



Historic Architectural Review Commission Staff Report for Item 10

To: Chairman Haven Burkee and Historic Architectural Review
Commission Members

From: Matthew Crawford
Historic Preservation Assistant

Meeting Date: June 24, 2025

Applicant: Juan Carlos Pernas

Application Number: C2025-0053

Address: 510 Southard Street

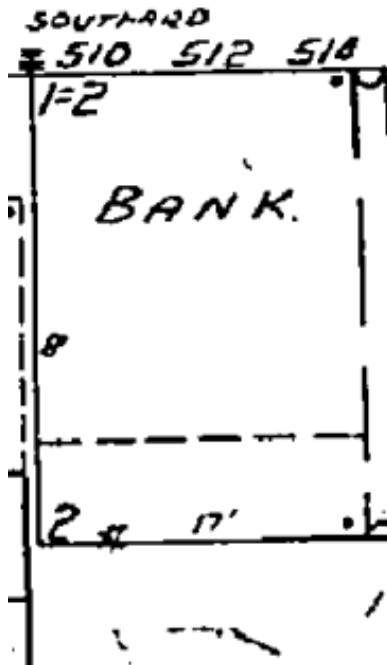
Description of Work:

Opening of a section of the front elevation for new storefront to match existing and enclosure of breezeway on historic structure. Renovations to the interior of bank to accommodate new restaurant.

Site Facts:

The building under review is listed as being constructed in 1963 according to the Property Appraisers website; however, this date is not supported by other sources. The house first appears on the 1962 Sanborn Map. The site contains a one-story wood-framed structure with.

Currently the house sits on piers and is located within an X flood zone.



Sandborn Map of property under review 1962.



Photo of Property Under Review 1962.



Photo of property under review. (front)



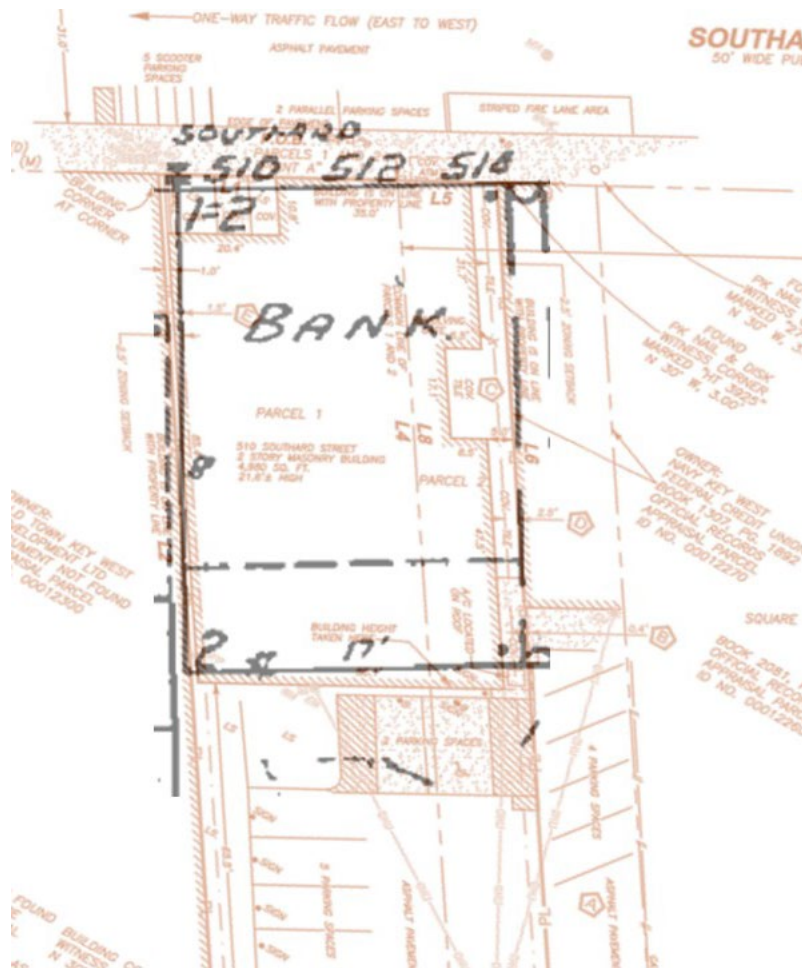
Photo of property under review. (Rear Elevation)



Photo of property under review. (Interior)



Photo of property under review. (Interior)



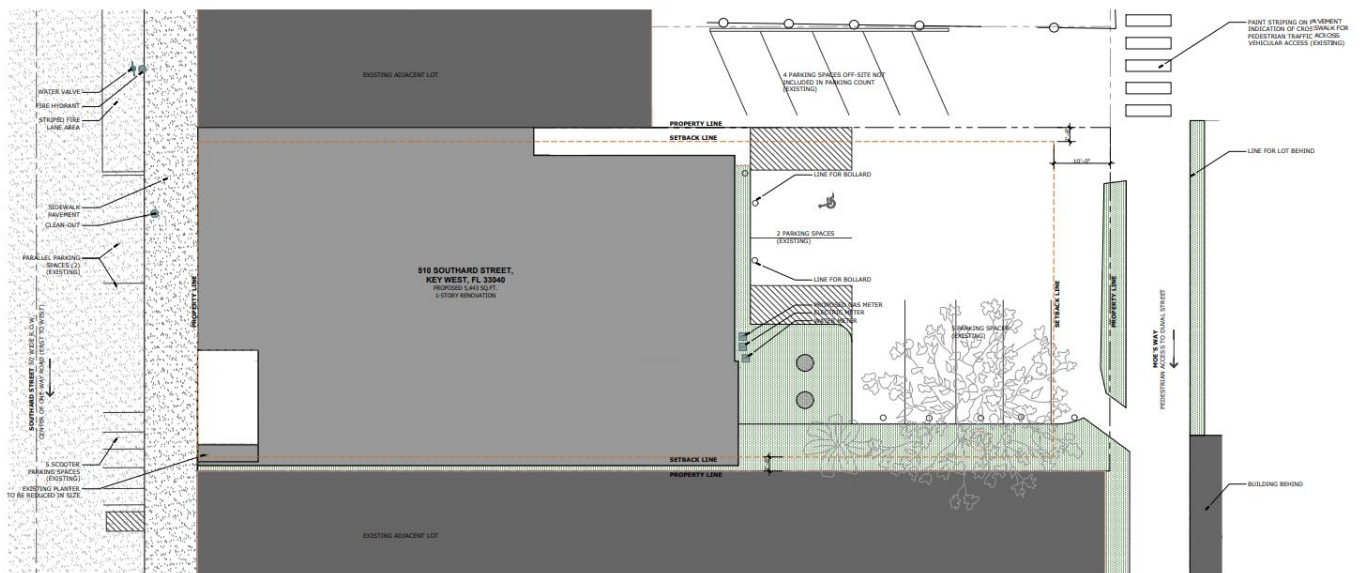
1962 Sanborn Map and current survey.

Secretary of Interior's Standards and HARC Guidelines Cited on Review:

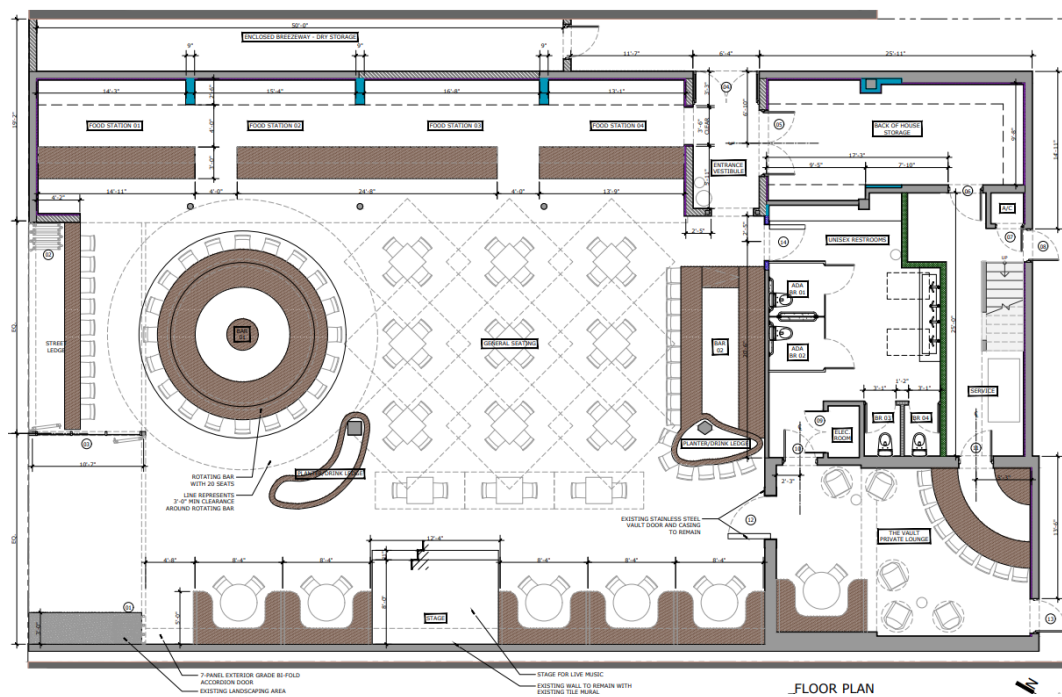
- SOIS for Rehabilitation, specifically standards 1 and 10.
- Guidelines for Building Interiors (page 25), full paragraph.
- Guidelines for Storefronts (pages 29k-29l), specifically guideline 2.
- Guidelines for Entrances, Porches, and Doors (pages 32-33), specifically guideline 5.
- Guidelines for New Construction (pages 38a-38q), specifically guidelines 7, 22, 24, and 25.
- Guidelines for Commercial Storefronts & Signage (Page 46), specifically Guidelines 1 and 5.

