

Staff Report

5 Demolition of front porch, partial demolition of roof and demolition of carport- **#421 Virginia Street- Seatech of the Florida Keys (H12-01-346)**

This staff report is for the review of a second reading for a Certificate of Appropriateness for the demolition of a deteriorated front porch that has a concrete floor and partial demolition of the existing roof, which is also deteriorated due to neglect. The plans also propose the demolition of a non historic carport. The main building on the site is listed as a contributing resource. The one and a half story house was built circa 1948. The ancillary building is not depicted in the 1962 Sanborn map; nevertheless a photo circa 1965 shows the structure. The proposed plans include replacements for the new carport and front porch and propose the reconstruction of the roofs with exact materials and forms. On March 14 the Commission approved with condition the new design and first reading of proposed demolitions. During the meeting the Commission conditioned the approval to include in the plans 2 over 2 true divided lites wood windows for the entire house. The Commission also recommended the applicant the relocation of the new carport. New plans were submitted and they include those changes. The new plans also include a swimming pool and a deck area.

Staff understands that the requested demolitions are proposed on non historic architectural elements that are deteriorated. The existing carport although non historic is also deteriorated by neglect.

It is staff's opinion that the proposed demolitions can be considered by the Commission since they comply with the criteria for demolitions in the historic district as stated in Section 102-218 of the Land Development Regulations.

Application



**CITY OF KEY WEST
BUILDING DEPARTMENT
CERTIFICATE OF APPROPRIATENESS**

APPLICATION # **12-01000346**

OWNER'S NAME: TODD KEMP DATE: 2-23-12

OWNER'S ADDRESS: 730 FLEMING ST., KEY WEST, FL 33040 PHONE #: 904-910-1072

APPLICANT'S NAME: SEATECH OF THE FLORIDA KEYS PHONE #: 305-294-9993

APPLICANT'S ADDRESS: 830 CRANE BLVD, SUMMERLAND KEY, FL 33042

ADDRESS OF CONSTRUCTION: 421 VIRGINIA STREET # OF UNITS: 1

Revised

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT

DETAILED DESCRIPTION OF WORK: *RENOVATE INTERIOR OF EXISTING TWO STORY STRUCTURE. REPLACE EXISTING FRONT PORCH WITH NEW WOOD FRAMED AREA TO MATCH EXISTING. REPAIR/REPLACE PORTIONS OF EXISTING ROOF. REPLACE DOORS & WINDOWS THROUGHOUT. REPAIR/REPLACE ALL DAMAGED AREAS TO MATCH EXISTING. REPLACE EXISTING CARPORT WITH NEW CARPORT OF EQUAL SIZE.*

Chapter 837.06 F.S.-False Official Statements - Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or 775.083

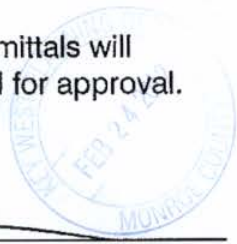
This application for Certificate of Appropriateness must precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval.

Date: 2-23-12

Applicant's Signature: *[Signature]*



Required Submittals

TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
TREE REMOVAL PERMIT (if applicable)
PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings and additions)
ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

Staff Use Only

Date: _____

Staff Approval: _____

Fee Due: \$ _____

HISTORIC ARCHITECTURAL REVIEW APPLICATION

HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

Approved ✓ approved design Denied _____ Deferred _____
1st reading denied

Reason for Deferral or Denial:

3/14/12 - approved condition all windows wood with two divided lights
3/14/12 - demolition approved first reading ~~physical~~

HARC Comments:

Rain house is listed as contributing.
Ordinance for Demolitions
• Guidelines for additions, alterations, new construction (36-38a)
• Guidelines for outbuildings (p. 40-41)
• Guidelines for windows (p. 29.30)

Limit of Work Approved, Conditions of Approval and/or Suggested
Changes:

Date: 3/14/12

Signature: Rudy Orland

Historic Architectural
Review Commission





City Of Key West
Planning Department
3140 Flagler Avenue
Key West, Florida 33040

March 21, 2012

Eng. Paul Semmes
Seatech of the Florida Keys
#830 Crane Boulevard
Sugarloaf Key, Florida 33042

**RE: RENOVATE EXISTING TWO STORY HOUSE. NEW WOOD
FRAME PORCH TO MATCH EXISTING. REPAIR PORTIONS OF
EXISTING ROOF. REPLACE DOORS AND WINDOWS THROUGHOUT.
REPAIR ALL DAMAGED AREAS TO MATCH EXISTING. NEW
CARPORT TO REPLACE EXISTING. DEMOLITION OF FRONT
PORCH AND PARTIAL DEMOLITION OF ROOF. DEMOLITION OF
CARPORT
FOR: #421 VIRGINIA STREET - HARC APPLICATION # H12-01-346**

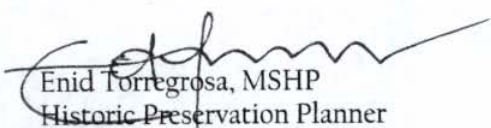
Dear Engineer Semmes:

This letter is to notify you that the Key West Historic Architectural Review Commission **approved with condition** the proposed design for the above mentioned project on the public hearing held on Wednesday March 14, 2012. The Commissioners motioned to approve the design with the condition that true divided 2 over 2 lite wood windows been installed in the historic house. The Commission also recommended the relocation of the new carport. The first reading for demolition was approved.

Because this project includes a demolition request, a second reading will take place on Wednesday, March 28, 5:30 pm at Old City Hall, 510 Greene Street. Should you have any questions, please do not hesitate to contact me at your convenience.

On behalf of the Historic Architectural Review Commission of our City, thank you for your interest in the preservation of Key West's historic heritage.

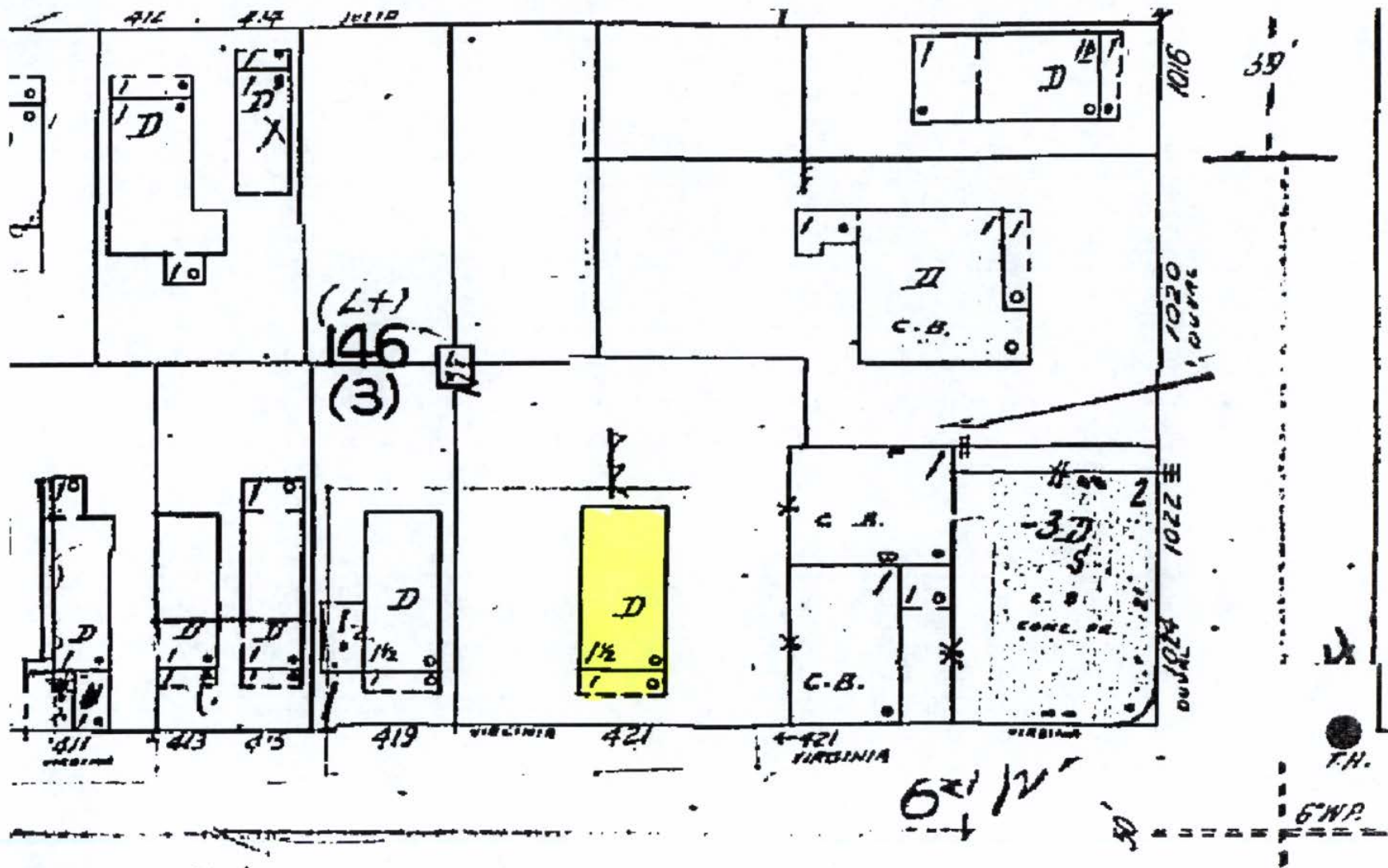
Sincerely:


Enid Torregrosa, MSHP
Historic Preservation Planner
City of Key West
3140 Flagler Avenue
Key West, Florida 33040

305.809.3973

etorregr@keywestcity.com

Sanborn Map



Sanborn Map- 1962 Copy- 421 Virginia Street

Project Photos



Photo taken by the Property Appraiser's office c1965; 421 Virginia St.; built c1948;
Monroe County Library



SOUTHEAST ELEVATION (FRONT)



SOUTH WEST ELEVATION (LEFT SIDE)





NORTHEAST ELEVATION (RIGHT SIDE)



EXISTING CARPORT & SHED





EXISTING CARPORT & SHED



EXISTING CARPORT & SHED





NORTHWEST ELEVATION (REAR)



NORTHWEST ELEVATION (REAR)





NORTHEAST ELEVATION LOOKING TOWARDS VIRGINIA ST.

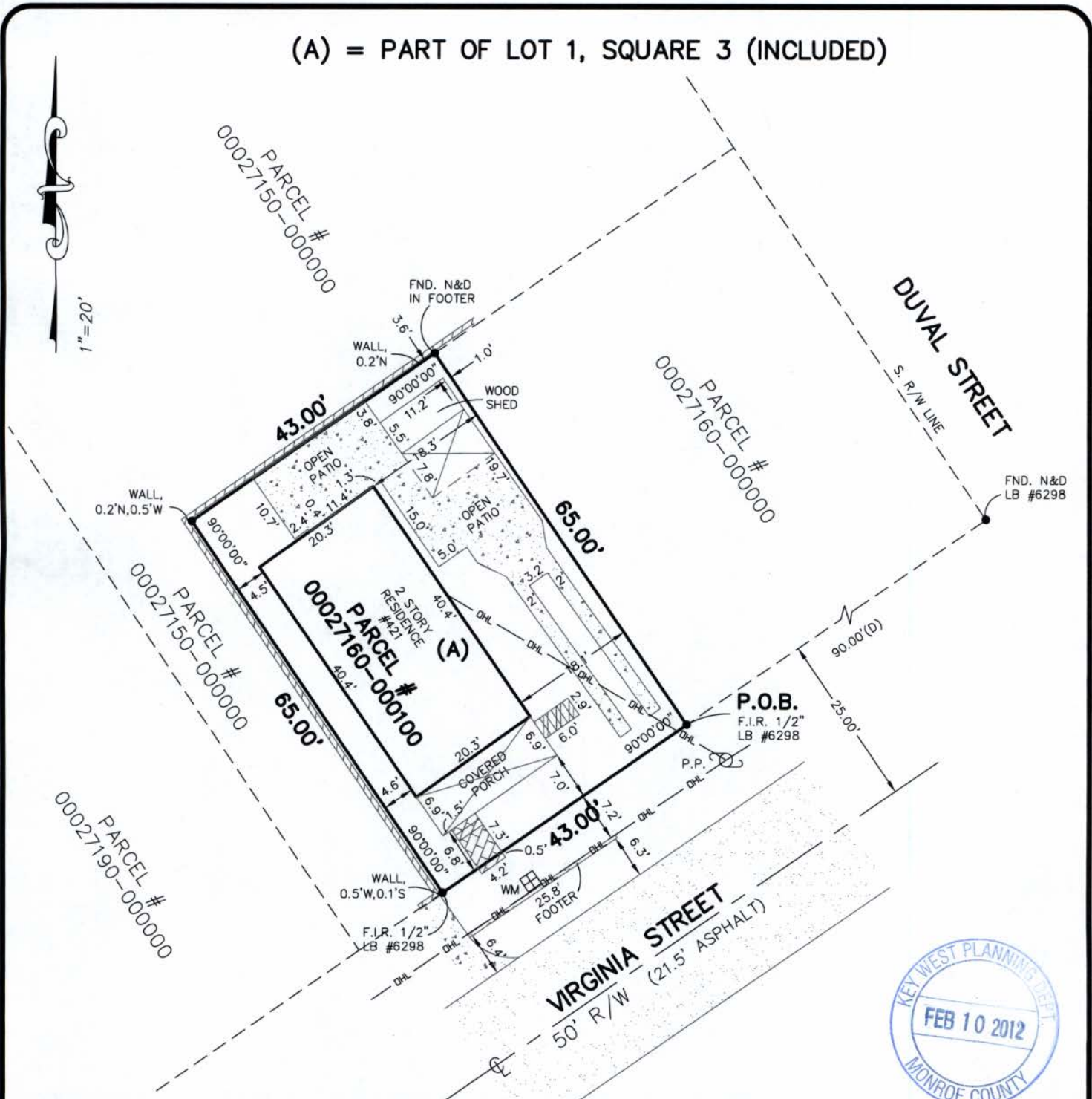


SOUTHEAST ELEVATION (FRONT)



Survey

(A) = PART OF LOT 1, SQUARE 3 (INCLUDED)



PAGE 2 OF 2 PAGES

BOUNDARY SURVEY

LB #6135



SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL, OR A RAISED EMBOSSED SEAL AND SIGNATURE.

Clyde McNeal
Digitally signed by Clyde McNeal
 DN: CN = Clyde McNeal, C = US,
 O = Target Surveying, Inc.
 Date: 2008.06.03 15:47:40 -0400

(SIGNED)

CLYDE O. McNEAL, PROFESSIONAL SURVEYOR AND MAPPER #2883



TARGET
SURVEYING, INC.

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5601 CORPORATE WAY SUITE 210
 WEST PALM BEACH, FL 33407
 PHONE (561) 640-4800
 FACSIMILE (561) 640-0576
 STATEWIDE PHONE (800) 226-4807
 STATEWIDE FACSIMILE (800) 741-0576

On the Island of Key West and known as William A. Whitehead's map of said Island delineated in February, A.D. 1829 as a part of Lot 1, of Square 3, of a subdivision of Tract 11 of SIMONTON & WALL'S ADDITION TO KEY WEST; COMMENCING at a point on the Northwest side of Virginia Street, a distance 90 feet from the corner of Duval and Virginia Streets and running thence along Virginia Street in a Southwesterly direction, 43 feet; thence at right angles in a Northwesterly direction 65 feet; thence at right angles in a Northeasterly direction 43 feet; thence at right angles in a Southeasterly direction 65 feet, back to the POINT OF BEGINNING.

