

Historic Architectural Review Commission

Agenda Packet

August 31, 2010 – 3:00 p.m.

City Commission Chamber

Old City Hall, 510 Greene Street



Item 5.b.3.

Request to extend previously approved application and revision to plans- **#522 Grinnell Street-**
Applicant: Sea Tech of the Florida Keys Inc. (H10-01-041) Revisions to previously approved
application H08-05-09-587. New pitched roof to replace existing flat roof at rear of house.

5 b 3 Request to extend previously approved application and revision to plans-
522 Grinnell Street- Applicant: Sea Tech of the Florida Keys Inc.
(H10-01-241)

Revisions to previously approved application H08-05-09-587. New pitched roof to replace existing flat roof at rear of house.

The house located on 522 Grinnell Street is listed as a contributing resource in the 1998 and 2004 surveys. The two story frame vernacular house was built circa 1889. This house is one of the finest examples of two story frame vernacular architecture in the historic district. The house has been abandoned and neglected and it is in need of repairs and rehabilitation. In May 27, 2008 the Historic Architectural Review Commission approved a Certificate of Appropriateness for a restoration project. Add new porch at rear. Replace front steps, new shutters to match existing, new paint to match existing, new porch railing to match existing, extend trim to match existing around windows and doors. Replace non period doors with new. Remove carport. The commission at that time approved the project with the following conditions;

1. Windows to match existing, wood putty glazed divided
2. Replace to match existing roof material- it was depicted with v crimp.
3. First floor balustrades to match existing

Staff reviewed the previously approved plans with the new plans and found the following;

1. The new plans propose the reuse of existing 2 over 2 existing windows.
2. Existing metal shingles.
3. Balusters are the same in both applications, first floor are 2 by 2 wood.
- 4.

The major change between the approved plans and the new submitted plans is that on the approved plans a two story porch was added to the back of the house, facing southwest and southwest. The new plans propose a new roof to the existing back bump out. The existing roof is a low slope shed roof and the new plans proposes a hip roof. This roof will be "L" shape in plan.

According to the Code of Ordinances, Sec 102-Sec. 102-159 a Certificate of Appropriateness expires after two years if the work has not commenced under a duly issued building permit;

A certificate of appropriateness shall expire two years from the date of its approval if the work has not commenced under a duly issued building permit. Upon application of the property owner, the historic architectural review commission, or its designee, may extend a certificate of appropriateness for a specified period of time not to exceed two years upon a finding of no substantially changed circumstances.

This Ordinance was in effect August 1, 2006. No building permits have been issued for this request. Because this is an important structure in need of repair staff determined that the commission needed to review this request.

For the proposed new roof over the existing bump out structure staff understands that the Historic Architectural Guidelines of the City of Key West includes under Article VI- Design Guidelines in Key West Historic District (o and p) Additions, alterations and new construction, pages 36-38, will apply;

Guideline 1

A structure shall not be altered and/or expanded in such manner that it's essential character defining features are disguised or concealed.

Staff understands that the proposed new roof on the back portion of the house will not alter or disguise any character defining features of this historic house.

Guideline 3

Addition design should be compatible with the characteristics of the original structure, neighboring buildings and streetscape

The proposed new roof is compatible with the main characteristics observed in the main house and surrounding structures.

Guideline 4

Additions should be constructed with scale, height and mass that is appropriate to the original building and its neighbors.

It is staff understanding that the new roof is in scale and in proportion with the surrounding houses. The proposed shape of the roof is in keeping with the character of the house.

Guideline 5

Additions should be attached to less publicly visible secondary elevations of an historic structure.

This new roof will be located on the back portion of the house. Although this structure is located on a corner lot and this roof will be visible from Cornish Lane it will not obscure or alter character defining elements.

Guideline 6

Additions should not alter the balance and symmetry of a historic structure.

This proposed new roof will not alter the balance and symmetry the house possesses.

Guideline 7

No existing structure shall be enlarged so that its proportions are out of scale with its surroundings.

The new design does not propose any alterations that may change or enlarge the existing proportions of the house.

Staff requested the applicant to include a note on the plans that will protect the building of extreme removal of historic material. The plans state the following note;

Contractor shall not remove exterior components except for minor replacements as needed unless approved by HARC representative. Minor replacement such as isolated rotted or deteriorated wood members shall be allowed.

Staff recommends to this commission to **extend the previously approved Certificate of Appropriateness with the new revisions**, as submitted on the plans. The proposed design complies with the City's Historic Architectural Guidelines.

Application



**CITY OF KEY WEST
BUILDING DEPARTMENT
CERTIFICATE OF APPROPRIATENESS**

APPLICATION # 10-01-0241

OWNER'S NAME: Maritime Funding Group LTD DATE: 7/30/10

OWNER'S ADDRESS: P.O. Box 399 Calverton NY PHONE #: 516-429-6126

APPLICANT'S NAME: Sea Tech of the FL Keys Inc PHONE #: 305-744-0584

APPLICANT'S ADDRESS: 830 Crane Blvd Sugarleaf 33042

ADDRESS OF CONSTRUCTION: 522 Grinnell St. Key West FL # OF UNITS: 2

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT

DETAILED DESCRIPTION OF WORK: Revisions to previously approved application H08-05-09-587. New pitched roof to replace existing flat roof at rear of house

Chapter 837.06 F.S.-False Official Statements – Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or 775.083.

APPROVED
BY: MC 2:25
2010

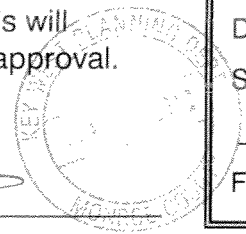
This application for Certificate of Appropriateness must precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval.

Date: 7/30/10

Applicant's Signature: [Signature]



Required Submittals

TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
TREE REMOVAL PERMIT (if applicable)
PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings and additions)
ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

Staff Use Only

Date: _____

Staff Approval: _____

Fee Due: \$ _____

HISTORIC ARCHITECTURAL REVIEW APPLICATION

HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

Approved _____

Denied _____

Deferred _____

Reason for Deferral or Denial:

HARC Comments:

Contributing house built c. 1889.

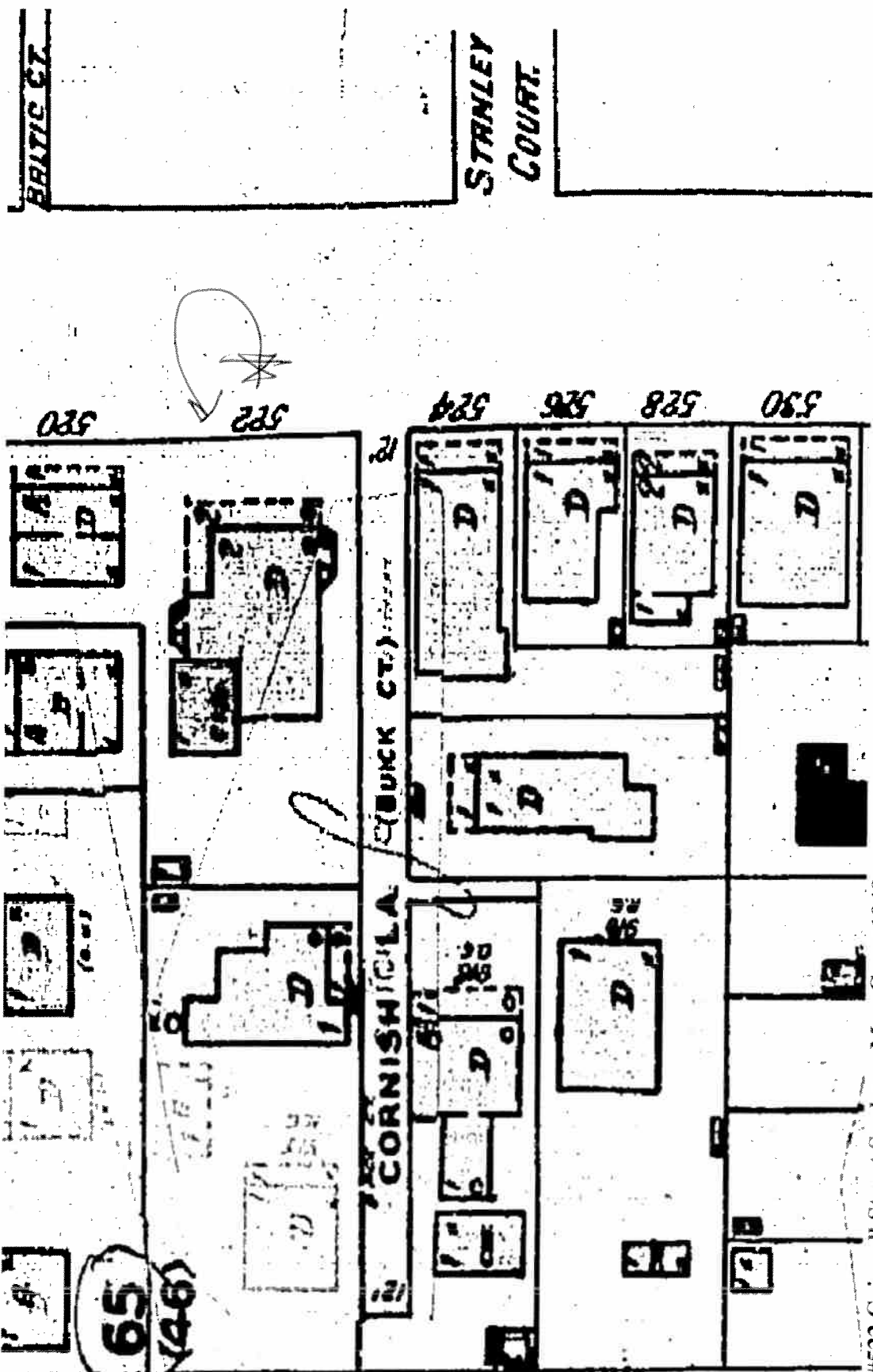
Limit of Work Approved, Conditions of Approval and/or Suggested
Changes:

Date: _____

Signature: _____

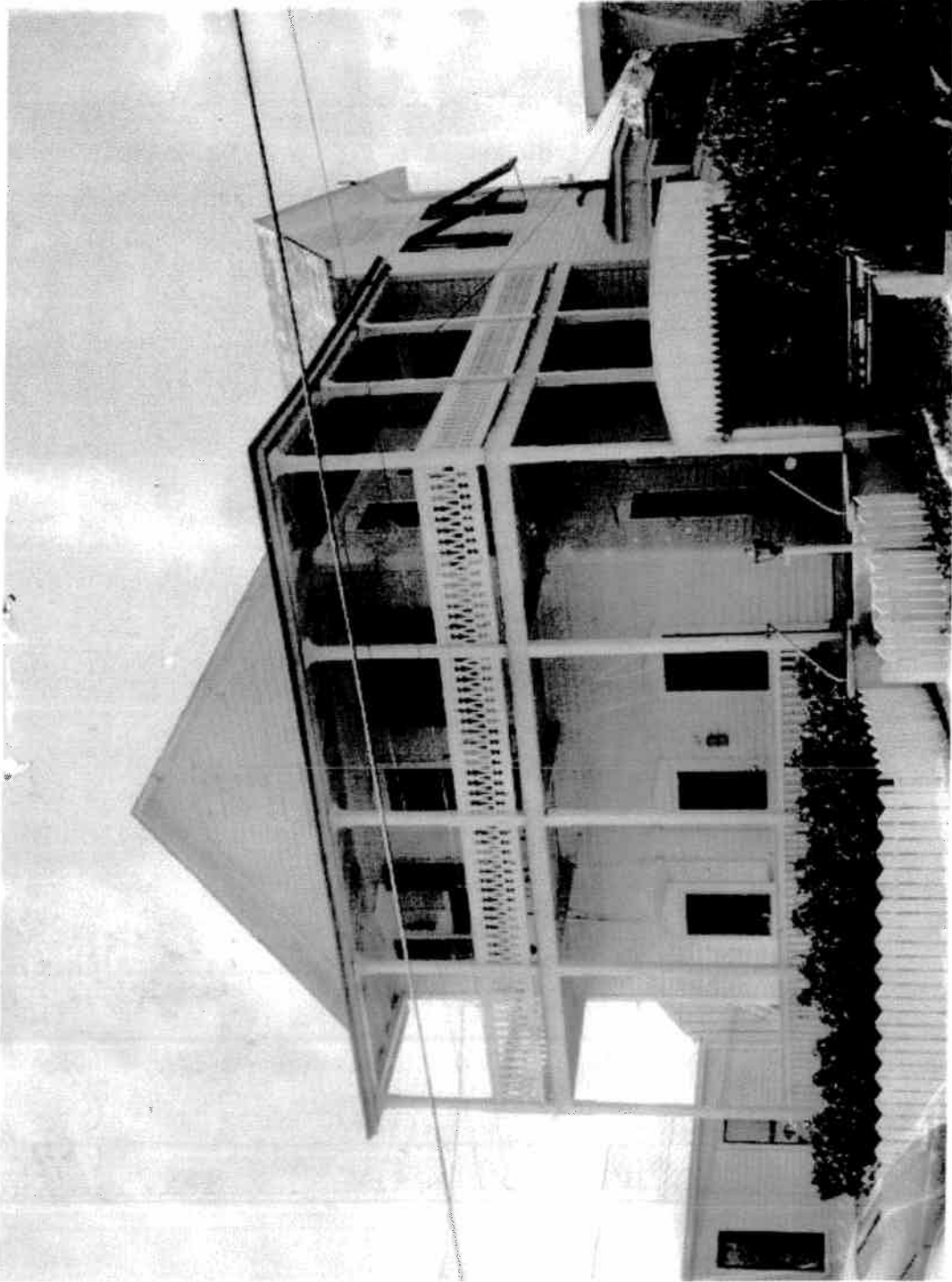
Historic Architectural
Review Commission