Staff Analysis:

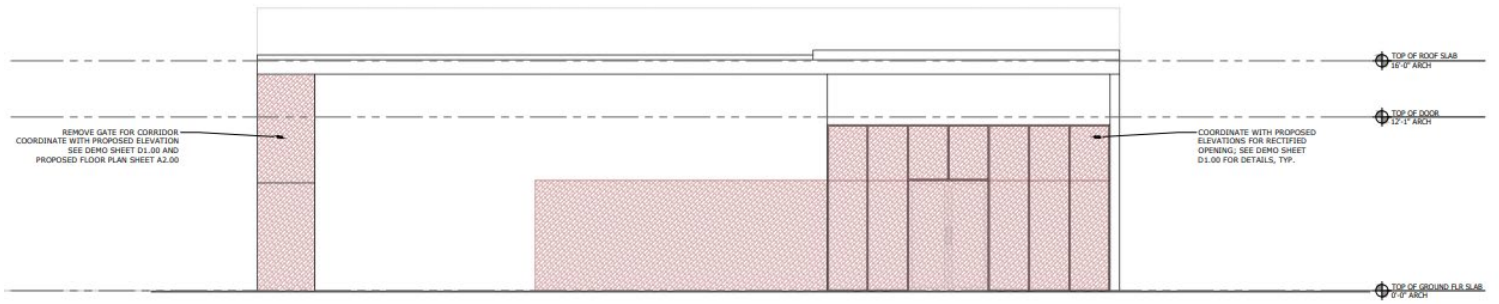
A certificate of Appropriateness is currently under review for the opening of a section of the front elevation for a new storefront to match the existing and the enclosure of the breezeway on the east elevation of the historic structure. There will also be renovations to the interior of the bank to accommodate the new restaurant.



Existing Site Plan.

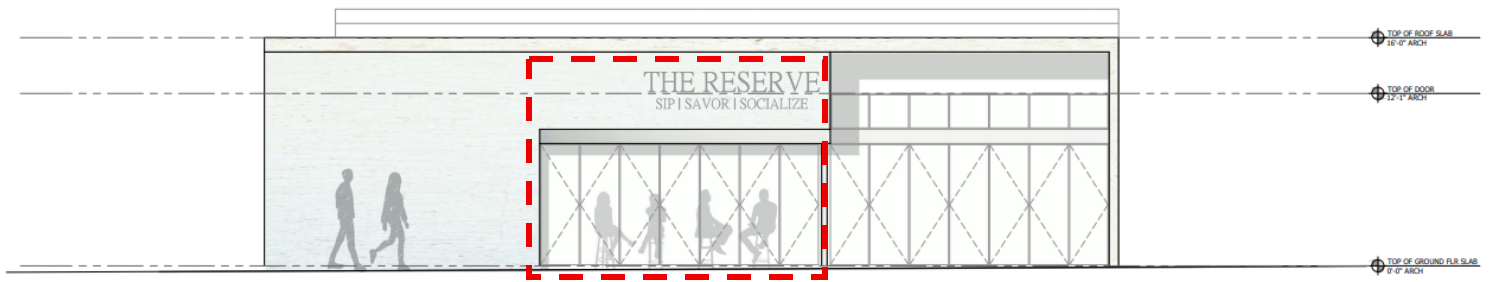


Proposed Site Plan.



A EXISTING DEMO ELEVATION
SCALE: 1/4" = 1'-0"

Existing Front elevation (North).



B PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"

Proposed Front Elevation (North).



Proposed Front Elevation (North).



Proposed Interior.

Consistency with Cited Guidelines:

Staff finds the design to be generally compatible with the existing structure and surrounding context. The proposed exterior changes all appear to follow the guidelines. Guideline 2 of Storefronts states that *“replacement storefronts of buildings built after 1945 may be of a different design, and dimensions. New design shall not adversely alter rhythm and patterns found in immediately adjacent historic buildings.”* The replacement storefront is of a different design as it is proposed to be larger than the original entryway. However, the proposed design does not alter the rhythm of surrounding buildings. Guideline 5 of Entrances, Porches, and Doors states that *“materials used to repair entryway elements should match the original fabric as closely as possible in quality and durability.”* The new entryway uses similar glass and metal elements on the new entryway.

Guideline 24 for new construction states that *“The pattern and proportions of window and door openings establish a rhythm and shall fall within the range associated with historic buildings of same typology in the area including size and reveals. They shall be similar in scale, proportion, and character to those used traditionally in the neighborhood.”* The proposed front opening of the structure would be similar others along Southard Street that use their front porches as sitting areas and have large windows that open the buildings to the street.

According to the Guideline for building interiors, HARC also jurisdiction over the interior of the structure. The Secretary of Interior’s Standards for Rehabilitation has guidelines for the interior of buildings. Guideline 1 states that *“a property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.”* The change in use from a bank to a restaurant will keep the defining characteristics of the bank including the vault door, the mural, and the use of glass on the exterior. While the removal of interior walls is generally avoided, the current interior walls do not provide any significance and the wall with the mural will remain intact.

Guideline 10 states that *“New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.”* The exterior alteration opening the north elevation does not radically change or destroy any character defining spaces, materials, or features of the bank. Currently there is a glass entryway and a stucco wall in the proposed exterior work. None of these are character-defining features of the bank. The character defining features of the vault door and mural will be preserved with the proposed work. The glass entryway will be preserved with glass bi-fold accordion doors.

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS



City of Key West

1300 White Street
Key West, Florida 33040

HARC COA #	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:

NAME ON DEED:

OWNER'S MAILING ADDRESS:

APPLICANT NAME:

APPLICANT'S ADDRESS:

APPLICANT'S SIGNATURE:

510 Southard St, Key West, FL 33040	
Conch Republic PR, LLC	PHONE NUMBER 305-609-1376
534 Margaret St, 33040	EMAIL jc@thereservekeywest.com
Juan Carlos Pernas	PHONE NUMBER 305-609-1376
534 Margaret St	EMAIL jc@thereservekeywest.com
Key West, FL 33040	DATE 5/23/2025

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS ☒ RELOCATION OF A STRUCTURE ☐ ELEVATION OF A STRUCTURE ☐
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES ☐ NO ☒ INVOLVES A HISTORIC STRUCTURE: YES ☐ NO ☒
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES ☐ NO ☒

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.
GENERAL: Closure of opening to match existing structure 5x8 approx 40 sq. feet. Replacement of existing storefront to impact storefront
MAIN BUILDING: Same as general & demo
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):
Opening up storefront glass approx 180 square feet 8'10" x 19'9" - Refer to plans

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S): <u>none</u>	
PAVERS: <u>none</u>	FENCES: <u>none</u>
DECKS: <u>none</u>	PAINTING: <u>none</u>
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (INCLUDING EQUIPMENT):
<u>none</u>	<u>none</u>
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER: <u>stone work to match existing facade</u>
<u>Gas - in rear of building underground</u>	

OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

HARC CERTIFICATE OF APPROPRIATENESS: DEMOLITION APPENDIX



City of Key West

1300 White Street
Key West, Florida 33040

HARC COA #	INITIAL & DATE
ZONING DISTRICT	BLDG PERMIT #

ADDRESS OF PROPOSED PROJECT:

PROPERTY OWNER'S NAME:

APPLICANT NAME:

510 Southard St. Key West, FL 33040
Conch Republic PR, LLC
Juan Carlos Pernas

I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval **PRIOR** to proceeding with the work outlined above and that a final inspection is required under this application. I also understand that any changes to an approved Certificate of Appropriateness must be submitted for review.

PROPERTY OWNER'S SIGNATURE

Juan Carlos Pernas

5.23.2025 DATE AND PRINT NAME

DETAILED PROJECT DESCRIPTION OF DEMOLITION

Opening up storefront glass - approx 180 sq. feet, 8'10" x 19'19"
• Refer to plans

CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies):

(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:

(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

Not a contributing structure

(2) Or explain how the building or structure meets the criteria below:

(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

Not a contributing structure

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

(b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.

- No it is not

(c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.

- It is not

(d) Is not the site of a historic event with significant effect upon society.

- It is not

(e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.

- It does not

(f) Does not portray the environment in an era of history characterized by a distinctive architectural style.

- It does not

(g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.

N/A

(h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

- It does not

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

(i) Has not yielded, and is not likely to yield, information important in history,

. It does not

CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:

The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies):

(1) Removing buildings or structure that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.

Building will not be removed

(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.

