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## Staff Report for Item 6b

**To:** Chairman Michael Miller and Historic Architectural Review  
Commission Members

**From:** Kelly Perkins  
HARC Assistant Planner

**Meeting Date:** April 28, 2015

**Applicant:** McKendry Builders

**Application Number:** H15-01-0349

**Address:** #921 Center Street

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### Description of Work:

Demolition of shed.

### Site Facts:

#921 Center Street is a condominium development constructed after 1962 and is listed as a non-contributing resource in the survey. According to the Property Appraiser's Office, it was built in 1980. The shed in question is a frame structure that serves as storage and a laundry room. It is not visible from the public right-of-way.

### Ordinance Cited in Review:

Sec. 102-217 (2): Demolition of non-historic or non-contributing buildings, Sec. 102-218: Criteria for demolitions, and Sec. 102-125: Historic architectural review commission findings precedent to issuance in the Land Development Regulations.

### Staff Analysis

This Certificate of Appropriateness proposes the demolition of a frame structure that serves as a laundry room and a storage room. It is not historic and not visible at all. Staff believes it does not meet any of the criteria listed in Sec.102-125, and therefore it can be considered for demolition. As it is not historic, only one reading is required for demolition.

# APPLICATION

# COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE



**City of Key West**

3140 FLAGLER AVENUE  
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

HARC PERMIT NUMBER <b>H15-01-349</b>	BUILDING PERMIT NUMBER <b>15-884</b>	INITIAL & DATE <b>AW</b>
FLOODPLAIN PERMIT		REVISION #
FLOOD ZONE	PANEL #	ELEV. L. FL.
SUBSTANTIAL IMPROVEMENT YES NO %		

ADDRESS OF PROPOSED PROJECT:

**921 Center St. Key West**

# OF UNITS

RE # OR ALTERNATE KEY:

NAME ON DEED:

**Jens Nielsen**

PHONE NUMBER

**954-540-1117**

OWNER'S MAILING ADDRESS:

**921 Center St**

EMAIL

**Jnielsen9545401117@gmail.com**

CONTRACTOR COMPANY NAME:

**McKendry Builders inc**

PHONE NUMBER

**305-304-7937**

CONTRACTOR'S CONTACT PERSON:

**Brian McKendry**

EMAIL

**mckendrybuildersinc@earthlink.net**

ARCHITECT / ENGINEER'S NAME:

ARCHITECT / ENGINEER'S ADDRESS:

PHONE NUMBER

EMAIL

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**MAR 10 2015**  
**MC 8-35**

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING:  YES  NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT:

**\$11,500.00**

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT TYPE:  ONE OR TWO FAMILY  MULTI-FAMILY  COMMERCIAL  NEW  REMODEL  
 CHANGE OF USE / OCCUPANCY  ADDITION  SIGNAGE  WITHIN FLOOD ZONE  
 DEMOLITION  SITE WORK  INTERIOR  EXTERIOR  AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC.,

**Storage shed Install new pre-fabricated shed Anchor to existing slab or build foundation piers if required (Build 6" fence property line After shed is in place we will pull permits for electric, plumbing for laundry room)**

I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOVT AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT.

OWNER PRINT NAME: <b>JENS NIELSEN</b>	QUALIFIER PRINT NAME: <b>Brian McKendry</b>
OWNER SIGNATURE: <i>Jens Nielsen</i>	QUALIFIER SIGNATURE: <i>Brian McKendry</i>
Notary Signature as to owner: <i>[Signature]</i>	Notary Signature as to qualifier: <i>[Signature]</i>
STATE OF FLORIDA, COUNTY OF MONROE, BORN TO AND SCRIBED BEFORE ME THIS <u>10</u> DAY OF <u>March</u> , 20 <u>15</u>	STATE OF FLORIDA, COUNTY OF MONROE, BORN TO AND SCRIBED BEFORE ME THIS <u>10</u> DAY OF <u>March</u> , 20 <u>15</u>

PERSONALLY KNOWN OR PRODUCED AS IDENTIFICATION.

KEYWORD: **KEYWORD** Type: **RP** Drawer: **1**  
 Date: **3/11/15 50** Receipt no: **16018**  
 STATE OF FLORIDA, COUNTY OF MONROE, BORN TO AND SCRIBED BEFORE ME THIS 10 DAY OF March, 2015  
 Transaction number: **3042524**  
 Transaction amount: **\$50.00**  
 Transaction fee: **\$100.00**  
 Transaction total: **\$150.00**  
 Transaction date: **3/11/15**  
 Transaction time: **13:30**  
 Transaction location: **MARTA CABALEIRO**  
 Commission # **FF-080432**  
 Expires February 22, 2018  
 Bonded Thru Troy Fain Insurance 801-385-7312

**PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS**

PROPERTY STRUCTURES AFFECTED BY PROJECT:  MAIN STRUCTURE  ACCESSORY STRUCTURE  SITE

ACCESSORY STRUCTURES:  GARAGE / CARPORT  DECK  FENCE  OUTBUILDING / SHED

FENCE STRUCTURES:  4 FT.  6 FT. SOLID  6 FT. / TOP 2 FT. 50% OPEN

POOLS:  INGROUND  ABOVE GROUND  SPA / HOT TUB  PRIVATE  PUBLIC  
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.  
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING:  NEW  ROOF-OVER  TEAR-OFF  REPAIR  AWNING  
 5 V METAL  ASPLT. SHGLS.  METAL SHGLS.  BLT. UP  TPO  OTHER

FLORIDA ACCESSIBILITY CODE:  20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE:  # OF SINGLE FACE  # OF DOUBLE FACE  REPLACE SKIN ONLY  BOULEVARD ZONE  
 POLE  WALL  PROJECTING  AWNING  HANGING  WINDOW  
 SQ. FT. OF EACH SIGN FACE:

**SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:**

*Existing re-hook up*

MECHANICAL:  DUCTWORK  COMMERCIAL EXH. HOOD  INTAKE / EXH. FANS  LPG TANKS  
 A/C:  COMPLETE SYSTEM  AIR HANDLER  CONDENSER  MINI-SPLIT

ELECTRICAL:  LIGHTING  RECEPTACLES  HOOK-UP EQUIPMENT  LOW VOLTAGE  
 SERVICE:  OVERHEAD  UNDERGROUND  1 PHASE  3 PHASE  AMPS

PLUMBING:  ONE SEWER LATERAL PER BLDG.  INGROUND GREASE INTCPTRS.  LPG TANKS

RESTROOMS:  MEN'S  WOMEN'S  UNISEX  ACCESSIBLE

**PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS**

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100  
 PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.  
 ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: [harc@cityofkeywest-fl.gov](mailto:harc@cityofkeywest-fl.gov)

INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS:  GENERAL  DEMOLITION  SIGN  PAINTING  OTHER

**ADDITIONAL INFORMATION:**

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA		
ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:
<i>We will use Hardie Siding</i>	<i>Vinyl</i>	<i>Hardie siding</i>

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B)  BUSINESS SIGN  BRAND SIGN  OTHER: \_\_\_\_\_

BUSINESS LICENSE # \_\_\_\_\_

IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE \_\_\_\_\_ \* BUILDING PERMITS-NEW

Oper: KEYWBLD Type: BP Drawer: 1  
 Date: 3/24/15 50 Receipt no: 17222

2015 1800349  
 Trans number: 1.00 \$50.00  
 CK CHECK 3113 \$50.00

Trans date: 3/23/15 Time: 16:59:35

SIGN SPECIFICATIONS		
SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY:		INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.

OFFICIAL USE ONLY:		HARC STAFF OR COMMISSION REVIEW	
___ APPROVED ___ NOT APPROVED ___ DEFERRED FOR FUTURE CONSIDERATION ___ TABLED FOR ADD'L. INFO.			
HARC MEETING DATE:	HARC MEETING DATE:	HARC MEETING DATE:	
REASONS OR CONDITIONS:			
STAFF REVIEW COMMENTS:			
HARC PLANNER SIGNATURE AND DATE:		HARC CHAIRPERSON SIGNATURE AND DATE:	

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 MAR 10 2015  
 BY: me 8:35

**PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS**

FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

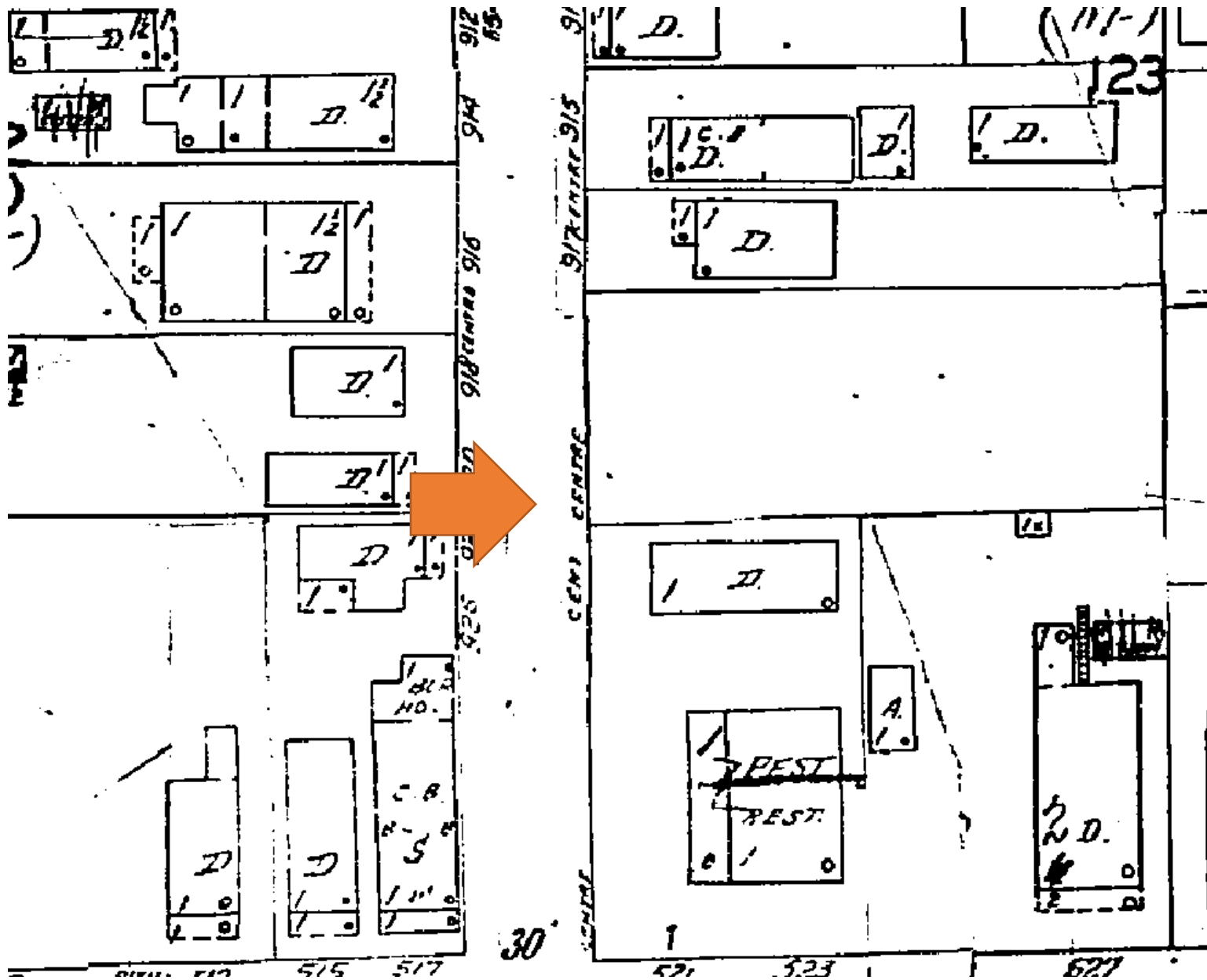
FLORIDA STATUTE 469: ABESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 489.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS

PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT ATHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USDEP ON STRUCTURES BUILT PRIOR TO 1978.

