



Historic Architectural Review Commission Staff Report for Item 11

To: Chairman Haven Burkee and Historic Architectural Review
Commission Members

From: Daniela Salume, MFA
Historic Architectural Preservationist

Meeting Date: September 24, 2024

Applicant: William Rowan

Application Number: H2024-0042

Address: 1123 Washington Street

Description of Work:

Demolition of rear wall.

Site Facts:

The building under review is considered a non-historic and non-contributing resource within the historic district. Constructed in 2002, this two-story building faces Washington Street and includes an existing one-story rear addition. The pool equipment is located behind this addition. The building features an L-shaped design. The site includes a pool, spa, wooden deck, and brick pavers that cover a significant portion of both the backyard and parts of the front and side yards.

Currently the house sits on the ground, and it is on an AE-9 flood zoning.



Photo taken by the Property Appraiser's office.



The house under review and current photograph.

Ordinance Cited on Review:

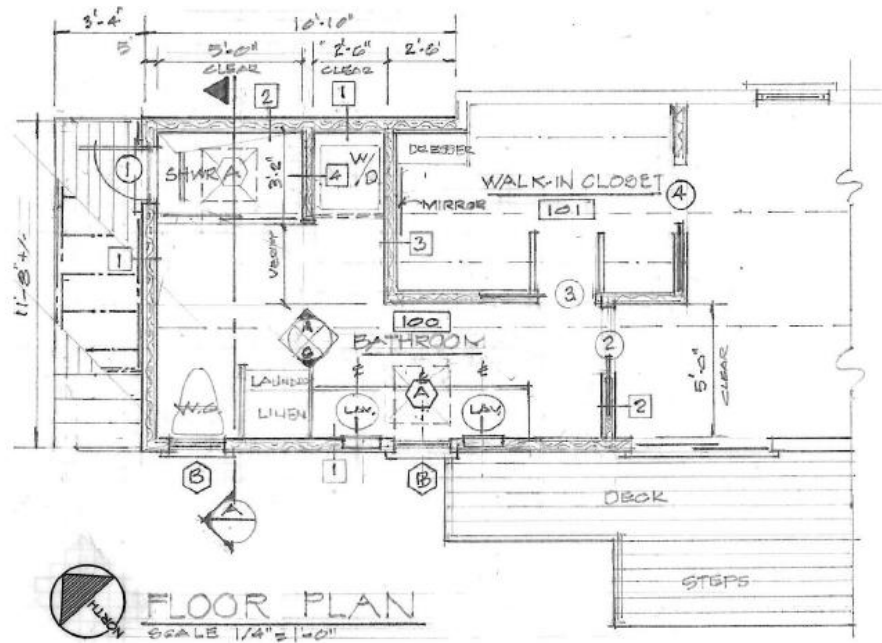
- Section 102-217 (3), demolition for non-contributing and non-historic structures of the Land Development Regulations.
- Section 102-218 - Criteria for Demolition.

Staff Analysis:

The Certificate of Appropriateness outlines the proposed demolition of a rear wall and overhang on the back portion of a non-historic and non-contributing one-story structure. The plans include a porch in the rear portion of the proposed addition that will extend the entire length of the structure. In order to accommodate the porch, it will be necessary to relocate the pool equipment and remove the fence. The image below shows the wall proposed for demolition on the existing rear addition.



Rear of property looking south at existing addition.



Proposed Floor Plan.

Since the rear one-story addition under review is non-historic, the evaluation shall be based on section 102-218 (b) of the Land Development Regulations, which requires the following criteria for demolitions:

The historic architectural review commission shall not issue permits that would result in:

- (1) *Removing buildings or structures that are important in defining the overall historic character of a district or neighborhood so that the character is diminished;*

The rear one-story addition building is not historic and does not contribute to the character of the neighborhood or the district.

- (2) *Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space;*

The two-story building is not considered historic and not visible from any public right of way; therefore, it doesn't destroy the relationship with its surroundings.

- (3) *Removing an historic building or structure in a complex; or removing a building facade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.*

This will not be the case.

- (4) *Removing buildings or structures that would otherwise qualify as contributing, as set forth in section 102-62(3).*

The one-story addition is not historic and non-contributing; therefore, it would not qualify as contributing in a near future.

In conclusion, it is the staff's opinion that the request for demolition can be considered by the Commission as it meets the criteria for demolition stated under the Land Development Regulations. If the Commission finds the design appropriate this will be the only required reading for demolition.

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS



City of Key West

1300 White Street
Key West, Florida 33040

HARC COA #	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:	1123 WASHINGTON ST.	
NAME ON DEED:	JAMES BELK	PHONE NUMBER 804.536.6040
OWNER'S MAILING ADDRESS:	300 NORTH RIDGE #61 RICHMOND, VA. 23229	EMAIL JBELK1123@OUTLOOK.COM
APPLICANT NAME:	WILLIAM ROWAN	PHONE NUMBER 305.394.4773
APPLICANT'S ADDRESS:	321 PEACOCK LANE	EMAIL WROWAN@gmail.com
APPLICANT'S SIGNATURE:		DATE 8/20/24

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS___ RELOCATION OF A STRUCTURE___ ELEVATION OF A STRUCTURE___
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES___ NO INVOLVES A HISTORIC STRUCTURE: YES___ NO
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES___ NO

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.
GENERAL: CONSTRUCTION OF A NEW ADDITION TO EXISTING ONE STORY STRUCTURE (BATHROOM AND WALK IN CLOSET)
DIMENSIONS 11'x12', SQUARE FOOTAGE 132 FT, HEIGHT 10', MATERIALS WOOD SIDING, V-CRIMP ROOF
MAIN BUILDING: EXISTING EXISTING: 2 STORY WOOD W/ 1 STORY WOOD ADDITION
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX): REMOVE REAR WALL OF EXISTING 1 STORY ADDITION SURVEY

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
 PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S):	
G	
PAVERS:	FENCES:
G	G
DECKS:	PAINTING:
YES, ACCESS TO BATHROOM	YES
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (INCLUDING EQUIPMENT):
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER:
NEW A/C CONDENSER	SURVEY - SEE SHT. # 1
SEE SHT. # 2	

OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

HARC CERTIFICATE OF APPROPRIATENESS: DEMOLITION APPENDIX



City of Key West
 1300 White Street
 Key West, Florida 33040

HARC COA # HARC 2024 - 0042	INITIAL & DATE
ZONING DISTRICT	BLDG PERMIT #

ADDRESS OF PROPOSED PROJECT: 1123 Washington Street
 PROPERTY OWNER'S NAME: James Belk
 APPLICANT NAME: William Rowan

I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval PRIOR to proceeding with the work outlined above and that a final inspection is required under this application. I also understand that any changes to an approved Certificate of Appropriateness must be submitted for review.

PROPERTY OWNER'S SIGNATURE: *James P. Belk* JAMES P. BELK 9/13/2024
 ANN S. BELK DATE AND PRINT NAME

DETAILED PROJECT DESCRIPTION OF DEMOLITION

CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies):

(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria

(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration

(2) Or explain how the building or structure meets the criteria below

(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

(i) Has not yielded, and is not likely to yield, information important in history,

CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:

The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies):

(1) Removing buildings or structure that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.

NOT APPLICABLE

(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.

NOT APPLICABLE

(3) Removing an historic building or structure in a complex; or removing a building façade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

NOT APPLICABLE

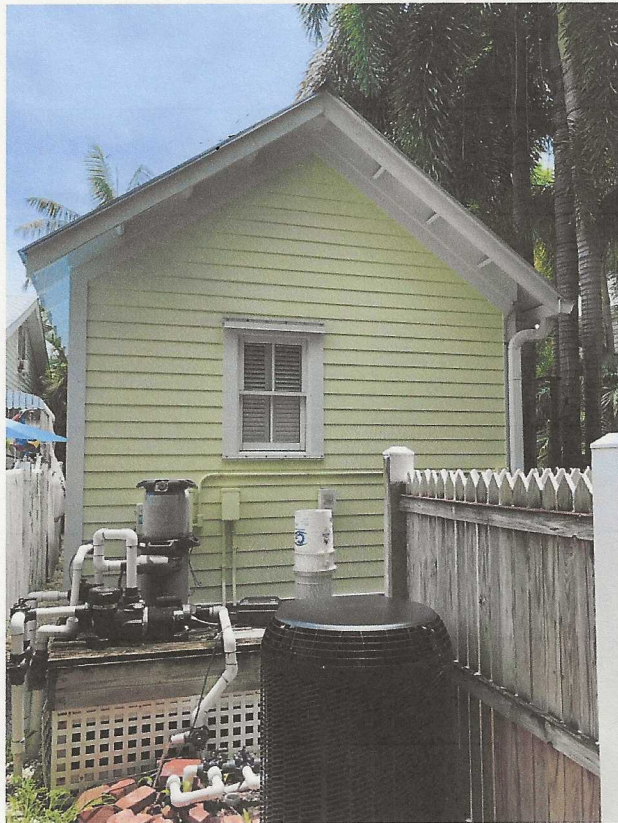
(4) Removing buildings or structures that would otherwise qualify as contributing.

NOT APPLICABLE

PROJECT PHOTOS



PHOTO FROM WASHINGTON ST.
LOOKING AT FRONT OF HOUSE



REAR OF PROPERTY LOOKING
SOUTH AT EXISTING ADDITION



PHOTO LOOK SOUTHEAST FROM THE
CENTER - REAR OF THE PROPERTY.

SURVEY

BELK RESIDENCE RESIDENTIAL UPGRADES

1123 WASHINGTON STREET KEY WEST, FLORIDA 33040



BELK RESIDENCE
RESIDENTIAL UPGRADES

1123 WASHINGTON STREET KEY WEST, FLORIDA 33040

LEGEND

- ⊙ Found 2" Iron Pipe (Fence)
- Set 3/4" Iron Pipe w/cap
- Found 1/2" Iron Rod (7131)
- ▲ Found Nail & Disc (As Note)
- △ Set Nail & Disc (629B)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R\W Right of Way
- CLF Chain Link Fence
- ⊕ Centerline
- ⊗ Wood Utility Pole
- ⊠ Concrete Utility Pole
- P- Overhead Utility Lines

GENERAL NOTES

All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the city, county, and the state of Florida. In the city of Key West, applicable Codes forming the basis of this design and compliance requirements for the contractor include:

BUILDING: Florida Building Code, 2023 8th edition
ELECTRICAL: National Electrical Code, 2023 NEC
PLUMBING: Florida Building Code (Plumbing), 2023
MECHANICAL: Florida Building Code (Mech.), 2023
GAS: LP Gas Code, 2023 edition (NFPA 58)

This project is designed in accordance with A.S.C.E. 7-10 to resist wind loads of 180 mph (gusts) (Exposure C)
This project is designed in accordance with A.S.C.E. 24-14 for flood resistant design.
This project is designed in accordance with ACI 318-11 for structural concrete design.