Sanborn Maps



#522 Grinnell Street Sanborn Map Copy 1948

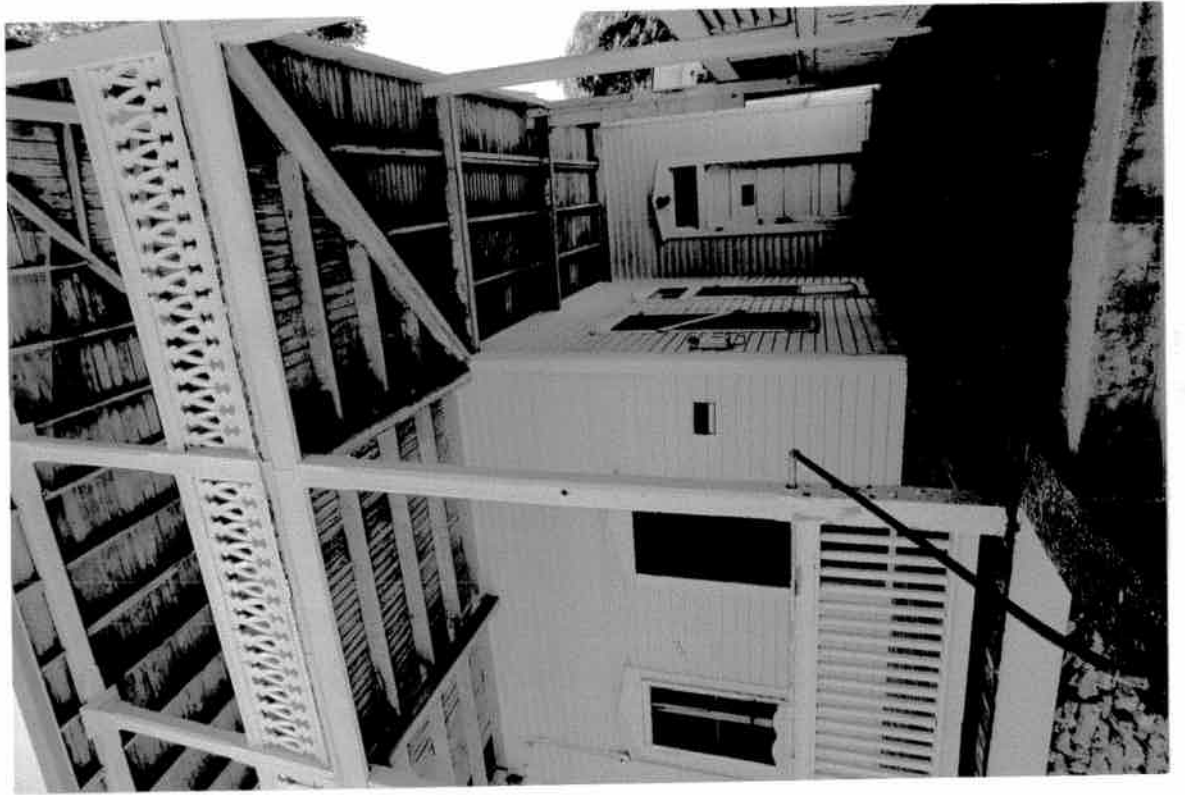
Project Photos

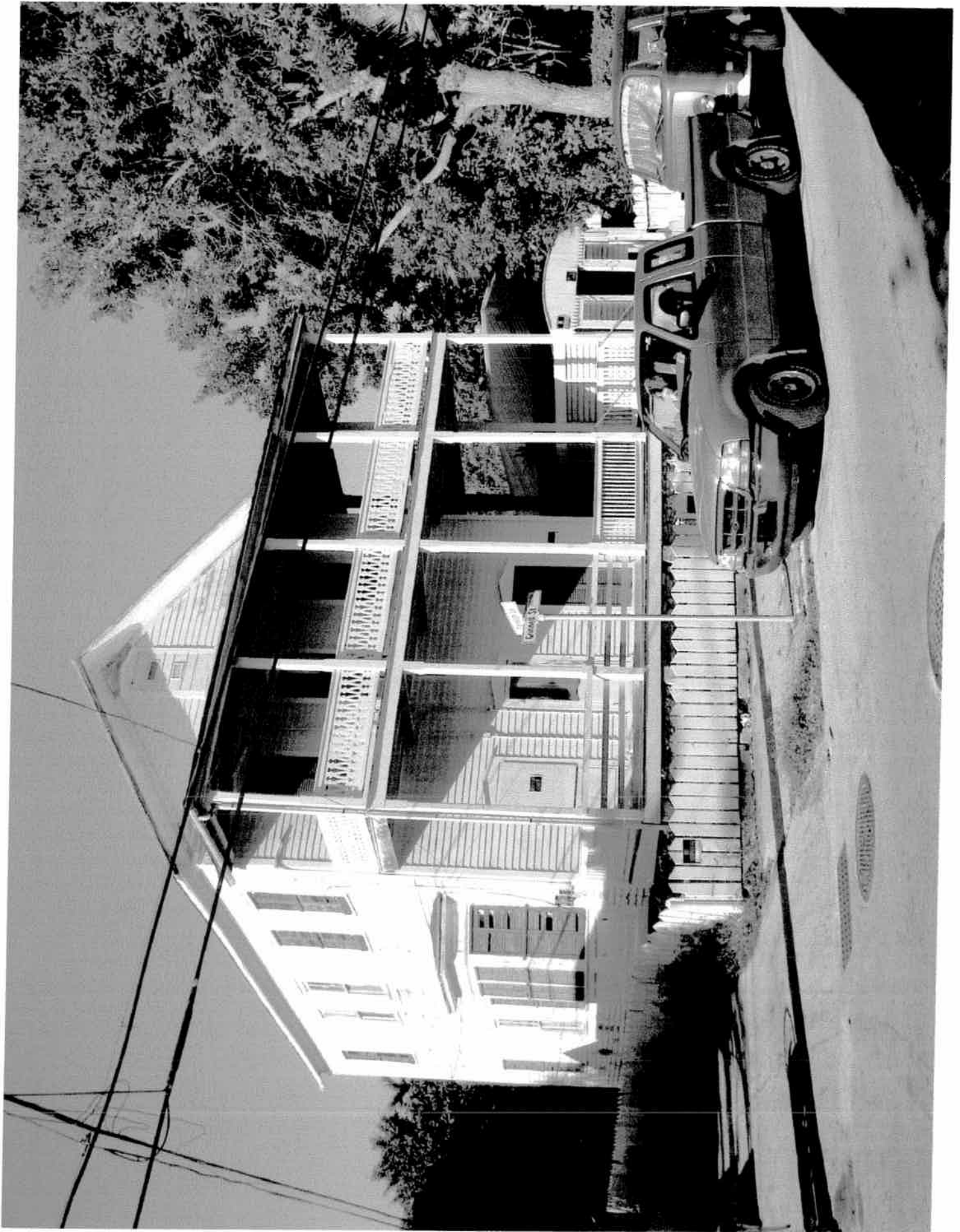


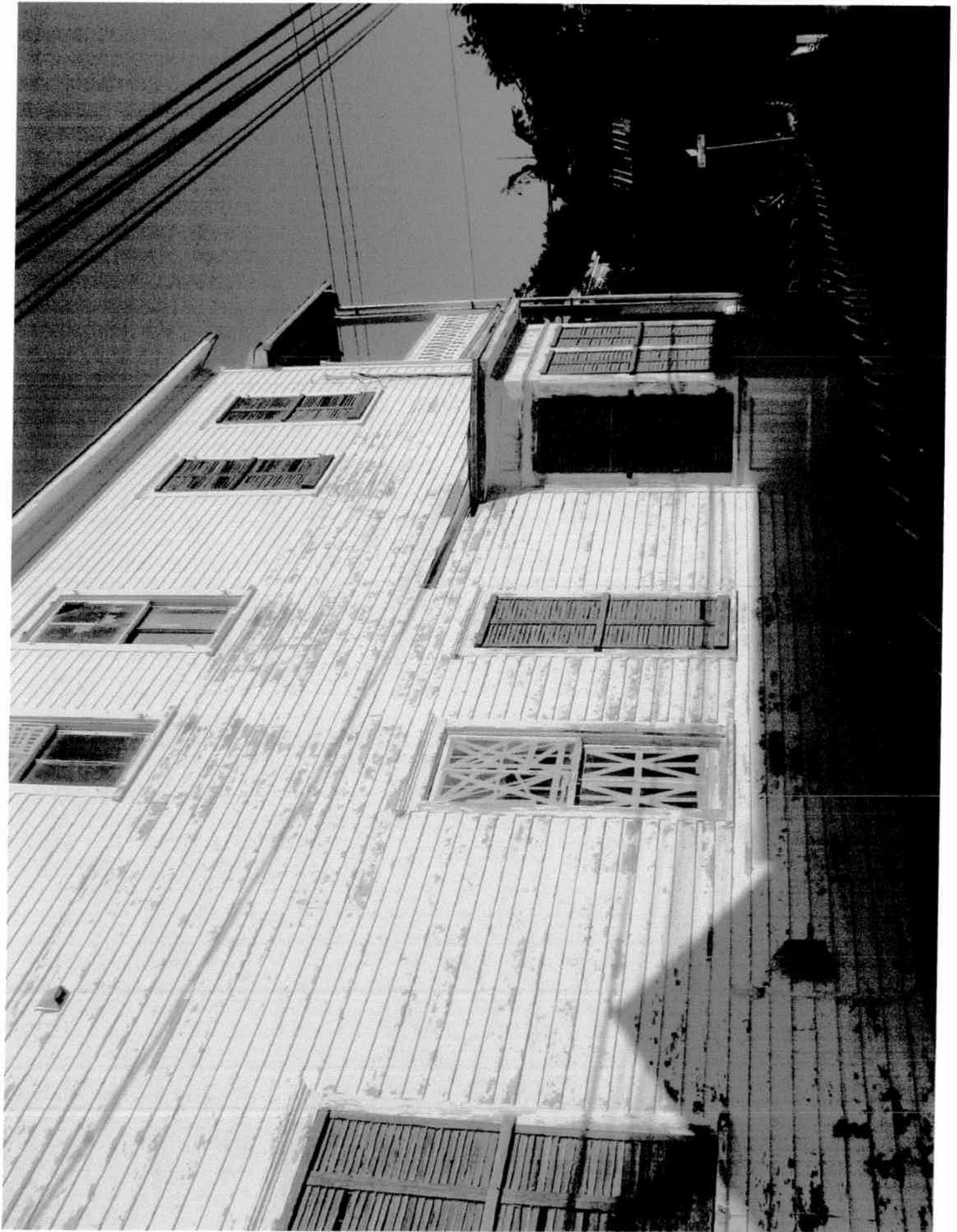
#522 Grinnell Street Courtesy of Monroe County Library- Property Appraisers Records c 1965





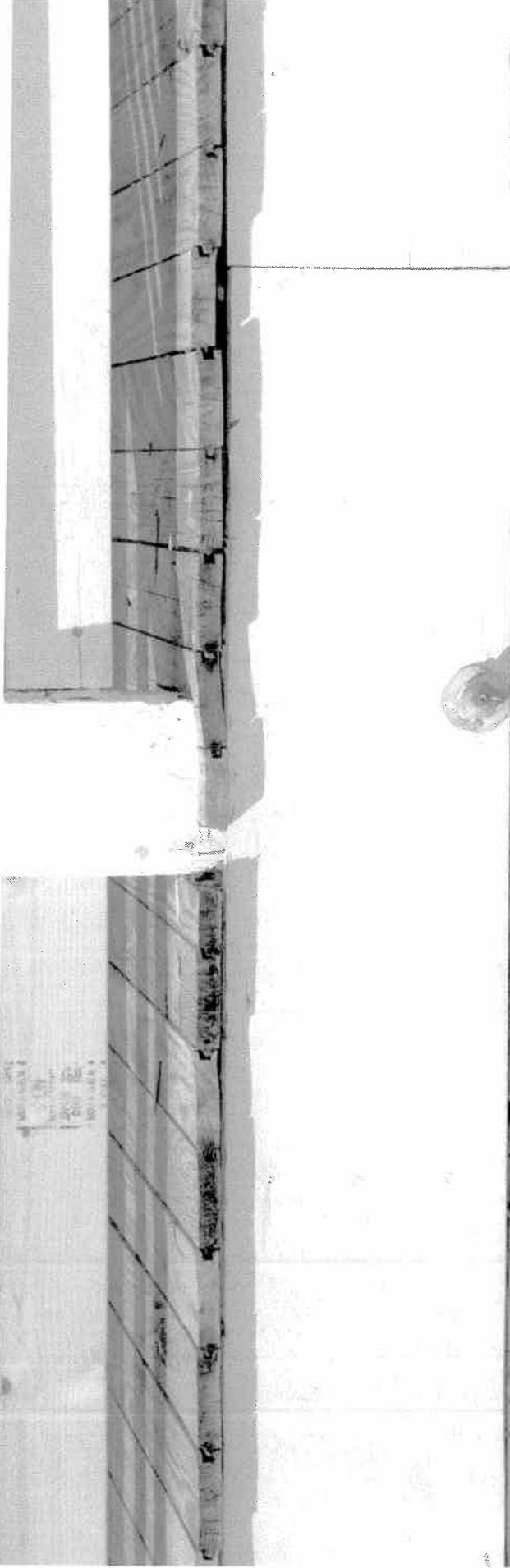












Meeting Minutes

HARC MINUTES
AND ORDERS
May 27, 2008

Diane Silvia stated that the real estate show sheets portion on the application had never been approved. She stated that they had one sign too many presently.

Nils Muench stated that page 48 of the guidelines is in conflict with their intention.

Peter Batty, Jr. suggested that he table the item and discuss the issues with their client. Michael Miller further stated that he thought that they were not allowed to have magazine racks on the front porch. He stated that he felt that they somehow had gone by the way with the conversion of this structure from residential to commercial.

Diane Silvia stated that she felt that they should also discuss the second issue of replacing the front steps.

APPROVED _____ DISAPPROVED _____ TABLED ___X___

H08-05-09-586-B 1120 Duval Street, Florida Building Consultants, Inc./Paul Semmes

Replace front steps with new monumental steps. New planter. This storefront remodel is to allow open access to potential clients.

The discussion continued to include the replacement of the front steps. Michael Miller questioned why they wouldn't just retain the "stairs" to continue the residential nature of the structure.

Mr. Wilkins requested that the item be tabled to allow input and discussion with his client.

It was moved by Peter Batty, Jr. and seconded by Niles Muench, to table both items for further discussion and input with the client. Motion carried.

APPROVED _____ DISAPPROVED _____ TABLED ___X___

CL10. H08-05-09-587 522 Grinnell Street, Florida Building Consultant, Inc/Paul Semmes

Restoration project. Add new porch at rear. Replace front steps, new shutters to match existing. New paint to match existing. New

HARC MINUTES
AND ORDERS
May 27, 2008

pool (should be porch) railing to match existing. Extend trim to match existing windows & doors. Replace non period doors with new. Remove carport.

This is a contributing frame vernacular circa 1889.

John Wilkins represented the project and stated that there was no pool on the application, probably should have been porch. He stated that the client was anxious to maintain the historical elements of the structure. There is a non-historic addition that they wanted to remove and replace with a second story balcony. When questioned about the carport, John stated that they were not sure what would be happening but would be coming back before the Board. He stated that the carport was not a part of the present request.

Michael Miller questioned the windows, 2 over 2. He stated that they needed more information. John responded that they would match the existing. Mr. Miller further questioned the louvers/shutters. Windows to match existing wood with putty.. He stated that the siding in need of replacement must be wood, not hardi- board. John agreed. There was a discussion about the balustrades.

Peter Batty, Jr. questioned if they could put roofing to be replaced with like.

Barbara Bowers stated that the present request was to remove the carport. All agreed this was a positive change.

Peter Batty, Jr. moved, seconded by Michael Miller, to approve with the following conditions: windows to match existing with wood putty glazed divisions; replace to match existing roof material and first floor balustrades to match existing. Motion carried.

