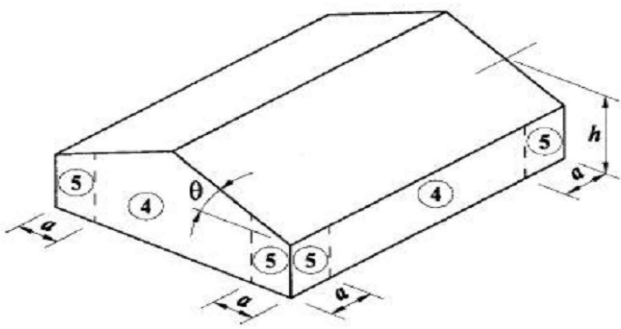


PROPOSED FLOOR PLAN (1st FLOOR)

SCALE: 1" = 10'

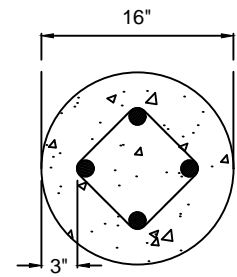
NOTE:

THE PRIMARY RESIDENTIAL STRUCTURE AND PROPOSED ADDITION ARE BOTH ELEVATED ON PIERS, WITH A CRAWLSPACE BENEATH AND A FULLY PERMEABLE GROUND SURFACE. ACCORDING TO THE CITY OF KEY WEST LAND DEVELOPMENT CODE, THE AREA UNDERNEATH THESE STRUCTURES IS CONSIDERED TO BE A PERVIOUS SURFACE.



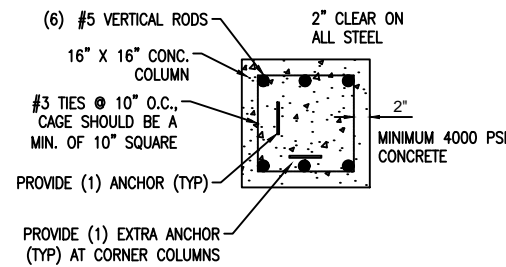
SITE DATA CALCULATIONS			
	EXISTING	PROPOSED	VARIANCE REQ'D?
PROPERTY AREA	7,920 SF	7,920 SF	
BUILDING COVERAGE	2,952 SF	3,198 SF	NO
OPEN SPACE RATIO	0.63	0.60	
PERCENT BLDG COVERAGE	37%	40% (40% MAX)	NO
IMPERVIOUS AREA	3,001 SF	3,001 SF	
PERCENT IMPERVIOUS AREA	38%	38% (60% MAX)	NO

SITE DRAINAGE CALCULATIONS		
TOTAL LOT SIZE		7,920 SF
TOTAL EXISTING IMPERVIOUS COVERAGE		3,001 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE		3,001 SF
NEW IMPERVIOUS AREA	PROPOSED - EXISTING =	0 SF
CUBIC FT REQUIRED	515 SF x 0.083 =	0.00 CF
CUBIC FT PROVIDED		0 CF

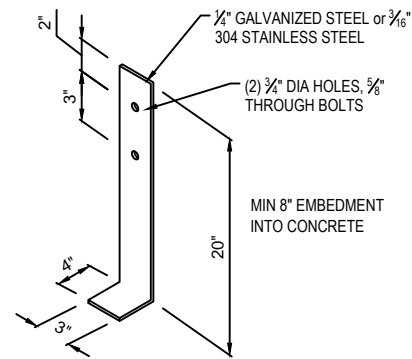


16" DIA CONCRETE AUGER PILE w/ (4) #5 VERTICAL BARS, #3 TIES @ 10" O.C. 3' INTO ROCK. CLEAN HOLES BEFORE PLACING 4,000 PSI CONCRETE

1 AUGER PILE DETAIL
S-3.0 SCALE: N.T.S.



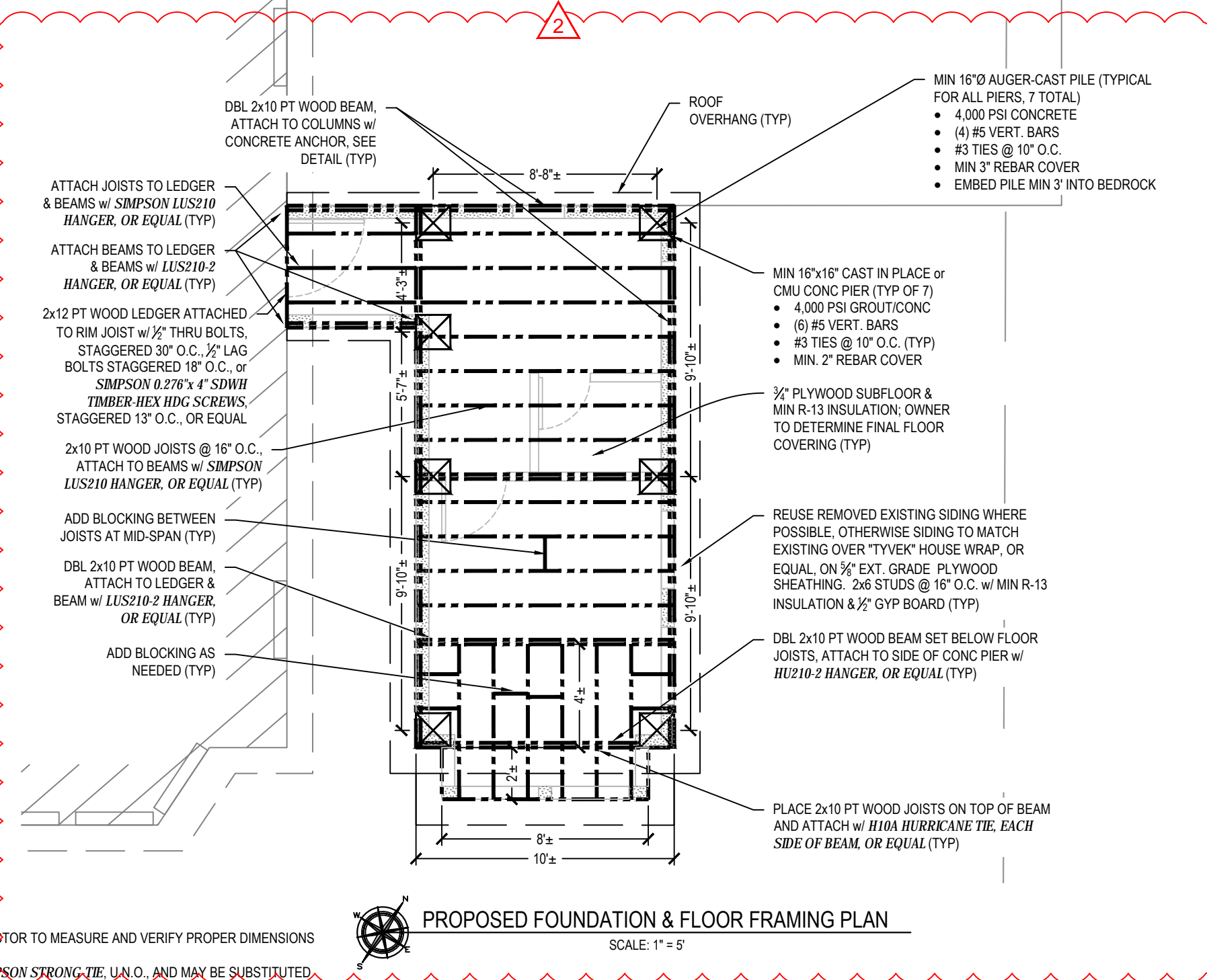
2 CONCRETE COLUMN DETAIL
S-3.0 SCALE: N.T.S.



3 CONCRETE ANCHOR DETAIL
S-3.0 SCALE: N.T.S.

NOTES:

- DIMENSIONS SHOWN HEREIN ARE APPROXIMATE; CONTRACTOR TO MEASURE AND VERIFY PROPER DIMENSIONS PRIOR TO CONSTRUCTION.
- HURRICANE STRAPS, TIES, AND CONNECTORS ARE BY **SIMPSON STRONG-TIE, U.N.O.**, AND MAY BE SUBSTITUTED WITH ENGINEER APPROVED EQUAL.
- ALL PRODUCTS SPECIFIED IN THESE PLANS SHALL BE INSTALLED OR APPLIED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- ENGINEERED WOOD PRODUCTS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- IF APPLICABLE, CONCRETE ANCHORS SHALL BE AS SHOWN ON "CONCRETE ANCHOR DETAIL", OR APPROVED EQUAL.
- CONCRETE ANCHORS SHALL BE EMBEDDED A MINIMUM OF 8" INTO CONCRETE, WIDTH (MIN 3") AND NUMBER OF BOLTS PER ANCHOR (MIN 2) MAY VARY.
- EPOXY SHALL BE SIMPSON STRONG-TIE SET-XP, OR EQUAL.
- PILING SIZES SHOWN HEREIN ARE MINIMUM SIZES, CONTRACTOR MAY INCREASE SIZE AS NEEDED TO ACCOMMODATE ANY UNEXPECTED CIRCUMSTANCES.
- END-NAIL STUDS TO TOP PLATE w/ (2) 16d COMMON NAILS.
- END-NAIL STUDS TO BOTTOM PLATE w/ (2) 16d COMMON NAILS or TOENAIL w/ (4) 8d COMMON NAILS.



PROPOSED FOUNDATION & FLOOR FRAMING PLAN
SCALE: 1" = 5'

PLANS NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED IN THIS BLOCK

STEPHEN L. MARKEY
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KEY WEST, FL
(305) 509-2647
CERTIFICATE OF AUTHORIZATION #30200

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REVIEWED BY:	SLM	SCALE:	AS NOTED
CAD FILE:	1301 United St Addition HYPHEN (09-09-23).dwg	SHEET SIZE:	ANSI B (11x17)