OFFICIAL USE ONLY BY PLANS EXAMINER OR CHIEF BUILDING OFFICIAL:				CBO OR PL. EXAM. APPROVAL:	
HARC FEES:	BLDG. FEES:	FIRE MARSHAL FEE:	IMPACT FEES:		
				DATE:	

# SANBORN MAPS



1962 Sanborn Map



2011 Google Earth Aerial



# PROJECT PHOTOS



921 Center Street today.





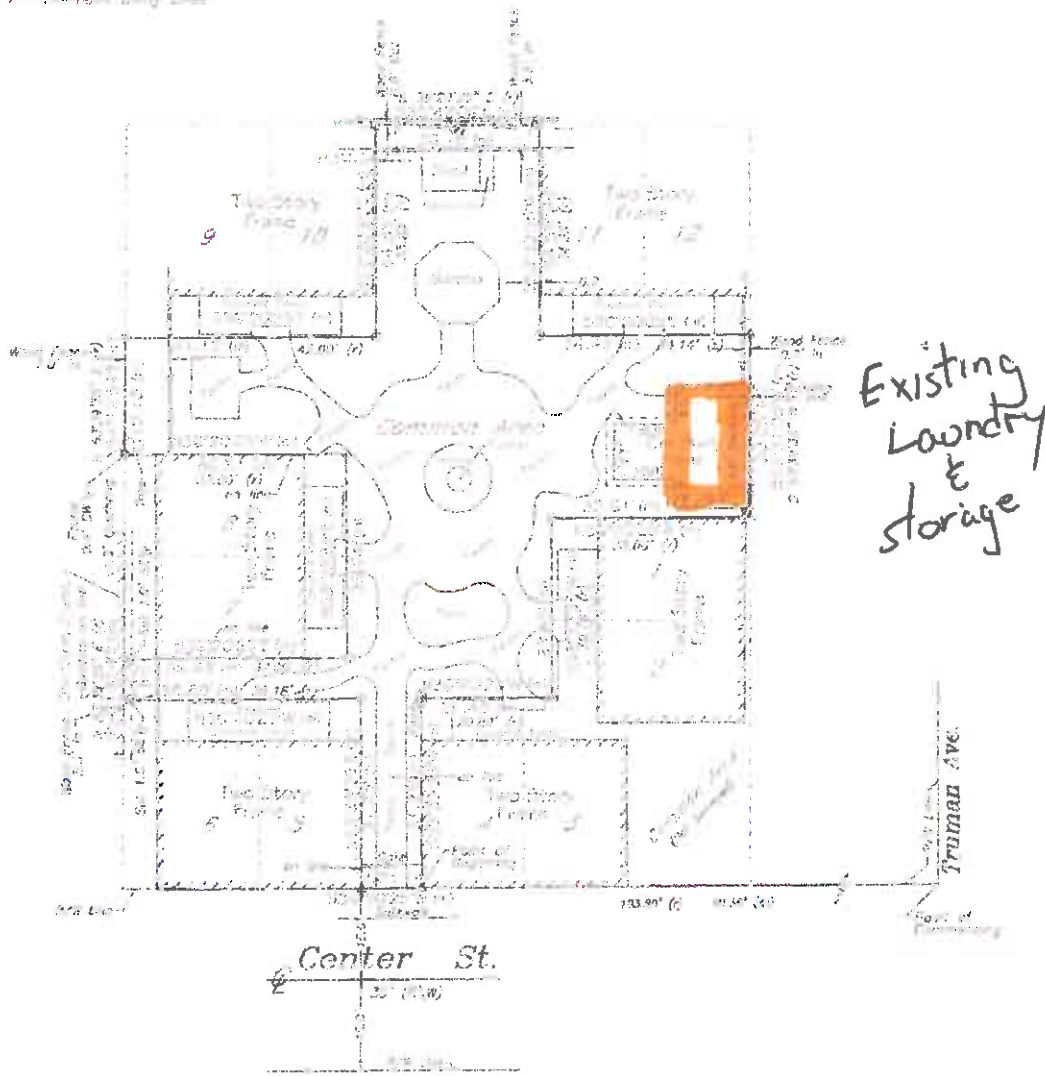


# PROPOSED DESIGN

# Boundary Survey Map of main Common Area OLD TOWN GARDEN VILLAS

## LEGEND

- Found 1/2" Iron Rod (Unmarked)
- Set 1/2" Iron Pipe (Found)
- △ Set Iron Pipe (Found)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- (S/R) Sight of Survey
- ⊥ Easement
- D.F.D. Concrete Block Structure
- Wood Utility Pole
- One Way Utility Line



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 MAR 1 2015

BY: *AK 8.25*

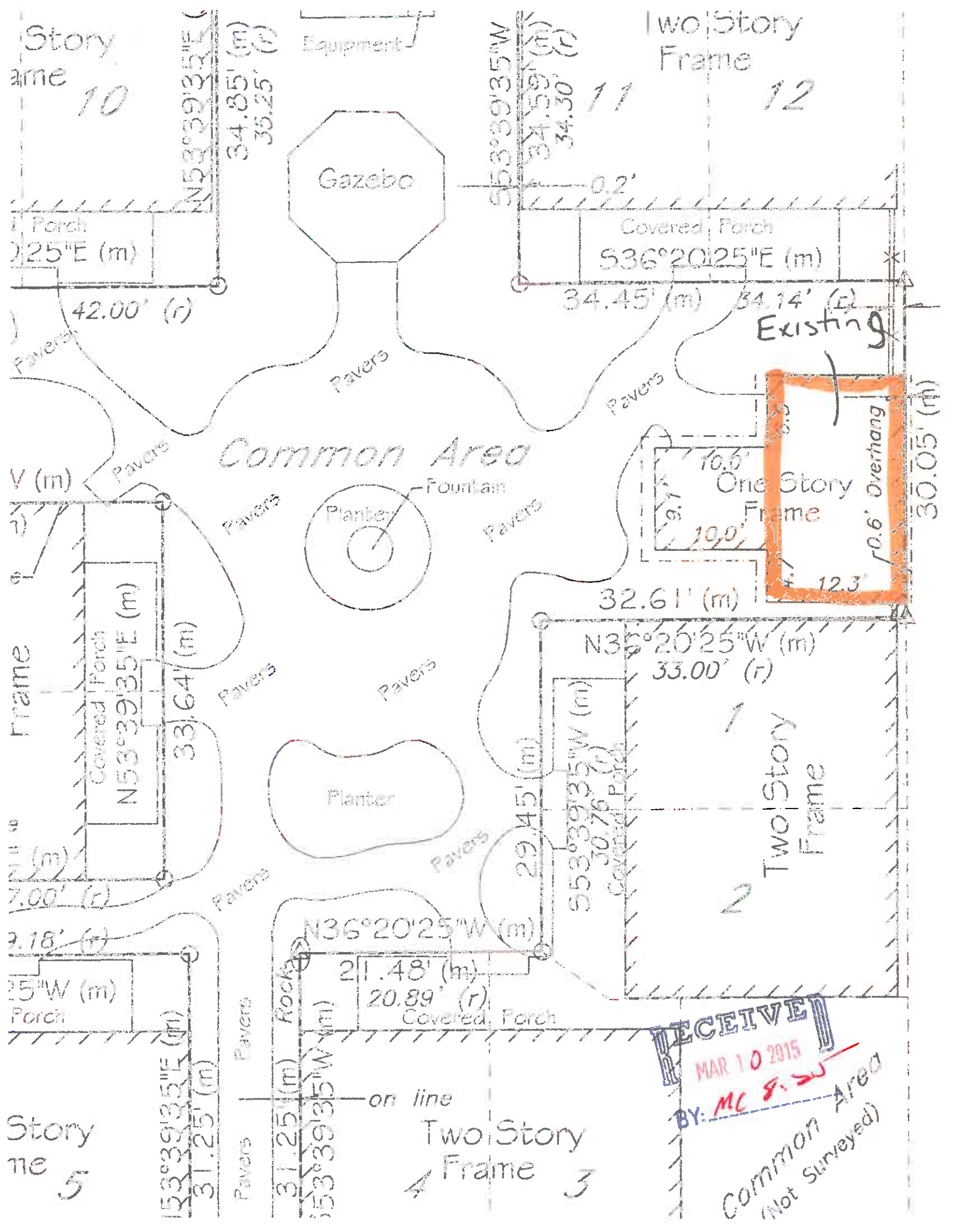
Sheet One of Two Sheets

**J. LYNN O'FLYNN, Inc.**

Professional Surveyor & Mapper  
1942 3220N

3430 Duck Ave., May West, FL 32940  
 (888) 232-7400 FAX (888) 232-2044

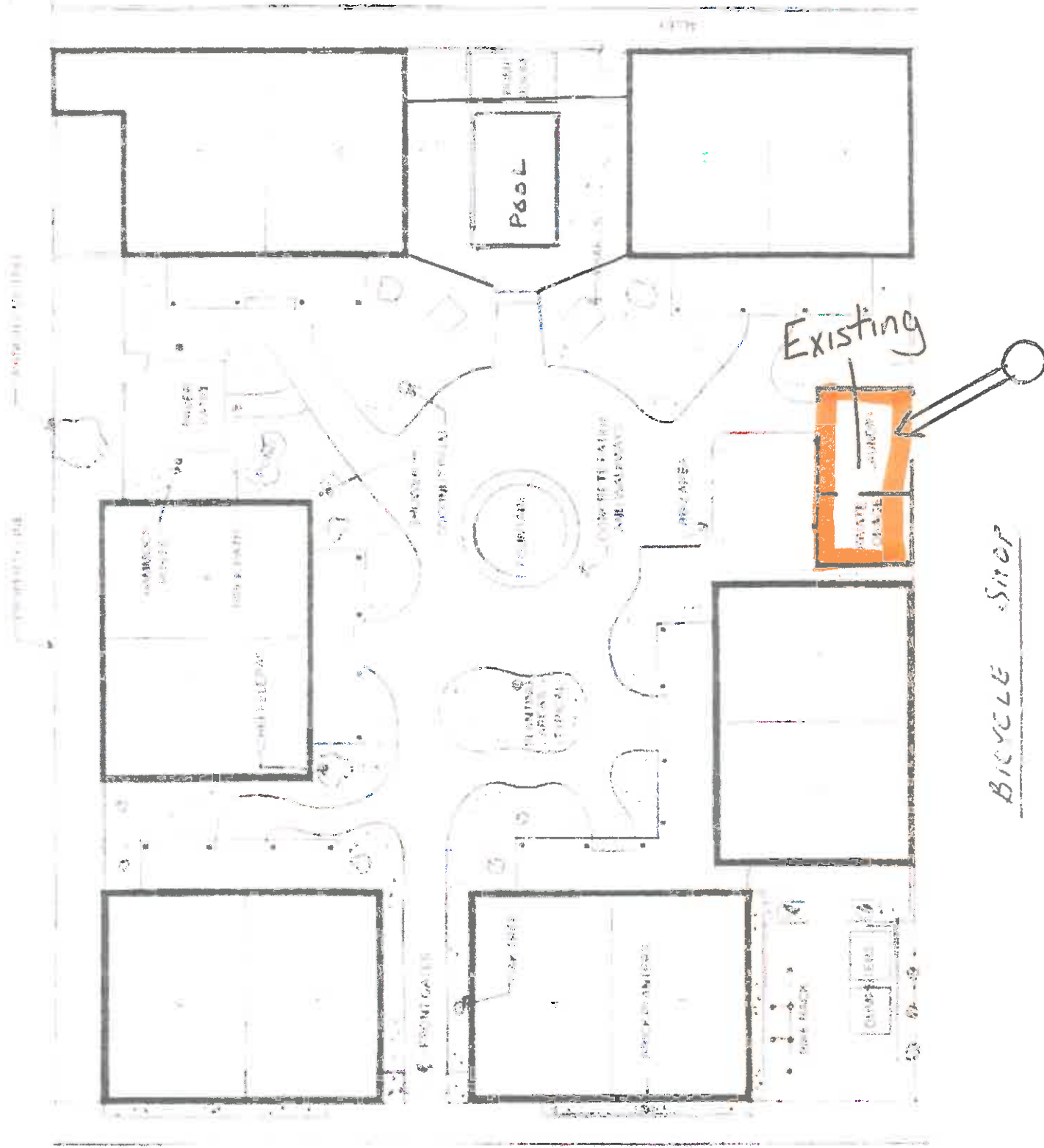
Note: This Survey Map is not to be complete without the detailed Plans. Contact



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 MAR 10 2015

BY: *MC 8.20*  
 Common Area  
 (Not Surveyed)





