

**PLANNING BOARD
RESOLUTION No. 2012-26**

**A RESOLUTION OF THE KEY WEST
PLANNING BOARD GRANTING APPROVAL
OF A MINOR DEVELOPMENT PLAN FOR
RECONSTRUCTION OF AN OFFICE
BUILDING FOR PROPERTY LOCATED AT 202
WILLIAM STREET (RE#00072082-003900)
PERSUANT TO SECTION 108-91 (A.)(1)(b.),
KEY WEST FLORIDA; PROVIDING FOR AN
EFFECTIVE DATE.**

WHEREAS, the subject property is located in the Historic Residential Commercial Core, Gulf Side (HRCC-1), zoning district; and

WHEREAS, Section 108-91 A(1)(b.) of the Code of Ordinances requires Minor Development Plans for addition or reconstruction of 500 - 2,499 square feet of gross floor area; and

WHEREAS, the applicant requested the reconstruction of 1,010 square feet of existing floor area to be used as an office that burned down in a fire; and

WHEREAS, the granting of a Minor Development Plan is consistent with the Land Development Regulations and the Comprehensive Plan; and



Chairman


Planning Director

WHEREAS, the recommendation of approval of the Minor Development Plan is in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare; and

WHEREAS, the approval is consistent with the criteria in the Code; and

NOW, THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. That a Minor Development Plan for the reconstruction of a 1010 square foot, two-story, FEMA compliant building in the Key West Bight District to be used for office space, with ground floor storage per Section 108-91A.(1).(b.), under the Code of Ordinances of the City of Key West, Florida, is hereby recommended for City Commission approval for property located at 202 William Street (RE#00072082-003900), as shown on the attached site plans dated April 17, 2012 with the following conditions:

Conditions to be completed prior to the issuance of building permits:

1. The building is constructed according to ADA exempted Building Plans.

Conditions to be completed prior to the issuance of certificate of occupancy:

2. All lighting fixtures shall meet "Dark Sky" lighting standards.


Chairman

Planning Director

General Conditions:


3. No part of the new structure, including the storage space beneath the building, nor the roof of the remodeled adjacent structure may be used for consumption area, nor food preparation area.
4. That the variance for the Coastal Construction Control Line setback is granted by the Planning Board.
5. A signed and sealed elevation certificate is presented to the planning and building department.

Section 3. Full, complete, and final application for all permits required for which this resolution is wholly or partly necessary, shall be submitted in its entirety within 12 months after the date hereof.


Section 4. This Minor Development Plan application recommended for approval to the City Commission, do not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

Section 5. This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Section 6. This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Community



Chairman

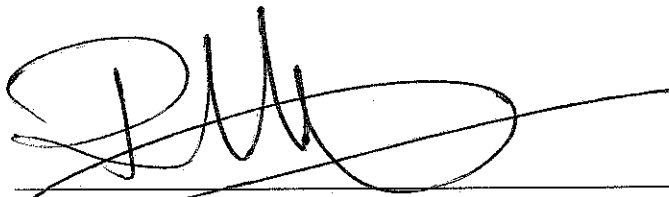


Planning Director

five (45) days after it has been properly rendered to the DCA with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period the DCA can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a special meeting held this 31st day of May, 2012.

Authenticated by the Chairman of the Planning Board and the Planning Director.



Richard Klitenick, Chairman
Key West Planning Board

6/6/12
Date

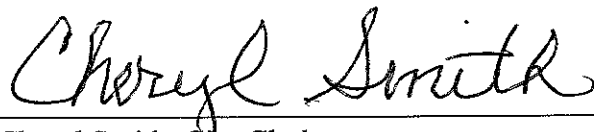
Attest:



Donald Leland Craig, AICP
Planning Director


6-5-12
Date

Filed with the Clerk:



Cheryl Smith, City Clerk

6-6-12
Date

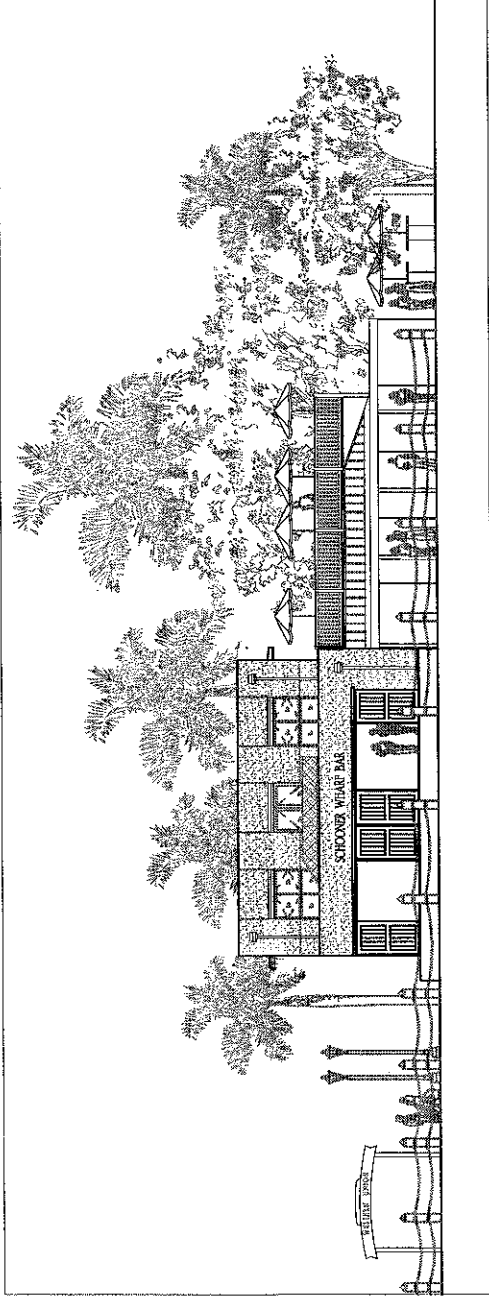


Chairman
Planning Director

SCHOONER WHARF BUILDING

202 WILLIAM STREET
CITY OF KEY WEST, FLORIDA 33043

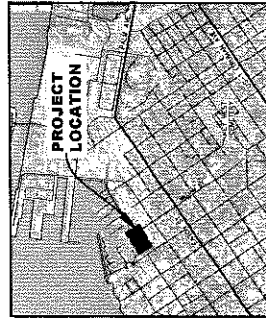
May 2012



OWNER:
CITY OF KEY WEST
201 WILLIAM STREET
KEY WEST, FL 33040
OWNER'S AUTHORIZED AGENT:
MARILYN WILBARGER

MAYOR
CRAIG GATES

CITY COMMISSIONERS
JIMMY WEEKLEY - DISTRICT I
MARK ROSSI - DISTRICT II
BILLY WARDLOW - DISTRICT III
TONY YANIZ - DISTRICT IV
TERI JOHNSTON - DISTRICT V
CLAYTON LOPEZ - DISTRICT VI



VICINITY MAP
CIVIL & LANDSCAPE

CHIEN MOORE
& ASSOCIATES
1444 Biscayne Boulevard,
Suite 204
Miami, Florida 33132
Tel: 786.497.1500
Fax: 786.497.2500
EB 0004593
www.chienmoore.com

Bender & Associates
ARCHITECTS p.c.