SANTIAGO RESIDENCE RENOVATION PROJECT
1301 UNITED ST.
KEY WEST, FL 33040

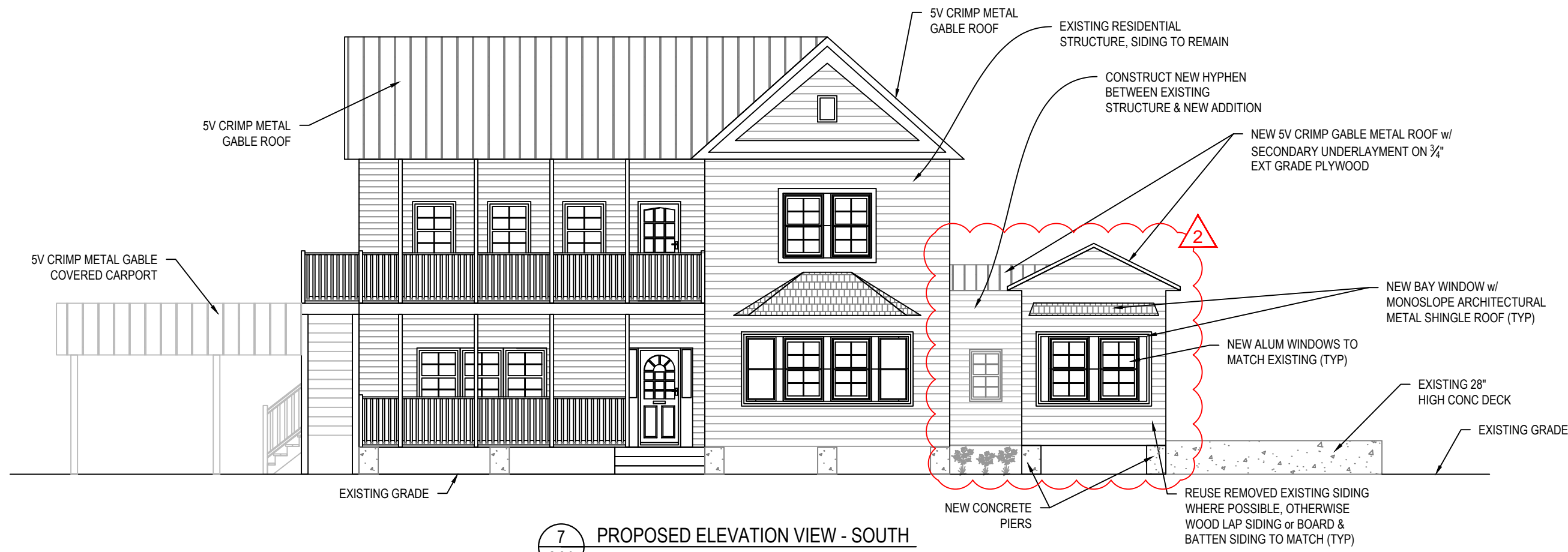
SHEET TITLE:
PROPOSED FOUNDATION & FLOOR FRAMING PLAN

SHEET NUMBER:
S-3.0
SHEET 4 OF 10

DATE:
OCTOBER 28, 2021



6 EXISTING ELEVATION VIEW - SOUTH
 S-2.0 SCALE: 1/8" = 1'-0"



7 PROPOSED ELEVATION VIEW - SOUTH
 S-2.0 SCALE: 1/8" = 1'-0"

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SANTIAGO RESIDENCE RENOVATION PROJECT

1301 UNITED ST.
 KEY WEST, FL 33040

SHEET TITLE:
 ELEVATIONS

SHEET NUMBER:
S-6.0
 SHEET 7 OF 10

DATE:
 OCTOBER 28, 2021

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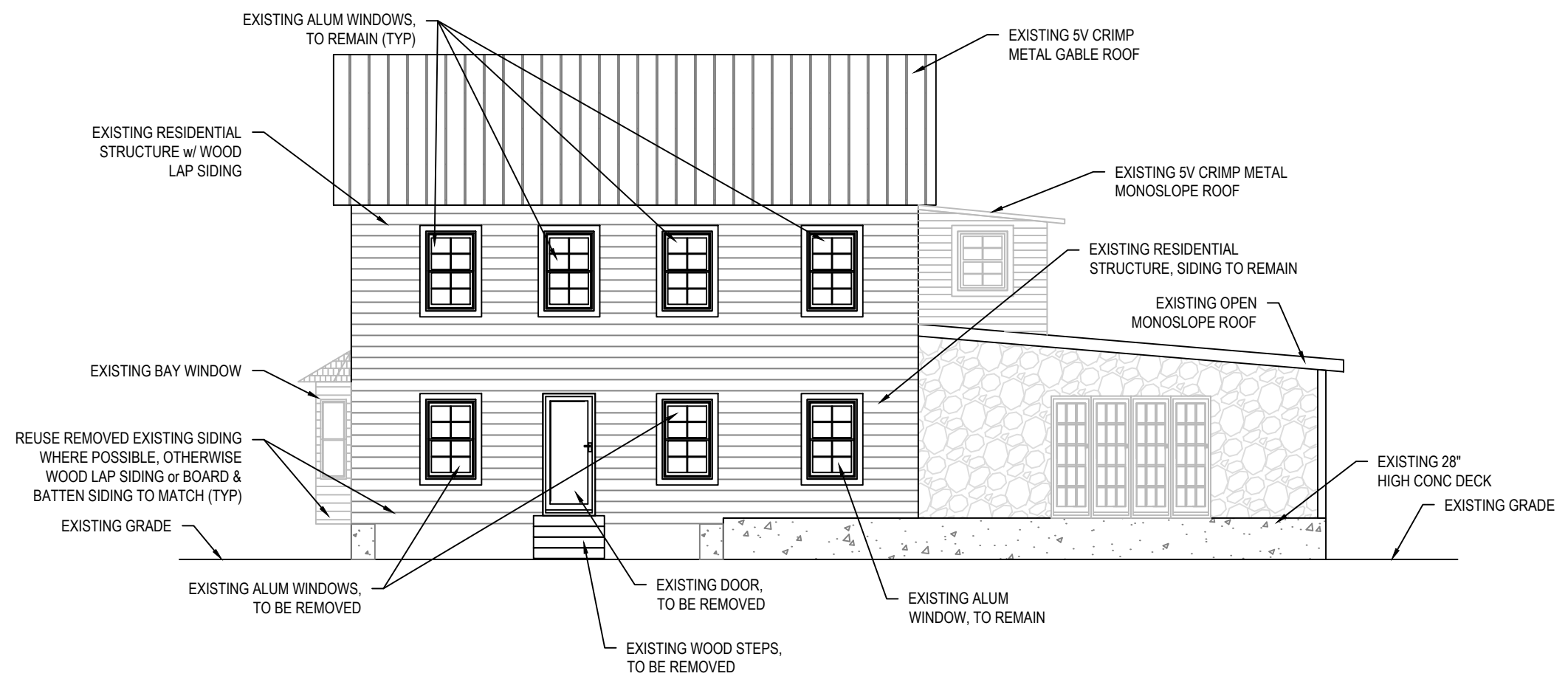
DRAWN BY:	SLM	PROJECT NO:	21-18.1
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CAD FILE:	1301 United Str Addition		
	HYPPHEN (09-09-23).dwg		
SHEET SIZE:	ANSI B (11x17)		

SANTIAGO RESIDENCE RENOVATION PROJECT
 1301 UNITED ST.
 KEY WEST, FL 33040

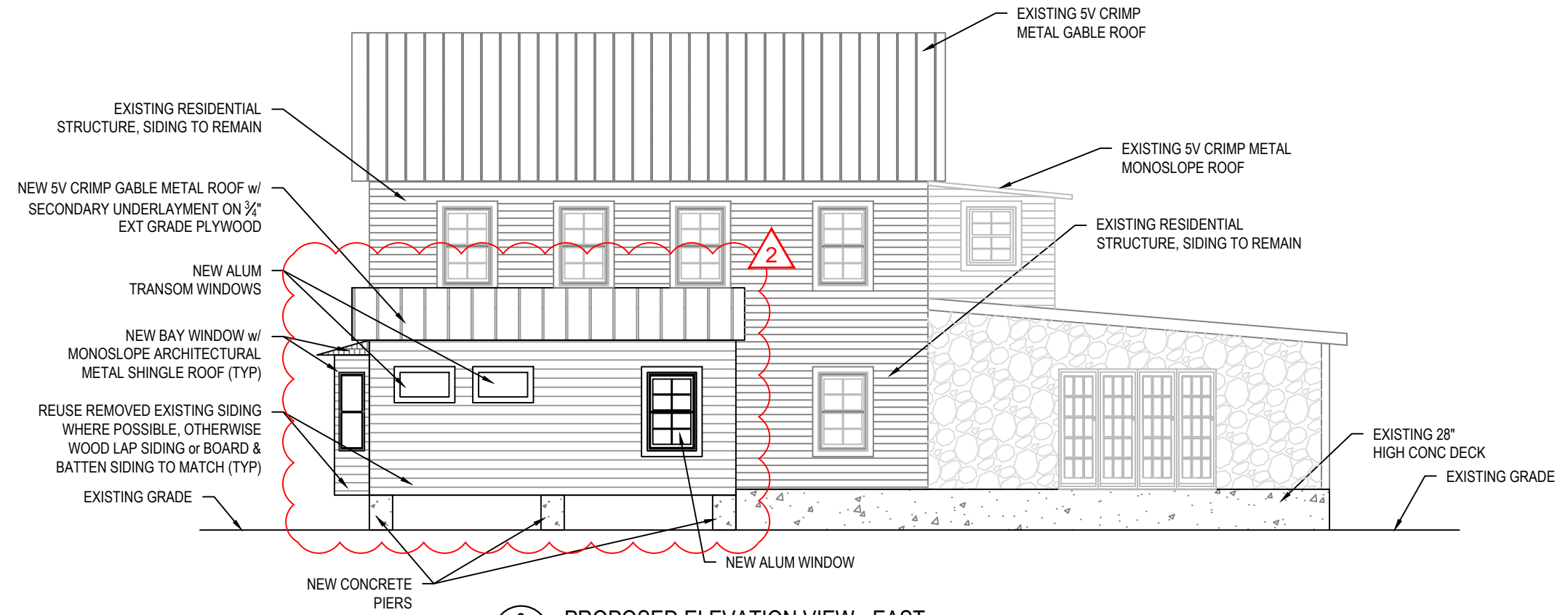
SHEET TITLE:
 ELEVATIONS (CONT'D)

SHEET NUMBER:
S-6.1
 SHEET 8 OF 10

DATE:
 OCTOBER 28, 2021



8 EXISTING ELEVATION VIEW - EAST
 S-2.0 SCALE: 1/8" = 1'-0"



9 PROPOSED ELEVATION VIEW - EAST
 S-2.0 SCALE: 1/8" = 1'-0"

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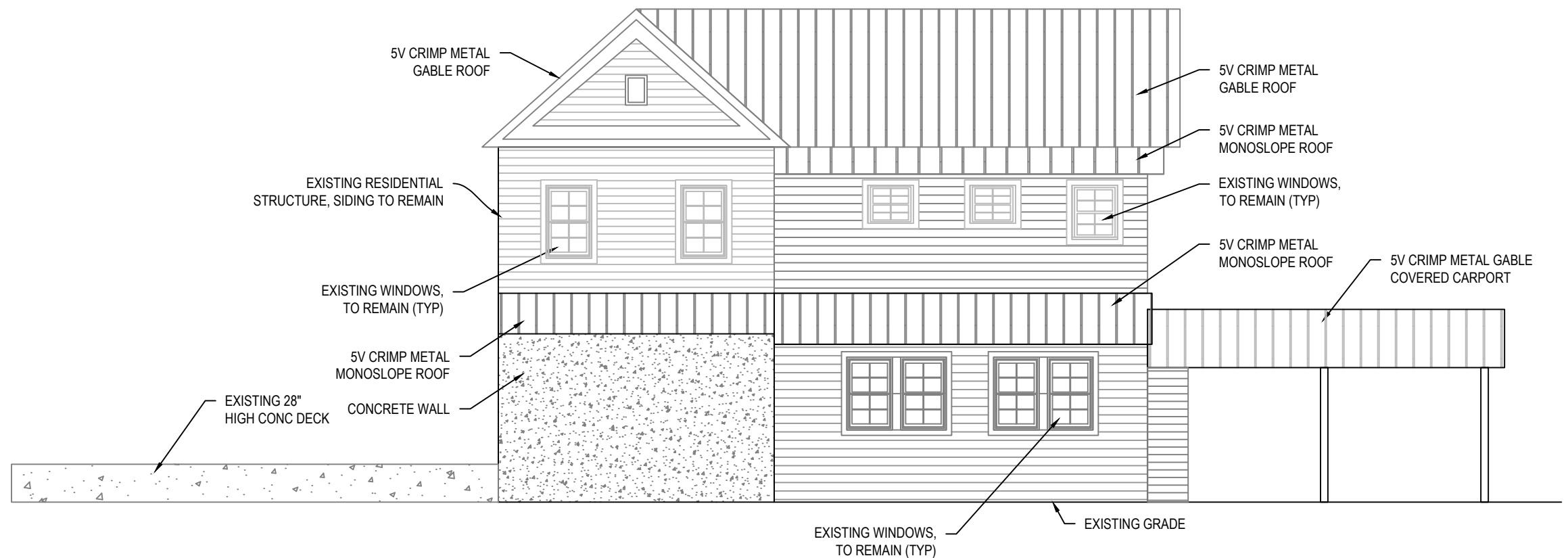
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KEY WEST, FL 33040

