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### **Staff Report for Item 7a**

**To:** Chairman Bryan Green and Historic Architectural Review  
Commission Members

**From:** Kelly Perkins, MHP  
HARC Assistant Planner

**Meeting Date:** November 16, 2015

**Applicant:** Gary Burchfield/Artibus Design

**Application Number:** H15-01-1667

**Address:** #216 Eneas Lane

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### **Description of Work:**

Rehabilitation of front porch and one-story side addition. New covered rear deck. Replacement of jalousie windows with wood true divided windows. Site improvements.

### **Site Facts:**

The house at 216 Eneas Lane is listed as a contributing resource and was constructed c. 1943 according to our survey. The house appears on the 1912 Sanborn maps, so it is quite earlier than 1943. The house always appeared to have a bump-out on its north elevation, before the house was greatly expanded sometime between 1948 and 1962.

### **Guidelines Cited in Review:**

Additions and Alterations/New Construction (pages 36-38a), specifically guidelines 1 through 8 for additions and alterations.

### **Staff Analysis**

This Certificate of Appropriateness proposes a new addition to the rear side of a contributing house. The house was a smaller one-story frame vernacular house, when sometime between 1948 and 1962, it was greatly expanded on the north side. The proposed new addition will extend from this post-war expansion. The addition will be nine feet wide with a false window with a closed fixed shutter on the front elevation. It will have a front facing gable roof that will not impact the main historic roof. The new addition will be 13

feet, 6 inches tall and will shorter than the main house by four feet. Its length will be 12 feet, 6 inches long – about one third the length of the house, not including the porch.

The design also includes rehabilitation of the front porch. Before the expansion, the house had a front porch that is roughly the same size as the porch today. Overtime, the porch's materials were changed to a concrete base with metal supports. The proposed plan is to demolish the existing concrete porch, remove the metal supports and build a new wood front porch with two wood posts. The porch roof will remain. New railings will be added and the porch steps will be relocated to the side to better accommodate parking in front of the house. All of the jalousie windows will be replaced with wood 2/2 true divided lights in the front and sides of the house. The rear of the house will have aluminum impact windows and doors.

The project also includes a rear covered porch and deck.

### **Consistency with Guidelines**

1. The proposed addition is attached to a secondary elevation. It would be more appropriate to locate the new addition entirely in the back. As the house was expanded sometime between 1948 and 1962, the new addition is not attached to the original house.
2. The new addition will be set back towards the rear of the house, and will not have much impact on the original house. It will require a partial demolition of part of a wall.
3. The addition is proposed to have a mass, scale, and proportion that is appropriate to the main building.

It is staff's opinion that the proposed design is consistent with the guidelines for additions and alterations.

# APPLICATION

**COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC**  
**\$50.00 APPLICATION FEE NON-REFUNDABLE**



**City of Key West**  
 3140 FLAGLER AVENUE  
 KEY WEST, FLORIDA 33040  
 Phone: 305.809.3956

HARC PERMIT NUMBER <i>15-01-1667</i>	BUILDING PERMIT NUMBER <i>15-4430</i>	INITIAL & DATE <i>10/26/15</i>
FLOODPLAIN PERMIT		REVISION #
FLOOD ZONE	PANEL #	ELEV. L. FL.
SUBSTANTIAL IMPROVEMENT <input type="checkbox"/> YES <input type="checkbox"/> NO _____ %		

ADDRESS OF PROPOSED PROJECT:

*EN-95*  
 216 Eanes Ln. # OF UNITS 1

RE # OR ALTERNATE KEY:

00018080-000000

NAME ON DEED:

Kent Lefner PHONE NUMBER

OWNER'S MAILING ADDRESS:

2708 Camelot Dr Dyer IN EMAIL

CONTRACTOR COMPANY NAME:

*MAAC*  
 Gary the Carpenter PHONE NUMBER 797-0251

CONTRACTOR'S CONTACT PERSON:

Ray Lovell EMAIL gaeythecarpenter@hotmail.com

ARCHITECT / ENGINEER'S NAME:

*ART 47 150*  
 Artbus Design PHONE NUMBER 305-304-3512

ARCHITECT / ENGINEER'S ADDRESS:

*344 N ROOSEVELT*  
 3706 N Roosevelt Blv Ste 1-208 EMAIL

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING:  YES  NO (SEE PART C FOR HARC APPLICATION.)

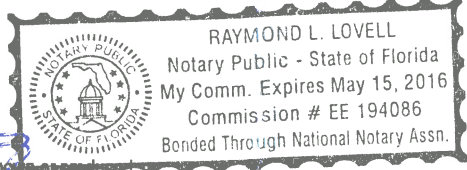
CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT: \$75,000.00

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT TYPE:	<input checked="" type="checkbox"/> ONE OR TWO FAMILY	<input type="checkbox"/> MULTI-FAMILY	<input type="checkbox"/> COMMERCIAL	<input type="checkbox"/> NEW	<input checked="" type="checkbox"/> REMODEL
	<input type="checkbox"/> CHANGE OF USE / OCCUPANCY	<input checked="" type="checkbox"/> ADDITION	<input type="checkbox"/> SIGNAGE	<input type="checkbox"/> WITHIN FLOOD ZONE	
	<input checked="" type="checkbox"/> DEMOLITION	<input type="checkbox"/> SITE WORK	<input checked="" type="checkbox"/> INTERIOR	<input checked="" type="checkbox"/> EXTERIOR	<input type="checkbox"/> AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC., Demo and reconfigure front porch, new addition on side of house, new covered deck on rear, replace windows on front and sides with i wood *2x2* windows and doors on rear impact aluminum, new brick driveway, *front porch roof V-crimp rear flat roof TPO*

I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOV'T AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT.	
OWNER PRINT NAME:	QUALIFIER PRINT NAME: Gary Burehfield
OWNER SIGNATURE:	QUALIFIER SIGNATURE:
Notary Signature as to owner:	Notary Signature as to qualifier:
STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS _____ DAY OF _____, 20____.	STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS <i>26</i> DAY OF <i>Oct</i> , 20 <i>15</i> .
Personally known or produced _____ as identification.	Personally known or produced _____ as identification.



*704-528-7048 to hsc-LESC-05611*

*Planning OK - P.W. 11-9-15*

*0 Paid*

**PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS**

PROPERTY STRUCTURES AFFECTED BY PROJECT:  MAIN STRUCTURE  ACCESSORY STRUCTURE  SITE

ACCESSORY STRUCTURES:  GARAGE / CARPORT  DECK  FENCE  OUTBUILDING / SHED

FENCE STRUCTURES:  4 FT.  6 FT. SOLID  6 FT. / TOP 2 FT. 50% OPEN

POOLS:  INGROUND  ABOVE GROUND  SPA / HOT TUB  PRIVATE  PUBLIC

PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.  
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING:  NEW  ROOF-OVER  TEAR-OFF  REPAIR  AWNING  
 5 V METAL  ASPLT. SHGLS.  METAL SHGLS.  BLT. UP  TPO  OTHER

FLORIDA ACCESSIBILITY CODE:  20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE:  # OF SINGLE FACE  # OF DOUBLE FACE  REPLACE SKIN ONLY  BOULEVARD ZONE  
 POLE  WALL  PROJECTING  AWNING  HANGING  WINDOW

SQ. FT. OF EACH SIGN FACE: \_\_\_\_\_

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL:  DUCTWORK  COMMERCIAL EXH. HOOD  INTAKE / EXH. FANS  LPG TANKS  
 A / C:  COMPLETE SYSTEM  AIR HANDLER  CONDENSER  MINI-SPLIT

ELECTRICAL:  LIGHTING  RECEPTACLES  HOOK-UP EQUIPMENT  LOW VOLTAGE  
 SERVICE:  OVERHEAD  UNDERGROUND  1 PHASE  3 PHASE \_\_\_\_\_ AMPS

PLUMBING:  ONE SEWER LATERAL PER BLDG.  INGROUND GREASE INTCPTRS.  LPG TANKS

RESTROOMS:  MEN'S  WOMEN'S  UNISEX  ACCESSIBLE

**PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS**

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10  STAFF APPROVAL: \$50  COMMISSION REVIEW \$100

PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.  
 ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: [harc@cityofkeywest-fl.gov](mailto:harc@cityofkeywest-fl.gov)

INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS:  GENERAL  DEMOLITION  SIGN  PAINTING  OTHER

ADDITIONAL INFORMATION: \_\_\_\_\_

**PROJECT SPECIFICATIONS:** PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA

ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:

**DEMOLITION:** PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B)  BUSINESS SIGN  BRAND SIGN  OTHER: \_\_\_\_\_

BUSINESS LICENSE # \_\_\_\_\_ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE \_\_\_\_\_

SIGN SPECIFICATIONS		
SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY: INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.		

OFFICIAL USE ONLY:		HARC STAFF OR COMMISSION REVIEW	
<input type="checkbox"/> APPROVED	<input type="checkbox"/> NOT APPROVED	<input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	<input type="checkbox"/> TABLED FOR ADD'L. INFO. <input type="checkbox"/>
HARC MEETING DATE:	HARC MEETING DATE:	HARC MEETING DATE:	
REASONS OR CONDITIONS:			
STAFF REVIEW COMMENTS:			
HARC PLANNER SIGNATURE AND DATE:		HARC CHAIRPERSON SIGNATURE AND DATE:	

## PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS

FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

FLORIDA STATUTE 469: ABESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT AUTHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USDEP ON STRUCTURES BUILT PRIOR TO 1978.

OFFICIAL USE ONLY BY PLANS EXAMINER OR CHIEF BUILDING OFFICIAL:				CBO OR PL. EXAM. APPROVAL:	
HARC FEES:	BLDG. FEES:	FIRE MARSHAL FEE:	IMPACT FEES:	DATE:	
Oper: KEYWBLD Date: 10/29/15 50 2015 1001667 * BUILDING PERMITS-NEW PT Plans number: CHECK ans date: 10/29/15 32394 Time: 13:47:04					

Oper: KEYWBLD Type: BP Drawer: 1  
 Date: 10/27/15 50 Receipt no: 2225  
 2015 1001667  
 PT \* BUILDING PERMITS-NEW  
 1.00 \$50.00  
 Trans number: 3071559  
 CK CHECK 32394 \$50.00  
 Trans date: 10/27/15 Time: 8:24:10

**CITY OF KEY WEST**  
**CERTIFICATE OF APPROPRIATENESS**  
**APPENDIX FOR DEMOLITIONS**  
APPLICATION NUMBER H- 15 - 01 - 00 - 1667



This document applies only to those properties located within the City of Key West Historic Zoning Districts, properties outside the historic zoning districts which are listed as contributing in the Historic Architectural Survey and or properties listed in the National Register of Historic Places.

Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitation and the Key West's Historic Architectural Guidelines. Once submitted, the application shall be reviewed by staff for completeness and scheduled for presentation to the Historic Architectural Review Commission for the next available meeting, unless the demolition request is for a *bona fide* Code Compliance case, in which case staff may review and approve the demolition request. **The applicant must be present at this meeting. Any person that makes changes to an approved Certificate of Appropriateness must submit a new application with such modifications.**

The filing of this application does not ensure approval as submitted. Applications that do not possess the required submittals or documentation will be considered incomplete and will not be reviewed for approval.

**CRITERIA FOR DEMOLITIONS**

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies);

- (1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:

- (a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

It is not compromised by deterioration

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**OR THAT THE BUILDING OR STRUCTURE;**

- (a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

Does not

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- (b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.

Does not

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(c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.

*Does not*

(d) Is not the site of a historic event with a significant effect upon society.

*No*

(e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.

*NO*

(f) Does not portray the environment in an era of history characterized by a distinctive architectural style.

*Does not*

(g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.

*Does not*

(h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

*Does not*

(i) Has not yielded, and is not likely to yield, information important in history.

*NO*



CITY OF KEY WEST  
CERTIFICATE OF APPROPRIATENESS  
APPENDIX FOR DEMOLITIONS  
APPLICATION NUMBER H- \_\_\_\_\_



(2) For a contributing historic or noncontributing building or structure, a complete construction plan for the site is approved by the Historic Architectural Review Commission.

(a) A complete construction plan for the site is included in this application

Yes Number of pages and date on plans \_\_\_\_\_  
 No Reason construction plans to be reviewed by staff

The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies);

(1) Removing buildings or structures that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.

NO  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space; and

NO  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

AND

(3) Removing an historic building or structure in a complex; or removing a building facade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

NO  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

(4) Removing buildings or structures that would otherwise qualify as contributing.

NO partial demolition of wall on rear side  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit, approval **PRIOR** to proceeding with the work outlined above and that there will be a final inspection required under this application. I also understand that any changes to an approved Certificate of Appropriateness must be submitted for review.