Building will not be removed

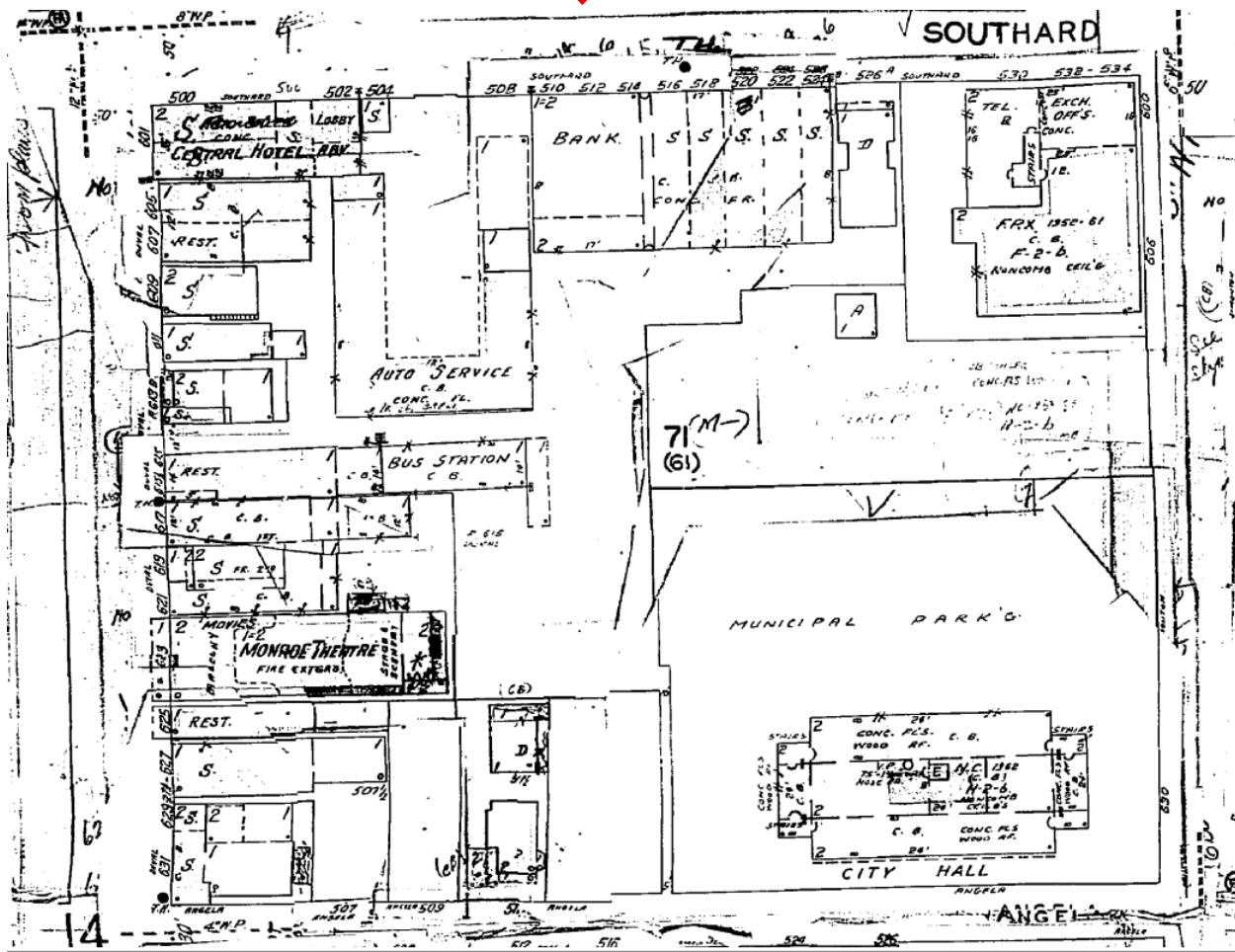
(3) Removing an historic building or structure in a complex; or removing a building façade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

Minor opening to ~~min~~ existing facade to match storefront that is existing

(4) Removing buildings or structures that would otherwise qualify as contributing.