APPROVED X DISAPPROVED _____ TABLED _____

CL11. H08-05-09-588-A 418 Eaton Street, George Cooper
Remodel storefront. 6" neon lettering.

Michael Miller recused himself from this item as he is the project architect (see form 8b).

This is a noncontributing structure.



**CITY OF KEY WEST
BUILDING DEPARTMENT
CERTIFICATE OF APPROPRIATENESS**

APPLICATION # 408-59-584

OWNER'S NAME: Maritime Funding Group LTD % Walter Gezari DATE: 5/7/2008

OWNER'S ADDRESS: P.O. Box 399 Calverton NY 11933 PHONE #: 305 294-9993

APPLICANT'S NAME: Florida Building Consultants, Inc / Paul Semmes PHONE #: 305 777 5646

APPLICANT'S ADDRESS: 6410 5th Street Key West FL 33040

ADDRESS OF CONSTRUCTION: 522 Grinnell street Kwf 33040 # OF UNITS 2

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT

DETAILED DESCRIPTION OF WORK: Restoration Project. Add New Porch at REAR. Replace front steps, New shutters to match Existing, New Paint to match Existing, New Porch Railing to match Existing, Extend trim to match Existing around windows & doors. Replace door Period Doors with New. Remove Carpet

Chapter 837.06 F.S.-False Official Statements - Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or 775.083

This application for Certificate of Appropriateness must precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval.

Date: 5/7/2008
Applicant's Signature: Paul Semmes

Required Submittals

<input checked="" type="checkbox"/>	TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
<input type="checkbox"/>	TREE REMOVAL PERMIT (if applicable)
<input checked="" type="checkbox"/>	PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
<input type="checkbox"/>	PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings and additions)
<input type="checkbox"/>	ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

Staff Use Only

Date: _____

Staff Approval: _____

Fee Due: \$ _____

HISTORIC ARCHITECTURAL REVIEW APPLICATION

HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

Approved 5/27/08 Denied _____ Deferred _____

Reason for Deferral or Denial:

HARC Comments:

Contributing frame vernacular c. 1889
Guidelines for porches p. 32-33; shutters p. 30-31

Limit of Work Approved, Conditions of Approval and/or Suggested

Changes:

Approved with conditions 05.27.08
① windows to match existing: wood putty glazed, dividers
② replace to match existing roof material
③ 1st floor falsework to match existing

Date: 5/27/08

Signature: [Signature]
Historic Architectural
Review Commission

Survey

Site Plans

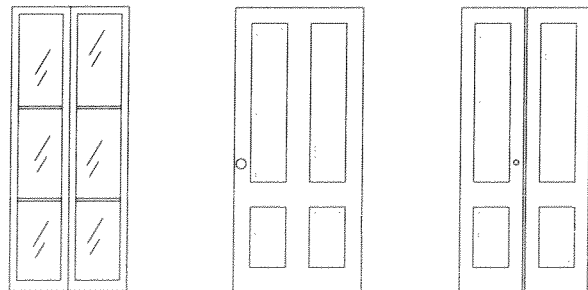
DEMOLITION NOTES

1. PRIOR TO SUBMITTING A BID, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON THE JOB SITE AND ALSO AFTER AWARDS, BUT PRIOR TO THE START OF CONSTRUCTION.
2. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE AND SHALL BE PROPERLY REMOVED FROM THE SITE. COMPLY WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
3. ALL COST OF DEMOLITION INCLUDING PERMIT FEES, DISPOSAL FEES, ETC. ARE THE RESPONSIBILITY OF THE CONTRACTOR.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF AND TO CONFORM WITH ALL APPLICABLE DEMOLITION AND DISPOSAL CODES, SAFETY REQUIREMENT, AND ENVIRONMENTAL PROTECTION REGULATIONS OF ANY GOVERNMENTAL BODY HAVING JURISDICTION OVER THE WORK.
5. PROVIDE SAFETY BARRICADES AS REQUIRED TO PROTECT THE SAFETY OF THE GENERAL PUBLIC AND WORKERS ASSOCIATED WITH THE PROJECT.
 - a. PROVIDE BRACING AND SHORING AS REQUIRED TO TEMPORARILY SUPPORT STRUCTURAL MEMBERS DURING CONSTRUCTION. BRACING & SHORING OF STRUCTURAL MEMBERS SHALL BE DESIGNED AND/OR APPROVED BY A PROFESSIONAL ENGINEER.



DOOR SCHEDULE			
MARK	NOMINAL SIZE (W x H)	TYPE	COMMENTS
01	3'-0"X6'-8"X1 3/4"	FRENCH 4 LIGHT	MATCH EXISTING, SEE DETAIL (A)
02	3'-0"X6'-8"X1 3/4"	4 PANEL SWING	BY OWNER
03	3'-0"X6'-8"X1 3/4"	SINGLE LIGHT SWING	BY OWNER
04	3'-0"X6'-8"X1 3/4"	SWING	MATCH EXISTING, SEE DETAIL (B)
05	2'-8"X6'-8"X1 3/4"	SWING	MATCH EXISTING, SEE DETAIL (B)
06	2'-0"X6'-8"X1 3/4"	SWING	MATCH EXISTING, SEE DETAIL (B)
07	4'-0"X6'-8"X1 3/4"	DOUBLE BI-FOLD	MATCH EXISTING, SEE DETAIL (C)
08	2'-8"X6'-8"X1 3/4"	BI-FOLD	MATCH EXISTING, SEE DETAIL (C)
09	2'-6"X6'-8"X1 3/4"	SWING	MATCH EXISTING, SEE DETAIL (B)

WINDOW SCHEDULE			
MARK	NOMINAL SIZE (W x H)	TYPE	COMMENTS
A	3'-0"X5'-6"	SINGLE HUNG	MATCH EXISTING, SEE DETAIL



DOOR DETAILS

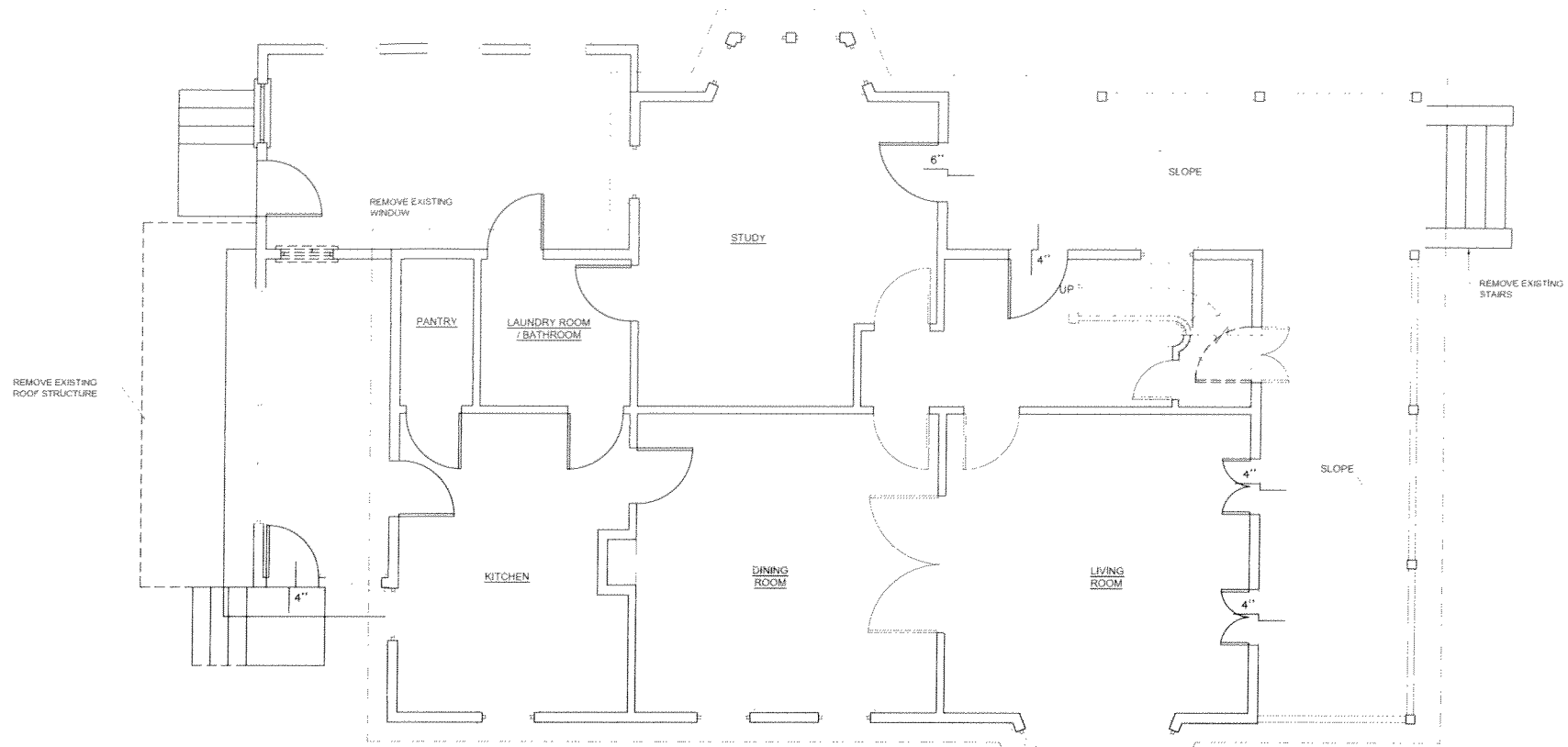
SCALE: 1/4"=1'-0"