*[Signature]*  
 PROPERTY OWNER'S SIGNATURE: *[Signature]* DATE AND PRINT NAME: 10/30/15 Kent Lefner

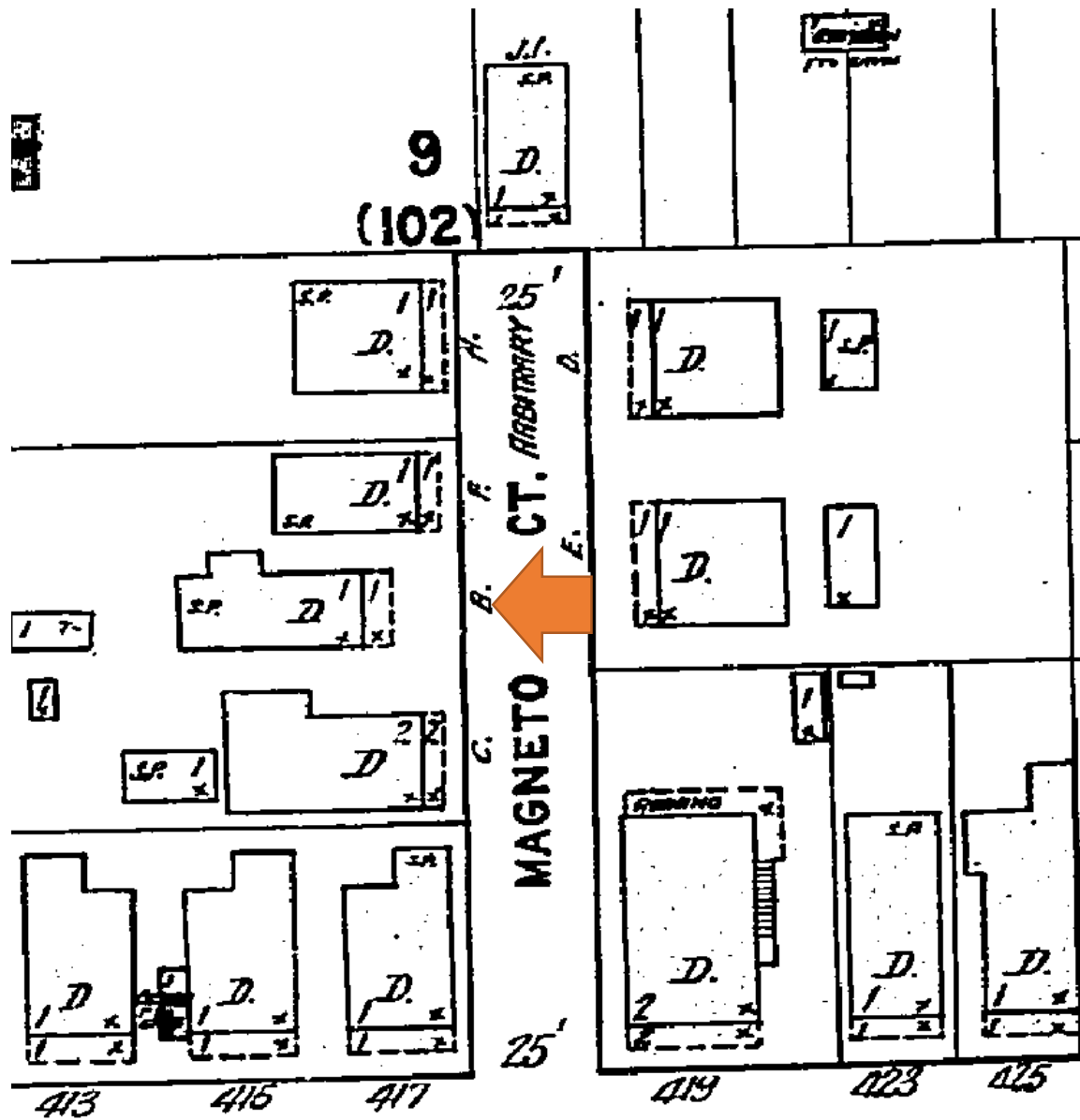
OFFICE USE ONLY

BUILDING DESCRIPTION:

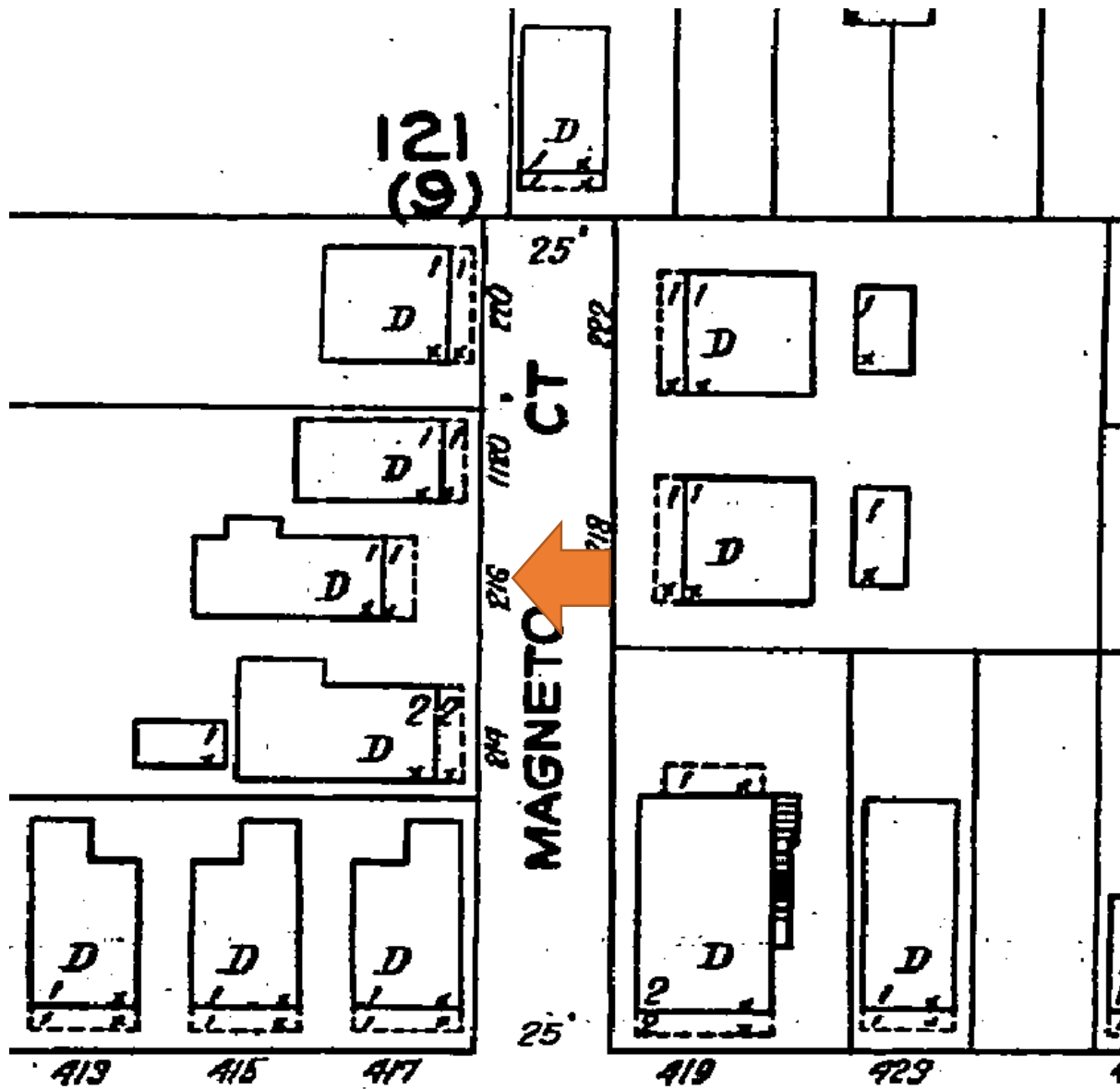
Contributing    Year built c. 1912    Style Frame Vernacular    Listed in the NRHP yes    Year 1978  
 Not listed    Year built \_\_\_\_\_    Comments \_\_\_\_\_

<p>Reviewed by Staff on _____</p> <p><input checked="" type="checkbox"/> Notice of hearing posted <u>11/9/2015</u></p> <p>First reading meeting date <u>11/16/2015</u></p> <p>Second Reading meeting date _____</p> <p>TWO YEAR EXPIRATION DATE _____</p>	<p>Staff Comments</p> <p>House was heavily altered between 1948 + 1962. Portions to be demolished were part of that addition. They do not meet the 9 criteria listed in sec. 102-218(a)</p>
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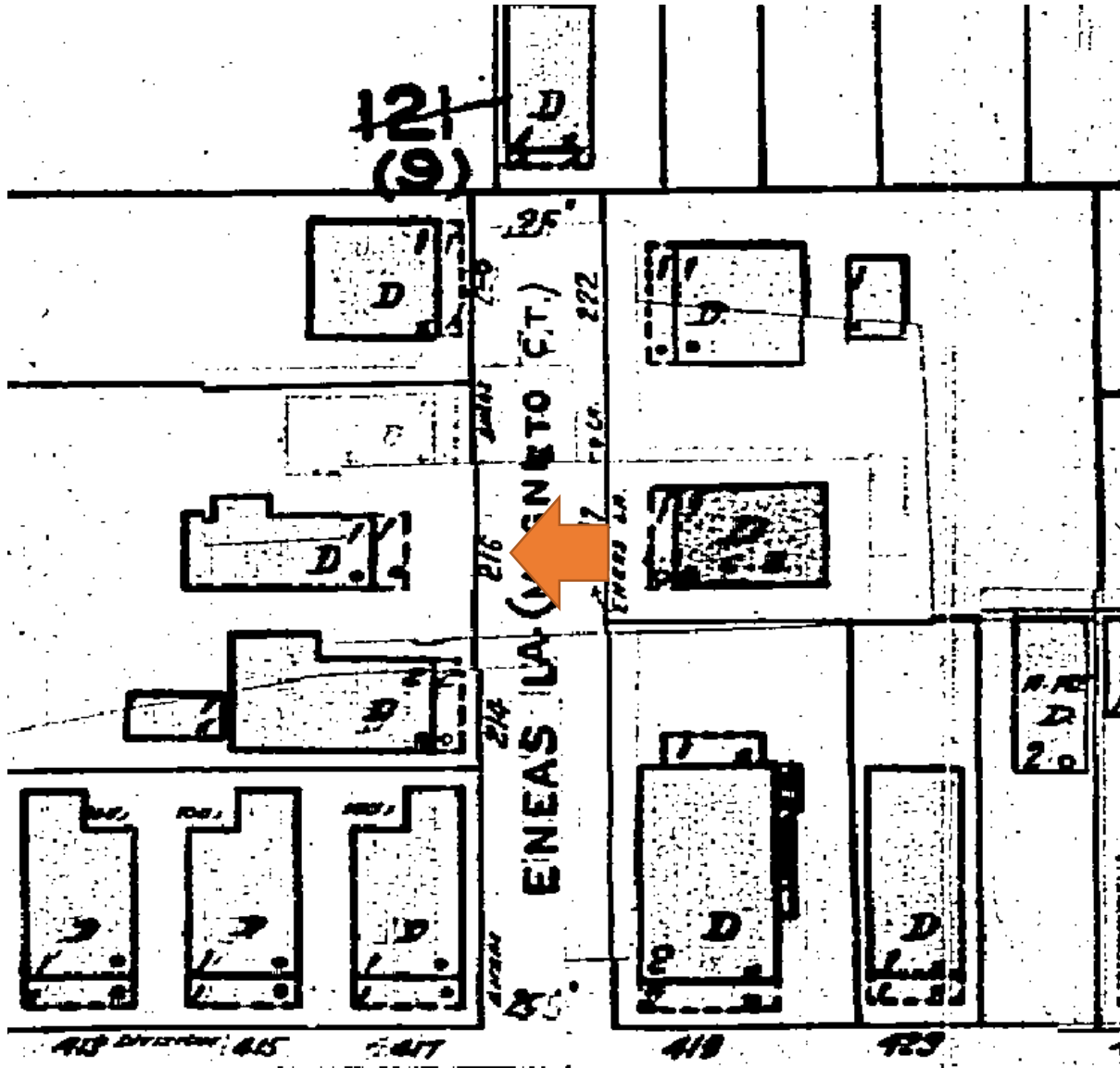
# SANBORN MAPS



