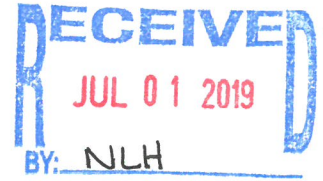


Application

SMITH/HAWKS
ATTORNEYS AT LAW

VIA HAND DELIVERY

July 1, 2019



Vanessa Sellers
Planner II
City of Key West- Planning Department
1300 White Street
Key West, FL 33040

RE: Alcohol Sales Special Exemption Application

Dear Vanessa:

Enclosed please find an Alcohol Sales Special Exemption Application on behalf of KHP IV Key West LLC, for their guesthouse known as the Merlin Guesthouse located at 801-811 Simonton Street; 813 Simonton Street; 608 Petronia Street; 610 - 616 Petronia Street. Also enclosed please find:

- A check in the amount of \$2,000.00 pursuant to the fee schedule listed online
- A check in the amount of \$150.00 for Advertising and Notice Fee/Fire Department Review Fee
- A copy of the executed Authorization Form (original submitted with the request for Chelsea House)
- An executed Verification Form
- Property Record Cards
- Special Warranty Deed
- Letter of No Objection from Reverend Denise McLeod for the neighboring church located within a 300-foot radius

If you have any questions regarding the document or would like to discuss, please do not hesitate to contact me.

Sincerely,


CHELSEA VANADIA, ESQ.
For the Firm

CV/ljr
Enclosures



THE CITY OF KEY WEST
Planning Department

**SPECIAL EXCEPTIONS ARE QUASI-JUDICIAL HEARINGS
AND IT IS IMPROPER TO SPEAK TO PLANNING BOARD
MEMBERS ABOUT THE REQUEST
OUTSIDE OF THE HEARING**

*Alcohol Sales Special Exception
Application*

Please print or type a response to the following:

1. Site Address 801-811 Simonton Street; 813 Simonton Street; 608 Petronia Street; 610-616 Petronia Street, Key West FL
2. Name of Applicant Barton W. Smith, Esq., Smith Hawks PL
3. Applicant is: Owner Authorized Representative
(please see the attached Verification & Authorization Forms)
4. Address of Applicant 138 Simonton Street, Key West, FL 33040
5. Phone # of Applicant (305) 296-7227 Mobile# _____ Fax# _____
6. **E-Mail Address** Bart@SmithHawks.com and Chelsea@SmithHawks.com
7. Name of Owner, if different than above KHP IV Key West LLC
8. Address of Owner 101 California St, Suite 980, San Francisco, CA 94111
9. Phone Number of Owner (415) 944-1568 Fax# _____
10. Email Address Ken.Reynolds@khpcp.com
11. Zoning District of Parcel HNC-1 & HHDR RE# 00016270-000000, 00016390-000000,
00016280-000100, 00016320-000000
12. Description of Use and Exception Requested
Description of Use: bottles of alcohol will be available for sale at the Guesthouse.

Exception requested: to sell alcoholic beverages at the guesthouse which is within 300 feet of an established church.

LETTER OF NO OBJECTION

On behalf of Trinity Presbyterian Church of Key West, Inc., as an affected property owner whose real property is located at 717 Simonton Street, Key West, Florida 33040, I have no objection to the sale of alcohol at the guesthouse across the street known as the Merlin Guest House located at 801-811 Simonton Street Key West, FL 33040. I acknowledge that my property, which is used a church, is located within three hundred (300) feet of the proposed location to sell alcoholic beverages. I have no objection to the sale of alcoholic beverages at the guesthouse.

Signed on this 25 day of June, 2019

Trinity Presbyterian Church of Key West Inc.

Denise McLeod
Reverend Denise McLeod

Rev. Denise McLeod

Nathaniel Pla
Clerk of Session

Warranty Deed

Doc# 2181365
Bk# 2920 Pg# 2184

EXHIBIT A TO SPECIAL WARRANTY DEED

LEGAL DESCRIPTION OF THE PROPERTY

MERLIN GUEST HOUSE:

Part of Lot 1 in Square 4 of Simonton and Walls Additions to the City of Key West, more particularly described as follows:

BEGINNING at a point on Simonton Street which is 60 feet from the junction of Simonton and Petronia Streets and running thence along said Simonton Streets in a Southeasterly direction 84.33 feet; thence at right angles in a Northeasterly direction 75 feet; thence at right angles in a Northwesterly direction 84.33 feet; thence at right angles in a Southwesterly direction 75 feet out to the Place of Beginning.

ALSO:

Part of Lot 1 of Square 4 of Tract 4 of Simonton and Wall's Addition to the City of Key West, more particularly described as follows: BEGINNING at the corner of Simonton and Petronia Streets and running thence along Petronia Street in a Northeasterly direction 75 feet; thence at right angles in a Southeasterly direction 59.33 feet; thence at right angles in a Southwesterly direction 75 feet to Simonton Street; thence along the line of Simonton Street in a Northwesterly direction 59.33 feet to the Place of Beginning.

ALSO:

Part of Lot 1 in Square 4 of Simonton and Walls Addition to the City of Key West, more particularly described as follows:

BEGINNING at a point on Simonton Street which point is 59.33 feet Southeasterly from the corner of Simonton and Petronia Streets and running thence along said Simonton Street in a Southeasterly direction 0.67 feet of a foot; thence at right angles in a Northeasterly direction 75 feet; thence at right angles in a Northwesterly direction 0.67 of a foot; thence at right angles in a Southwesterly direction 75 feet out to the Place of Beginning.

ALSO:

On the Island of Key West and is part of Lot One (1) of Square Four (4), beginning at a point on the Northeast side of Simonton Street distant 143.67 feet Southeasterly from the corner of Simonton and Petronia Streets and thence Southeasterly along the said Northeast boundary line of Simonton Street 45 feet to a point; thence Northeasterly at right angles 92 feet to a point; thence Northwesterly at right angles 99 feet to a point; thence Southwesterly at right angles 17 feet to a point; thence Southeasterly at right angles 54 feet to a point; thence Southwesterly at right angles 75 feet back to the Point of Beginning.

ALSO

(606 Petronia Street)

On the Island of Key West and is part of Lot 1, in Square 4 of Tract 4: COMMENCING at a point on the Southeasterly side of Petronia Street distant 75 feet Northeasterly from the corner of Simonton and Petronia Streets, and running thence at right angles in a

Exhibit A to Deed

ACTIVE/95881815.2

Southeasterly direction 90 feet; thence at right angles in a Northeasterly direction 26 feet; thence at right angles in a Northwesterly direction 90 feet; thence at right angles in a Southwesterly direction 26 feet to a Point of Beginning.