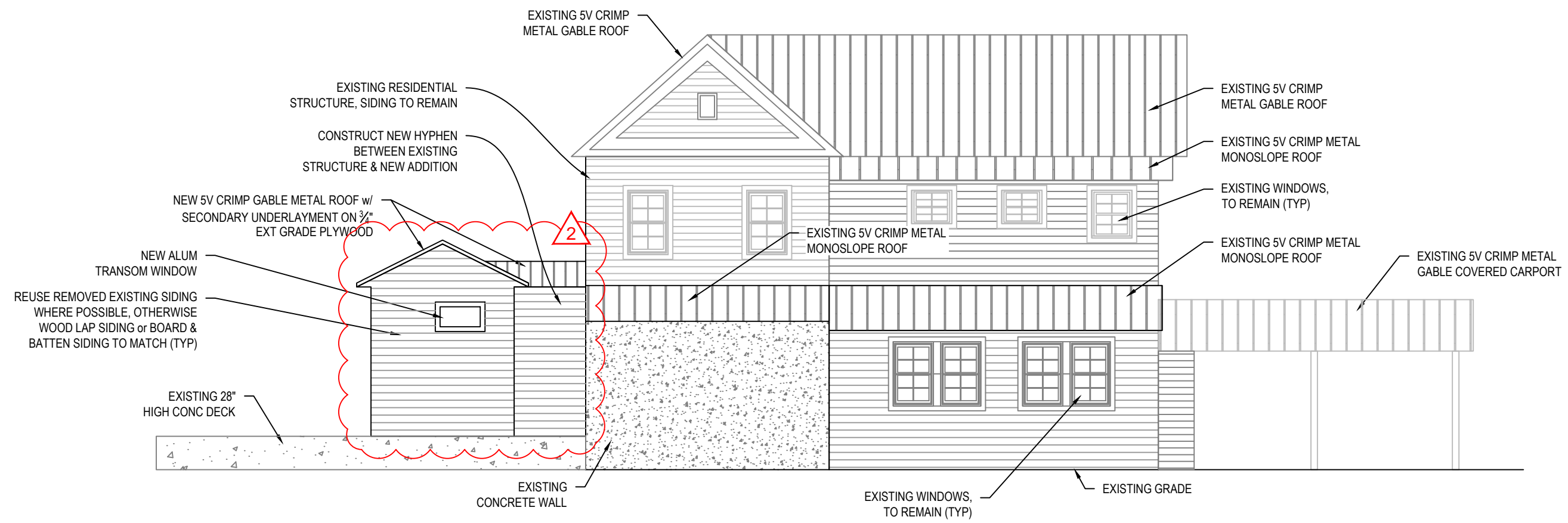
SHEET TITLE:
ELEVATIONS (CONT'D)

SHEET NUMBER:
S-6.2
SHEET 9 OF 10

DATE:
OCTOBER 28, 2021



10 EXISTING ELEVATION VIEW - NORTH
S-2.0 SCALE: 1/8" = 1'-0"

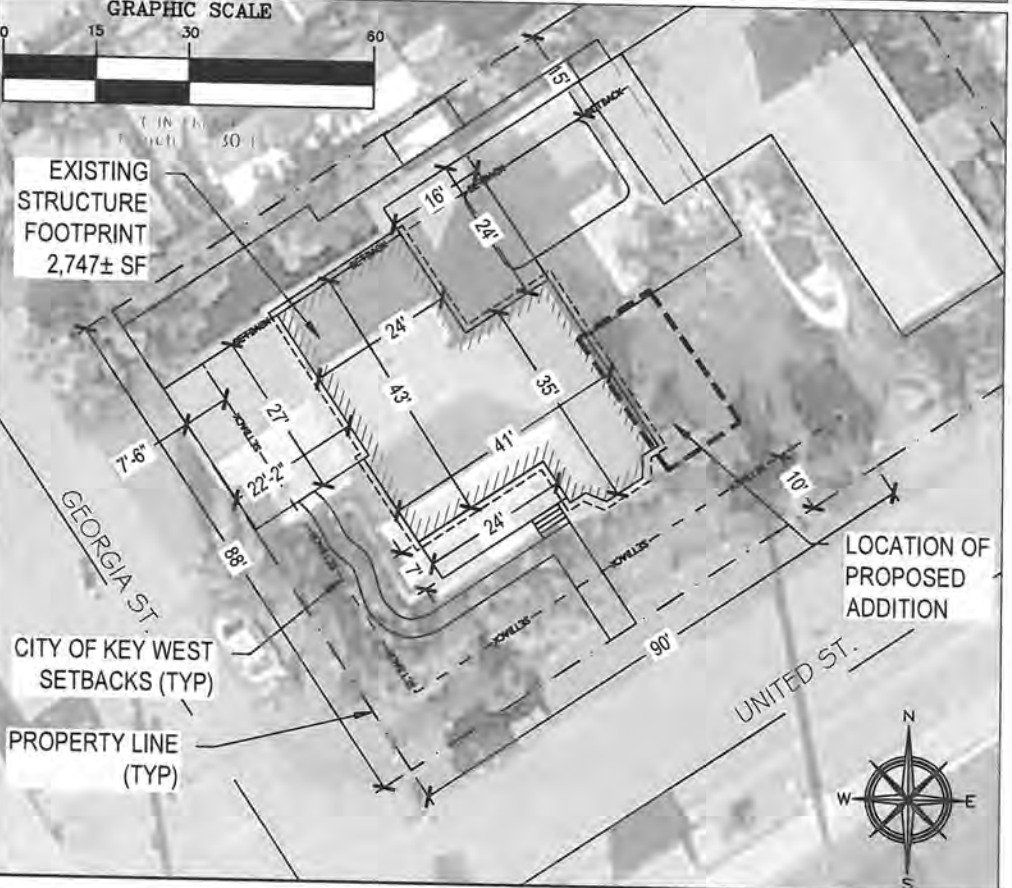


11 PROPOSED ELEVATION VIEW - NORTH
S-2.0 SCALE: 1/8" = 1'-0"

PREVIOUSLY SUBMITTED DESIGN

PROJECT INFO

RE# 00035400-000000
 OWNER INOCENTE & DENISE SANTIAGO
 ADDRESS 1301 UNITED ST, KEY WEST, FL 33040
 SCT/TWN/RNG 05-68-25
 LEGAL KW MOFFATS SUB PB1-12 LOTS 3 AND 4 SQR 4 TR 14
 FLOOD ZONE EFFECTIVE: X (NGVD); PRELIM: AE-9 (NAVD)
 FIRM COMMUNITY #12087C; MAP & PANEL 1516K; (02/18/05)
 SETBACKS FRONT 10 FT / STREET SIDE 7.5 FT / SIDE 5 FT / REAR 15 FT
 LOT AREA 7,920 SF
 MAX HEIGHT 30 FT
 OCCUPANCY R-3
 ZONING HMDR (HISTORIC MEDIUM DENSITY RESIDENTIAL)
 TYPE OF CONST V-B



GENERAL REQUIREMENTS

- CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL SITE CONDITIONS, DIMENSIONS, AND DETAILS AND SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES, PERCEIVED OR REAL, PRIOR TO COMMENCEMENT OF WORK.
- ANY ISSUES OR QUESTIONS PERTAINING TO THE CONSTRUCTION DRAWINGS RELATED TO SITE WORK IMPROVEMENTS SHALL BE DIRECTED TO THE ENGINEER.
- ALL MATERIALS, EQUIPMENT, CONNECTORS, AND WORK SHALL MEET OR EXCEED THE DESIGN DATA AND COMPLIANCE CODE CITED.
- ENGINEER IS NOT RESPONSIBLE FOR ANY SUPERVISION DURING CONSTRUCTION.
- THE CONTRACTOR MAINTAINS THE RESPONSIBILITY FOR ALL CONSTRUCTION MEANS, METHODS, AND TECHNIQUES REQUIRED TO PERFORM THE WORK AS OUTLINED IN THE CONSTRUCTION PLANS. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER.
- THE STRUCTURAL INTEGRITY OF THE WORK SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF SUPPORTING DURING CONSTRUCTION AND REQUIRE TEMPORARY BRACING UNTIL PERMANENTLY APPLIED TO STRUCTURE AS DIRECTED. THE ENGINEER ASSUMES NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE PLANS AND SPECIFICATIONS, OR ARE SUPERVISED BY THE STRUCTURAL ENGINEER DURING CONSTRUCTION.
- ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE ENGINEER.
- DISSIMILAR METALS SHALL BE ISOLATED TO PREVENT GALVANIC ACTION.
- ALL DEBRIS AND FILL MATERIAL EXCAVATED FROM THE SITE SHALL BE HANDLED IN COMPLIANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND SHALL BE HAULED TO AN APPROVED DISPOSAL SITE.
- UPON COMPLETION OF WORK, LEAVE SITE IN CLEAN CONDITION SATISFACTORY TO OWNER. CLEAN-UP SHALL INCLUDE DISPOSAL OF ALL ITEMS AND MATERIALS NOT REQUIRED FOR NEW CONSTRUCTION AS WELL AS ALL DEBRIS AND RUBBISH.

DESIGN DATA

- THE WORK DEPICTED HEREIN WAS DESIGNED TO MEET THE REQUIREMENTS OF THE 2020 FLORIDA RESIDENTIAL BUILDING CODE, THE CITY OF KEY WEST HISTORIC ARCHITECTURAL GUIDELINES, AND THE LATEST EDITIONS OF THE FLORIDA ENERGY CODE, FIRE CODE, AND LIFE SAFETY CODE.
- FLOOR AND DECK LOADS: DEAD=20 PSF / LIVE=40 PSF
- ROOF LOADS: DEAD=15 PSF / LIVE=20 PSF
- INTERIOR PARTITIONS: DEAD=6 PSF
- EXTERIOR 2x6 WALLS: DEAD=10 PSF
- CEILING (MINIMAL ATTIC STORAGE): DEAD=5 PSF / LIVE=10 PSF
- WIND SPEED = 180 MPH
- EXPOSURE 'D'
- ASCE 7-16 USED FOR ALL WIND PRESSURE CALCULATIONS

HURRICANE ANCHORS

- ALL HURRICANE ANCHORS TO BE FBC TESTED AND APPROVED, AND SIZED FOR LOADS REQUIRED.
- SEE DRAWING PLANS AND DETAILS FOR SPECIFIC TYPE OF ANCHORS TO BE USED FOR EACH INDIVIDUAL APPLICATION.
- ALL SIMPSON STRONG-TIE OR OTHER APPROVED WOOD CONNECTORS TO BE ZMAX GALVANIZED COATED UNLESS NOTED OTHERWISE.