Community Number: 120168 Panel: 01516 Suffix: K Flood Zone: X Field Work: 6/3/2008

Certified To:

JOEL SLINGBAUM AND LISA A. SLINGBAUM; MASON TITLE COMPANY, INC.; FIRST AMERICAN TITLE INSURANCE COMPANY; LIBERTY MORTGAGE CORPORATION, its successors and/or assigns.

Property Address:

421 VIRGINIA STREET
KEY WEST, FL 33040

Survey Number: 139462



LEGEND:

AC	AIR CONDITIONER	XXXX	EXISTING ELEVATION	L.M.E.	LAKE MAINTENANCE EASEMENT	R.W.	RIGHT OF WAY
B.R.	BEARING REFERENCE	F.F.	FINISHED FLOOR	O.R.	OFFICIAL RECORDS	S.I.R.	SET IRON ROD & CAP
B.M.	BENCH MARK	F.F.	FINISHED FLOOR	O.R.B.	OFFICIAL RECORDS BOOK	P.P.	POWER POLE
CL	CENTERLINE	F.I.P.	FOUND IRON PIPE	U.E.	UTILITY EASEMENT	T.O.B.	TOP OF BANK
(C)	CALCULATED	FD.	FOUND	P.C.P.	PERMANENT CONTROL POINT	W.M.	WATER METER
CATV	CABLE RISER	W.	WELL	P.R.M.	PERMANENT REFERENCE MONUMENT	PG.	PAGE
C.B.	CATCH BASIN	W.C.	WITNESS CORNER	T.B.M.	TEMPORARY BENCH MARK	(P)	PLAT
D.H.	DRILL HOLE	F.P.K.	FOUND PARKER-KALON NAIL	TEL.	TELEPHONE FACILITIES	P.B.	PLAT BOOK
D.E.	DRAINAGE EASEMENT	F.C.M.	FOUND CONCRETE MONUMENT	P.O.B.	POINT OF BEGINNING	U.P.	UTILITY POLE
D.W.	DRIVEWAY	F.I.R.	FOUND IRON ROD	P.O.C.	POINT OF COMMENCEMENT	(M)	FIELD MEASURED
Δ	CENTRAL ANGLE/DELTA	L	LENGTH	P.C.C.	POINT OF COMPOUND CURVATURE	A.E.	ANCHOR EASEMENT
C.M.	CONCRETE MONUMENT	L.A.E.	LIMITED ACCESS EASEMENT	P.C.	POINT OF CURVATURE	Q.H.L.	OVERHEAD UTILITY LINES
D.B.	DEED BOOK	M.E.	MAINTENANCE EASEMENT	P.R.C.	POINT OF REVERSE CURVATURE	ℓ	PROPERTY LINE
D.	DESCRIPTION OR DEED	M.H.	MANHOLE	P.T.	POINT OF TANGENCY	CH	CHORD
ESMT	EASEMENT	F.N.	FOUND NAIL	●	PROPERTY CORNER	▭	COVERED AREA
E.O.W.	EDGE OF WATER	N&D	NAIL & DISC	R.O.E.	ROOF OVERHANG EASEMENT	▭	CONCRETE
		N.R.	NON RADIAL	R.	RADIUS (RADIAL)	- - -	WOOD FENCE
		N.T.S.	NOT TO SCALE			-X-X	METAL FENCE

LEGAL DESCRIPTION AND CERTIFICATION

GENERAL NOTES:

- 1) LEGAL DESCRIPTION PROVIDED BY OTHERS
- 2) THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 3) UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 4) WALL TIES ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT BOUNDARY LINES.
- 5) ONLY VISIBLE ENCROACHMENTS LOCATED.
- 6) DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN.
- 7) FENCE OWNERSHIP NOT DETERMINED.
- 8) ELEVATIONS INDICATED HEREON ARE IN FEET AND DECIMALS REFERENCED TO N.G.V.D. 1929
- 9) IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.



LB #6135

TARGET
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Revised Plans

SITE DATA

ZONING DISTRICT: HRCC-3

FLOOD ZONE: X

F.I.R.M. - COMMUNITY #120168; PANEL #1516; SUFFIX "K"; DATED: 02-18-2005

LEGAL DESCRIPTION: ON THE ISLAND OF KEY WEST AND KNOWN AS WILLIAM A. WHITEHEAD'S MAP OF SIAD ISLAND DELINEATED IN FEBRUARY, A.D. 1829 AS A PART OF LOT 1, OF SQUARE 3, OF A SUBDIVISION OF TRACT 11 OF SIMONTON & WALL'S ADDITION TO KEY WEST, COMMENCING AT A POINT ON THE NORTH-WEST SIDE OF VIRGINIA STREET, A DISTANCE 90 FEET FROM THE CORNER OF DUBAL AND VIRGINIA STREETS AND RUNNING THENCE ALONG VIRGINIA STREET IN A SOUTHWESTERLY DIRECTION, 43 FEET; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION 65 FEET; THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION 43 FEET; THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION 65 FEET, BACK TO THE POINT OF BEGINNING.

DESIGN DATA

THE WORK DEPICTED HEREIN WAS DESIGNED TO MEET THE REQUIREMENTS OF THE 2007 FLORIDA BUILDING CODE WITH 2009 SUPPLEMENTS AND THE LATEST EDITIONS OF THE FLORIDA MODEL ENERGY CODE, FIRE CODE, LIFE SAFETY CODE AND THE NATIONAL ELECTRIC CODE.

THE WORK DEPICTED HEREIN WILL NOT YIELD ADDITIONAL IMPERVIOUS COVERAGE

OCCUPANCY CLASSIFICATION: R3
CONSTRUCTION TYPE: V

THE FOLLOWING LOADINGS WERE USED:
WIND LOAD: 150 MPH (ASCE 7-05) (3 SEC. GUST, EXPOSURE "C")
FLOOR LIVE LOAD: 40 PSF

INDEX OF DRAWINGS

- T-1 - SITE DATA
- D-1 - EXISTING FLOOR PLANS
- A-1 - PROPOSED FLOOR PLANS
- A-2 - EXISTING ELEVATIONS
- A-3 - PROPOSED ELEVATIONS
- A-4 - PROPOSED ELEVATIONS

GENERAL NOTES

1. THESE PLANS ARE FOR THE WORK AT THE LOCATION SO DESIGNATED HEREIN.
2. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE.
3. THERE SHALL BE NO DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE BID. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SITE AND REPORT ANY DISCREPANCIES, DIFFERENCES OR CONDITIONS THAT ARE UNSATISFACTORY OR UNSAFE.
5. NOTIFY THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCIES, DIFFERENCES, UNSATISFACTORY OR UNSAFE CONDITIONS. ANY MODIFICATIONS OR CHANGES MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND ENGINEER OF RECORD SHALL NOT BE ALLOWED. ANY REWORK, RESTORATION OR OTHER IMPACT AS A RESULT OF NOT OBTAINING SUCH PRIOR APPROVAL WILL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR COMPENSATION FROM THE OWNER.
6. THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY OR OTHER LOSS AT THE JOB TO ALL PERSONS EMPLOYED IN THE WORK, PERSONS VISITING THE WORK AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE, DUE TO THE WORK, TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
7. NO RESEARCH AS TO THE PRESENCE OF UNDERGROUND UTILITIES HAS BEEN INCLUDED ON OR PERFORMED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING SUNSHINE UTILITY LOCATE SERVICE PRIOR TO ANY CONSTRUCTION WITHIN ANY PUBLIC RIGHT-OF-WAY OR OTHER AREAS WHERE UNDERGROUND UTILITIES MAY BE PRESENT (I.E. IN AND AROUND UTILITY EASEMENTS, ETC.).
8. THE GENERAL CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL AND CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
9. THE CONTRACTOR SHALL PERFORM ALL WORK IN STRICT CONFORMANCE WITH THE PLANS, 2007 FLORIDA BUILDING CODE, LOCAL CODES AND ORDINANCES, MANUFACTURER RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. ANY CONFLICT BETWEEN THESE REQUIREMENTS AND THE MOST STRINGENT REQUIREMENTS SHALL GOVERN THE WORK.
10. SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL FLOOR AND ROOF SYSTEMS AND MECHANICAL SYSTEMS SHALL BEAR THE SEAL OF A FLORIDA PROFESSIONAL ENGINEER AS REQUIRED BY THE 2007 FLORIDA BUILDING CODE AND SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY THE CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
11. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT THE CONTRACTOR CANNOT OBTAIN FROM DIMENSIONS, DETAIL OR SCHEDULE SHALL BE OBTAINED FROM THE ENGINEER OF RECORD.
12. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO PREVENT ANY CONFLICTS.
13. THE CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS. ALL CHANGES SHALL BE NOTED ON THE DRAWINGS AND (2) COMPLETE AS-BUILT SETS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF WORK.
14. THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE.
15. PORTABLE RESTROOM FACILITIES TO BE PROVIDED AT THE SITE BY THE CONTRACTOR.
16. ALL STORM WATER SHALL BE RETAINED ON THE PROPERTY.
17. TWO INDIGENOUS TREES SHALL BE PROVIDED ON THE STREET SIDE OF THE LOT.

LEGEND

SYMBOLS		MATERIAL INDICATIONS		ABBREVIATIONS	
	ELEVATION MARK		CONCRETE	&	AND
	WALL TYPE SYMBOL		COMPACTED EARTH FILL	@	AT
	WINDOW TYPE SYMBOL		STUCCO OR GYPSUM WALL BOARD	APPROX.	APPROXIMATE(LY)
	DOOR NUMBER SYMBOL		CONCRETE MASONRY UNIT	FT.	FOOT/FEET
	GARAGE		BRICK	IN.	INCH
	DETAIL OR SECTION AREA		BATT INSULATION	MAX.	MAXIMUM
	DETAIL OR SECTION NUMBER		RIDGE INSULATION	MIN.	MINIMUM
	SHEET# WHERE DETAIL IS SHOWN		SAND	#	NUMBER
	SECTION		GRAVEL	O.C.	ON CENTER
	DETAIL OR SECTION NUMBER		CONTINUOUS WOOD FRAMING	LB.	POUND
	SHEET# WHERE DETAIL IS SHOWN		WOOD BLOCKING	PSI	POUND PER SQUARE INCH
	SHEET# WHERE DETAIL IS TAKEN		PLYWOOD	P.T.	PRESSURE TREATED
			FINISH WOOD	SF	SQUARE FOOT/FEET
				T & G	TONGUE AND GROOVE
				WWM	WELDED WIRE MESH

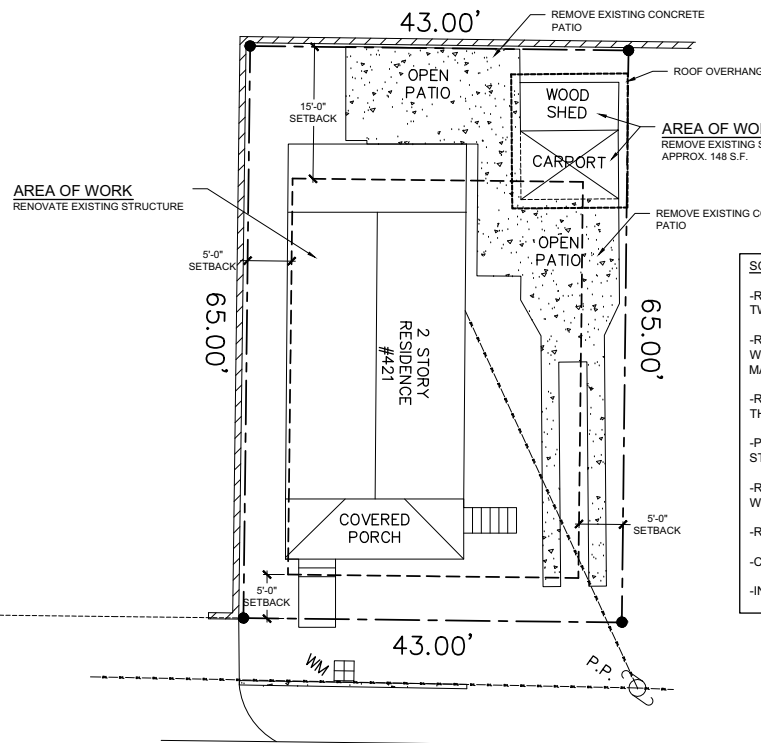
KEMP RESIDENCE

421 VIRGINIA STREET KEY WEST, FLORIDA



LOCATION MAP

SITE DATA TABLE				
	EXISTING CONDITIONS	ALLOWABLE CONDITIONS	PROPOSED CONDITIONS	COMMENTS
DISTRICT	HRCC-3	HRCC-3	HRCC-3	UNCHANGED
LOT SIZE	2795 SF	2795 SF	2795 SF	UNCHANGED
BUILDING AREA	1155 SF	1397.5 SF	1128 SF	REDUCED
BUILDING COVERAGE %	41%	50%	40%	REDUCED
IMPERVIOUS COVERAGE	1710SF	1677 SF	1402 SF	REDUCED
IMPERVIOUS COVERAGE %	61%	60%	50%	REDUCED
BUILDING HEIGHT	22'-11"	35'-0"	22'-11"	UNCHANGED
FRONT SETBACK	7'-0"	5'-0"	7'-0"	UNCHANGED
EAST SIDE SETBACK	0'-11"	5'-0"	1'-0"	ALLOWED
WEST SIDE SETBACK	4'-8"	5'-0"	4'-8"	UNCHANGED
REAR SETBACK	3'-8"	15'-0"	3'-2"	ALLOWED



VIRGINIA STREET
50' R/W (21.5' ASPHALT)

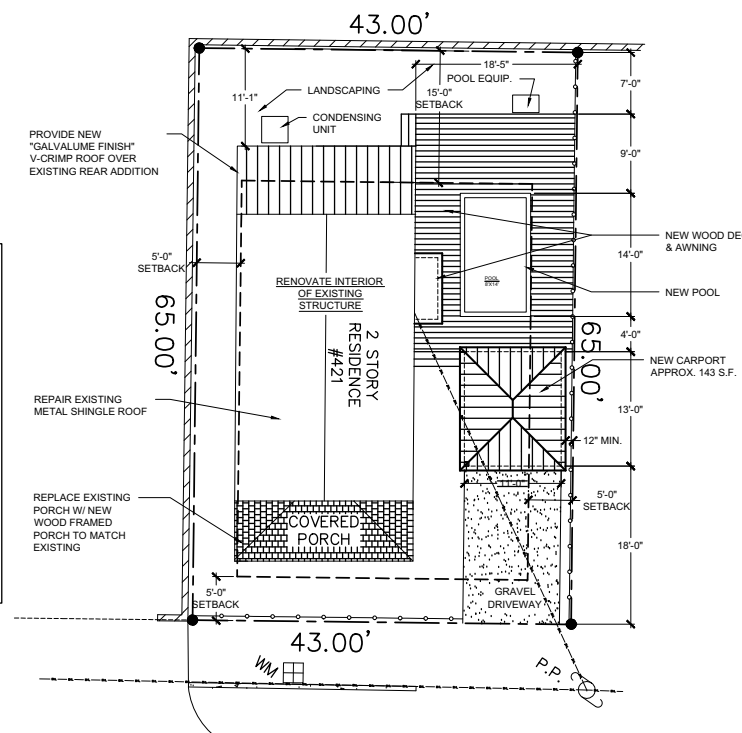


EXISTING SITE PLAN

SCALE: 1"=10'-0"