ALSO:

Doc# 2181365
Bk# 2920 Pg# 2185

(608 Petronia Street)

On the Island of Key West and is a Part of Lot One (1), Square Four (4). COMMENCING at a point on the Southeast side of Petronia Street, distant 101 feet Northeast from the corner of Simonton and Petronia Streets, and running thence at right angles in a Southeast direction 90 feet; thence at right angles in a Northeast direction 30 feet; thence at right angles in a Northwest direction 90 feet to Petronia Street; thence at right angles along Petronia Street in a Southwest direction 30 feet to the Point of Beginning.

MERLIN COTTAGES:

ON THE ISLAND OF KEY WEST AND IS KNOWN AS PART OF LOT 1, SQUARE 4, TRACT 4, COMMENCING AT A POINT ON THE NORTHEAST SIDE OF SIMONTON STREET DISTANT 188 FEET, 8 INCHES, FROM THE CORNER OF SIMONTON AND PETRONIA STREETS, AND RUNNING THENCE AT RIGHT ANGLES IN A NORTHEAST DIRECTION OF 125 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUE IN A NORTHEAST DIRECTION A DISTANCE OF 66 FEET; THENCE AT RIGHT ANGLES IN A NORTHWEST DIRECTION 73 FEET, AND 4 INCHES; THENCE AT RIGHT ANGLES IN A SOUTHWEST DIRECTION 66 FEET; THENCE AT RIGHT ANGLES IN A SOUTHEAST DIRECTION 73 FEET, 4 INCHES TO THE POINT OF BEGINNING.

ALSO

AN UNDIVIDED ONE-HALF INTEREST IN AND TO THE FOLLOWING DESCRIBED PROPERTY TO WIT; ON THE ISLAND OF KEY WEST AND IS PART OF LOT 1, SQUARE 4, TRACT 4; COMMENCING AT A POINT ON THE SOUTHEAST SIDE OF PETRONIA STREET DISTANT 131 FEET NORTHEAST FROM THE CORNER OF SIMONTON AND PETRONIA STREETS; AND RUNNING THENCE AT RIGHT ANGLES IN A SOUTHEAST DIRECTION 116 FEET, AND 4 INCHES; THENCE AT RIGHT ANGLES IN A NORTHEAST DIRECTION 10 FEET; THENCE AT RIGHT ANGLES IN A NORTHWEST DIRECTION 116 FEET AND 4 INCHES, TO PETRONIA STREET; THENCE ALONG PETRONIA STREET IN A SOUTHWEST DIRECTION 10 FEET TO THE POINT OF BEGINNING.

AND ALSO

ON THE ISLAND OF KEY WEST AND IS PART OF LOT 1, SQUARE 4 , TRACT 4, COMMENCING AT A POINT ON THE SOUTHEASTERLY SIDE OF PETRONIA STREET DISTANT ONE HUNDRED NINETY-ONE (191) FEET NORTHEASTERLY FROM THE CORNER OF SIMONTON AND PETRONIA STREETS AND RUNNING THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION ONE HUNDRED TWENTY-NINE (129) FEET AND FOUR (4) INCHES FOR A POINT OF BEGINNING; CONTINUE THENCE IN A SOUTHEASTERLY DIRECTION SIXTY (60) FEET; THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION TWENTY-FIVE (25) FEET; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION SIXTY (60) FEET; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION TWENTY FIVE (25) FEET TO THE POINT OR PLACE OR BEGINNING.

AND ALSO

Doc# 2181365
Bk# 2920 Pg# 2186

ON THE ISLAND OF KEY WEST AND IS PART OF LOT ONE (1) IN SQUARE FOUR (4) OF TRACT FOUR (4), COMMENCING AT A POINT ON THE SOUTHEASTERLY SIDE OF PETRONIA STREET DISTANT ONE HUNDRED NINETY-ONE (191) FEET NORTHEASTERLY FROM THE CORNER OF SIMONTON AND PETRONIA STREETS AND RUNNING THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION ONE HUNDRED SIXTEEN (116) FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE CONTINUE IN A SOUTHEASTERLY DIRECTION 13.33 FEET; THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION 25.00 FEET; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION 13.33 FEET; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION 25.00 FEET TO THE POINT OR PLACE OF BEGINNING.

MERLIN PARKING:

ON THE ISLAND OF KEY WEST AND IS PART OF LOT ONE (1) IN SQUARE FOUR (4) OF TRACT (4), COMMENCING AT THE INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY BOUNDARY LINE OF PETRONIA STREET AND THE EASTERLY RIGHT-OF-WAY BOUNDARY LINE OF SIMONTON STREET; THENCE EASTERLY ALONG THE SAID RIGHT-OF-WAY BOUNDARY LINE OF PETRONIA STREET 75.0 FEET TO A POINT; THENCE SOUTHERLY AT RIGHT ANGLES 90.33 FEET TO A POINT; THENCE EASTERLY AT RIGHT ANGLES 17.0 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE SOUTHERLY AT RIGHT ANGLES 99.0 FEET TO A POINT; THENCE EASTERLY AT RIGHT ANGLES 33.0 FEET TO A POINT; THENCE NORTHERLY AT RIGHT ANGLES 74.0 FEET TO A POINT; THENCE EASTERLY AT RIGHT ANGLES 6.0 FEET TO POINT; THENCE NORTHERLY AT RIGHT ANGLES 25.0 FEET TO A POINT; THENCE WESTERLY AT RIGHT ANGLES 39.0 FEET BACK TO THE POINT OF THE BEGINNING.

ALBURY COURT: (1031 EATON STREET):

On the Island of Key West, known on W.A. Whitehead's Map delineated in February, A.D. 1829, as Part of Square Nineteen (19), but now better known as Lot Six (6) in the subdivision of Lot One (1) of Square Nineteen (19) made by John Lowe, Jr., a diagram of which is recorded in Plat Book One (1), Page 28, Monroe County, Florida records. COMMENCING at a point at the corner of Eaton and Frances Streets and running thence along the line of Frances Street in a Northwesterly direction One Hundred and Seven (107) feet; thence at right angles in a Southwesterly direction Forty (40) feet; thence at right angles in a Southeasterly direction One Hundred and Seven (107) feet; thence at right angles in a Northeasterly direction along the line of Eaton Street Forty (40) feet to the Point of Beginning.

Together with the easement rights for encroachment(s) contained in the Easement Agreement(s) attached to the instruments recorded in Official Records Book 1551, Page 1446, and Official Records Book 1551, Page 1453 and in Official Records Book 1559, Page 116, of the Public Records of Monroe County, Florida, for the benefit of Parcel H, subject to the terms, provisions and limitations contained therein.

**MONROE COUNTY
OFFICIAL RECORDS**

Verification Form

**City of Key West
Planning Department**



Verification Form

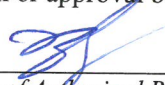
(Where Authorized Representative is an Individual)

I, Barton W. Smith, Esq., being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

801-811 Simonton Street; 813 Simonton Street; 608 Petronia Street; 610-616 Petronia Street Key West, FL 33040

Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.



Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this July 1, 2019 by _____
date

Barton W. Smith, Esq.
Name of Authorized Representative

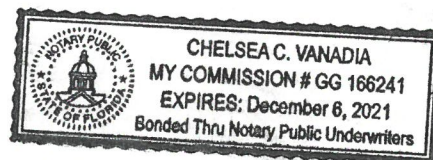
He is personally known to me or has presented _____ as identification.



Notary's Signature and Seal

Chelsea Vanadia
Name of Acknowledger typed, printed or stamped

Commission Number, if any



Authorization Form

City of Key West
Planning Department



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Benjamin Rowe as
Please Print Name of person with authority to execute documents on behalf of entity

Treasurer & Executive Member of KHP IV KEY WEST LLC
Name of office (President, Managing Member) *Name of owner from deed*

authorize Barton W. Smith, Esq., Smith Hawks PL
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

Signature of person with authority to execute documents on behalf on entity owner

Subscribed and sworn to (or affirmed) before me on this _____
Date

Benjamin Rowe as Treasurer of KHP IV Key West LLC
by & Executive Member
Name of person with authority to execute documents on behalf on entity owner

He/She is personally known to me or has presented _____ as identification.

Notary's Signature and Seal (see attached)

Name of Acknowledger typed, printed or stamped

Commission Number, if any

CALIFORNIA JURAT WITH AFFIANT STATEMENT

GOVERNMENT CODE § 8202

- See Attached Document (Notary to cross out lines 1–6 below)
- See Statement Below (Lines 1–6 to be completed only by document signer[s], not Notary)

~~_____

_____~~

Signature of Document Signer No. 1 *Signature of Document Signer No. 2 (if any)*

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of San Francisco

Subscribed and sworn to (or affirmed) before me

on this 30th day of April, 2019
by Benjamin Rowe
Date *Month* *Year*

(1) Benjamin Rowe

(and (2) _____),
Name(s) of Signer(s)

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.



Place Notary Seal and/or Stamp Above

Signature Wande Chivatakarn
Signature of Notary Public

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

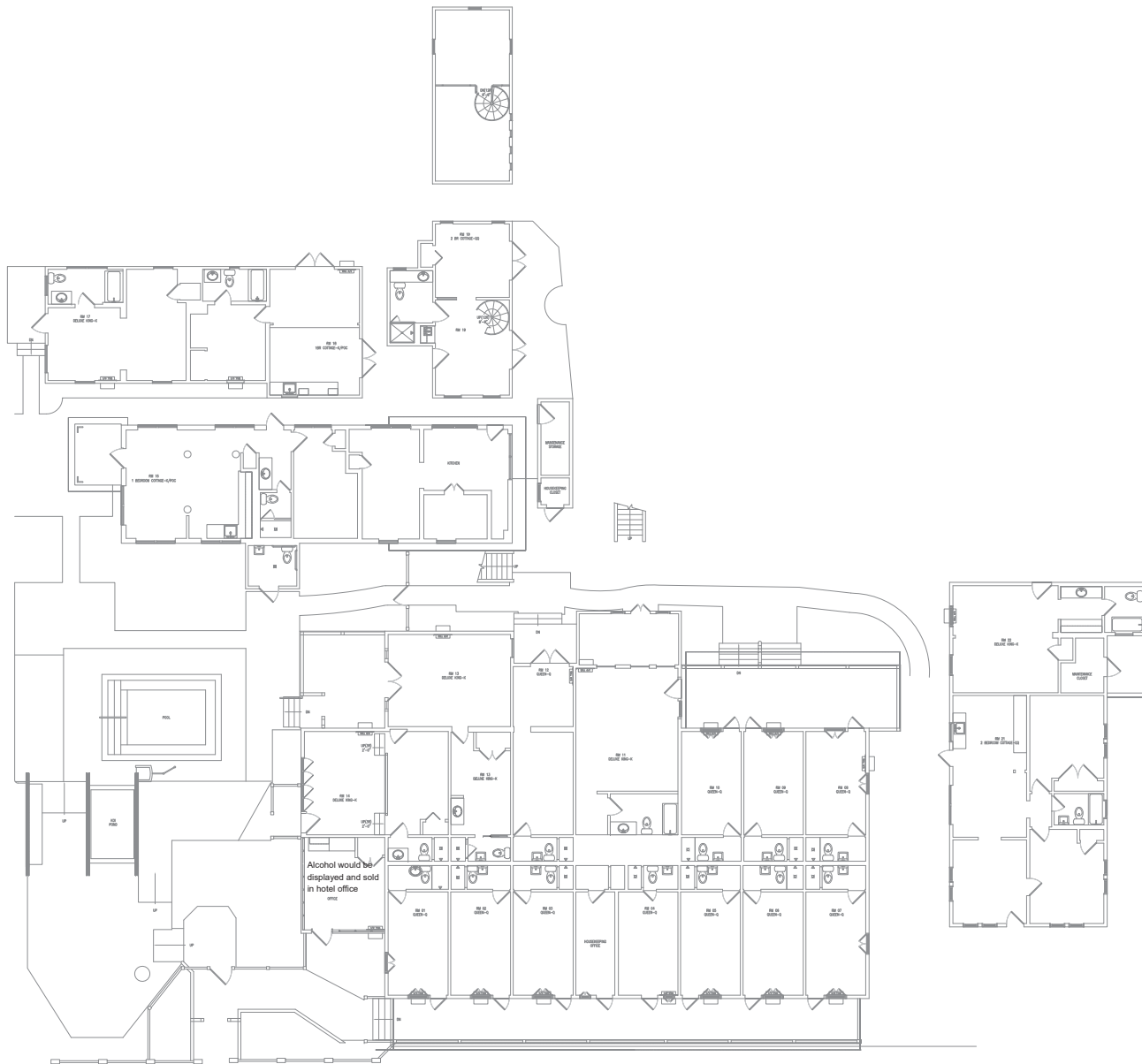
Description of Attached Document

Title or Type of Document: _____

Document Date: _____ Number of Pages: _____

Signer(s) Other Than Named Above: _____

Site Plans



KHP CAPITAL PARTNERS HOTEL

KEY WEST, FLORIDA



ISSUE

SHEET TITLE

MERLIN
EXISTING BUILDING PLAN
SCALE = 1/8"=1'-0" @ 24x36

PHASE

FOR RECORD

SHEET NO.