SCOPE OF WORK
 CONSTRUCT A NEW ADDITION FOR EXISTING RESIDENTIAL STRUCTURE

INDEX OF DRAWINGS

- SHEET G-1.0 - SITE LOCATION AND NOTES
- SHEET S-1.0 - EXISTING CONDITIONS
- SHEET S-2.0 - PROPOSED FLOOR PLAN
- SHEET S-3.0 - PROPOSED FLOOR FRAMING & FOUNDATION PLAN
- SHEET S-4.0 - PROPOSED ROOF FRAMING PLAN
- SHEET S-5.0 - CONSTRUCTION DETAILS
- SHEET S-6.0 - ELEVATIONS
- SHEET S-6.1 - ELEVATIONS (CONT'D)
- SHEET S-6.2 - ELEVATIONS (CONT'D)
- SHEET S-7.0 - PROPOSED ELECTRICAL PLAN

LUMBER

- PRESSURE TREATMENT SHALL BE PROVIDED TO MEET OR EXCEED THE COMPLIANCE CODE CITED AND, WHERE NOTED, P.T. MEANS PRESSURE TREATMENT. FIELD CUTS AND HOLES SHALL BE PRESERVATIVE TREATED.
- SEE RELATED NOTES ON ROOF TRUSSES AND ON HURRICANE ANCHORS.
- WALL STUDS MIN. Fb = 1100 P.S.I. ALL 2x4 INTERIOR BEARING WALLS SHALL BE FRAMED 12" O.C., ALL 2x6 EXTERIOR WALLS AND 2x4 INTERIOR NON-BEARING WALLS SHALL BE FRAMED 16" O.C.
- WOOD HEADERS MIN. Fb = 975 P.S.I. WHERE NOT NOTED SHALL BE (2) 2" x 12".
- BEAM STRESSES: 2x8 Fb = 1610 P.S.I., E = 1,700,000
- MIN 3/4" CDX PLYWOOD ROOF SHEATHING, WHERE NOT NOTED OTHERWISE, SHALL BE NAILED WITH 8d RING OR SCREW SHANK (0.131" x 2 1/2") NAILS AT 4" O.C. ALONG PANEL ENDS AND AT 6" O.C. IN THE FIELD ALONG INTERMEDIATE FRAMING SUPPORTS. USE PLYWOOD CLIPS AT ALL LOCATIONS.
- ALL STRUCTURAL LUMBER SHALL CONFORM TO THE LATEST EDITION OF THE NFPA "NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENINGS" AND SUPPLEMENT, "DESIGN VALUES FOR WOOD CONSTRUCTION".
- PROVIDE BLOCKING BETWEEN ALL JOISTS 2x6 OR GREATER AT INTERVALS NOT TO EXCEED 8 FEET AND AT ALL SUPPORTS.
- ALL FLUSH CONNECTIONS SHALL HAVE BEAM OR JOIST HANGERS CAPABLE OF SUPPORTING THE MAXIMUM REACTION OF THE MEMBER.
- ALL NAILING SHALL BE IN ACCORDANCE WITH FBC 2020 AND SHALL BE COMMON NAILS U.N.O.
- ALL CONNECTIONS SHALL CONFORM TO THE CURRENT EDITION OF THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION AND THE CONTRACT DOCUMENTS.
- ALL STRUCTURAL LUMBER SHALL BE STAMPED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S "CONSTRUCTION MANUAL."
- ALL WOOD FRAMING SHALL BE SOUTHERN PINE NO. 2 OR BETTER, KILN DRIED TO 15% MOISTURE CONTENT, UNLESS OTHERWISE NOTED, AND SHALL HAVE A MINIMUM ALLOWABLE BENDING STRESS OF 1100 PSI, MODULUS OF ELASTICITY OF 1,400,000 PSI AND HORIZONTAL SHEAR STRESS OF 90 PSI.
- HANGERS, FRAMING ANCHORS, AND FASTENERS: PROVIDE AND INSTALL STAMPED AND FABRICATED STEEL OF THE TYPE INDICATED AS REQUIRED IN THE CONSTRUCTION DOCUMENTS OR CONNECTION SHOP DRAWINGS. NAILS TO BE THOSE FURNISHED BY THE MANUFACTURER FOR THIS SPECIFIC USE. NAILS SHALL BE FULLY DRIVEN IN ALL HOLES IN THE ANCHOR. "SIMPSON STRONG-TIE" OR OTHER APPROVED HANGERS SHALL BE PROVIDED CONFORMING TO THE REQUIREMENTS INDICATED. ALL HANGERS AND ANCHORS SHALL BE ZMAX GALVANIZED UNLESS NOTED OTHERWISE.
- BOLTS AND EXPANSION ANCHORS SHALL BE ASTM A325, GALV., UNLESS NOTED OTHERWISE.

FOUNDATION & CONCRETE NOTES

- CONTRACTOR SHALL VERIFY DIMENSIONS OF MODULAR STRUCTURE PRIOR TO BEGINNING ANY WORK.
- ALL FOOTINGS ARE TO BE PLACED ON FIRM, UNDISTURBED, NATURAL ROCK UNLESS OTHERWISE NOTED.
- AUGER PILE DIAMETERS AND EMBEDMENT INTO ROCK SHALL BE NO LESS THAN 16" DIAMETER NOR LESS THAN 3' INTO ROCK UNLESS OTHERWISE NOTED. CONCRETE SHALL NOT BE MIXED IN PLACE IN A WET AUGER HOLE.
- CENTER ALL FOOTINGS UNDER WALLS, COLUMNS, OR GRID LINES UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FURNISH FIELD DENSITY TESTS ON COMPACTED FILL UNDER FOOTINGS AND SLABS PRIOR TO PLACING CONCRETE. A MINIMUM OF 3 REPRESENTATIVE TESTS SHALL BE TAKEN FOR EACH FOOTING AND SLAB POUR.
- ALL CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE I PORTLAND CEMENT, STONE AGGREGATE AND SHALL DEVELOP AT LEAST 4000 PSI COMPRESSIVE STRENGTH IN 28 DAYS. (UNLESS OTHERWISE NOTED.)
- SLABS, TOPPING, FOOTINGS, BEAMS AND WALLS SHALL NOT HAVE JOINTS IN THE HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE AT THE CENTER OF SPAN WITH VERTICAL BULKHEADS AND SHEAR KEYS, UNLESS OTHERWISE NOTED.
- CONSTRUCTION JOINTS FOR SLABS ON GRADE SHALL BE INSTALLED TO MINIMIZE RANDOM CRACKING PER ACI 224.3R-95(R2013), AS DETAILED IN THE PLANS, OR AS OTHERWISE APPROVED BY THE ENGINEER.
- ALL CONCRETE WORK AND REINFORCING DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 318. EXPOSED EDGES OF CONCRETE SHALL HAVE 1/2" CHAMFER. USE STANDARD HOOKS ON DOWELS UNLESS OTHERWISE NOTED.
- CONCRETE FORMS SHALL BE WETTED IMMEDIATELY PRIOR TO PLACING CONCRETE.
- MIXING, PLACING AND CURING OF ALL CONCRETE MUST BE IN ACCORDANCE WITH ACI 305R, HOT WEATHER CONCRETING. NEW CONCRETE EXPOSED TO DIRECT SUNLIGHT SHALL BE SPRAYED OR MOPPED WITH A CURING COMPOUND TO SEAL IN MOISTURE AFTER THE FINISH HAS SET, OR THE CONCRETE COVERED AND SPRAYED.
- ALL REINFORCING SHALL BE HIGH STRENGTH DEFORMED BARS CONFORMING TO ASTM A-615, GRADE 60.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 AND SHALL BE LAPPED ONE FULL MESH AND AT SIDE AND END SPLICES AND WIRED TOGETHER.
- REINFORCEMENT COVERAGE SHALL BE 2" MINIMUM WHEN FORMS ARE USED AND 3" MINIMUM WHEN POURED AGAINST THE EARTH, UNLESS OTHERWISE NOTED.
- LAP SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS. MAKE ALL BARS CONTINUOUS AROUND CORNERS.
- PROVIDE ALL ACCESSORIES NECESSARY TO SECURE REINFORCING IN PROPER POSITION AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH ACI 318. ALL ACCESSORIES TO BE GALVANIZED.
- ANCHOR BOLTS, NUTS, AND WASHERS SHALL BE MINIMUM 3/4" GALVANIZED STEEL AND EMBEDDED MINIMUM 7" INTO CONCRETE AND SPACED MAXIMUM 4' O.C. ALL FASTENERS SHALL BE LOCATED A MINIMUM OF 6 TIMES THE FASTENER DIAMETER AWAY FROM CONCRETE EDGES.
- MANUFACTURED STRAPS AND ANCHORS SHALL BE GALVANIZED AND SHALL BE FASTENED PER THE MANUFACTURER RECOMMENDATIONS. IN NO EVENT SHALL A STRUCTURAL MEMBER SUCH AS PIER, SILL, JOIST, PLATE, RAFTER OR TRUSS BE WITHOUT ANCHORAGE DEVICES FOR HURRICANE PROTECTION, UNLESS SPECIFICALLY NOTED AND ADDRESSED BY OTHER MEANS.



This item has been digitally signed and sealed by Stephen L. Markey, P.E., using a digital signature. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

STEPHEN L. MARKEY
 PROFESSIONAL ENGINEER
 LICENSE NO. 74560
 STATE OF FLORIDA

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 CIVIL ENGINEERING SERVICES
 KEY WEST, FL
 (305) 509-2647
 CERTIFICATE OF AUTHORIZATION #30200

DRAWN BY	SLM	PROJECT NO.	21-18-1
REVIEWED BY	SLM	SCALE	AS NOTED
CAD FILE	1301 United St Addition NO DECK ROOF2 (08-28-21).dwg	SHEET SIZE	ANSI B (11x17)

SANTIAGO RESIDENCE RENOVATION PROJECT
 1301 UNITED ST.
 KEY WEST, FL 33040

SHEET TITLE	SITE LOCATION AND NOTES
SHEET NUMBER	G-1.0 SHEET 1 OF 10
DATE	JULY 28, 2021

THIS DOCUMENT IS FOR CONSTRUCTION UNLESS NOTED OTHERWISE. UNLESS NOTED OTHERWISE, THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PURPOSE. UNLESS NOTED OTHERWISE, THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PURPOSE. UNLESS NOTED OTHERWISE, THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PURPOSE.