410 Angela Street
Key West, Florida 33040
Tel: 305.296.2727
Fax: 305.296.2727
Florida License No. AAC002022

ARCHITECTURAL



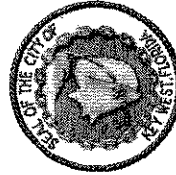
7300 North Kencanell Drive,
Suite 400
Miami, Florida 33156
Tel: 305.670.2350
Fax: 305.670.2351
www.bcceng.com
Certificate of Authorization No. 7184

STRUCTURAL

INDEX TO DRAWINGS

DRAWING	DESCRIPTION
CIVIL	COVER/INDEX GENERAL NOTES AND ABERRATIONS SURVEY STANDARD DETAILS SURVEY
ARCHITECTURAL	DEVELOPER'S PROPOSED SITE PLAN PROPOSED ELEVATIONS AND SECTIONS PROPOSED ELEVATIONS AND SECTIONS DETAILS AND ROOF PLAN DETAILS DETAILS
LANDSCAPE	LANDSCAPE PLANS, NOTES, & DETAILS

Prepared for the
City of Key West
Monroe County, Florida



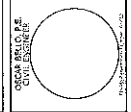
HNA&S
Associates
Hufsey • Nicolaides • Garcia • Suarez
INC.
CONSULTING ENGINEERS
4600 SW 74 Court
Miami, Florida 33155
Tel: 305.270.3935
Fax: 305.665.5691

NOT FOR CONSTRUCTION

110 MARKET STREET
FAY RAVENHILL BUILDING
PHILADELPHIA, PENNSYLVANIA 19102
P. 610 673-1210
FAX: 610 673-1297
FAY RAVENHILL BUILDING
PHILADELPHIA, PENNSYLVANIA 19102

ARCHITECTS
Bender & Associates

SCHOONER WHARF BUILDING
202 WILLIAM STREET
KEY WEST, FLORIDA 33043



3445 BIRBYNE BLVD.,
MIAMI, FLORIDA 33132
TEL: 786.492.1500
FAX: 786.492.2000
EB 0004593

CHEN-MOORE
ASSOCIATES

Project No. : 107-06
Date: 3/28/12

C1
2 of 28

GENERAL CONSTRUCTION NOTES

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MINIMUM STANDARDS APPLICABLE TO THE CITY OF KEY WEST, FLORIDA.
2. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES 72 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES TO PROTECT EXISTING UTILITIES WHETHER KNOWN OR NOT.
3. ALL EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED OTHERWISE IN WRITING BY THE UTILITY OWNER.
4. ALL EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED OTHERWISE IN WRITING BY THE UTILITY OWNER.
5. ALL UTILITIES OPEN FOR THE CONSTRUCTION OF THIS WORK SHALL BE PROTECTED BY A CONCRETE CROWN RECON AS BUILT OR BY A CONCRETE CROWN RECON AS BUILT OR BY A CONCRETE CROWN RECON AS BUILT.
6. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES 72 HOURS PRIOR TO CONSTRUCTION AND FOR ALL INSPECTIONS AND TESTING APPROVED BY ENGINEER IN WRITING PRIOR TO CONSTRUCTION.
7. THE ENGINEER MUST BE GIVEN A MINIMUM 48 HOURS NOTICE FOR ALL INSPECTIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES AND APPURTENANCES FROM DAMAGES, AND TO PROTECT EXISTING UTILITIES AND APPURTENANCES FROM DAMAGES, AND TO PROTECT EXISTING UTILITIES AND APPURTENANCES FROM DAMAGES, AND TO PROTECT EXISTING UTILITIES AND APPURTENANCES FROM DAMAGES. MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK AREA.
9. CONSTRUCTION SHALL BE MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS APPLICABLE TO THE CITY OF KEY WEST, FLORIDA.
10. CONSTRUCTION SHALL BE MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS APPLICABLE TO THE CITY OF KEY WEST, FLORIDA.
11. CONSTRUCTION SHALL BE MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS APPLICABLE TO THE CITY OF KEY WEST, FLORIDA.
12. TOPOGRAPHIC INFORMATION SHOWN ON THE PLANS ARE TAKEN FROM SURVEY PERFORMED BY R.E. REECE, P.A. DATED 8/29/09 PHONE: (305) 872-1348.

PRE-CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL OBTAIN A SURVEY STATE ONE CALL OF FLORIDA, INC. (STATECATOR) NUMBER AT LEAST TWO (2) BUSINESS DAYS PRIOR TO BEGINNING AN EXCAVATION, CALL 811.
2. CONTRACTOR TO CONTACT LOCAL UTILITY COMPANIES FOR UNDERGROUND UTILITIES LOCATIONS PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR IS REQUIRED TO OBTAIN AND PAY FOR ALL APPLICABLE CONSTRUCTION PERMITS PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY LOCATION AND PROTECT ALL EXISTING UTILITIES WITHIN THE WORK AREA. TEMPORARY PROTECTIVE STRUCTURES SHALL BE INSTALLED TO PROTECT EXISTING UTILITIES AND APPURTENANCES. THE CONTRACTOR SHALL VERIFY LOCATION AND PROTECT ALL EXISTING UTILITIES WITHIN THE WORK AREA. TEMPORARY PROTECTIVE STRUCTURES SHALL BE INSTALLED TO PROTECT EXISTING UTILITIES AND APPURTENANCES.
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EARTHWORK NOTES

1. WHERE BULK ROCK, CLAY, OR OTHER MATERIAL WITHIN THE LIMITS OF CONSTRUCTION IS UNSUITABLE FOR FILL OR SURFACE, THE CONTRACTOR SHALL REMOVE AND REPLACE WITH SUITABLE MATERIAL AS SHOWN ON PLANS TO CONFORM TO THE REQUIRED GRADINGS AND SECTIONS AS SHOWN ON PLANS.
2. THE CONTRACTOR SHALL MAKE HIS OWN ESTIMATE OF THE VOLUME OF MATERIAL ACTUALLY REMOVED TO OBTAIN THE DESIRED GRADING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REMOVING AND REPLACING UNSUITABLE MATERIAL IN EXCESS OF THAT SHOWN ON THE PLANS. UNSUITABLE MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% RELATIVE DENSITY, WITH A MINIMUM OF 3" OF MATERIAL TO BE COMPACTED TO A MINIMUM OF 95% RELATIVE DENSITY.
3. ALL MATERIAL TO BE REMOVED SHALL BE REMOVED FROM THE WORK SITE AS DIRECTED BY THE ENGINEER AND SHALL BE CONSIDERED TO BE A PART OF THE CONTRACT.
4. WATER SHALL NOT BE PERMITTED TO ACCUMULATE IN THE EXCAVATION AREA. AT THE BOTTOM OF THE EXCAVATION, THE CONTRACTOR SHALL PROVIDE DRAINAGE SYSTEMS TO REMOVE WATER FROM THE EXCAVATION. WATER SHALL NOT BE PERMITTED TO ACCUMULATE IN THE EXCAVATION AREA. AT THE BOTTOM OF THE EXCAVATION, THE CONTRACTOR SHALL PROVIDE DRAINAGE SYSTEMS TO REMOVE WATER FROM THE EXCAVATION.
5. IF THE BOTTOM OF THE TRENCH IS ROCK, THE EXCAVATION SHALL BE CARVED EIGHT INCHES BELOW THE BOTTOM OF THE TRENCH TO A MINIMUM OF 12" BELOW THE BOTTOM OF THE TRENCH. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 12" OF OTHER SUITABLE MATERIAL APPROVED BY THE ENGINEER.
6. WALKWAYS, SLOTT BRAGING OR SHORING SHALL BE PROVIDED TO BRACE OR SHOR THE SIDES OF THE TRENCH. SLOTT BRAGING OR SHORING SHALL BE PROVIDED TO BRACE OR SHOR THE SIDES OF THE TRENCH.
7. THE CONTRACTOR SHALL PROVIDE PROTECTIVE BARBERS AND PROTECTIVE STRUCTURES TO PROTECT THE WORK AND OTHER ADJACENT STRUCTURES.
8. IF FIELD CONDITIONS TYPE OF SLEETING OR CONSTRUCTION METHODS MAKE REMOVAL OF SHEETING UNDESIRABLE, THE CONTRACTOR SHALL PROVIDE PROTECTIVE BARBERS AND PROTECTIVE STRUCTURES TO PROTECT THE WORK AND OTHER ADJACENT STRUCTURES.
9. AFTER PIPES, STRUCTURES, AND OTHER APPURTENANCES HAVE BEEN METALLED, THE TRENCH OR EXCAVATION SHALL BE BACKFILLED WITH MATERIAL IN CONFORMANCE WITH THE SPECIFICATION.
10. IN AREAS WHERE PARALLEL CURVES ARE TO BE CONSTRUCTED OVER THE PIPE, THE REMAINDER OF THE TRENCH SHALL BE BACKFILLED WITH MATERIAL IN CONFORMANCE WITH THE SPECIFICATION.
11. BEFORE ANY UNDERGROUND MATERIAL IS APPLIED, ALL EXISTING UTILITIES SHALL BE PROTECTED BY CONCRETE CROWNS AS BUILT OR BY A CONCRETE CROWN RECON AS BUILT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING DAMAGE TO EXISTING UTILITIES AND APPURTENANCES CAUSED BY CONSTRUCTION OPERATIONS.
12. THE CONTRACTOR SHALL PROVIDE PROTECTIVE BARBERS AND PROTECTIVE STRUCTURES TO PROTECT THE WORK AND OTHER ADJACENT STRUCTURES.
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CURVE DATA:

R	RADIUS
L	LENGTH
T	TANGENT

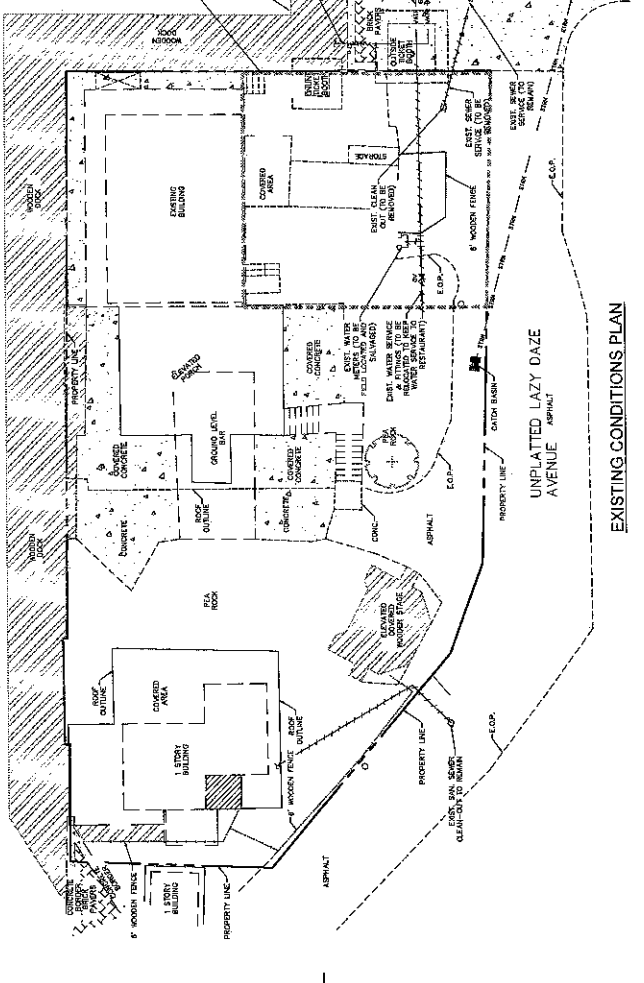
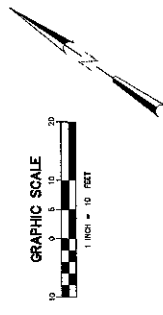
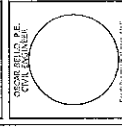
PAVING NOTES

1. UNDERGROUND UTILITIES SHALL BE COMPLETED OR SLEEWING PROVIDED BEFORE ANY PAVEMENT CONSTRUCTION.
2. CONSTRUCTION OF SUBGRADE SHALL BE IN ACCORDANCE WITH THE MINIMUM STANDARDS APPLICABLE TO THE CITY OF KEY WEST, FLORIDA.
3. THE CONTRACTOR SHALL VERIFY LOCATION AND PROTECT ALL EXISTING UTILITIES WITHIN THE WORK AREA. TEMPORARY PROTECTIVE STRUCTURES SHALL BE INSTALLED TO PROTECT EXISTING UTILITIES AND APPURTENANCES.
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ABBREVIATIONS

- AC ASPHALTIC CONCRETE
- CB CATCH BASIN
- CC CONCRETE
- ED EDGE OF DRIVEWAY
- ELEV ELEVATION
- EL (ELECTRIC) ELEVATION
- FE FINISHED GRADE
- FG FINISHED GRADE
- GR GRADE CHANGE
- GS GRADE CHANGE
- HT HIGH DENSITY POLYETHYLENE PIPE
- JOINT JOINT
- MANHOLE MANHOLE
- PH POINT OF INTERSECTION
- PT POINT OF INTERSECTION
- SI SURFACE INTERSECTION
- VE VE

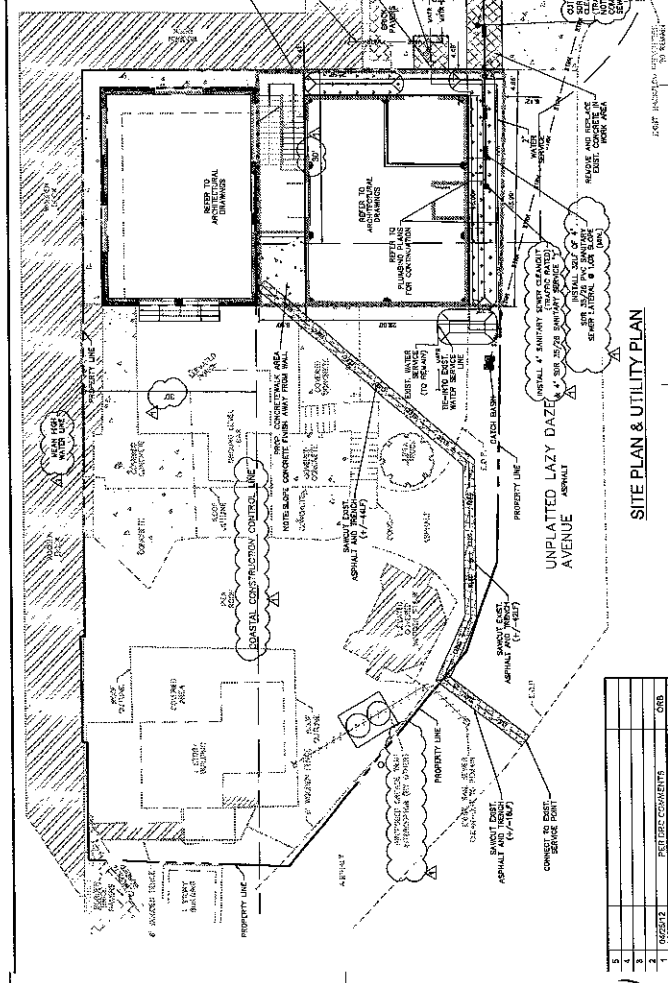
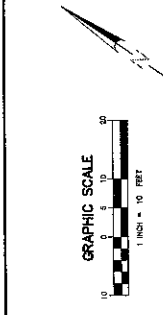
811
KNOW WHAT'S BELOW
BEFORE YOU DIG
www.811.com



LEGEND

[Symbol]	PROPERTY LINE
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	EXISTING STORM SEWER
[Symbol]	EXISTING WALKWAY
[Symbol]	EXISTING WOOD DECK
[Symbol]	EXISTING CONCRETE
[Symbol]	EXISTING BRICK PAVEMENT

- NOTES:**
- EXISTING CONDITIONS BASED ON SURVEY BY A.E. REECE.
 - PAI DATES 9/2008 AND 10/2008. CONTRACTOR SHALL VERIFY LOCATION AND DEPTHS OF ALL UTILITIES. CONTRACTOR TO FIELD LOCATE AND CONFIRM ALL UTILITIES, WHETHER SHOWN OR NOT, PRIOR TO ANY CONSTRUCTION.