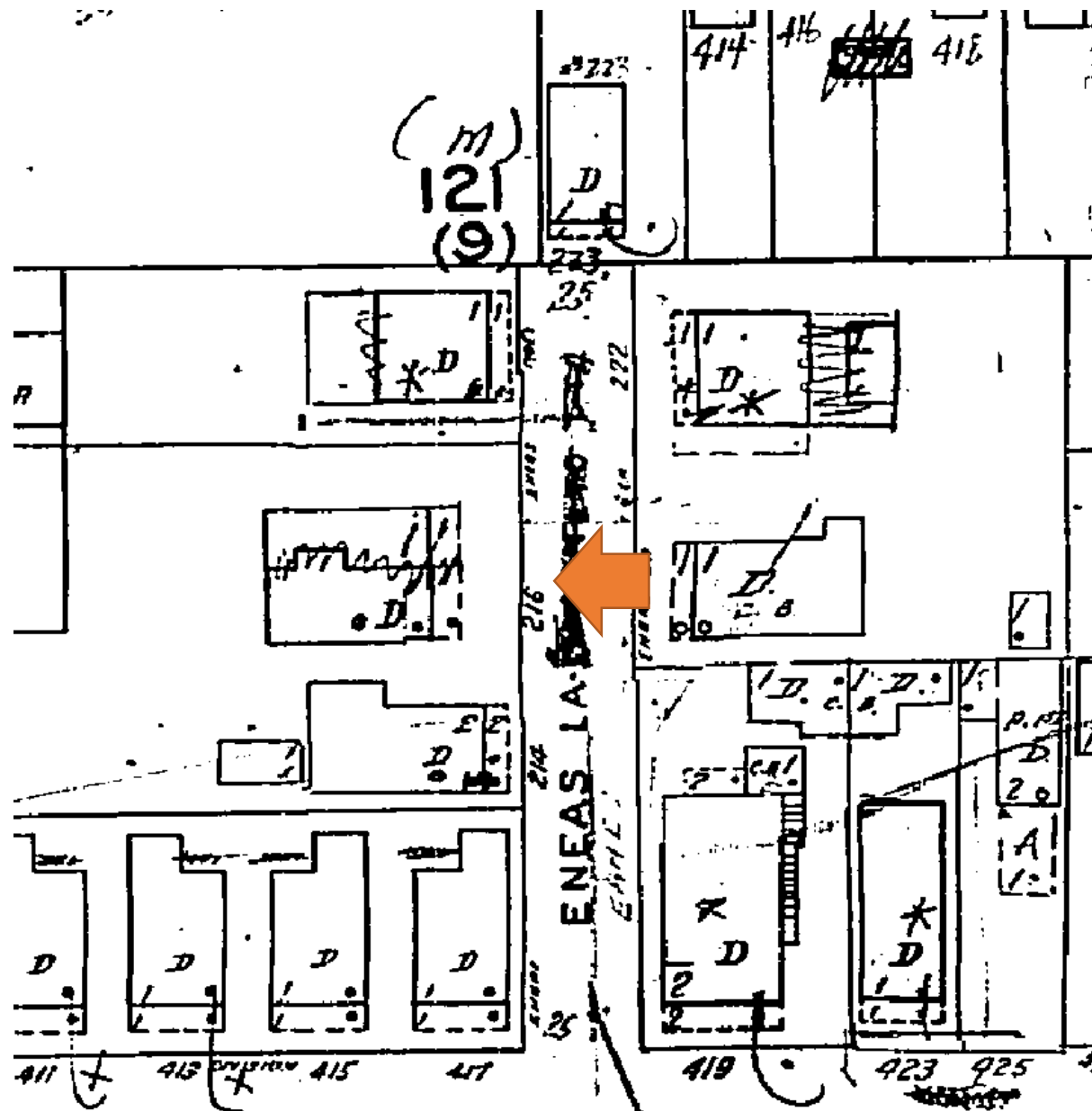
1912 Sanborn Map



1926 Sanborn Map



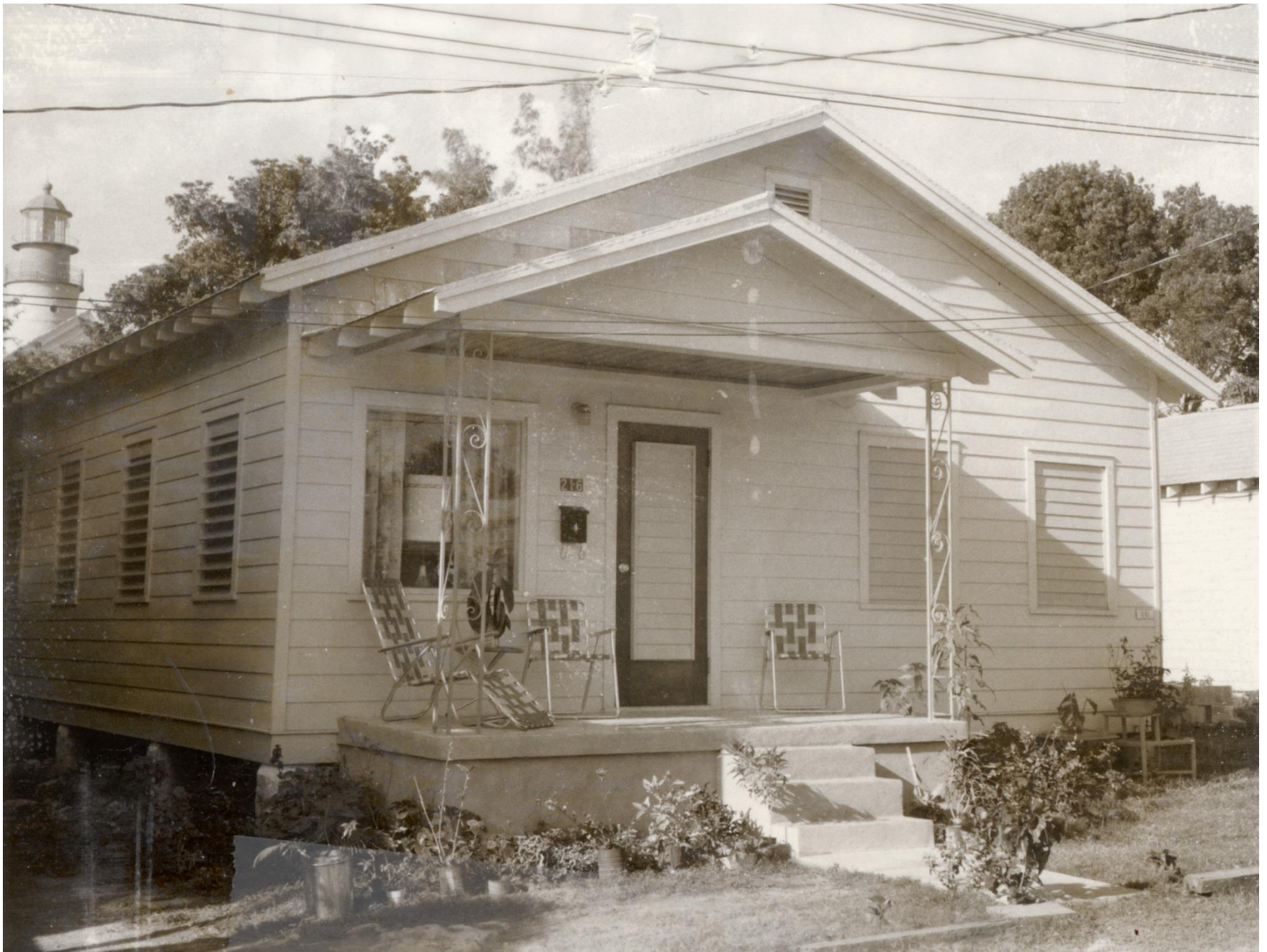
1948 Sanborn Map



1962 Sanborn Map

# PROJECT PHOTOS





Property Appraiser's Photo, c.1965. Monroe County Public Library.



# EXISTING CONDITIONS



**FIGURE 1**  
FRONT LEFT VIEW OF HOUSE



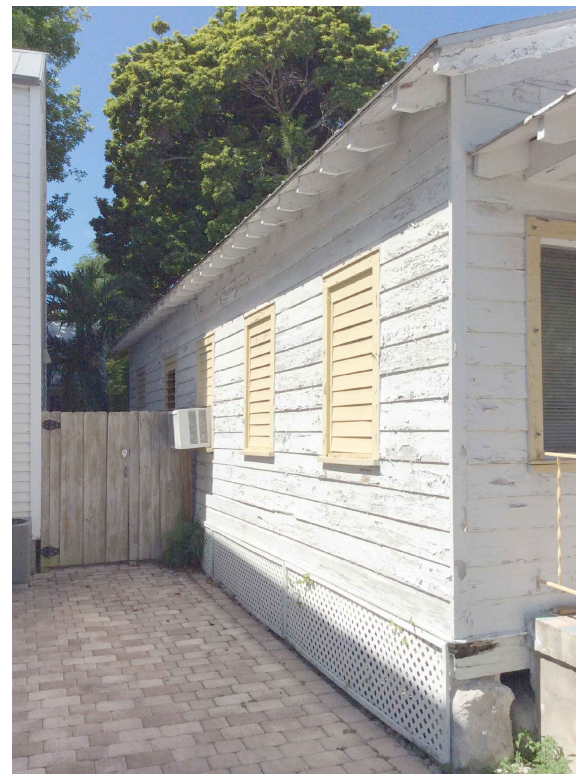
**FIGURE 2**  
FRONT RIGHT VIEW OF HOUSE



**FIGURE 3**  
REAR ELEVATION



**FIGURE 4**  
RIGHT SIDE VIEW OF HOUSE



**FIGURE 5**  
LEFT SIDE VIEW OF HOUSE

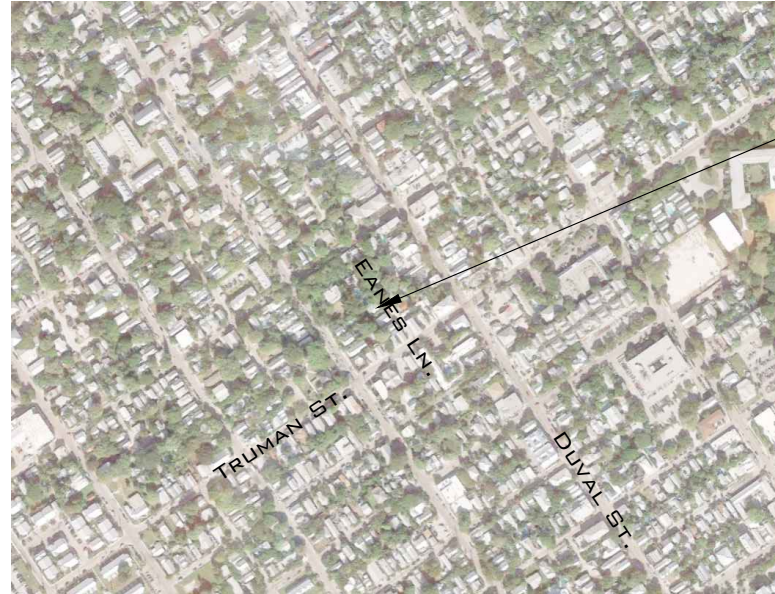


**FIGURE 6**  
BACK LEFT VIEW OF HOUSE

# PROPOSED DESIGN



# CONSTRUCTION PLANS FOR LEFNER RESIDENCE



SITE LOCATION

LOCATION MAP:

PROJECT LOCATION:  
216 EANES LANE  
KEY WEST, FL 33040

OWNER:  
MR. & MRS. LEFNER  
2708 CAMELOT DR.  
DYER, IN. 46311

NOTE: NOT FOR CONSTRUCTION  
FOR HARG AND PLANNING  
APPROVAL ONLY

REV:	DESCRIPTION:	BY:	DATE:
STATUS: DRAFT			



**ARTIBUS DESIGN**  
3706 N. ROOSEVELT BLVD  
SUITE I-208  
KEY WEST, FL 33040  
(305) 304-3512  
WWW.ARTIBUSDESIGN.COM  
CA # 30835

CLIENT: GARY P. BURCHFIELD  
800 SIMONTON ST.  
KEY WEST, FL 33040  
T: (305) 323-4443

PROJECT: LEFNER RESIDENCE

SITE: 216 EANES LN  
KEY WEST, FL 33040

TITLE: COVER

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	10/06/15	BDB	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1506-14	G-100	1	

THIS DRAWING IS NOT VALID WITHOUT THE  
SIGNATURE AND ORIGINAL SEAL

DRAFT

SIGNATURE:

DATE:

SERGE MASHTAKOV  
PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
LICENSE NO 71480

SITE DATA:

TOTAL SITE AREA: ±4,135.89 SQ.FT  
 LAND USE: HMDR  
 FLOOD ZONE: X  
 MAXIMUM IMPERVIOUS SURFACE RATIO:  
 REQUIRED: 60% (2481.53 SQ.FT)  
 EXISTING 42.77% (±1,769.00 SQ.FT.)  
 PROPOSED 49.09% (±2,030.39 SQ.FT.)

MAXIMUM BUILDING COVERAGE:

REQUIRED 40% (1,654.36 SQ.FT)  
 EXISTING 29.08% (±1,202.58 SQ.FT.)  
 PROPOSED 36.19% (±1,496.88 SQ.FT.)

OPEN SPACE MINIMUM:

REQUIRED 35% (1,447.56 SQ.FT)  
 EXISTING 57.23% (±2,366.89 SQ.FT.)  
 PROPOSED 47.66% (±1,970.99 SQ.FT.)

SETBACKS

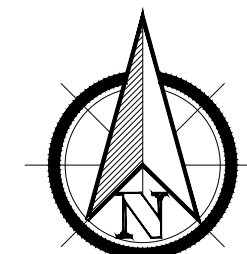
**FRONT:**  
 REQUIRED 10 FT  
 EXISTING ±7'-4" (TO ROOF)  
 PROPOSED ±7'-4" (TO ROOF)  
 NO CHANGE

**SIDE:**  
 REQUIRED 5 FT  
 EXISTING 0'-0" (BUILDING IS LINE)  
 PROPOSED 0'-0" (BUILDING IS LINE)  
 NO CHANGE

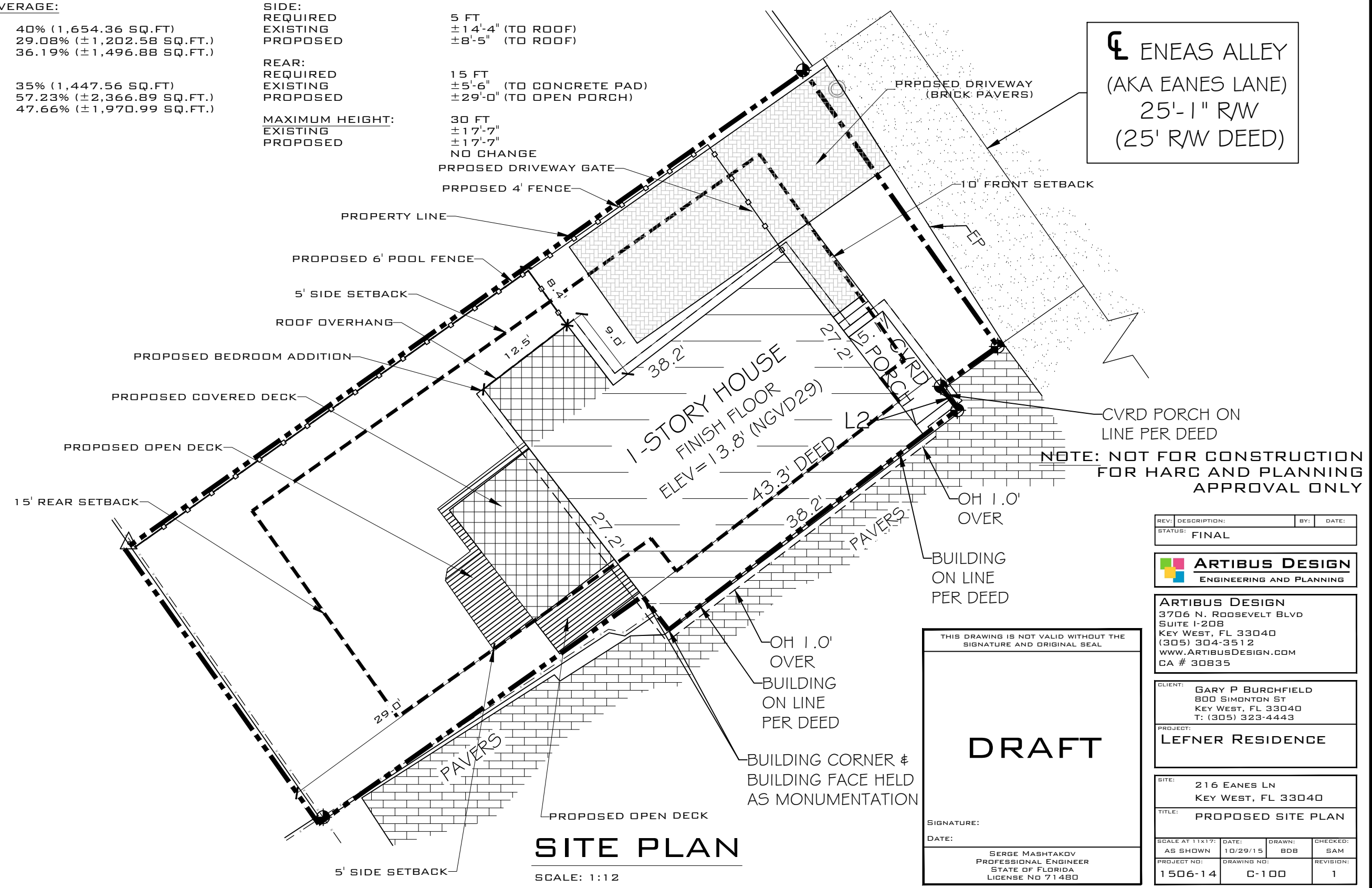
**SIDE:**  
 REQUIRED 5 FT  
 EXISTING ±14'-4" (TO ROOF)  
 PROPOSED ±8'-5" (TO ROOF)