STEPHEN L. MARKEY
PROFESSIONAL ENGINEER
LICENSE NO. 74560
STATE OF FLORIDA

SLIM ENGINEERING INC.
CIVIL ENGINEERING SERVICES
KEY WEST, FL
(305) 509-2647
CERTIFICATE OF AUTHORIZATION #30200

DRAWN BY	SLM	PROJECT NO.	21-18-1
REVIEWED BY	SLM	SCALE	AS NOTED
CAD FILE	L101 United St. Addition NO DECK ROOF.dwg	SHEET SIZE	ANSI B (11x17)

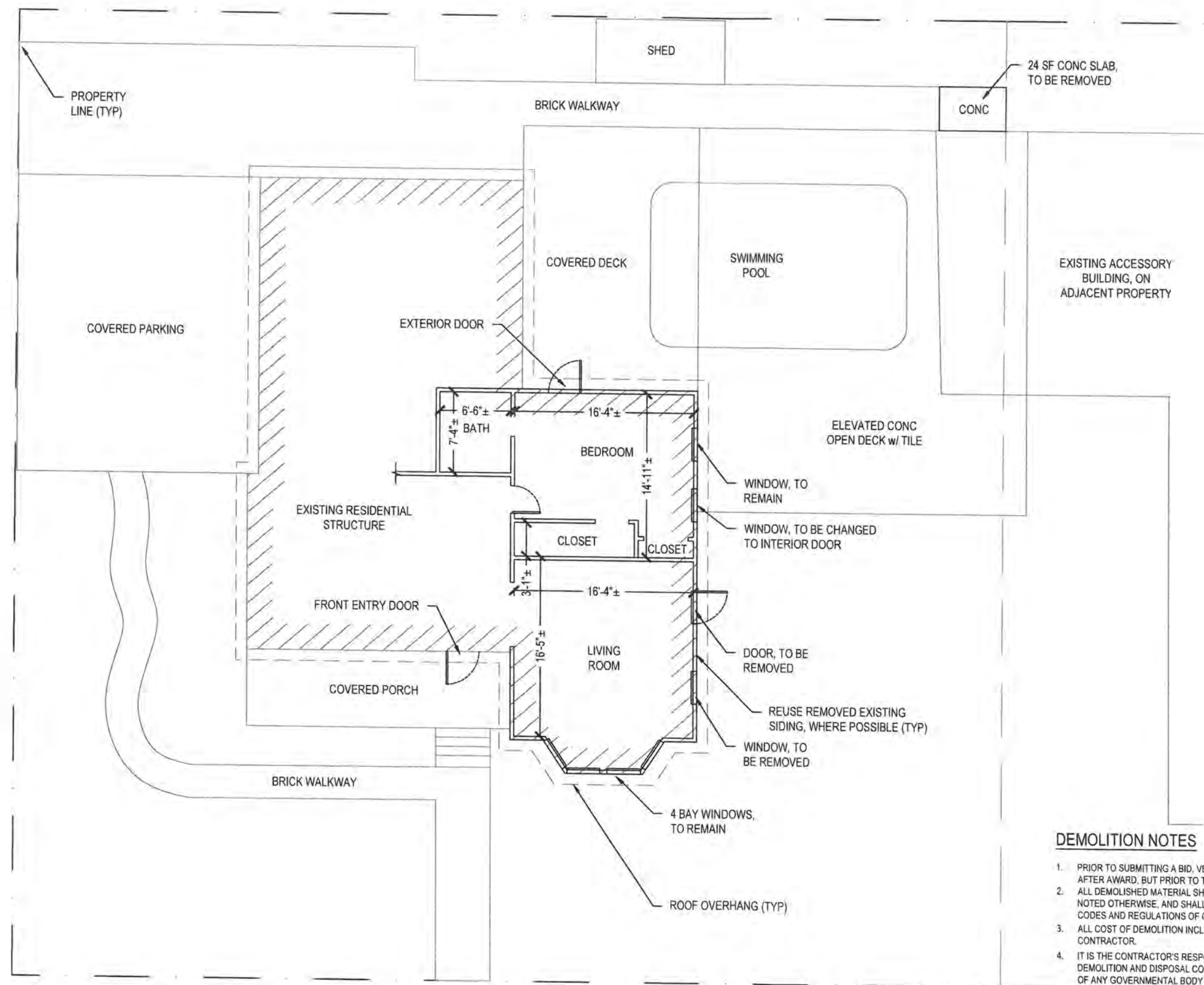
SANTIAGO RESIDENCE RENOVATION PROJECT

1301 UNITED ST.
KEY WEST, FL 33040

SHEET TITLE
EXISTING CONDITIONS

SHEET NUMBER
S-1.0
SHEET 2 OF 10

DATE
JULY 28, 2021



DEMOLITION NOTES

1. PRIOR TO SUBMITTING A BID, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON THE JOB SITE, AND ALSO AFTER AWARD, BUT PRIOR TO THE START OF CONSTRUCTION.
2. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE, AND SHALL BE PROPERLY REMOVED FROM THE SITE, COMPLY WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
3. ALL COST OF DEMOLITION INCLUDING PERMIT FEES, DISPOSAL FEES, ETC. ARE THE RESPONSIBILITY OF THE CONTRACTOR.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF AND TO CONFORM WITH ALL APPLICABLE DEMOLITION AND DISPOSAL CODES, SAFETY REQUIREMENT, AND ENVIRONMENTAL PROTECTION REGULATIONS OF ANY GOVERNMENTAL BODY HAVING JURISDICTION OVER THE WORK.
5. PROVIDE SAFETY BARRICADES AS REQUIRED TO PROTECT THE SAFETY OF THE GENERAL PUBLIC AND WORKERS ASSOCIATED WITH THE PROJECT.
6. PROVIDE BRACING AND SHORING AS REQUIRED TO TEMPORARILY SUPPORT STRUCTURAL MEMBERS DURING CONSTRUCTION. BRACING & SHORING OF STRUCTURAL MEMBERS SHALL BE DESIGNED AND/OR APPROVED BY A PROFESSIONAL ENGINEER.
7. DEMOLISHED MATERIAL CLASSIFIED AS CLEAN FILL MAY BE DISTRIBUTED ONSITE WHEN SPECIFICALLY APPROVED BY THE ENGINEER.

FIRST FLOOR EXISTING CONDITIONS
SCALE: 1" = 10'

THIS IS NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY THE ENGINEER

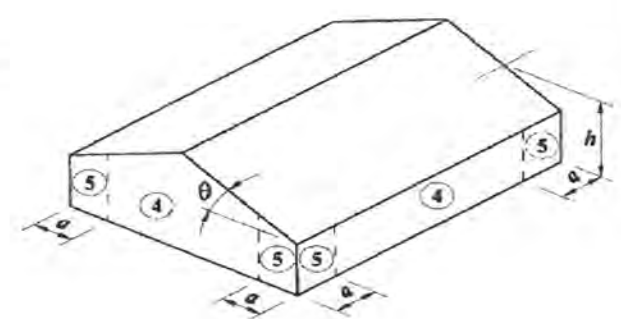
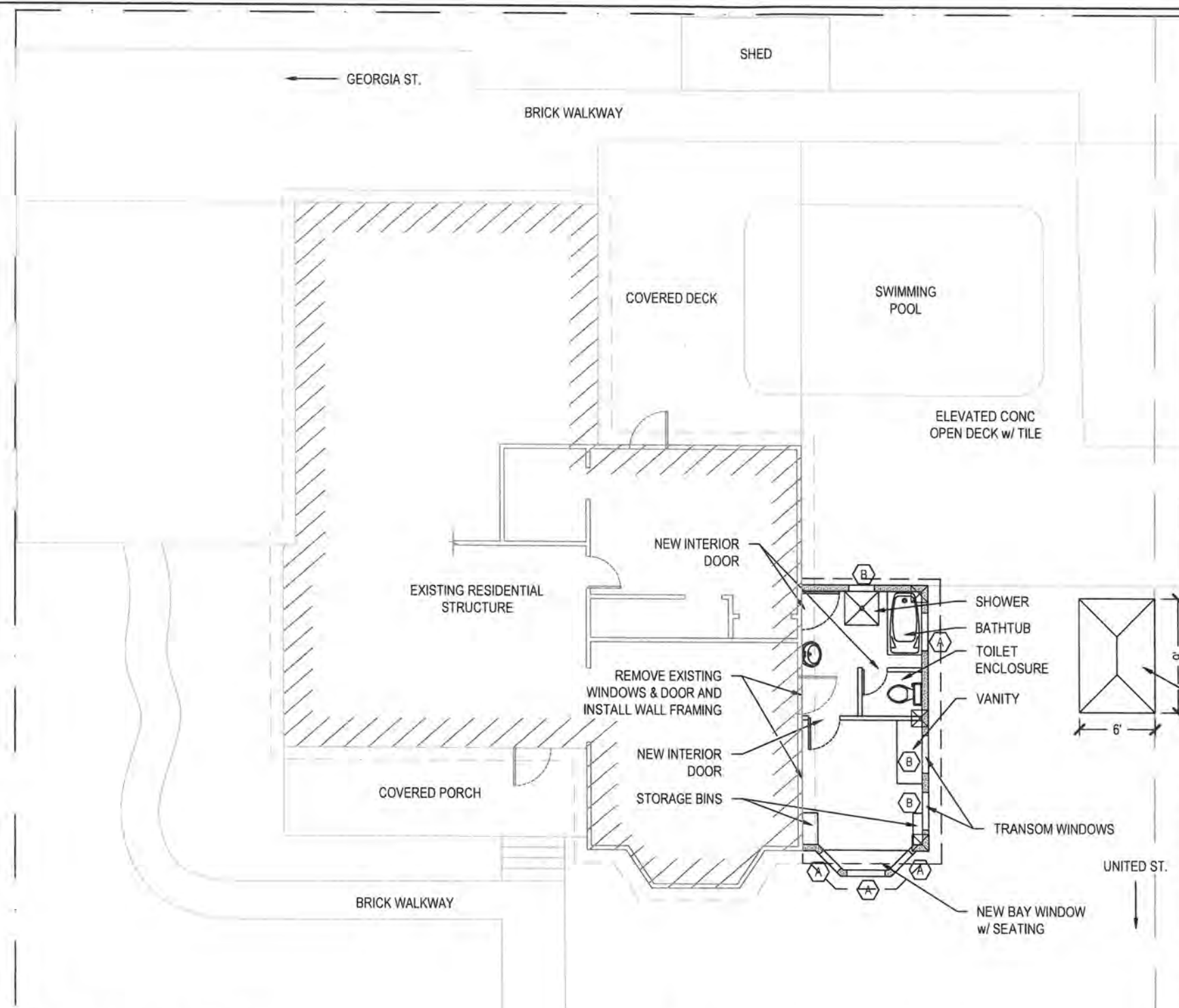
STEPHEN L. MARKEY
PROFESSIONAL ENGINEER
LICENSE NO. 74560
STATE OF FLORIDA

Slim Engineering Inc.
CIVIL ENGINEERING SERVICES
KEY WEST, FL
(305) 509-2647
CERTIFICATE OF AUTHORIZATION #30200

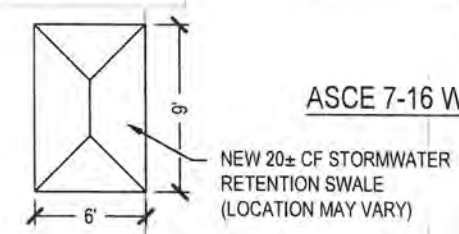
PROJECT NO: 21-18-1
SCALE: AS NOTED
ANSI B (11x17)