SITE DATA

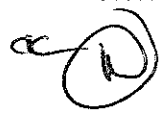
ADDRESS:	202 WILLIAM STREET
PROPERTY INFO:	KEY WEST, FLORIDA 33043
OWNER AND CONTACT PERSON:	KEY WEST TOURISM DEVELOPMENT AUTHORITY
EXISTING ZONING:	COMMERCIAL TOURISM (C-T)
FLOOD ZONE:	NO FLOOD ZONE
PROJECT AREA:	0.15 AC
MIN. FRONT SETBACK:	4.5 FT
MIN. SIDE SETBACK:	3.0 FT
MIN. REAR SETBACK:	3.0 FT
MAX. FLOOR AREA:	2,250 SF
MAX. BUILDING COVERAGE:	50%
PREVIOUS SURFACE RATIO:	0%
PERMITS:	NO PERMITS
PRE-DEVELOPMENT:	NO PRE-DEVELOPMENT
POST-DEVELOPMENT:	NO POST-DEVELOPMENT
TOTAL AREA:	0.15 AC
PREVIOUS AREA:	0.15 AC

LEGEND

[Symbol]	REMOVE & REPLACE CONCRETE/ASPHALT
[Symbol]	PROPERTY LINE
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	EXISTING STORM SEWER
[Symbol]	EXISTING WALKWAY
[Symbol]	ELECTRICAL SERVICE LINE
[Symbol]	SANITARY SEWER CLEANOUT
[Symbol]	WATER METER
[Symbol]	PREPARED CONCRETE
[Symbol]	RETENTION AREA

- UTILITY NOTES:**
- ALL POTABLE WATER WORK TO BE DONE IN ACCORDANCE WITH 2011 FPAA MINIMUM CONSTRUCTION STANDARDS.
 - CONTRACTOR SHALL VERIFY LOCATION & DEPTHS OF ALL EXISTING SANITARY SEWER SYSTEM PRIOR TO BEGINNING WORK.
 - CONTRACTOR SHALL CONTACT THE CITY OF KEY WEST UTILITIES DEPARTMENT TO VERIFY LOCATION & DEPTHS OF ALL EXISTING SANITARY SEWER SYSTEM PRIOR TO ANY CONSTRUCTION. NO WORK SHALL BE COMPLETED ON A CITY OF KEY WEST SANITARY SEWER SYSTEM WITHOUT A REPRESENTATIVE FROM THE UTILITY SERVICE DEPARTMENT PRESENT.

NO.	DATE	REVISION
1	03/29/12	PRELIMINARY
2		
3		
4		
5		



DRAINAGE CALCULATIONS

Water Quantity - Peak Development	0.038	ac	1,672	sf
Previous Area	0.001	ac	44	sf
Impervious Area	0.037	ac	1,628	sf
% Impervious	97%			
Rainfall for 25yr/24hr event (P)	9	in		
Rainfall for 25yr/24hr event (P)	12.231	in		
Depth to Water Table	2	ft		
Predevelopment Available Storage	1,880	in		
Soil Storage (S)	0.049	in		
Qpeak = $(P - 0.2S) / 2$	12.172	in		
(P * 0.95)				

Water Quantity - Peak Development	0.038	ac	1,672	sf
Previous Area	0.010	ac	433	sf
Impervious Area	0.028	ac	1,238	sf
% Impervious	74%			
Rainfall for 25yr/24hr event (P)	9	in		
Rainfall for 25yr/24hr event (P)	12.23	in		
Depth to Water Table	2	ft		
Developed Available Storage	1,880	in		
Soil Storage (S)	0.488	in		
Qpeak = $(P - 0.2S) / 2$	11.695	in		
(P * 0.95)				

Runoff Volume from 25 year 3 day storm
 0.448 ac-in

Development - Peak Development

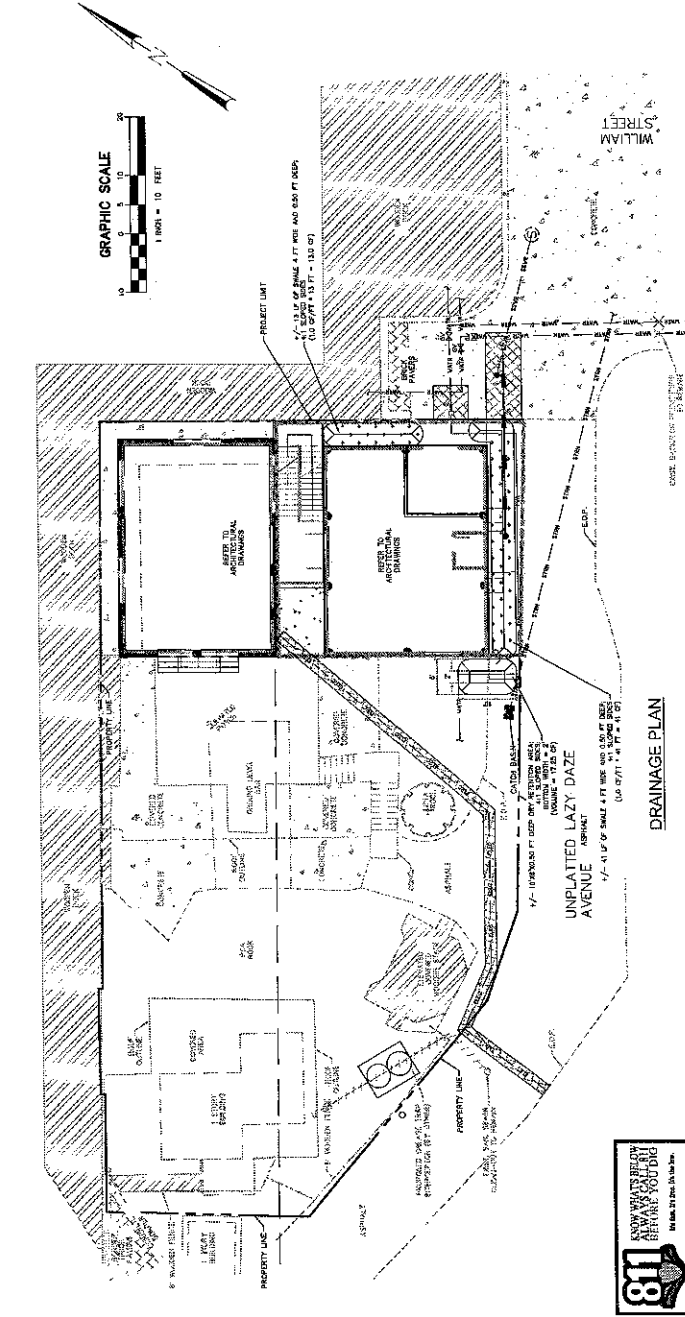
Qpeak - Qpre	-0.608	in
Volume = QA	0.000	ac-in
Water Quantity	0.038	ac
Surface Basin Area	0.000	ac
Surface Water	0.023	ac
Roof Area	0.008	ac
Pavement/Walkways	0.010	ac
Pervious Area	0.015	ac
Site area - (water surface + roof area)	0.015	ac
Impervious area for water quality	0.005	ac
Area for water quality - Pervious Area	0.005	ac
% Impervious	35%	
A) One inch of runoff from drainage basin	0.038	ac-in
B) 2.5 inches times percent impervious	0.033	ac-in
Pre-treatment Required	0.038	>
50% reduction due to dry retention	0.019	ac-in
Volume Provided	70.50	CF