**REAR:**  
 REQUIRED 15 FT  
 EXISTING ±5'-6" (TO CONCRETE PAD)  
 PROPOSED ±29'-0" (TO OPEN PORCH)

**MAXIMUM HEIGHT:**  
 EXISTING 30 FT  
 PROPOSED ±17'-7"  
 ±17'-7"  
 NO CHANGE



ENEAS ALLEY  
 (AKA EANES LANE)  
 25'-1" R/W  
 (25' R/W DEED)



NOTE: NOT FOR CONSTRUCTION  
 FOR HARC AND PLANNING  
 APPROVAL ONLY

# SITE PLAN

SCALE: 1:12

THIS DRAWING IS NOT VALID WITHOUT THE  
 SIGNATURE AND ORIGINAL SEAL

**DRAFT**

SIGNATURE:  
 DATE:  
 SERGE MASHTAKOV  
 PROFESSIONAL ENGINEER  
 STATE OF FLORIDA  
 LICENSE NO 71480

REV:	DESCRIPTION:	BY:	DATE:
STATUS:	FINAL		



**ARTIBUS DESIGN**  
 3706 N. ROOSEVELT BLVD  
 SUITE 1-208  
 KEY WEST, FL 33040  
 (305) 304-3512  
 WWW.ARTIBUSDESIGN.COM  
 CA # 30835

CLIENT: GARY P BURCHFIELD  
 800 SIMONTON ST  
 KEY WEST, FL 33040  
 T: (305) 323-4443

PROJECT: LEFNER RESIDENCE

SITE: 216 EANES LN  
 KEY WEST, FL 33040

TITLE: PROPOSED SITE PLAN

SCALE AT 1/4"=1'-0"	DATE: 10/29/15	DRAWN: BDB	CHECKED: SAM
PROJECT NO: 1506-14	DRAWING NO: C-100	REVISION: 1	

**GENERAL REQUIREMENTS:**

1. PRIOR STARTING ANY WORK THE CONTRACTOR SHALL REVIEW THESE PLANS AND SITE CONDITIONS AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
2. THE ENGINEER IS NOT RESPONSIBLE FOR THE SUPERVISION OF THE CONTRACTOR NOR HIS EMPLOYEES DURING THE CONSTRUCTION. IT IS CONTRACTOR'S RESPONSIBILITY TO PROVIDE MEANS AND ESTABLISH METHODS OF THE CONSTRUCTION TO MEET REQUIREMENTS OF ALL APPLICABLE CODES, INDUSTRY STANDARDS ARE REQUIREMENTS OF THESE PLANS.
3. QUALITY OF THE WORK SHALL MEET OR EXCEED INDUSTRY STANDARD PRACTICES.
4. ANY DEVIATIONS FROM THESE PLANS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.

**DESIGN DATA:**

1. APPLICABLE BUILDING CODE: FBC EXISTING BUILDING 2010
2. APPLICABLE DESIGN LOADS: PER ASCE/SEI 7-10  
 FLOOR LIVE LOAD: 40 PSF  
 ROOF LIVE LOAD: 20 PSF (300 LB CONC.)  
 BASIC WIND SPEED: 180 MPH  
 EXPOSURE: D  
 STRUCTURAL CATEGORY: II  
 FLOOD ZONE: ZONE AE7

ALL PRESSURES SHOWN ARE BASED ON ASD DESIGN, WITH A LOAD FACTOR OF 0.6

**CONCRETE**

1. APPLICABLE CODE ACI 318 LATEST EDITION AND ACI 301.
  2. ALL CONCRETE ELEMENTS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE IS SHOWN ON THE PLANS. WATER CEMENT RATION SHALL NOT EXCEED W/C=0.40.
  3. ALL CAST-IN-PLACE CONCRETE SHALL BE CURED AND PROTECTED FROM OVERDRYING PER ACI 305R-10 "HOT WEATHER CONCRETING".
  4. ALL EXPOSED EDGES SHALL HAVE 1/2" CHAMFERS.
  5. NO COLD JOINTS ARE ALLOWED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
  6. TESTING: ALL FIELD AND LABORATORY TESTING SHALL BE PERFORMED BY THE INDEPENDENT SPECIALIZED COMPANY.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SCHEDULING, COORDINATION AND COST OF TESTING COMPANY.
- THREE (3) SAMPLES SHALL BE TAKEN AND TESTED EACH TIME.
- MINIMUM SAMPLING FREQUENCY:
- A) EACH DAY OF CONCRETING FOR EVERY CONCRETE MIX;
  - B) EVERY 50 CUBIC YARDS;
  - C) EVERY 2000 SQ.FT. OF SLAB AREA.

ALL TESTING SHALL BE PER LATEST ACI AND ASTM REQUIREMENTS. LABORATORY SHALL SUPPLY THREE (3) ORIGINAL SIGNED&SEALED REPORT RESULTS TO THE ENGINEER.

7. CAST-IN-PLACE AND PRECAST MEMBERS ERECTION TOLERANCES SHALL BE AS SPECIFIED IN THE TABLE B.2.2 OR IN SECTION 8.3 OF "PCI DESIGN HANDBOOK/SIXTH EDITION".

**REINFORCEMENT**

1. ALL REBARS SHALL BE DEFORMED CARBON-STEEL ASTM A615/A615M-13 GRADE 60 UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- \* ADD ALTERNATE REINFORCEMENT OPTION: ASTM A1035 GRADE 100 (MMFX2) AS CORROSION RESISTANT ALTERNATIVE FOR ALL REINFORCEMENT.
2. ALL REQUIREMENTS FOR PLACEMENT, COVER, TOLERANCES, ETC. SHALL BE PER ACI 318-11.
3. ALL HOOKS AND BENDS SHALL BE FACTORY MADE UNLESS FIELD BENDS ARE APPROVED BY THE ENGINEER.
4. ONLY PLASTIC CHAIRS AND CENTRALIZERS SHALL BE USED FOR REBAR SUPPORT.

**STRUCTURAL LUMBER**

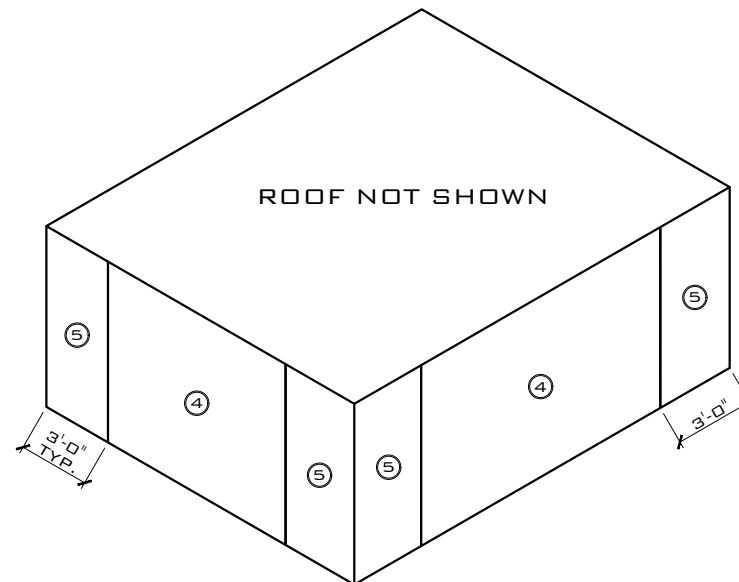
1. ALL WOOD MEMBERS SHALL MEET OR EXCEED REQUIREMENTS SPECIFIED IN "ANSI/AF&PA NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION" AND ALL REFERENCED STANDARDS.
2. ALL WOOD MEMBERS SHALL BE SOUTHER PINE NO2 OR GREATER KILN DRIED AS SPECIFIED IN THE STANDARDS, UNLESS OTHERWISE SPECIFIED.
3. ALL WOOD MEMBERS EXPOSED TO EXTERIOR, IN DIRECT CONTACT WITH CONCRETE OR STEEL SHALL BE PRESSURE-TREATED (PT) UC3B GRADE PER AWPA STANDARDS.
4. ALL FIELD CUTS IN PT LUMBER SHALL TREATED ON SITE.
5. NAILING SHALL BE IN ACCORDANCE WITH FBC 2010. NAILS AND OTHER FASTENERS FOR PT WOOD SHALL BE STAINLESS STEEL OR ACQ APPROVED TREATED.
6. SHEATHING SHALL BE 19/32" CDX PLYWOOD SHEATHING GRADE, UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. USE 8D RING-SHANK NAILS WITH SPACING OF 4" O.C. ON ALL EDGES AND 6" O.C. IN THE FIELD.

**HARDWARE**

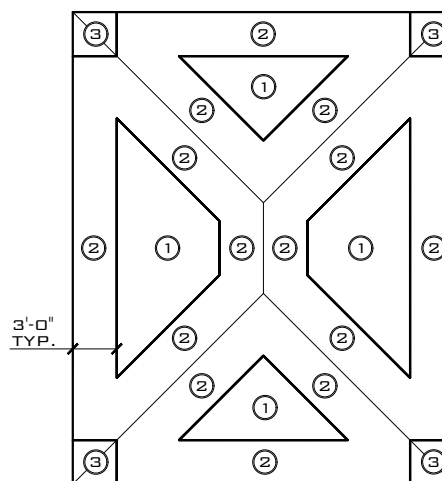
1. HARDWARE SHALL BE 304 STAINLESS STEEL OR BETTER OR ZMAX GALVANIZED FOR NON EXPOSED SIMPSON PRODUCTS, UNLESS OTHERWISE SPECIFIED.
2. ALL CONNECTORS SHALL HAVE STAINLESS STEEL SCREWS AND FASTENERS OR ACQ APPROVED TREATED (FOR NOT EXPOSED LOCATIONS).

**REINFORCED MASONRY (CMU)**

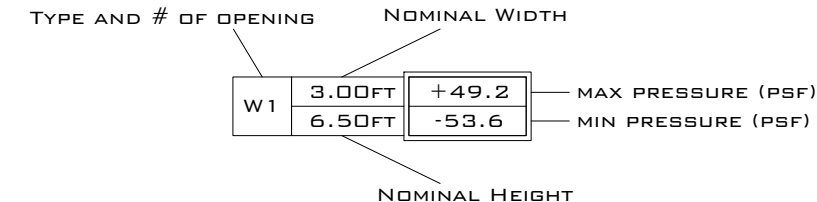
1. ALL MASONRY SHALL BE REINFORCED CONCRETE MASONRY UNIT IN ACCORDANCE WITH THE LATEST EDITION OF ACI 530/ASCE 5/TMS 402.
2. INSTALL ALL BLOCKS IN RUNNING BOND.
3. MINIMUM MASONRY BLOCK (ASTM C90) STRENGTH SHALL (F<sub>m</sub>) BE 2000 PSI.
4. TYPE "S" MORTAR (ASTM C270) SHALL BE USED USING 3/8" FULL BEDDING REINFORCED W/ 9 GAGE GALVANIZED LADDER WIRE EVERY 2ND ROW.
5. FILLED CELLS SHALL BE REINFORCED WITH #5 REBARS @ 24" O.C. (UNLESS OTHERWISE IS SPECIFIED ON THE PLANS).
6. GROUT SHALL BE PEA ROCK PUMP MIX (ASTM C476) WITH A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI (28 DAY) (ASTM C1019). TARGETED SLUMP SHALL BE 8"-11".
6. EACH GROUTED CELL SHALL HAVE CLEANOUT OPENINGS AT THE BOTTOM. THERE SHALL BE NO LOOSE MORTAR OR OTHER DEBRIS IN THE BOTTOM OF THE CELL. USE BLAST PRESSURE WASHING FOR SURFACE PREPARATION.