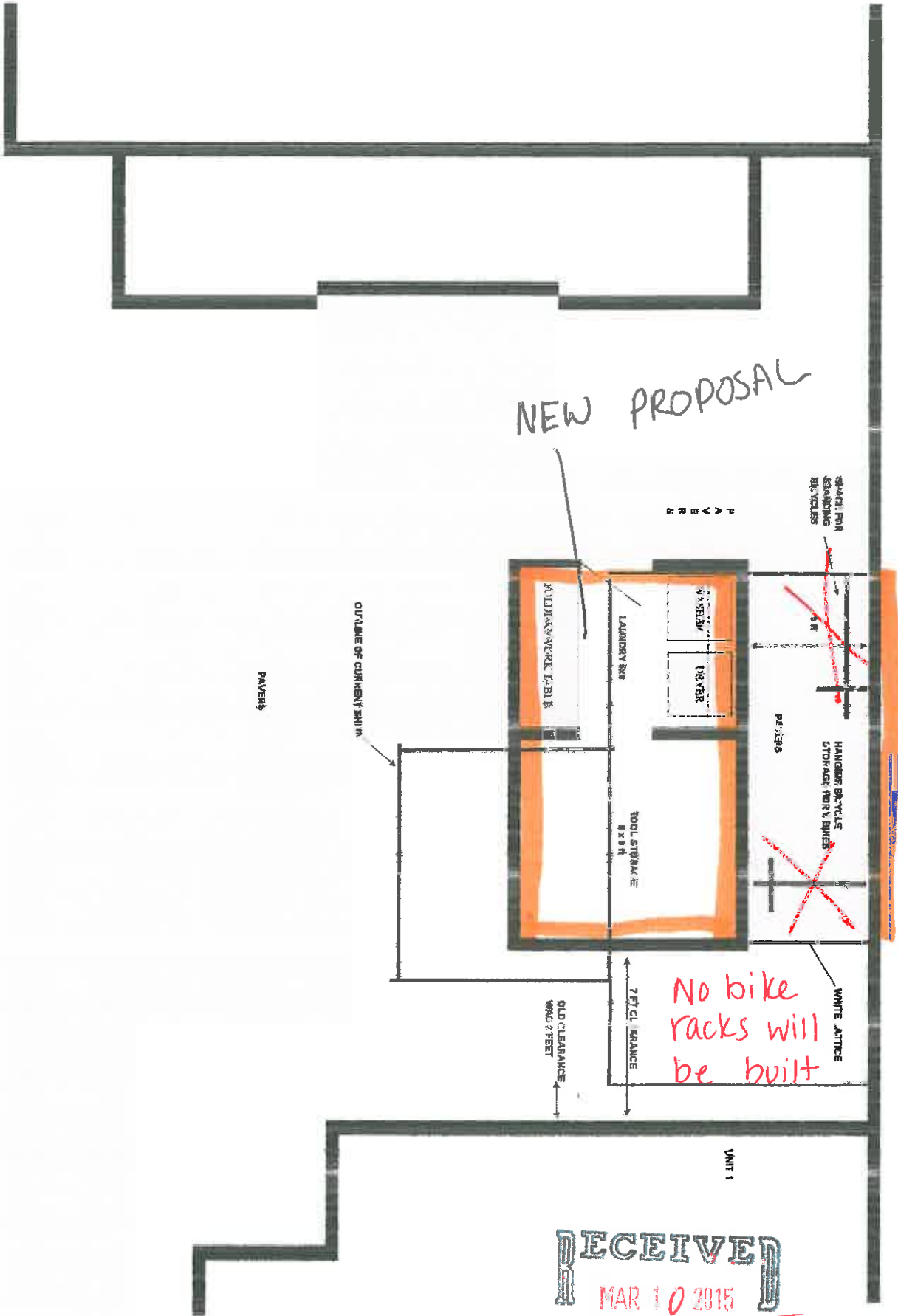
CENTER STREET

4A

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8th Fl  
**NEW FENCE**

**NEW PROPOSAL**



No bike racks will be built

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MAR 10 2015

BY: MC 8:25

# 180 mph (ult) - Standard Wood Shed Master Plan

## GENERAL NOTES:

- THIS STRUCTURE WAS DESIGNED IN ACCORDANCE WITH THE 2009 IBC BUILDING CODE & 2010 FLORIDA BUILDING CODE. WIND LOADING DESIGNED IN ACCORDANCE WITH THE ASCE - 7-10.
- ALL MATERIALS AND LABOR SHALL BE IN ACCORDANCE WITH THE ABOVE CODE AND ALL OTHER APPLICABLE LOCAL CODES AT THE TIME OF MANUFACTURE.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSION.
- OUTSIDE OVERALL DIMENSIONS CAN VARY BETWEEN LIMITS SHOWN BUT MEMBER SPACING SHALL NOT EXCEED LIMITS AS INDICATED.
- LUMBER USED FOR CONSTRUCTION SHALL BE AS FOLLOWS:  
 FLOOR JOISTS: S.Y.P. 2x's #2-(12-15% MOISTURE CONTENT)  
 WALL STUDS: 2x4 S.Y.P. #2-(12-15% MOISTURE CONTENT)  
 ROOF RAFTERS: S.Y.P. 2x's #2-(12-15% MOISTURE CONTENT)  
 COLLAR TIES- 2x4 S.Y.P. #2-(12-15% MOISTURE CONTENT)  
 WINDOW SILLS- 2x4 S.Y.P. #2-(12-15% MOISTURE CONTENT)  
 WHEN S.Y.P. #2 IS USED, THE FRAMING MUST BE SPACED AT 18" O.C., MAX. WITHIN 3'-0" FROM EACH SIDE OF EACH CORNER, THE REST OF THE FRAMING MAY BE SPACED AT 16" O.C., MAX.
- ALL OF THE FOLLOWING LUMBER SHALL BE PRESSURE TREATED: SKIDS, FLOOR JOISTS AND 3/4" T&G FLOOR SHEATHING
- TRUSS DESIGNED TO SUPPORT D.L.+L.L.=30 P.S.F.
- HANDICAP ACCESS TO BUILDING IS FIELD INSTALLED BY OTHERS AND SUBJECT TO LOCAL JURISDICTION APPROVAL.
- ALL ALUMINUM TO BE 3005-3105 ALLOY WITH 32,000 PSI MINIMUM YIELD STRENGTH.
- ROOF SLOPE SHALL BE 3:12 WHEN SHINGLES ARE APPLIED, SEE FBC 1507.2 FOR SHINGLE REQUIREMENTS. ROOF SLOPE FOR METAL ROOFS SHALL MEET MANUFACTURER'S RECOMMENDATIONS.
- ROOF RAFTERS SHALL HAVE THE SAME SPACING AS THE WALL STUDS AND SHALL BE LOCATED DIRECTLY OVER THE WALL STUD.
- ROOF SLOPES BETWEEN 2:12 AND 4:12 SHALL HAVE A DOUBLE UNDERLAYMENT APPLICATION IN ACCORDANCE WITH SECTION 1507.2.8 OF THE F.B.C. 2010
- WHEN ROOFING PANELS ARE PLACED VERTICALLY DADO IN 1x4's AT 24" O.C., MAX. FASTEN TO EACH RAFTER w/ (3) - 0.131" x 2 1/4" LONG GUN NAILS OR 3"x1 1/4" x 1 1/2" Ga. HAT CHANNEL PURLINS ARE REQUIRED, WITH A MAX SPACING OF 4' O.C.
- ANCHORS SHALL MEET THE REQUIREMENTS OF ALL APPLICABLE LOCAL CODES AND THIS IS NOT A FOUNDATION DESIGN.
- ALUMINUM WINDOWS - TYPE, SIZE, QUANTITY, AND LOCATION MAY VARY.
- ALL FASTENERS INTO P.T. WOOD SHALL BE HOT DIPPED GALVANIZED FASTENERS.
- MANUFACTURER INSTALLATION STANDARDS SHALL BE FOLLOWED IN ORDER FOR THESE DESIGN DRAWINGS TO ACCURATELY REFLECT FIELD PERFORMANCE CONDITIONS.
- THESE STRUCTURES SHALL NOT BE USED FOR COMBUSTIBLE OR HAZARDOUS MATERIAL.

## Amazon Sheds & Gazebos Inc.

10311 Bonita Beach Road  
Bonita Springs, FL 34135

Sheet Index	
S1.0	Cover - General & Design Notes
S1.1	Electrical & General Floor Plan
S1.2	Skids & Floor Framing Plan
S1.3	Skid and Floor Framing Details
S1.4	Openings Schedule & Framing
S1.5	Roof Framing & Schedule
S1.6	Typical Frame Section Details
S1.7	End Wall Frame Options

## GENERAL NOTES CONTINUED:

- OPTIONAL EXTERIOR WALL COVERINGS INCLUDE CORRUGATED ALUMINUM, MASA ALUMINUM, 4" LAP ALUMINUM, 5/8" P.T. T-1-11 SIDING, VINYL SIDING WITH ENERGY BRACE BACKER, HARDI BOARD, STEEL SIDING AND "PLEKO" STUCCO ON 5/8" DENSE GLASS GOLD.
- ALL DOORS SHALL BE ABLE TO BE OPENED FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY.
- DOOR SHALL BE 2 1/4" x 1 1/16" ALUMINUM EXTRUDED FRAME WITH AN ALUMINUM PANEL INSERT. ALUMINUM TRIM AND ALUMINUM PIANO HINGE ATTACHED WITH ALUMINUM RIVETS. DOOR ATTACHED TO VERTICAL 2x4.
- OPTIONAL DOORS INCLUDE DOUBLE ALUMINUM DOORS, GARAGE DOORS, 60" x 72" ALUMINUM DOOR, 32" AND 48" SINGLE DOORS, AND PRE HUNG STEEL DOORS. TYPE, SIZE, QUANTITY, AND LOCATION MAY VARY.
- PREMANUFACTURED DOORS THAT MEET APPLICABLE CODES MAY BE USED INSTEAD OF DOORS LISTED ABOVE
- MAXIMUM WALL HEIGHT TO BE 8'-0", STUD AND RAFTER SPACING SHALL BE 16" O.C., Max. FOR ANY WALL HEIGHT ABOVE 7'-0", WALLS UNDER 7'-0" IN HEIGHT MAY HAVE FRAMING SPACED AT 24" O.C., Max.
- ALL BRAND MATERIALS SPECIFIED MAY BE SUBSTITUTED FOR EQUIVALENT OR GREATER PRODUCT.
- ALL BUILDINGS (EXCEPT THOSE IN USE AS AN ACCESSORY BUILDING FOR A ONE OR TWO FAMILY DWELLING UNDER 400sq.ft.) MUST HAVE ATLEAST (1) 32"x80" (MIN.) DOOR.

## DESIGN PARAMETERS:

[WIND DESIGN PER ASCE 7-10, SEISMIC DESIGN PER AISC 341-05]

- WIND VELOCITY: 180mph (ULTIMATE)
  - WIND IMPORTANCE FACTOR: 1.0
  - WIND EXPOSURE: C
  - INT. PRESSURE COEFFICIENT: 0.18 ±
  - ENCLOSURE CLASSIFICATION: ENCLOSED
  - COMPONENTS AND CLADDING:
    - GABLE LOAD (ZONE #1): +26.5/-54.2 PSF
    - GABLE LOAD (ZONE #2): +26.5/-76.3 PSF
    - GABLE LOAD (ZONE #3): +26.5/-120.5 PSF
    - HIP ROOF LOAD (ZONE #1): +26.5/-54.1 PSF
    - HIP ROOF LOAD (ZONE #2): +26.5/-76.3 PSF
    - HIP ROOF LOAD (ZONE #3): +26.5/-76.3 PSF
    - WALL LOAD (ZONE #4): +57.6/-63.1 PSF
    - WALL LOAD (ZONE #5): +58.1/-68.6 PSF
    - WALL LOAD (ZONE #4#5): +58.1/-68.6 PSF
  - FLOOR DESIGN LIVE LOAD: 125 PSF
  - FLOOR DESIGN DEAD LOAD: 12 PSF
  - ROOF DESIGN LIVE LOAD: 20 PSF
  - ROOF DESIGN DEAD LOAD: SELF WEIGHT
  - WALL DESIGN LOAD: 8 PSF
  - COMBINATION LOADS: AS PER ASCE 7-10
  - SEISMIC USE GROUP: B
  - BUILDING CATEGORY: I
  - BUILDING OCCUPANCY: Residential Lawn Storage
  - CONSTRUCTION TYPE: V B
  - ALLOWABLE FLOORS: 1
  - EXTERIOR WALL FIRE RATING: 0
  - DESIGN OVERHANG: 8 INCH
  - DESIGN MEETS INTERNATIONAL BUILDING CODE 2009 & FLORIDA BUILDING CODE 2010
  - THE CONTRACTOR/MANUFACTURER MUST COMPLY WITH THE FOLLOWING CODES:
    - 2010 FLORIDA BUILDING CODE
    - 2010 FLORIDA MECHANICAL CODE
    - 2010 FLORIDA PLUMBING CODE
    - 2012 FLORIDA ACCESSIBILITY CODE
    - 2009 INTERNATIONAL BUILDING CODE
- THESE BUILDINGS ARE EXEMPT FROM THE THE 2010 FBC ENERGY CODE IN ACCORDANCE WITH 101.5.2

## SITE INSTALLED ITEMS:

- THE COMPLETE FOUNDATION SUPPORT AND TIE-DOWN SYSTEM.
  - RAMPS, STAIRS AND GENERAL ACCESS TO THE BUILDING.
  - ELECTRICAL SERVICE HOOKUP (INCLUDING FEEDERS) TO THE BUILDING.
  - ROOF DRAINAGE SHALL COMPLY WITH F.B.C. 2010 1503 AND R318.6
- NOTE: THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIALS THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTION APPROVAL.

Approval Stamps:

**"REVISED"**

Date: 9/19/12  
 Approved By: R. Bullock  
 Richard L. Bullock  
 Modular Building Plans Examiner Florida Certificate #3012

Revised seal plans on file at NDI headquarters

Working as agent for DBPR  
 These Prints comply with the Florida Manufactured Bld. Act and adopted Codes and Adhere to the following Criteria:  
 Construction Type: V  
 Occupancy: S  
 Allowable # Floors: 1  
 Wind Velocity: 180  
 Fire Rating of Ext. Walls: 0  
 Plan #: Standard  
 Allow. Floor Load: 125  
 Approval Date: 9/19/12  
 Mark: Amazon  
 Approval of this Document does not Authorize or Approve any Deviation From the requirements of applicable State Laws

**RECEIVED**  
 MAR 13 2015  
 BY: MC J-25

NDI  
**"APPROVED"**  
 DOCUMENT

08/23/12

*Richard R. Dancy*



**Haney Associates, Inc.**  
 Engineering & Construction Planning  
 P.O. Box 348, Six Mile, S.C. 29682 - Phone: 864-646-7600

These Plans Were Designed in Accordance with the 2010 Florida Building Code for a Ultimate Wind Speed up to 180 m.p.h.

## Standard Wood Shed Master Plan

Amazon Sheds & Gazebos Inc.  
 10311 Bonita Beach Road  
 Bonita Springs, FL 34135

Designed By: O.R.H.  
 Project No: 12EN782  
 Checked By: C.L.A.  
 Date: 08/23/12

Sheet Number:

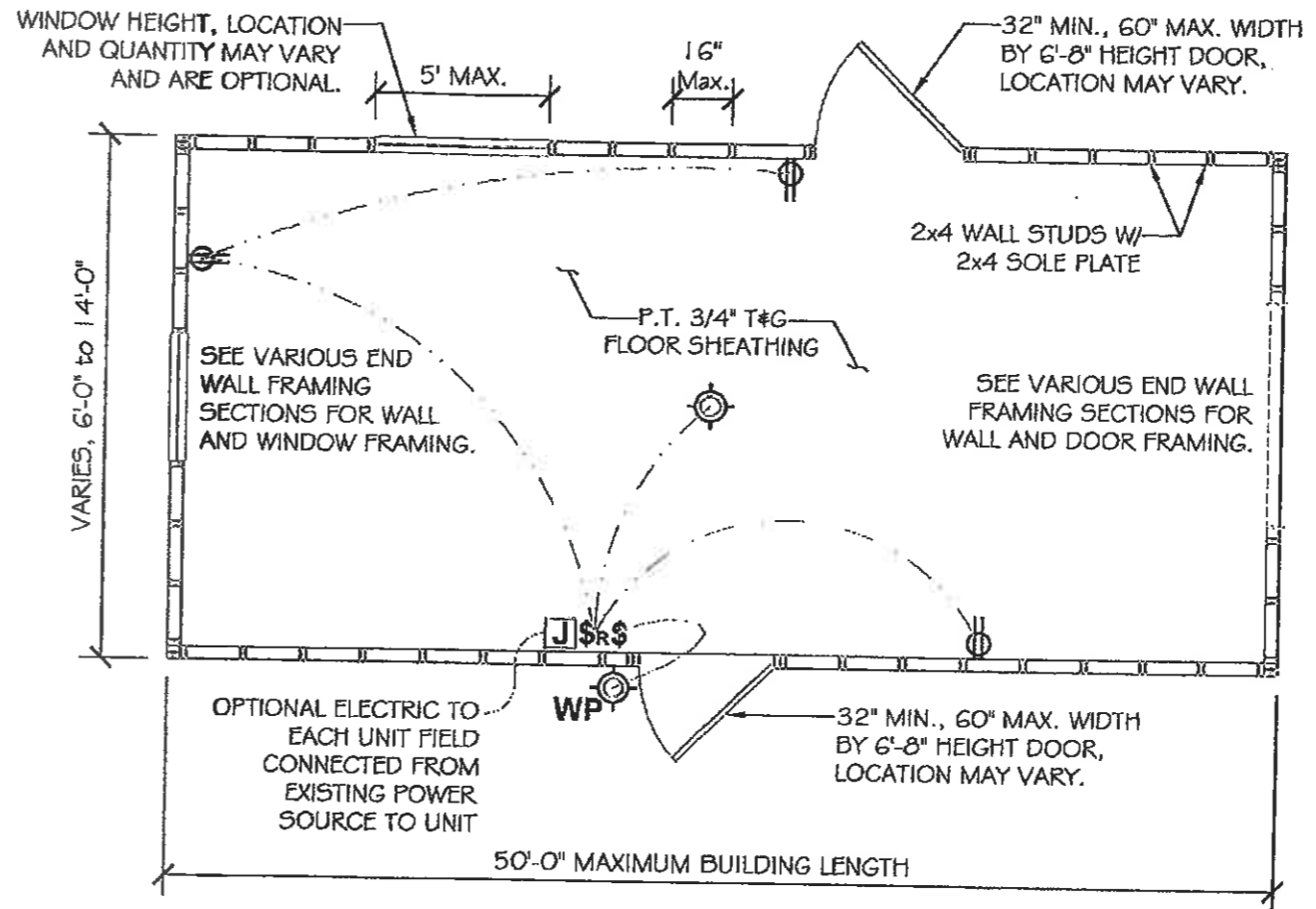
**S1.0**

1 of 8

**ELECTRICAL NOTES:**

1. WHEN AIR CONDITIONING IS INSTALLED IN THIS BUILDING, IT SHALL BE THE RESPONSIBILITY OF THE HVAC CONTRACTOR AND ELECTRICAL CONTRACTOR TO VERIFY WIRE AND BREAKER SIZES FOR ACTUAL HVAC UNIT(S) INSTALLED. ALL WIRING TO BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE LATEST EDITION AS WELL AS THE F.B.C. ENERGY CODE LATEST EDITION.
2. FLEXIBLE CONDUIT FOR LIGHT FIXTURES.
3. EACH CIRCUIT IS TO HAVE CONTINUOUS SOLID COPPER INSULATED GROUND WIRE CONNECTED TO EQUIPMENT GROUND BAR IN THE MAIN DISTRIBUTION PANEL.
4. EQUIPMENT GROUND BAR IN MAIN DISTRIBUTION PANEL IS TO BE GROUNDED TO MINIMUM 10'-0" COPPER CLAD EARTH DRIVEN ROD WITH GROUNDING CLAMP APPROVED FOR DIRECT BURIAL.
5. ALL CONDUIT TERMINATIONS OF 1" OR LARGER ARE TO HAVE PLASTIC INSULATED BUSHINGS.
6. ALL ELECTRICAL WORK IS TO BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC), LIFE SAFETY CODE (NFPA 101), LATEST EDITIONS.
7. HVAC EQUIPMENT SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE EQUIPMENT SERVED. A UNIT SWITCH WITH A MARKED "OFF" POSITION THAT IS PART OF THE HVAC EQUIPMENT SHALL BE PERMITTED AS THE DISCONNECTING MEANS ONLY WHERE OTHER DISCONNECTING MEANS ARE ALSO PROVIDED BY A READILY ACCESSIBLE CIRCUIT BREAKER.
8. PRIOR TO ENERGIZING THE ELECTRICAL SYSTEM THE INTERRUPTING RATING OF THE MAIN BREAKER MUST BE DESIGNED AND VERIFIED AS BEING IN COMPLIANCE WITH SEC. 110-9 OF THE NEC BY A LOCAL ELECTRICAL CONSULTANT.
9. THE MAIN ELECTRICAL PANEL, FEEDERS, POWER HOOKUP TO BUILDING (INCLUDING ALL DISCONNECTS, OVER CURRENT DEVICES, PANELS, GROUNDING, ETC.) IS DESIGNED BY OTHERS, SITE INSTALLED, SUBJECT TO LOCAL JURISDICTION APPROVAL.
10. ALL WIRES TO SWITCHES AND OUTLETS TO BE #12 AWG THHN AND WILL MEET THE COLOR CODE REQUIREMENTS SET FORTH IN THE NFPA 70, NATIONAL ELECTRICAL CODE.
11. ALL ELECTRICAL OUTLETS SHALL BE GFCI IN ACCORDANCE WITH ARTICLE 1210.8(A)(2) NEC-08.

Electrical Symbol Key	
	GFCI Duplex Receptacle 120V 1Ø
	Incandescent Light w/ (1)-60w Bulb
	Junction Box
	Switch
	Weatherproof
	Switch w/ Receptacle Outlet 120v 1Ø



- NOTES:
- ALL ELECTRICAL EQUIPMENT SHOWN IS OPTIONAL AND LOCATIONS MAY VARY.
  - ADVANTECH FLOORING OF EQUAL OR GREATER THICKNESS MAY BE SUBSTITUTED FOR P.T. PLYWOOD FLOOR SHEATHING

Typical Floor Plan  
SCALE: 1/4" = 1'-0"

Approval Stamps:

Date: 9/19/12  
 Approved By: R. Bulluck  
 Plan No. Standard  
 Richard L. Bulluck  
 Modular Building Plans Examiner Florida Certificate SMP 201

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08/23/12

*Richard K. Haney*



**Haney Associates, Inc.**  
 Engineering & Construction Planning  
 P.O. Box 348, Six Mile, S.C. 29682 - Phone: 864-646-7600

These Plans Were Designed in  
 Accordance with the 2010 Florida  
 Building Code for a Ultimate Wind  
 Speed up to 180 m.p.h.

**Standard Wood Shed Master Plan**  
 Amazon Sheds & Gazebos Inc.  
 10311 Bonita Beach Road  
 Bonita Springs, FL 34135

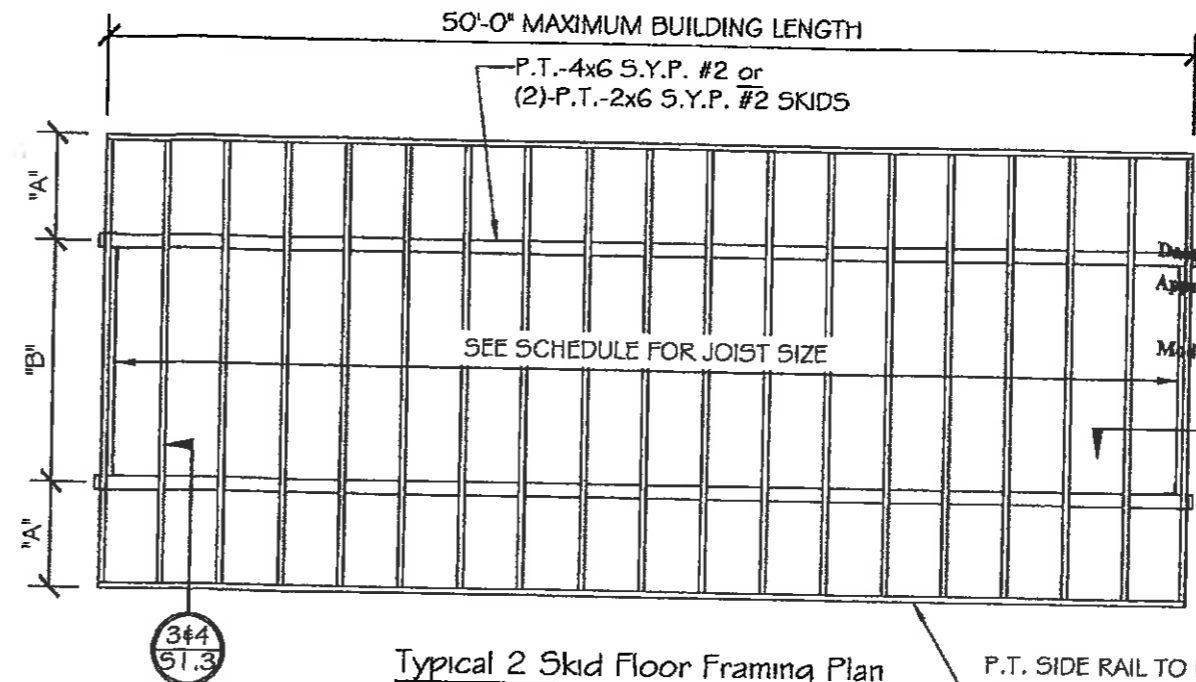
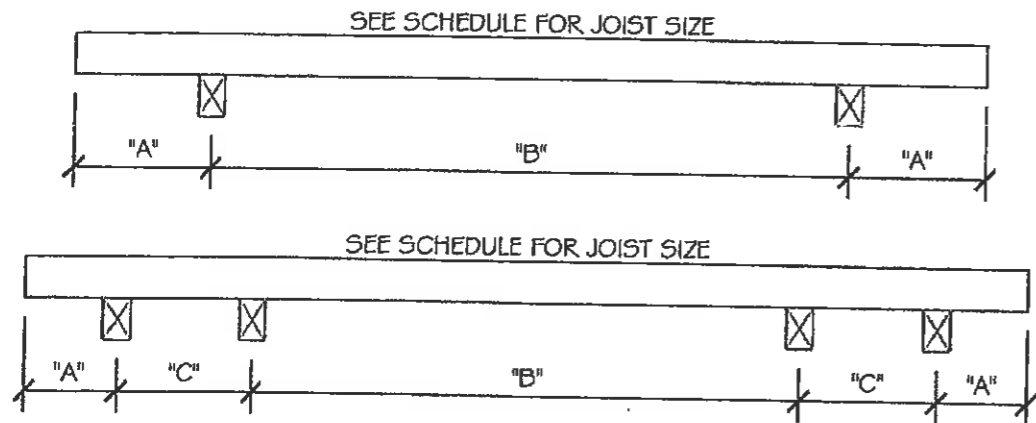
Designed By: O.R.H. Project No. 12EN782  
 Checked By: C.L.A. Date: 08/23/12

Sheet Number:  
**S1.1**  
 2 of 8

SKID LAYOUT AND FLOOR FRAMING SCHEDULE				
125 psf Live Load				
Width	Joist Size & Spacing	A	B	C
6'-0"	2x4's @ 16" O.C., Max.	12"	48"	N/A
7'-0"	2x6's @ 16" O.C., Max.	16"	52"	N/A
8'-0"	2x6's @ 16" O.C., Max.	16"	64"	N/A
10'-0"	2x6's @ 16" O.C., Max.	18"	84"	N/A
11'-0"	2x6's @ 16" O.C., Max.	12"	72"	18"
12'-0"	2x8's @ 16" O.C., Max.	12"	72"	24"
13'-0"	2x8's @ 16" O.C., Max.	18"	78"	21"
14'-0"	2x8's @ 16" O.C., Max.	18"	78"	27"

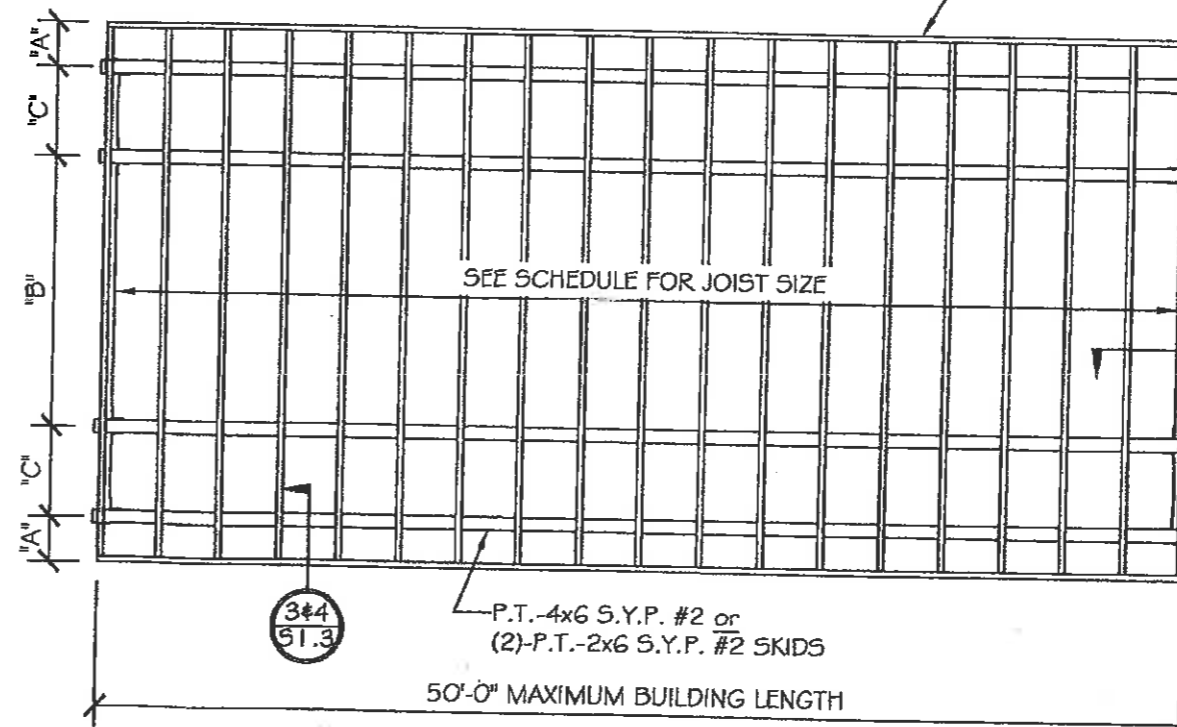
NOTES:

- FASTENERS WILL MEET THE MINIMUM REQUIREMENTS FOR ALL STRUCTURAL COMPONENTS AS SET FORTH UNDER FBC 2304.9.1 AND TABLE 2304.9.1 UNLESS OTHERWISE SPECIFIED.
- ALL SKIDS ARE P.T.-4x6 S.Y.P. #2 or (2)-P.T.-2x6 S.Y.P. #2
- ALL JOISTS ARE TO BE P.T.-S.Y.P. #2
- ADVANTECH FLOORING MAY BE SUBSTITUED FOR P.T. PLYWOOD



Typical 2 Skid Floor Framing Plan  
SCALE: 1/4"=1'-0"

P.T. SIDE RAIL TO MATCH JOIST SIZE, SEE FRAMING SCHEDULE FOR SIZES.