LEGEND

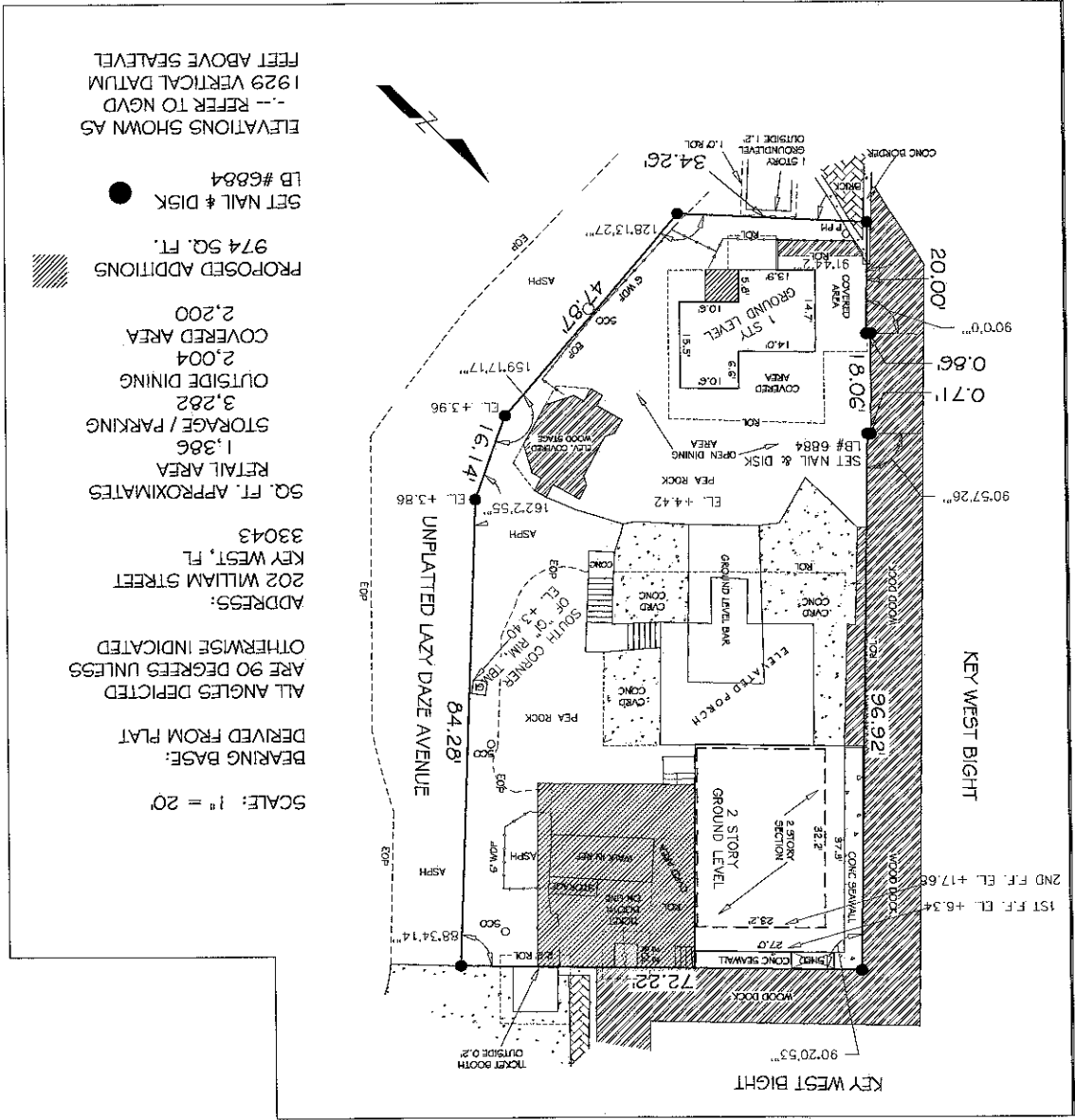
- REMOVE & REPLACE CONCRETE/ASPHALT
- PREPARED CONCRETE
- PREPARED RETENTION AREA

DRAINAGE NOTES

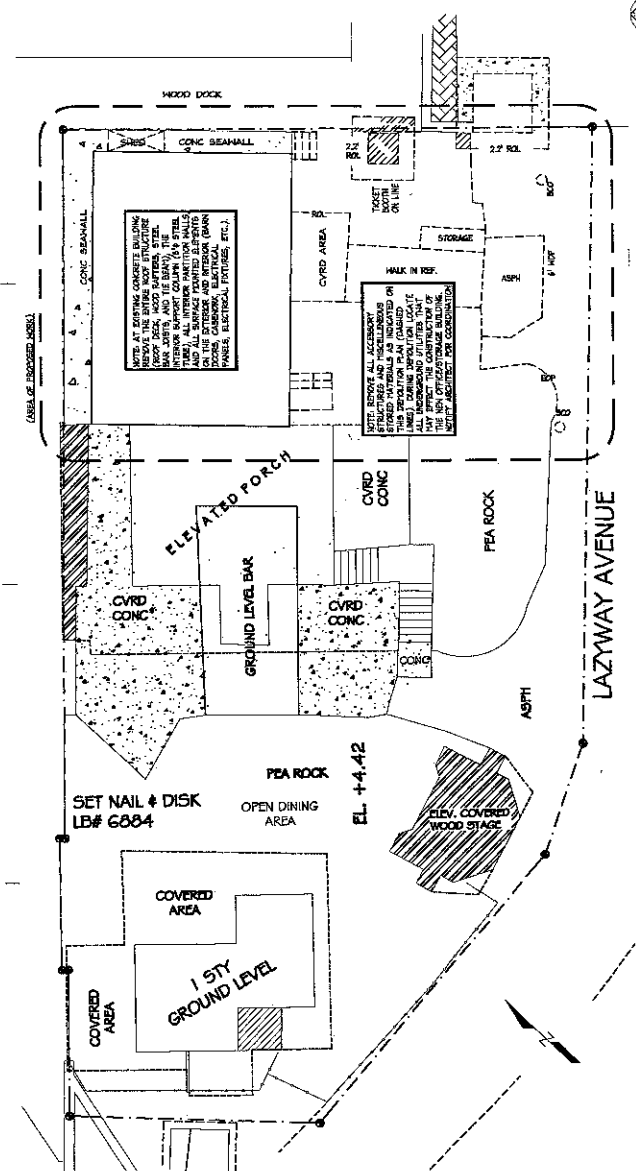
1. ROOF DOWNSPOUTS DIRECTED TO DISCHARGE INTO DRY RETENTION/LANDSCAPE AREAS WITH SPLASH BLOCKS TO PREVENT EROSION
2. ANY LANDSCAPE AND DRY RETENTION AREAS SHALL COMPLY WITH ALL APPLICABLE CITY AND STATE STANDARDS
3. THE LANDSCAPING AND DRY RETENTION AREAS SHALL NOT BE CONSTRUCTED TO CREATE STORMWATER FLOW TO ADJACENT PROPERTIES