**WALLS WIND PRESSURES DIAGRAM**  
SCALE: NTS



**ROOF WIND PRESSURES DIAGRAM**  
SCALE: NTS



**WINDOWS&DOORS**

1. ALL EXTERIOR WINDOWS SHALL BE LARGE AND SMALL MISSILE IMPACT RATED OR HAVE CODE COMPLIANT SHUTTERS.
2. ALL EXTERIOR WINDOWS SHALL HAVE FLORIDA PRODUCT APPROVAL AND NOA. PRODUCT APPROVAL LABELS SHALL BE PERMANENTLY ATTACHED TO THE FRAME.
3. WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)

ENCLOSED - BUILDING					
WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)					
DESCRIPTION	WIDTH, FT	SPAN, FT	AREA, FT <sup>2</sup>	MAX P, PSF	MIN P, PSF
ZONE 1	1	1	1	+29.63	-47.07
ZONE 2	1	1	1	+29.63	-81.93
ZONE 3	1	1	1	+29.63	-81.93
ZONE 4	1	1	1	+51.42	-55.78
ZONE 5	1	1	1	+51.42	-68.86
ZONE 2H	1	1	1	+21.79	-95.55
ZONE 3H	1	1	1	+21.79	-161.25

REV:	DESCRIPTION:	BY:	DATE:
STATUS:		DRAFT	



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 (305) 304-3512  
 WWW.ARTIBUSDESIGN.COM  
 CA # 30835

CLIENT: **GARY P. BURCHFIELD**  
 800 SIMONTON ST.  
 KEY WEST, FL 33040  
 T: (305) 323-4443

PROJECT: **LEFNER RESIDENCE**

SITE: **216 EANES LN  
 KEY WEST, FL 33040**

TITLE: **NOTES**

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	10/06/15	BDB	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1506-14	G-101	1	

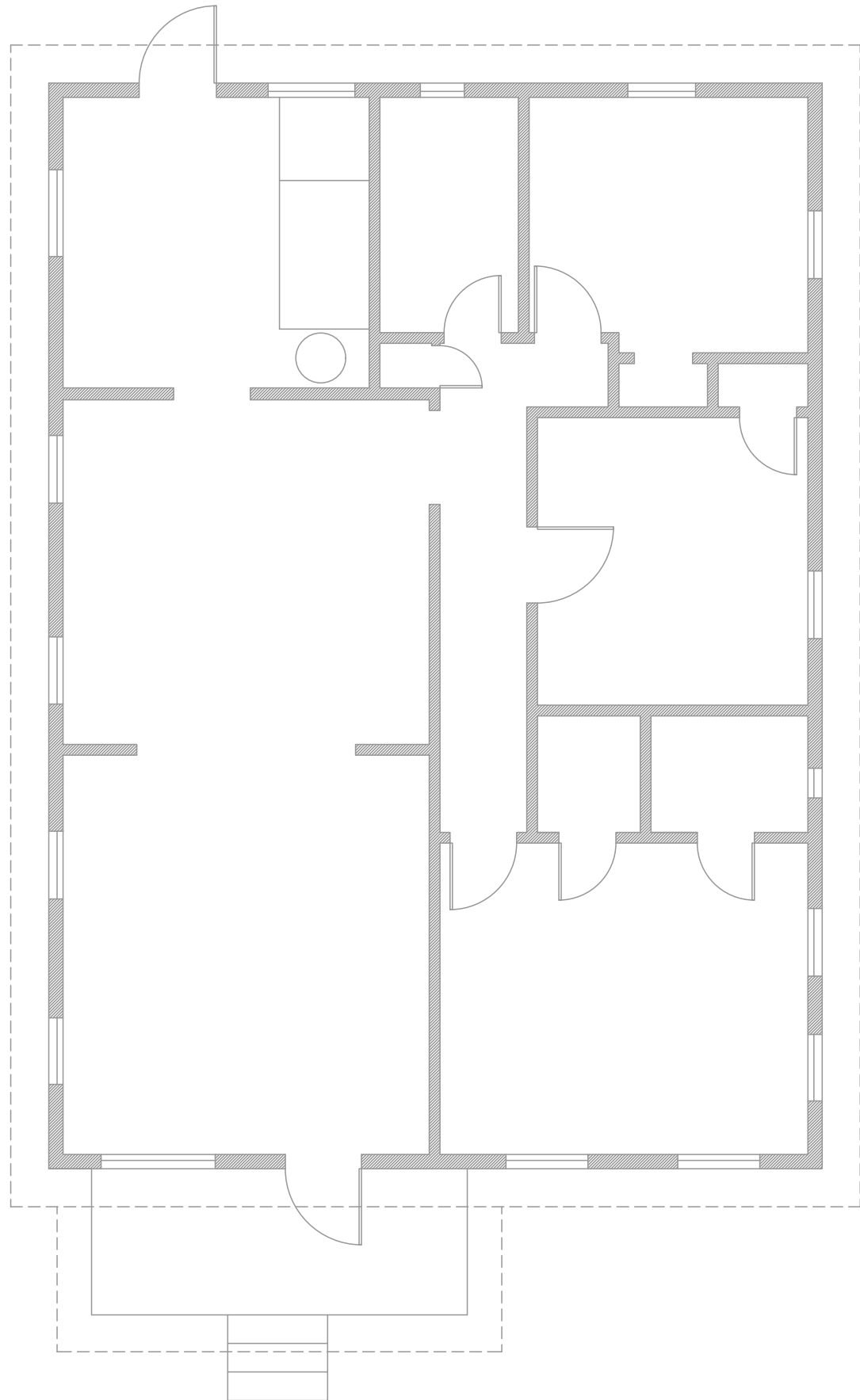
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SIGNATURE:

DATE:

SERGE MASHTAKOV  
 PROFESSIONAL ENGINEER  
 STATE OF FLORIDA  
 LICENSE NO 71480



**EXISTING FLOOR PLAN**

SCALE: 3/16" = 1'-0"

**NOTE: NOT FOR CONSTRUCTION  
FOR HARC AND PLANNING  
APPROVAL ONLY**

REV:	DESCRIPTION:	BY:	DATE:
	FINAL		



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PROJECT: **LEFNER RESIDENCE**

SITE: **216 EANES LN  
KEY WEST, FL 33040**

TITLE: **EXISTING FLOOR PLAN**

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
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 PROFESSIONAL ENGINEER  
 STATE OF FLORIDA  
 LICENSE NO 71480

PROPOSED REAR PORCH  
ROOF LINE

PROPOSED REAR OPEN PORCH

PROPOSED DOORS ON BACK  
OF HOUSE TO BE IMPACT  
RATED ALUMINUM

PROPOSED IMPACT RATED  
ALUMINUM WINDOW

PROPOSED  
ADDITION

PROPERTY LINE

SETBACK LINE

PROPERTY LINE

SETBACK LINE

PROPOSED REPLACEMENT WINDOWS  
ON SIDE AND FRONT TO BE WOOD

PROPOSED REPLACEMENT WINDOW

PROPOSED WOOD RAILING

PROPOSED WOOD FRONT PORCH

PROPOSED SIDE ENTRY  
FRONT PORCH STAIRS

**NOTE: NOT FOR CONSTRUCTION  
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PROJECT: **LEFNER RESIDENCE**

SITE: **216 EANES LN  
KEY WEST, FL 33040**

TITLE: **PROPOSED FLOOR PLAN**

SCALE AT 1/16"=1'-0"	DATE:	DRAWN:	CHECKED:
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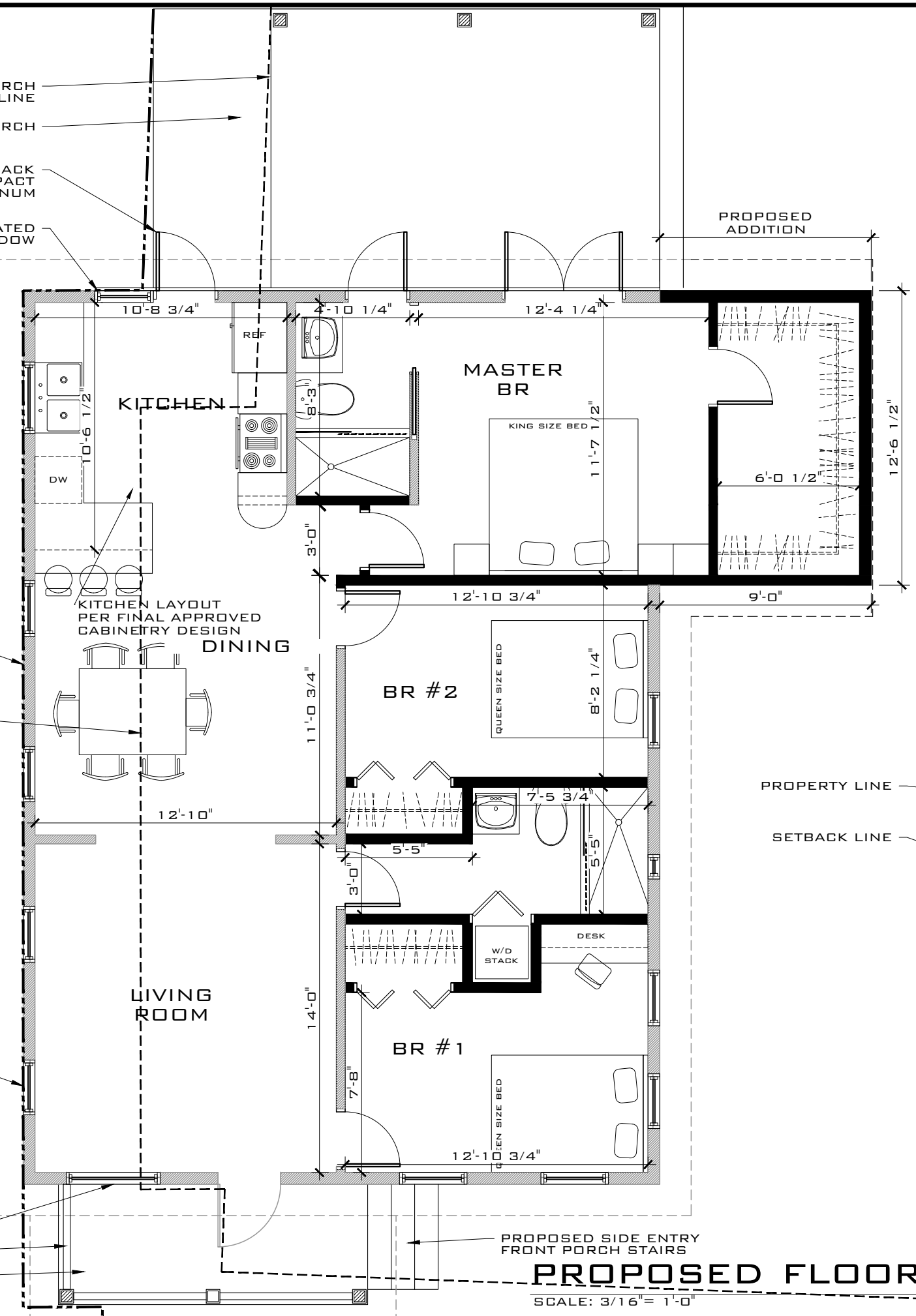
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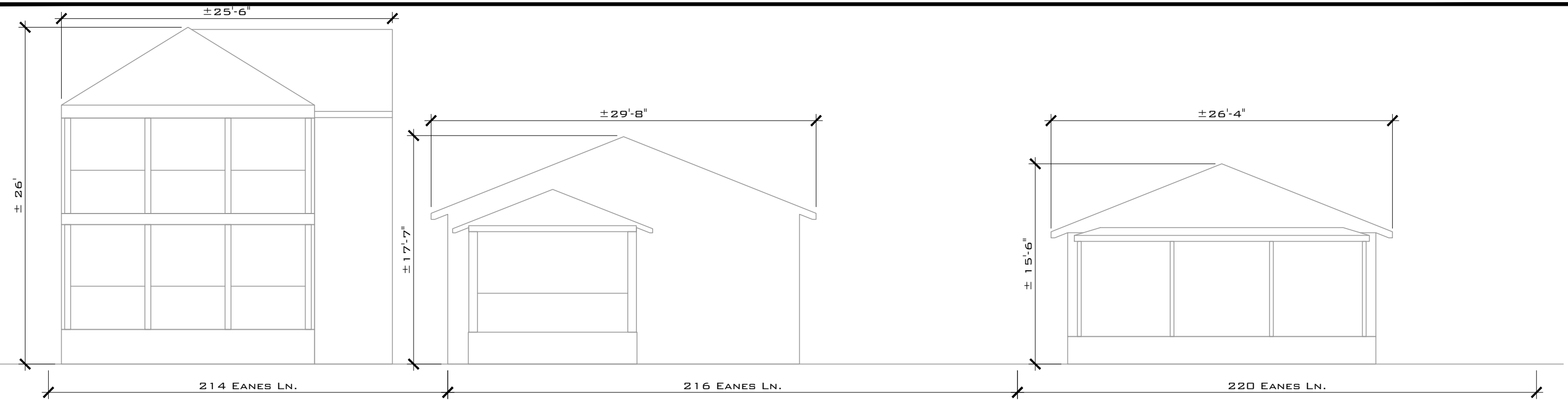
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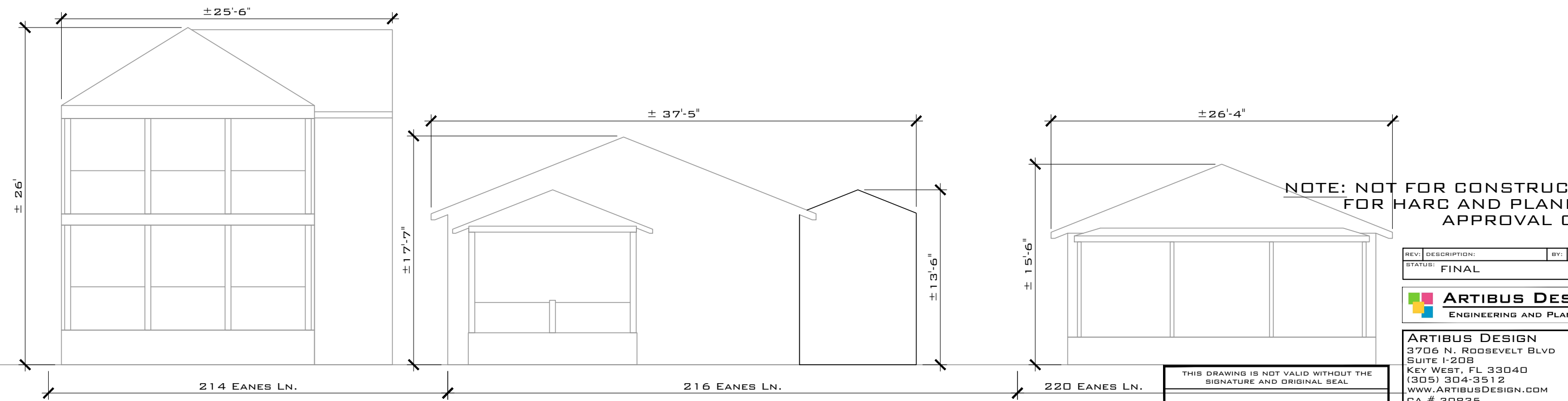
**PROPOSED FLOOR PLAN**  
SCALE: 3/16" = 1'-0"