ME-1

Site Visit









Additional Information



Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00016390-000000
 Account# 1016781
 Property ID 1016781
 Millage Group 10KW
 Location 813 SIMONTON St, KEY WEST
 Address
 Legal KW PT LOT 1 SQR 4 TR 4 G39-167/169 OR577-483 OR775-804D/C OR775-807R/S OR1041-788D/C OR1041-787 OR1288-478 OR1478-217/218 OR2920-2181/2186
 Description
 (Note: Not to be used on legal documents.)
 Neighborhood 6108
 Property Class MULTI FAMILY LESS THAN 10 UNITS (0800)
 Subdivision
 Sec/Twp/Rng 06/68/25
 Affordable No
 Housing



Owner

KHP IV KEY WEST LLC
 C/O KHP CAPITAL PARTNERS LP
 101 CALIFORNIA ST STE 980
 SAN FRANCISCO CA 94111

Valuation

	2018	2017	2016	2015
+ Market Improvement Value	\$222,449	\$225,496	\$149,601	\$135,868
+ Market Misc Value	\$8,792	\$8,921	\$9,180	\$8,090
+ Market Land Value	\$422,682	\$422,682	\$570,274	\$441,700
= Just Market Value	\$653,923	\$657,099	\$729,055	\$585,658
= Total Assessed Value	\$501,991	\$456,356	\$414,869	\$377,154
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$653,923	\$657,099	\$729,055	\$585,658

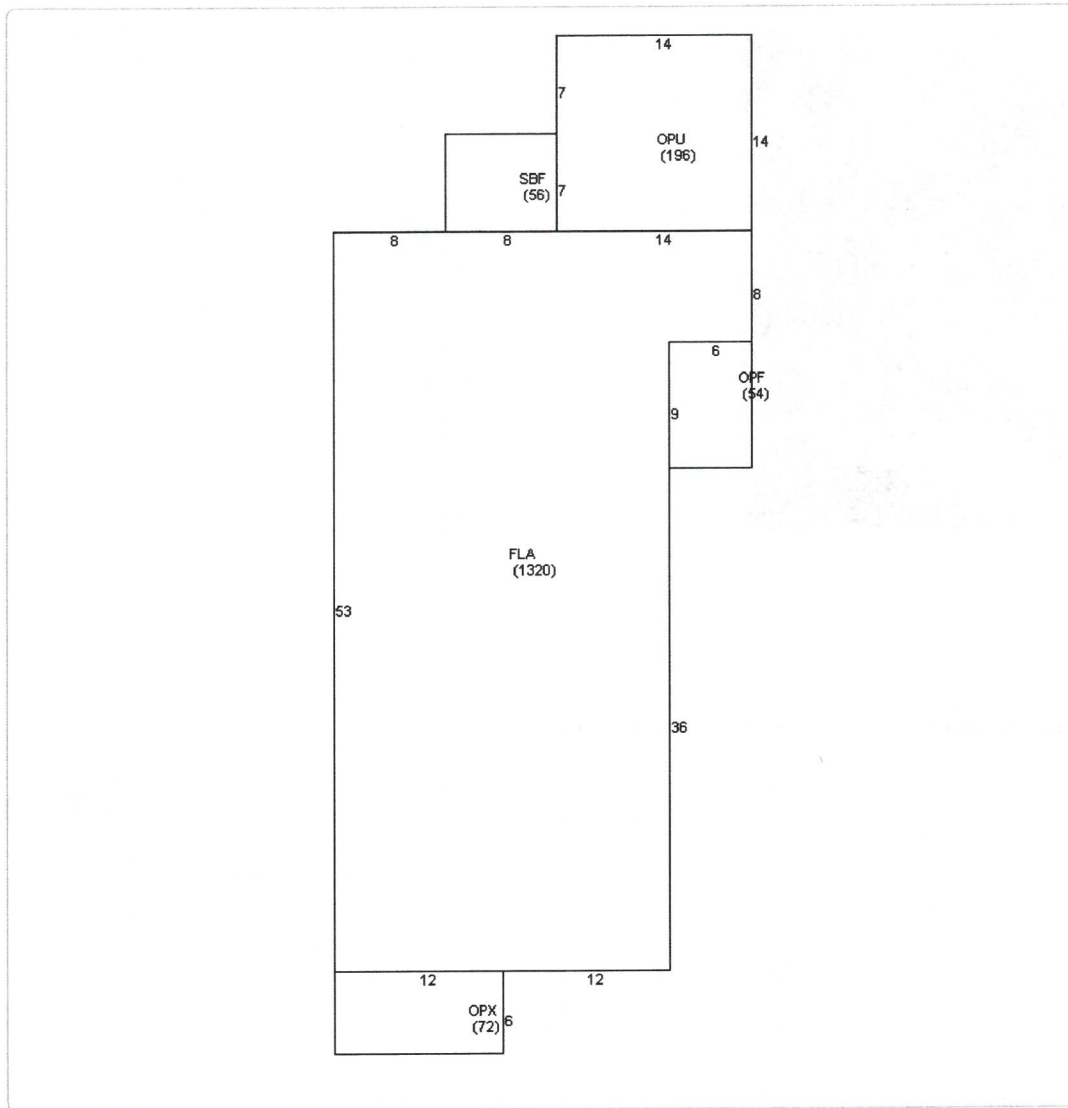
Land

Land Use	Number of Units	Unit Type	Frontage	Depth
MULTI-FAMILY SUPERIOR (08SD)	5,064.00	Square Foot	0	0

Buildings

Building ID	1198	Exterior Walls	CUSTOM
Style	1 STORY ELEV FOUNDATION	Year Built	1949
Building Type	M.F. - R2 / R2	EffectiveYearBuilt	2015
Gross Sq Ft	1698	Foundation	CONCR FTR
Finished Sq Ft	1320	Roof Type	GABLE/HIP
Stories	1 Floor	Roof Coverage	METAL
Condition	AVERAGE	Flooring Type	CONC S/B GRND
Perimeter	166	Heating Type	FCD/AIR NON-DC with 0% NONE
Functional Obs	0	Bedrooms	3
Economic Obs	0	Full Bathrooms	2
Depreciation %	2	Half Bathrooms	0
Interior Walls	WALL BD/WD WAL	Grade	500
		Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	72	0	0
FLA	FLOOR LIV AREA	1,320	1,320	0
OPU	OP PR UNFIN LL	196	0	0
OPF	OP PRCH FIN LL	54	0	0
SBF	UTIL FIN BLK	56	0	0



Photos





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By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00016280-000100
 Account# 1016675
 Property ID 1016675
 Millage Group 10KW
 Location 608 PETRONIA St, KEY WEST
 Address
 Legal Description KW PT LOT 1 SQR 4 TR 4 G39-167/169 OR518-301 OR775-804D/C OR892-827 OR893-112 OR928-2153L/E OR1140-2201 (UR D/C ON FILE NODA CARMELINA) OR1807-98/99R/S OR2067-690/692 OR2233-2231D/C OR2335-453D/C OR2558-495/496C/T OR2558-1390/91AMD OR2616-1263 OR2725-826/29 OR2920-2181/2186
 (Note: Not to be used on legal documents.)
 Neighborhood 32080
 Property Class PARKING LOT (2800)
 Subdivision
 Sec/Twp/Rng 06/68/25
 Affordable No
 Housing