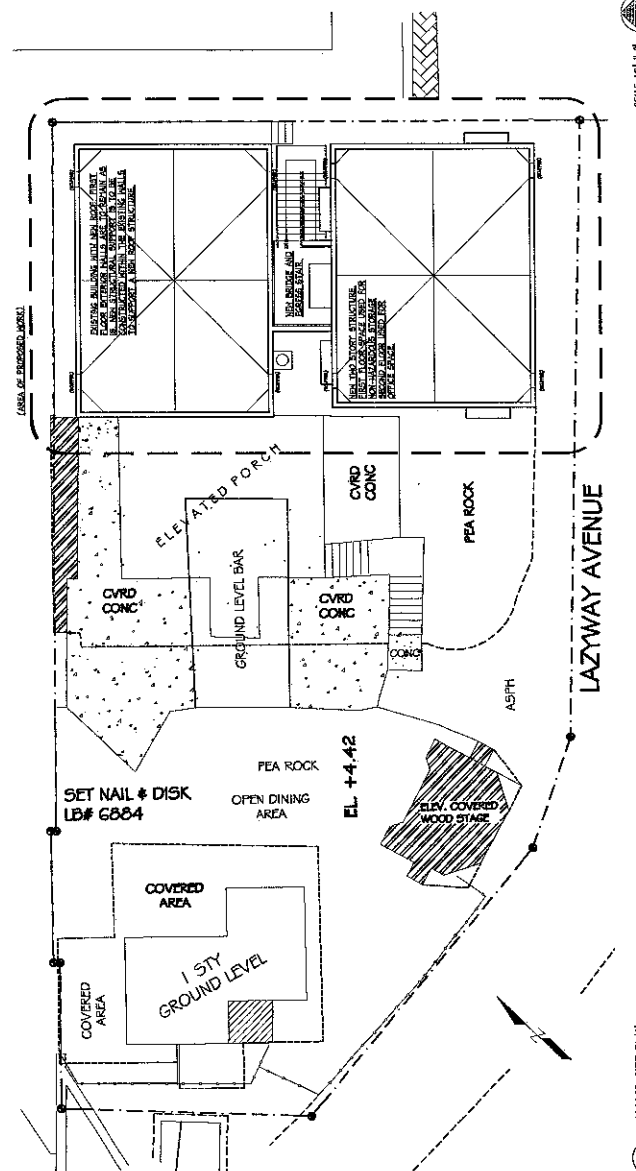
Handwritten signature or initials.



Handwritten mark: a circle containing the number 10.

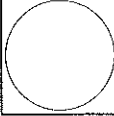


2 PROPOSED DEMOLITION PLAN

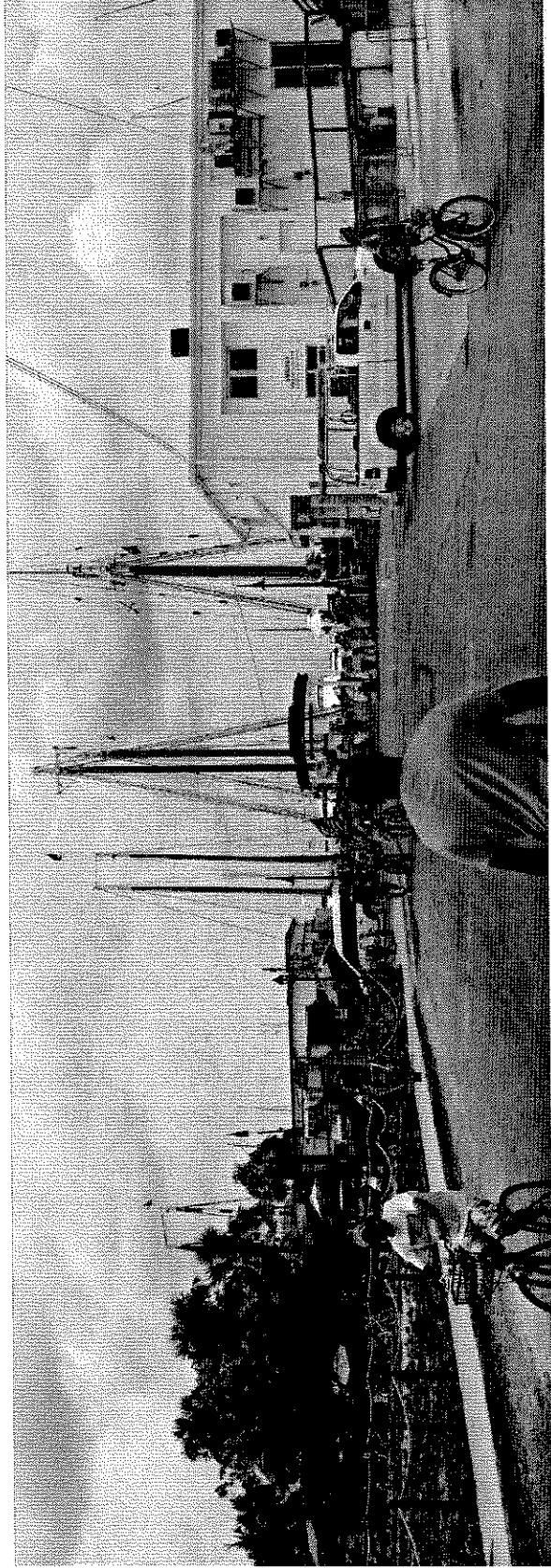


1 PROPOSED SITE PLAN

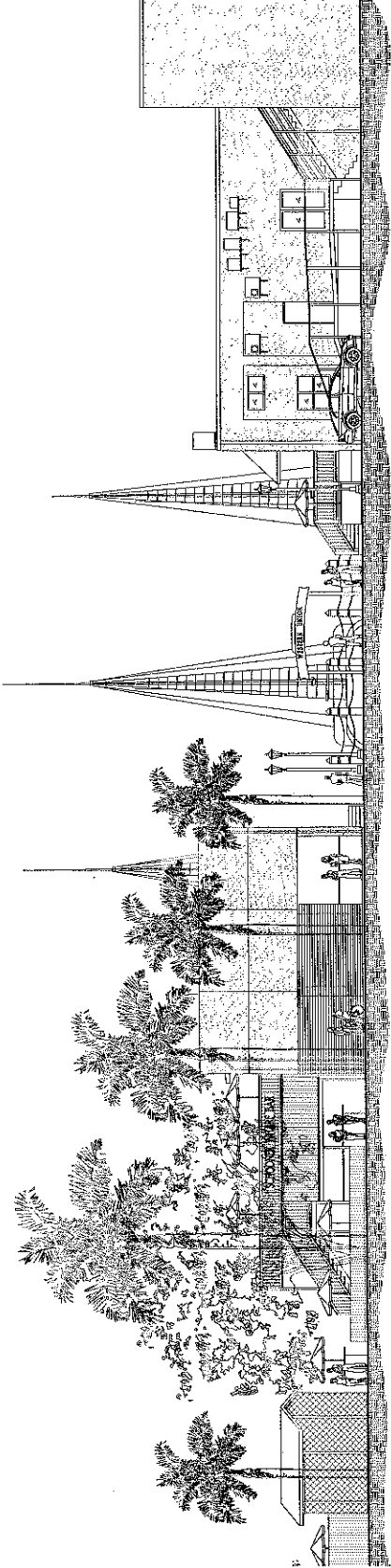
Handwritten initials and a circled 'A'.