SANTIAGO RESIDENCE RENOVATION PROJECT
1301 UNITED ST.,
KEY WEST, FL 33040

SHEET TITLE: PROPOSED FLOOR PLAN
SHEET NUMBER: **S-2.0**
SHEET 3 OF 10
DATE: JULY 28, 2021



ASCE 7-16 WINDLOAD WALL ZONE DIAGRAM

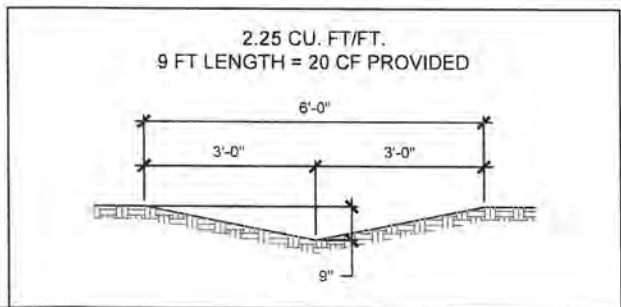


NEW 20± CF STORMWATER RETENTION SWALE (LOCATION MAY VARY)

SITE DATA CALCULATIONS		
	EXISTING	PROPOSED
PROPERTY AREA	7,920 SF	7,920 SF
BUILDING COVERAGE	2,957 SF	3,204 SF
OPEN SPACE RATIO	0.63	0.60
PERCENT BLDG COVERAGE	37%	40% (40% MAX)
IMPERVIOUS AREA	4,543 SF	4,753 SF
PERCENT IMPERVIOUS AREA	57%	60% (60% MAX)

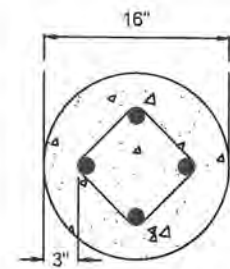
SITE DRAINAGE CALCULATIONS		
TOTAL LOT SIZE		7,920 SF
TOTAL EXISTING IMPERVIOUS COVERAGE		4,543 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE		4,753 SF
NEW IMPERVIOUS AREA	PROPOSED - EXISTING =	234 SF
CUBIC FT REQUIRED	234 SF x 0.083 =	19.42 CF
CUBIC FT PROVIDED		20 CF

PROPOSED FLOOR PLAN (1st FLOOR)
SCALE: 1" = 10'



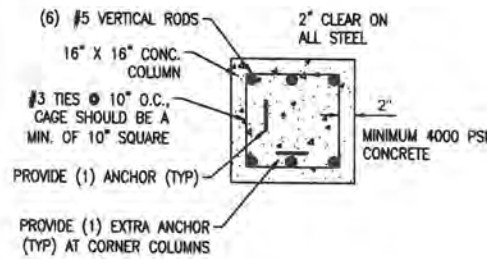
- ASCE 7-16 / ASTM E 1996-09, ZONE 4, 180 MPH (3-SEC) GUST, EXPOSURE C.
- INSTALL PER APPROVED MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL PROVIDE WINDOW & DOOR MANUFACTURER & MODELS, WINDOW & DOOR WIND LOAD RATING, AND PRODUCT APPROVALS.

WINDOW/DOOR SCHEDULE				
KEY	NOMINAL SIZE (W X H)	TYPE	WINDLOAD REQUIREMENT (ASCE 7-16)	
			ZONE 4	ZONE 5
A	30" x 60"	SINGLE HUNG WINDOW	+41.9/ -45.4	+41.9/ -55.7
B	30" x 18"	TRANSOM WINDOW	+42.3/ -45.9	+42.3/ -56.6

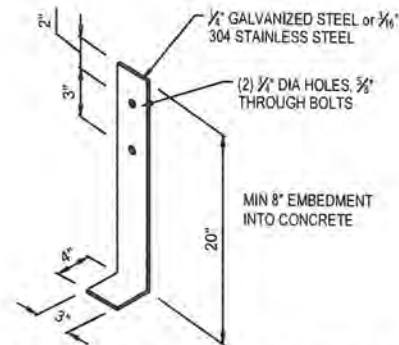


16" DIA CONCRETE AUGER PILE w/ (4) #5 VERTICAL BARS.
#3 TIES @ 10" O.C. 3" INTO ROCK. CLEAN HOLES BEFORE PLACING 4,000 PSI CONCRETE

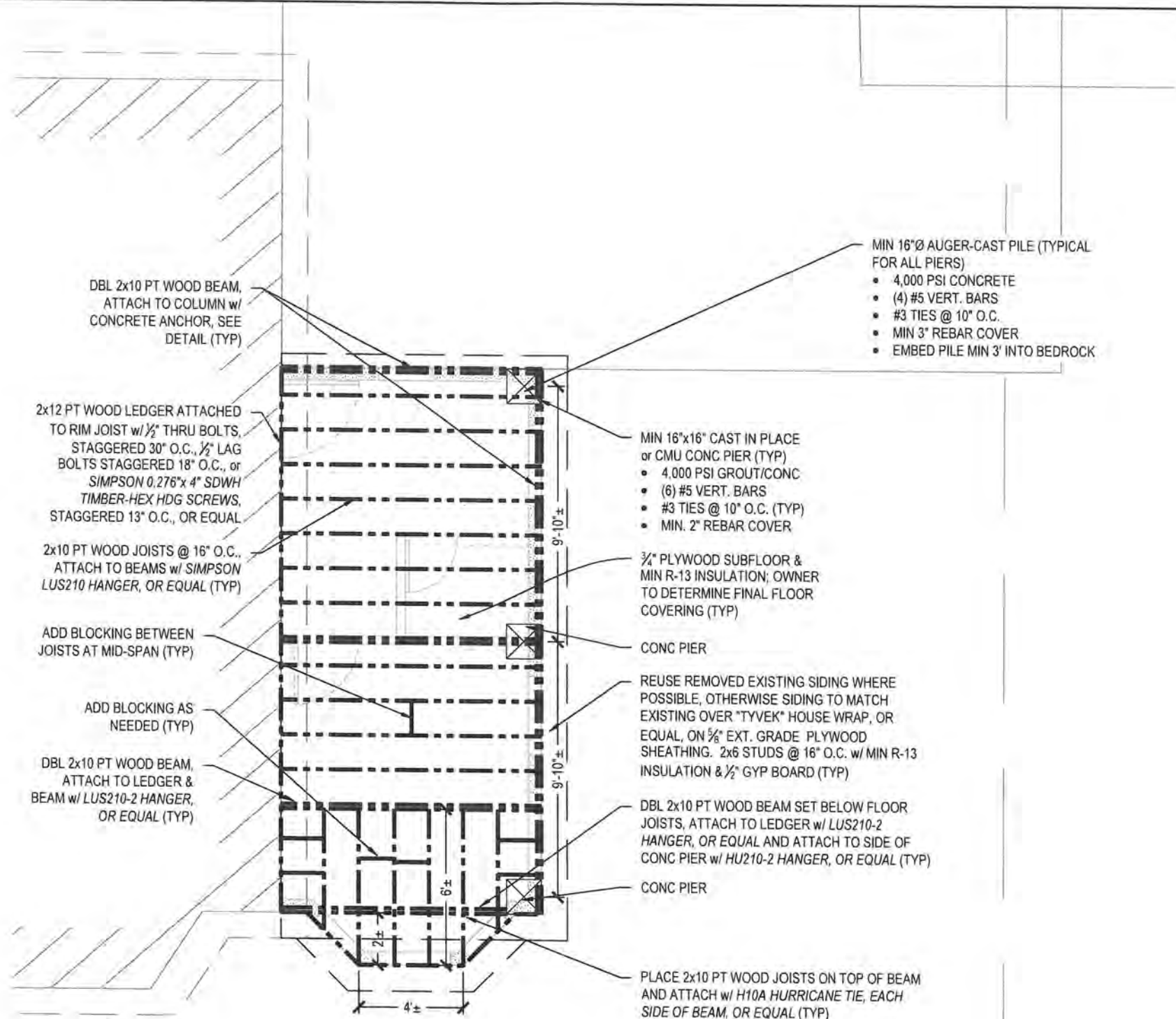
1 AUGER PILE DETAIL
S-3.0 SCALE: N.T.S.



2 CONCRETE COLUMN DETAIL
S-3.0 SCALE: N.T.S.



3 CONCRETE ANCHOR DETAIL
S-3.0 SCALE: N.T.S.



PROPOSED FOUNDATION & FLOOR FRAMING PLAN
SCALE: 1" = 5'

- MIN 16"Ø AUGER-CAST PILE (TYPICAL FOR ALL PIERS)
- 4,000 PSI CONCRETE
 - (4) #5 VERT. BARS
 - #3 TIES @ 10" O.C.
 - MIN 3" REBAR COVER
 - EMBED PILE MIN 3' INTO BEDROCK

- MIN 16"x16" CAST IN PLACE or CMU CONC PIER (TYP)
- 4,000 PSI GROUT/CONC
 - (6) #5 VERT. BARS
 - #3 TIES @ 10" O.C. (TYP)
 - MIN. 2" REBAR COVER

3/4" PLYWOOD SUBFLOOR & MIN R-13 INSULATION; OWNER TO DETERMINE FINAL FLOOR COVERING (TYP)

REUSE REMOVED EXISTING SIDING WHERE POSSIBLE, OTHERWISE SIDING TO MATCH EXISTING OVER "TYVEK" HOUSE WRAP, OR EQUAL, ON 5/8" EXT. GRADE PLYWOOD SHEATHING. 2x6 STUDS @ 16" O.C. w/ MIN R-13 INSULATION & 1/2" GYP BOARD (TYP)

DBL 2x10 PT WOOD BEAM SET BELOW FLOOR JOISTS, ATTACH TO LEDGER w/ LUS210-2 HANGER, OR EQUAL AND ATTACH TO SIDE OF CONC PIER w/ HU210-2 HANGER, OR EQUAL (TYP)

PLACE 2x10 PT WOOD JOISTS ON TOP OF BEAM AND ATTACH w/ H10A HURRICANE TIE, EACH SIDE OF BEAM, OR EQUAL (TYP)

NOTES:

1. DIMENSIONS SHOWN HEREIN ARE APPROXIMATE; CONTRACTOR TO MEASURE AND VERIFY PROPER DIMENSIONS PRIOR TO CONSTRUCTION.
2. HURRICANE STRAPS, TIES, AND CONNECTORS ARE BY SIMPSON STRONG-TIE, U.N.O., AND MAY BE SUBSTITUTED WITH ENGINEER APPROVED EQUAL.
3. ALL PRODUCTS SPECIFIED IN THESE PLANS SHALL BE INSTALLED OR APPLIED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, UNLESS NOTED OTHERWISE.
4. ENGINEERED WOOD PRODUCTS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
5. IF APPLICABLE, CONCRETE ANCHORS SHALL BE AS SHOWN ON "CONCRETE ANCHOR DETAIL", OR APPROVED EQUAL.
6. CONCRETE ANCHORS SHALL BE EMBEDDED A MINIMUM OF 8" INTO CONCRETE. WIDTH (MIN 3") AND NUMBER OF BOLTS PER ANCHOR (MIN 2) MAY VARY.
7. EPOXY SHALL BE SIMPSON STRONG-TIE SET-XP, OR EQUAL.
8. PILING SIZES SHOWN HEREIN ARE MINIMUM SIZES. CONTRACTOR MAY INCREASE SIZE AS NEEDED TO ACCOMMODATE ANY UNEXPECTED CIRCUMSTANCES.
9. END-NAIL STUDS TO TOP PLATE w/ (2) 16d COMMON NAILS.
10. END-NAIL STUDS TO BOTTOM PLATE w/ (2) 16d COMMON NAILS or TOENAIL w/ (4) 8d COMMON NAILS.