Owner

KHP IV KEY WEST LLC
 C/O KHP CAPITAL PARTNERS LP
 101 California St Ste 980
 San Francisco CA 94111

Valuation

	2018	2017	2016	2015
+ Market Improvement Value	\$0	\$0	\$0	\$114,684
+ Market Misc Value	\$0	\$0	\$0	\$4,596
+ Market Land Value	\$483,690	\$483,690	\$483,690	\$423,146
= Just Market Value	\$483,690	\$483,690	\$483,690	\$542,426
= Total Assessed Value	\$483,690	\$483,690	\$483,690	\$538,638
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$483,690	\$483,690	\$483,690	\$542,426

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	3,417.00	Square Foot	56	99.33

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
7/30/2018	\$6,113,300	Warranty Deed	2181365	2920	2181	43 - Unqualified	Improved
2/6/2015	\$575,000	Warranty Deed		2725	826	30 - Unqualified	Improved
3/4/2013	\$475,000	Warranty Deed		2616	1283	37 - Unqualified	Improved
3/6/2012	\$0	Certificate of Title		2558	1390	12 - Unqualified	Improved
3/5/2012	\$321,000	Certificate of Title		2558	495	12 - Unqualified	Improved
12/16/2004	\$133,000	Warranty Deed		2067	690	K - Unqualified	Improved
2/1/1972	\$4,000	Conversion Code		775	804D	Q - Qualified	Improved



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Summary

Parcel ID 00016320-000000
 Account# 1016713
 Property ID 1016713
 Millage Group 10KW
 Location 616 PETRONIA St, KEY WEST
 Address
 Legal KW PT LT 1 SQR 4 TR 4 G39-167/69 OR410-1061/62 OR113-357/58 OR444-1016/17
 Description OR835-302 OR885-266/67 OR895-1986-C OR895-1987 OR908-1175 OR969-1313/14-C OR1008-2225/26R/S OR1032-2028D/C OR1172-1986/2002 OR1638-1968 OR1644-1704C OR2382-1703AFF OR2382-1704/07 OR2488-331/33 OR2536-2100/02 OR2724-1780/83 OR2920-2181/2186
 (Note: Not to be used on legal documents.)
 Neighborhood 32080
 Property HOTEL/MOTEL (3900)
 Class
 Subdivision
 Sec/Twp/Rng 06/68/25
 Affordable No
 Housing



Owner

KHP IV KEY WEST LLC
 C/O KHP CAPITAL PARTNERS LP
 101 CALIFORNIA ST STE 980
 SAN FRANCISCO CA 94111

Valuation

	2018	2017	2016	2015
+ Market Improvement Value	\$315,769	\$328,570	\$309,869	\$294,170
+ Market Misc Value	\$31,816	\$32,815	\$34,884	\$30,379
+ Market Land Value	\$863,197	\$404,809	\$405,342	\$641,053
= Just Market Value	\$1,210,782	\$766,194	\$750,095	\$965,602
= Total Assessed Value	\$842,813	\$766,194	\$750,095	\$673,810
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,210,782	\$766,194	\$750,095	\$965,602

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	7,833.00	Square Foot	0	0

Commercial Buildings

Style HOTEL/MOTEL B / 39B
 Gross Sq Ft 1,032
 Finished Sq Ft 612
 Perimeter 0
 Stories 1
 Interior Walls WALL BD/WD WAL
 Exterior Walls REIN CONCRETE with 69% AB AVE WOOD SIDING
 Quality 450 ()
 Roof Type GABLE/HIP
 Roof Material METAL
 Exterior Wall1 REIN CONCRETE
 Exterior Wall2 AB AVE WOOD SIDING
 Foundation CONC BLOCK
 Interior Finish WALL BD/WD WAL
 Ground Floor Area
 Floor Cover CONC S/B GRND
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type FCD/AIR DUCTED with 0% NONE
 Year Built 1918
 Year Remodeled

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
7/30/2018	\$6,113,300	Warranty Deed	2181365	2920	2181	43 - Unqualified	Improved
2/6/2015	\$1,250,000	Warranty Deed		2724	1780	30 - Unqualified	Improved
9/22/2011	\$0	Quit Claim Deed		2536	2100	11 - Unqualified	Improved
10/7/2010	\$100	Quit Claim Deed		2488	331	11 - Unqualified	Improved
10/1/2008	\$1,130,000	Warranty Deed		2382	1704	Q - Qualified	Improved
5/31/2000	\$580,000	Warranty Deed		1638	1968	Q - Qualified	Improved
4/1/1987	\$1	Warranty Deed		1008	2225	M - Unqualified	Improved
6/1/1983	\$90,000	Warranty Deed		885	266	M - Unqualified	Improved
7/1/1981	\$70,000	Warranty Deed		835	302	U - Unqualified	Improved