N/A

SANBORN MAPS



1962 Sanborn Map

PROJECT PHOTOS





























SURVEY

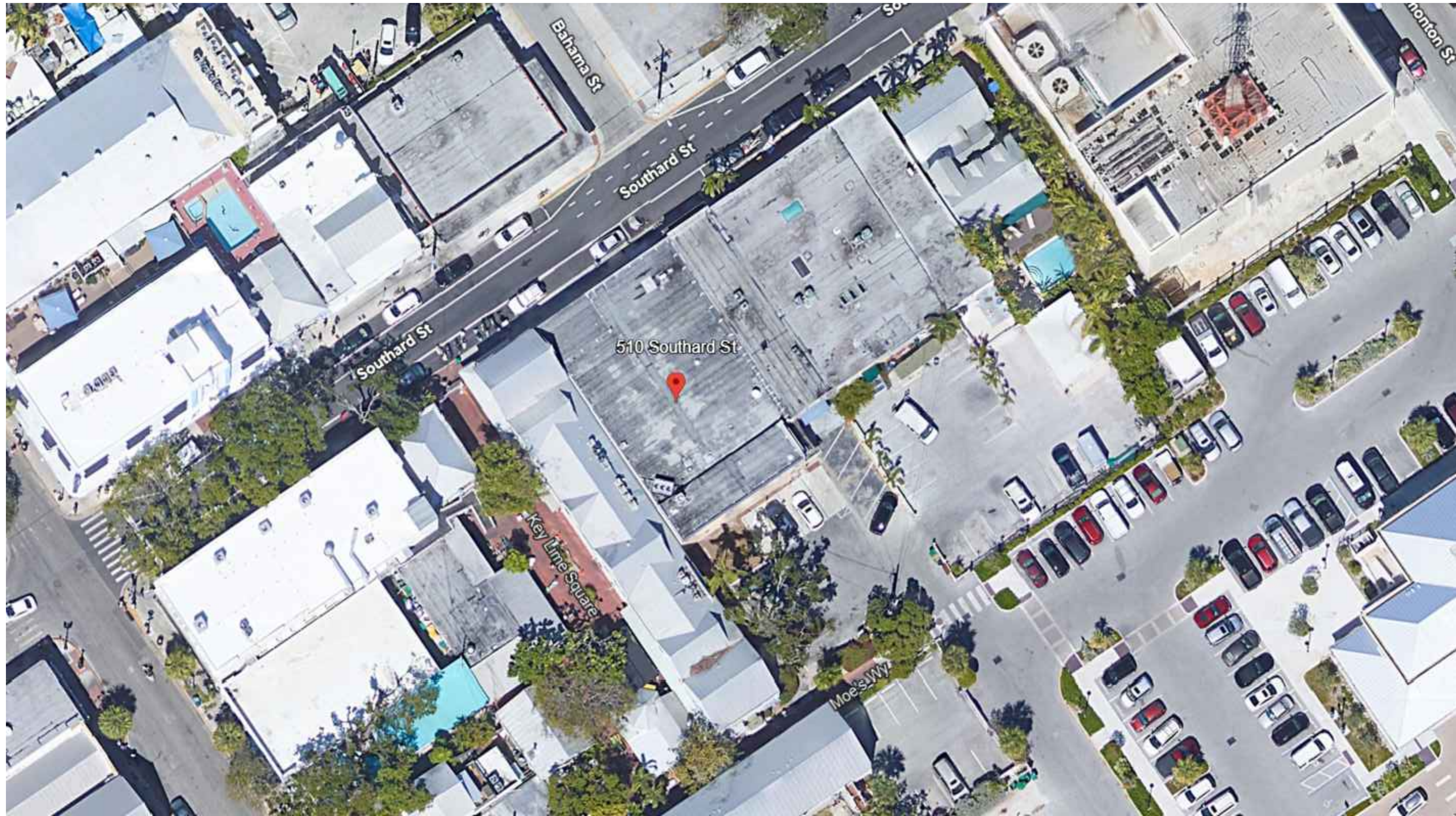
OWNER PROVIDED SURVEY

FOR REFERENCE ONLY

OWNER PROVIDED SURVEY
FOR REFERENCE ONLY

PROPOSED DESIGN

THE RESERVE - KEY WEST - 510 SOUTHARD STREET
HISTORIC ARCHITECTURAL REVIEW COMMISSION (HARC)
23 MAY 2025

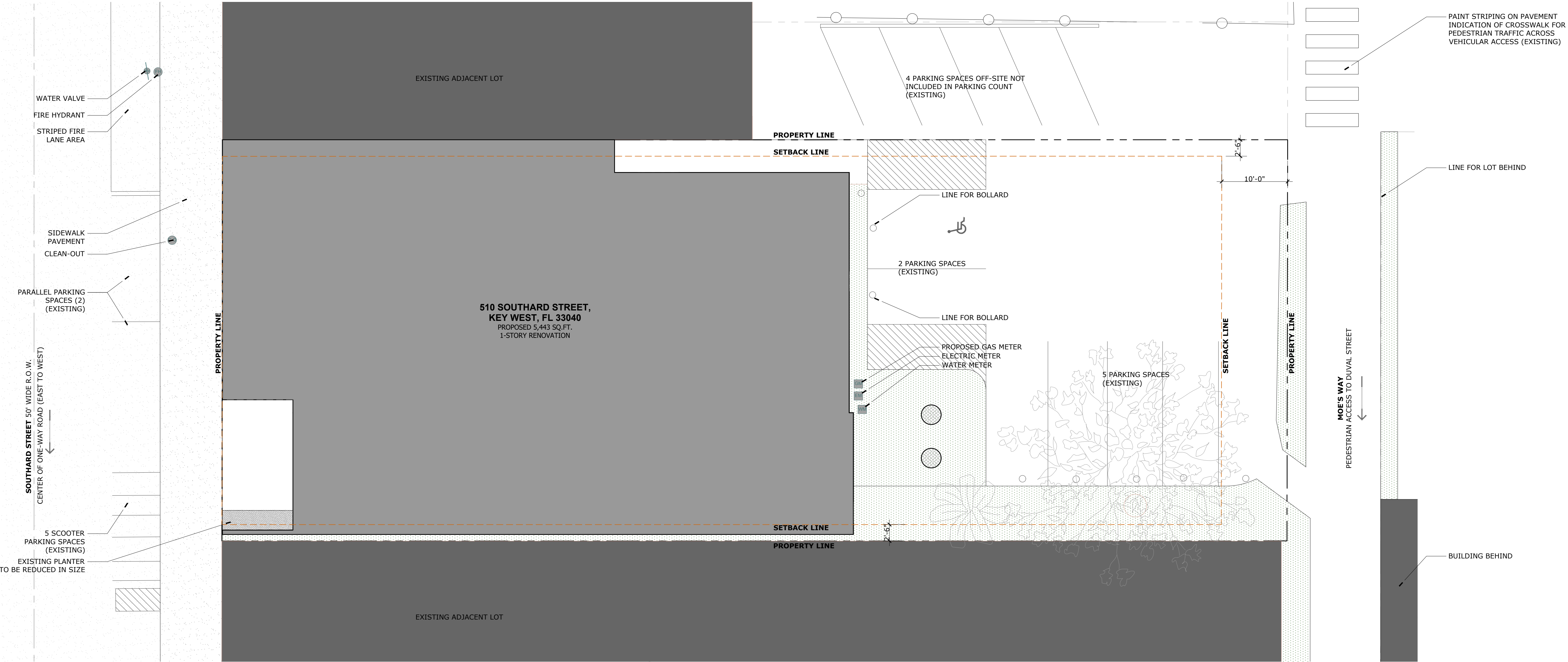


LOCATION

OWNER PROVIDED SURVEY

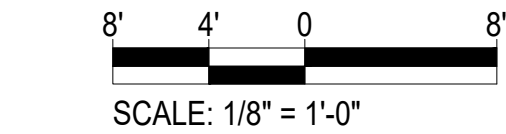
FOR REFERENCE ONLY

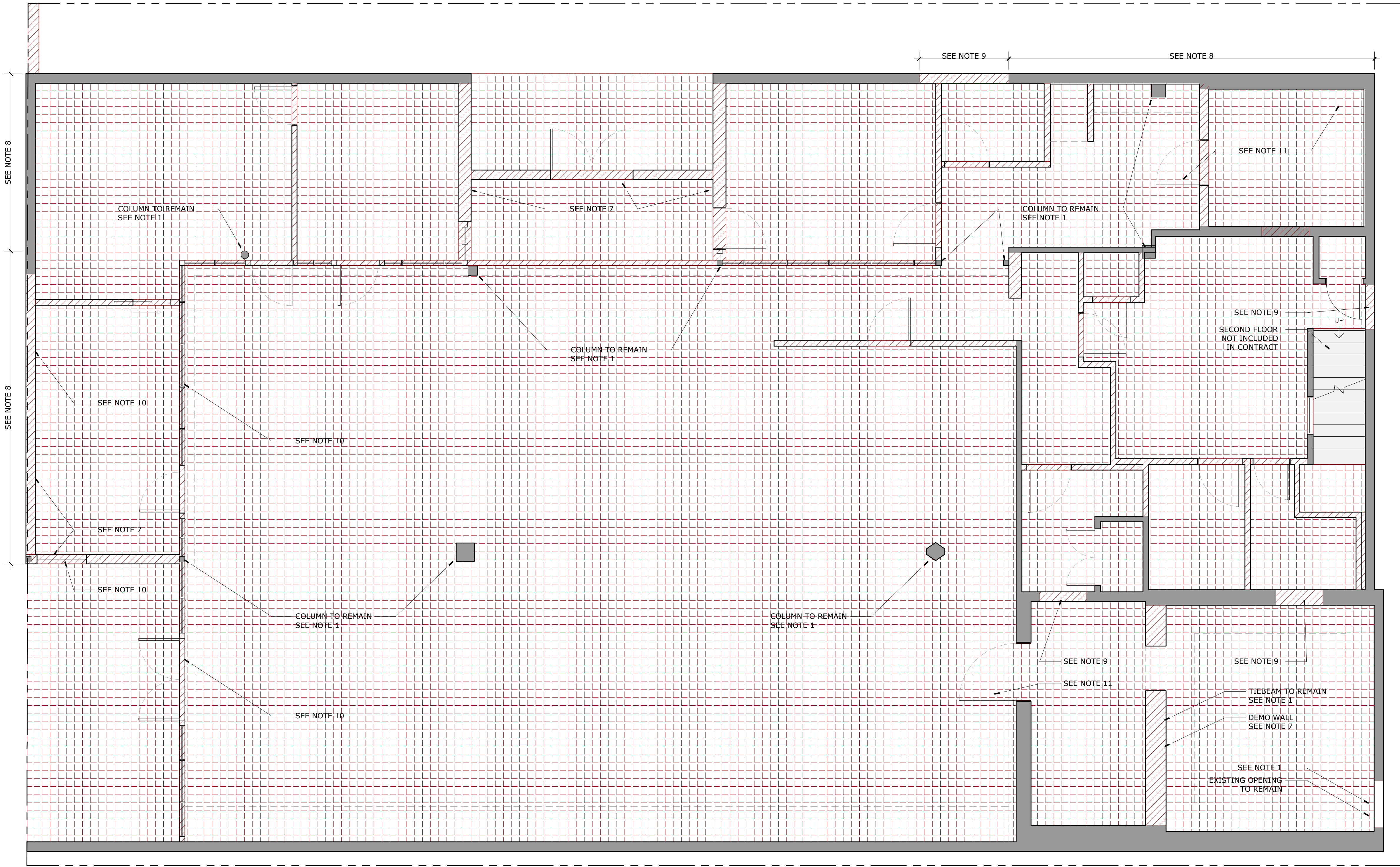
OWNER PROVIDED SURVEY
FOR REFERENCE ONLY



ZONING		
ZONING	65.3123196047625	
PARCEL ID	00012280-000000	
PROPERTY ID	1012611	
ZONING ID	HRCC-1	
BUILDING COVERAGE	50%	
IMPERVIOUS SURFACE	70%	
OPEN SPACE	RES. 35% COM. 20%	
FLOOD ZONE	X	
TRANSIENT TRANSFER LOCATION	PERMITTED	
SETBACKS	REQUIRED	PROPOSED
FRONT	0'-0"	0'-0"
SIDE	2'-6"	2'-6"
STREET SIDE	0'-0"	0'-0"
REAR	10'-0"	10'-0"

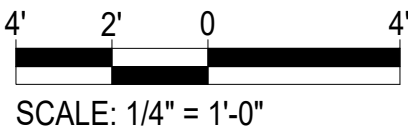
SITE PLAN
SCALE: 1/8" = 1'-0"

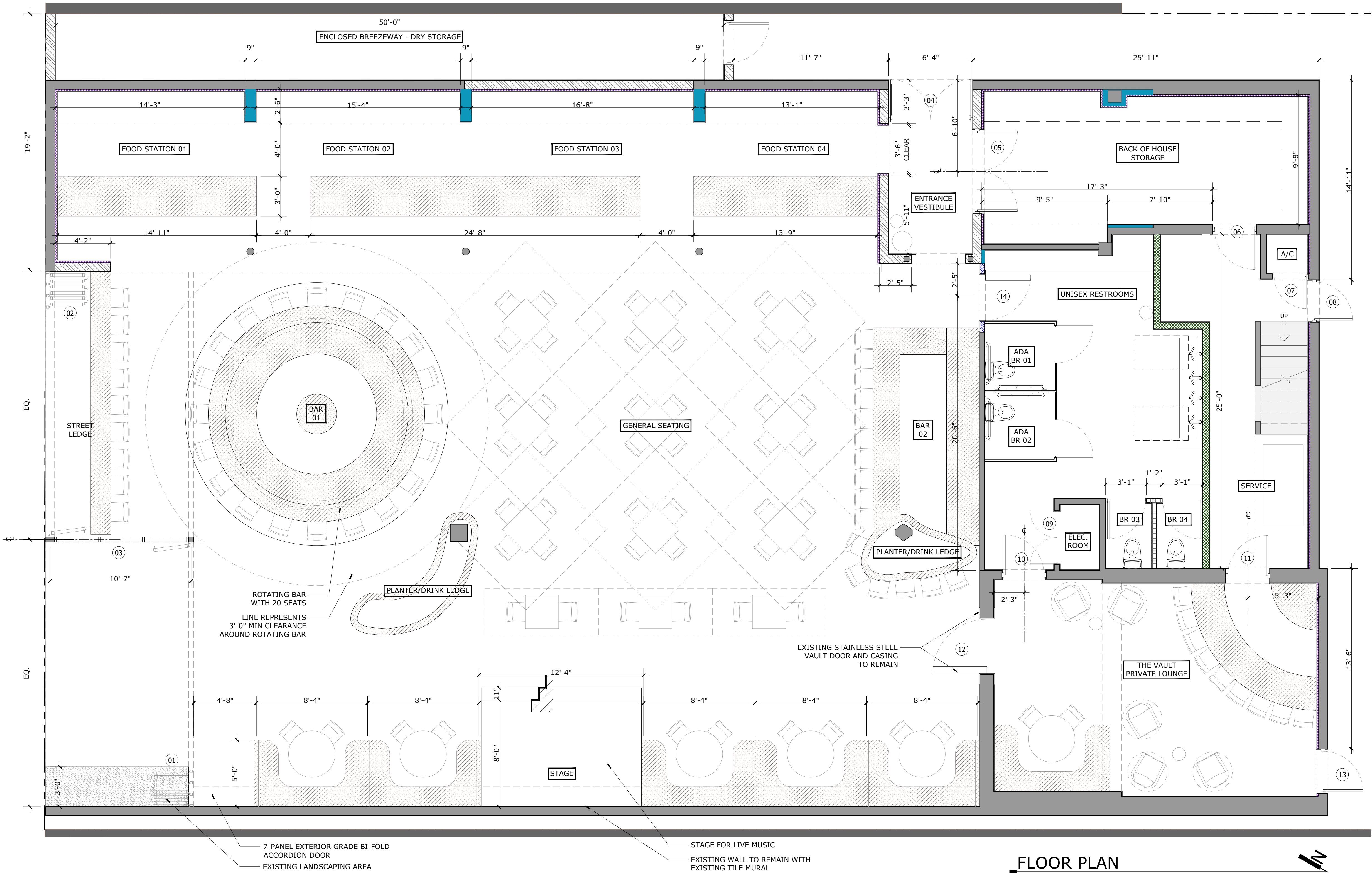




EXISTING SITE PLAN
SCALE: 1/4" = 1'-0"