- SCOPE OF WORK:**
- RENOVATE INTERIOR OF EXISTING TWO STORY STRUCTURE
 - REPLACE EXISTING FRONT PORCH W/ NEW WOOD FRAMED PORCH TO MATCH EXISTING
 - REPLACE DAMAGED AREAS THROUGHOUT TO MATCH EXISTING
 - PAINT ALL EXISTING & PROPOSED STRUCTURES
 - REPLACE DESIGNATED DOORS & WINDOWS
 - REMOVE EXISTING CARPORT
 - CONSTRUCT NEW CARPORT
 - INSTALL NEW POOL & POOL DECK

SURVEY PROVIDED BY:
TARGET SURVEYING, INC.
5801 CORPORATE WAY SUITE 210
WEST PALM BEACH, FLORIDA 33407



VIRGINIA STREET
50' R/W (21.5' ASPHALT)



PROPOSED SITE PLAN

SCALE: 1"=10'-0"

SeaTech Inc.
830 CRANE BOULEVARD
SUGARLOAF KEY, FLORIDA
(305) 294-9993
C.A. #28984

PAUL R. SEMMES
P.E.#4137 DATE:

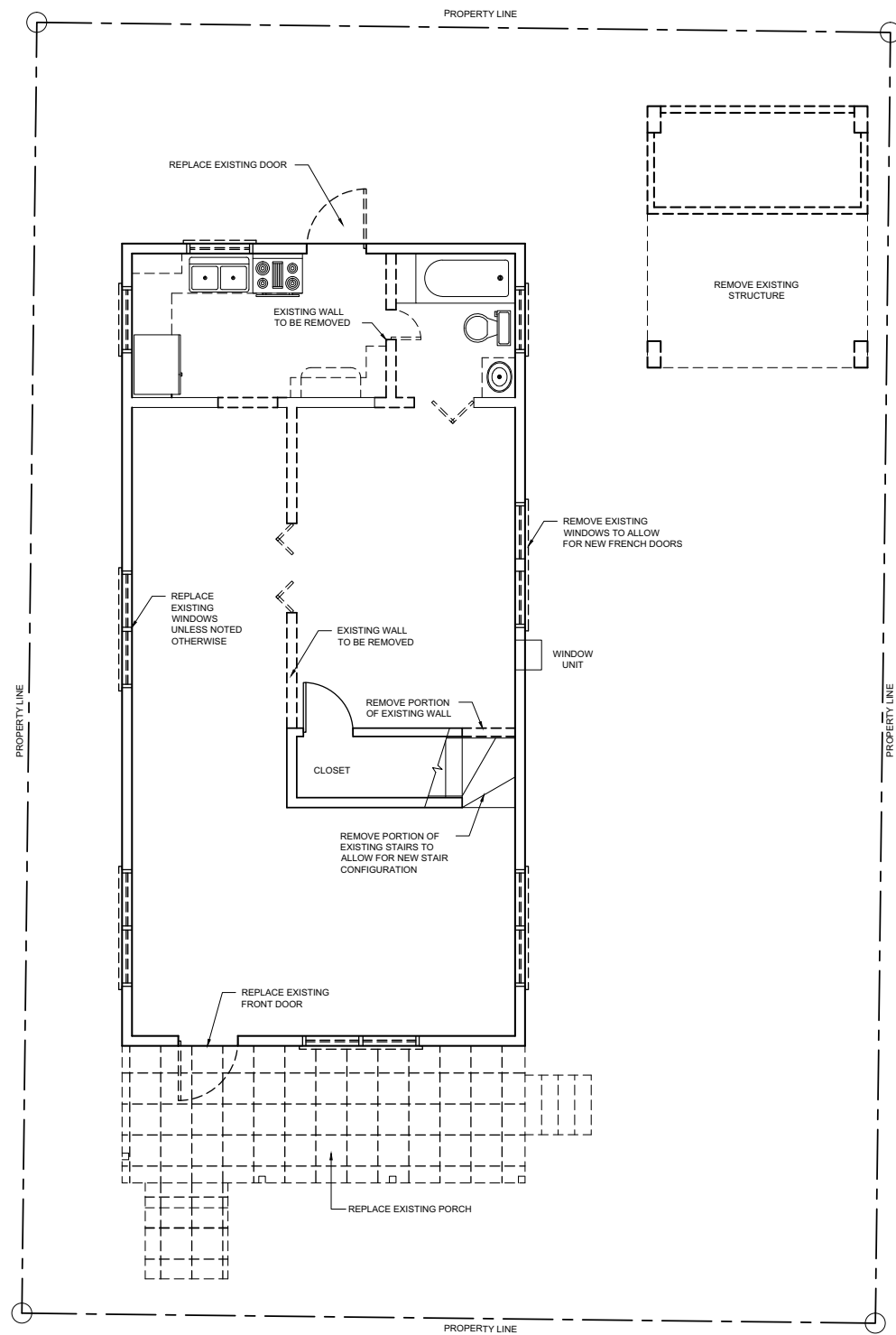
KEMP RESIDENCE
421 VIRGINIA STREET
KEY WEST, FLORIDA

REVISIONS

JOB:
START DATE: 01-26-12
ISSUE DATE: XX-XX-XX

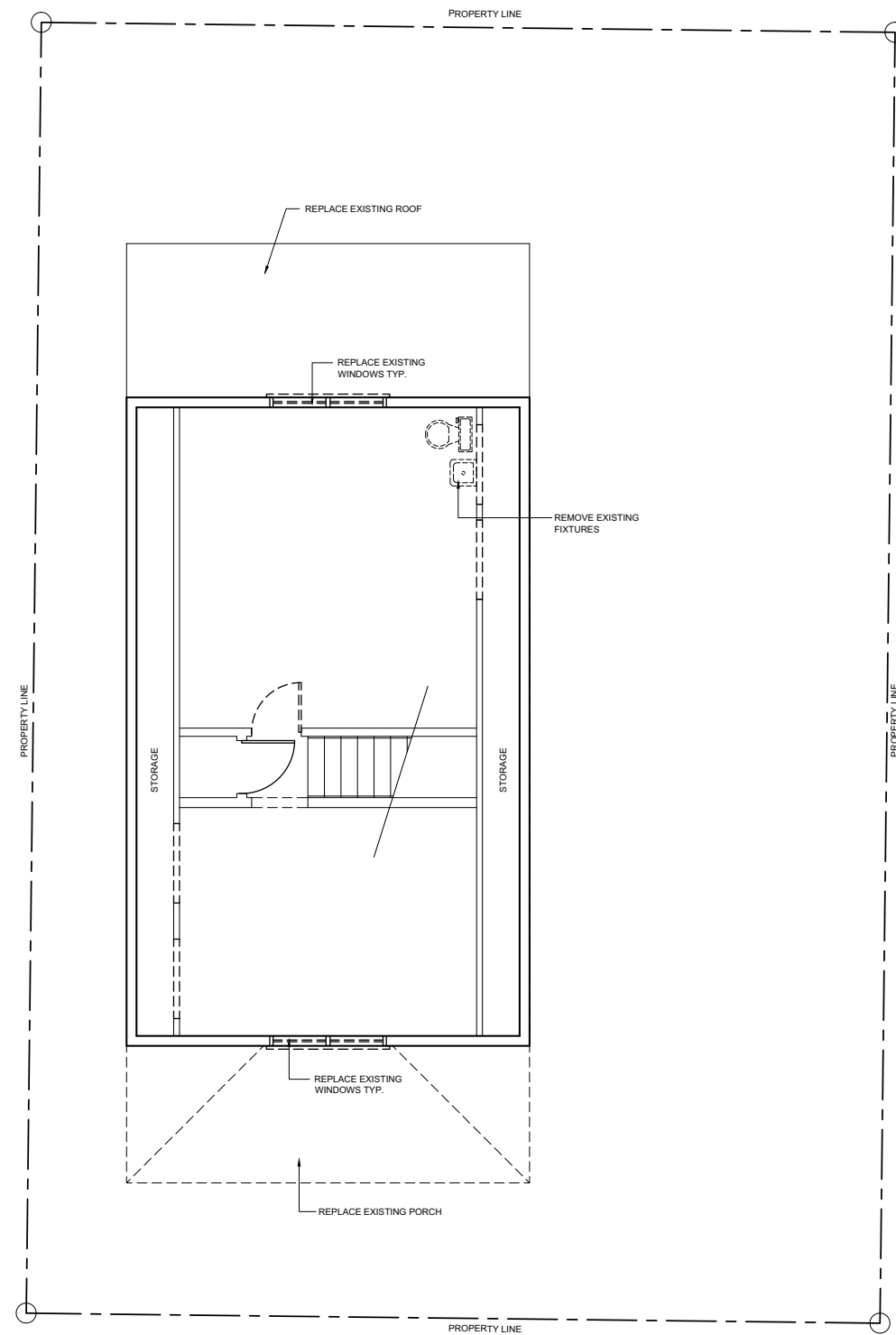
DRAWN: BGO

T-1



EXISTING FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



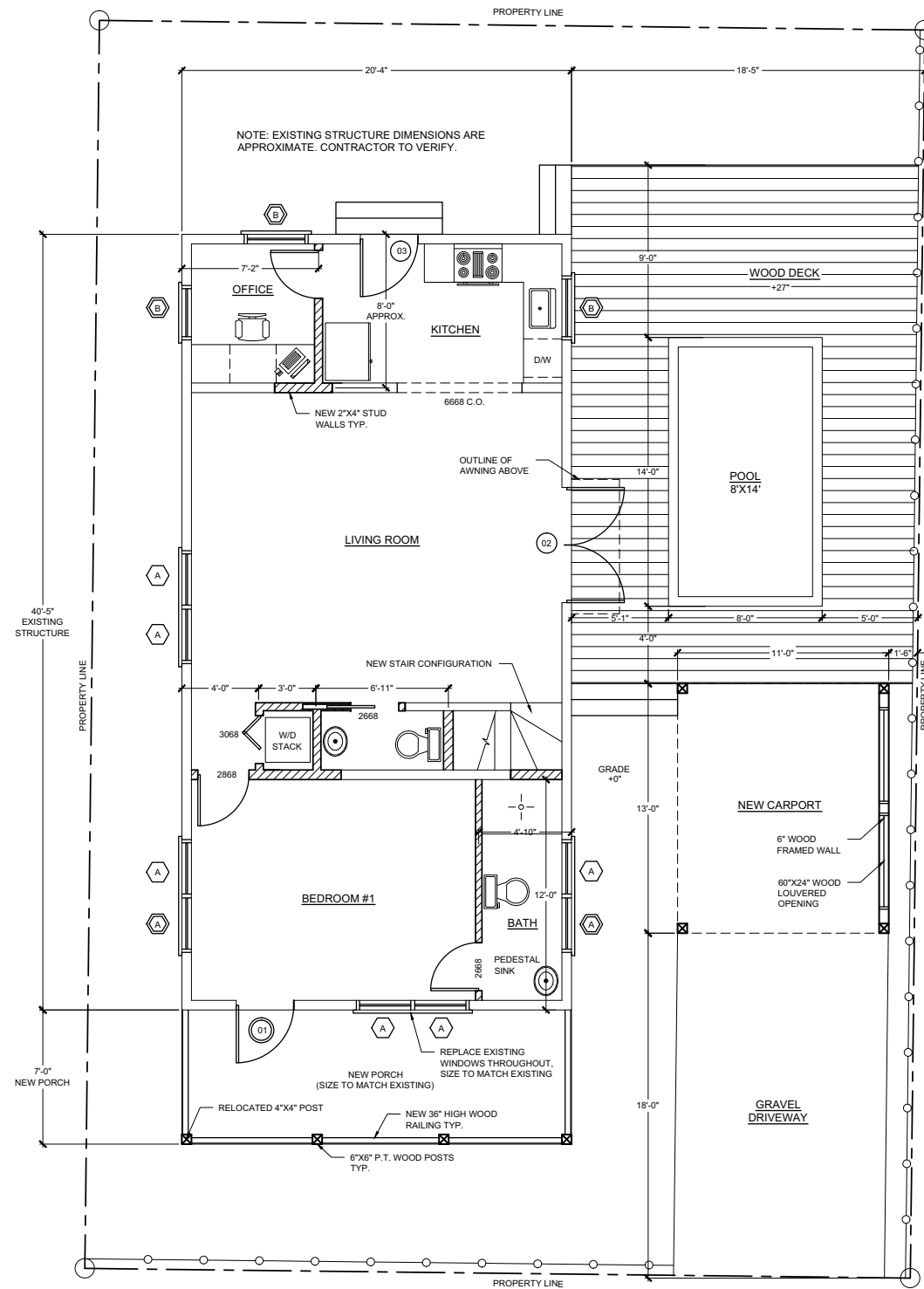
EXISTING SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