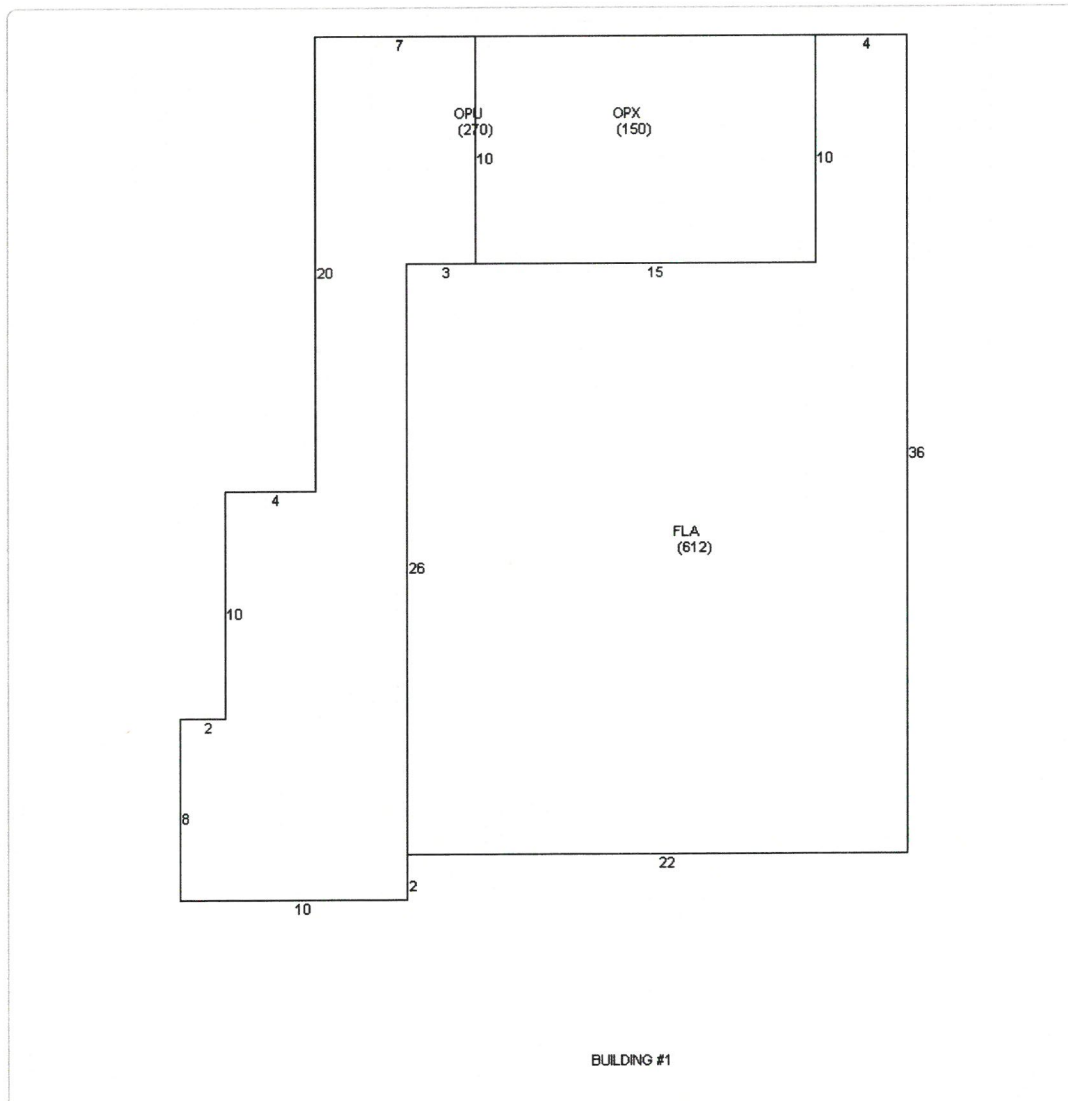
Permits

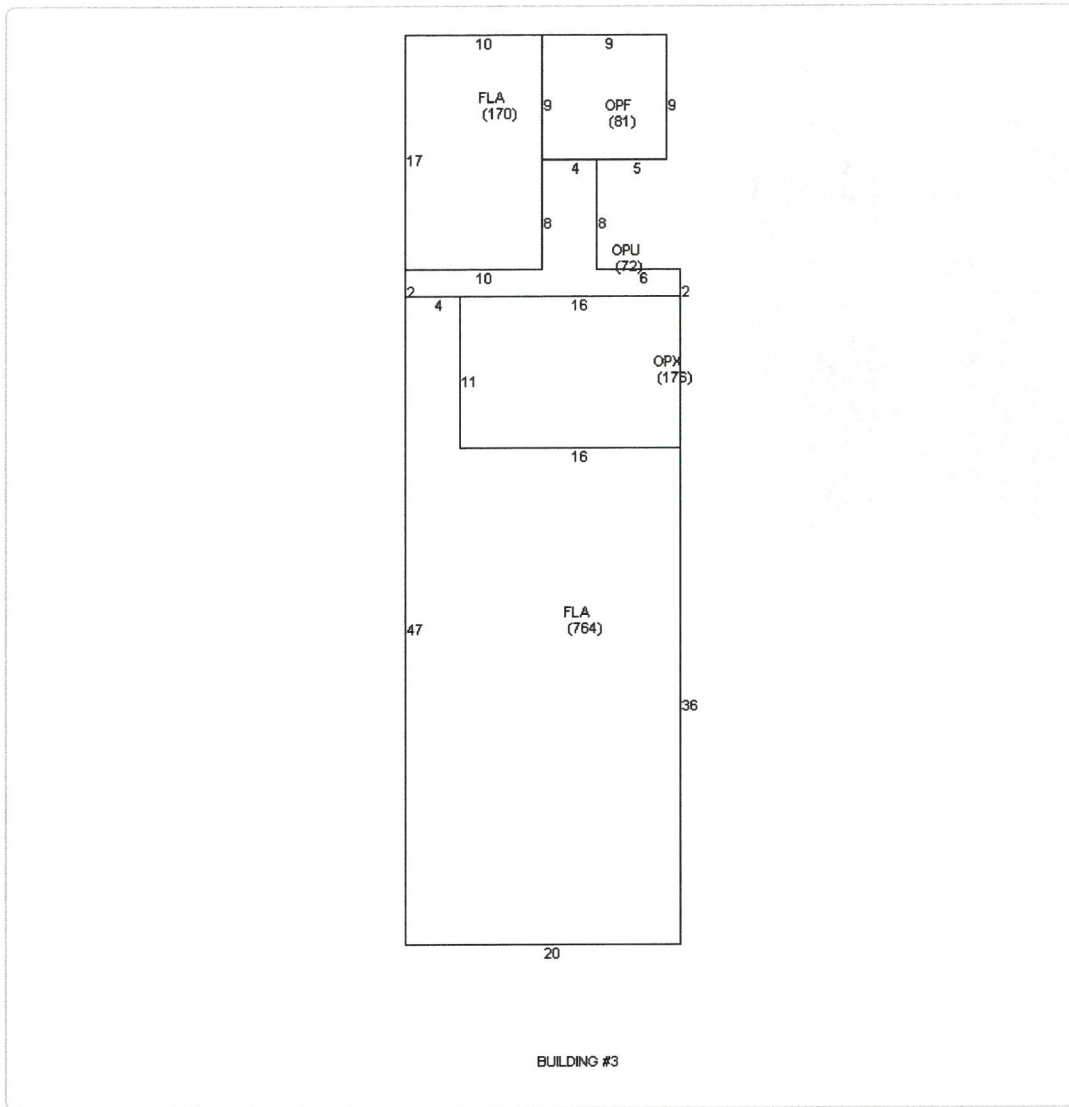
Number	Date Completed	Amount	Permit Type	Notes
15-4510		\$7,800	Residential	INSTALL FAN COIL MINI SPLIT 2 TON.
15-4051	3/20/2018	\$1,800	Commercial	New proposed 6ft fence. Paint white. 271 LN/FT OF FENCE.
14-5587		\$3,300		DEMO INTERIOR TILE FLOORS AND PLASTER CEILINGS
06-4996	10/2/2006	\$4,000	Residential	REPLACE LITE DOORS, REPAIR TRIM & 200 SF OF SIDING.
E951404	8/1/1995	\$820	Residential	ALARM SYSTEM

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Sketches (click to enlarge)