**EXISTING STREETScape**

SCALE: 1/8" = 1'-0"



**PROPOSED STREETScape**

SCALE: 1/8" = 1'-0"

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PROJECT: **LEFNER RESIDENCE**

SITE: **216 EANES LN  
KEY WEST, FL 33040**

TITLE: **STREET SCAPE**

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
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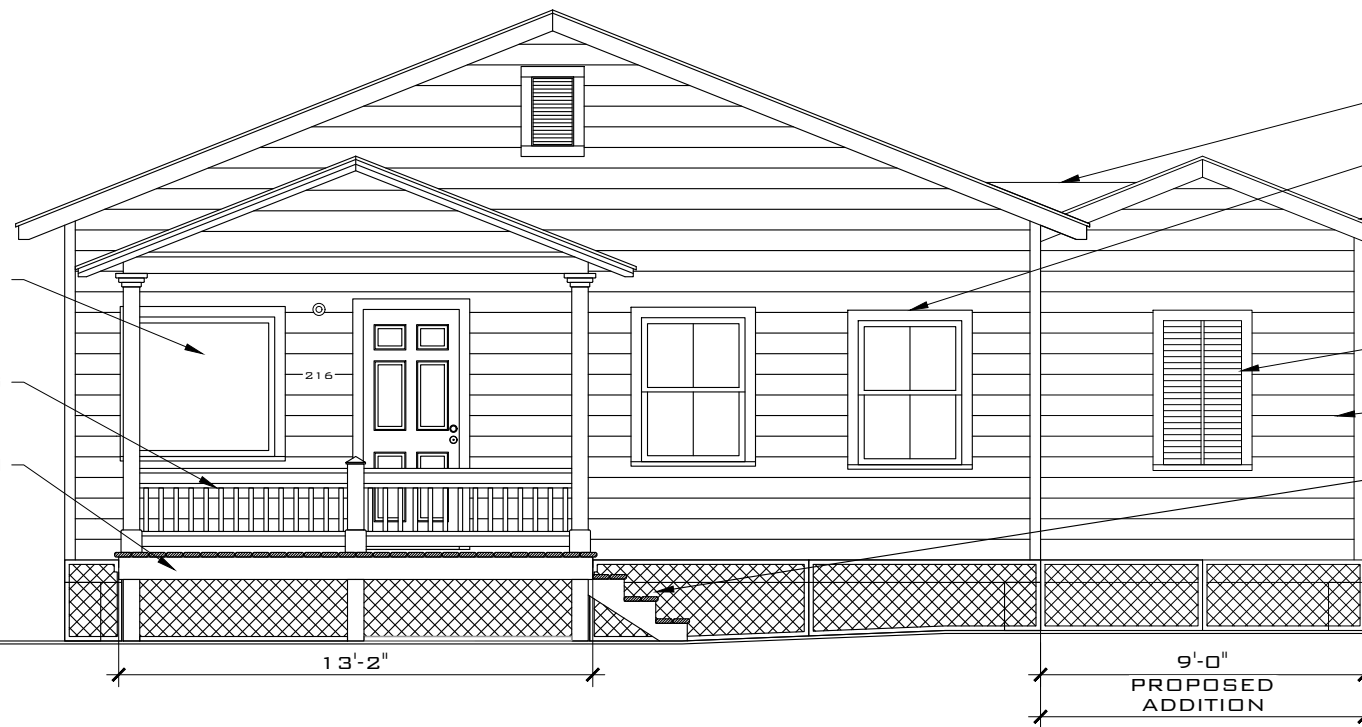
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STATE OF FLORIDA  
LICENSE NO 71480



**EXISTING FRONT ELEVATION**

SCALE: 3/16" = 1'-0"



**PROPOSED FRONT ELEVATION**

SCALE: 3/16" = 1'-0"

- PROPOSED ROOF CRICKET
- PROPOSED TYP. REPLACEMENT WINDOW
- PROPOSED ROOF TO MATCH EXISTING
- PROPOSED GUTTER
- PROPOSED BEDROOM EXTENSION
- PROPOSED FIXED CLOSED SHUTTER
- PROPOSED HARDI SIDING
- PROPOSED NEW SIDE ENTRY FRONT PORCH STAIRS

**NOTE: NOT FOR CONSTRUCTION FOR HARC AND PLANNING APPROVAL ONLY**

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PROJECT: **LEFNER RESIDENCE**

SITE: **216 EANES LN  
 KEY WEST, FL 33040**

TITLE: **FRONT ELEVATION**

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
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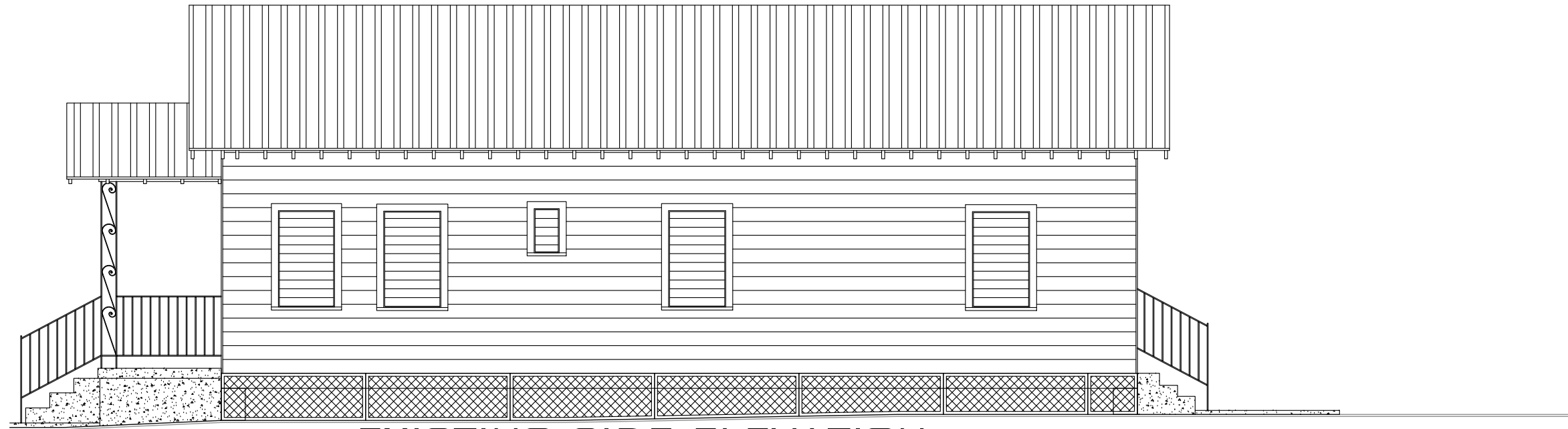
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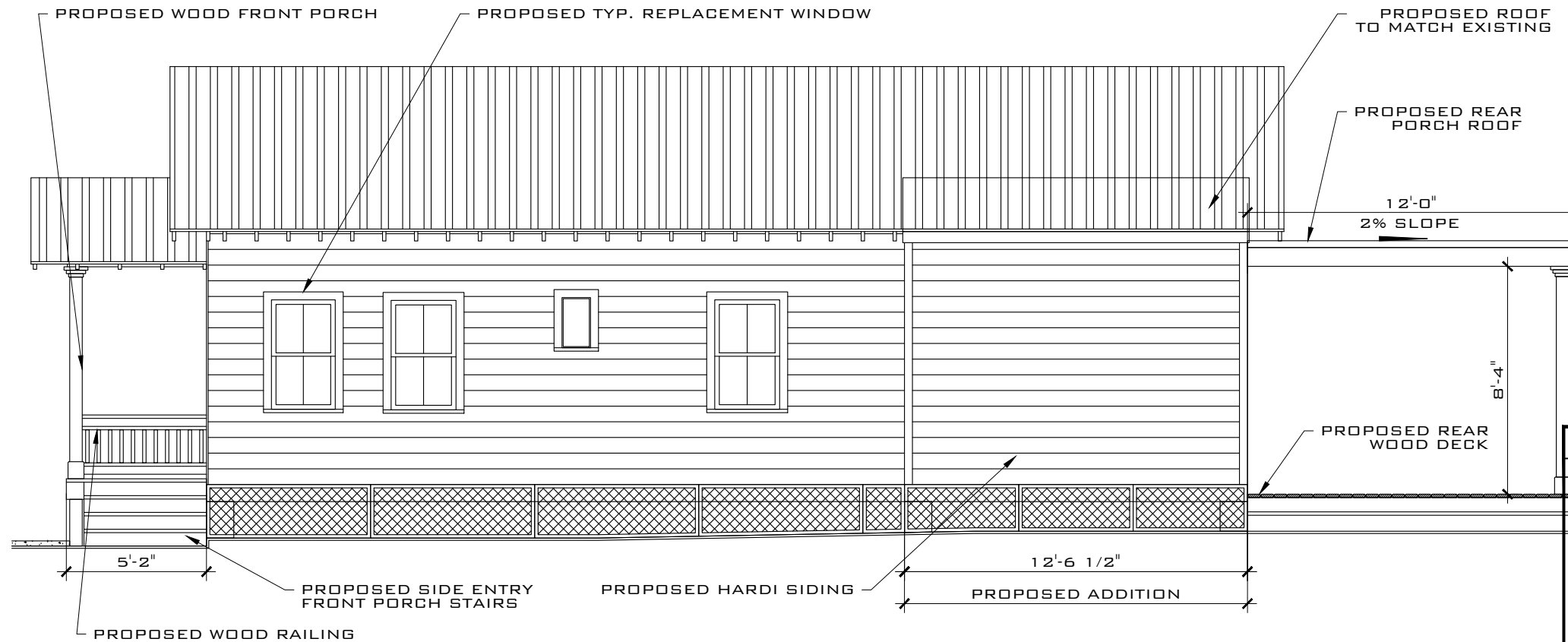
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 STATE OF FLORIDA  
 LICENSE NO 71480



**EXISTING SIDE ELEVATION**

SCALE: 3/16" = 1'-0"



**PROPOSED SIDE ELEVATION**

SCALE: 3/16" = 1'-0"

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PROJECT: **LEFNER RESIDENCE**

SITE: **216 EANES LN  
KEY WEST, FL 33040**

TITLE: **SIDE ELEVATION**

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
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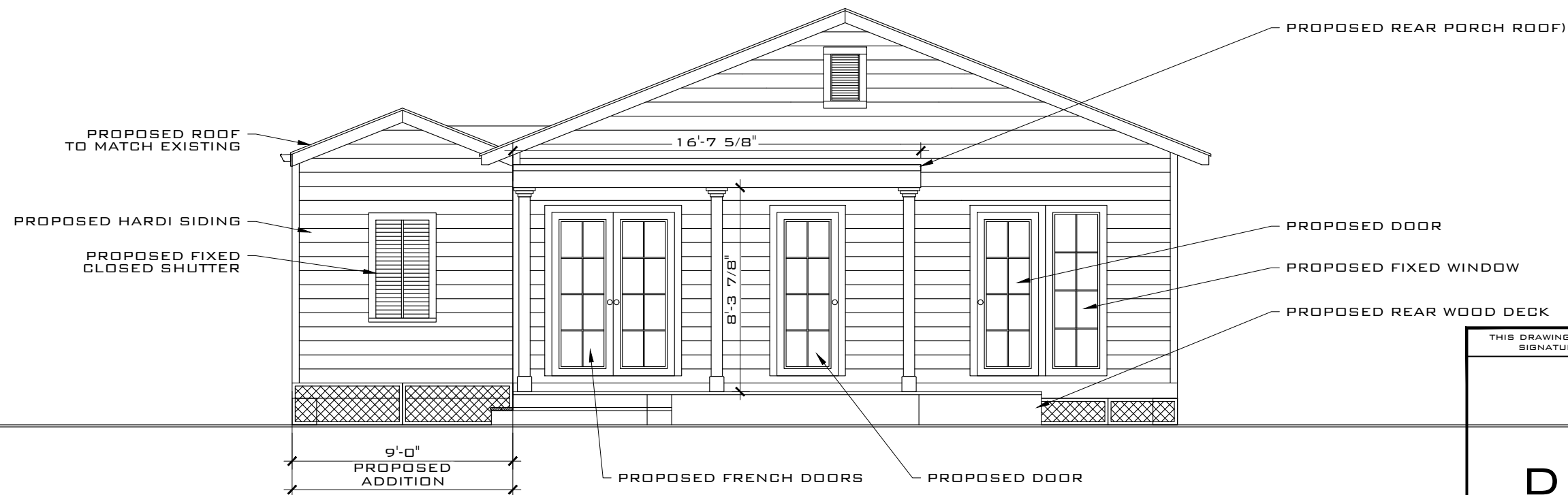
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STATE OF FLORIDA  
LICENSE NO 71480



**EXISTING REAR ELEVATION**

SCALE: 3/16" = 1'-0"



**PROPOSED REAR ELEVATION**

SCALE: 3/16" = 1'-0"

**NOTE: NOT FOR CONSTRUCTION  
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REV:	DESCRIPTION:	BY:	DATE:
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PROJECT: **LEFNER RESIDENCE**