Typical 4 Skid Floor Framing Plan  
SCALE: 1/4"=1'-0"

Approval Stamps:

Date: 9/19/12  
 Approved By: R. Bulluck  
 Plan No. Standard  
 Richard L. Bulluck  
 Modular Building Plans Examiner Florida Certificate 28420

1#2  
51.3

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08/23/12

*Paul R. Haney*



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**Standard Wood Shed Master Plan**  
 Amazon Sheds & Gazebos Inc.  
 10311 Bonita Beach Road  
 Bonita Springs, FL 34135

Designed By: O.R.H. Project No. 12EN782  
 Checked By: C.L.A. Date: 08/23/12

Sheet Number:

**S1.2**

3 of 8

SEE FRAMING SCHEDULE FOR JOIST SIZE

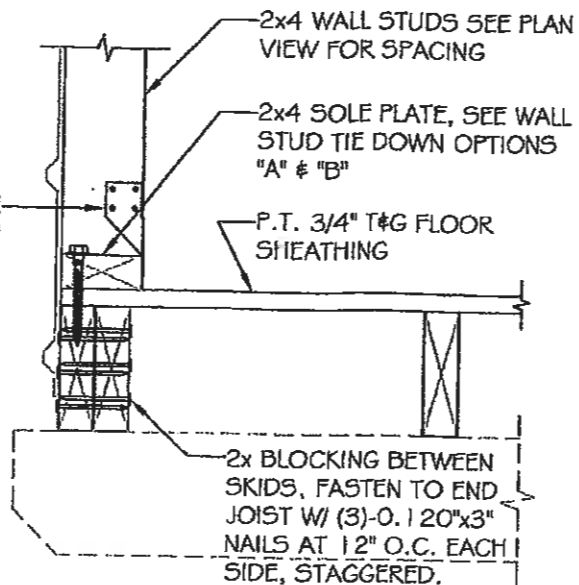
SKIDS MAY BE P.T.-4x6 S.Y.P. #2 OR (2)-P.T.-2x6 S.Y.P. #2



SENCO K28 (OR EQUAL) NAILS AT 12" O.C., ROWS SHALL BE 1.5" FROM EDGE, STAGGER ROWS 6" FOR (2)-P.T.-S.Y.P.-2x6'S SKIDS, START PATTERN WITHIN 6" OF EACH END OF SKID

1 SKID & FLOOR FRAMING DETAIL  
S1.3 SCALE: 3/4"=1'-0"

SEE WALL STUD TIE DOWN OPTIONS "A" & "B"

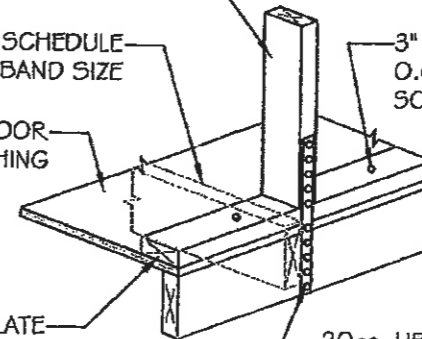


2 END JOIST FRAMING DETAIL  
S1.3 SCALE: 1.5"=1'-0"

2x4 WALL STUDS SEE PLAN VIEW FOR SPACING

SEE FRAMING SCHEDULE FOR JOIST AND BAND SIZE

P.T. 3/4" T&G FLOOR SHEATHING



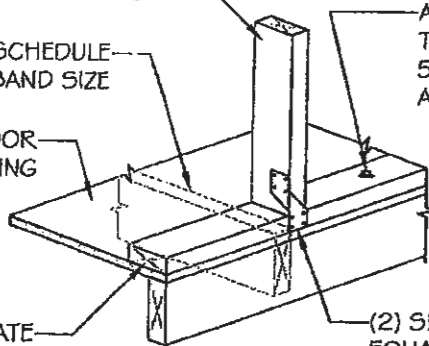
OPTION "A"

3a WALL STUD TIEDOWN DETAIL  
S1.3 SCALE: 3/4"=1'-0"

2x4 WALL STUDS SEE PLAN VIEW FOR SPACING

SEE FRAMING SCHEDULE FOR JOIST AND BAND SIZE

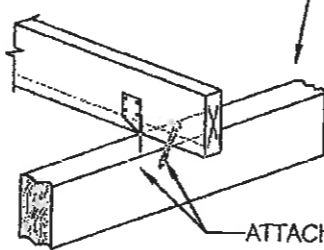
P.T. 3/4" T&G FLOOR SHEATHING



OPTION "B"

3b WALL STUD TIEDOWN DETAIL  
S1.3 SCALE: 3/4"=1'-0"

SKIDS MAY BE P.T.-4x6 S.Y.P. #2 OR (2)-P.T.-2x6 S.Y.P. #2

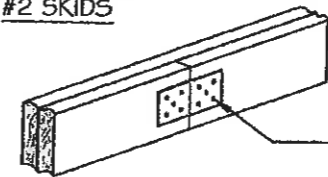
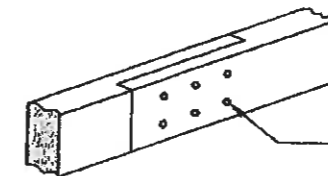


NOTE: ATTACH END JOISTS TO SKID WITH (2)-5/16"x4" LAG SCREWS [OR (4)-0.131x4" GUN NAILS] AND A SIMPSON H-4 [OR EQUAL] AT EACH END OF JOIST.

4 TYPICAL SKID TO JOIST CONNECTION DETAIL  
S1.3 SCALE: 3/4"=1'-0"

P.T.-4x6 S.Y.P. #2 SKIDS

(2)-P.T.-2x6 S.Y.P. #2 SKIDS



5 TYPICAL SKID SPLICING DETAIL  
S1.3 SCALE: 3/4"=1'-0"

Approval Stamps:

9/12 Plan No. Standard  
By R. Bullock

Richard L. Bullock

Modular Building Plans Examiner Florida Certificate #11111

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08/23/12

*Richard L. Bullock*



**Haney Associates, Inc.**  
Engineering & Construction Planning

P.O. Box 348, Six Mile, S.C. 29682 - Phone: 864-646-7600

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**Standard Wood Shed Master Plan**

Amazon Sheds & Gazebos Inc.  
10311 Bonita Beach Road  
Bonita Springs, FL 34135

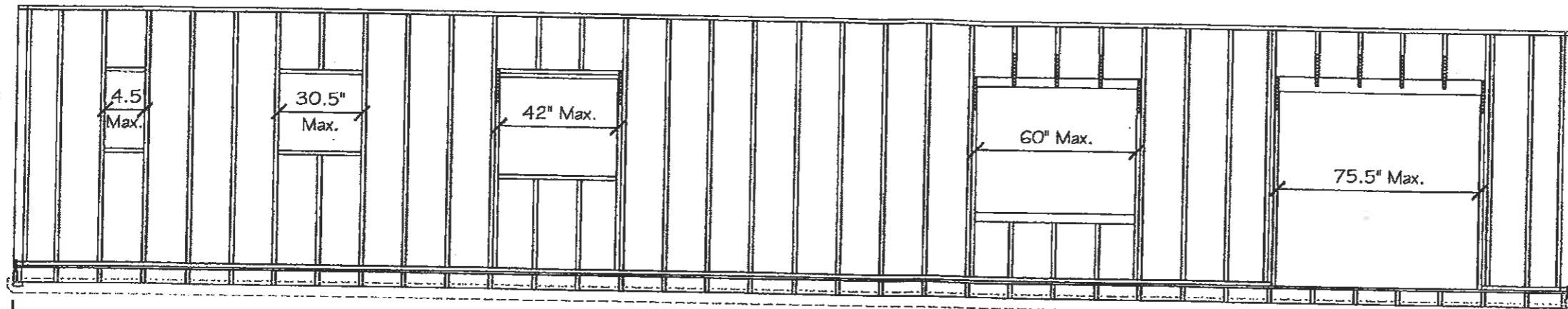
Designed By: O.R.H. Project No. 12EN782

Checked By: C.L.A. Date: 08/23/12

Sheet Number:

**S1.3**

4 of 8



SEE SCHEDULE BELOW FOR ALL  
OPENING REQUIREMENTS.

50'-0" MAXIMUM BUILDING LENGTH

Typical Side Wall Openings Framing  
SCALE: 1/4"=1'-0"

Approval Stamps:

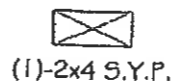
Date: 9/19/12 Plan No. Standard  
Approved By: R. Bullock  
Richard L. Bullock  
Modular Building Plans Examiner Florida Certificate 9872

**WALL OPENINGS FRAMING SCHEDULE**

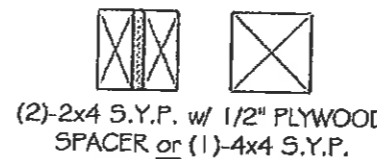
Max. Opening	Header/Sill Type	Header Fasteners (Each End)	Sill Fasteners (Each End)	King/Jack Studs	Option A: Stud to Band Joist Strapping & Nails (each end)	Option B: Stud to Band Joist Clips	Option A: Anchor Lags	Option B: Anchor Lags
14.5"	1 / 1	(4)-16d Nails	(2)-16d Nails	1 / 0	None Required	None Required	(N / A)	(N / A)
22.5"	1 / 1	(5)-16d Nails	(2)-16d Nails	1 / 0	None Required	None Required	(N / A)	(N / A)
30.5"	2 / 1	(7)-16d Nails	(4)-16d Nails	1 / 0	None Required	None Required	(N / A)	(N / A)
42"	2 / 2	(8)-16d Nails	(5)-16d Nails	1 / 1	(2)-20ga. w/ (5)-0.131x2.25" Nails	(2) Simpson H-3	5	5
60"	2 / 2	(10)-16d Nails	(7)-16d Nails	1 / 1	(2)-20ga. w/ (5)-0.131x2.25" Nails	(2) Simpson H-3	7	5
63"	3 / 3	(10)-16d Nails	(9)-16d Nails	2 / 1	(3)-20ga. w/ (7)-0.131x2.25" Nails	(3) Simpson H-3	8	6
75.5"	3	(13)-16d Nails	(N / A)	2 / 1	(3)-20ga. w/ (7)-0.131x2.25" Nails	(3) Simpson H-3	10	7
96"	3	(13)-16d Nails	(N / A)	2 / 1	(3)-20ga. w/ (9)-0.131x2.25" Nails	(3) Simpson H-3	11	12

NOTES:

- ALL HEADERS AND SILLS SHALL BE CONSTRUCTED FROM S.Y.P. #2
- STRAPS, CLIPS AND ANCHORING LAGS STATED ARE FOR EACH SIDE OF OPENINGS
- STRAPPING MAY WRAP BAND JOIST IF NEEDED TO INSTALL REQUIRED # OF FASTENERS
- ANCHORING LAGS SHALL BE 1" FROM STUD AND SPACED 1" O.C. CENTERED ON BAND JOIST
- REFER TO CLIP MANUFACTURER FOR CLIP FASTENING REQUIREMENTS
- SIMPSON CS16 STRAPS (OR EQUAL) REQUIRED TO TIE HEADER TO JACK STUD FOR ALL OPENINGS 42" OR GREATER, STRAPS ARE ALSO REQUIRED FOR ALL INTERRUPTED STUDS ON OPENINGS 60" OR GREATER



Header/Sill Type 1  
SCALE: 1.5"=1'-0"



Header/Sill Type 2  
SCALE: 1.5"=1'-0"



Header/Sill Type 3  
SCALE: 1.5"=1'-0"

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*Richard L. Bullock*



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Speed up to 180 m.p.h.