KEMP RESIDENCE
 421 VIRGINIA STREET
 KEY WEST, FLORIDA

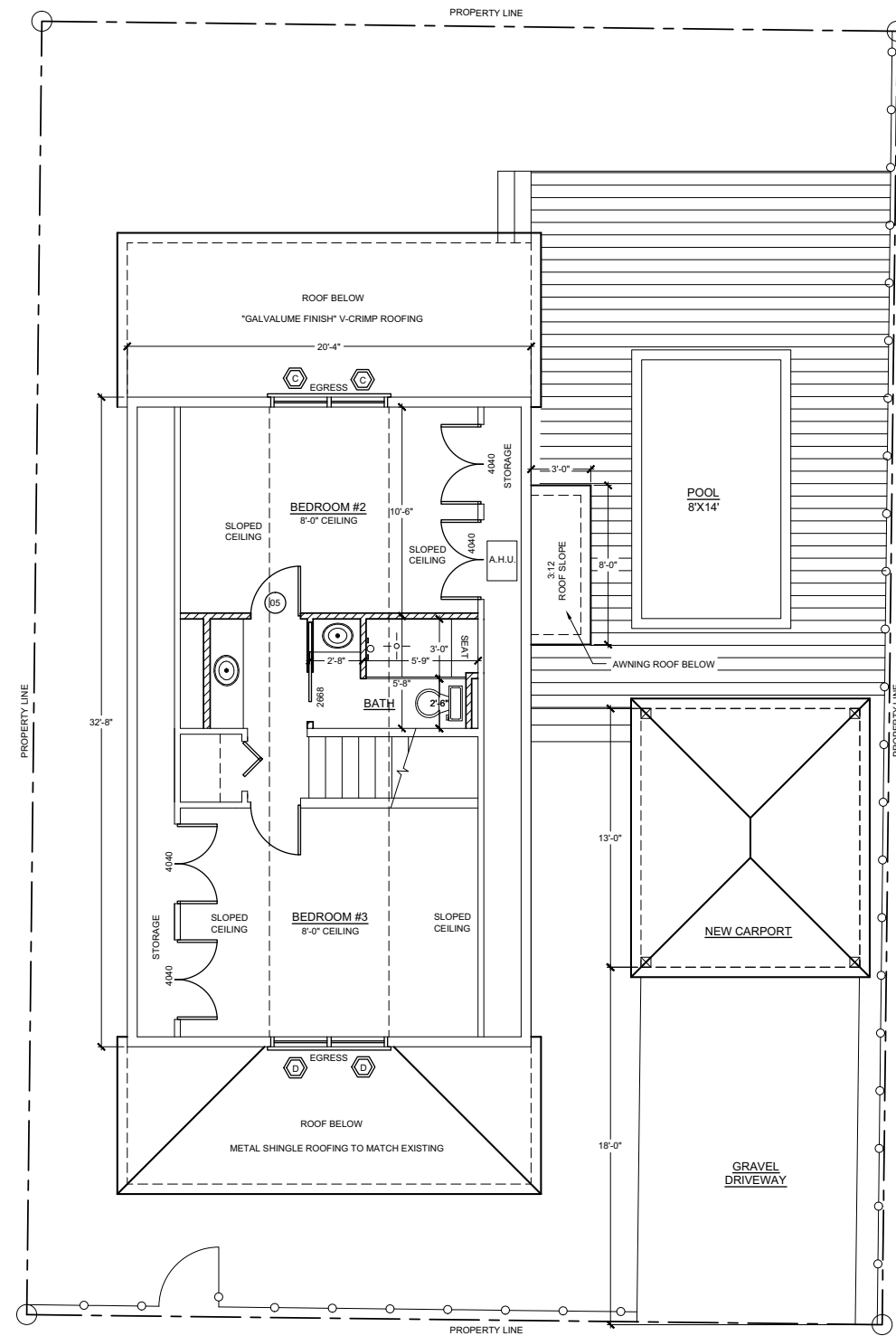
REVISIONS

JOB:
 START DATE: 01-26-12
 ISSUE DATE: XX-XX-XX
 DRAWN: BGO



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

KEMP RESIDENCE
 421 VIRGINIA STREET
 KEY WEST, FLORIDA

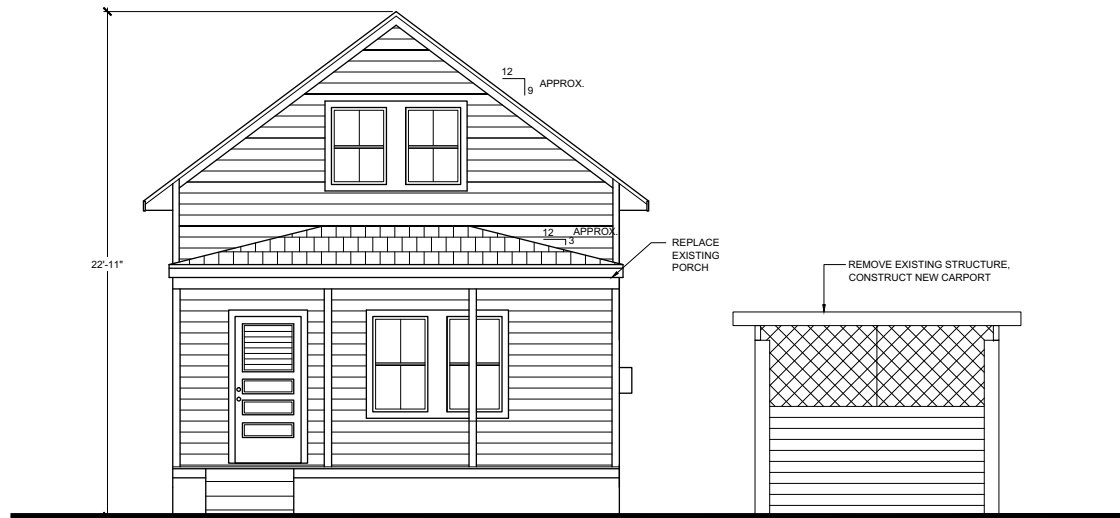
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KEMP RESIDENCE
 421 VIRGINIA STREET
 KEY WEST, FLORIDA

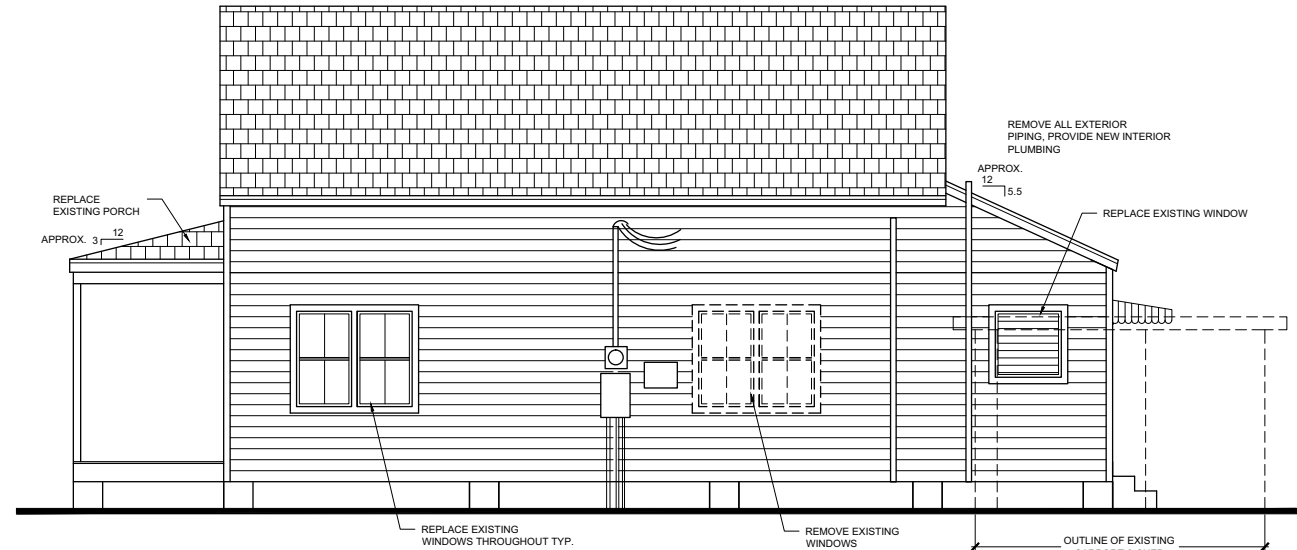
REVISIONS

JOB:
 START DATE: 01-26-12
 ISSUE DATE: XX-XX-XX
 DRAWN: BGO



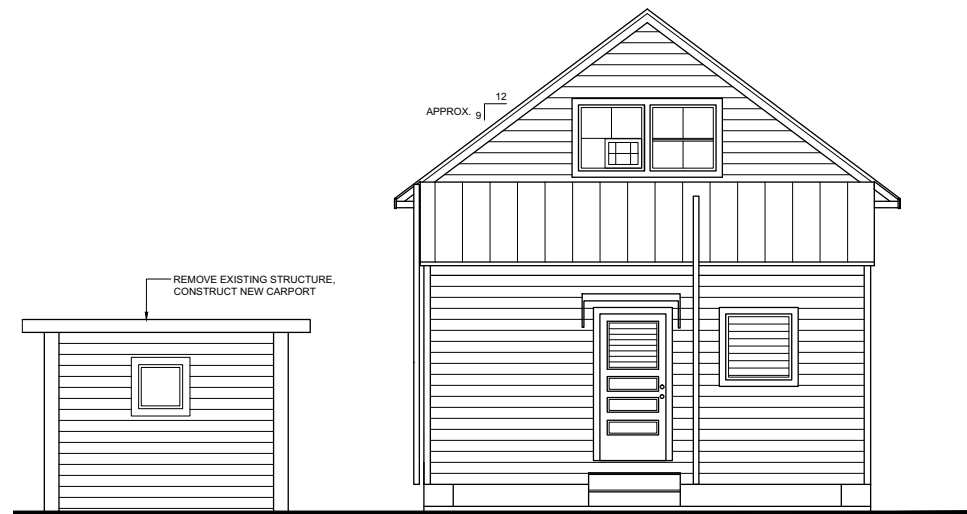
EXISTING SOUTHEAST ELEVATION

SCALE: 1/4"=1'-0"



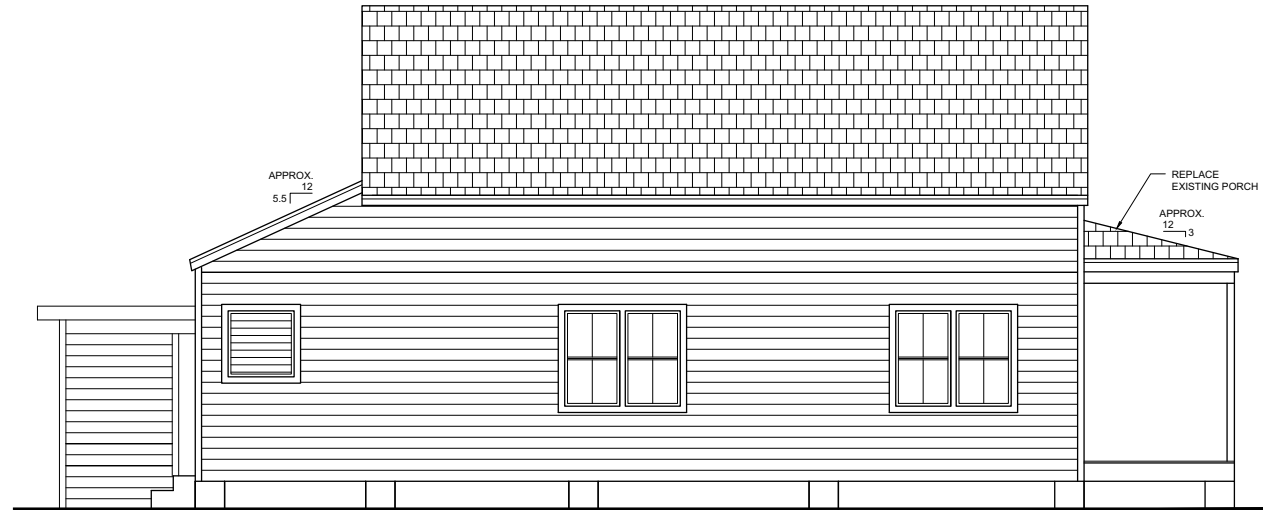
EXISTING NORTHEAST ELEVATION

SCALE: 1/4"=1'-0"



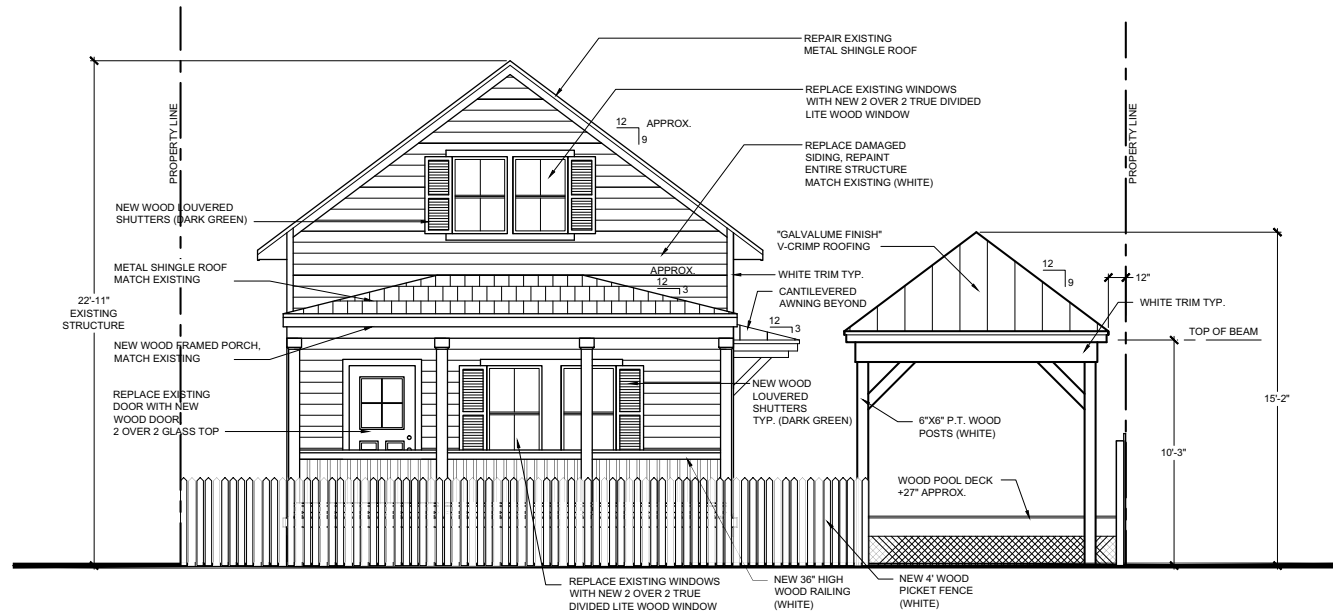
EXISTING NORTHWEST ELEVATION

SCALE: 1/4"=1'-0"



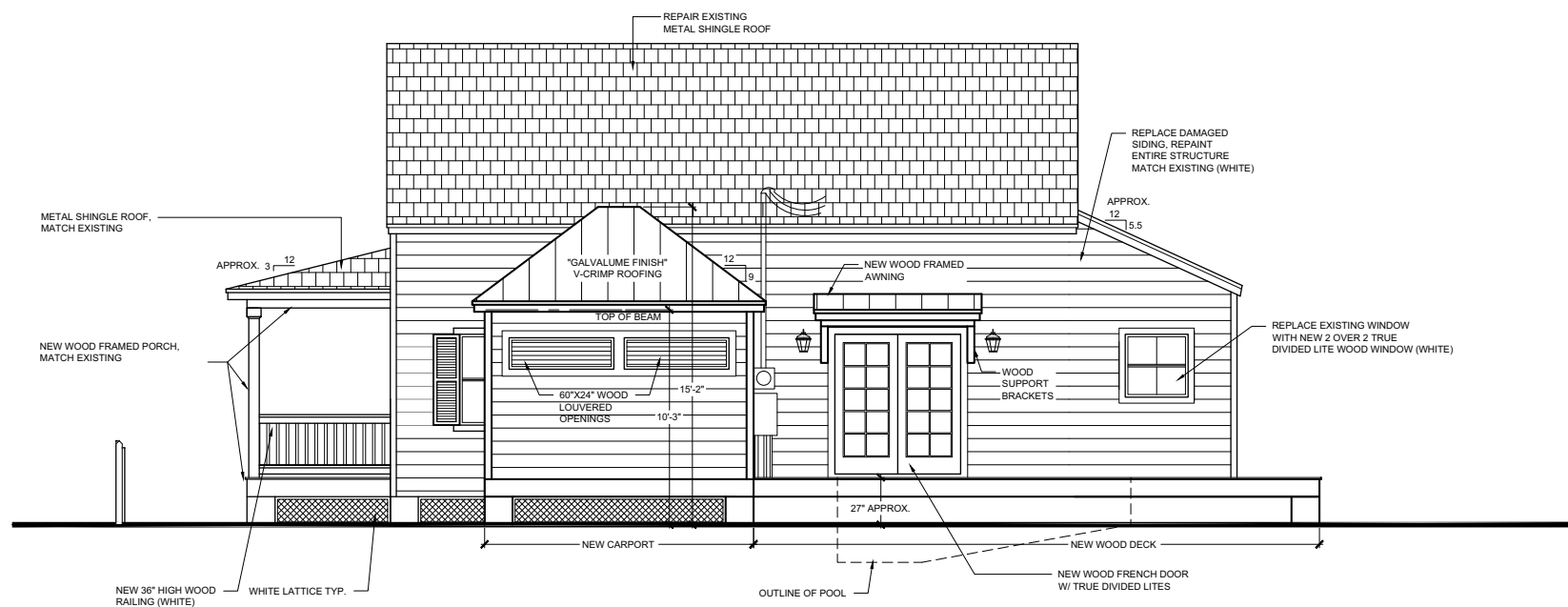
EXISTING SOUTHWEST ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED SOUTHEAST ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED NORTHEAST ELEVATION