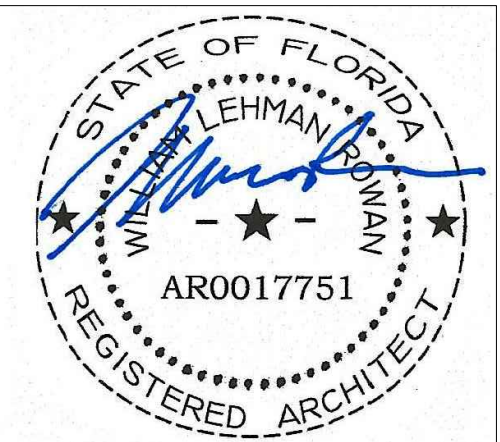
1123 WASHINGTON STREET FLOOD: AE-9

NOTE: ALL DIMENSIONS ARE EXISTING U.N.O.

SHT.	DESCRIPTION
1	COVER - SURVEY, NOTES, WIND PRESSURES
2	SITE PLAN (EXISTING / PROPOSED)
3	FLOOR PLAN, FRAMING PLAN, NOTES
4	ELEVATIONS (INTERIOR & EXTERIOR)
5	SECTION, DETAILS, NOTES
6	PLUMBING & ELECTRICAL PLAN, NOTS, SPECIFICATIONS

CONSTRUCTION PLAN GENERAL NOTES

- Do not scale drawings, written dimensions govern. All partition locations shall be as shown on the partition plan. In case of conflict, verify with the owner or architect.
- All new gypsum board partitions shall be taped and sanded smooth with no visible joints. Patch and repair surfaces to match adjacent or adjoining surfaces where required. All surfaces shall be aligned and sanded smooth.
- All partitions are dimensioned from finish face of gypsum board to finish face of gypsum board unless otherwise noted. All dimensions marked "Clear" or "clr" shall be maintained and shall allow for thicknesses of all wall finishes, U.N.O.
- Dimensions noted "clear" or "clr" must be accurately maintained and shall not vary more than +/- 1/8" without instruction from architect and/or owner, as applicable.
- Dimensions marked +/- mean a tolerance not greater nor smaller than 2 inches from indicated dimension, U.N.O. verify field dimensions exceeding tolerance with architect or owner.
- All dimensions to the exterior window wall are to the inside face of sill, U.N.O.
- Notify architect or owner of any discrepancies of conflicts in the locations of the new construction.
- All exposed gypsum board edges to have metal edge trim work or equivalent.
- All work shall be directed and installed, plumb, level, square, and true and in proper alignment.
- Obtain approval from architect or owner, as applicable, prior to modifying building components, systems and items not identified prior to adjusting any and all other field conditions required to fit plans.
- All existing and new floor penetrations for piping shall be fully blocked and sealed in accordance with the applicable building fire codes.
- Trim the bottoms of the doors to clear the top of finished floor, as applicable, by 1/2" maximum, U.N.O., Verify slab conditions, trim each door to fit condition. Where radical variations in floor elevation exist, doors shall be ordered with bottom stile sized to accommodate these undercut conditions.
- Dimensions locating doors and windows are to the center of doors and windows U.N.O.
- All "wet walls" to receive concrete board or green board.
- Replace any damage siding with like materials.
- Existing decking to remain. Cover with pt plywood to match existing finished floor height.
- All openings at sliding glass doors to have 3 jacks and one king at each end of header.
- All window openings to have 2 jacks and 1 king at each end of header.



Basic Building Structural Information

Floor and Roof Live Loads	
Attics:	20 psf w/ storage, 10 psf w/o storage
Habitable Attics, Bedroom:	30 psf
All Other Rooms:	40 psf
Garage:	40 psf
Roofs:	20 psf

Wind Design Data			
Ultimate Wind Speed:	180 mph	Nominal Wind Speed:	139 mph
Risk Category:	II	Wind Exposure:	D
Enclosure Classification:	Enclosed	End Zone Width:	4.00 ft.
Internal Pressure Coefficient:	0.18 +/-		

Components and Cladding Design Pressures	Roof Zone 1:		Roof Zone 2:		Roof Zone 3:		Roof at Zone 2 Overhangs:		Roof at Zone 3 Overhangs:		Wall Zone 4:		Wall Zone 5:	
		+32.2 psf max.,	-51.3 psf min.	+32.2 psf max.,	-89.3 psf min.	+32.2 psf max.,	-132.0 psf min.	+32.2 psf max.,	-104.3 psf min.	+32.2 psf max.,	-175.6 psf min.	+56.0 psf max.,	-60.7 psf min.	+56.0 psf max.,

PROJECT DATA		1123 WASHINGTON STREET	HMDR	FLOOD: AE-9
RE NO.	0038370-000000	EXISTING	PROPOSED	
SETBACKS:				
FRONT	10'	23.1'	23.1'	
SIDE	5'	4.1'	4.1'	ADDITION = 5'
SIDE	5'	8.5'	8.5'	
REAR	15'	26.2'	15.0'	
LOT SIZE		4,975 S.F.	4,975 S.F.	
BUILDING COVERAGE		1,370 S.F.	1,512 S.F.	30%
BUILDING HEIGHT		24.8'	24.8'	
IMPERVIOUS AREA		2,061 S.F.	2,203 S.F.	44%
OPEN SPACE		1,720 S.F.	1,720 S.F.	35%

Boundary Survey

The Nominal Wind Speed was used to determine the above Component and Cladding Design Pressures.

All exterior glazed openings shall be protected from wind-borne debris as per Section 1609.1.2 of the code.

The site of this building is not subject to special topographic wind effects as per Section 1609.1.1.1 of the code.

Ultimate Wind Speed: 180 mph Nominal Wind Speed: 139 mph Exposure: D

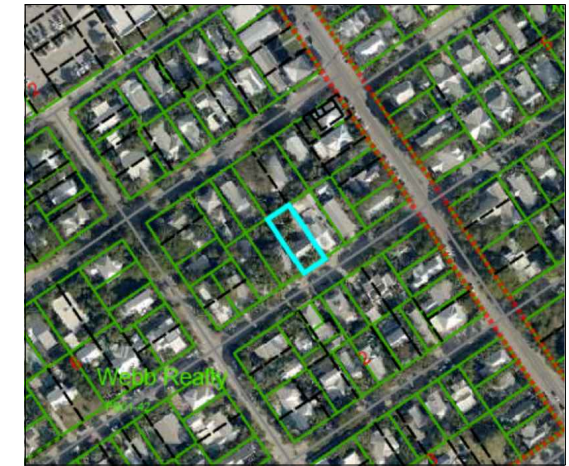
Wm ROWAN
ARCHITECTURE
1123 Washington Street
Key West, Florida 33040
(305) 351-1751
FL License AR-0017751

PROJECT NO: 4-3-2024
DATE: 3-20-2024

PROPOSED DESIGN

BELK RESIDENCE RESIDENTIAL UPGRADES

1123 WASHINGTON STREET KEY WEST, FLORIDA 33040



BELK RESIDENCE
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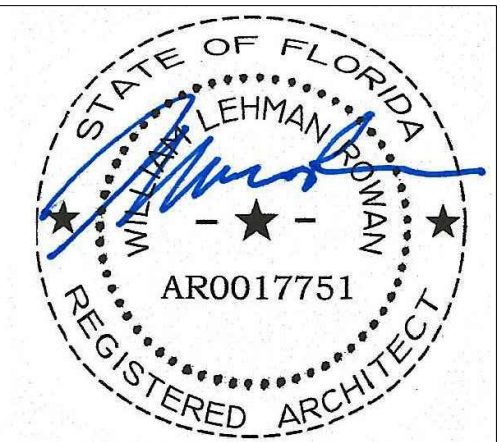
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All Other Rooms:	40 psf
Garage:	40 psf
Roofs:	20 psf

Wind Design Data			
Ultimate Wind Speed:	180 mph	Nominal Wind Speed:	139 mph
Risk Category:	II	Wind Exposure:	D
Enclosure Classification:	Enclosed	End Zone Width:	4.00 ft.
Internal Pressure Coefficient:	0.18 +/-		

Components and Cladding Design Pressures	Roof Zone 1:	Roof Zone 2:	Roof Zone 3:	Roof at Zone 2 Overhangs:	Roof at Zone 3 Overhangs:	Wall Zone 4:	Wall Zone 5:
	+32.2 psf max., -51.3 psf min.	+32.2 psf max., -89.3 psf min.	+32.2 psf max., -132.0 psf min.	-104.3 psf min.	-175.6 psf min.	+56.0 psf max., -60.7 psf min.	+56.0 psf max., -74.9 psf min.