**Standard Wood Shed Master Plan**  
Amazon Sheds & Gazebos Inc.  
10311 Bonita Beach Road  
Bonita Springs, FL 34135

Designed By: Project No.  
O.R.H. 12EN782  
Checked By: Date:  
C.L.A. 08/23/12

Sheet Number:

**S1.4**

5 of 8

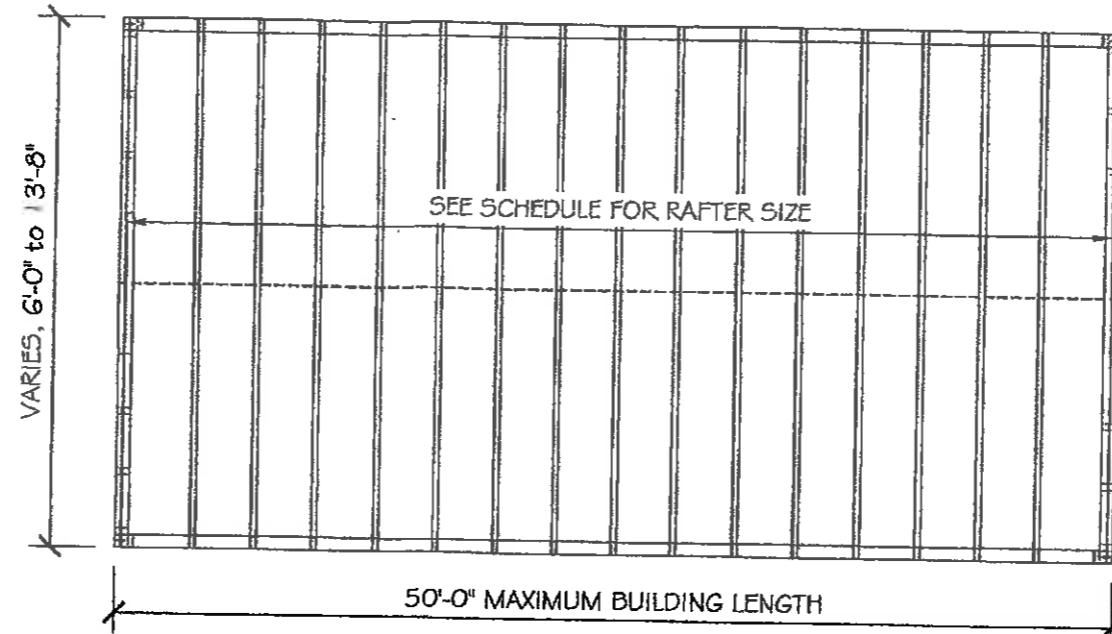
**ROOF FRAMING SCHEDULE**

**Wall Framing at 16" o.c., Max.**

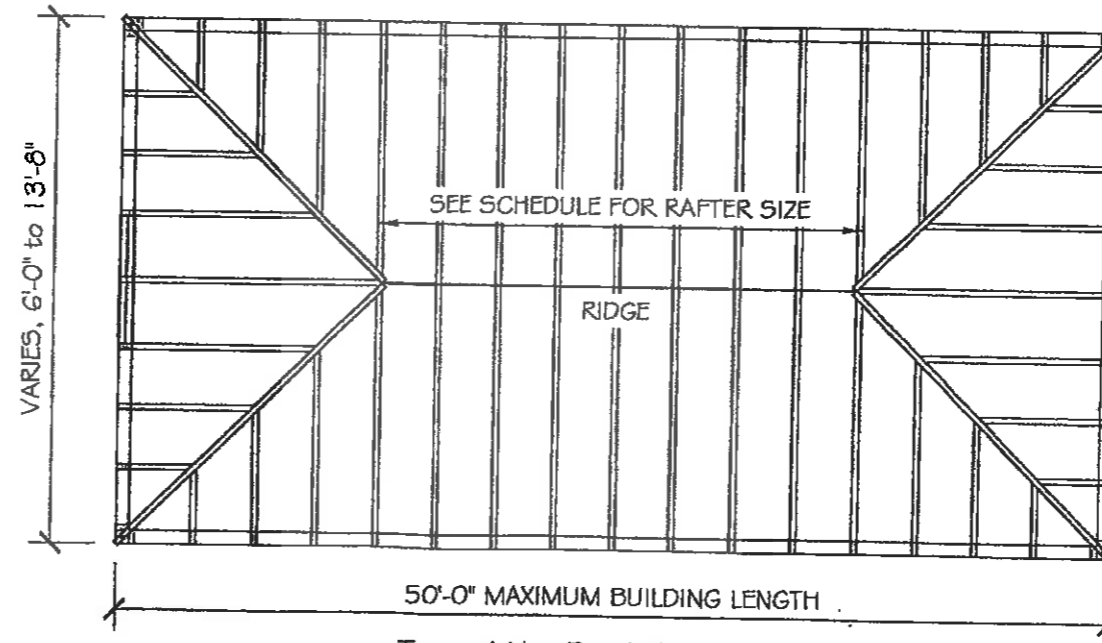
Width	Rafter Size	Required # of Strap Nails
6'-0"	S.Y.P. - 2x4's	5 (ea. end)
7'-0"	S.Y.P. - 2x4's	5 (ea. end)
8'-0"	S.Y.P. - 2x4's	5 (ea. end)
10'-0"	S.Y.P. - 2x4's	6 (ea. end)
11'-0"	S.Y.P. - 2x4's	8 (ea. end)
12'-0"	S.Y.P. - 2x4's	8 (ea. end)
13'-0"	*S.Y.P. - 2x6's*	8 (ea. end)
14'-0"	*S.Y.P. - 2x6's*	9 (ea. end)

**SCHEDULE AND ROOF FRAMING NOTES:**

- ROOF FRAMING SHALL BE SPACED TO LINE UP DIRECTLY OVER THE WALL STUDS FOR PROPER LOAD TRANSFER AND STRAPPING.
- RAFTER TO STUD STRAPPING SHALL BE 20ga. x 1 1/2" WIDE AND FASTENED WITH 0.131x2.25" NAILS.
- ROOF DRAINAGE SHALL COMPLY WITH F.B.C. 2010 1503 AND R318.6
- ROOF FRAME TO WALL FRAME STRAPPING MAY BE INSTALLED ON THE INNER OR OUTER FACE OF THE FRAMING
- FASTENERS WILL MEET THE MINIMUM REQUIREMENTS FOR ALL STRUCTURAL COMPONENTS AS SET FORTH UNDER FBC 2304.9.1 AND TABLE 2304.9.1 UNLESS OTHERWISE SPECIFIED.
- MARKED RAFTERS MAY BE 2x4's IF LARGER COLLAR TIES ARE USED, SEE DETAIL 1/51.6 FOR SIZES.
- FOR 150mph WIND ZONES FRAMING MAY BE SPACED AT 24" O.C. MAX. FOR WALL HEIGHTS 7'-6" AND UNDER.
- LUMBER GRADES: WHEN S.Y.P. #2 IS USED, THE FRAMING MUST BE SPACED AT 18" O.C., MAX. WITHIN 3'-0" FROM EACH SIDE OF EACH CORNER, THE REST OF THE FRAMING MAY BE SPACED AT 16" O.C., MAX.



Typical Shed and Gable Roof Framing Plan  
SCALE: 1/4" = 1'-0"



Typical Hip Roof Framing Plan  
SCALE: 1/4" = 1'-0"

Approval Stamps:

Date: 9/19/12 Plan No. Standard  
 Approved By: R. Bullock  
 Richard L. Bullock  
 Modular Building Plans Examiner Florida Certificate 32812-02

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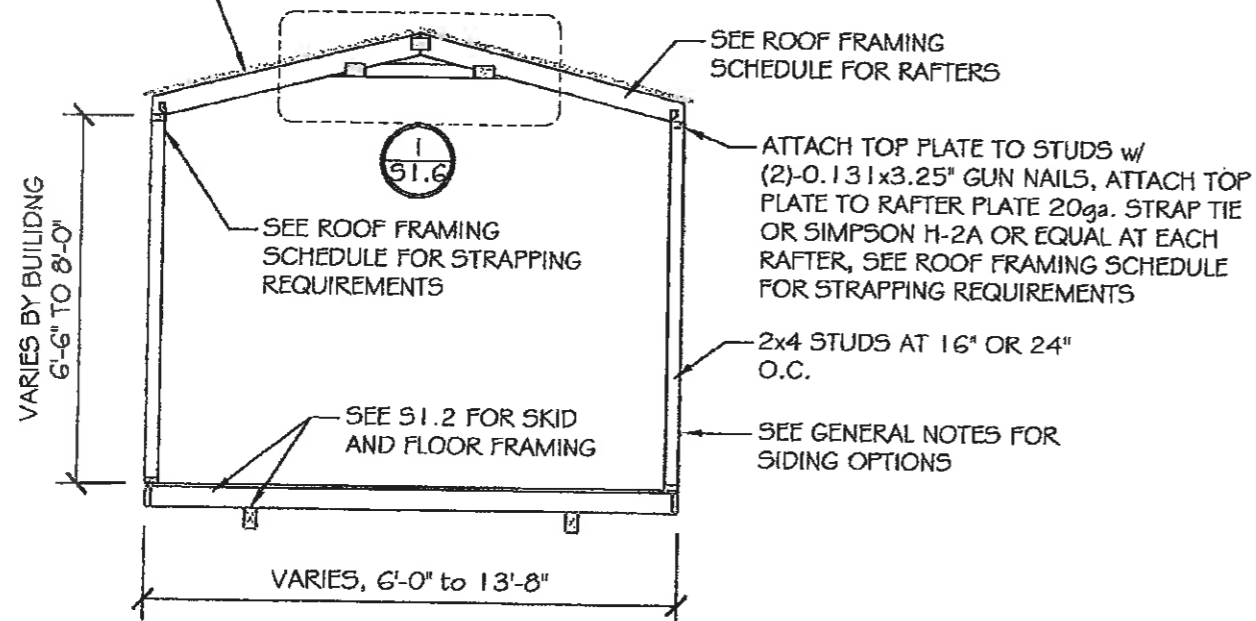
Designed By: O.R.H. Project No. 12EN782  
 Checked By: C.L.A. Date: 08/23/12

Sheet Number:  
**S1.5**  
 6 of 8

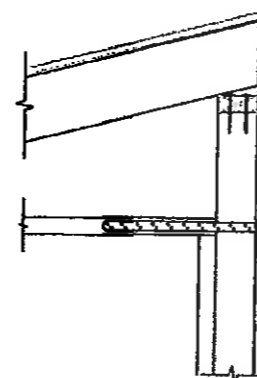


Approval Stamps:

SEE GENERAL NOTES FOR ROOFING OPTIONS



Typical Frame Section  
SCALE: 1/4"=1'-0"

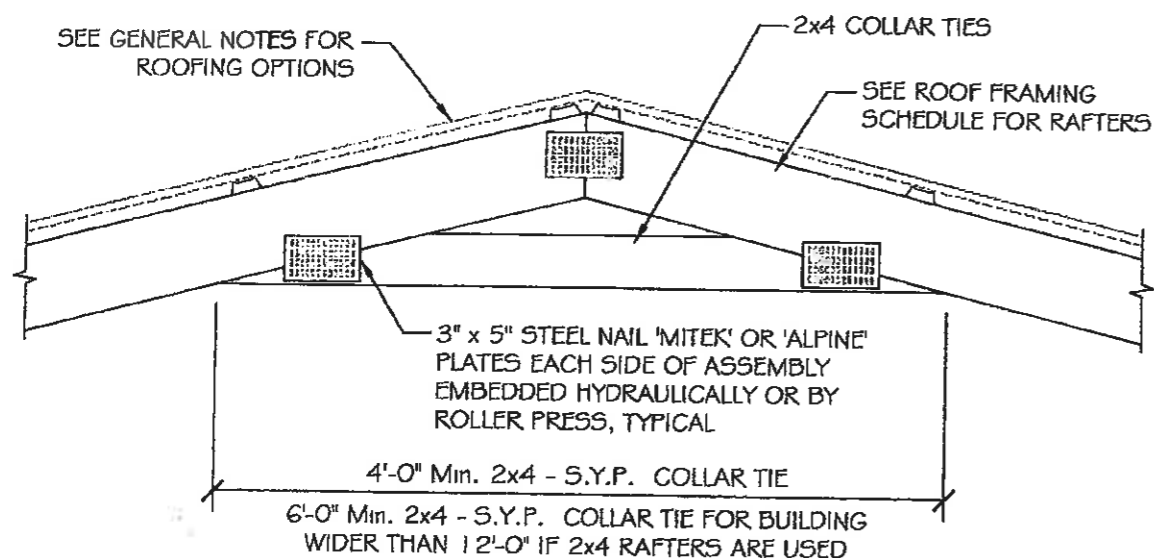


2 "RIVIERA STYLE" DETAIL  
S1.6 SCALE: 3/4"=1'-0"

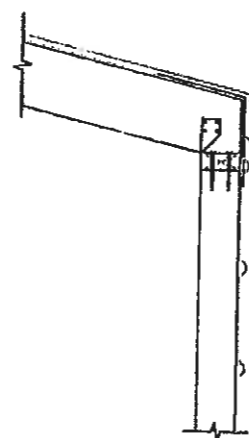
20ga. STRAP TIE OR SIMPSON H-2A OR EQUAL AT EACH RAFTER, SEE ROOF FRAMING SCHEDULE FOR STRAPPING REQUIREMENTS

Date 9/19/12 Plan No. Standard  
 Approved By R. Bullock  
 Richard E. Bullock  
 Modular Building Plans Examiner Florida Certificate #1111

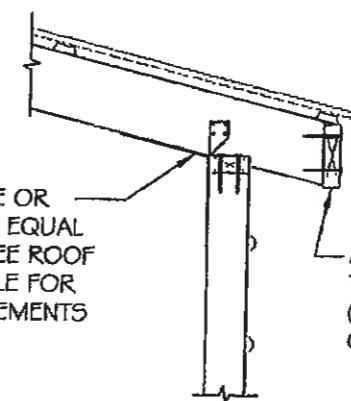
SEE GENERAL NOTES FOR ROOFING OPTIONS



1 RIDGE / COLLAR TIE DETAIL  
S1.6 SCALE: 1"=1'-0"



3 NO OVERHANG OPTION  
S1.6 SCALE: 3/4"=1'-0"



4 OVERHANG OPTION DETAIL  
S1.6 SCALE: 3/4"=1'-0"

20ga. STRAP TIE OR SIMPSON H-2A OR EQUAL AT EACH RAFTER, SEE ROOF FRAMING SCHEDULE FOR STRAPPING REQUIREMENTS

ATTACH FASCIA TO RAFTERS w/ (2)-0.131x3.25\"/>

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*Richard E. Bullock*



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Bonita Springs, FL 34135

Designed By: O.R.H. Project No. 12EN782  
Checked By: C.L.A. Date: 08/23/12

Sheet Number:

**S1.6**

7 of 8

Approval Stamps:

Date: 9/19/12 Plan No. Standard  
 Approved By: R. Bullock  
 Richard L. Bullock  
 Modular Building Plans Examiner Florida Certificate #11129

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*Paul R. Haney*

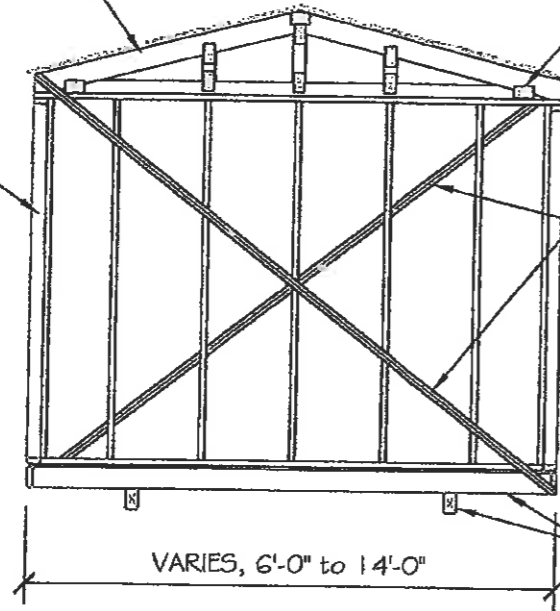
Sheet Number:

**S1.7**

8 of 8

GABLE END TRUSS

2x4 STUDS AT 16"  
OR 24" O.C.