SCHOONER WHARF BAR
KEY WEST, FLORIDA



1. PHOTOGRAPH OF SITE (FRONT WILLIAM STREET)

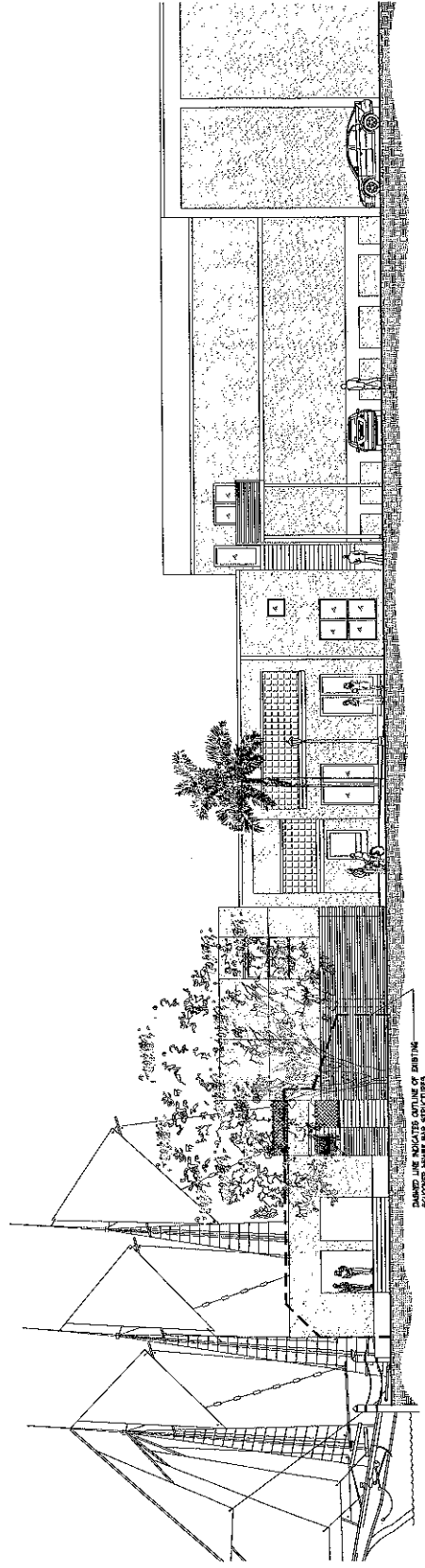
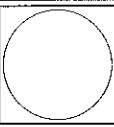


2. PROPOSED SOUTH ELEVATION (LOOKING FROM WILLIAM STREET)

2
A4

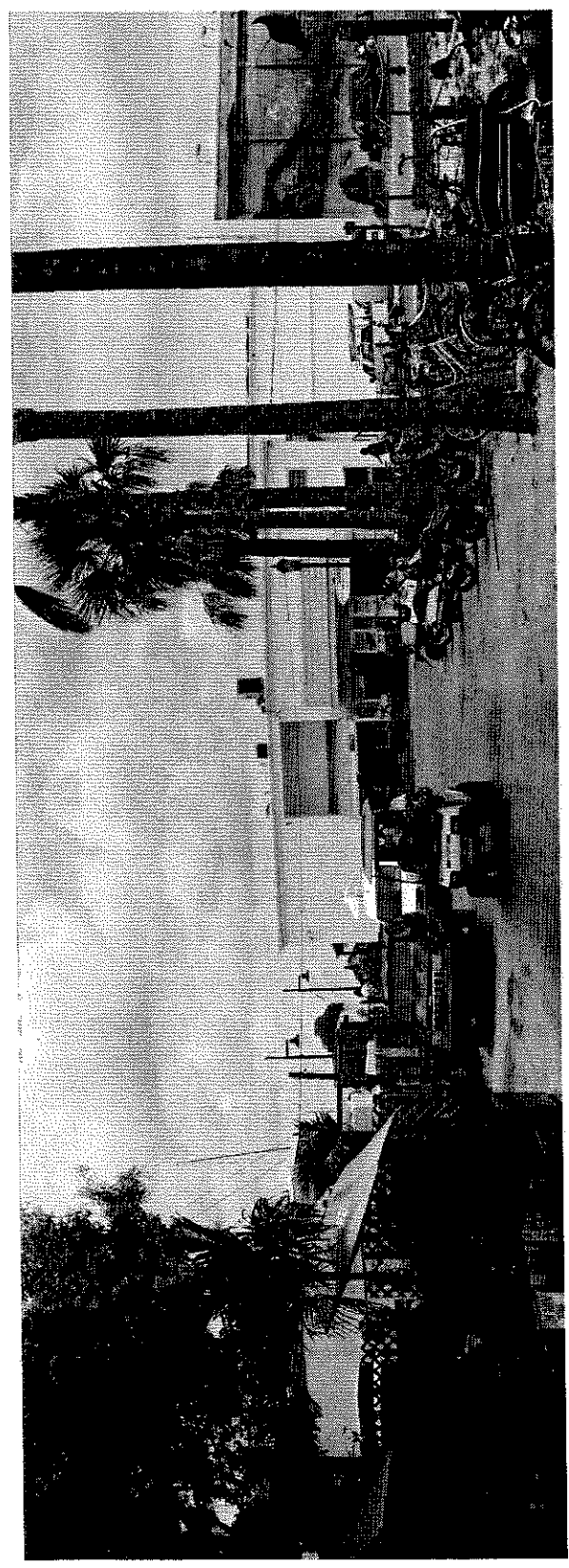
2

Handwritten signature or initials



2 PROPOSED WEST ELEVATION (LOOKING FROM LACUNARY)

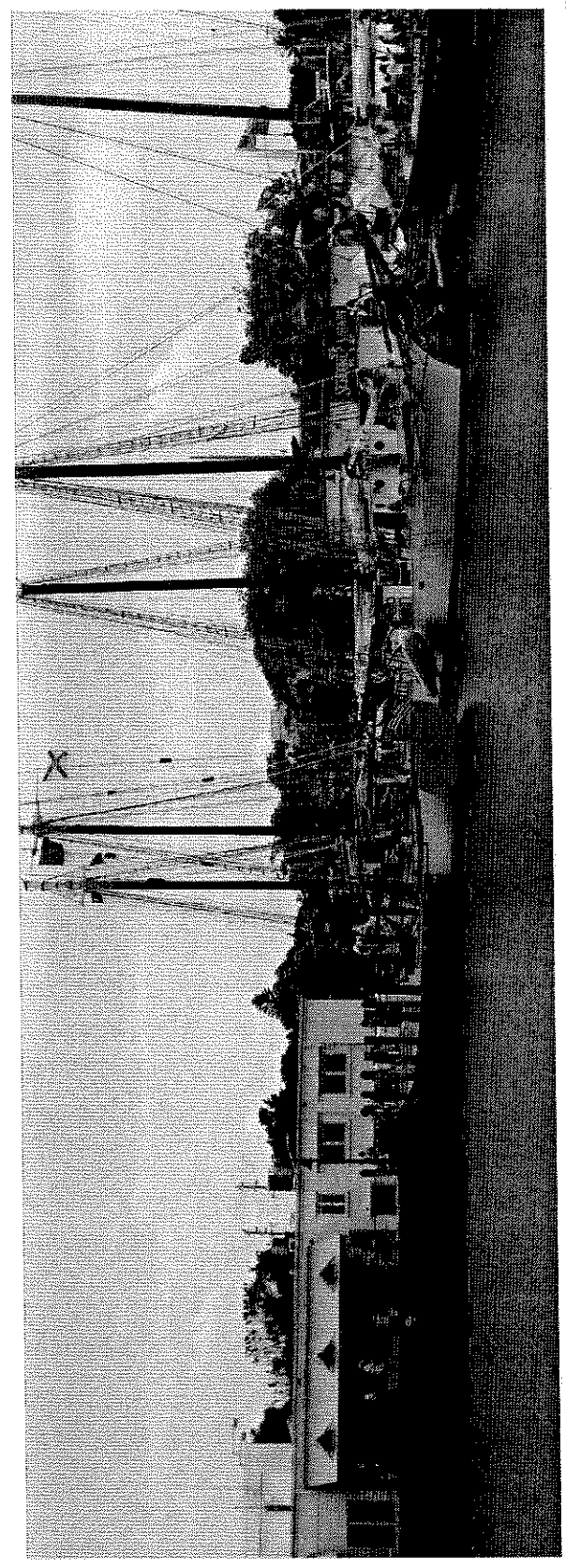
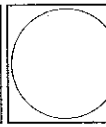
A5