WINDOW DETAIL

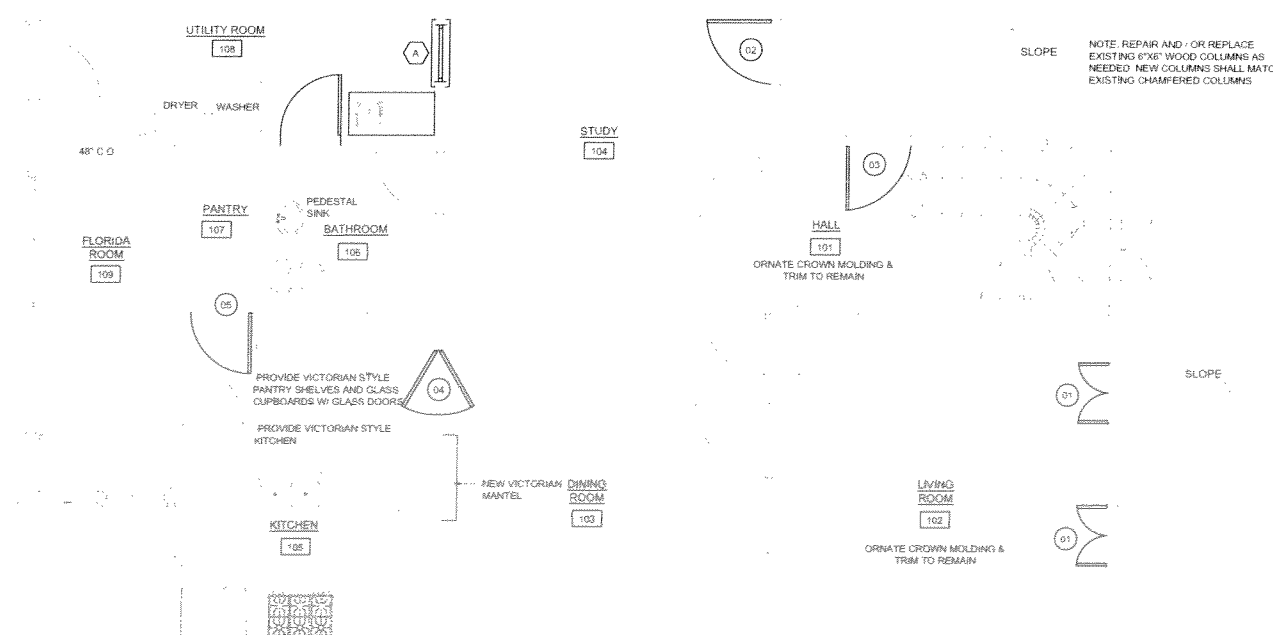
WINDOW DETAILS

SCALE: 1/4"=1'-0"



EXISTING FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

- NOTES:
- REPAIR / REPLACE ALL DAMAGED WOOD
 - PAIN INTERIOR AND EXTERIOR OF EXISTING BUILDING COLOR BY OWNER
 - REPAIR DAMAGED WOODWORK & DOORS
 - REPLACE EXISTING FLOORS THROUGHOUT

SeaTech inc.
 830 CRANE BOULEVARD
 SUGARLOAF KEY, FLORIDA
 (305) 294-9893
 C.A. #28984

PAUL R. SEAMES
 P.E. #44137, DATE: _____

RESIDENTIAL RENOVATIONS

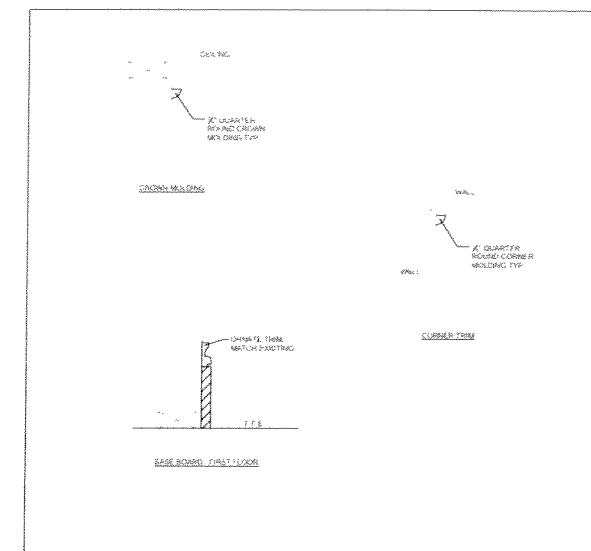
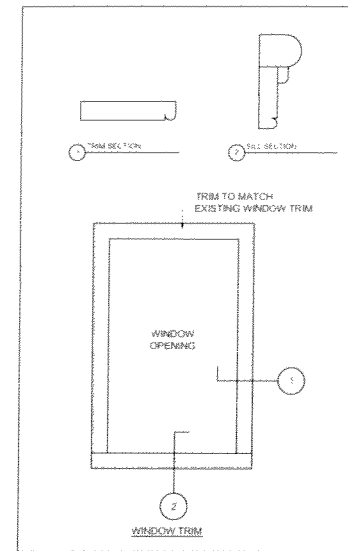
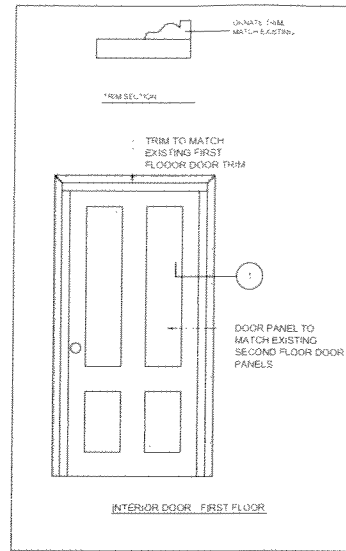
522 GRINNELL STREET
 KEY WEST, FLORIDA

REVISIONS

NO.	DESCRIPTION

JOB:
 START DATE: 06-24-10
 ISSUE DATE: 07-15-10
 DRAWN: EKM

A-1



TRIM DETAILS

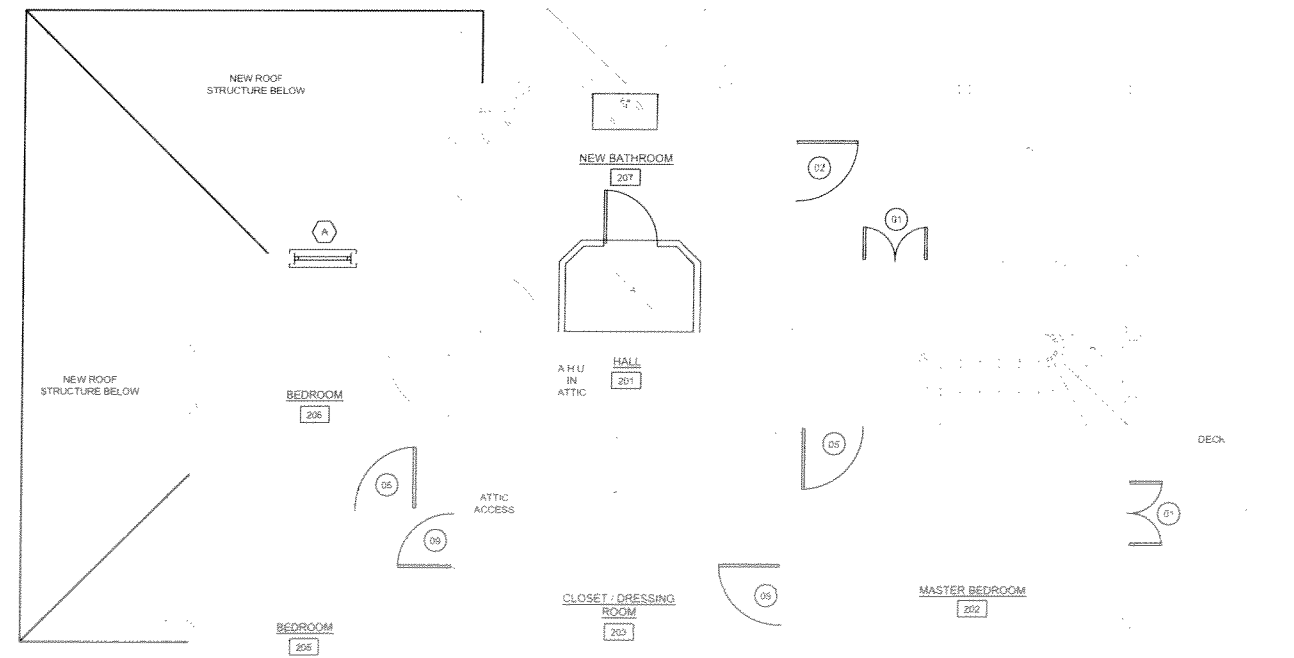
SCALE: N.T.S.

FINISH SCHEDULE

ROOM #	ROOM	FLOOR	CEILING	WALLS	MARK
101	HALL	WOOD	WOOD	WOOD	
102	PARLOR	WOOD	WOOD	WOOD	
103	DINING ROOM	WOOD	WOOD	WOOD	1
104	STUDY	WOOD	WOOD	WOOD	1
105	KITCHEN	WOOD	WOOD	WOOD	1 2
106	BATH	WOOD	WOOD	WOOD	1 2 3 4 5 6
107	PANTRY	WOOD	WOOD	WOOD	2 3 4 6
108	UTILITY ROOM	WOOD	WOOD	WOOD	
109	FLORIDA ROOM	WOOD	WOOD	WOOD	
201	HALL	WOOD	WOOD	WOOD	
202	MASTER BEDROOM	WOOD	WOOD	WOOD	1 2 3
203	DRESSING ROOM	WOOD	WOOD	WOOD	
204	NOT USED				
205	GUEST BEDROOM	WOOD	WOOD	WOOD	2 3 4 5 6 7 8
206	GUEST BEDROOM	WOOD	WOOD	WOOD	2 3 4 5 6 7 8
207	BATHROOM	WOOD	WOOD	WOOD	5

LEGEND

MARK	SPECIFICATIONS
1	ADD QUARTER ROUND @ DOOR TRIM
2	ADD QUARTER ROUND @ WINDOW TRIM
3	ADD QUARTER ROUND @ WALL CORNERS
4	ADD QUARTER ROUND @ BASEBOARD
5	ADD QUARTER ROUND @ CROWN
6	ADD BASEBOARD
7	ADD MOLDING
8	ADD DECORATIVE TRIM