SCALE: 1/4"=1'-0"

KEMP RESIDENCE
 421 VIRGINIA STREET
 KEY WEST, FLORIDA

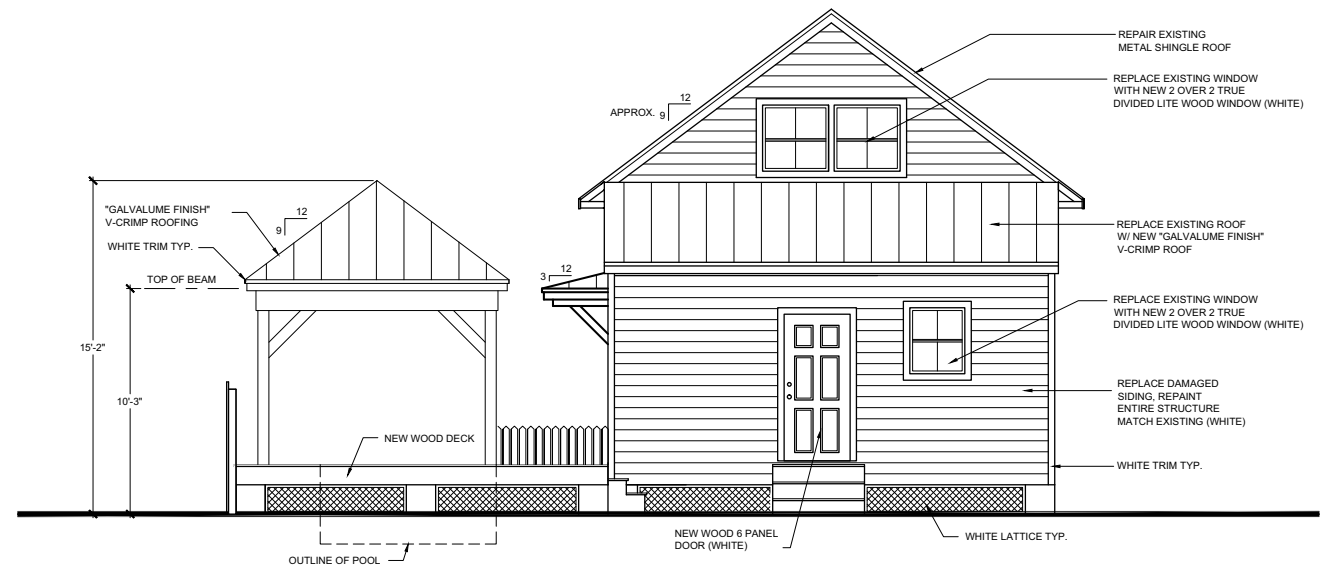
REVISIONS

JOB:
 START DATE: 01-26-12
 ISSUE DATE: XX-XX-XX
 DRAWN: BGO

KEMP RESIDENCE
 421 VIRGINIA STREET
 KEY WEST, FLORIDA

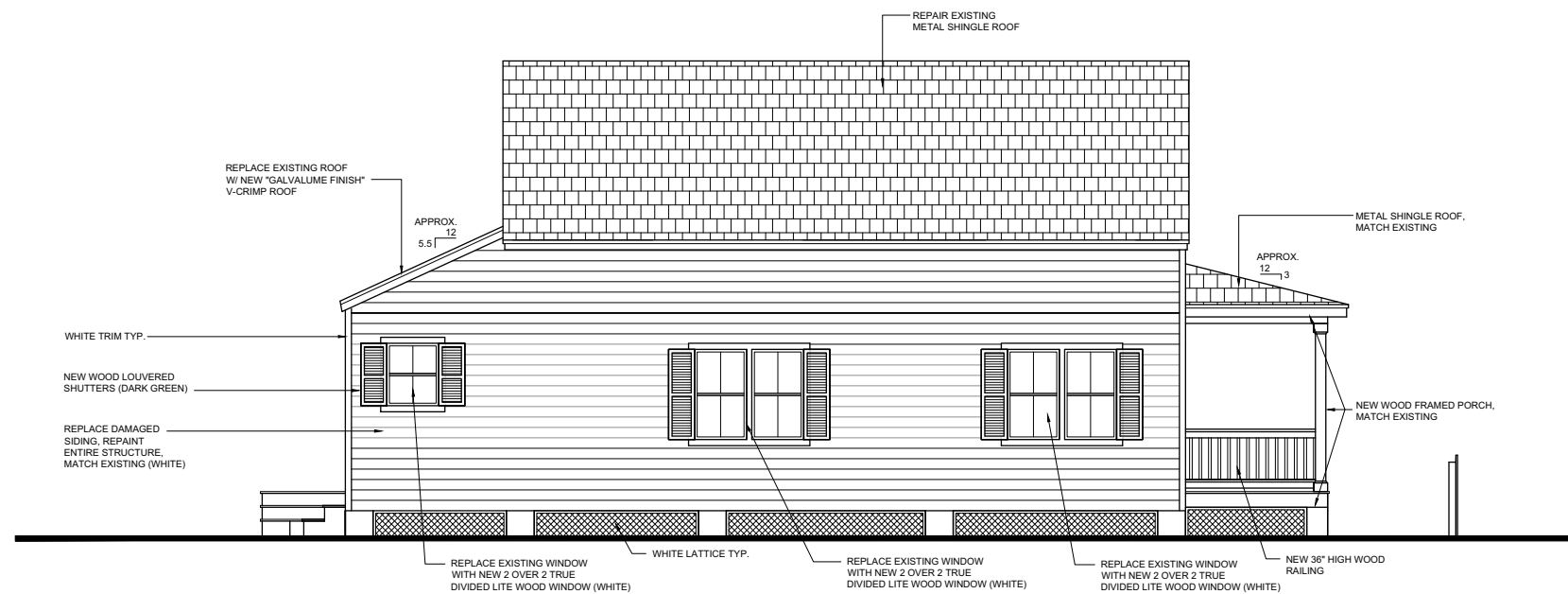
REVISIONS

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 START DATE: 01-26-12
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PROPOSED NORTHWEST ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED SOUTHWEST ELEVATION

SCALE: 1/4"=1'-0"

Original Plans

SITE DATA

ZONING DISTRICT: HRCC-3

FLOOD ZONE: X

F.I.R.M. - COMMUNITY #120168; PANEL #1516; SUFFIX "K"; DATED: 02-18-2005

LEGAL DESCRIPTION: ON THE ISLAND OF KEY WEST AND KNOWN AS WILLIAM A. WHITEHEAD'S MAP OF SIAD ISLAND DELINEATED IN FEBRUARY, A.D. 1829 AS A PART OF LOT 1, OF SQUARE 3, OF A SUBDIVISION OF TRACT 11 OF SIMONTON & WALL'S ADDITION TO KEY WEST, COMMENCING AT A POINT ON THE NORTHWEST SIDE OF VIRGINIA STREET, A DISTANCE 90 FEET FROM THE CORNER OF DUBAL AND VIRGINIA STREETS AND RUNNING THENCE ALONG VIRGINIA STREET IN A SOUTHWESTERLY DIRECTION, 43 FEET; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION 65 FEET; THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION 43 FEET; THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION 65 FEET, BACK TO THE POINT OF BEGINNING.

DESIGN DATA

THE WORK DEPICTED HEREIN WAS DESIGNED TO MEET THE REQUIREMENTS OF THE 2007 FLORIDA BUILDING CODE WITH 2009 SUPPLEMENTS AND THE LATEST EDITIONS OF THE FLORIDA MODEL ENERGY CODE, FIRE CODE, LIFE SAFETY CODE AND THE NATIONAL ELECTRIC CODE.

THE WORK DEPICTED HEREIN WILL NOT YIELD ADDITIONAL IMPERVIOUS COVERAGE

OCCUPANCY CLASSIFICATION: R3
CONSTRUCTION TYPE: V

THE FOLLOWING LOADINGS WERE USED:
WIND LOAD: 150 MPH (ASCE 7-05) (3 SEC. GUST, EXPOSURE "C")
FLOOR LIVE LOAD: 40 PSF

INDEX OF DRAWINGS

T-1 - SITE DATA
D-1 - EXISTING FLOOR PLANS
A-1 - PROPOSED FLOOR PLANS
A-2 - EXISTING ELEVATIONS
A-3 - PROPOSED ELEVATIONS
A-4 - PROPOSED ELEVATIONS

GENERAL NOTES

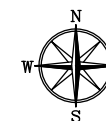
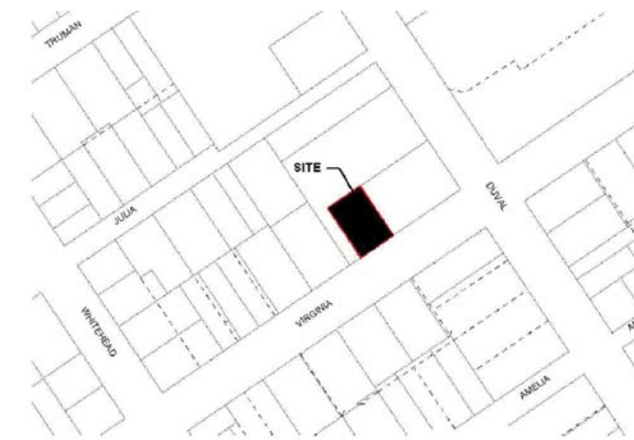
- THESE PLANS ARE FOR THE WORK AT THE LOCATION SO DESIGNATED HEREIN.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE.
- THERE SHALL BE NO DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE BID. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SITE AND REPORT ANY DISCREPANCIES, DIFFERENCES OR CONDITIONS THAT ARE UNSATISFACTORY OR UNSAFE.
- NOTIFY THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCIES, DIFFERENCES, UNSATISFACTORY OR UNSAFE CONDITIONS. ANY MODIFICATIONS OR CHANGES MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND ENGINEER OF RECORD SHALL NOT BE ALLOWED. ANY REWORK, RESTORATION OR OTHER IMPACT AS A RESULT OF NOT OBTAINING SUCH PRIOR APPROVAL WILL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR COMPENSATION FROM THE OWNER.
- THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY OR OTHER LOSS AT THE JOB TO ALL PERSONS EMPLOYED IN THE WORK, PERSONS VISITING THE WORK AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE, DUE TO THE WORK, TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
- NO RESEARCH AS TO THE PRESENCE OF UNDERGROUND UTILITIES HAS BEEN INCLUDED ON OR PERFORMED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING SUNSHINE UTILITY LOCATE SERVICE PRIOR TO ANY CONSTRUCTION WITHIN ANY PUBLIC RIGHT-OF-WAY OR OTHER AREAS WHERE UNDERGROUND UTILITIES MAY BE PRESENT (I.E. IN AND AROUND UTILITY EASEMENTS, ETC.).
- THE GENERAL CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL AND CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN STRICT CONFORMANCE WITH THE PLANS, 2007 FLORIDA BUILDING CODE, LOCAL CODES AND ORDINANCES, MANUFACTURER RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. ANY CONFLICT BETWEEN THESE REQUIREMENTS AND THE MOST STRINGENT REQUIREMENTS SHALL GOVERN THE WORK.
- SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL FLOOR AND ROOF SYSTEMS AND MECHANICAL SYSTEMS SHALL BEAR THE SEAL OF A FLORIDA PROFESSIONAL ENGINEER AS REQUIRED BY THE 2007 FLORIDA BUILDING CODE AND SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY THE CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
- THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT THE CONTRACTOR CANNOT OBTAIN FROM DIMENSIONS, DETAIL OR SCHEDULE SHALL BE OBTAINED FROM THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO PREVENT ANY CONFLICTS.
- THE CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS. ALL CHANGES SHALL BE NOTED ON THE DRAWINGS AND (2) COMPLETE AS-BUILT SETS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF WORK.
- THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE.
- PORTABLE RESTROOM FACILITIES TO BE PROVIDED AT THE SITE BY THE CONTRACTOR.
- ALL STORM WATER SHALL BE RETAINED ON THE PROPERTY.
- TWO INDIGENOUS TREES SHALL BE PROVIDED ON THE STREET SIDE OF THE LOT.

LEGEND

SYMBOLS		MATERIAL INDICATIONS		ABBREVIATIONS	
	ELEVATION MARK		CONCRETE	& @	AND AT
	WALL TYPE SYMBOL		COMPACTED EARTH FILL	APPROX.	APPROXIMATE(LY)
	WINDOW TYPE SYMBOL		STUCCO OR GYPSUM WALL BOARD	FT.	FOOT/FEET
	DOOR NUMBER SYMBOL		CONCRETE MASONRY UNIT	IN.	INCH
	GARAGE		BRICK	MAX.	MAXIMUM
	DETAIL OR SECTION AREA		BATT INSULATION	MIN.	MINIMUM
	DETAIL OR SECTION NUMBER		RIDGE INSULATION	#	NUMBER
	SHEET# WHERE DETAIL IS SHOWN		SAND	O.C.	ON CENTER
	DETAIL OR SECTION NUMBER		GRAVEL	LB.	POUND
	SHEET# WHERE DETAIL IS SHOWN		CONTINUOUS WOOD FRAMING	PSI	POUND PER SQUARE INCH
	SHEET# WHERE DETAIL IS TAKEN		WOOD BLOCKING	P.T.	PRESSURE TREATED
			PLYWOOD	SF	SQUARE FOOT/FEET
			FINISH WOOD	T & G	TONGUE AND GROOVE
				WWM	WELDED WIRE MESH

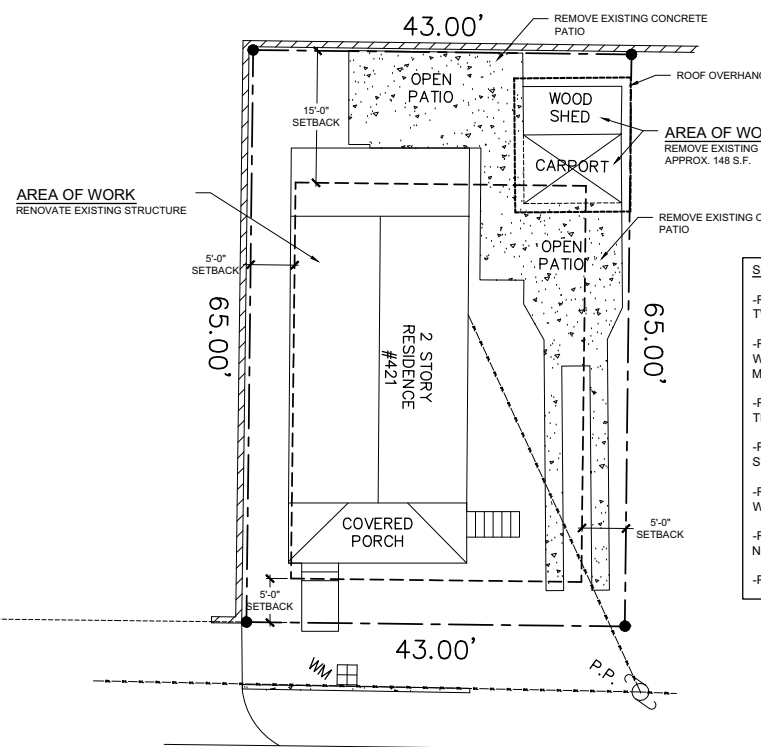
KEMP RESIDENCE

421 VIRGINIA STREET KEY WEST, FLORIDA



LOCATION MAP

SITE DATA TABLE				
	EXISTING CONDITIONS	ALLOWABLE CONDITIONS	PROPOSED CONDITIONS	COMMENTS
DISTRICT	HRCC-3	HRCC-3	HRCC-3	UNCHANGED
LOT SIZE	2795 SF	2795 SF	2795 SF	UNCHANGED
BUILDING AREA	1155 SF	1397.5 SF	1147 SF	REDUCED
BUILDING COVERAGE %	41%	50%	41%	REDUCED
IMPERVIOUS COVERAGE	1710SF	1677 SF	1423 SF	REDUCED
IMPERVIOUS COVERAGE %	61%	60%	51%	REDUCED
BUILDING HEIGHT	22'-11"	35'-0"	22'-11"	UNCHANGED
FRONT SETBACK	7'-0"	5'-0"	7'-0"	UNCHANGED
EAST SIDE SETBACK	0'-11"	5'-0"	1'-0"	ALLOWED
WEST SIDE SETBACK	4'-8"	5'-0"	4'-8"	UNCHANGED
REAR SETBACK	3'-8"	15'-0"	3'-2"	ALLOWED