PLANS NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED IN THIS BLOCK

STEPHEN L. MARKEY
PROFESSIONAL ENGINEER
LICENSE NO. 74566
STATE OF FLORIDA

SLIM ENGINEERING INC.
CIVIL ENGINEERING SERVICES
KEY WEST, FL
(305) 509-2647
CERTIFICATE OF AUTHORIZATION #30200

DRAWN BY	SLM	PROJECT NO.	21-18-1
REVIEWED BY	SLM	SCALE	AS NOTED
CAD FILE	1301 United St Addition NO DECK ROOF 2.08-28-21.dwg	SHEET SIZE	ANSIB (11x17)

SANTIAGO RESIDENCE RENOVATION PROJECT
1301 UNITED ST.
KEY WEST, FL 33040

SHEET TITLE	PROPOSED FOUNDATION & FLOOR FRAMING PLAN
SHEET NUMBER	S-3.0 SHEET 4 OF 10
DATE	JULY 28, 2021



6 EXISTING ELEVATION VIEW - SOUTH
S-2.0 SCALE: 1/8" = 1'-0"



7 PROPOSED ELEVATION VIEW - SOUTH
S-2.0 SCALE: 1/8" = 1'-0"

PLANS NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED IN THIS BLOCK

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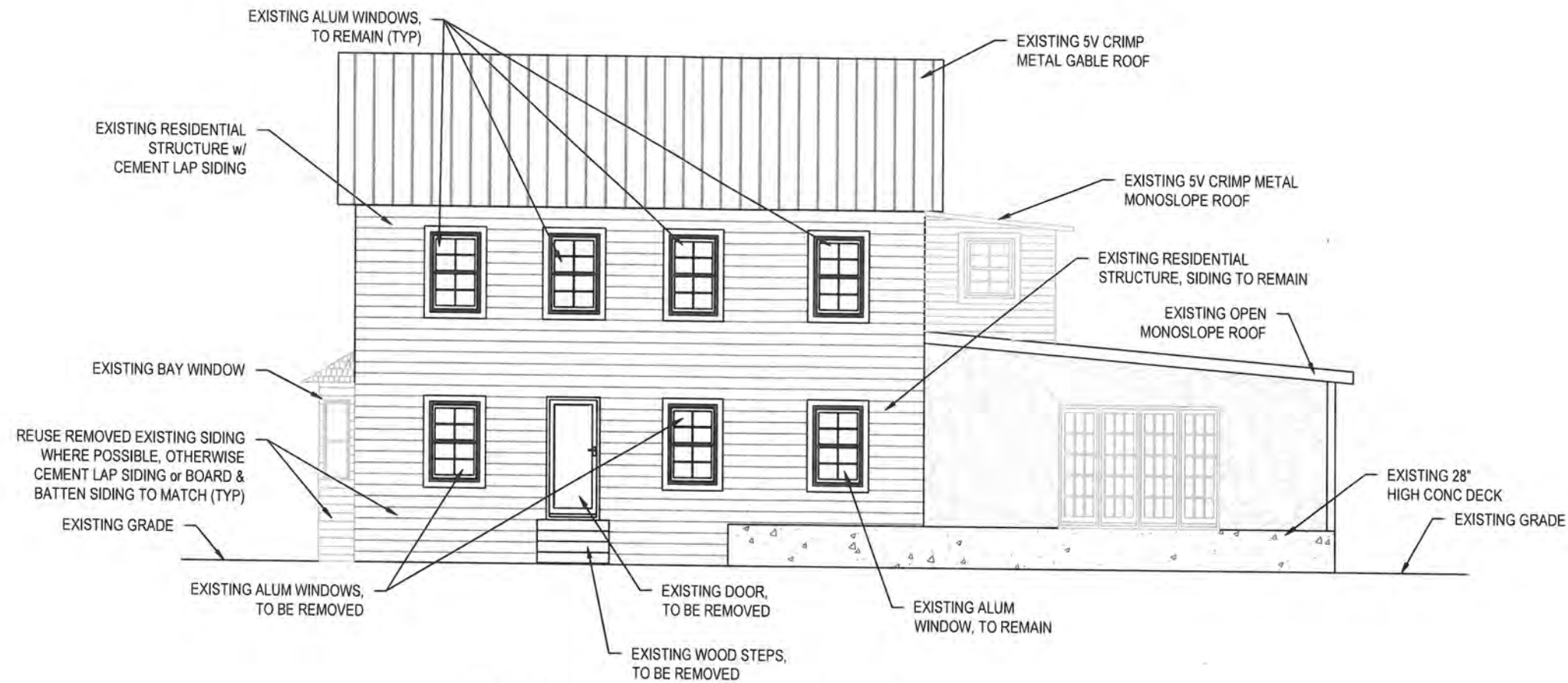
DRAWN BY:	SLM	PROJECT NO:	21-18.1
REVIEWED BY:	SLM	SCALE:	AS NOTED
CAD FILE:	1301 United St Addition NO DECK, RODEZ (08-28-21).dwg	SHEET SIZE:	ANSI B (11x17)

SANTIAGO RESIDENCE RENOVATION PROJECT
1301 UNITED ST.
KEY WEST, FL 33040

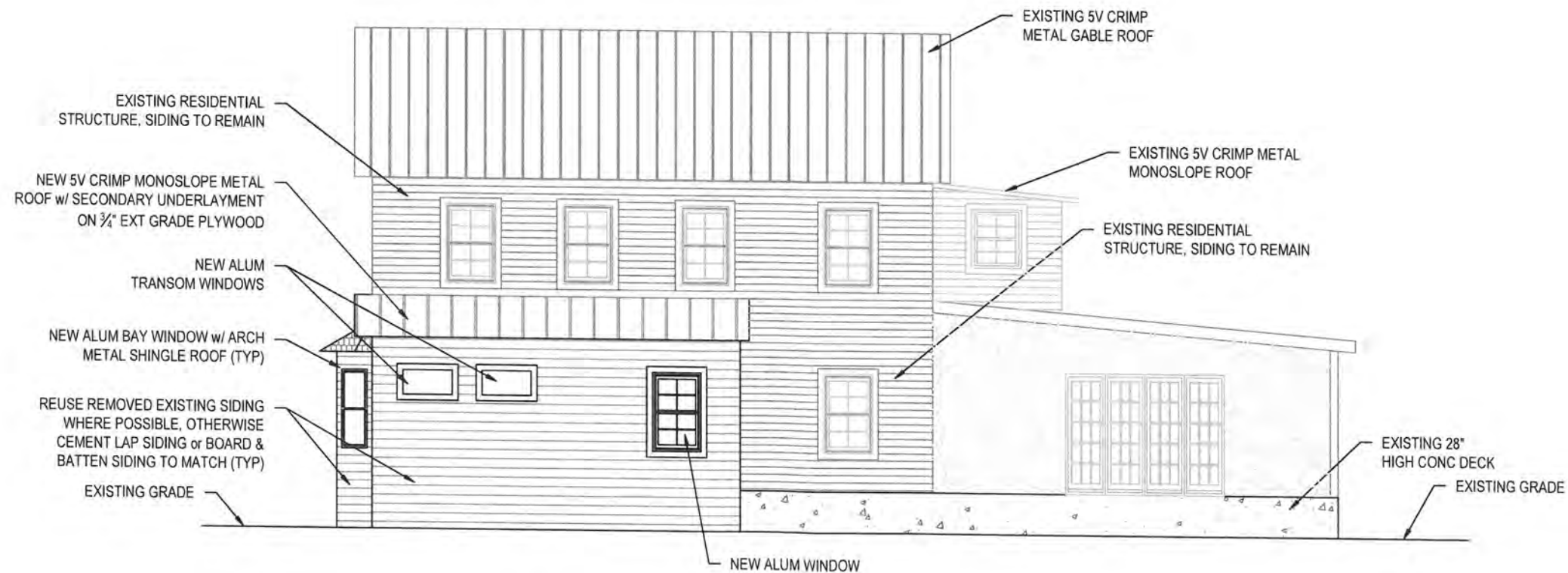
SHEET TITLE
ELEVATIONS

SHEET NUMBER
S-6.0
SHEET 7 OF 10

DATE
JULY 28, 2021



8 EXISTING ELEVATION VIEW - EAST
 S-2.0 SCALE: 1/8" = 1'-0"



9 PROPOSED ELEVATION VIEW - EAST
 S-2.0 SCALE: 1/8" = 1'-0"

PLANS NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED IN THIS BLOCK
 STEPHEN L. MARKEY
 PROFESSIONAL ENGINEER
 LICENSE NO. 74560
 STATE OF FLORIDA

SLIM ENGINEERING INC.
 CIVIL ENGINEERING SERVICES
 KEY WEST, FL
 (305) 509-2647
 CERTIFICATE OF AUTHORIZATION #30200

PROJECT NO:	21-18.1
SCALE:	AS NOTED
REVIEWED BY:	SLM
CAD FILE:	1301 United St. Addition NO DECK.RVT (08/28/21).dwt
SHEET SIZE:	ANSI B (11x17)

SANTIAGO RESIDENCE RENOVATION PROJECT
 1301 UNITED ST.
 KEY WEST, FL 33040

SHEET TITLE
 ELEVATIONS (CONTD)

SHEET NUMBER
S-6.1
 SHEET 8 OF 10

DATE
 JULY 28, 2021

PLANS NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED IN THIS BLOCK

STEPHEN L. MARKEY
PROFESSIONAL ENGINEER
LICENSE NO. 74560
STATE OF FLORIDA

SLM ENGINEERING INC.
CIVIL ENGINEERING SERVICES

KEY WEST, FL
(305) 509-2647

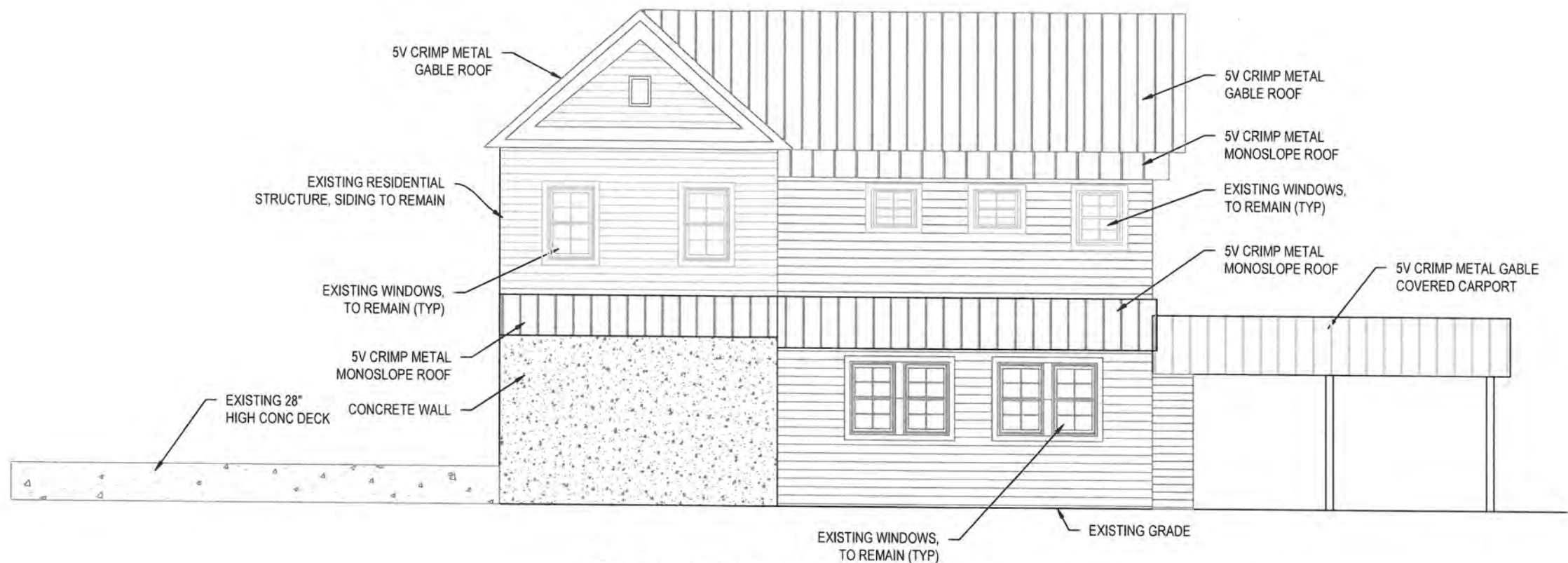
CERTIFICATE OF AUTHORIZATION #30200

DRAWN BY	SLM	PROJECT NO.	21-18-1
REVIEWED BY	SLM	SCALE	AS NOTED
CAD FILE	1301 United Sr. Addition NO DECK ROOF2 (08-2821).dwg	SHEET SIZE	ANSI B (11x17)