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

JOB

START DATE: 06-24-10

ISSUE DATE: 07-15-10

DRAWN: EKM

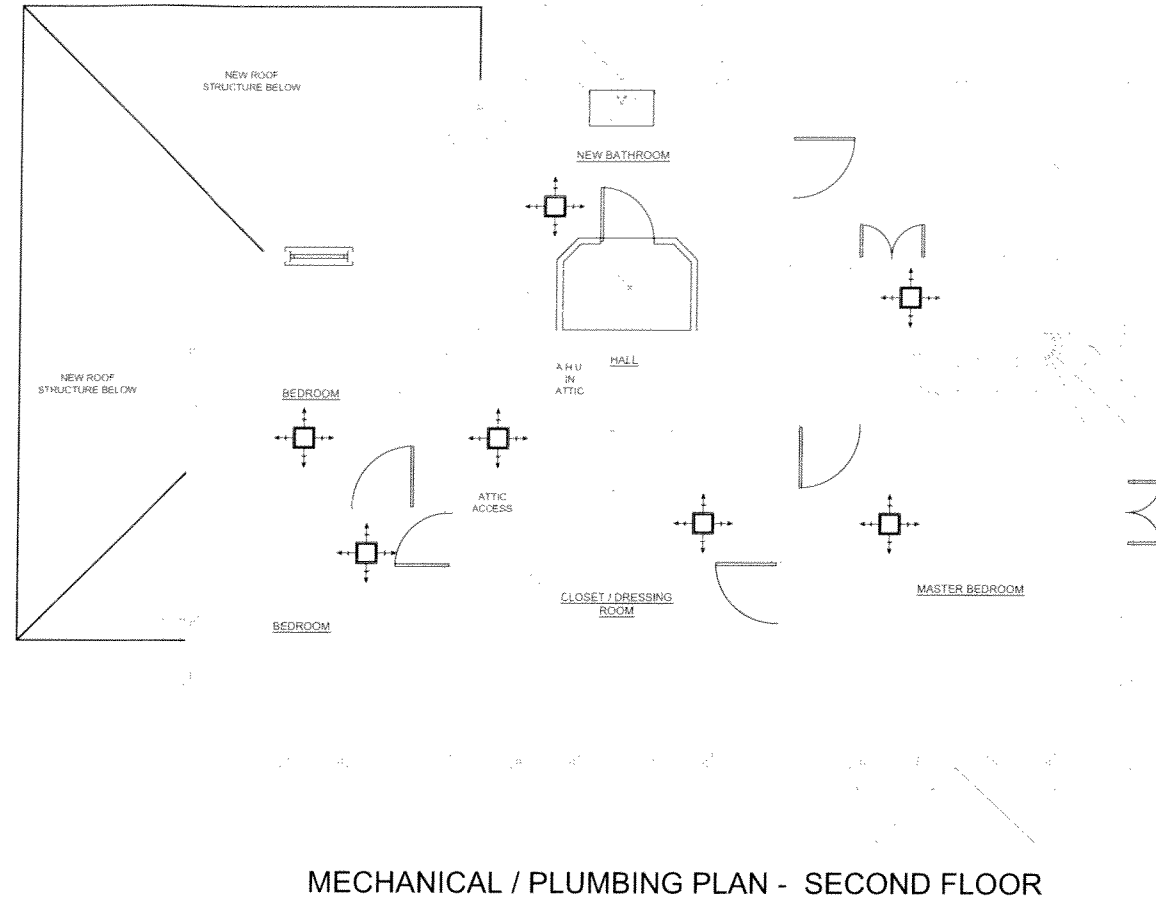
MECHANICAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2007 MECHANICAL CODE, FLORIDA ENERGY EFFICIENCY CODE AND ALL LOCAL ORDINANCES.
2. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION, PERMITS, FEES AND INSPECTIONS NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE.
3. CONTRACTOR SHALL VERIFY SPACE CONDITIONS AND DIMENSIONS AND SHALL COORDINATE WORK WITH ALL OTHER TRADES PRIOR TO FABRICATING DUCTWORK OR INSTALLING EQUIPMENT OR PIPING.
4. PRIMARY DUCTWORK SHALL BE CONSTRUCTED OF ONE AND HALF (1 1/2) INCH THICK (R 6 MINIMUM) FIBERGLASS DUCTBOARD WITH REINFORCED ALUMINUM FOLYACED COVERING FABRICATED AND INSTALLED PER SMACNA RECOMMENDATIONS.
5. ALL VENTILATION AND EXHAUST DUCTWORK SHALL BE OF GALVANIZED SHEET METAL CONSTRUCTION PER SMACNA RECOMMENDATIONS.
6. REFRIGERANT PIPING SHALL BE TYPE "L" COPPER TUBING SIZED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
7. INSULATED SUCTION AND CONDENSATE PIPING WITH 1/4" THICK FOAM PLASTIC OF FIRE RETARDANT TYPE 2500 MAXIMUM SMOKE DEVELOPED AND FLAME SPREAD RATING RESPECTIVELY PER TESTS IN MFPA 205 FINISH WHERE EXPOSED WITH TWO COATS OF ACRYLIC COATERS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
8. ALL EQUIPMENT, MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. COMPRESSORS SHALL CARRY A FIVE-YEAR FACTORY GUARANTEE.
9. AIR CONDITION SYSTEM SHALL BE BALANCED TO OBTAIN COMFORT CONDITIONS IN ALL AREAS WITHOUT DRAFTING.
10. THERMOSTATS SHALL BE HEAT/COOL TYPE WITH FAN AND SYSTEM SELECTOR SWITCH ON SUB BASE. MOUNT FIVE FEET ABOVE FINISHED FLOOR WHERE SHOWN.
11. ALL DUCT ELBOWS GREATER THAN FORTY-FIVE (45) DEGREES SHALL BE FITTED WITH TURNING VANES.
12. PROVIDE READY ACCESSIBILITY TO DAMPERS AND OTHER PARTS OF THE SYSTEM REQUIRED TO BE REACHED FOR MAINTENANCE AND OPERATIONS.
13. VERIFY ALL VOLTAGES WITH ELECTRICAL CONTRACTOR BEFORE ORDERING EQUIPMENT.
14. VIBRATION ISOLATION SHALL BE PROVIDED FOR ALL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS.
15. ALL OUTSIDE EQUIPMENT SHALL BE SECURED TO WITHSTAND FORCES GENERATED BY 150 MPH WINDS.
16. FLEXIBLE DUCT SHALL BE FACTORY FABRICATED ROUND DUCTWORK COMPOSED OF CORROSION RESISTANT REINFORCING WITH HELIX PERMANENTLY BONDED AND ENCLOSED IN POLYESTER FILM THEN COVERED WITH 1-1/2 INCH THICK 1/4 PC2 (R 6 MINIMUM) DENSITY FIBERGLASS INSULATION BLANKET SHEATHED IN A VAPOR BARRIER OF ALUMINUM METALIZED POLYESTER FILM LAMINATED TO GLASS MESH ELASTOMER BACK COATED. THE DUCT SHALL COMPLY WITH MFPA BULLETIN 90 A AND BE LISTED A CLASS 1 AIR DUCT. 1 1/2" DUCT SHALL BE "WIRE HOLD" TYPE WG OR EQUAL.