Photos





Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00016270-000000
 Account# 1016659
 Property ID 1016659
 Millage Group 10KW
 Location 801-811 SIMONTON St, KEY WEST
 Address
 Legal Description KW PT LOT 1 SQR 4 TR 4 H3-215 G63-488/89 OR184-130/33 OR405-857/58 OR540-252 OR649-46/47 OR756-286 OR835-1759 OR846-167 OR872-1890 OR872-1899Q/C OR996-1520/21 OR1008-2277/78 OR1008-2279/80 OR1008-2281/84E OR1057-1903/04C OR1128-1075/77F/J (RE:1629 &1630 COMBINED WITH THIS PARCEL-DONE FOR THE 1993 TAX ROLL 6/23/93) OR1478-217/218 OR2920-2181/2186
 (Note: Not to be used on legal documents.)
 Neighborhood 32080
 Property Class HOTEL/MOTEL (3900)
 Subdivision
 Sec/Twp/Rng 06/68/25
 Affordable No
 Housing



Owner

KHP IV KEY WEST LLC
 C/O KHP CAPITAL PARTNERS LP
 101 CALIFORNIA ST STE 980
 SAN FRANCISCO CA 94111

Valuation

	2018	2017	2016	2015
+ Market Improvement Value	\$2,210,714	\$2,000,042	\$0	\$0
+ Market Misc Value	\$245,635	\$222,227	\$0	\$0
+ Market Land Value	\$2,456,349	\$2,222,269	\$4,120,961	\$3,877,353
= Just Market Value	\$4,912,698	\$4,444,538	\$4,120,961	\$3,877,353
= Total Assessed Value	\$3,766,518	\$3,424,108	\$3,112,825	\$2,829,841
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$4,912,698	\$4,444,538	\$4,120,961	\$3,877,353

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	10,825.00	Square Foot	75	144.3
COMMERCIAL DRY (100D)	2,700.00	Square Foot	30	90
COMMERCIAL DRY (100D)	2,340.00	Square Foot	26	90

Commercial Buildings

Style HOTELS/MOTEL A / 39A
 Gross Sq Ft 5,905
 Finished Sq Ft 4,479
 Perimeter 0
 Stories 2
 Interior Walls
 Exterior Walls AB AVE WOOD SIDING
 Quality 400 ()
 Roof Type
 Roof Material
 Exterior Wall1 AB AVE WOOD SIDING
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0

Stories	2
Interior Walls	
Exterior Walls	MIN WOOD SIDING
Quality	400 ()
Roof Type	
Roof Material	
Exterior Wall1	MIN WOOD SIDING
Exterior Wall2	
Foundation	
Interior Finish	
Ground Floor Area	
Floor Cover	
Full Bathrooms	0
Half Bathrooms	0
Heating Type	
Year Built	1953
Year Remodeled	
Effective Year Built	1995
Condition	

Code	Description	Sketch Area	Finished Area	Perimeter
CPF	CARPORT FIN	209	0	0
FLA	FLOOR LIV AREA	1,570	1,570	0
OUU	OP PR UNFIN UL	160	0	0
OPF	OP PRCH FIN LL	135	0	0
SBU	UTIL UNFIN BLK	85	0	0
TOTAL		2,159	1,570	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
FENCES	1975	1976	1	104 SF	3
CONC PATIO	1975	1976	1	110 SF	2
FENCES	1975	1976	1	96 SF	2
FENCES	1976	1977	1	121 SF	3
FENCES	1982	1983	1	72 SF	2
WATER FEATURE	1989	1990	1	1 UT	1
WALL AIR COND	1990	1991	1	2 UT	1
WOOD DECK	1982	1983	1	2621 SF	2
COMM POOL	2006	2007	1	336 SF	3

Sales

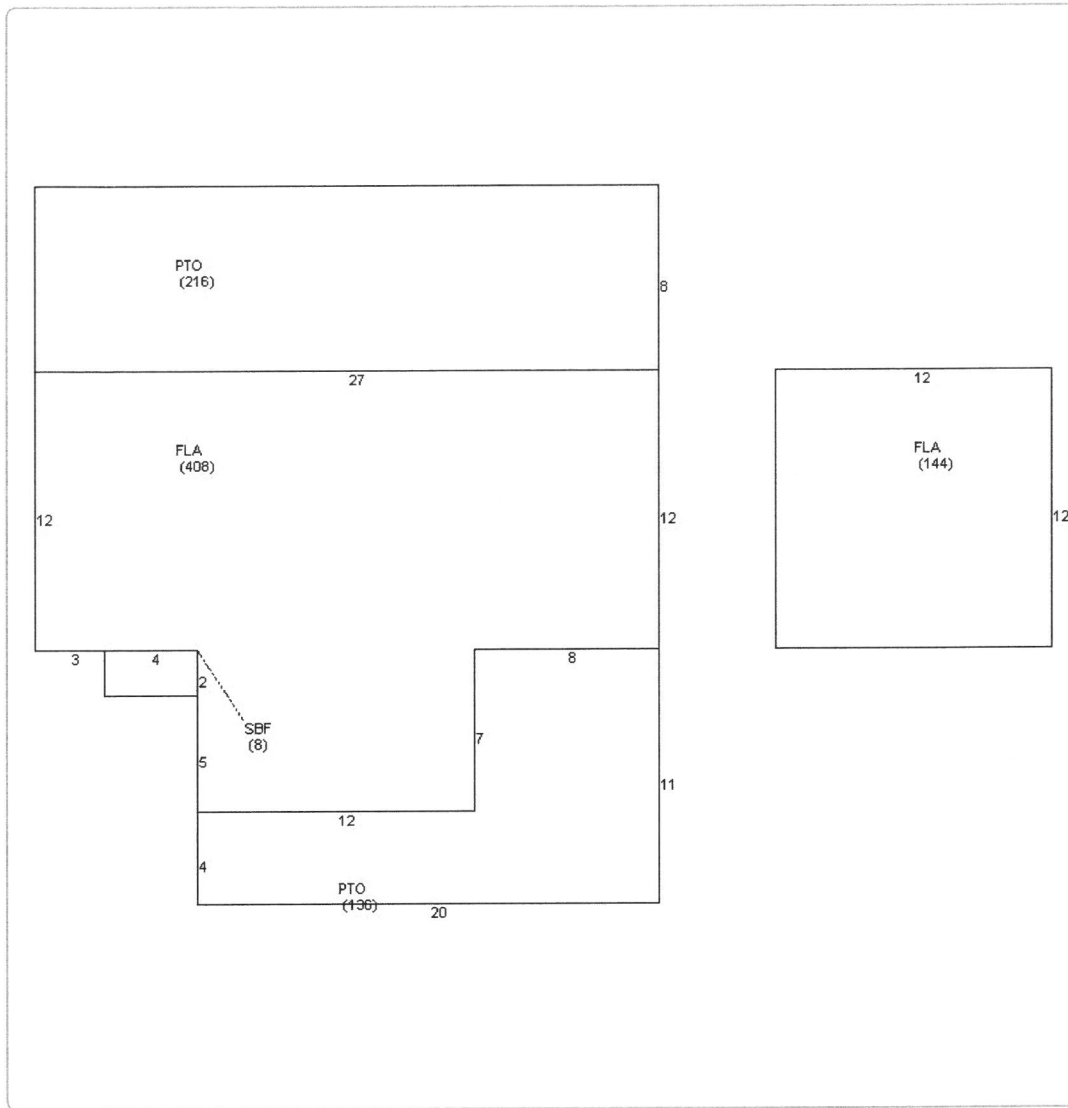
Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
7/30/2018	\$6,113,300	Warranty Deed	2181365	2920	2181	43 - Unqualified	Improved
9/1/1997	\$1,750,000	Warranty Deed		1478	0217	M - Unqualified	Improved
12/1/1986	\$630,000	Warranty Deed		996	1520	Q - Qualified	Improved
2/1/1983	\$430,000	Warranty Deed		872	1890	Q - Qualified	Improved
2/1/1976	\$41,300	Conversion Code		649	46	Q - Qualified	Improved