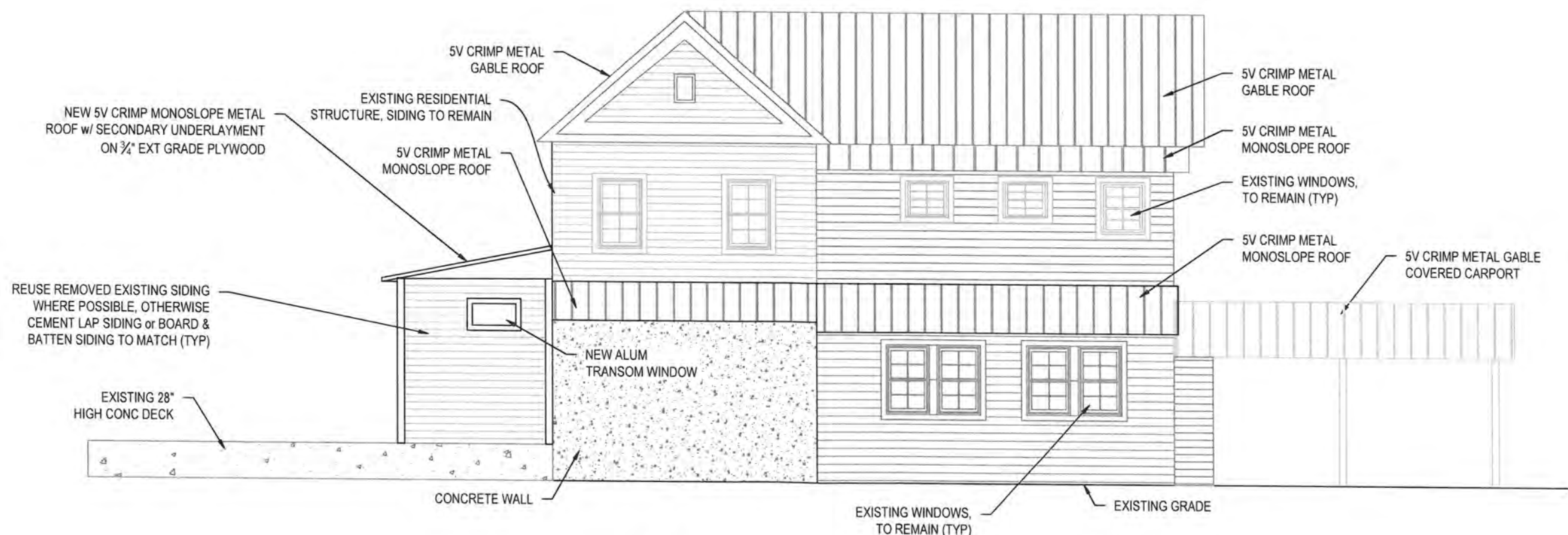
SANTIAGO RESIDENCE RENOVATION PROJECT

1301 UNITED ST.
KEY WEST, FL 33040

SHEET TITLE	ELEVATIONS (CONT'D)
SHEET NUMBER	S-6.2 SHEET 9 OF 10
DATE	JULY 28, 2021



10 EXISTING ELEVATION VIEW - NORTH
S-2.0 SCALE: 1/8" = 1'-0"



11 PROPOSED ELEVATION VIEW - NORTH
S-2.0 SCALE: 1/8" = 1'-0"

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., September 26, 2023, at City Hall, 1300 White Street**, Key West, Florida. To view the live feed of the meeting, you can tune in to Comcast channel 77, AT&T U-verse channel 99. If you wish to participate virtually, please contact HARC staff at 305-809-3973. The purpose of the hearing will be to consider a request for:

NEW ONE-STORY WOOD FRAME ADDITION TO SOUTHEAST SIDE OF EXISTING RESIDENCE. #1301 UNITED STREET

Applicant – Inocencio Santiago Application #H2021-0048

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT



STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared Denise Santiago, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address: 1301 United Street on the 11 day of September, 2023.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on September 26, 2023.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is #2021-0048

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

[Signature]
 Date: 9/11/2023
 Address: 1301 United Street
 City: Key West
 State, Zip: FL 33040

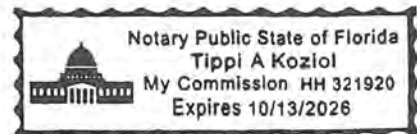
The forgoing instrument was acknowledged before me on this 11 day of September 11, 2023.

By (Print name of Affiant) _____ who is personally known to me or has produced FL DL as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: Tippi A Koziol
Print Name: Tippi A Koziol

Notary Public - State of Florida (seal)
My Commission Expires: 10/13/2023





Public
Meeting
Notice

PROPERTY APPRAISER INFORMATION

Monroe County, FL

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00035400-000000
 Account# 1036269
 Property ID 1036269
 Millage Group 10KW
 Location Address 1301 UNITED St, KEY WEST
 Legal Description KW MOFFATS SUB PB1-12 LOTS 3 AND 4 SQR 4 TR 14 OR331-515/16 OR1211-475
 (Note: Not to be used on legal documents.)
 Neighborhood 6096
 Property Class MULTI-FAMILY TRIPLEX (0803)
 Subdivision Moffat's Sub
 Sec/Twp/Rng 05/68/25
 Affordable No
 Housing



Owner

SANTIAGO JR INOCENTE O
 1301 United St
 Key West FL 33040

[SANTIAGO DENISE B](#)
 1301 United St
 Key West FL 33040

Valuation

	2023 Preliminary Values	2022 Certified Values	2021 Certified Values	2020 Certified Values
+ Market Improvement Value	\$601,454	\$522,343	\$457,161	\$462,603
+ Market Misc Value	\$29,990	\$30,050	\$30,111	\$30,172
+ Market Land Value	\$569,115	\$490,850	\$391,327	\$407,753
= Just Market Value	\$1,200,559	\$1,043,243	\$878,599	\$900,528
= Total Assessed Value	\$729,748	\$678,937	\$632,293	\$638,890
- School Exempt Value	(\$25,000)	(\$25,000)	(\$25,000)	(\$25,000)
= School Taxable Value	\$766,602	\$688,489	\$607,293	\$613,890

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2022	\$490,850	\$522,343	\$30,050	\$1,043,243	\$678,937	\$25,000	\$688,489	\$329,754
2021	\$391,327	\$457,161	\$30,111	\$878,599	\$632,293	\$25,000	\$607,293	\$246,306
2020	\$407,753	\$462,603	\$30,172	\$900,528	\$638,890	\$25,000	\$613,890	\$261,638
2019	\$403,888	\$446,276	\$30,233	\$880,397	\$624,578	\$25,000	\$599,578	\$255,819
2018	\$359,441	\$457,161	\$30,293	\$846,895	\$587,838	\$25,000	\$580,244	\$241,651

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
MULTI RES DRY (080D)	7,920.00	Square Foot	90	88

Buildings

Building ID	2816	Exterior Walls	ABOVE AVERAGE WOOD
Style	2 STORY ELEV FOUNDATION	Year Built	1929
Building Type	M.F. - R3 / R3	EffectiveYearBuilt	2013
Building Name		Foundation	WD CONC PADS
Gross Sq Ft	4261	Roof Type	GABLE/HIP
Finished Sq Ft	2905	Roof Coverage	METAL
Stories	2 Floor	Flooring Type	SFT/HD WD
Condition	AVERAGE	Heating Type	FCD/AIR NON-DC with 0% NONE

Perimeter	352	Bedrooms	3
Functional Obs	0	Full Bathrooms	3
Economic Obs	0	Half Bathrooms	0
Depreciation %	8	Grade	600
Interior Walls	WALL BD/WD WAL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
CPF	COVERED PARKING FIN	392	0	86
OPX	EXC OPEN PORCH	720	0	204
FLA	FLOOR LIV AREA	2,905	2,905	352
OOU	OP PR UNFIN UL	42	0	26
OPF	OP PRCH FIN LL	117	0	90
SBF	UTIL FIN BLK	85	0	44
TOTAL		4,261	2,905	802

Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CONC PATIO	1975	1976	0 x 0	1	398 SF	5
RES POOL	1975	1976	0 x 0	1	420 SF	3
CONC PATIO	1977	1978	0 x 0	1	610 SF	2
WROUGHT IRON	1977	1978	0 x 0	1	636 SF	1
FENCES	1977	1978	4 x 19	1	76 SF	3
CONC PATIO	2017	2018	0 x 0	1	300 SF	2

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
4/1/1992	\$162,500	Warranty Deed		1211	475	M - Unqualified	Improved		

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
16-1361	4/25/2016	8/10/2016	\$4,200	Residential	REMOVE POOL BRICK PAVERS AND CONCRETE IN AREA OUTLINED, APPROX 300 SF. POUR NEW CONCRETE DECK AND REPAVE WITH EXISTING PAVERS. (APPROX 300 SF).
13-5031	1/10/2014	3/6/2014	\$7,000	Residential	DEMOLITION OF CASTING STAIRCASE AT WEST SIDE OF HOUSE. CONSTRUCTION OF NEW WOOD STAIRCASE
10-3178	9/28/2010	6/22/2011	\$990	Residential	INSTALL 6" SEAMLESS GUTTERS AND 3 X 4 DOWNSPOUTS APPROXIMATELY 130LF FRONT AND SIDE.
10-0703	3/8/2010	6/22/2011	\$2,000	Residential	INSTALL NEW PLYWOOD/SHEATHING 155QS.
10-0548	3/1/2010	6/22/2011	\$8,000	Residential	INSTALL 155QS. 5 V-CRIMP METAL. REPLACE 5V-CRIMP METAL ROOF.

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



TRIM Notice

[2023 TRIM Notice \(PDF\)](#)

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

[User Privacy Policy](#) | [GDPR Privacy Notice](#)
Last Data Upload: 9/11/2023, 4:03:52 PM

[Contact Us](#)