PLUMBING NOTES

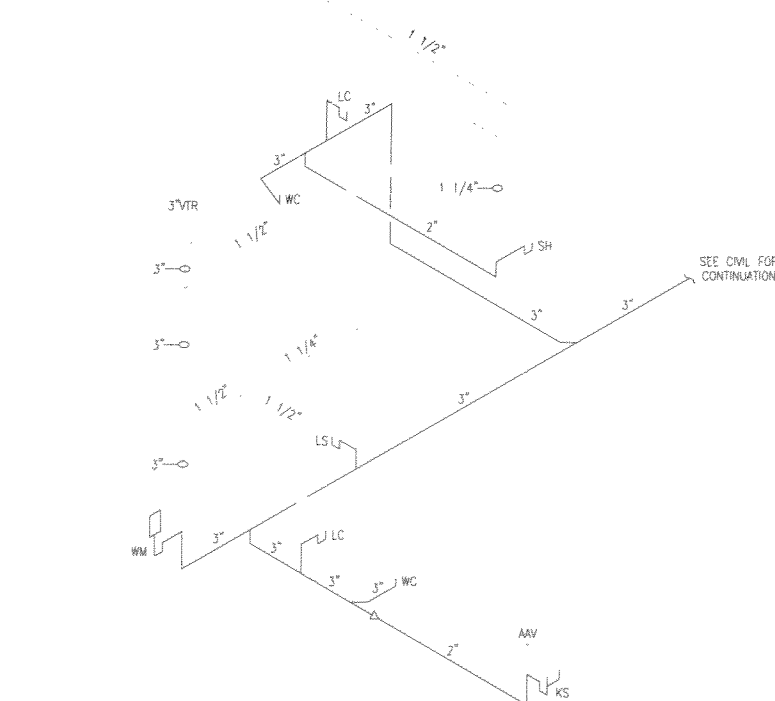
1. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE. THE NEW WORK SHALL INCLUDE COMPLETE HOT AND COLD WATER SYSTEMS AND VENT, WASTE AND DRAIN SYSTEMS IN ACCORDANCE WITH ALL APPLICABLE CODES.
2. ALL PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2007 PLUMBING CODE, THE ENERGY CONSERVATION CODE AND ALL APPLICABLE LOCAL ORDINANCES.
3. CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTING.
4. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR ONE YEAR.
5. PLUMBING DRAWINGS (PLANS, DIAGRAMS, ETC.) ARE DIAGRAMMATIC AND SHOULD NOT BE SCALED. THE DRAWINGS DO NOT SHOW EVERY BEND, OFFSET, ELBOW AND OTHER FITTINGS WHICH MAY BE REQUIRED FOR PROPER INSTALLATION IN THE SPACE ALLOCATED. NOR AS REQUIRED TO COORDINATE WORK WITH THAT OF OTHER TRADES. ANY WORK NOT SHOWN ON THE DRAWINGS BUT CONSIDERED NECESSARY FOR THE PROPER COMPLETION OF THE WORK SHALL BE PROVIDED WITHOUT ADDITIONAL CHARGE TO THE OWNER.
6. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER WORK UNDER THIS CONTRACT.
7. THE OWNER WILL NOT BE HELD LIABLE FOR ANY CHANGES THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER OR FIELD CHANGES THAT ARISE FROM CONTRACTOR ERROR OR OMISSION OF MATERIAL OR POOR WORKMANSHIP.
8. THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING MAIN WATER AND SEWER CONNECTIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL NOTIFY AND RECEIVE CLEARANCE FROM THE APPROPRIATE UTILITY COMPANIES PRIOR TO EXCAVATING.
9. VERIFY ALL DIMENSIONS AND CLEARANCES AT THE SITE AND IN THE BUILDING PRIOR TO FABRICATION AND INSTALLATION.
10. THE CONTRACTOR SHALL SATISFACTORILY REPAIR AND/OR REPLACE EXISTING WORK, FEATURES AND EQUIPMENT DAMAGED AS A RESULT OF HIS WORK. SURFACES AND FINISHES SHALL BE RESTORED TO MATCH ADJACENT SURFACES AND FINISHES.
11. THE CONTRACTOR SHALL INSPECT EXISTING CONDITIONS PRIOR TO BID AND BECOME FAMILIAR WITH THE SCOPE OF WORK. NO EXTRAS WILL BE ALLOWED FOR THE CONTRACTOR'S FAILURE TO COMPLY WITH THIS REQUIREMENT.
12. PLUMBING FIXTURES SHALL BE SELECTED BY THE OWNER AND INSTALLED BY THE CONTRACTOR. (PLUMBING FIXTURES INDICATED ON DRAWING ARE FOR REFERENCE ONLY. FIXTURES OF EQUAL QUALITY, AND CRAFTSMANSHIP MAY BE USED AS DIRECTED).
13. ALL FIXTURES SHALL BE PROTECTED FROM WATER HAMMER WITH AIR CHAMBER SIZED IN ACCORDANCE WITH P D 1 STANDARDS (USAN OR EQUAL).
14. PROVIDE CONTROL VALVES TO ALL RISERS, BRANCHES, GROUPS OF FIXTURES AND EACH PIECE OF EQUIPMENT. CONTROL VALVES SHALL BE CAST BRASS OR BRONZE GATE VALVES.
15. PROVIDE FULLY ACCESSIBLE CLEANOUTS ON SANITARY PIPING AT THE BASE OF EACH SOIL AND WASTE PIPE AND AT EVERY CHANGE OF DIRECTION.
16. PROVIDE MINIMUM PITCH OF 1/8" PER FOOT FOR ALL HORIZONTAL BRANCHES AND SEWER TRADES.
17. ALL WATER PIPING SHALL BE TYPE M COPPER WITH WROUGHT COPPER SOLDERED JOINT FITTINGS.
18. PROVIDE DIELECTRIC FITTINGS FOR JOINING DISSIMILAR METALS.
19. SANITARY DRAIN PIPING WITHIN THE BUILDING AND BELOW THE GROUND SHALL BE SCHEDULE 40 PVC.
20. WATER HEATER SHALL BEAR LABEL INDICATING COMPLIANCE WITH ASHRAE STD. 90. WATER HEATER SHALL BE EQUIPPED WITH A DRAIN PAN WITH 2" MIN. SIDES AND 2" CLEARANCE ON ALL SIDES. PROVIDE 1/2" DRAIN OUTLET LOCATED 1/2" ABOVE BOTTOM OF PAN. P&T RELIEF VALVE AND DRAIN PAN PIPING SHALL BE TYPE M COPPER.
21. UNDERGROUND PIPING SHALL BE PROTECTED WITH A COAT OF BITUMINOUS COMPOUND.
22. ALL FLOOR DRAINS SHALL HAVE TRAP PRIMERS TO PROTECT TRAP SEAL.
23. ALL VENTS THROUGH ROOF SHALL MAINTAIN MINIMUM 10' HORIZONTAL CLEARANCE FROM ANY MECHANICAL AIR INTAKE.
24. ALL PIPING SHALL BE SUPPORTED RIGIDLY.
25. ALL CUTTING AND NOTCHING REQUIRED FOR THE INSTALLATION OF PLUMBING WORK SHALL BE ACCOMPLISHED IN AN APPROVED MANNER. APPROVAL SHALL BE OBTAINED FROM THE ENGINEER OF RECORD PRIOR TO CUTTING OR DRILLING STRUCTURAL MEMBERS UNLESS SPECIFICALLY ADDRESSED HEREIN.
26. WATER USAGE FOR PLUMBING FIXTURES SHALL NOT EXCEED THE FOLLOWING:
WATER CLOSETS: 1.8 GALLONS PER FLUSH
SHOWERS: 2.0 GALLONS PER MINUTE
FAUCETS: 2.0 GALLONS PER MINUTE
27. HOSE BIBBS SHALL BE PROTECTED BY APPROVED BACK-SIPHONAGE BACKFLOW PREVENTERS.
28. TEST ALL WATER PIPING AT 100 PSI HYDROSTATIC PRESSURE A MINIMUM OF 2 HOURS.
29. TEST ALL SOIL, WASTE AND VENT PIPING WITH A 10" HEAD OF WATER. WATER LEVEL TO REMAIN UNCHANGED FOR 2 HOURS MINIMUM.
30. THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF DRAWINGS TO INDICATE ALL CHANGES MADE TO THE PLUMBING DESIGN. THE AS-BUILT DRAWINGS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF WORK.

HVAC LEGEND	
SYMBOL	DESCRIPTION
	SUPPLY CEILING TYPE
	FLOOR VENT
	RETURN AIR



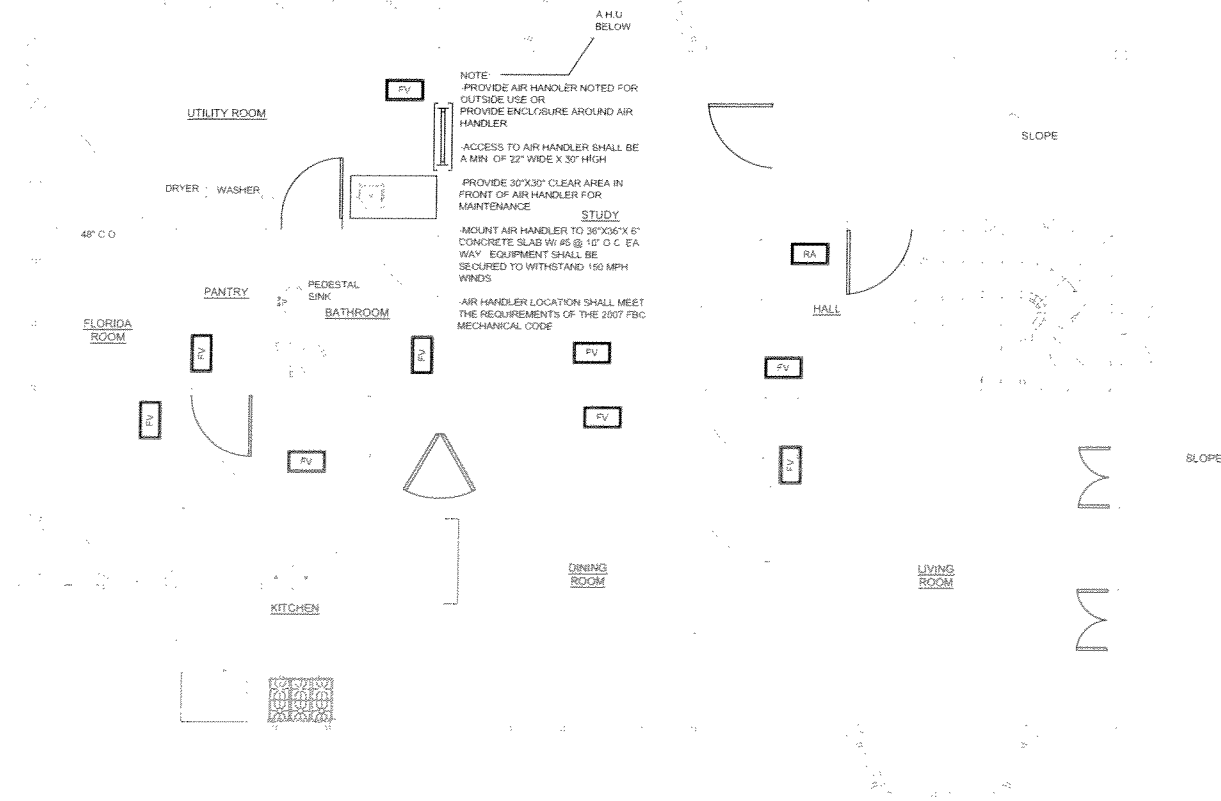
MECHANICAL / PLUMBING PLAN - SECOND FLOOR

SCALE: 1/4"=1'-0"



PLUMBING RISER DIAGRAM

SCALE: N.T.S.