VARIES, 6'-0" to 14'-0"

End Wall Framing Option  
SCALE: 1/4"=1'-0"

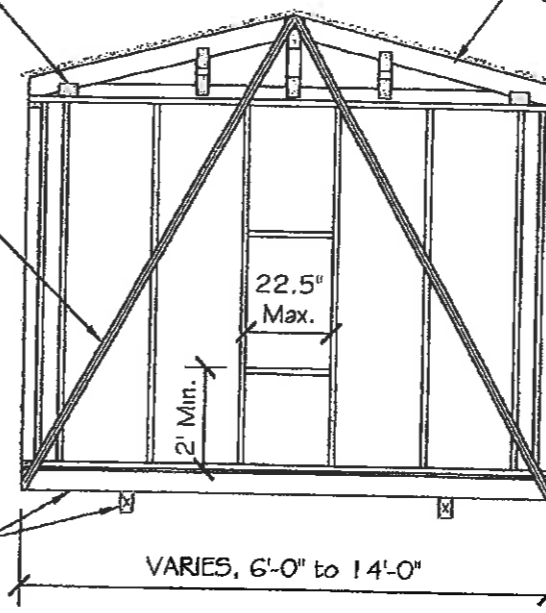
3" x 5" STEEL NAIL 'MITEK' OR 'ALPINE' PLATES EACH SIDE OF ASSEMBLY EMBEDDED HYDRAULICALLY OR BY ROLLER PRESS, TYPICAL

20ga. 1.25" BRACING STRAPS ON INTERIOR OR EXTERIOR OF WALL, FASTEN WITH (2)-0.131" x 2 1/4" LONG GUN NAILS OR #8 x 2 1/4" LONG SCREWS AT EACH MEMBER CROSSING.

SEE S 1.2 FOR SKID AND FLOOR FRAMING

GABLE END TRUSS

2x4 STUDS AT 16"  
OR 24" O.C.



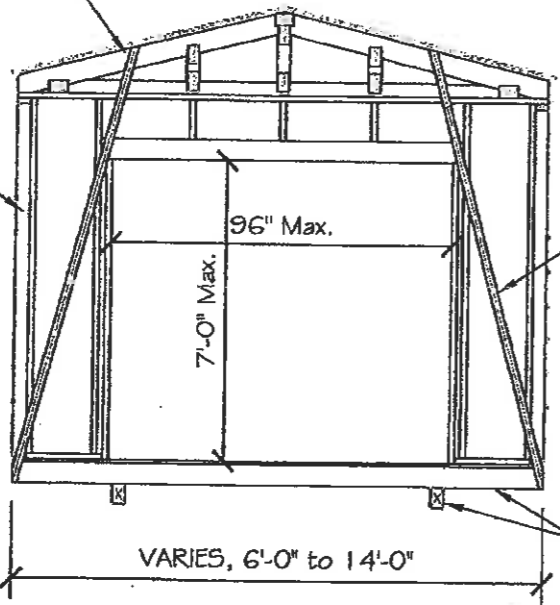
VARIES, 6'-0" to 14'-0"

End Wall Framing Option  
SCALE: 1/4"=1'-0"

ENDWALLS MAY BE BALLON FRAMED UP TO THE RAFTERS WHEN GABLE END TRUSSES ARE NOT USED.

GABLE END TRUSS

2x4 STUDS AT 16"  
OR 24" O.C.



VARIES, 6'-0" to 14'-0"

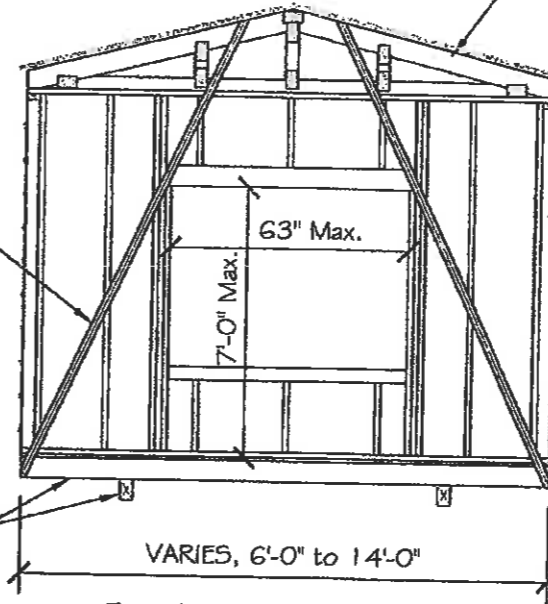
End Wall Framing Option  
SCALE: 1/4"=1'-0"

20ga. 1.25" BRACING STRAPS ON INTERIOR OR EXTERIOR OF WALL, FASTEN WITH (2)-0.131" x 2 1/4" LONG GUN NAILS OR #8 x 2 1/4" LONG SCREWS AT EACH MEMBER CROSSING.

SEE S 1.2 FOR SKID AND FLOOR FRAMING

GABLE END TRUSS

2x4 STUDS AT 16"  
OR 24" O.C.



VARIES, 6'-0" to 14'-0"

End Wall Framing Option  
SCALE: 1/4"=1'-0"



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 Checked By: C.L.A. Date: 08/23/12

**ANCHORING SCHEDULE**

Building Width	Building Length	Max. Block Spacing	Number of Blocks	150 MPH	180 MPH
6'-0"	6'-0"	7'-6"	4	2	2
6'-0"	8'-0"	7'-6"	4	2	2
6'-0"	10'-0"	7'-6"	4	2	2
6'-0"	12'-0"	7'-6"	4	2	2
8'-0"	8'-0"	7'-6"	4	2	2
8'-0"	10'-0"	7'-6"	4	2	2
8'-0"	12'-0"	7'-6"	6	2	2
8'-0"	14'-0"	7'-6"	6	4	4
8'-0"	16'-0"	7'-6"	6	4	4
10'-0"	10'-0"	7'-0"	4	2	2
10'-0"	12'-0"	7'-0"	6	2	2
10'-0"	14'-0"	7'-0"	6	4	4
10'-0"	16'-0"	7'-0"	6	4	4
10'-0"	20'-0"	7'-0"	8	4	4
10'-0"	24'-0"	7'-0"	10	4	4
10'-0"	26'-0"	7'-0"	10	6	6
10'-0"	30'-0"	7'-0"	12	6	6
12'-0"	12'-0"	6'-6"	6	2	2
12'-0"	14'-0"	6'-6"	6	2	2
12'-0"	16'-0"	6'-6"	6	4	4
12'-0"	18'-0"	6'-6"	8	4	4
12'-0"	20'-0"	6'-6"	8	4	4
12'-0"	22'-0"	6'-6"	10	4	4
12'-0"	24'-0"	6'-6"	10	4	4
12'-0"	26'-0"	6'-6"	12	4	4
12'-0"	28'-0"	6'-6"	12	4	4
12'-0"	30'-0"	6'-6"	12	4	4
12'-0"	32'-0"	6'-6"	14	6	6
12'-0"	34'-0"	6'-6"	14	6	6
12'-0"	36'-0"	6'-6"	14	6	6
12'-0"	38'-0"	6'-6"	16	6	6
12'-0"	40'-0"	6'-6"	16	6	6
12'-0"	44'-0"	6'-6"	16	6	6
12'-0"	50'-0"	6'-6"	18	6	6
14'-0"	14'-0"	6'-6"	12	4	4
14'-0"	16'-0"	6'-6"	12	4	4
14'-0"	20'-0"	6'-6"	16	4	4
14'-0"	22'-0"	6'-6"	20	4	4
14'-0"	24'-0"	6'-6"	20	4	4
14'-0"	26'-0"	6'-6"	24	6	6
14'-0"	28'-0"	6'-6"	24	6	6
14'-0"	30'-0"	6'-6"	24	6	6
14'-0"	32'-0"	6'-6"	28	6	6
14'-0"	34'-0"	6'-6"	28	6	6
14'-0"	36'-0"	6'-6"	28	6	6
14'-0"	38'-0"	6'-6"	32	6	6
14'-0"	40'-0"	6'-6"	32	6	6
14'-0"	42'-0"	6'-6"	32	6	6
14'-0"	44'-0"	6'-6"	32	6	6
14'-0"	46'-0"	6'-6"	36	8	8
14'-0"	48'-0"	6'-6"	36	8	8
14'-0"	50'-0"	6'-6"	36	8	8

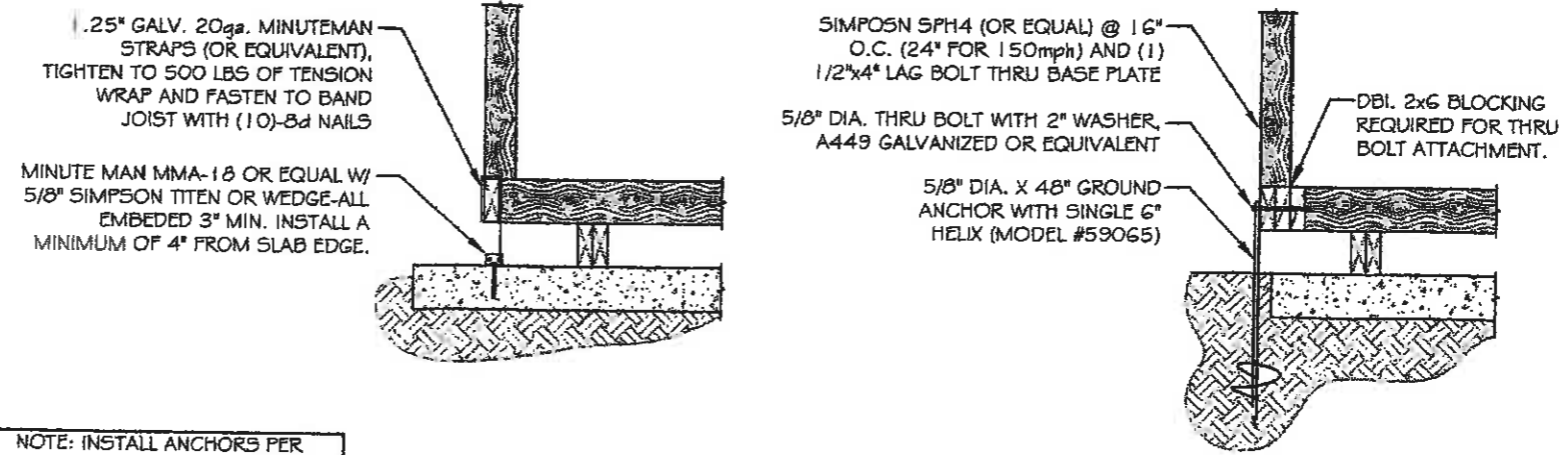
**DESIGN PARAMETERS**

1. WIND DESIGN PER ASCE 7-10
2. DESIGN WIND SPEED: 180mph (ULTIMATE)
3. ULTIMATE WIND EXPOSURE CATEGORIES:  
180mph: B, C  
150mph: B, C & D
4. WIND IMPORTANCE FACTOR: 1.0
5. ENCLOSURE CLASSIFICATION: ENCLOSED
6. DESIGN MEETS INTERNATIONAL BUILDING CODE 2009 & FLORIDA BUILDING CODE 2010