PROJECT DATA	1123 WASHINGTON STREET HMDR FLOOD: AE-9	
	EXISTING	PROPOSED
RE NO.	0038370-000000	
SETBACKS:		
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SIDE	5'	8.5'
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REAR	15'	15.0'
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	28%	30%
BUILDING HEIGHT	24.8'	24.8'
IMPERVIOUS AREA	2,061 S.F.	2,203 S.F.
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OPEN SPACE	1,720 S.F.	1,720 S.F.
	35%	35%

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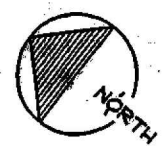
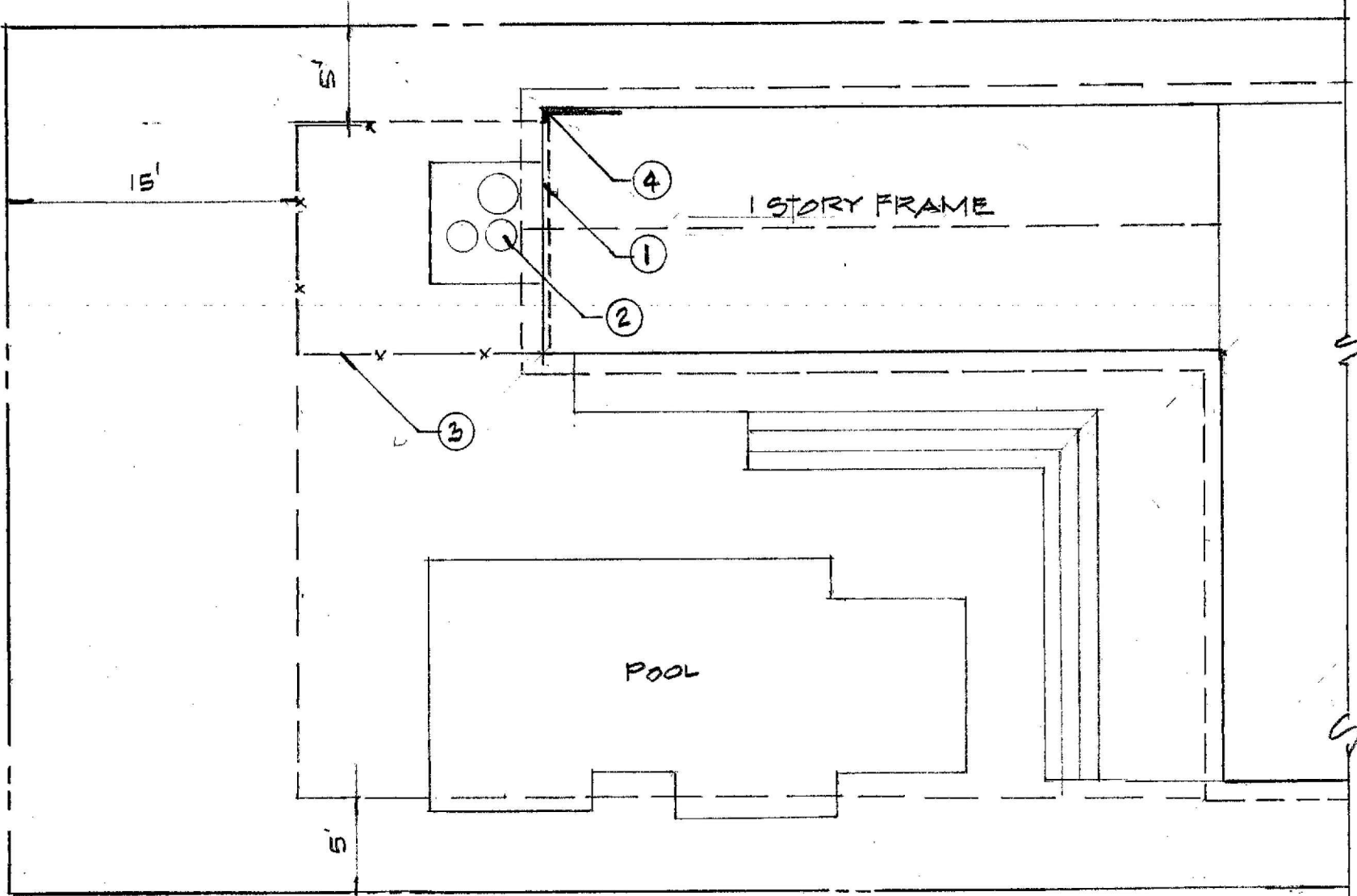
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The site of this building is not subject to special topographic wind effects as per Section 1609.1.1.1 of the code.

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WILLIAM LEHMAN ROMAN
REGISTERED ARCHITECT
AR0017751

PROJECT NO: 4-3-2024
DATE: 3-20-2024



PARTIAL SITE PLAN - DEMOLITION
SCALE 1/8" = 1'-0"

LEGEND	
1.	REMOVE END WALL & OVERHANG (SEE #4)
2.	REMOVE POOL EQUIPMENT AND RELOCATE
3.	REMOVE FENCE STORE FOR LATER USE
4.	LEAVE APPROX. 10'-11" OF EXIST' WALL & ROOF

DOOR SCHEDULE					DESIGN PRESSURES		
MARK	QTY	WIDTH	HEIGHT	TYPE	ZONE	PRESSURE REQUIRED	PRESSURE PROPOSED
1	1	2'-0"	6'-8"	MTL. 1 LIGHT IMPACT			
2	1	2'-4"	"	4 PANEL WOOD			
3	1	2'-0"	"	4 PANEL POCKET			
4	1	2'-2"	"	LOUVER POCKET			

No.	Description	Opening Width (in ft.)	Opening Height (in ft.)	Distance from Corner (in ft.)	Design Pressure Requirements
A	IMPACT SKYLIGHT	1.5 ft.	1.5 ft.	2.0 ft.	+71.1 psf, -95.2 psf
B	IMPACT WINDOW	1.5 ft.	2.5 ft.	2.0 ft.	+71.1 psf, -95.2 psf
1	IMPACT DOOR	2.0 ft.	6.7 ft.	15.0 ft.	+70.0 psf, -76.1 psf

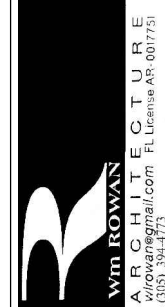
EXTERIOR DEMOLITION NOTES

1. If Demolition commences prior to permit, GC shall obtain demo permits.
2. Furnish all labor and materials as required to complete demolition and removal of all items as indicated.
3. Provide strict control of job cleaning and prevent dust and debris from emanating from demolition area. Keep area clean.
4. If any questions arise as to the removal of any material, clarify the point in question with the architect or owner before proceeding.
5. At completion of demolition work the construction areas shall be left in "broom clean" condition. All debris and misc. material shall be moved to waste area provided by the contractor.
6. Debris removal must be performed in accordance with owner and building management requirements and procedures.
7. Carefully remove all existing light fixtures and lenses (where demolition is note) and store for future use. Before indicated reinstallation, inspect each fixture and repair or replace parts as required. All relocated fixtures shall be in full operating order. All tubes and/or ballasts not reused shall be disposed of in a proper manner.
8. Contractor shall be responsible for patching and/or repairing any damage caused by him or his subcontractors to existing construction. Refinish to match existing adjacent finish or as noted herein.
9. Existing outlets to remain except where damage occurs due to demolition or noted otherwise. Replace or relocate where required.
10. Removal of any equipment, cabling, switches, and conduit pertaining to data/communications and telephone shall be verified with telephone companies or service owner data/communications representative as required to prevent new construction delays.
11. Demolition is not necessarily limited to what is shown on the drawings. The intent is to indicate the general scope of demolition required to complete the work in accordance with the contract drawings.
12. Contractor to coordinate with owner for reuse of existing millwork.
13. Shore / support walls and roof at demolition areas

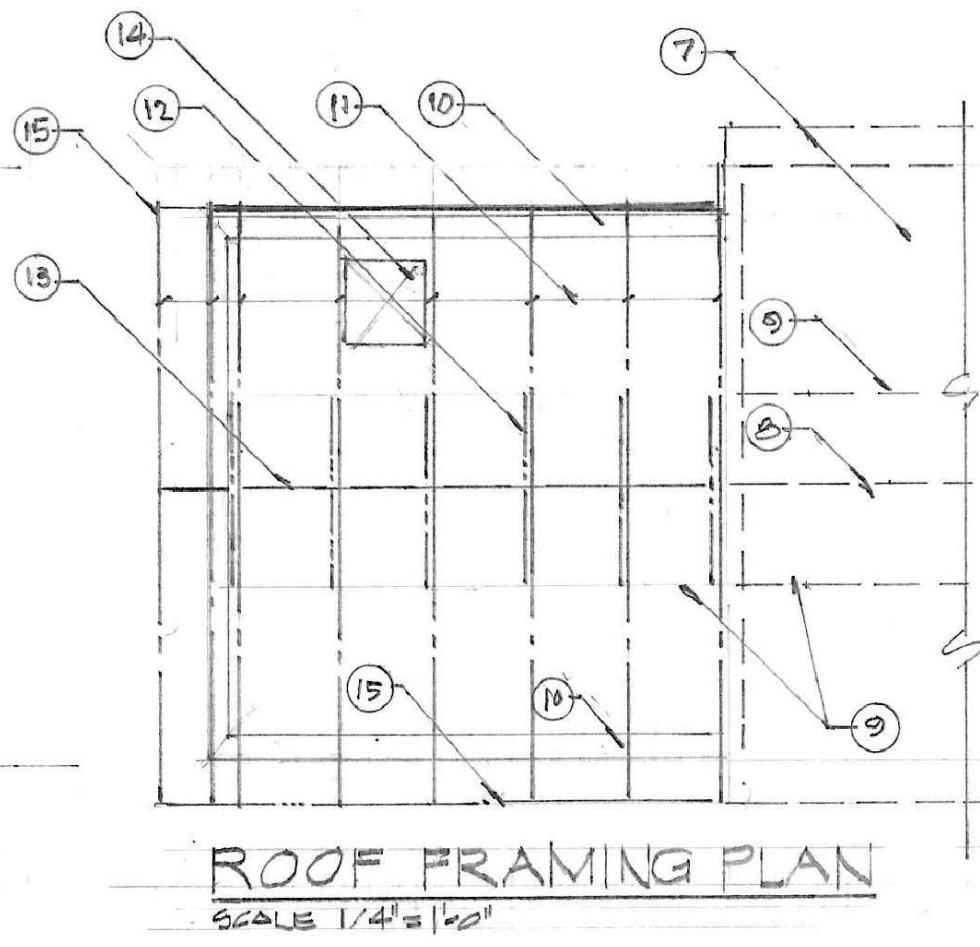
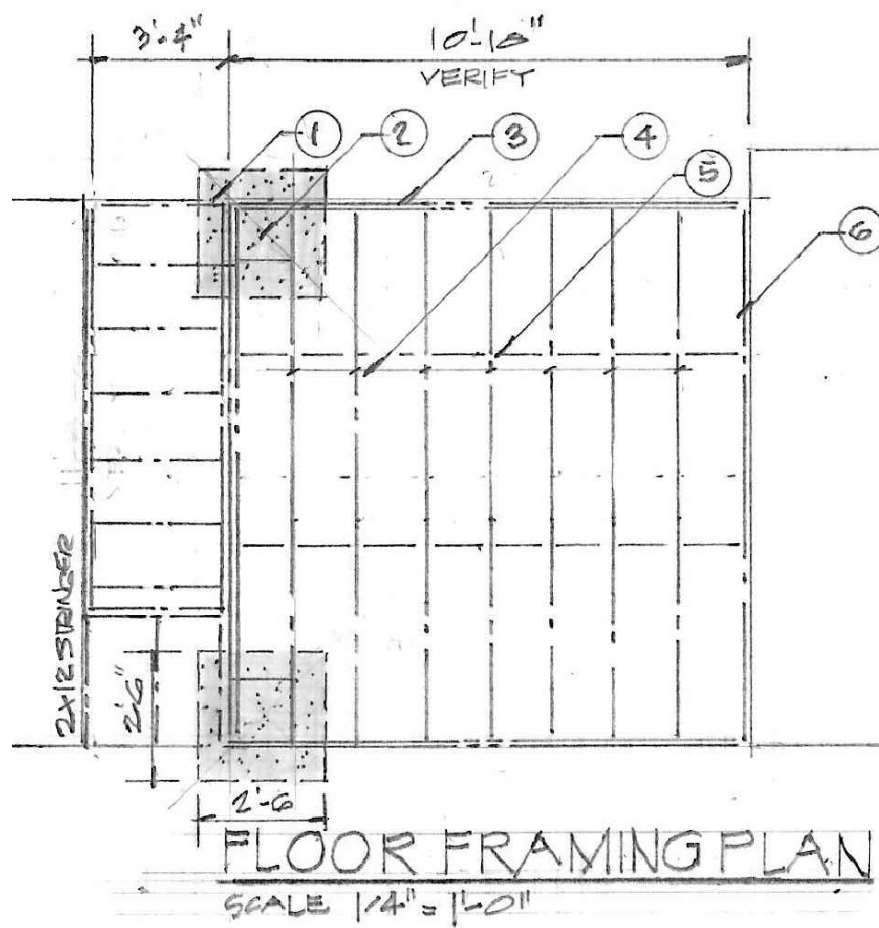
LUMBER AND HARDWARE NOTES:

1. Install all required fasteners per installation instructions provided by Simpson Strong-Tie Company Inc.: (a) use proper fastener type; (b) use proper fastener quantity; (c) fill all fastener holes; (d) do not overdrive or underdrive nails, including when using powder nailers; and (e) ensure screws are completely driven. Only bend products that are specifically designed to be bent. For those products that require bending (such as strap-type holdowns, straight-end twist straps, etc.), do not bend more than one full cycle. Cut joists to the correct length, do not "short-cut." The gap between the end of the joist and the header material should be no greater than 1/8" unless otherwise noted.
2. Unless otherwise noted, dimensions are in inches, loads are in pounds. Unless otherwise noted, welds, screws, bolts and nails may not be combined to achieve highest load value. 0.131" x 21/2", 0.148" x 3" and 0.162" x 31/2" specify common nails that meet the requirements of ASTM F1667. When a shorter nail is specified, it will be noted (for example 0.131" x 11/2"). Refer to Simpson Strong-Tie Nailing Guide, NDS (National Design Specification) and ASTM F1667 (American Society of Testing and Materials) for more nail info. Do not overload. Do not exceed catalog allowable loads, which would jeopardize the connection..
3. All engineered lumber shall be protected from rain and kept dry throughout the construction process. All long spans and cantilevers shall be supported without deflection until the building is dried in.
4. Joists, beams, and headers shall only be drilled, cut, or notched in strict accordance with the manufacturer's specifications.
5. All headers and beams shall be (2) 2x8 minimum, unless noted otherwise on plans. Refer to note 4 for support requirements.
6. Hardware such as holdowns, straps, and hangers are designed to be by Simpson Strong-Tie Company, Inc.
7. All columns shall be double stud minimum, unless noted otherwise, with the beam or header bearing fully on the column. Individual studs shall be nailed together per the general structural notes.
8. Epoxy dowel all new horizontal reinforcing into existing footings. Minimm embedment 4".

- It is the responsibility of the contractor to become fully aware of any and all conditions related to the site and existing conditions that may effect the cost of scheduling construction activities, prior to submitting a bid.
9. Contractor shall verify all dimensions and conditions at the job site including soil conditions, and conditions related to the existing utilities and services before commencing work and be responsible for same. All discrepancies shall be reported to the owner immediately.
 10. Do not scale drawings or details — Use given dimensions. Check details for location of all items not dimensioned on plans. Dimension on plans are to face of framing or center line of columns typically. Door and cased openings without dimensions are to be six (3) inches from face of adjacent wall or centered between walls.
 11. Lumber and its fastenings shall conform to the national design specifications for wood construction, latest edition.
 12. All wood framing sizes, framing, fastening requirements, anchorages, firestops, and connectors not shown on these plans to be per the specified building code.
 13. All structural lumber to be structural grade no. 2 spruce-pine-fir with a maximum moisture content of 19%. all lumber to be stamped with the grade mark of an approved grading agency.
 14. All wood framing exposed to weather shall be pressure treated. all fasteners in contact with pressure-treated wood to be hot dip galvanized per the manufacturers recommendations and the applicable building code.
 15. The framing layouts depicted on the plans are to illustrate general framing conditions but do not necessarily depict the correct quantities or connections required.
 16. Fastening for all structural members not specifically shown in the plans to be per the fastening schedule of the applicable building code.
 17. Bolts shall conform to astm 307, ansi d18.2.1. screws and lag screws shall conform to ansi b18.2.1. and ansi b18.6.1, respectively. bolts through wood shall be fitted with standard washers.
 18. Bolt holes shall be at least a minimum diameter of 1/32" and no more than a maximum of 1/16" larger than the bolt diameter.
 19. Bolt nuts shall be finger-tight plus 1/3 to 1/2 turn with a hand wrench, with consideration given to possible future wood shrinkage. care should be taken not to over-torque the nut. impact wrenches should not be used as they may preload the connectors. bolt nuts shall be periodically retightened.
 20. Unless otherwise noted, connectors shall be installed with the maximum number and size of fasteners as required in the manufacturer's installation instructions.
 21. The number and size of nails used to connect wood members shall be according to the applicable building code. refer to manufacturer for nailing requirements (to attain maximum table values) for all wood-to-wood mechanical fasteners.



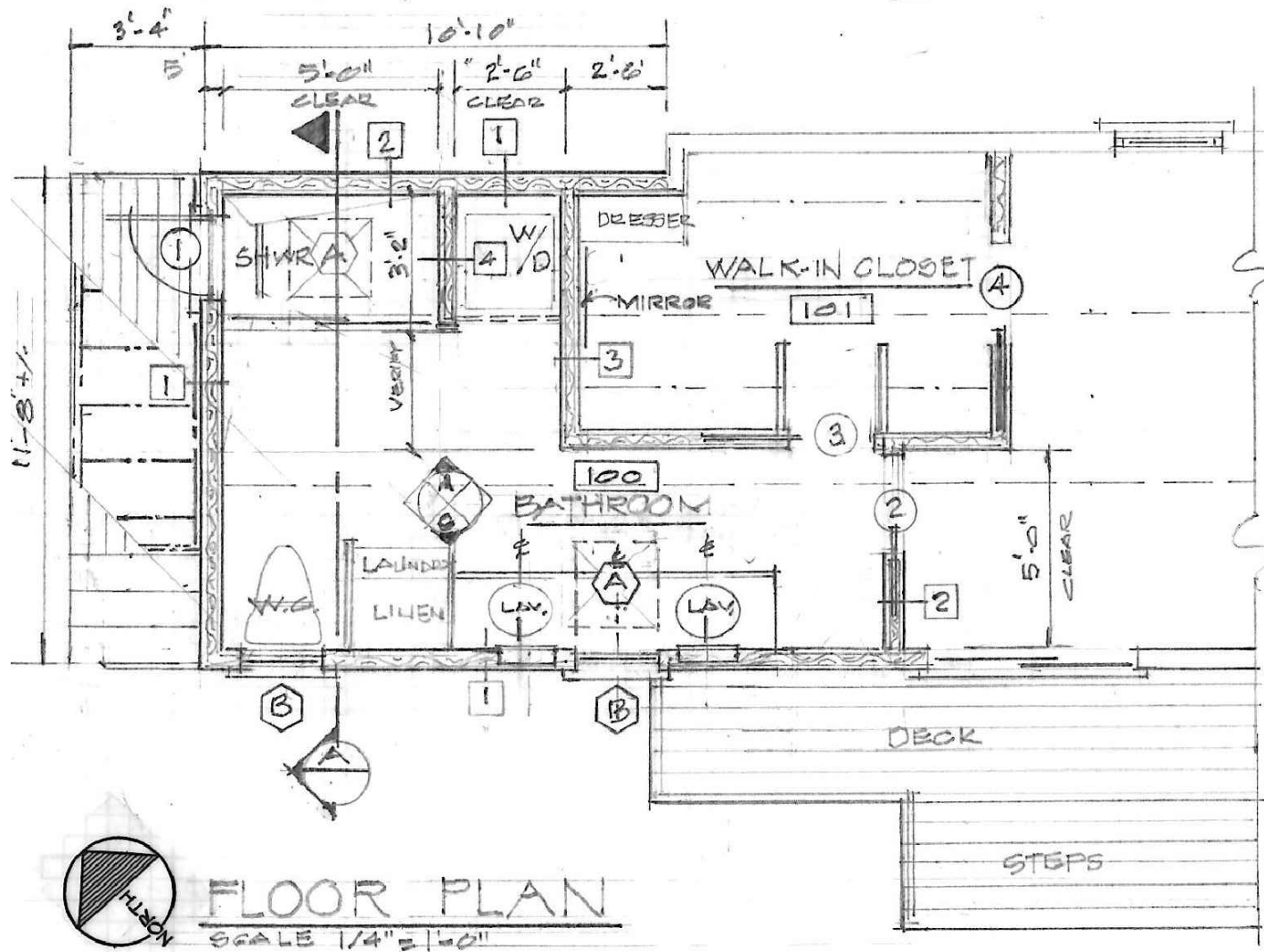
PROJECT NO :
4-3-2024
3-20-2024
DATE :