VIRGINIA STREET
50' R/W (21.5' ASPHALT)



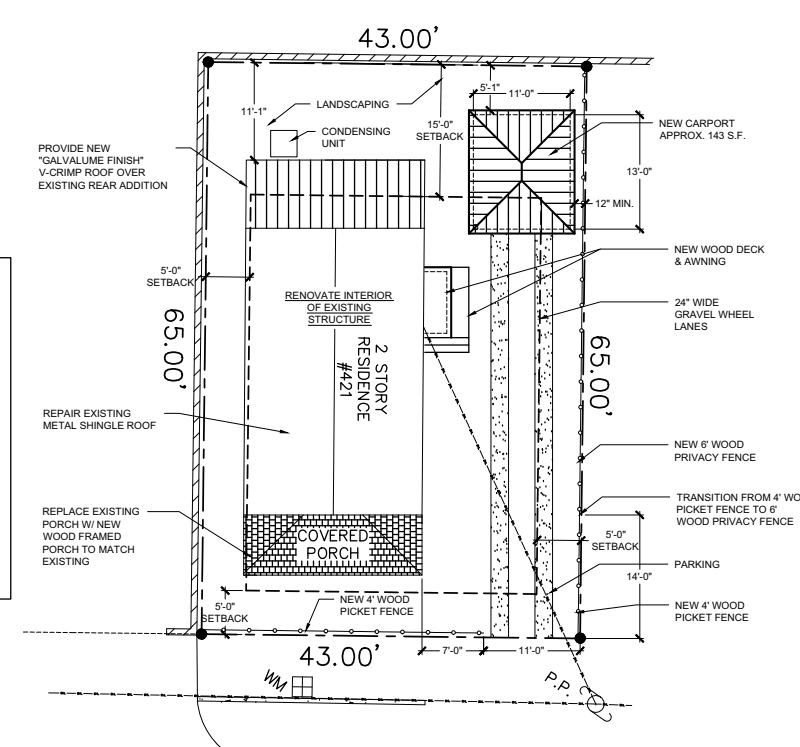
EXISTING SITE PLAN

SCALE:1"=10'-0"

SCOPE OF WORK:

- RENOVATE INTERIOR OF EXISTING TWO STORY STRUCTURE
- REPLACE EXISTING FRONT PORCH W/ NEW WOOD FRAMED PORCH TO MATCH EXISTING
- REPLACE DAMAGED AREAS THROUGHOUT TO MATCH EXISTING
- PAINT ALL EXISTING & PROPOSED STRUCTURES
- REPLACE DESIGNATED DOORS & WINDOWS
- REPLACE EXISTING CARPORT WITH NEW CARPORT OF SIMILAR SIZE
- PROVIDE NEW WOOD FENCE

SURVEY PROVIDED BY:
TARGET SURVEYING, INC.
5801 CORPORATE WAY SUITE 210
WEST PALM BEACH, FLORIDA 33407



VIRGINIA STREET
50' R/W (21.5' ASPHALT)



PROPOSED SITE PLAN

SCALE:1"=10'-0"

SeaTech inc.
830 CRANE BOULEVARD
SUGARLOAF KEY, FLORIDA
(305) 294-9993
C.A. #28984

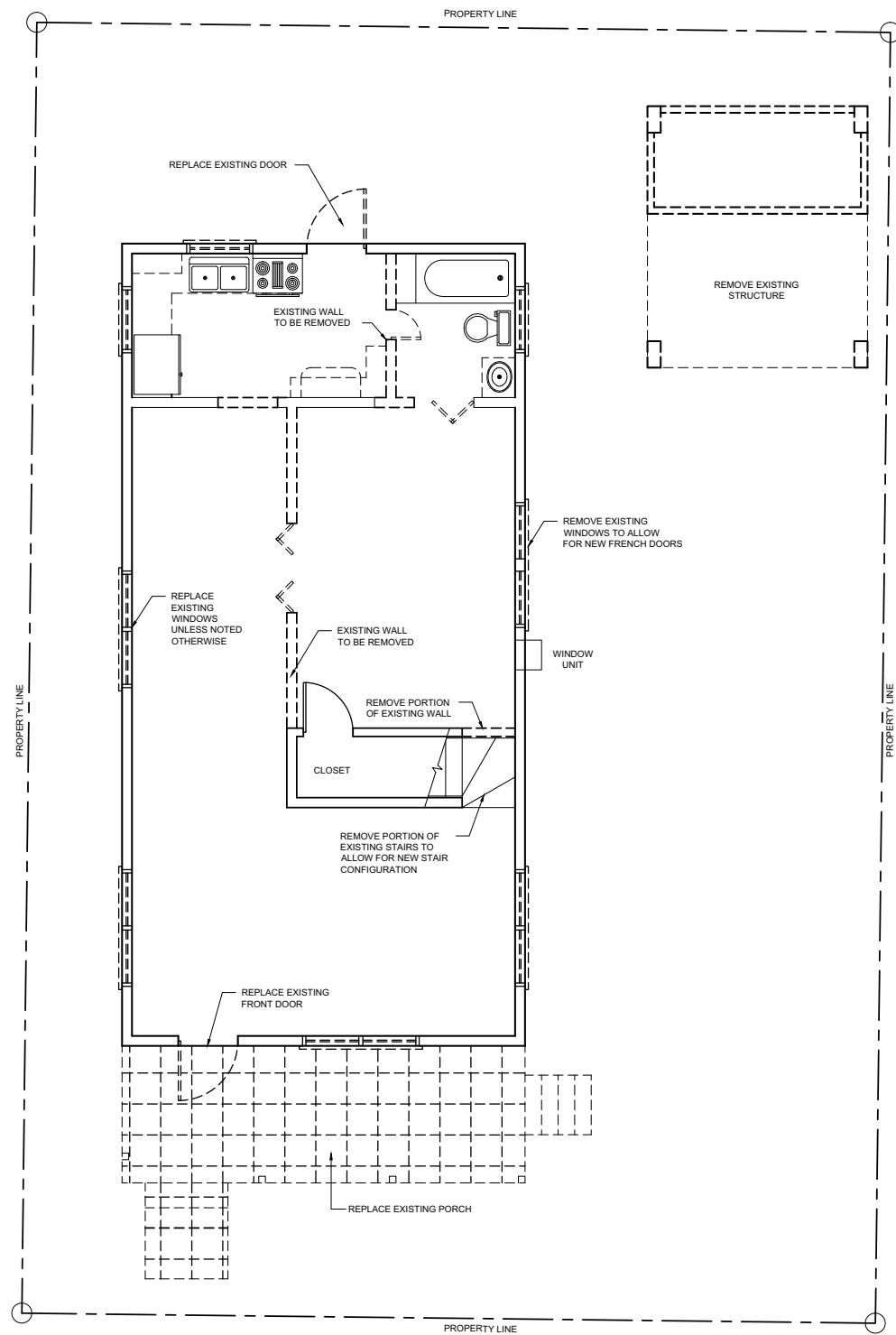
PAUL R. SEMMES
P.E.#4137 DATE:

KEMP RESIDENCE
421 VIRGINIA STREET
KEY WEST, FLORIDA

REVISIONS

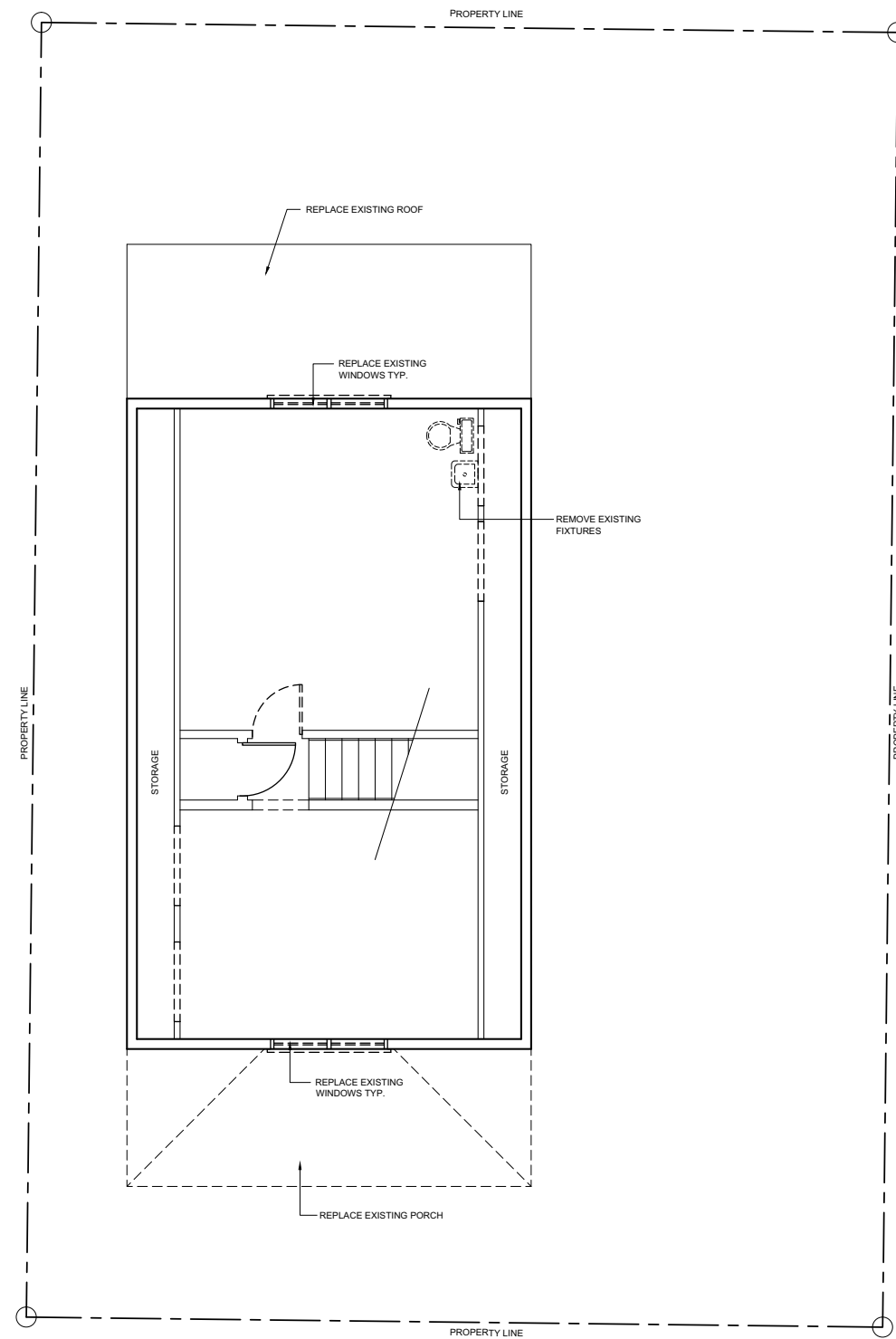
JOB:
START DATE: 01-26-12
ISSUE DATE: XX-XX-XX
DRAWN: BGO

T-1



EXISTING FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



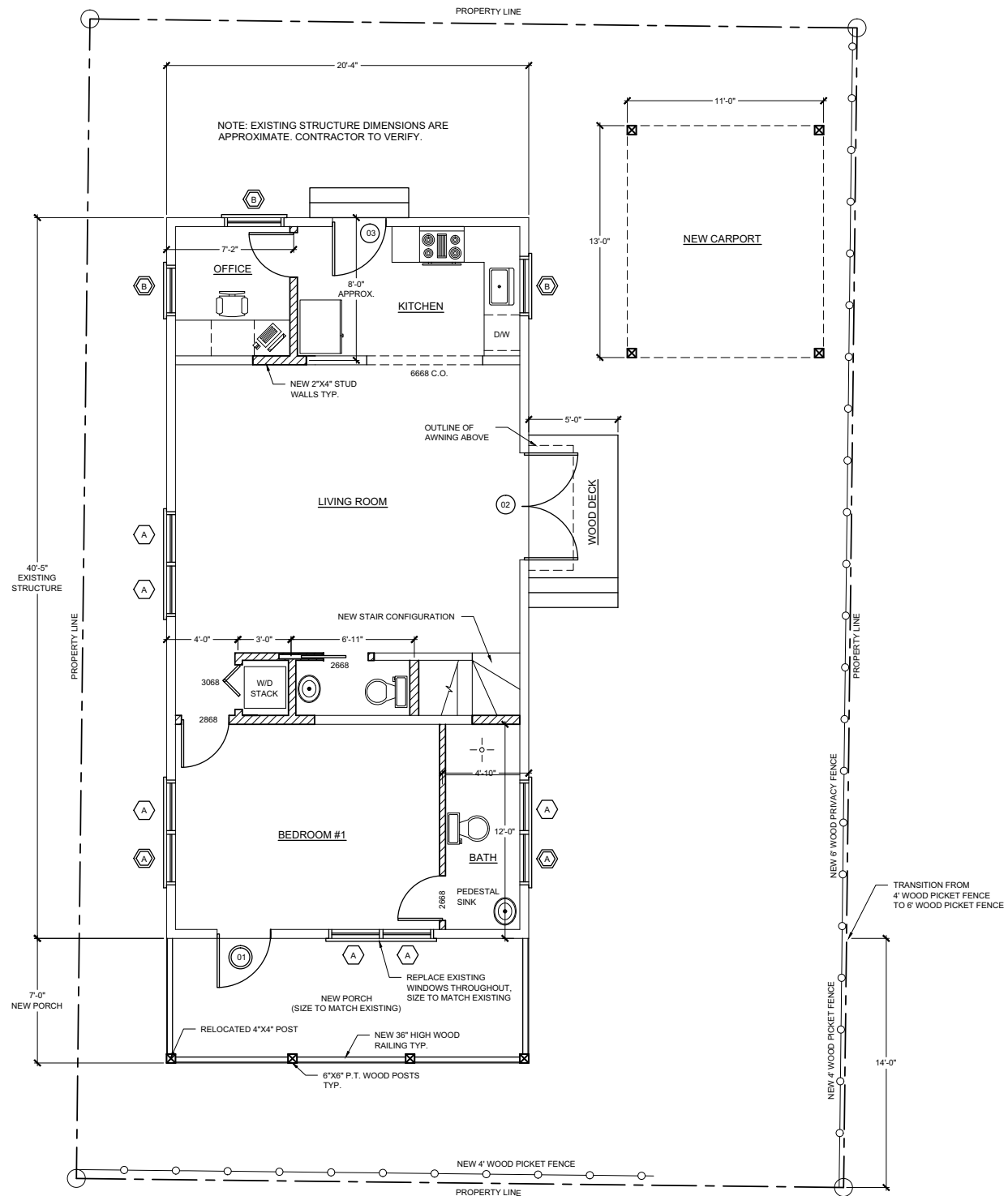
EXISTING SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