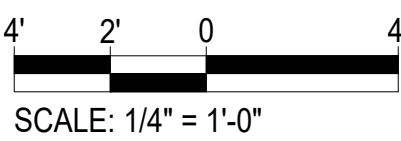
DEMOLITION LEGEND	
	EXISTING APPLIANCES, FIXTURES, EQUIPMENT, MILLWORK AND FINISHES TO BE DEMOLISHED AND REMOVED
	EXISTING INTERIOR WALLS AND DOORS TO BE DEMOLISHED AND REMOVED
	EXISTING INTERIOR FINISH FLOOR TO BE DEMOLISHED AND REMOVED
DEMOLITION SCOPE	
ARCHITECTURAL	REMOVE NOTED WALLS, CEILING, DOORS, MILLWORK AND FINISH FLOORING IN AREA OF WORK AS PER DEMOLITION PLAN AND DEMOLITION LEGEND. CONTRACTOR TO COMPLY WITH DEMOLITION GENERAL NOTES
STRUCTURAL	CONTRACTOR NOT TO DEMOLISH OR OTHERWISE REMOVE, DAMAGE OR IMPAIR STRUCTURAL ELEMENTS NOT CALLED OUT FOR DEMOLITION. CONTACT ARCHITECT IF ANY STRUCTURAL ELEMENTS ARISE DURING DEMOLITION
MECHANICAL	REMOVE ALL EXISTING DUCTS, VENTS, AND EQUIPMENT IN AREAS EFFECTED AS PER DEMOLITION LEGEND AND DEMOLITION PLAN
ELECTRICAL	REMOVE EXISTING ELECTRICAL OUTLETS, CONDUIT, AND EQUIPMENT IN AREAS EFFECTED AS PER DEMOLITION LEGEND AND DEMOLITION PLAN REMOVE BREAKERS AT PANEL FOR CORRESPONDING EQUIPMENT
PLUMBING	REMOVE EXISTING PLUMBING, LINES AND FIXTURES IN AREAS EFFECTED AS PER DEMOLITION LEGEND AND DEMOLITION PLAN CAP WASTE LINES AND SEAL SUPPLY LINES TO EFFECT AREAS
DEMOLITION NOTES	
1.	CONTRACTOR SHALL PROTECT EXISTING WALL(S), FLOOR(S), STRUCTURE(S), MATERIAL(S) AND ITEM(S) IDENTIFIED AS REMAINING AT ALL TIMES FROM ANY DAMAGE OR REMOVAL
2.	WALL(S), FLOOR(S), STRUCTURE(S), MATERIAL(S) AND ITEM(S) IDENTIFIED AS REMAINING, WHEN CUT, DAMAGED, OR OTHERWISE DISTURBED DURING DEMOLITION, INSTALLATION OR AT ANY TIME DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE RESTORED TO ORIGINAL CONDITION OR REPLACED AT THE CONTRACTOR'S EXPENSE
3.	CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND BUILDING MATERIALS AS WELL AS THE PROPER DISPOSAL OF ALL MATERIALS INCLUDING ANY THAT ARE/CAN BE IDENTIFIED AS "HAZARDOUS"
4.	CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND ELECTRICAL, WATER, SEWER AND GAS LINES THAT ARE IN, AND LEAD INTO THE PROPERTY, BEFORE COMMENCEMENT OF DEMOLITION
5.	CONTRACTOR TO COORDINATE THE LOCATION OF EXISTING UNDERGROUND UTILITIES WITH WWW.CALLSUNSHINE.COM
6.	CONTRACTOR TO CAP OFF OR OTHERWISE CUT SERVICE TO PROPERTY AS PER FLORIDA BUILDING CODE PRIOR TO ANY DEMOLITION
7.	CONTRACTOR SHALL VERIFY WITH THE ARCHITECT THE REMOVAL OF ANY STRUCTURAL COMPONENT THAT MAY BE IDENTIFIED FOR DEMOLITION
8.	CONTRACTOR SHALL COORDINATE LOCATION OF EXTERIOR WALL DEMOLITION WITH PROPOSED FLOOR PLAN
9.	CONTRACTOR SHALL COORDINATE LOCATION AND SIZE OF OPENING WITH PROPOSED FLOOR PLAN.
10.	CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORT FOR STRUCTURE WHERE NEEDED BEFORE COMMENCEMENT OF DEMOLITION.
11.	CONTRACTOR TO KEEP, STORE, AND PROTECT EXISTING VAULT DOORS, CASINGS, AND SAFETY DEPOSIT BOXES FOR RE-USE.





FLOOR PLAN

SCALE: 1/4" = 1'-0"