SITE: **216 EANES LN  
KEY WEST, FL 33040**

TITLE: **REAR ELEVATION**

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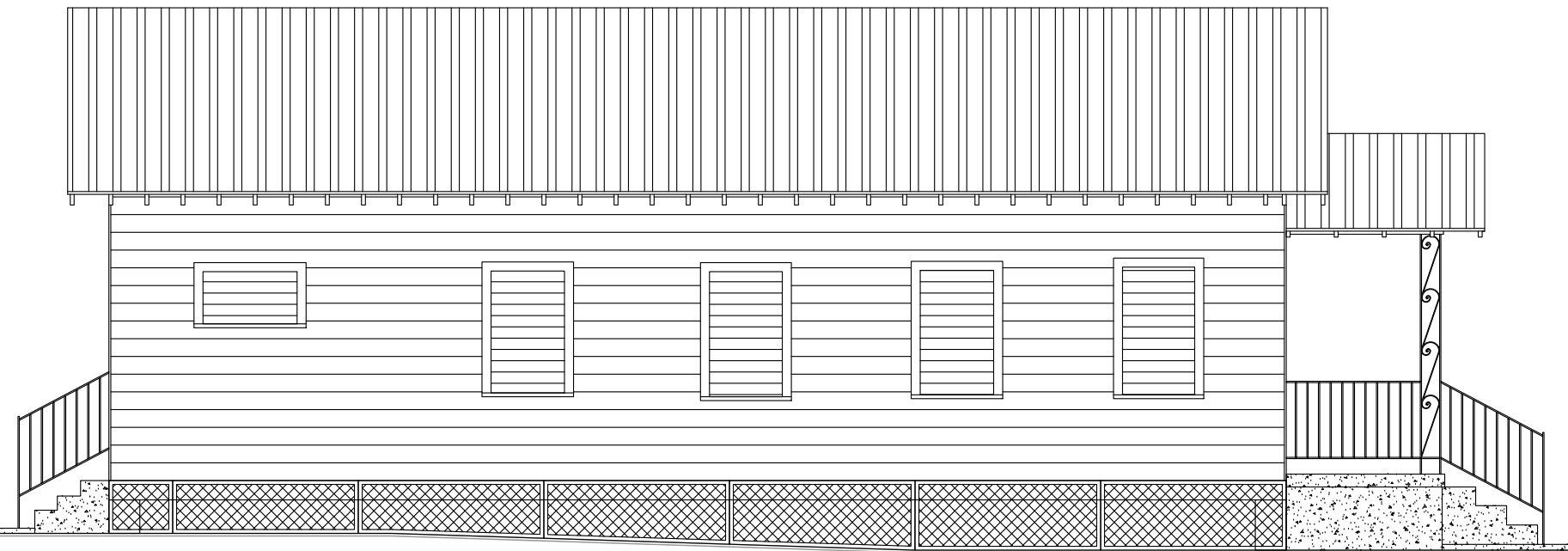
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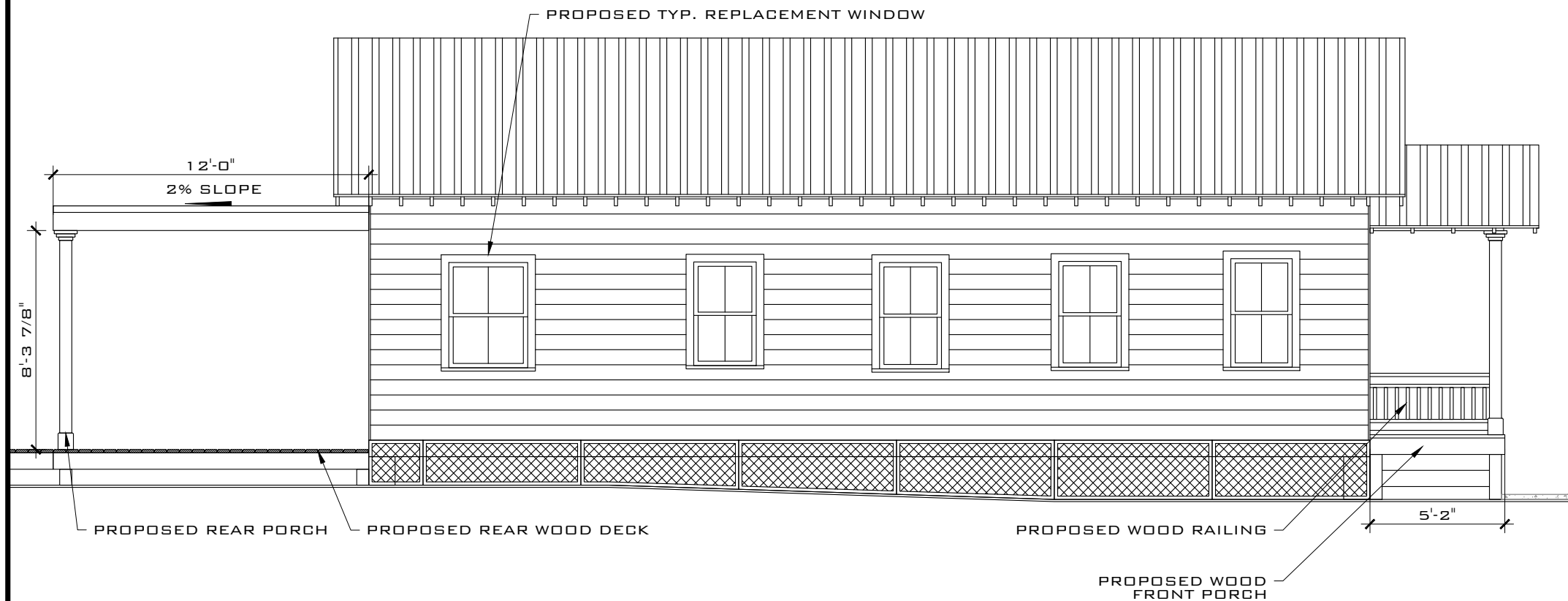
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STATE OF FLORIDA  
LICENSE NO 71480



**EXISTING SIDE ELEVATION**

SCALE: 3/16" = 1'-0"



**PROPOSED SIDE ELEVATION**

SCALE: 3/16" = 1'-0"

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PROJECT: **LEFNER RESIDENCE**

SITE: **216 EANES LN  
KEY WEST, FL 33040**

TITLE: **SIDE ELEVATION**

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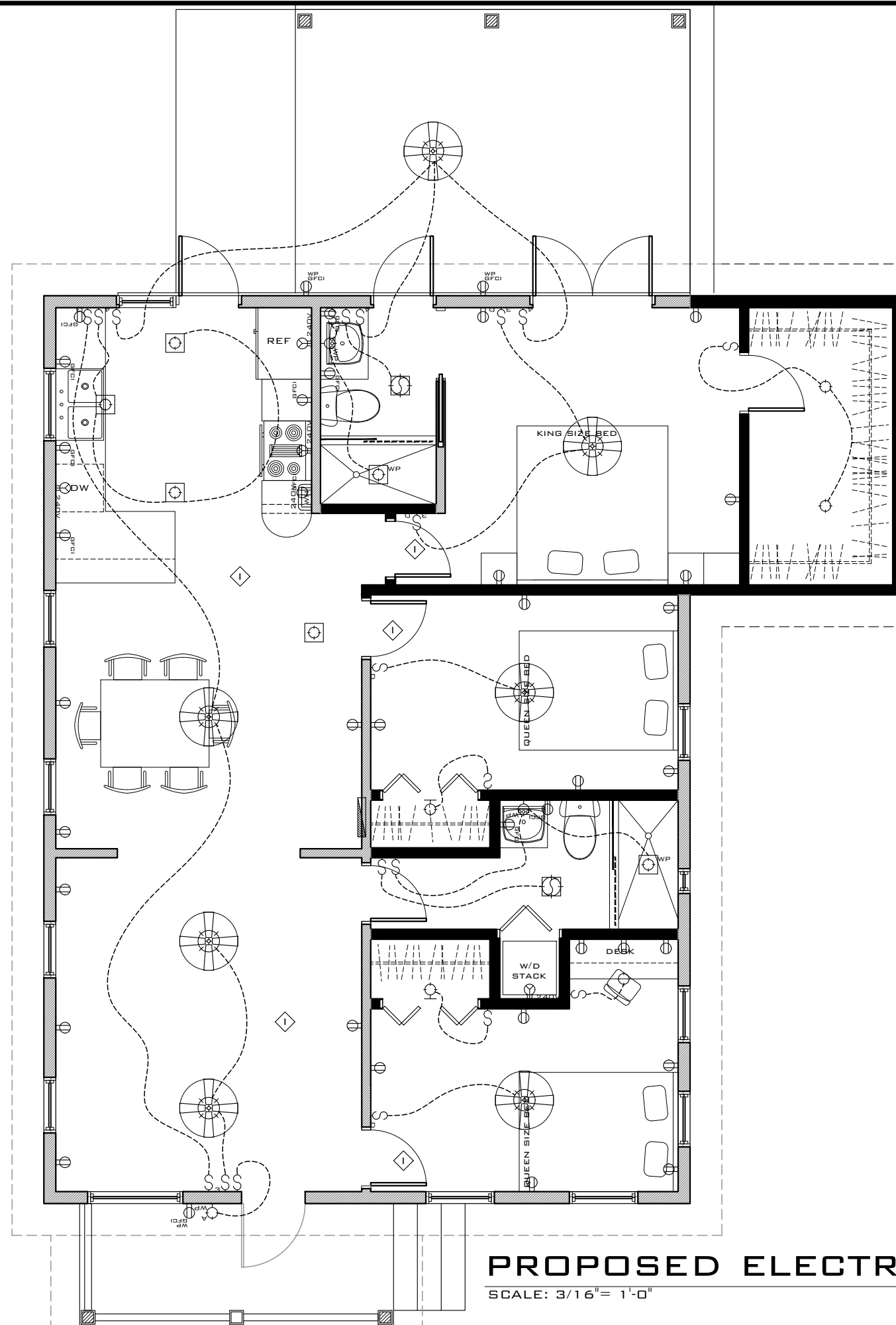
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PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
LICENSE NO 71480

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1506-14	A-106	1	



# PROPOSED ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"

	20A/120V DUPLEX RECEPTACLE W/ GROUNDING		PHOTOCELL		CEILING FAN
	20A/120V SINGLE RECEPTACLE W/ GROUNDING		RECESSED LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		CEILING FAN W/LIGHT
	20A/120V SPLIT WIRED DUPLEX RECEPTACLE W/ GROUNDING		CEILING MOUNT LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		POWER PANEL, SWITCHBOARD
	20A/120V GROUND FAULT CIRCUIT INTERRUPTER DUPLEX OUTLET		WALL MOUNT LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		CEILING MOUNT FLUORESCENT LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION
	20A/120V GROUND FAULT CIRCUIT INTERRUPTER DUPLEX OUTLET W/ WATERPROOF COVER		WALL MOUNT LIGHT FIXTURE WATERPROOFED, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		WALL MOUNT FLUORESCENT LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION
	20A/120V FLOOR DUPLEX RECEPTACLE W/ GROUNDING		EMERGENCY LIGHT FIXTURE, RECHARGEABLE BATTERY TYPE		PULL BOX
	SPECIAL PURPOSE OUTLET, SUBSCRIPT FOR IDENTIFICATION		CEILING MOUNT EXIT SIGN		GROUND
	SINGLE POLE SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		WALL MOUNT EXIT SIGN		IONIZATION SMOKE DETECTOR
	2-WAY SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		TWO SIDE EXIT SIGN		CARBON MONOXIDE DETECTOR
	3-WAY SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		EXHAUST FAN		POWER COMPANY METER
	4-WAY SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		EXHAUST FAN W/ LIGHT		UTILITY POLE
	DIMMER SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		SERVICE RATED NON-FUSIBLE DISCONNECT SWITCH		
	TIMER SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		GENERATOR		
	JUNCTION BOX, WALL MOUNT		TV CABLE OUTLET		
	JUNCTION BOX, CEILING MOUNT		TELEPHONE OUTLET		
	DOOR BELL		TELEPHONE/DATA OUTLET		
	TANKLESS WATER HEATER				

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DATE: \_\_\_\_\_

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PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
LICENSE NO 71480

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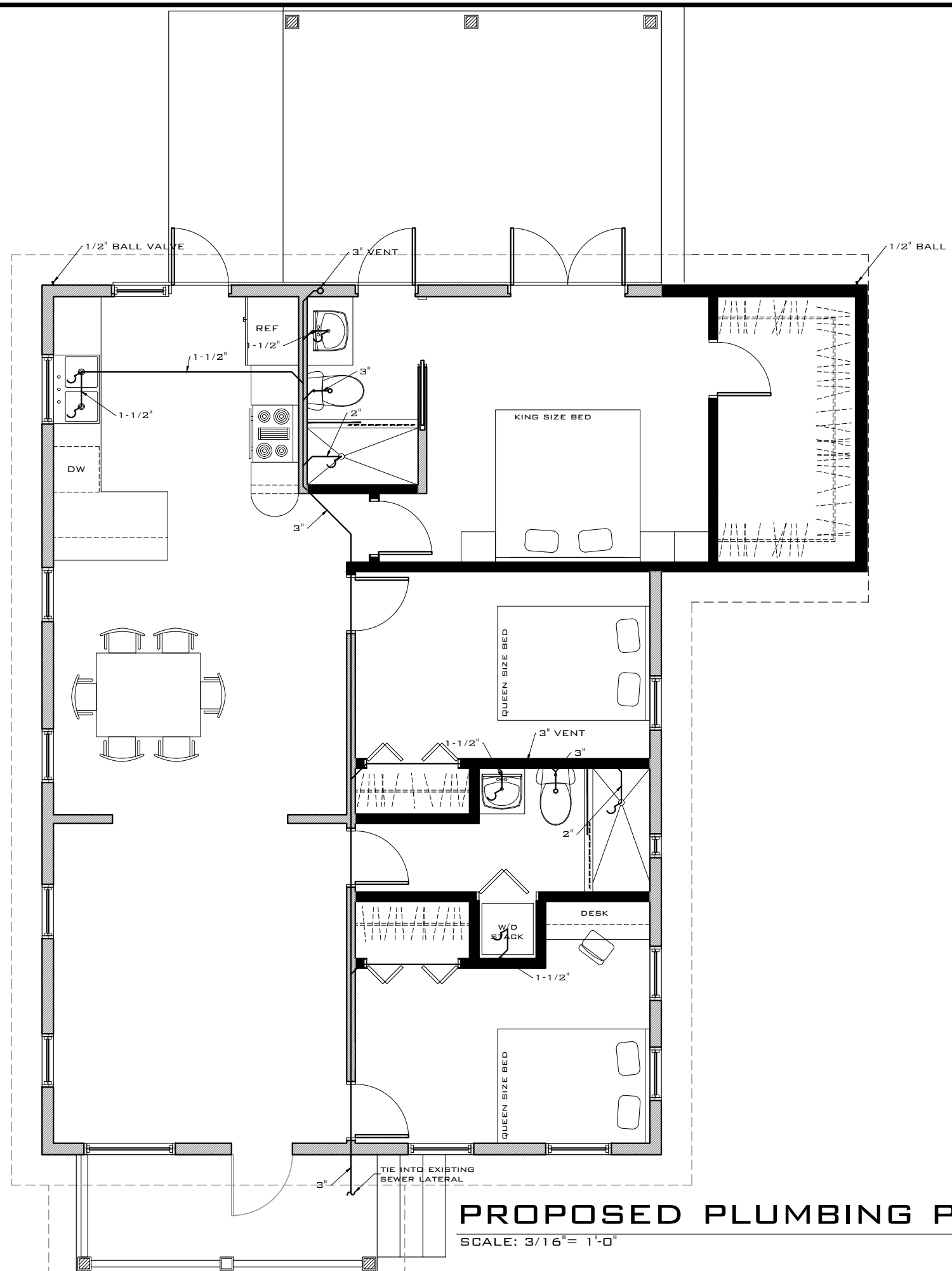
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800 SIMONTON ST  
KEY WEST, FL 33040  
T: (305) 323-4443