KEMP RESIDENCE
 421 VIRGINIA STREET
 KEY WEST, FLORIDA

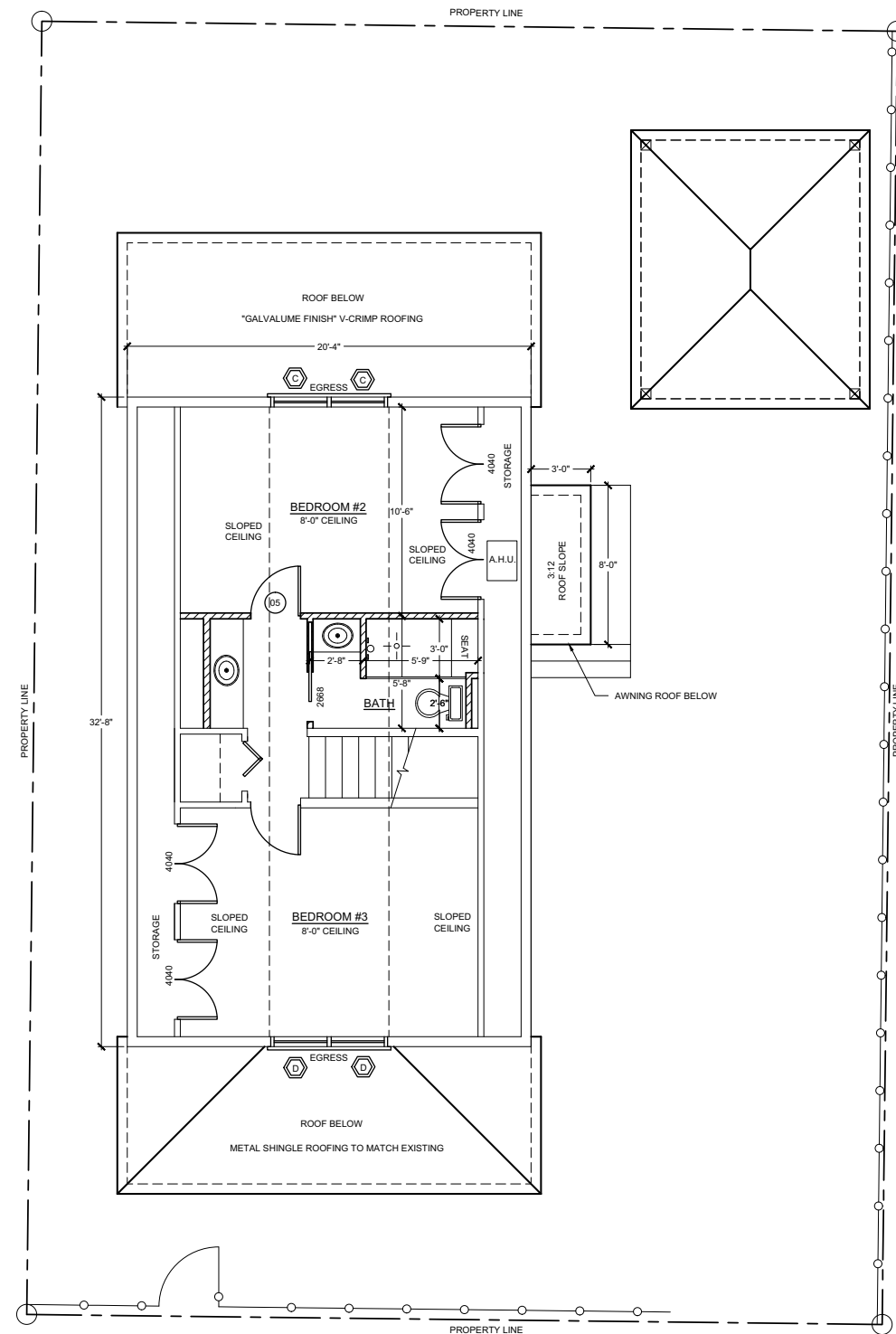
REVISIONS

JOB:
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 DRAWN: BGO



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



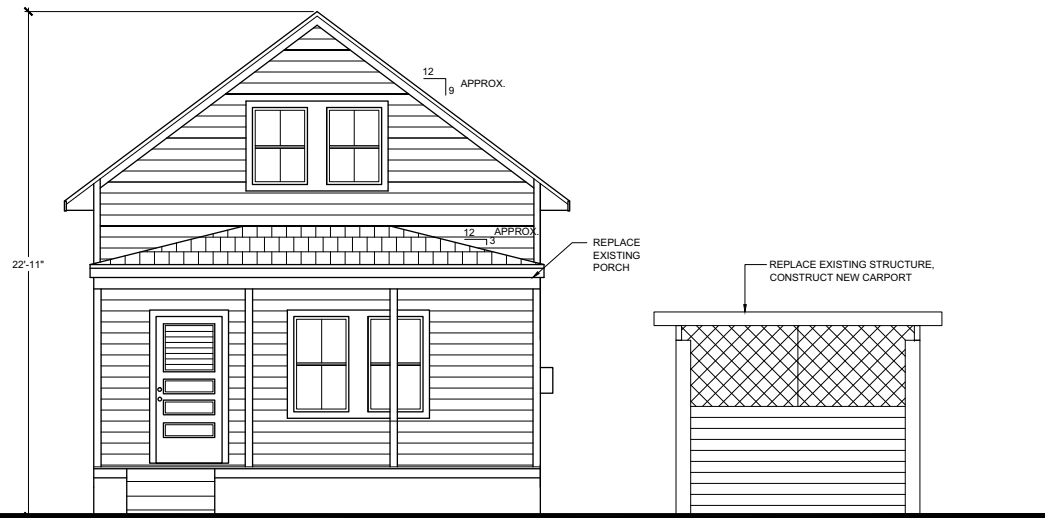
PROPOSED SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

KEMP RESIDENCE
 421 VIRGINIA STREET
 KEY WEST, FLORIDA

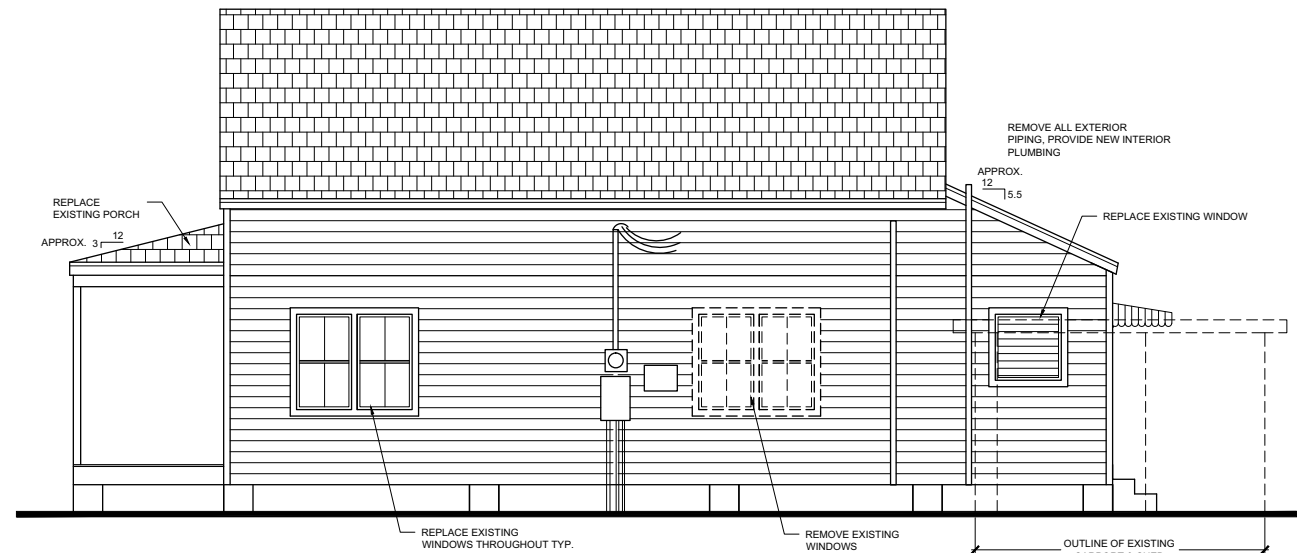
REVISIONS

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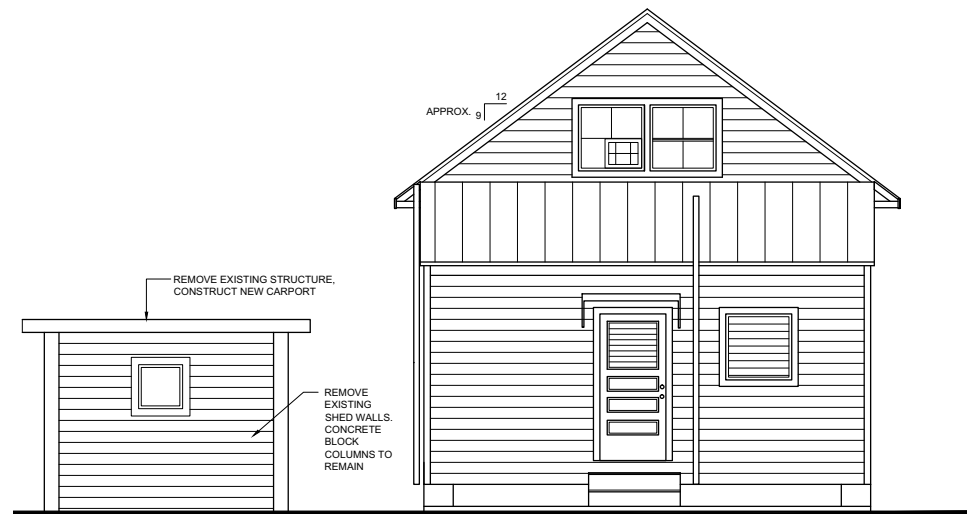
EXISTING SOUTHEAST ELEVATION

SCALE: 1/4"=1'-0"



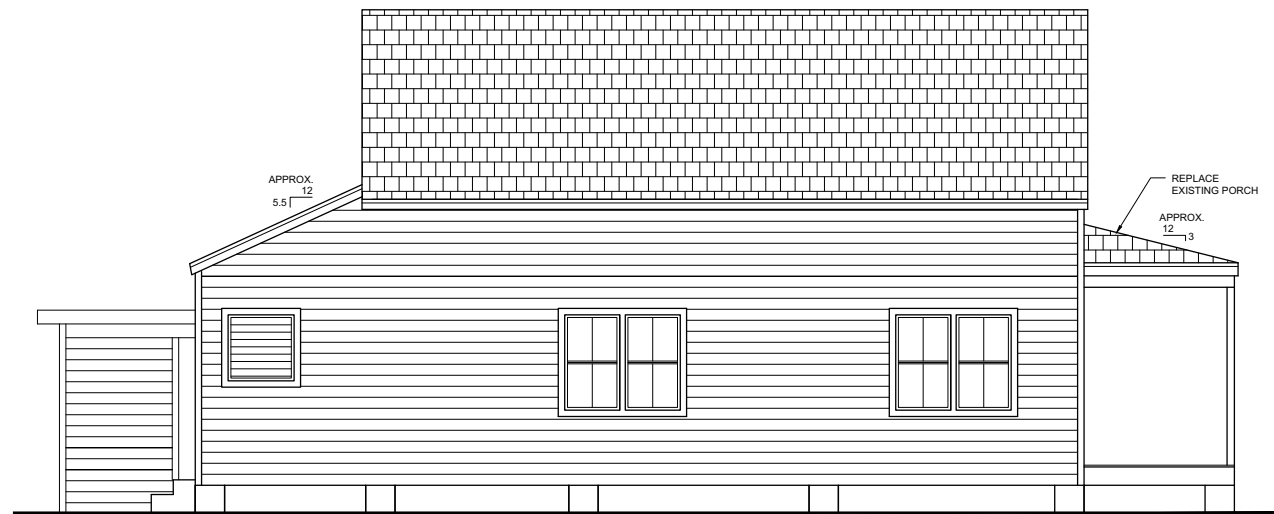
EXISTING NORTHEAST ELEVATION

SCALE: 1/4"=1'-0"



EXISTING NORTHWEST ELEVATION

SCALE: 1/4"=1'-0"



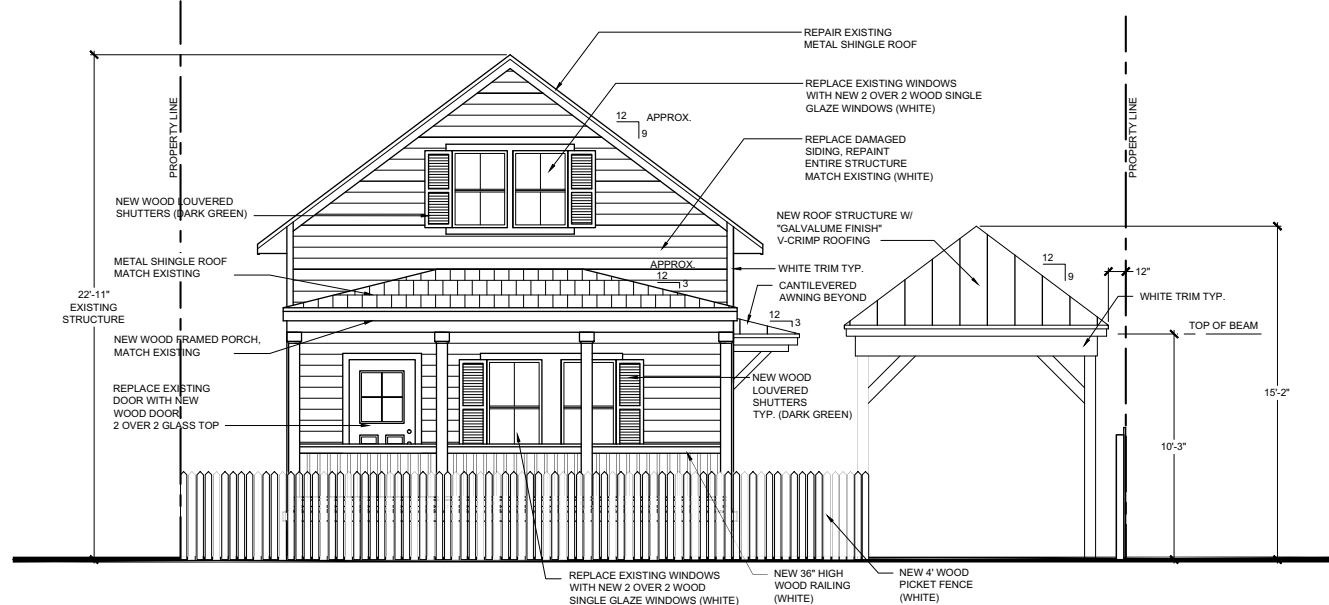
EXISTING SOUTHWEST ELEVATION

SCALE: 1/4"=1'-0"