WALL ASSEMBLY LEGEND

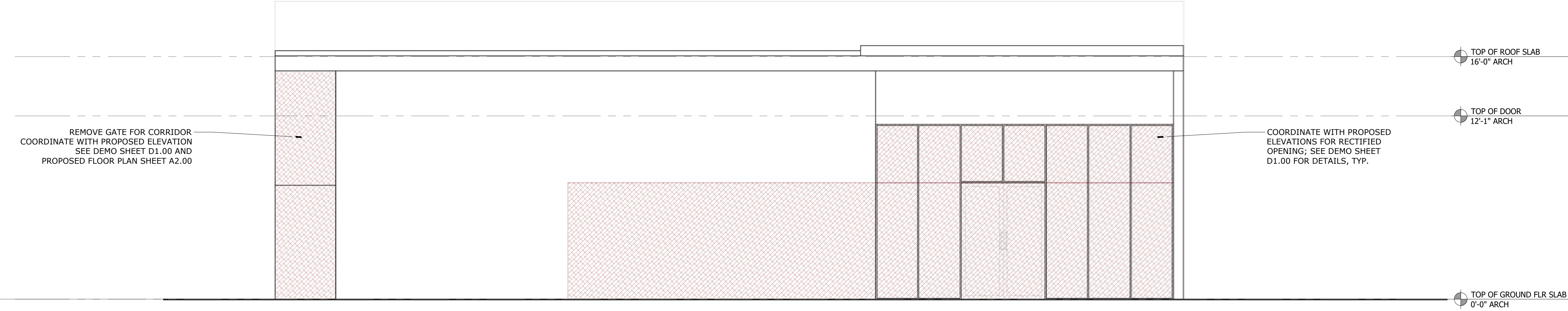
	EXISTING WALL - CONTRACTOR TO PATCH AND REPAIR AS NECESSARY, ALL EXISTING WALLS AFFECTED BY PROPOSED WORK TO BE REPAINTED TO MATCH EXISTING U.O.N. (SEE NOTE 2)
	STRUCTURAL CMU/CONCRETE WALL - REFER TO STRUCTURAL DRAWINGS FOR SIZE - U.O.N. 5/8" STUCCO ON EXTERIOR SIDE - ELECTROMETRIC WATERPROOFING OVER STUCCO PRIOR TO PAINT FINISH - WHERE PAINT IS SCHEDULED WALL TO BE PRIMED AND PAINTED AS PER PAINT WITH PAINT COMPATIBLE WITH APPLIED WATERPROOFING AS PER PAINT MANUFACTURER SPECIFICATIONS (SEE NOTE 2) - U.O.N. INTERIOR SIDE TO BE SEALED AND PAINTED WHITE
	INTERIOR WALL FURRING - 5/8" GYPSUM BOARD (SEE NOTE 1) ON MTL FURRING CHANNELS @ 24" O.C. CONTRACTOR TO COORDINATE MTL FURRING SIZE FOR FLUSH TRANSITION AT NEW TO EXISTING GYPSUM W/ INSULATION AS SCHEDULED - WALLS TO HAVE LEVEL 3 FINISH WHERE FINISH SCHEDULED - LEVEL 4 FINISH WHERE PAINT FINISH SCHEDULED - WHERE PAINT IS SCHEDULED WALL TO BE PREPPED, PRIMED AND PAINTED AS PER PAINT MANUFACTURER SPECIFICATIONS (SEE NOTE 2)
	INTERIOR WALL FURRING - 5/8" GYPSUM BOARD (SEE NOTE 1) ON 7/8" MTL Z-FURRING @ 24" O.C. - INSULATION AS SCHEDULED - WALLS TO HAVE LEVEL 3 FINISH WHERE FINISH SCHEDULED - LEVEL 4 FINISH WHERE PAINT FINISH SCHEDULED - WHERE PAINT IS SCHEDULED WALL TO BE PREPPED, PRIMED AND PAINTED AS PER PAINT MANUFACTURER SPECIFICATIONS (SEE NOTE 2)
	INTERIOR NON-STRUCTURAL WALL - 5/8" GYPSUM BOARD (SEE NOTE 1) ON 2" MTL Z-FURRING @ 24" O.C. INSULATION AS SCHEDULED - WALLS TO HAVE LEVEL 3 FINISH WHERE FINISH SCHEDULED - LEVEL 4 FINISH WHERE PAINT FINISH SCHEDULED - WHERE PAINT IS SCHEDULED WALL TO BE PREPPED, PRIMED AND PAINTED AS PER PAINT MANUFACTURER SPECIFICATIONS (SEE NOTE 2)
	INTERIOR NON-STRUCTURAL WALL - 5/8" GYPSUM BOARD (SEE NOTE 1) ON 3-5/8" 25 GAUGE MTL STUD @ 24" O.C. - CONTRACTOR TO COORDINATE MTL FURRING SIZE FOR FLUSH TRANSITION AT NEW TO EXISTING GYPSUM WALLS (SEE NOTE 8) - WALLS TO HAVE LEVEL 3 FINISH WHERE FINISH SCHEDULED - LEVEL 4 FINISH WHERE PAINT FINISH SCHEDULED - WHERE PAINT IS SCHEDULED WALL TO BE PREPPED, PRIMED AND PAINTED AS PER PAINT MANUFACTURER SPECIFICATIONS (SEE NOTE 2)
	INTERIOR NON-STRUCTURAL WALL - 5/8" GYPSUM BOARD (SEE NOTE 1) ON 3-5/8" 25 GAUGE MTL STUD @ 24" O.C. W/ SOUND INSULATION - WALLS TO HAVE LEVEL 3 FINISH WHERE FINISH SCHEDULED - LEVEL 4 FINISH WHERE PAINT FINISH SCHEDULED - WHERE PAINT IS SCHEDULED WALL TO BE PREPPED, PRIMED AND PAINTED AS PER PAINT MANUFACTURER SPECIFICATIONS (SEE NOTE 2)
	INTERIOR NON-STRUCTURAL WALL - 5/8" GYPSUM BOARD (SEE NOTE 1) ON 4" 20 GAUGE MTL STUD @ 24" O.C. W/ SOUND INSULATION U.O.N. - WALLS TO HAVE LEVEL 3 FINISH WHERE FINISH SCHEDULED - LEVEL 4 FINISH WHERE PAINT FINISH SCHEDULED - WHERE PAINT IS SCHEDULED WALL TO BE PREPPED, PRIMED AND PAINTED AS PER PAINT MANUFACTURER SPECIFICATIONS (SEE NOTE 2)
	INTERIOR NON-STRUCTURAL WALL - 5/8" GYPSUM BOARD (SEE NOTE 1) ON 6" 20 GAUGE MTL STUD @ 24" O.C. W/ SOUND INSULATION U.O.N. - WALLS TO HAVE LEVEL 3 FINISH WHERE FINISH SCHEDULED AND LEVEL 4 FINISH WHERE PAINT FINISH SCHEDULED - WHERE PAINT IS SCHEDULED WALL TO BE PREPPED, PRIMED AND PAINTED AS PER PAINT MANUFACTURER SPECIFICATIONS (SEE NOTE 2)
	INTERIOR NON-STRUCTURAL WALL - 5/8" GYPSUM BOARD (SEE NOTE 1) ON 20 GAUGE MTL STUD @ 24" O.C. - CONTRACTOR TO COORDINATE MTL FURRING SIZE TO ACCOMMODATE WALL THICKNESS AS PER PLAN - W/ SOUND INSULATION U.O.N. - WALLS TO HAVE LEVEL 3 FINISH WHERE FINISH SCHEDULED AND LEVEL 4 FINISH WHERE PAINT FINISH SCHEDULED - WHERE PAINT IS SCHEDULED WALL TO BE PREPPED, PRIMED AND PAINTED AS PER PAINT MANUFACTURER SPECIFICATIONS (SEE NOTE 2)
	1 HOUR FIRE RATED INTERIOR NON-STRUCTURAL WALL - 5/8" FIRE RATED GYPSUM BOARD ON BOTH SIDES OF 3-5/8" 20 GAUGE MTL STUD @ 24" O.C. - CONTRACTOR TO COORDINATE W/ FIRE RATED WALL U419, FIRE RATED JOINT DETAILS, AND FIRE RATED PENETRATION DETAILS - LEVEL 4 FINISH W/ PAINT FINISH - WALL TO BE PRIMED AND PREPPED, PAINTED AS PER PAINT MANUFACTURER SPECIFICATIONS (SEE NOTE 2)
	FIRE RATED INTERIOR NON-STRUCTURAL WALL - FIRE RATING AS PER LIFE SAFETY - WALL ASSEMBLY AS PER UL DETAILS WALL ASSEMBLY, FIRE RATED JOINT DETAILS, AND FIRE RATED PENETRATION DETAILS ON - LEVEL 4 FINISH W/ PAINT FINISH - WALL TO BE PRIMED AND PAINTED AS PER PAINT MANUFACTURER SPECIFICATIONS (SEE NOTE 2)

FLOOR PLAN HATCH LEGEND

	DENOTES LOCATION OF MILLWORK
	EXISTING NOT INCLUDED IN CONTRACT

WALL ASSEMBLY NOTES

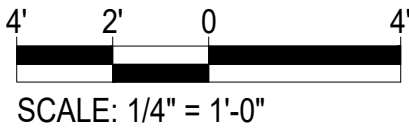
- 1/2" CEMENT BOARD TO BE USED WHERE TILE FINISH SCHEDULED AND/OR IN WET/DAMP LOCATIONS (IE. BATHROOMS, LAUNDRY ROOMS)
- 1/2" GYPSUM BOARD TO BE USED WHERE NEW GYPSUM BOARD ABUTS EXISTING 1/2" GYPSUM BOARD - INTENT FOR WALLS TO BE FLUSH AT JOINT(S)
- IN LIEU OF SPECIFIC FINISHES:
 - ALL GYPSUM WALLS TO RECEIVE ONE COAT OF PRIMER AND 2 COATS OF SEMI-GLOSS PAINT U.O.N. COLOR TO BE SELECTED BY OWNER
 - ALL WET WALLS TO RECEIVE TILE U.O.N. FINISH TO BE SELECTED BY OWNER AND FOR NON-TILED WALLS W/IN SAME WET AREA TO RECEIVE ONE COAT OF MILDEW RESISTANT PRIMER AND 2 COATS OF MILDEW RESISTANT SEMI-GLOSS PAINT U.O.N. COLOR TO BE SELECTED BY OWNER
- CONTRACTOR TO COORDINATE R-VALUES OF INSULATION W/ MECHANICAL AND ENERGY CALCULATIONS
- CONTRACTOR TO COORDINATE MAY SELECT TO CHANGE FRAMING SIZE AND/OR GAUGE TO BETTER SUIT CONDITIONS - CONTRACTOR TO SUBMIT TO ARCHITECT IN WRITING ANY CHANGES OR SUBSTITUTIONS FOR APPROVAL PRIOR TO INSTALLATION
- WHERE 2" FURRING IS SCHEDULED, **UNLESS OTHERWISE NOTED HEREIN, THE CONTRACTOR TO USE ELECTRICAL BOXES AND CONDUIT TO FIT INSIDE FURRING DEPTH WITHOUT COMPROMISING THE INTERIOR CMU FACE - CONTRACTOR TO NOT BREAK CMU BLOCK TO FIT ELECTRICAL BOX AND/OR SERVICE.**
- SHOULD THE CMU FACE BE COMPROMISED OR BROKEN, THE CONTRACTOR TO FILL IN GAPS OR HOLE WITH EXPANDING FOAM THAT IS CONSISTENT WITH THE WALL'S FIRE RATING AND/OR SOUND RATING**
- REFER TO WALL ASSEMBLY DETAILS FOR BASEBOARD AND OTHER FINISH INSTALLATION DETAILS