PROJECT: LEFNER RESIDENCE

SITE: 216 EANES LN  
KEY WEST, FL 33040

TITLE: ELECTRICAL PLAN

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
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# PROPOSED PLUMBING PLAN

SCALE: 3/16" = 1'-0"

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DATE: \_\_\_\_\_

SERGE MASHTAKOV  
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STATE OF FLORIDA  
LICENSE NO 71480

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CA # 30835

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800 SIMONTON ST  
KEY WEST, FL 33040  
T: (305) 323-4443

PROJECT: **LEFNER RESIDENCE**

SITE: **216 EANES LN  
KEY WEST, FL 33040**

TITLE: **PLUMBING PLAN**

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1506-14	P-101	1	

# NOTICING



# Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., November 16, 2015 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**REHABILITATION OF FRONT PORCH AND ONE-STORY ADDITION. NEW COVERED REAR DECK. REPLACEMENT OF JALOUSIE WINDOWS WITH WOOD TRUE DIVIDED WINDOWS. SITE IMPROVEMENTS. DEMOLITION OF FRONT PORCH ELEMENTS AND PARTIAL DEMOLITION OF SIDE WALL.**

**FOR- #216 ENEAS LANE**

**Applicant – Gary the Carpenter/Artibus Design**

**Application #H15-01-1667**

**If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3975 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).**

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

**ADA ASSISTANCE:** It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.



Postings





FRIENDS

216

Public Meeting Notice



# HARC POSTING AFFIDAVIT

STATE OF FLORIDA:  
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared Charles Perry, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address: 216 Eames Lane Key West FL 33040 on the 9 day of November, 2015.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on November 16, 2015.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is 415-01-167.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant: [Signature]

Date: 11-9-15

Address: 800 Summer Ave

City: Key West

State, Zip: FL 3304

The forgoing instrument was acknowledged before me on this 10 day of November, 2015.

By (Print name of Affiant) Charles Perry who is personally known to me or has produced as identification and who did take an oath.

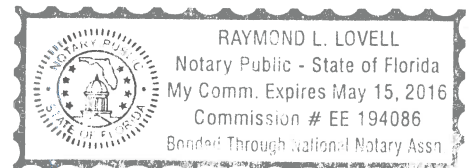
NOTARY PUBLIC

Sign Name: [Signature]

Print Name: Raymond L. Lovell

Notary Public - State of Florida (seal)

My Commission Expires: \_\_\_\_\_



# PROPERTY APPRAISER INFORMATION



**Scott P. Russell, CFA**  
**Property Appraiser**  
**Monroe County, Florida**

Key West (305) 292-3420  
Marathon (305) 289-2550  
Plantation Key (305) 852-7130

The Offices of the Property Appraiser will be closed **Wednesday the 11th for Veterans Day.**

Website tested on IE8, IE9, & Firefox  
Requires Adobe Flash 10.3 or higher

## Property Record Card -

**Maps are now launching the new map application version.**

Alternate Key: 1018597 Parcel ID: 00018080-000000

### Ownership Details

**Mailing Address:**

LEFNER KENT A AND LISA L  
2708 CAMELOT DR  
DYER, IN 46311-2079

### Property Details

**PC Code:** 01 - SINGLE FAMILY

**Millage Group:** 11KW

**Affordable Housing:** No

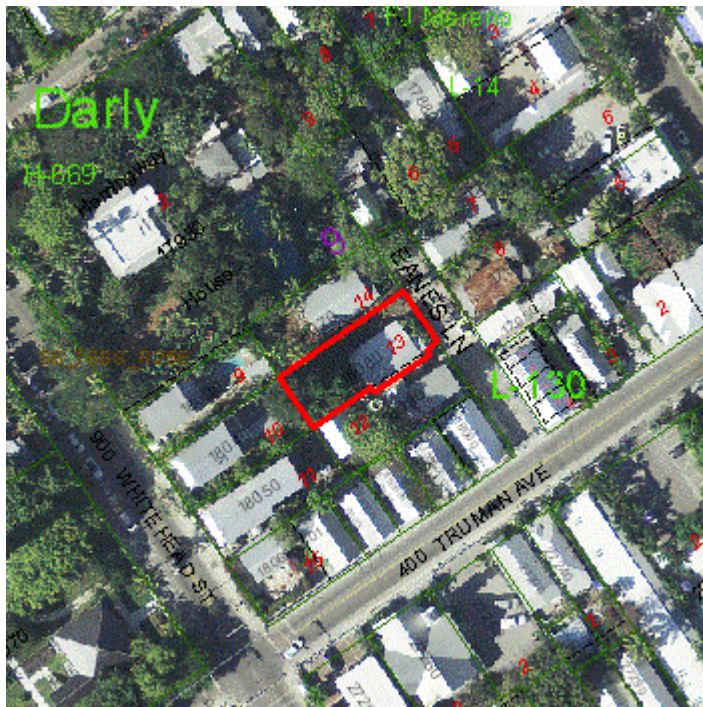
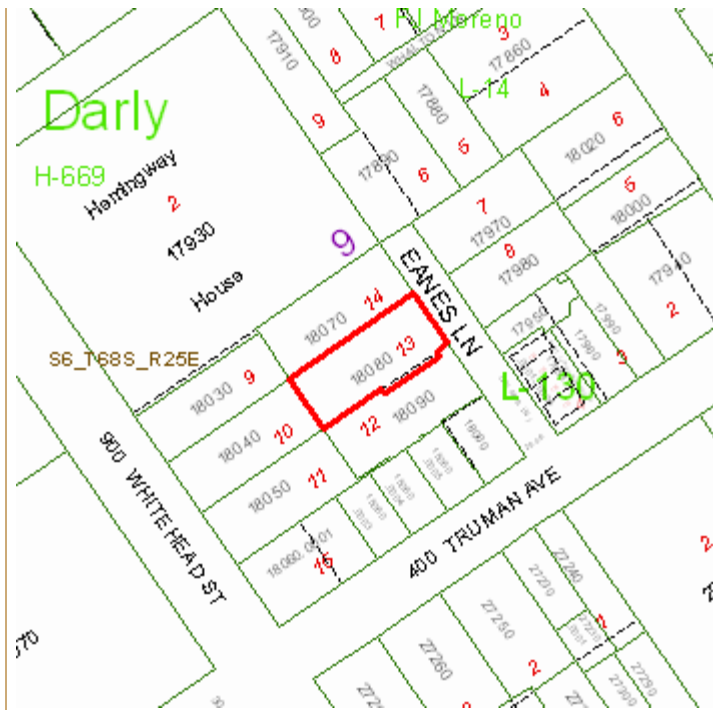
**Section-Township-Range:** 06-68-25

**Property Location:** 216 EANES LN KEY WEST

**Legal Description:** KW PT LOT 4 SQR 9 TR 4 (LT13 L-130) A4-238 G12-592 OR196-78/79 OR1085-1850/54 OR1616-1894/96 OR1628-271/72 OR2095-940D/C OR2674-333LET/ADM OR2711-438/40 OR2720-1669/71

**Click Map Image to open interactive viewer**





### Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	0	0	4,117.00 SF

### Building Summary

Number of Buildings: 1  
 Number of Commercial Buildings: 0  
 Total Living Area: 1064  
 Year Built: 1943

## Building 1 Details

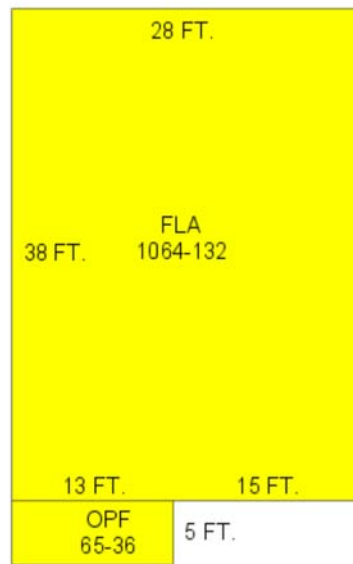
<b>Building Type</b> R1	<b>Condition</b> A	<b>Quality Grade</b> 450
<b>Effective Age</b> 21	<b>Perimeter</b> 132	<b>Depreciation %</b> 28
<b>Year Built</b> 1943	<b>Special Arch</b> 0	<b>Grnd Floor Area</b> 1,064
<b>Functional Obs</b> 0	<b>Economic Obs</b> 0	

**Inclusions:** R1 includes 1 3-fixture bath and 1 kitchen.

<b>Roof Type</b> GABLE/HIP	<b>Roof Cover</b> METAL	<b>Foundation</b> WD CONC PADS
<b>Heat 1</b> NONE	<b>Heat 2</b> NONE	<b>Bedrooms</b> 3
<b>Heat Src 1</b> NONE	<b>Heat Src 2</b> NONE	

**Extra Features:**

<b>2 Fix Bath</b> 1	<b>Vacuum</b> 0
<b>3 Fix Bath</b> 0	<b>Garbage Disposal</b> 0
<b>4 Fix Bath</b> 0	<b>Compactor</b> 0
<b>5 Fix Bath</b> 0	<b>Security</b> 0
<b>6 Fix Bath</b> 0	<b>Intercom</b> 0
<b>7 Fix Bath</b> 0	<b>Fireplaces</b> 0
<b>Extra Fix</b> 0	<b>Dishwasher</b> 0



**Sections:**

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	FLA	1:WD FRAME	1	1942	N N	0.00	0.00	1,064
2	OPF	12:ABOVE AVERAGE WOOD	1	1942	N N	0.00	0.00	65

## Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
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3	PT3:PATIO	12 SF	0	0	1959	1960	2	50
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## Appraiser Notes

2004 CUT-OUT DONE ON THIS PARCEL, VALCURA UPDATED THE 2004 HISTORY TO REFLECT THIS CHANGE.

## Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
09-0281	02/05/2009	04/22/2010	2,500	REMOVE SHINGLES OF RIGHT SIDE OF ROOF-INSTALL VCRIMP	651SF

## Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2015	96,628	42	243,178	339,848	339,848	0	339,848
2014	77,918	290	199,145	277,353	277,353	0	277,353
2013	89,414	290	237,077	326,781	326,781	0	326,781
2012	91,969	290	147,778	240,037	133,153	25,500	107,653
2011	91,969	290	150,012	242,271	129,275	25,500	103,775
2010	88,137	290	165,565	253,992	127,365	25,500	101,865
2009	98,258	290	220,754	319,302	124,017	25,500	98,517
2008	89,325	290	572,263	661,878	123,893	25,500	98,393
2007	150,139	290	720,475	870,904	120,284	25,500	94,784
2006	205,081	290	391,115	596,486	111,935	25,500	86,435
2005	226,736	290	308,775	535,801	113,932	25,500	88,432
2004	132,132	290	308,775	441,197	110,614	25,000	85,614
2003	137,214	290	98,808	236,312	139,306	25,000	114,306
2002	114,976	290	107,042	222,308	131,808	25,000	106,808
2001	82,826	252	107,042	190,120	115,389	25,000	90,389
2000	92,766	371	69,989	163,126	101,300	25,000	76,300
1999	55,009	308	69,989	125,306	98,637	25,000	73,637
1998	51,258	287	69,989	121,534	97,084	25,000	72,084
1997	45,007	252	61,755	107,014	95,462	25,000	70,462
1996	30,755	172	61,755	92,682	92,682	25,000	67,682
1995	30,755	172	61,755	92,682	91,827	25,000	66,827
1994	27,504	154	61,755	89,413	89,413	25,000	64,413
1993	27,554	0	61,755	89,309	89,309	25,000	64,309
1992	27,554	0	61,755	89,309	89,309	25,000	64,309
1991	27,554	0	61,755	89,309	89,309	25,000	64,309

<b>1990</b>	19,829	0	53,521	73,350	73,350	25,000	48,350
<b>1989</b>	17,484	0	52,492	69,976	69,976	25,000	44,976
<b>1988</b>	14,321	0	45,460	59,781	59,781	25,000	34,781
<b>1987</b>	14,130	0	27,094	41,224	41,224	25,000	16,224
<b>1986</b>	14,209	0	26,185	40,394	40,394	25,000	15,394
<b>1985</b>	13,739	0	26,090	39,829	39,829	25,000	14,829
<b>1984</b>	12,760	0	26,090	38,850	38,850	25,000	13,850
<b>1983</b>	12,760	0	11,563	24,323	24,323	24,323	0
<b>1982</b>	13,042	0	10,732	23,774	23,774	23,774	0

## Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
<b>1/13/2015</b>	2720 / 1669	550,000	<u>WD</u>	<u>02</u>
<b>10/31/2014</b>	2711 / 438	405,000	<u>WD</u>	<u>02</u>

This page has been visited 15,821 times.

Monroe County Property Appraiser  
 Scott P. Russell, CFA  
 P.O. Box 1176 Key West, FL 33041-1176