WALL TYPES

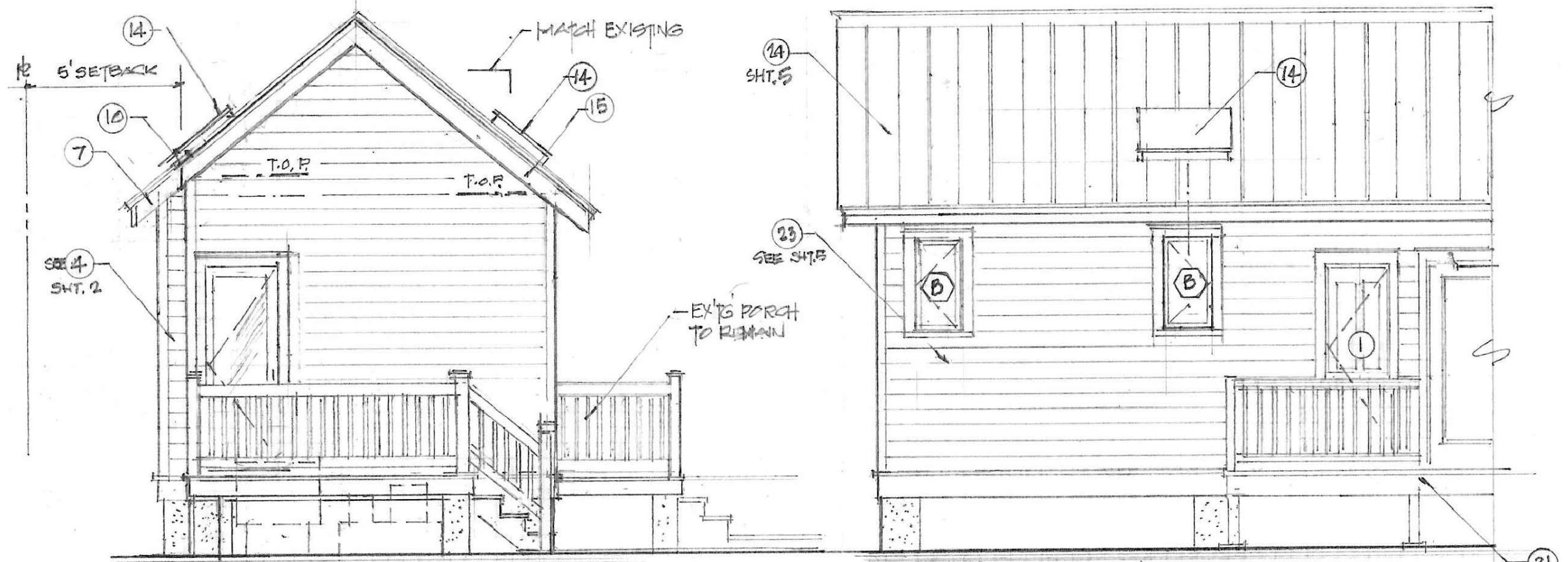
1. 2x6, 5/8 PLY, G.B., SIDING*
2. 2x6, 5/8 PLY, SIDING*, C.B., TILE
3. 2x4 G.B., BOTH SIDES
4. 2x4 G.B., C.B., TILE

G.B. - GREEN BOARD 1/2"
 C.B. - CEMENTOUS BOARD 1/2"
 * = MATCH EXISTING SIDING
 PLYWOOD 5/8" P.T. W/VAPOR B.



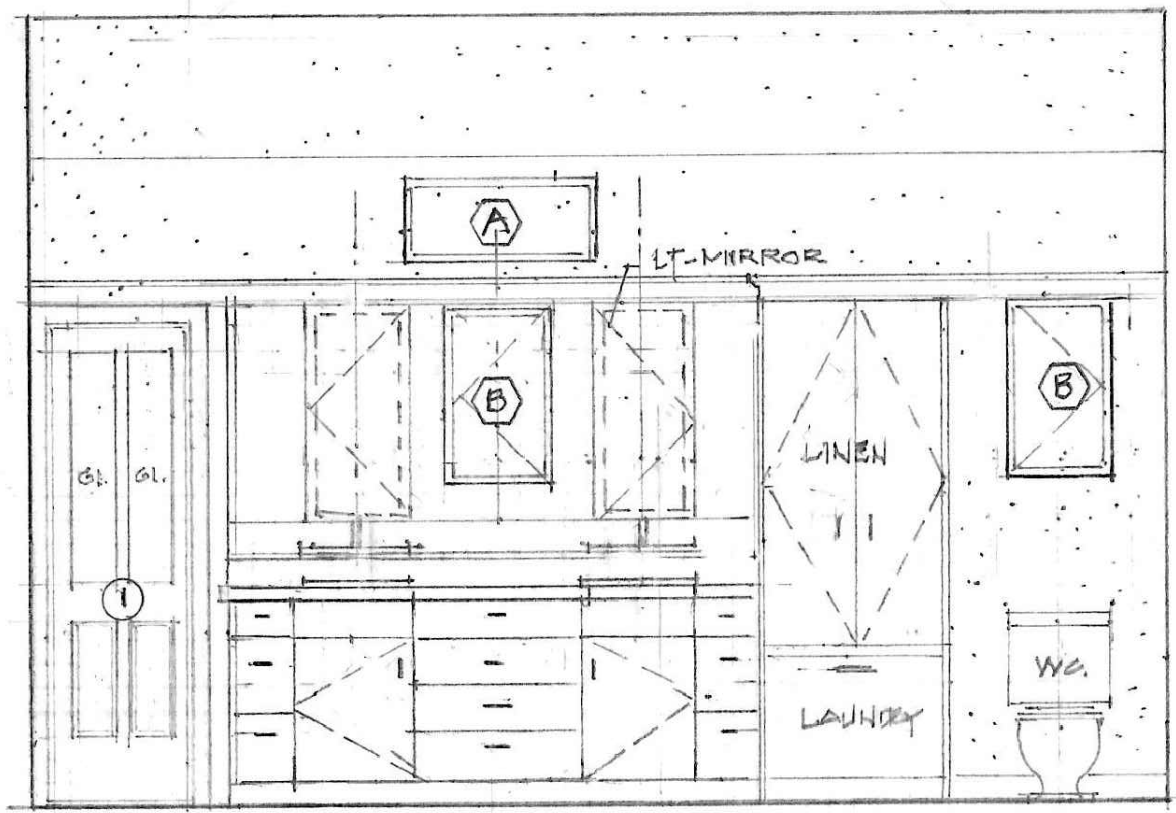
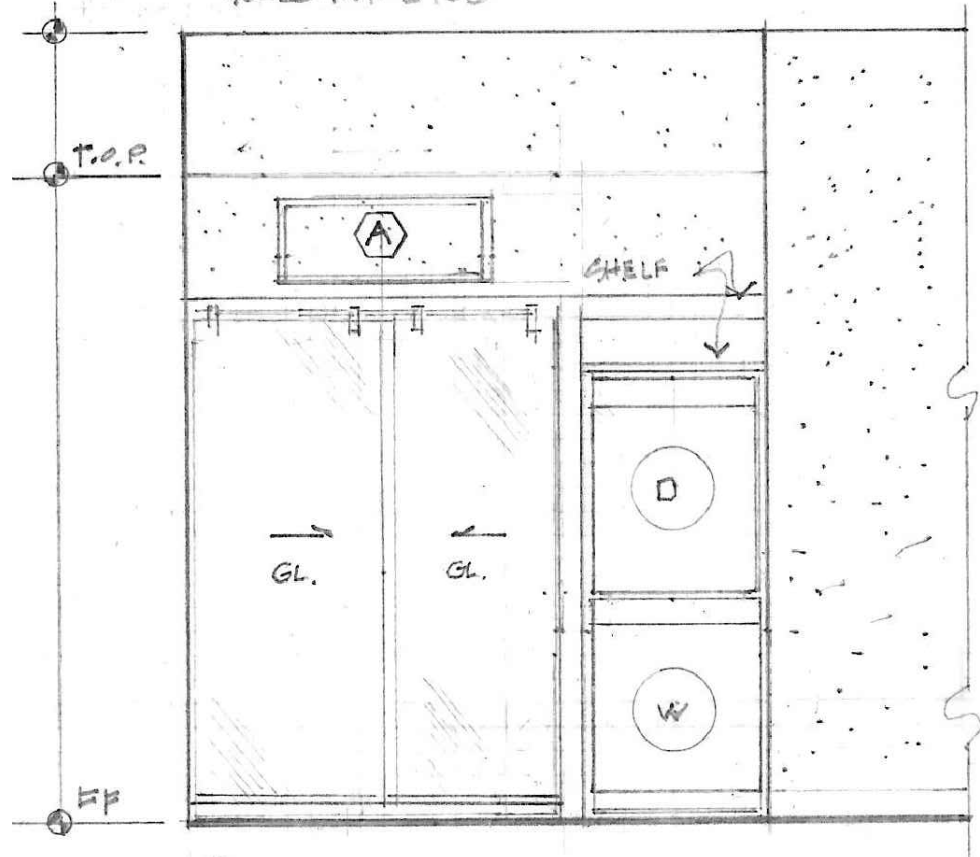
LEGEND

1. FOOTING - 20" x 20" x 8" w/(4) #4 EA. WAY
2. FOUNDATION 10" CMU w/(4) #4 HOOKS
3. RIBBON JOIST (2) 2x10 w/(2) SIMPSON HD @ EA. PIER
4. JOISTS 2x8 @ 12" O.C.
5. BLOCKING 2x8 @ 4'-0" O.C.
6. LEDGER 2x8 w/ TIMBERLACS @ 12" O.C. STAGGER
7. EXISTING 1 STORY FRAME STRUCTURE w/ 1'-0" O.H.
8. EXISTING RIDGE LINE
9. EXISTING COLLAR TIE
10. NEW 2x6 P.T. WALL (TYP.) * EAST SIDE (ADD 8 1/4" TO PLATE HT.)
11. RAFTERS 2x6 @ 24" O.C. (MATCH EXISTING ROOF)
12. NEW COLLAR TIES (MATCH EXISTING ROOF)
13. RIDGE 2x8
14. SKYLIT. 20" x 20"
15. OVER HANG - MATCH EXISTING