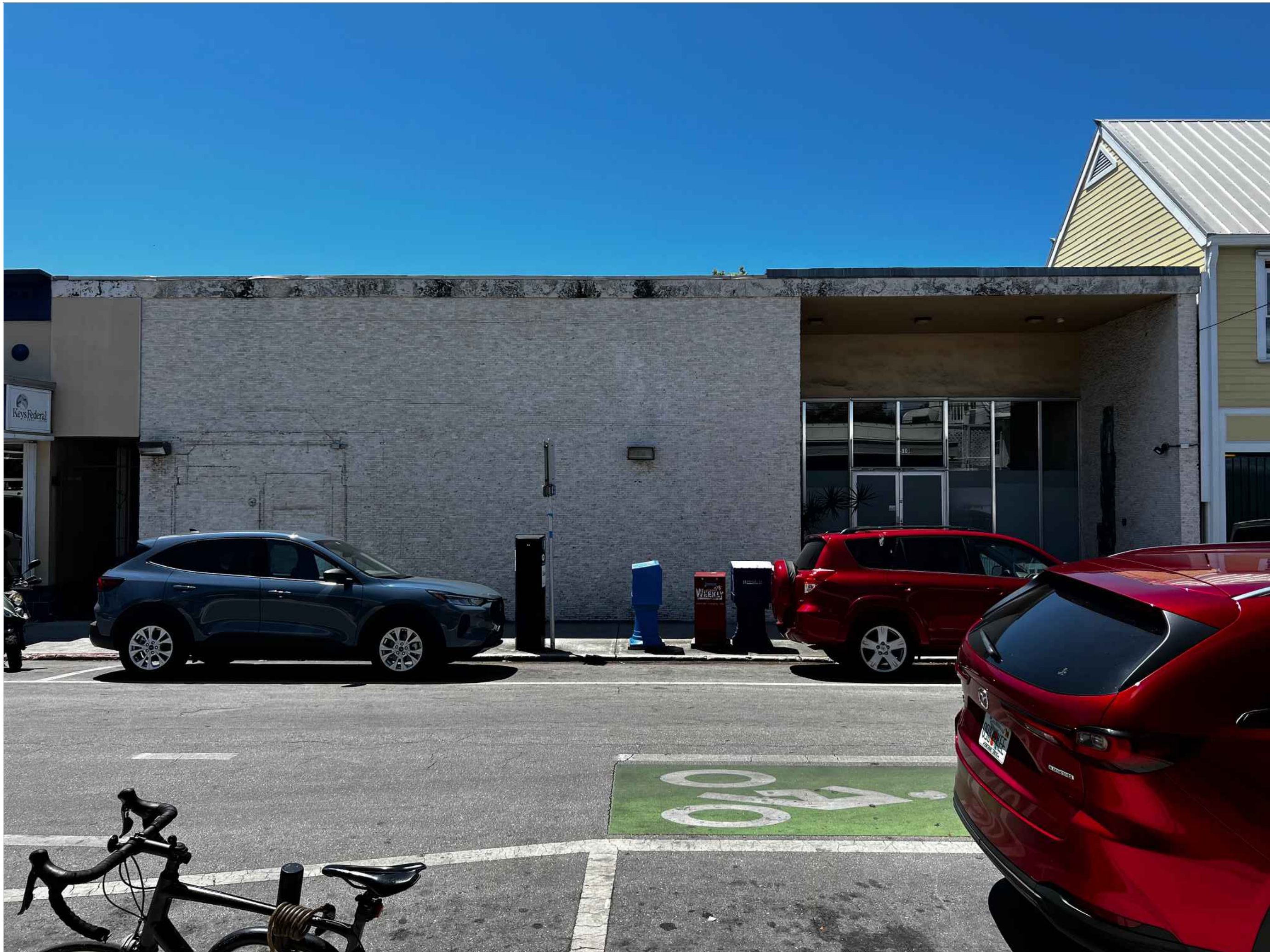


A EXISTING DEMO ELEVATION
SCALE: 1/4" = 1'-0"

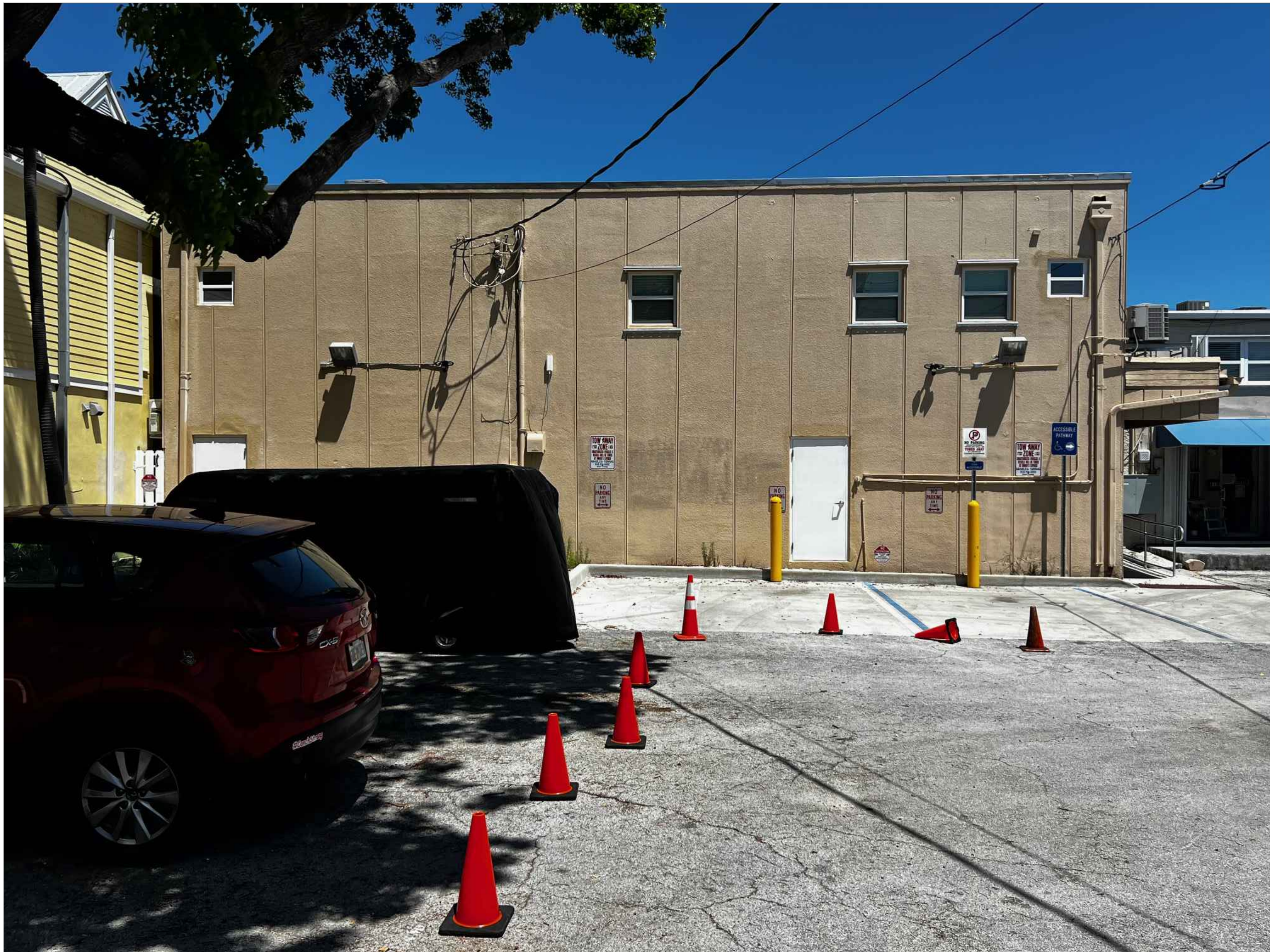


B PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"





FRONT ELEVATION



REAR ELEVATION



FRONT VIEW FROM SOUTHARD ST



FRONT VIEW FROM SOUTHARD ST



HISTORIC CONDITION



CONCEPTUAL RENDERING



CONCEPTUAL RENDERING - INTERIOR

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., June 24, 2025, at City Hall, 1300 White Street**, Key West, Florida. The purpose of the hearing will be to consider a request for:

OPENING OF A SECTION OF THE FRONT ELEVATION FOR NEW STOREFRONT TO MATCH EXISTING AND ENCLOSURE OF BREEZEWAY ON HISTORIC STRUCTURE. RENOVATIONS TO INTERIOR OF BANK TO ACCOMMODATE NEW RESTAURANT. PARTIAL DEMOLITION OF FRONT ELEVATION TO ACCOMMODATE STOREFRONT AND REMOVAL OF GATE IN BREEZEWAY. DEMOLITION OF INTERIOR WALLS AND FLOOR.

#510 SOUTHARD STREET

Applicant – Juan Carlos Pernas Application #C2025-0053

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared Juan Carlos Pernas, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address: 510 Southard St. Key West, Fl. 33040 on the 16th day of June, 2025.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on June 24, 2025.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is C 2025-0053.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

[Signature]
Date: 06/16/25
Address: 510 Southard St.
City: Key West, Fl.
State, Zip: 33040

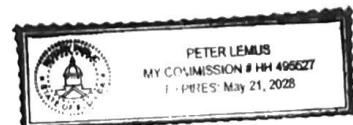
The forgoing instrument was acknowledged before me on this 16th day of June, 2025.

By (Print name of Affiant) Juan Carlos Pernas who is personally known to me or has produced identification and who did take an oath.

NOTARY PUBLIC

Sign Name: Peter Lemus
Print Name: Peter Lemus

Notary Public - State of Florida (seal)
My Commission Expires: May 21, 2028



Security 
Cameras In Use



Public Meeting Notice

[illegible]

PROPERTY APPRAISER INFORMATION

Monroe County, FL

PROPERTY RECORD CARD

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00012280-000000
Account# 1012611
Property ID 1012611
Millage Group 10KW
Location 510 SOUTHARD St, KEY WEST
Address
Legal KW PT LT 3 SQR 61 SOUTHARD ST 61 FT X 162FT OR233-164 OR237-252 OR1186-
Description 69 OR1415-2246 OR3132-0325 OR3136-1693 OR3286-0037
(Note: Not to be used on legal documents.)
Neighborhood 32040
Property Class RETAIL-SINGLE TENANT (1100)
Subdivision
Sec/Twp/Rng 06/68/25
Affordable No
Housing



Owner

CONCH REPUBLIC PR LLC
30 N Gould St
Ste R
Sheridan WY 82801

Valuation

	2024 Certified Values	2023 Certified Values	2022 Certified Values	2021 Certified Values
+ Market Improvement Value	\$344,498	\$850,519	\$850,519	\$1,007,252
+ Market Misc Value	\$10,004	\$10,004	\$10,004	\$10,004
+ Market Land Value	\$1,561,909	\$2,645,906	\$2,178,981	\$1,712,057
= Just Market Value	\$1,916,411	\$3,506,429	\$3,039,504	\$2,729,313
= Total Assessed Value	\$1,916,411	\$3,343,454	\$3,039,504	\$2,625,591
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,916,411	\$3,506,429	\$3,039,504	\$2,729,313