REVISIONS

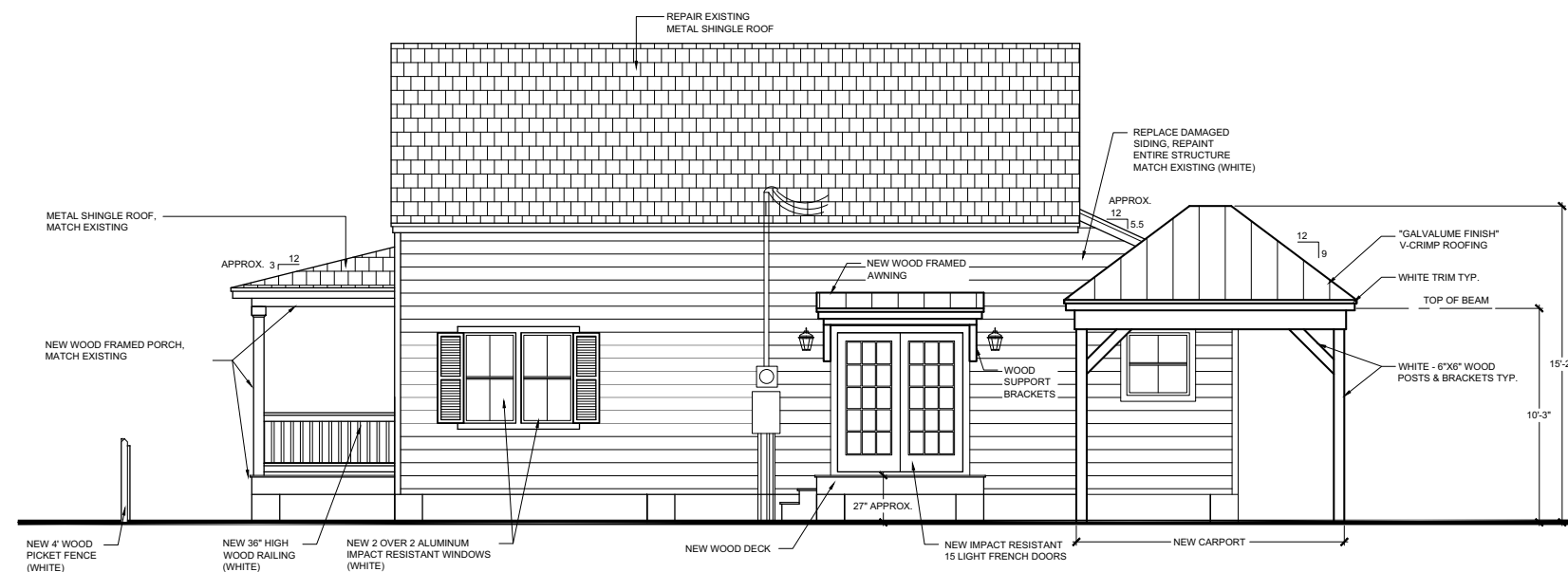
NO.	DESCRIPTION

JOB:
 START DATE: 01-26-12
 ISSUE DATE: XX-XX-XX
 DRAWN: BGO



PROPOSED SOUTHEAST ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED NORTHEAST ELEVATION

SCALE: 1/4"=1'-0"

KEMP RESIDENCE
 421 VIRGINIA STREET
 KEY WEST, FLORIDA

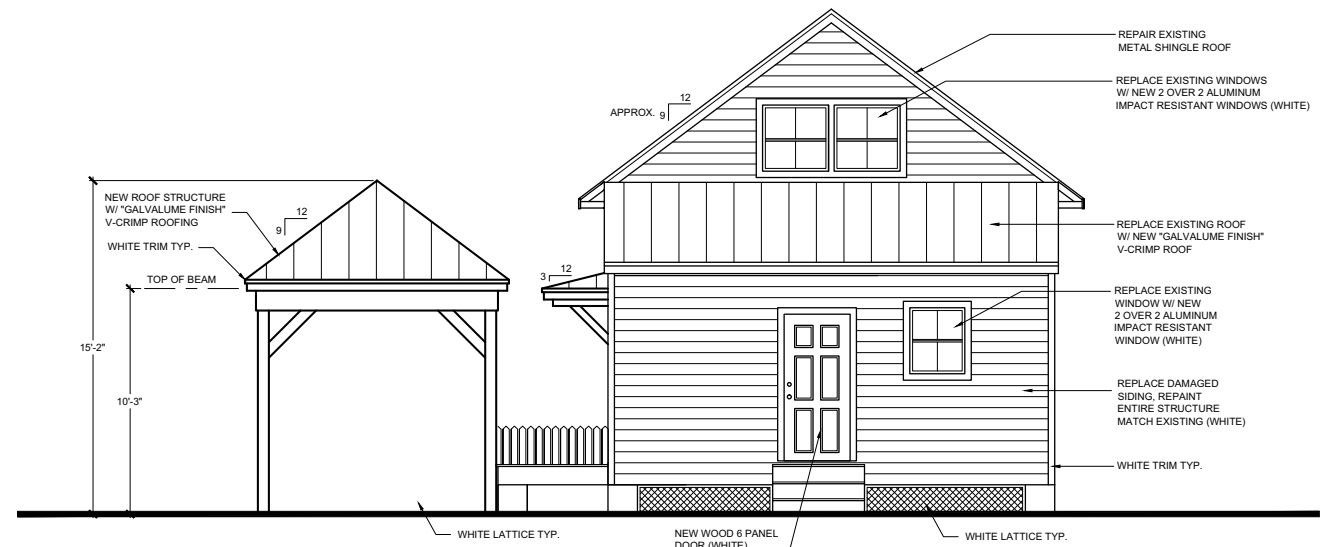
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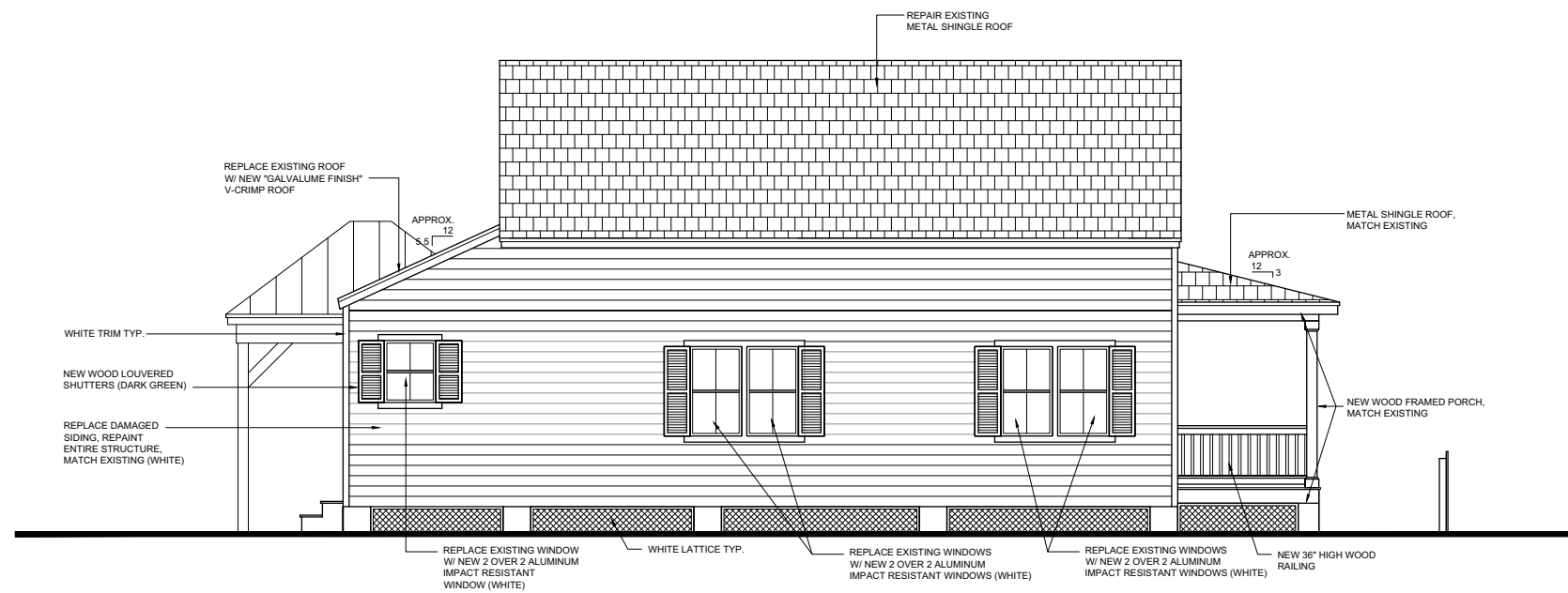
REVISIONS

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 DRAWN: BGO



PROPOSED NORTHWEST ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED SOUTHWEST ELEVATION

SCALE: 1/4"=1'-0"

Noticing

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing **at 5:30 p.m., March 14, 2012 at Old City Hall, 510 Greene Street**, Key West, Florida. The purpose of the hearing will be to consider a request for:

RENOVATE EXISTING TWO STORY HOUSE. NEW WOOD FRAME PORCH TO MATCH EXISTING. REPAIR PORTIONS OF EXISTING ROOF.REPLACE DOORS AND WINDOWS THROUGHT. REPAIR ALL DAMAGED AREAS TO MATCH EXISTING. NEW CARPORT TO REPLACE EXISTING. DEMOLITION OF FRONT PORCH, PARTIAL DEMOLITION OF ROOF AND DEMOLITION OF CARPORT

#421 VIRGINIA STREET

Applicant- Seatech of the Florida Keys-

Application Number H12-01-346

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3973 or visit our website at www.keywestcity.com .

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

**Property Appraiser
Information**

Karl D. Borglum
Property Appraiser
Monroe County, Florida

office (305) 292-3420
fax (305) 292-3501
Website tested on
Internet Explorer

----- GIS Mapping requires Adobe Flash 10.3 or higher. -----

Property Record View

Alternate Key: 1027936 Parcel ID: 00027160-000100

Ownership Details

Mailing Address:
HUKWEEM LLC
2231 SAINT JOHNS AVE
JACKSONVILLE, FL 32204-4621

Property Details

PC Code: 01 - SINGLE FAMILY
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 06-68-25
Property Location: 421 VIRGINIA ST KEY WEST
Legal Description: KW PT LOT 1 SQR 3 TR 11 H3-34 OR591-354L/E OR1113-652/653 OR1113-654/655 OR1337-1454DC
OR2189-528/33POA OR2189-534 OR2365-1956 OR2554-1640/43

Parcel Map (Click to open dynamic parcel map)



Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	43	65	2,795.00 SF

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 0

Total Living Area: 800
Year Built: 1943

Building 1 Details

Building Type R1
 Effective Age 83
 Year Built 1943
 Functional Obs 0

Condition P
 Perimeter 120
 Special Arch 0
 Economic Obs 0

Quality Grade 450
 Depreciation % 75
 Grnd Floor Area 800

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type GABLE/HIP
 Heat 1 NONE
 Heat Src 1 NONE

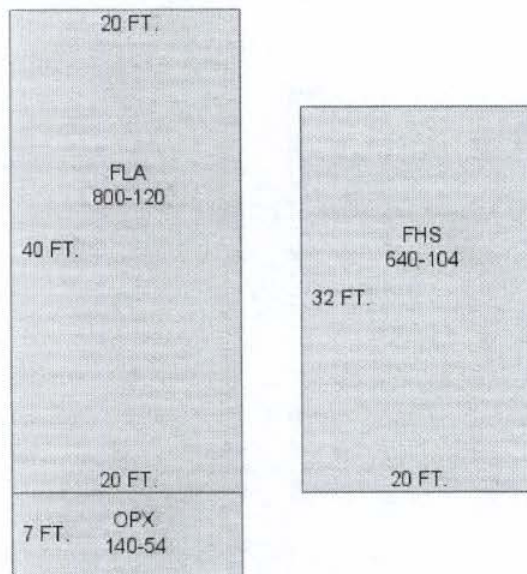
Roof Cover METAL
 Heat 2 NONE
 Heat Src 2 NONE

Foundation WD CONC PADS
 Bedrooms 3

Extra Features:

2 Fix Bath 1
 3 Fix Bath 0
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 0

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	OPX	12:ABOVE AVERAGE WOOD	1	1989	N N	0.00	0.00	140
2	FLA	12:ABOVE AVERAGE WOOD	1	1989	N N	0.00	0.00	800
3	FHS	12:ABOVE AVERAGE WOOD	1	1989	N N	0.00	0.00	640

Appraiser Notes

2012-01-19 MLS \$390,000 3/1.5 GREAT RENOVATION PROJECT IN OLD TOWN LOCATION. ZONED COMMERCIAL / RESIDENTIAL. HARC APPROVED PLANS CONVEY

2007-03-12-BEING LISTED FOR \$597,000. 3/1.5 FROM HE KWCITIZEN=SKI

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
8-2398	07/10/2008		2,400	REMOVE 13 WINDOWS, 900SF SIDING & TRIM, PORCH CEILING & SOFFIT FOR EXPLORATORY	
8-2198	06/19/2008	12/22/2008	2,450	***ATF***REMOVE CARPET, CABINETS, DRYWALL, VINYL TILES	
B941897	06/01/1994	12/01/1994	572	PAINT JOUSE	

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2011	21,899	0	128,036	149,935	149,935	0	149,935
2010	33,690	0	141,279	174,969	174,969	0	174,969
2009	43,501	0	188,372	231,873	231,873	0	231,873
2008	91,620	990	489,125	581,735	581,735	0	581,735
2007	164,916	715	373,133	538,764	538,764	0	538,764
2006	385,216	715	251,550	637,481	108,767	25,500	83,267
2005	337,356	715	209,625	547,696	105,599	25,500	80,099
2004	201,558	715	218,010	420,283	102,523	25,500	77,023
2003	163,425	715	78,260	242,400	100,612	25,500	75,112
2002	147,053	715	61,490	209,258	98,254	25,500	72,754
2001	119,480	715	61,490	181,685	96,707	25,500	71,207
2000	119,480	1,287	44,720	165,487	93,891	25,500	68,391
1999	74,332	965	44,720	120,017	91,423	25,500	65,923
1998	70,520	916	44,720	116,156	89,984	25,500	64,484
1997	57,179	743	39,130	97,051	88,480	25,500	62,980
1996	46,886	609	39,130	86,625	85,903	25,500	60,403
1995	46,886	609	39,130	86,625	83,808	25,500	58,308
1994	41,931	545	39,130	81,605	81,605	25,000	56,605
1993	41,931	545	39,130	81,605	81,605	25,000	56,605
1992	41,931	545	39,130	81,605	81,605	25,000	56,605
1991	41,931	545	39,130	81,605	81,605	25,000	56,605
1990	41,931	545	31,444	73,919	73,919	25,000	48,919
1989	32,418	0	30,745	63,163	63,163	25,000	38,163

1988	29,067	0	27,251	56,318	56,318	25,000	31,318
1987	23,899	0	15,722	39,621	39,621	25,000	14,621
1986	23,990	0	15,093	39,083	39,083	25,000	14,083
1985	23,539	0	14,758	38,297	38,297	25,000	13,297
1984	22,410	0	14,758	37,168	37,168	25,000	12,168
1983	22,410	0	10,397	32,807	32,807	25,000	7,807
1982	22,733	0	10,397	33,130	33,130	25,000	8,130

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
2/6/2012	2554 / 1640	290,000	WD	99
6/6/2008	2365 / 1956	399,800	WD	Z
9/1/1974	591 / 354	30	WD	Q

This page has been visited 20,643 times.

Monroe County Property Appraiser
Karl D. Borglum
P.O. Box 1176
Key West, FL 33041-1176