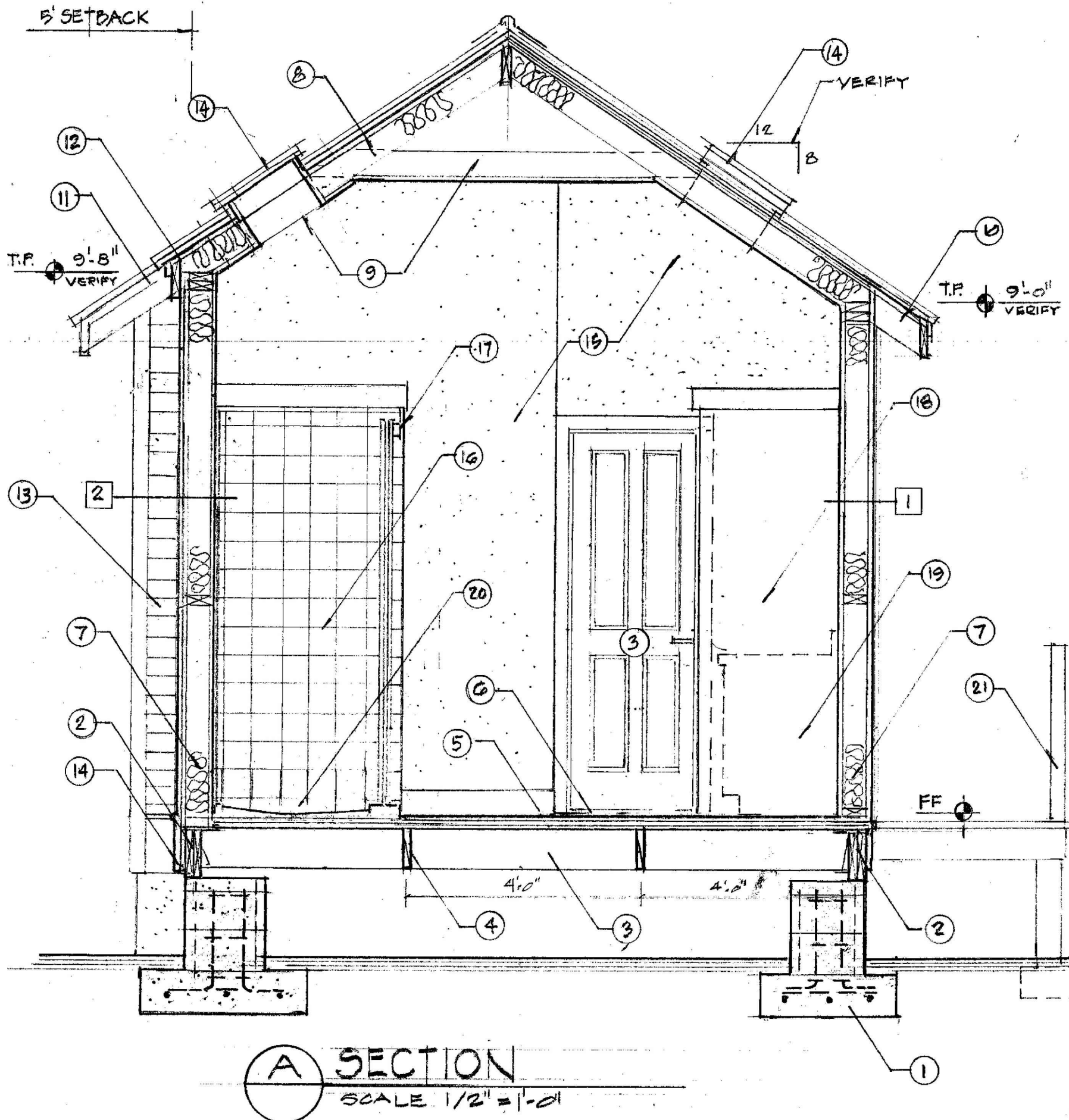
NORTH ELEVATION
WEST ELEVATION

EXTERIOR ELEVATIONS
SCALE 1/4" = 1'-0"



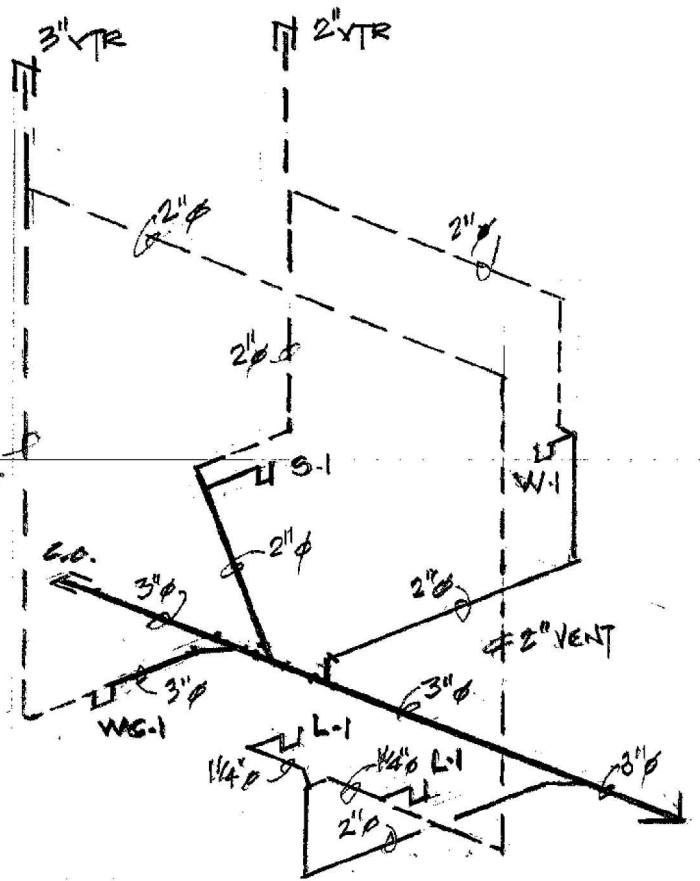
A
INTERIOR ELEVATIONS
SCALE 3/8" = 1'-0"

B



A SECTION
SCALE 1/2" = 1'-0"

1. FOUNDATION (SEE NOTE BELOW)
2. RIBBON JOIST (2) 2x10 W/ SIMPSON HD
3. JOISTS 2x8 @ 12" o.c.
4. BLOCKING 2x8 @ 4'-0" o.c.
5. SUBFLOOR (2) LAYERS 5/8" PT PLYWD.
6. FINISH FLOOR TILE W/ CEMENTOUS BD.
7. EXT. WALL 2x6 W/ ROCKWOOL (SEE NOTE 1)
8. ROOF - MATCH EXISTING
9. CEILING - MATCH EXISTING PROFILE (COLLAR TIE)
10. OVERHANG - MATCH EXIST'G EXCEPT EAST WALL
11. OVERHANG EXISTING TO REMAIN
12. NO OVERHANG ON EAST SIDE (DUE TO SETBACK)
13. WALL (EXISTING WALL) 10" +/- TO REMAIN
14. DRIP EDGE & COVERING BOARD
15. INTERIOR FINISH CEILING 5/8" WALLS 1/2" GREEN BD
16. TILE TO BID BY OWNER SHOWER, FLOOR & VANITY
17. SHOWER DOORS (2) 28" x 78" +/- W/ BARN HINGES
18. LINEN/ LAUNDRY HAMPER CABINET
19. VANITY CABINET (BEYOND)
20. FLOOR DRAIN - BATHROOM FLR. SLOPE TO DRAIN
21. EXISTING DECK
22. FOUNDATION
FOOTING (3) #5 EW
PIER 16" CMU W/ (4) #4 HOOKS FULL HT.
CONCRETE 4000 PSI
23. WALLS
2x6 STUD WALL @ 16" W/ R22 ROCKWOOL
EXTERIOR SHEATHING 3/4" PLY W/ TYVEK OR EQ.
INTERIOR - 1/2" GREEN BD.
1/4" CEMENTOUS BD / TILE
SIDING - MATCH EXISTING
24. ROOF
2x6 JOISTS @ 24" o.c. W/ R22 ROCKWOOL
5/8" TYP X GYP BD.
VAPOR BARRIER
5/8" PT. SHEATHING
V-CRIMP GALVALUME ROOFING