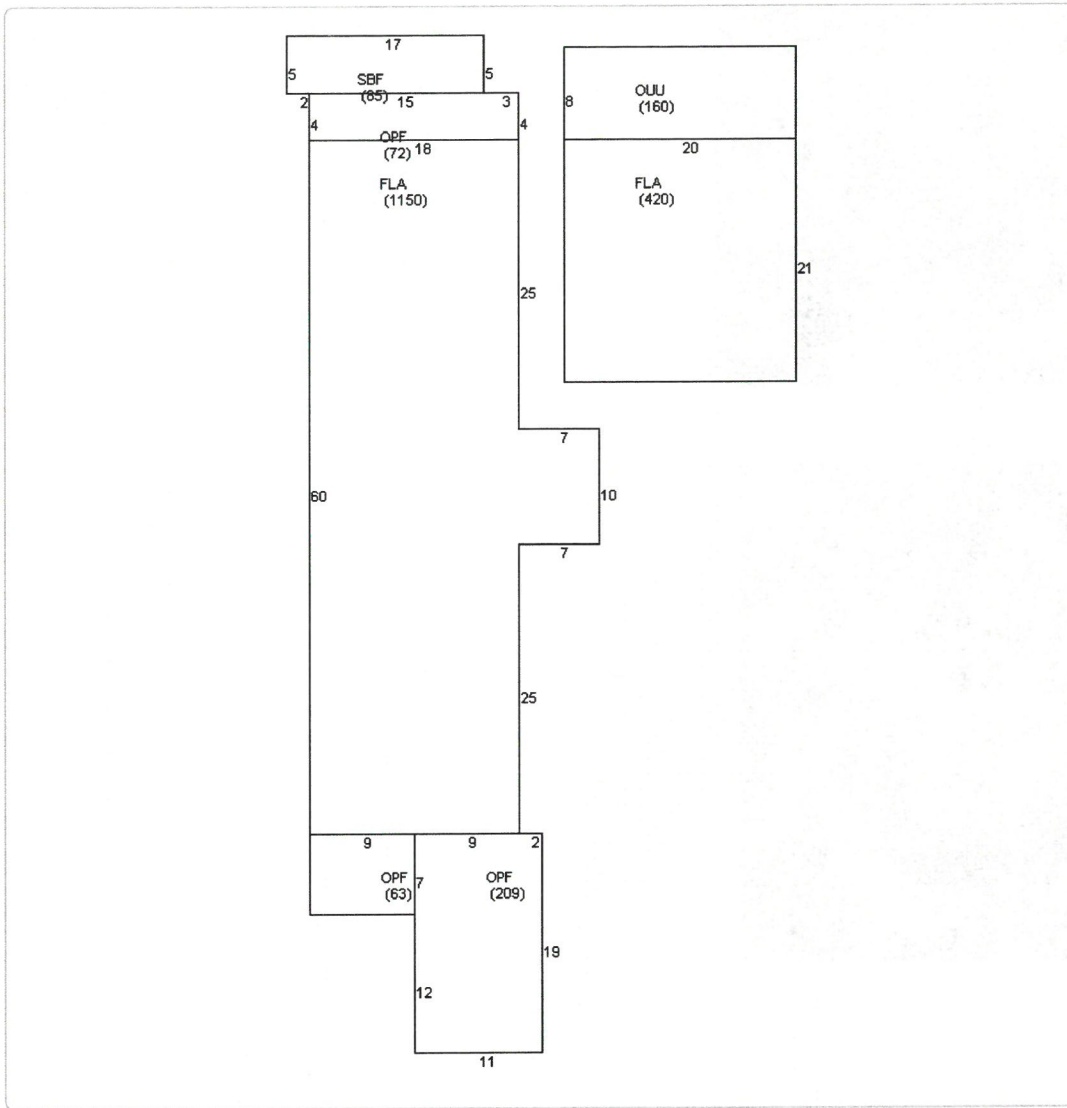
Permits

Number	Date Completed	Amount	Permit Type	Notes
8/21/2014	3/20/2018	\$9,800	Commercial	RETILE BATHROOMS AND SHOWERS, PAINT. ROOMS 1 THRU 9 ONLY. (NEED FILE NOC)
06-5692	12/18/2006	\$1,800	Commercial	UPGRADE SERVICE.
06-5511	12/18/2006	\$2,300	Commercial	INSTALL POOL EQUIPMENT.
06-5284	12/18/2006	\$65,900	Commercial	RENOVATE EXISTING POOL TO CODE
02-3213	12/5/2002	\$3,100	Commercial	INSTALL A/C
02-3162	12/5/2002	\$675	Commercial	A/C WORK
0004174	1/4/2001	\$22,000	Commercial	40 SQS V-CRIMP
0000476	12/1/2000	\$500	Commercial	ARBOR OVER POND
9704041	12/1/1997	\$500	Commercial	SIGN
9703862	11/1/1997	\$15,000	Commercial	" "
9703495	12/1/1997	\$947	Commercial	ELECTRICAL
9703097	12/1/1997	\$10,000	Commercial	RENOVATE PORCH
9703302	12/1/1997	\$23,400	Commercial	A/C
9702355	7/1/1997	\$10,000	Commercial	INTERIOR RENOVATIONS
9603787	11/1/1996	\$1,000	Commercial	RENOVATIONS
A953718	12/1/1995	\$3,168	Commercial	9 SQS V-CRIMP ROOF
B933158	12/1/1994	\$5,000	Commercial	REPLACE 7 EXTERIOR DOORS

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Photos