**GENERAL NOTES**

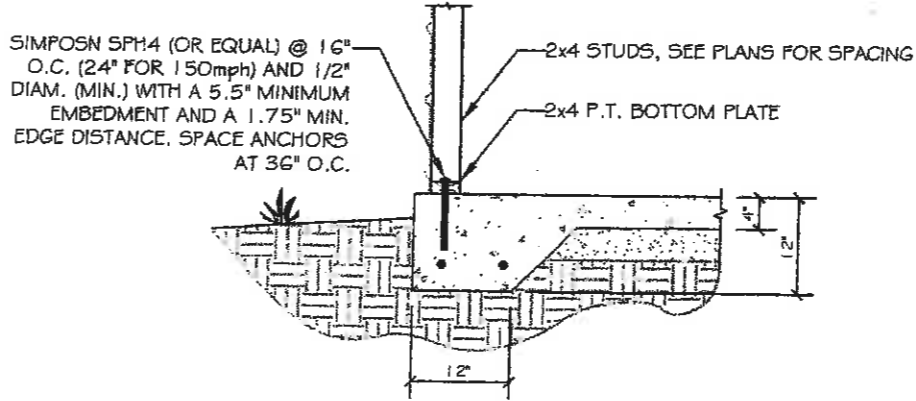
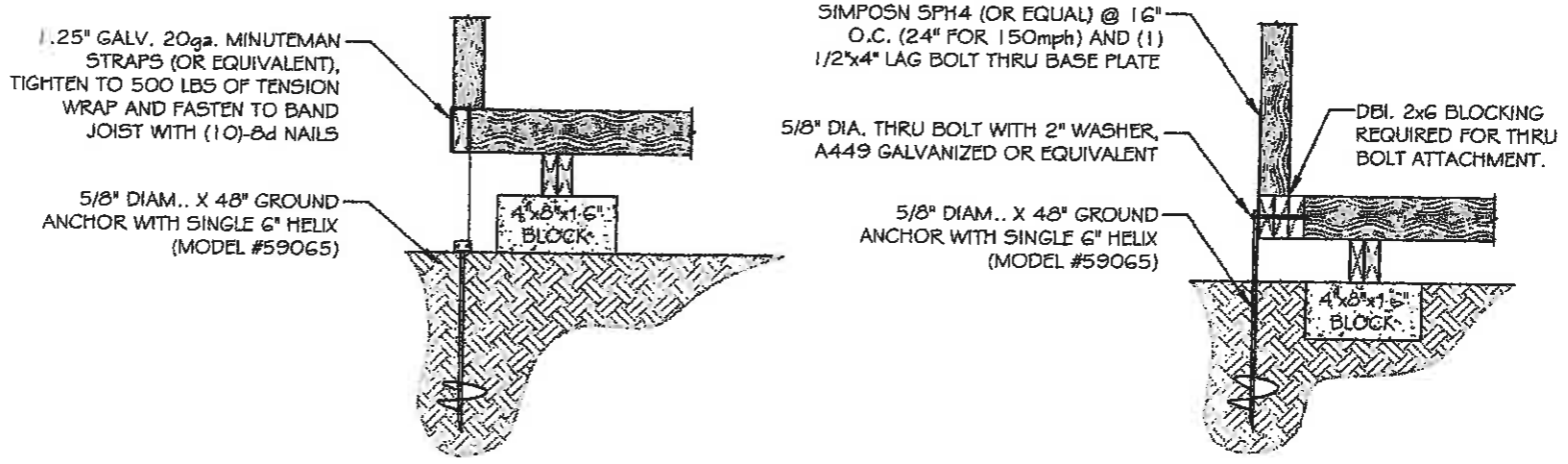
1. DESIGN FOR MIN 2,500 PSI CONCRETE
2. ALL HELIX ANCHORS MUST MEET THE MINIMUM WORKING LOAD OF 3150 lbs. AND AN ULTIMATE LOAD OF 4725 lbs.
3. ANCHORS MUST BE INSTALLED TO MANUFACTURERS RECOMMENDATIONS, ANY BENDING OR DAMAGE CAUSED UPON INSTALLATION WILL VOID ANCHOR AND MUST BE DISCARDED.
4. CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR MEETING SOIL CLASSIFICATION FOR SIZING HELICAL ANCHORS PER MANUFACTURER'S REQUIREMENTS.
5. ONE ANCHOR SHALL BE PLACED AT EACH BUILDING CORNER WITHIN 12" OF CORNER
6. ANY REQUIRED INTERMEDIATE ANCHORS SHALL BE PLACED EQUAL DISTANCES APART FROM EACH OTHER.
7. THE ANCHOR MUST BE IN THE SITE SOIL CLASS IN WHICH THE LOAD REQUIREMENTS WERE SET.
8. USE TIE-DOWN ENGINEERING (OR COMPARABLE) 1/2" X 30" GROUND ANCHOR WITH SINGLE 4" HELIX OR 5/8" DIA. X 40" AND 48" GROUND ANCHOR WITH SINGLE 6" HELIX
9. INSTALLATION OF THE ANCHORS MUST MEET ALL AT REQUIREMENTS AS SPECIFIED BY TIE DOWN ENGINEERING, INC TO INCLUDE REQUIREMENTS FOR SPACING AND SITE SPECIFIC SOIL CONDITIONS
10. MAXIMUM STRUCTURE HEIGHT IS 12 FEET
11. NUMBER OF ANCHORS LISTED IN ANCHOR SCHEDULE ARE THE MINIMUM REQUIRED NUMBER OF ANCHORS TO RUN DOWN EACH SIDE WALL (THE TOTAL NUMBER OF ANCHORS REQUIRED PER BUILDING WOULD BE 2X THE NUMBER LISTED IN THE SCHEDULE)

**Typical Details for Concrete Installations**



NOTE: INSTALL ANCHORS PER MANUFACTURER'S REQUIREMENTS

**Typical Details for Masonry Block Installations**



Typical Anchoring of a Floorless Buildings to Concrete Slab Detail

**Approval Stamps:**

Approval area with a large empty box for stamps and signatures.

05/31/12  
*Charles R. Dames*

**Haney Associates, Inc.**  
 Engineering & Construction Planning  
 P.O. Box 348, Six Mile, S.C. 29682 - Phone: 864-646-7600

These Plans Were Designed in Accordance with the 2010 Florida Building Code for a Ultimate Wind Speed up to 180 m.p.h.

**Foundation Anchoring Plans**  
 Amazon Sheds & Gazebos Inc.  
 10311 Bonita Beach Road  
 Bonita Springs, FL 34135

Designed By: O.R.H. Project No. 12EN782  
 Checked By: C.L.A. Date: 05/31/12

Sheet Number:  
**F1.0**  
 1 of 1



# NOTICING

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., April 28, 2015 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**NEW PRE-FABRICATED SHED IN REAR OF PROPERTY.  
DEMOLITION OF SHED.**

**FOR- #921 CENTER STREET**

**Applicant – McKendry Builders**

**Application # H15-01-0349**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 809-3975 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

# HARC POSTING AFFIDAVIT

STATE OF FLORIDA:  
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared JENS M NIELSEN, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:  
921 CENTER ST on the 21 day of APRIL, 2015.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on APRIL 28, 2015.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is SEC 90-143

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant: [Signature]

Date: 4-21-2015

Address: 921 CENTER ST

City: KEY WEST

State, Zip: FL 33040

The forgoing instrument was acknowledged before me on this 21<sup>st</sup> day of April, 2015.

By (Print name of Affiant) Jens M. Nielsen who is personally known to me or has produced FL Driver License + 2ND ID as identification and who did take an oath.

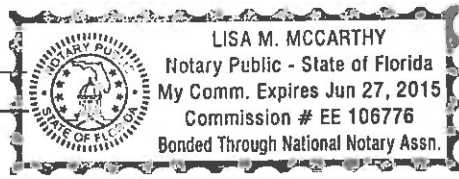
NOTARY PUBLIC

Sign Name: [Signature]

Print Name: Lisa M. McCarthy

Notary Public - State of Florida (seal)

My Commission Expires: 06/27/2015



921

PLEASE  
KEEP GATE  
CLOSED

BICYCLES  
NOT ALLOWED  
IN COURTYARD  
BIKE RACK 

Public  
Meeting  
Notice

NEW YORK COUNTY OFFICE OF THE CLERK  
COUNTY OF ALBANY  
www.albany.us



# PROPERTY APPRAISER INFORMATION



**Scott P. Russell, CFA**  
**Property Appraiser**  
**Monroe County, Florida**

Key West (305) 292-3420  
Marathon (305) 289-2550  
Plantation Key (305) 852-7130

## Property Record Card -

**Maps are now launching the new map application version.**

**Alternate Key: 8761937 Parcel ID: 00017720-000500**

### Ownership Details

**Mailing Address:**

SCHILPEROORT INA  
DUINDISTEL 79  
2202 DE NOORDWIJK, ZUID-HOLLAND 2202 DE  
NETHERLANDS

**All Owners:**

SCHILPEROORT INA, VAN RUITENBURG PIETER W/H

### Property Details

**PC Code:** 07 - COMPOUNDS

**Millage Group:** 10KW

**Affordable  
Housing:** No

**Section-Township-  
Range:** 06-68-25

**Property Location:** 921 CENTER ST UNIT: 5 KEY WEST

**Legal Description:** UNIT 5 OLD TOWN GARDEN VILLAS KW PT LOT 3 SQR 8 TR 4 OR1063-2201/2225DEC OR1063-2185/86  
OR1446-1838/39 OR1452-850/53-C OR1552-65/67 OR1596-1128/29 OR1794-706/09 OR2673-1800/01

**Click Map Image to open interactive viewer**



### Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	17	31	525.00 SF

### Building Summary

Number of Buildings: 1  
 Number of Commercial Buildings: 0  
 Total Living Area: 731  
 Year Built: 1980

## Building 1 Details

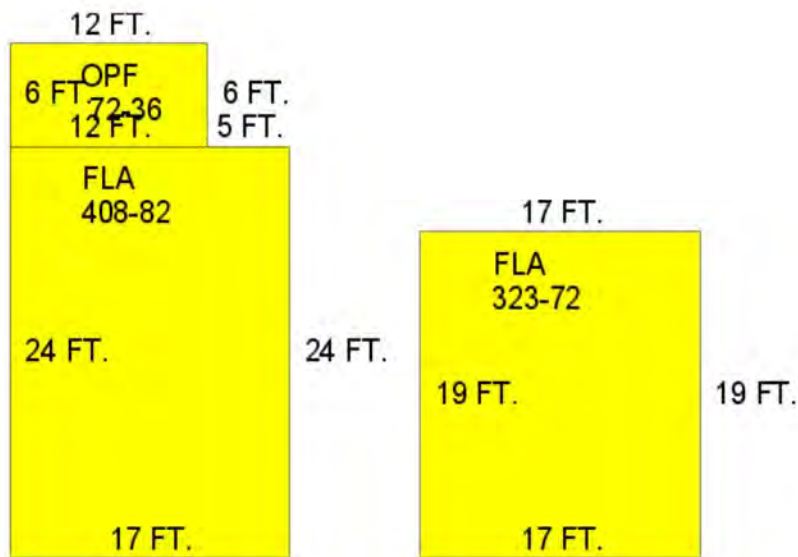
<b>Building Type</b> R1	<b>Condition</b> A	<b>Quality Grade</b> 550
<b>Effective Age</b> 19	<b>Perimeter</b> 154	<b>Depreciation %</b> 26
<b>Year Built</b> 1980	<b>Special Arch</b> K	<b>Grnd Floor Area</b> 731
<b>Functional Obs</b> 0	<b>Economic Obs</b> 0	

**Inclusions:** R1 includes 1 3-fixture bath and 1 kitchen.

<b>Roof Type</b> GABLE/HIP	<b>Roof Cover</b> METAL	<b>Foundation</b> WD CONC PADS
<b>Heat 1</b> NONE	<b>Heat 2</b> NONE	<b>Bedrooms</b> 1
<b>Heat Src 1</b> NONE	<b>Heat Src 2</b> NONE	

**Extra Features:**

<b>2 Fix Bath</b> 0	<b>Vacuum</b> 0
<b>3 Fix Bath</b> 0	<b>Garbage Disposal</b> 0
<b>4 Fix Bath</b> 0	<b>Compactor</b> 0
<b>5 Fix Bath</b> 0	<b>Security</b> 1
<b>6 Fix Bath</b> 0	<b>Intercom</b> 0
<b>7 Fix Bath</b> 0	<b>Fireplaces</b> 0
<b>Extra Fix</b> 0	<b>Dishwasher</b> 0



**Sections:**

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	FLA	12:ABOVE AVERAGE WOOD	1	1980	N N	0.00	0.00	408
2	OPF		1	1980		0.00	0.00	72
3	FLA	12:ABOVE AVERAGE WOOD	1	1980	N N	0.00	0.00	323

## Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	AC2:WALL AIR COND	2 UT	0	0	1984	1985	1	20

## Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	03/4121	12/08/2003	07/28/2004	5,000	Residential	R&R 18 WINDOWS

## Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2014	154,333	320	157,523	312,176	221,923	0	312,176
2013	89,195	320	155,921	245,436	201,749	0	245,436
2012	93,675	320	138,300	232,295	183,409	0	232,295
2011	105,353	320	117,475	223,148	166,736	0	223,148
2010	106,729	320	44,530	151,579	151,579	0	151,579
2009	120,077	320	74,130	194,527	194,527	0	194,527
2008	110,430	320	174,999	285,749	285,749	0	285,749
2007	111,699	320	344,050	456,069	456,069	0	456,069
2006	267,036	320	250,100	517,456	517,456	0	517,456
2005	256,960	320	150,100	407,380	407,380	0	407,380
2004	188,102	320	102,600	291,022	291,022	0	291,022
2003	149,718	320	31,431	181,469	181,469	0	181,469
2002	92,013	320	31,431	123,764	123,764	0	123,764
2001	92,013	320	31,431	123,764	123,764	0	123,764
2000	103,499	320	31,181	135,000	135,000	0	135,000
1999	73,357	576	31,181	105,114	105,114	0	105,114
1998	81,220	576	31,181	112,977	112,977	0	112,977
1997	72,195	512	29,179	101,886	101,886	0	101,886
1996	58,659	468	29,179	88,306	88,306	0	88,306
1995	55,500	492	26,176	82,168	82,168	0	82,168
1994	45,122	440	26,176	71,738	71,738	0	71,738
1993	45,122	480	26,176	71,778	71,778	0	71,778
1992	45,122	520	26,176	71,818	71,818	0	71,818
1991	65,347	700	25,025	91,072	91,072	0	91,072
1990	0	0	20,270	20,270	20,270	0	20,270

## Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed.

Thank you for your patience and understanding.

<b>Sale Date</b>	<b>Official Records Book/Page</b>	<b>Price</b>	<b>Instrument</b>	<b>Qualification</b>
<b>2/28/2014</b>	2673 / 1800	400,000	<u>WD</u>	<u>02</u>
<b>6/13/2002</b>	1794 / 0706	200,000	<u>WD</u>	<u>Q</u>
<b>9/2/1999</b>	1596 / 1128	138,000	<u>WD</u>	<u>Q</u>
<b>12/8/1998</b>	1552 / 0065	125,000	<u>WD</u>	<u>Q</u>
<b>8/1/1988</b>	1063 / 2185	112,500	<u>WD</u>	<u>U</u>

This page has been visited 214,947 times.

Monroe County Property Appraiser  
Scott P. Russell, CFA  
P.O. Box 1176 Key West, FL 33041-1176