PLUMBING DIAGRAM

PLUMBING NOTES

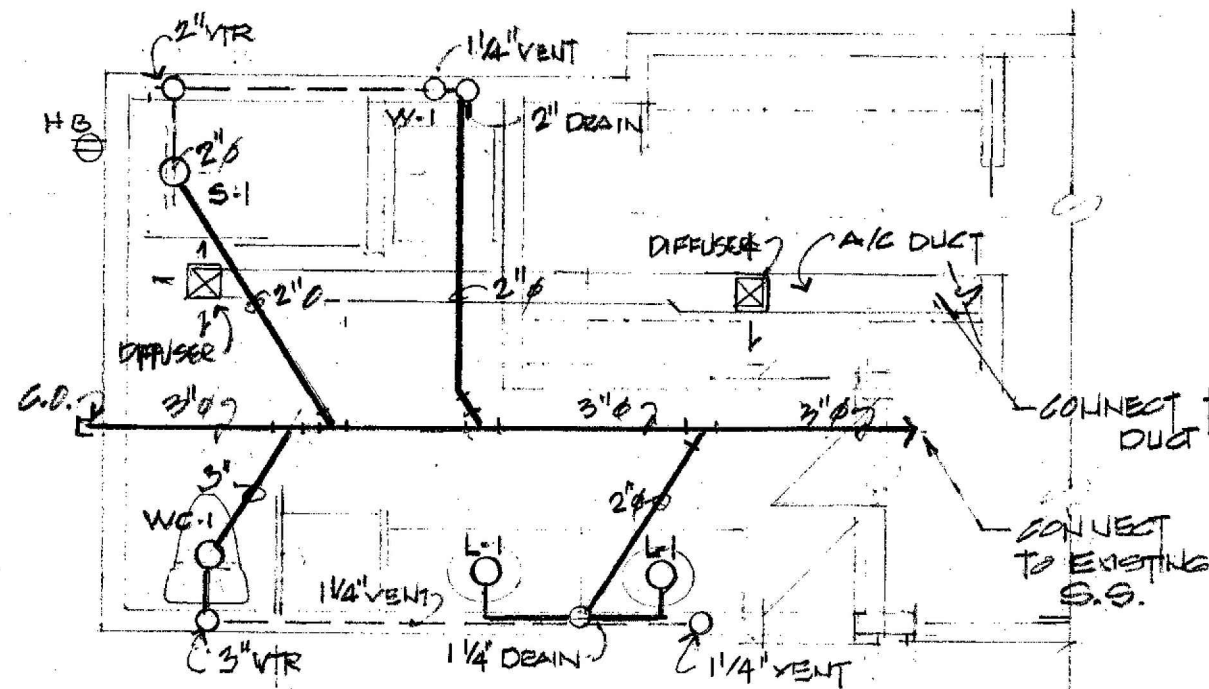
Dielectric Unions: provide dielectric unions or flanges at connections or contact between pipes of dissimilar metals.
 Water Hammer Arrestors: Install water hammer arrestors at fixture hot and cold supplies (at all lavatories and sinks and other quick acting fixtures.)
 Exposed Piping: Exposed piping shall be polished chromium on either brass or bronze.
 Valves: All valves shall have a minimum of 125 psig working pressure. Valves and cocks may not be indicated in every instance on the drawings, but whether or not shown, all valves, cocks and check valves necessary for the proper operation of the system shall be furnished and installed. Install isolation/ shut-off valves at all main risers. Install isolation/shut off on sinks, toilets and washer inlet of each piece of equipment. Provide a flange or union between the valve and the equipment to permit disconnection, removal and service.
 Venting: The stacks shall be extended through roof of building to points not less than 12" above roof. Vents shall be offset as required to penetrate roofs at least 3 feet from the ridge or edge of building and 10 feet from any fresh air intake or operable window or door.
 Sanitary, Waste, Grease, and Vent Piping: All below ground piping and fittings shall be sch 40 PVC-DWV (solid core). Slope of sanitary or drainage piping 2-1/2" and smaller shall be a minimum of 1/4" per foot; piping 3" and larger shall be sloped a minimum of 1/8" per foot. Cleanouts will be located not more than 100 feet apart and at each change of direction greater than 45° along the horizontal drain. Cleanouts shall be installed at base of each stack.
 Plumbing Fixtures and Trim: Plumbing fixtures shall be furnished and installed in a neat and workmanlike manner with proper connections to supply and drainage piping. All fixtures shall be free of flaws and defects of any sort in material and workmanship and shall operate perfectly when installed in accordance with manufacturer's directions. Contractor shall provide rough-in and shall connect all fixtures to the plumbing systems. All fixtures to be provided with chrome plated supplies and stops. Provide 17 gauge chrome plated brass traps for all fixtures without integral traps. Provide concealed arm carriers and supports for all fixtures requiring same.
 Pipe Insulation: Install insulation products in accordance with the manufacturer's instructions and in accordance with recognized industry practices. Seal all joints, breaks, tears, and penetrations with rife retardant, vapor barrier mastic. Cover valves, fittings and similar items in each piping systems. Insulate all domestic hot water with 1" thick fiberglass sectional pipe covering with canvas jacket or Armaflex AP pipe insulation kits or equivalent.
 Testing: Test all waste and vent piping for a period of not less than 8 hours by capping or plugging all joints to a level of the highest fixture or fittings, filling the system with water and observe for leaks. Test water piping at 100 psig for a period of 8 hours, observing for any visible leaks. Test piping again with fixtures installed. Repair any leaks found by remaking joint. Do not use caulking or similar methods.
 Equipment Furnished by Others: Where shown on the drawings, the contractor shall make all piping connections to equipment furnished by others. This work shall include furnishing and installation of all water and drain piping. All work shall be performed in accordance with recommendations of equipment manufacturer.
 Substitutions: Unless as otherwise agreed, plumbing contractor shall pay for added costs associated with any substitution.
 Provide full blocking around all floor penetrations. Hole saw through 2x10 and 2x8 floor joists when required.

PLUMBING SCHEDULE

MK.	QTY.	DESCRIPTION / DETAILS	NOTES
L-1	2	LAVATORY	OWNER TBD
WC-1	1	REUSE EXISTING	
S-1	1	(2) GL. SINKS (EACH HINGED)	
W-1	1	WASHER/ DRYER	

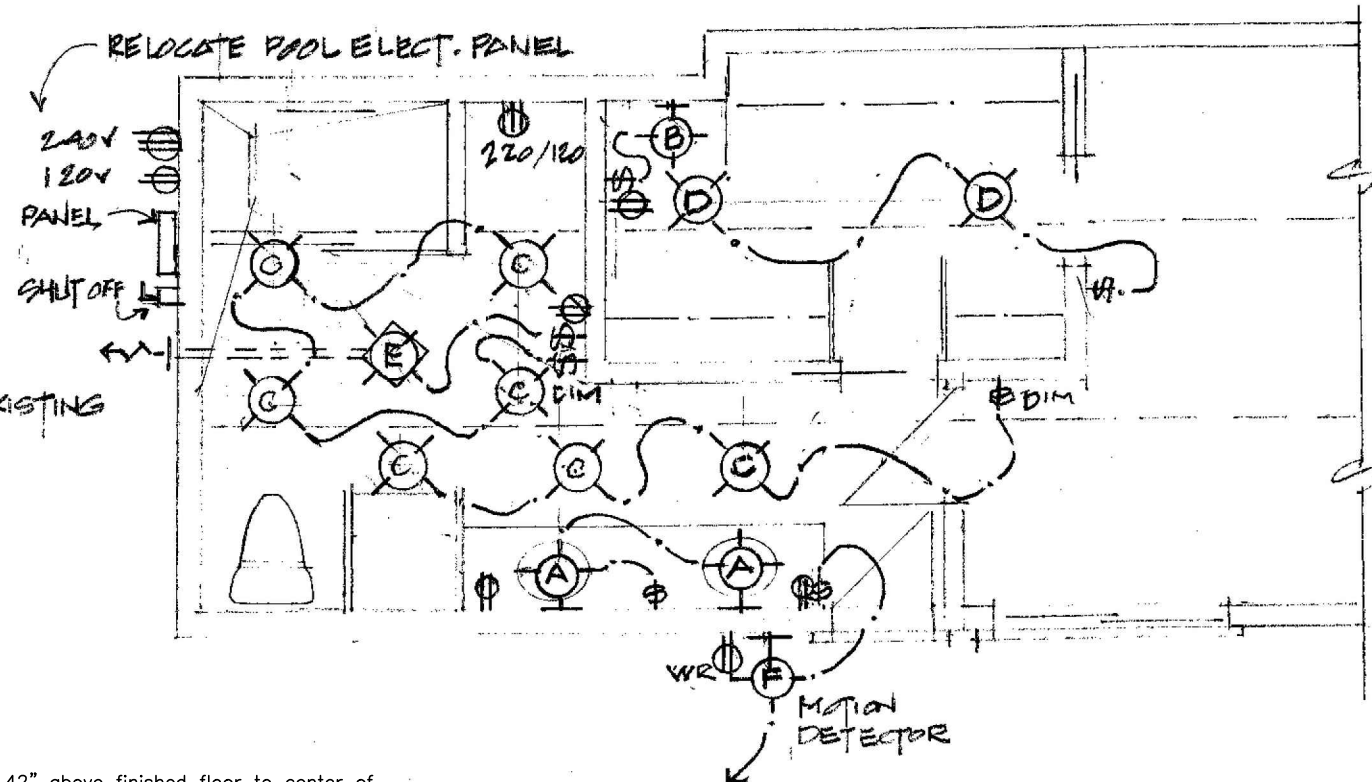
ELECTRICAL SCHEDULE

MK.	QTY.	DESCRIPTION / DETAILS	NOTES
A	2	YANITY LT. BATH	OWNER TBD
B	1	DRESSING RM. LT. CLO.	
C	7	4" LED/ RECESSED	
D	2	6" LED/ RECESSED BATH	
E	1	EXHAUST FAN - QUIET	
F	1	WALL MT. MOTION DET. EXT.	



PLUMBING PLAN

SCALE 1/4" = 1'-0"



ELECTRICAL PLAN

SCALE 1/4" = 1'-0"

ELECTRICAL NOTES

All switches and dimmers shall be located 42" above finished floor to center of switch, U.N.O. Multiple switches at one location shall be ganged together and finished with one cover plate, U.N.O.
 All wet location outlets are to be gfci type
 All exterior switches and outlets are to be or have weather proof covers.

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at 5:00 p.m., September 24, 2024, at City Hall, 1300 White Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

NEW ADDITION TO REAR. DEMOLITION OF REAR WALL.

#1123 WASHINGTON STREET

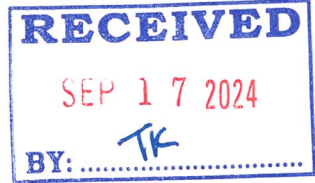
Applicant – William Rowan Application #H2024-0042

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT



STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared ENID TORREGROSA - SILVA, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address: 1123 WASHINGTON STREET on the 17 day of SEPTEMBER, 2024.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on SEPTEMBER 24, 2024.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H 2024.0042

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

Date: SEPTEMBER 17 - 2024

Address: 1300 WHITE STREET

City: KEY WEST

State, Zip: FLORIDA 33040

The forgoing instrument was acknowledged before me on this 17th day of September, 2024.

By (Print name of Affiant) Enid Torregrosa who is personally known to me or has produced identification and who did take an oath.

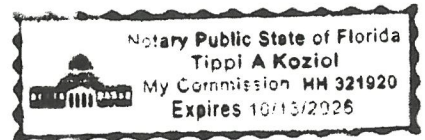
NOTARY PUBLIC

Sign Name: Tippi Alkozol

Print Name: Tippi A. Koziol

Notary Public - State of Florida (seal)

My Commission Expires: 10/13/2026



Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at 1001 Ave. Southeast, 2d, 202A, at 10:00 AM, 1001 Southeast 2d, West Palm, Florida. The purpose of the meeting will be to consider a request for

NEW ADDITION TO REAR, DEMOLITION OF REAR WALL.

81121 WASHINGTON STREET

Applicant - William Rowan Application #02024-0041

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1001 White Street, call 561.466.3073 or visit our website at www.cityofwestpalm.com.

THIS NOTICE IS VALID FOR 30 DAYS FROM THE DATE OF POSTING.