MECHANICAL PLAN - FIRST FLOOR

SCALE: 1/4"=1'-0"

SeaTech Inc.
830 CRANE BOULEVARD
SUGARLOAF KEY, FLORIDA
(305) 294-9993
C.A. #28984

PAUL P. SEMMES
P.E. #4437 DATE: _____

RESIDENTIAL RENOVATIONS

522 GRINNELL STREET
KEY WEST, FLORIDA

REVISIONS

NO.	DATE	DESCRIPTION

JOB:
START DATE: 06-24-10
ISSUE DATE: 07-15-10
DRAWN: EKM

MP-1



EXISTING NORTHEAST ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED NORTHEAST ELEVATION

SCALE: 1/4"=1'-0"

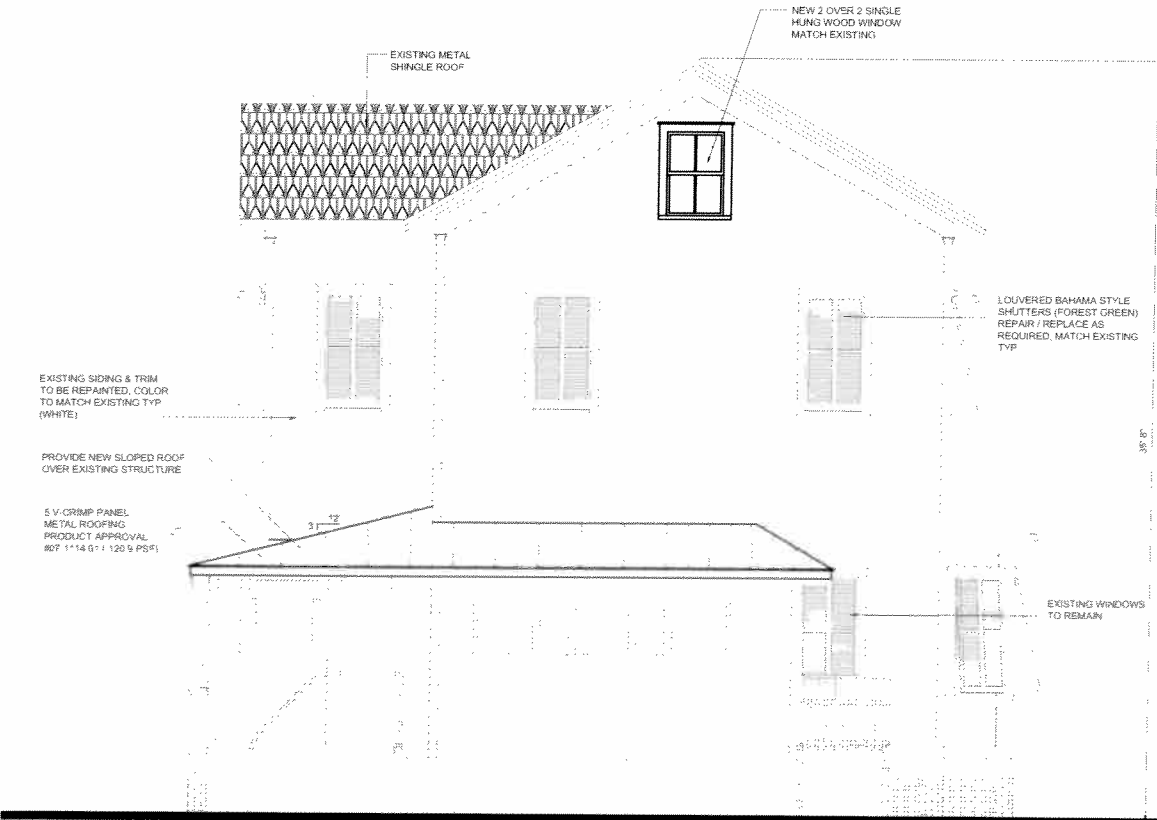


EXISTING SOUTHWEST ELEVATION

SCALE: 1/4"=1'-0"

NOTE: PROVIDE REMOVABLE METAL SHUTTER SYSTEM FOR ALL EXTERIOR OPENINGS

NOTE: CONTRACTOR SHALL NOT REMOVE EXTERIOR COMPONENTS EXCEPT FOR MINOR REPLACEMENT AS NEEDED UNLESS APPROVED BY H.A.R.C. REPRESENTATIVE. MINOR REPLACEMENT SUCH AS ISOLATED ROTTED OR DETERIORATED WOOD MEMBERS SHALL BE ALLOWED.



PROPOSED SOUTHWEST ELEVATION

SCALE: 1/4"=1'-0"

RESIDENTIAL RENOVATIONS

522 GRINNELL STREET
 KEY WEST, FLORIDA

REVISIONS

NO.	DESCRIPTION

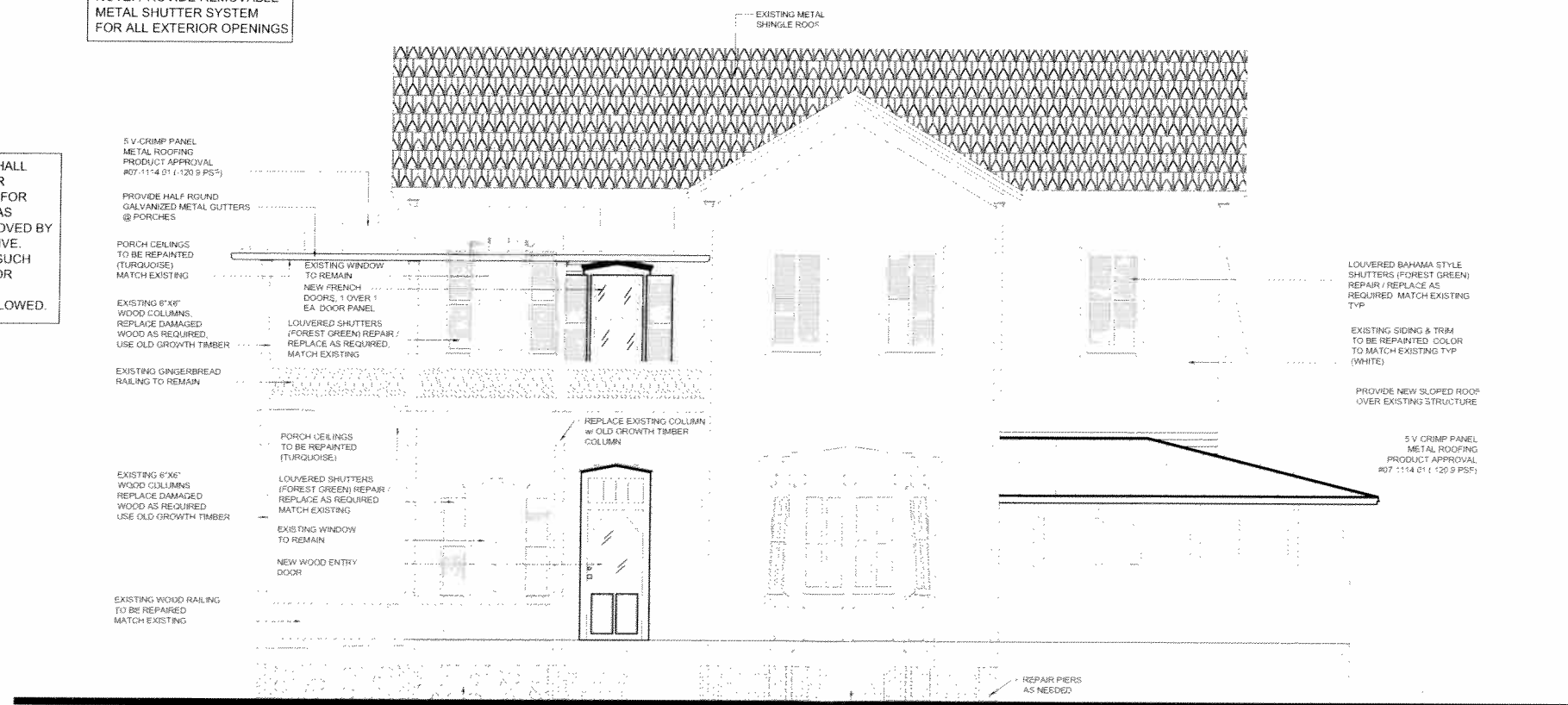
JOB:
 START DATE: 06-24-10
 ISSUE DATE: 07-15-10
 DRAWN: EKM



EXISTING NORTHWEST ELEVATION

SCALE: 1/4"=1'-0"

NOTE: PROVIDE REMOVABLE METAL SHUTTER SYSTEM FOR ALL EXTERIOR OPENINGS



NOTE: CONTRACTOR SHALL NOT REMOVE EXTERIOR COMPONENTS EXCEPT FOR MINOR REPLACEMENT AS NEEDED UNLESS APPROVED BY H.A.R.C. REPRESENTATIVE. MINOR REPLACEMENT SUCH AS ISOLATED ROTTED OR DETERIORATED WOOD MEMBERS SHALL BE ALLOWED.

PROPOSED NORTHWEST ELEVATION

SCALE: 1/4"=1'-0"

REVISIONS

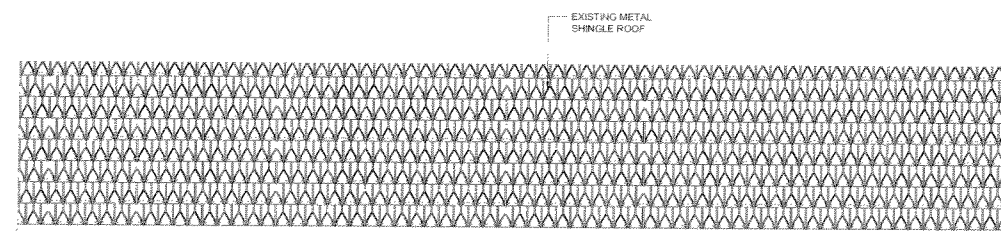
JOB:
 START DATE 06-24-10
 ISSUE DATE 07-15-10
 DRAWN: EKM



EXISTING SOUTHEAST ELEVATION

SCALE: 1/4"=1'-0"

NOTE: PROVIDE REMOVABLE METAL SHUTTER SYSTEM FOR ALL EXTERIOR OPENINGS



NOTE: CONTRACTOR SHALL NOT REMOVE EXTERIOR COMPONENTS EXCEPT FOR MINOR REPLACEMENT AS NEEDED UNLESS APPROVED BY H.A.R.C. REPRESENTATIVE. MINOR REPLACEMENT SUCH AS ISOLATED ROTTED OR DETERIORATED WOOD MEMBERS SHALL BE ALLOWED.



PROPOSED SOUTHEAST ELEVATION

SCALE: 1/4"=1'-0"

RESIDENTIAL RENOVATIONS

522 GRINNELL STREET
KEY WEST, FLORIDA

REVISIONS

JOB:
START DATE: 06-24-10
ISSUE DATE: 07-15-10

DRAWN: EKM

A-7