1 PHOTOGRAPH OF SITE (LOOKING FROM LACUNARY)

A5

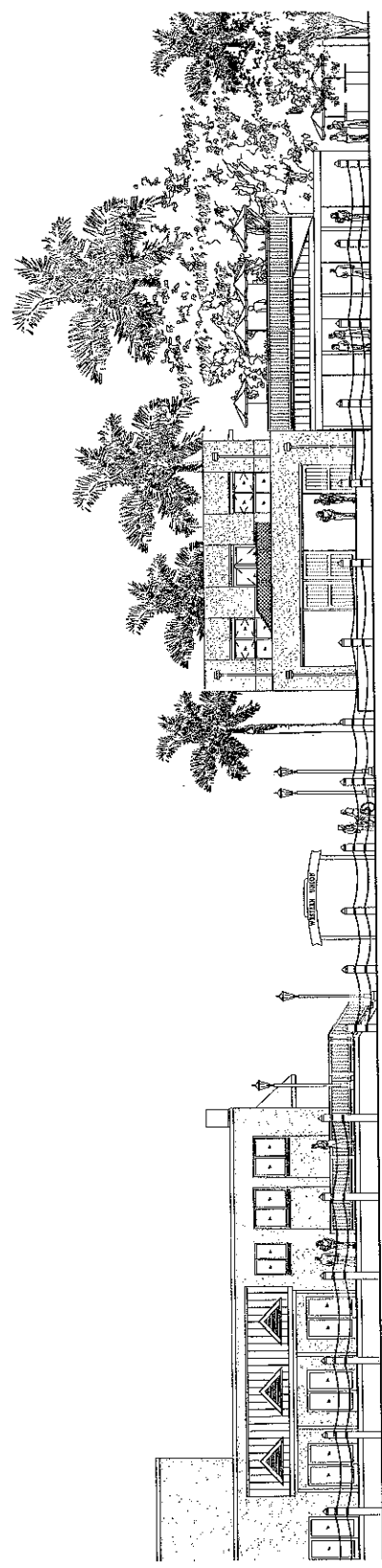
Handwritten signature and initials



PROPOSED NORTH ELEVATION (LOOKING SOUTH FROM PUBLIC AREA)

2
A6

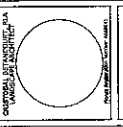
Handwritten signature



SCALE: 1/8"=1'-0"

PROPOSED WEST ELEVATION (LOOKING NORTH FROM PUBLIC AREA)

2
A6

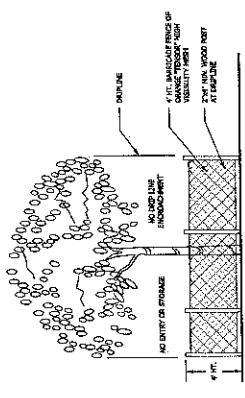


LANDSCAPE SPECIFICATIONS

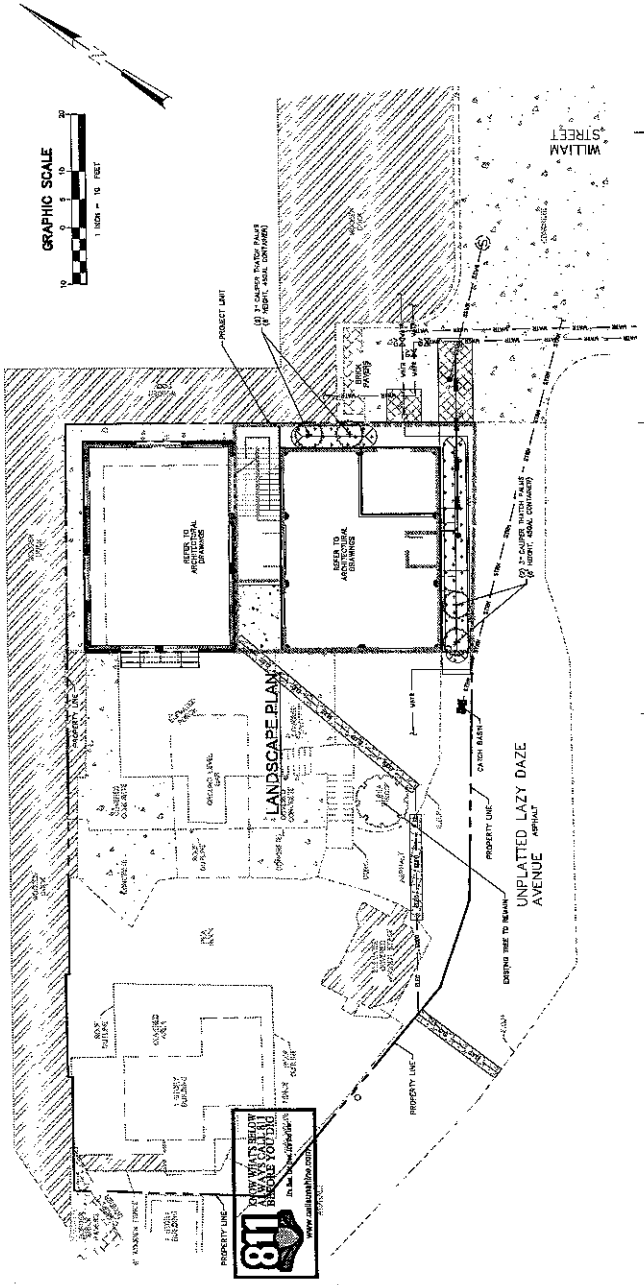
1. PLANT MATERIAL: ALL PLANT MATERIAL SHALL BE SUBMIT FOR REVIEW AS ESTABLISHED BY "STANDARDS AND SPECIFICATIONS FOR NURSERY PLANTS" OF THE STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.
2. ALL PLANT MATERIAL SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE REGULATIONS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONTACT. ALL DAMAGE TO EXISTING UTILITIES OR IMPROVEMENT CAUSED BY CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
4. THE WORK AND MATERIALS NECESSARY FOR MEETING THESE SPECIFICATIONS SHALL BE INCLUDED IN THE UNIT COST OF THE LANDSCAPE PLANT MATERIAL.
5. ALL PLANTING SHALL BE IN COMPLIANCE WITH ALL LOCAL AND STATE LAWS AND LOCAL CODE REQUIREMENTS.
6. ALL PLANTING SHALL BE IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE REGULATIONS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONTACT. ALL DAMAGE TO EXISTING UTILITIES OR IMPROVEMENT CAUSED BY CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONTACT. ALL DAMAGE TO EXISTING UTILITIES OR IMPROVEMENT CAUSED BY CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONTACT. ALL DAMAGE TO EXISTING UTILITIES OR IMPROVEMENT CAUSED BY CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONTACT. ALL DAMAGE TO EXISTING UTILITIES OR IMPROVEMENT CAUSED BY CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONTACT. ALL DAMAGE TO EXISTING UTILITIES OR IMPROVEMENT CAUSED BY CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONTACT. ALL DAMAGE TO EXISTING UTILITIES OR IMPROVEMENT CAUSED BY CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONTACT. ALL DAMAGE TO EXISTING UTILITIES OR IMPROVEMENT CAUSED BY CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONTACT. ALL DAMAGE TO EXISTING UTILITIES OR IMPROVEMENT CAUSED BY CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONTACT. ALL DAMAGE TO EXISTING UTILITIES OR IMPROVEMENT CAUSED BY CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.

GENERAL NOTES

1. THIS PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE REGULATIONS.
2. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONTACT. ALL DAMAGE TO EXISTING UTILITIES OR IMPROVEMENT CAUSED BY CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
3. THE WORK AND MATERIALS NECESSARY FOR MEETING THESE SPECIFICATIONS SHALL BE INCLUDED IN THE UNIT COST OF THE LANDSCAPE PLANT MATERIAL.
4. ALL PLANTING SHALL BE IN COMPLIANCE WITH ALL LOCAL AND STATE LAWS AND LOCAL CODE REQUIREMENTS.



1 TREE PRESERVATION BARRICADE FENCING
 3/29/12



Handwritten signature or initials.