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$1,561,909	\$344,498	\$10,004	\$1,916,411	\$1,916,411	\$0	\$1,916,411	\$0
2023	\$2,645,906	\$850,519	\$10,004	\$3,506,429	\$3,343,454	\$0	\$3,506,429	\$0
2022	\$2,178,981	\$850,519	\$10,004	\$3,039,504	\$3,039,504	\$0	\$3,039,504	\$0
2021	\$1,712,057	\$1,007,252	\$10,004	\$2,729,313	\$2,625,591	\$0	\$2,729,313	\$0
2020	\$1,369,645	\$1,007,252	\$10,004	\$2,386,901	\$2,386,901	\$0	\$2,386,901	\$0
2019	\$1,182,875	\$1,048,087	\$10,004	\$2,240,966	\$2,240,966	\$0	\$2,240,966	\$0
2018	\$1,164,100	\$938,374	\$6,110	\$2,108,584	\$2,108,584	\$0	\$2,108,584	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(1100)	9,882.00	Square Foot	61	162

Buildings

Building ID	39536	Exterior Walls	C.B.S.
Style	2 STORY ON GRADE	Year Built	1963
Building Type	1 STORY STORES / 11C	EffectiveYearBuilt	1995
Building Name		Foundation	CONCRETE SLAB
Gross Sq Ft	6565	Roof Type	FLAT OR SHED
Finished Sq Ft	5821	Roof Coverage	TAR & GRAVEL
Stories	2 Floor	Flooring Type	CERM/CLAY TILE
Condition	GOOD	Heating Type	FCD/AIR DUCTED
Perimeter	480	Bedrooms	0
Functional Obs	30	Full Bathrooms	0
Economic Obs	0	Half Bathrooms	0
Depreciation %	38	Grade	350
Interior Walls	DRYWALL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
EPA	ENCL PORCH WD	524	0	0
OPX	EXC OPEN PORCH	220	0	0
FLA	FLOOR LIV AREA	5,821	5,821	0
TOTAL		6,565	5,821	0

Yard Items

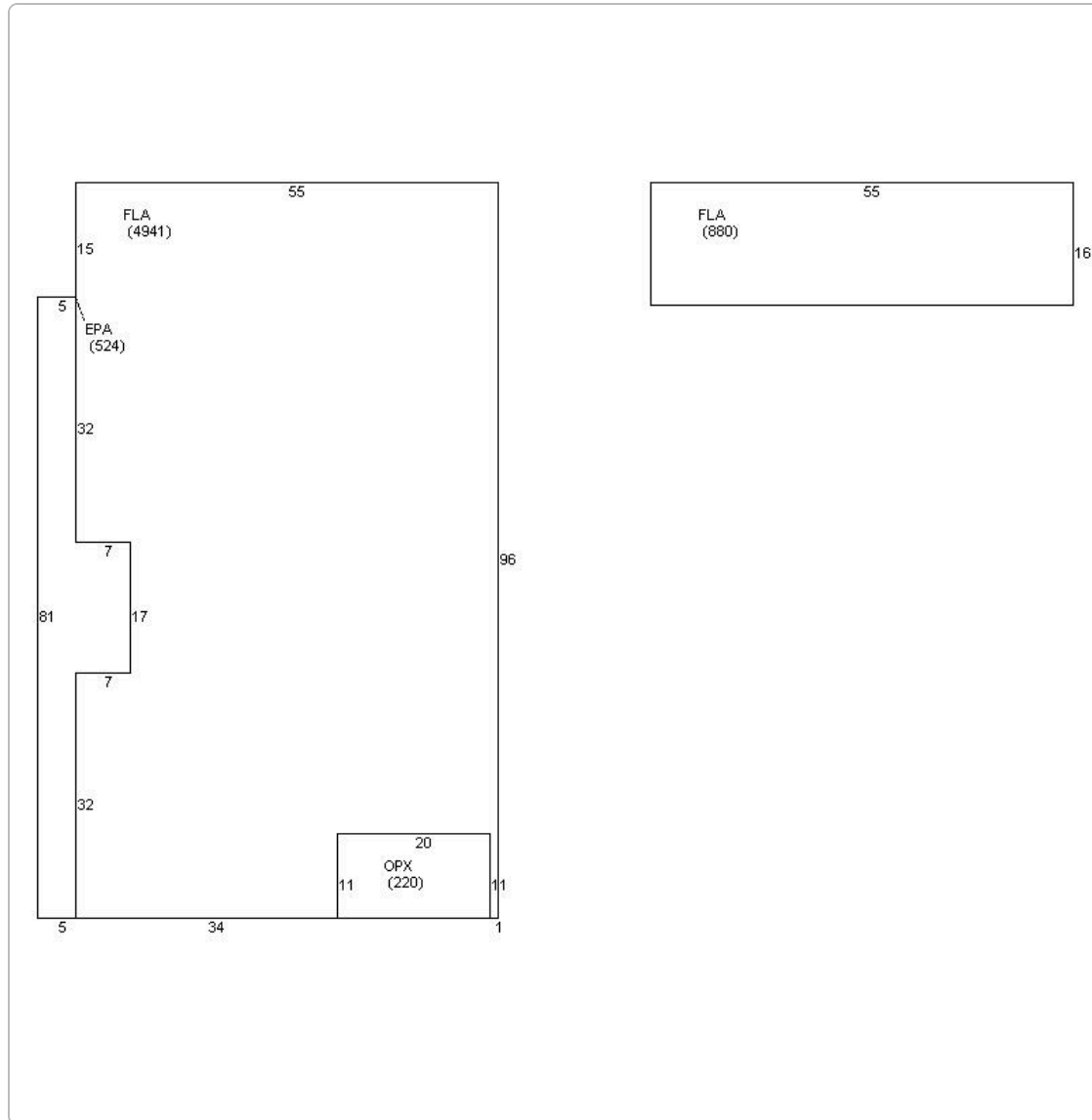
Description	Year Built	Roll Year	Size	Quantity	Units	Grade
FENCES	1973	1974	8 x 64	1	512 SF	5
ASPHALT PAVING	1979	1980	0 x 0	1	3477 SF	2

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
7/22/2024	\$2,200,000	Warranty Deed	2469414	3286	0037	36 - Unqualified	Improved		
10/15/2021	\$1,757,000	Warranty Deed	2344410	3132	0325	37 - Unqualified	Improved		
9/1/1991	\$700,000	Warranty Deed		1186	69	Q - Qualified	Improved		

Permits

Number	Date Issued	Status	Amount	Permit Type	Notes
14-3798	08/07/2014	Completed	\$20,000	Commercial	Demo existing non-ADA compliant sidewalk within BOA property and adjacent sidewalk. Construct new ADA compliant landing, ramp and sidewalk. dwn
14-3737	08/05/2014	Completed	\$24,350	Commercial	RELOCATE EXISTING FIXTURES: ONE (1) LAV ONE (1) BI-LEVEL, ONE (1) KITCHEN SINK, ONE (1) SERV SINK. (CAP EXISTING ROUGH INS NO LONGER BEING USED (NOC under GC
14-3702	07/31/2014	Completed	\$2,500	Commercial	INSTALL TWELVE (12) LIGHTS & THREE (3) SWITCHES AS PER PLANS. (NOC EXEMPT)
14-2482	06/24/2014	Completed	\$175,000	Commercial	INTERIOR/EXTERIOR ADA ACCESSIBILITY IMPROVEMENTS MC For entry doors, parking & ramp
07-0789	02/21/2007	Completed	\$24,177	Commercial	REPLACE 15 TON A/C-AFTER THE FACT
03-3526	10/06/2003	Completed	\$800	Commercial	REMOVED ROLL DOWN GATE
00-2845	09/25/2000	Completed	\$1,200	Commercial	REPAIRS TO FACIA
00-1927	07/11/2000	Completed	\$1	Commercial	CHANGEOUT AC
00-1672	07/10/2000	Completed	\$8,500	Commercial	ELECTRICAL
00-0659	04/11/2000	Completed	\$1	Commercial	INSTALL 2 ATM'S
99-4152	01/06/2000	Completed	\$3,000	Commercial	REPLACE SIGN
98-2732	11/13/1998	Completed	\$1,500	Commercial	REPLACE SIGN
98-1889	06/18/1998	Completed	\$1,500	Commercial	ROOF TOP A/C
98-1124	05/08/1998	Completed	\$30,000	Commercial	RE-ROOFING
96-0558	01/01/1996	Completed	\$12,000	Commercial	ELECTRICAL
E95-4364	12/01/1995	Completed	\$1,500	Commercial	ELECTRICAL
E95-3768	11/01/1995	Completed	\$600	Commercial	FEE/INSPECTION
M95-3992	11/01/1995	Completed	\$2,100	Commercial	INST. 4 DROPS
E95-3381	10/01/1995	Completed	\$5,000	Commercial	FIRE ALARM
E95-3414	10/01/1995	Completed	\$6,000	Commercial	ELECTRICCAL
P95-3621	10/01/1995	Completed	\$7,200	Commercial	PLUMBING
B95-2618	08/01/1995	Completed	\$200,000	Commercial	RENOVATIONS
B94-0699	03/01/1994	Completed	\$1,605	Commercial	REPLACE MISSING CORAL

View Tax Info[View Taxes for this Parcel](#)**Sketches (click to enlarge)****Photos**

Map



TRIM Notice

[2024 TRIM Notice \(PDF\)](#)

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