ANY APPLICANT IS IN THE POSSESSION OF THE PROPERTY AND IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND AVOIDING ALL APPLICABLE REGULATIONS AND ORDINANCES. THE CITY OF WEST PALM BEACH IS NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS THAT MAY OCCUR AS A RESULT OF THIS NOTICE.



Public Meeting Notice

NEW JERSEY PUBLIC UTILITIES
REGULATORY BOARD
PUBLIC UTILITIES DIVISION
PUBLIC MEETING NOTICE
REGULATORY BOARD
PUBLIC UTILITIES DIVISION
PUBLIC MEETING NOTICE

PROPERTY APPRAISER INFORMATION

Monroe County, FL

PROPERTY RECORD CARD

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00038370-000000
Account# 1039110
Property ID 1039110
Millage Group 10KW
Location 1123 WASHINGTON St, KEY WEST
Address
Legal Description LT 8 SQR 1 TR 18 KW WEBB REALTY CO SUB PB1-42 H2-343 OR535-312/13 OR540-701 OR1170-1761D/C OR1353-775/77ORD OR1356-1805/20OWILL OR1381-2124/28PET OR1386-13/15P/R OR1386-16 OR1556-1885/86 OR1567-2155/56C OR2244-2309/10 OR2372-1042/44R/S OR2451-91/92 OR2604-320/21
(Note: Not to be used on legal documents.)
Neighborhood 6131
Property Class SINGLE FAMILY RESID (0100)
Subdivision The Webb Realty Co
Sec/Twp/Rng 05/68/25
Affordable No
Housing



Owner

BELK JAMES P
 300 N Ridge Rd
 Unit 61
 Henrico VA 23229

BELK ANN S
 300 N Ridge Rd
 Unit 61
 Henrico VA 23229

Valuation

	2024 Certified Values	2023 Certified Values	2022 Certified Values	2021 Certified Values
+ Market Improvement Value	\$1,074,920	\$952,976	\$875,495	\$746,138
+ Market Misc Value	\$32,888	\$33,876	\$34,864	\$35,853
+ Market Land Value	\$1,155,228	\$1,205,455	\$909,114	\$597,705
= Just Market Value	\$2,263,036	\$2,192,307	\$1,819,473	\$1,379,696
= Total Assessed Value	\$1,836,376	\$1,669,433	\$1,517,666	\$1,379,696
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$2,263,036	\$2,192,307	\$1,819,473	\$1,379,696

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2023	\$1,205,455	\$952,976	\$33,876	\$2,192,307	\$1,669,433	\$0	\$2,192,307	\$0
2022	\$909,114	\$875,495	\$34,864	\$1,819,473	\$1,517,666	\$0	\$1,819,473	\$0
2021	\$597,705	\$746,138	\$35,853	\$1,379,696	\$1,379,696	\$0	\$1,379,696	\$0
2020	\$552,500	\$762,719	\$36,840	\$1,352,059	\$1,352,059	\$0	\$1,352,059	\$0
2019	\$597,705	\$628,834	\$38,077	\$1,264,616	\$1,264,616	\$0	\$1,264,616	\$0
2018	\$575,103	\$644,172	\$39,316	\$1,258,591	\$1,258,591	\$0	\$1,258,591	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RES SUPERIOR DRY (01SD)	4,973.00	Square Foot	44	112

Buildings

Building ID	3005	Exterior Walls	HARDIE BD
Style	2 STORY ELEV FOUNDATION	Year Built	2002
Building Type	S.F.R. - R1 / R1	EffectiveYearBuilt	2015
Building Name		Foundation	CONCR FTR
Gross Sq Ft	2075	Roof Type	IRR/CUSTOM
Finished Sq Ft	1641	Roof Coverage	METAL
Stories	3 Floor	Flooring Type	SFT/HD WD
Condition	GOOD	Heating Type	FCD/AIR DUCTED with 0% NONE
Perimeter	358	Bedrooms	3
Functional Obs	0	Full Bathrooms	2
Economic Obs	0	Half Bathrooms	1
Depreciation %	7	Grade	650
Interior Walls	WALL BD/WD WAL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	434	0	0
FLA	FLOOR LIV AREA	1,641	1,641	0
TOTAL		2,075	1,641	0

Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
HOT TUB	2002	2003	0 x 0	1	1 UT	2
FENCES	2002	2003	6 x 222	1	1332 SF	2
BRICK PATIO	2002	2003	0 x 0	1	278 SF	2
FENCES	2002	2003	4 x 91	1	364 SF	2
BRICK PATIO	2002	2003	40 x 48	1	1225 SF	2
RES POOL	2006	2007	10 x 24	1	240 SF	4

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
11/16/2012	\$1,250,000	Warranty Deed		2604	320	02 - Qualified	Improved		
1/22/2010	\$1,100,000	Warranty Deed		2451	91	02 - Qualified	Improved		
7/10/2008	\$1,300,000	Warranty Deed		2372	1042	Q - Qualified	Improved		
1/15/1999	\$142,000	Warranty Deed		1556	1885	Q - Qualified	Vacant		

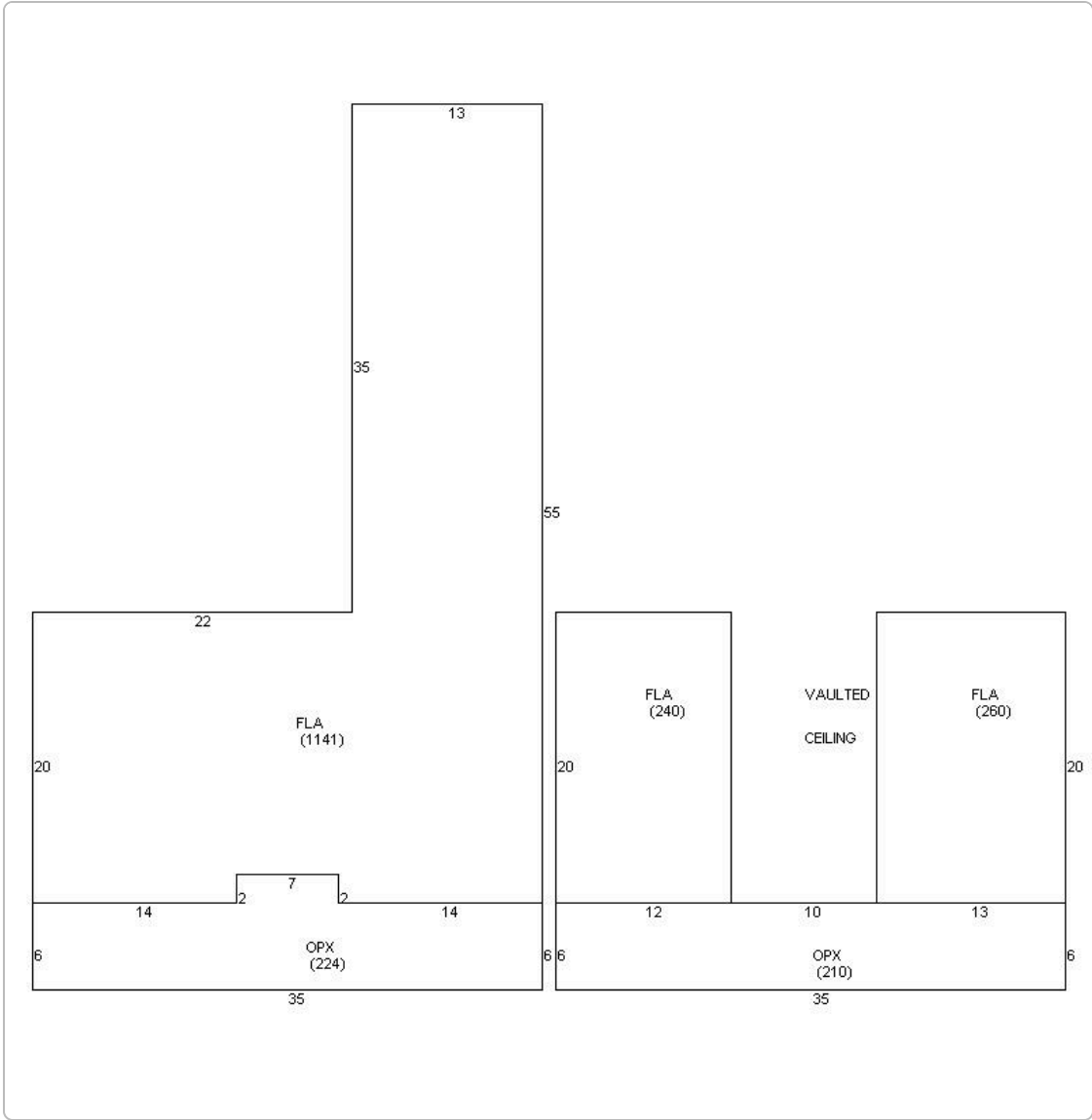
Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
24-2192	8/15/2024		\$14,000	Residential	Interior only, replace kitchen countertop, cabinets to remain and appliances same location. repairs to cracks in drywall and repaint, Install wood flooring in kitchen and 1/2 bath, new shelving/cabs in pantry closet, refinish wood flooring 1st level,
13-0090	1/11/2013	1/11/2013	\$650	Residential	SET 200# CYLINDER ON EXISTING CONCRETE PAD & STRAP, HOOK UP GAS LINE TO RANGE. ADD A GASLINE TO HOOK UP TANKLESS WATER HEATER
06-2113	7/25/2006	9/26/2006	\$2,300	Residential	ATF - RESURFACE DIAMOND BRITE POOL.
0201172	5/7/2002	5/9/2002	\$2,000	Residential	BRICK PAVERS
01-1153	9/5/2001	5/9/2002	\$268,010	Residential	BUILD CANTALEVER DECK
01-1153	6/5/2001	5/9/2002	\$182,000	Residential	ENLARGE HOUSE
01-1153	6/4/2001	5/9/2002	\$182,000	Residential	CHANGE FOUNDATION
0101153	5/2/2001	5/9/2002	\$268,000	Residential	NEW SFR2033SF
01-1153	5/2/2001	5/9/2002	\$182,000	Residential	PLUMBING
0101153	4/25/2001	5/9/2002	\$7,000	Residential	FENCE
0101153	4/20/2001	5/9/2002	\$10,000	Residential	SWIMMING POOL

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



TRIM Notice

[2024 TRIM Notice \(PDF\)](#)

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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[Contact Us](#)

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