



Historic Architectural Review Commission Staff Report for Item 14

To: Chairman Bryan Green and Historic Architectural Review Commission Members

From: Kathleen McDonald, MHP
Historic Preservation Planner II

Meeting Date: May 24, 2022

Applicant: William Rowan Architecture

Address: #1309 Catherine Street

Description of Work:

Construction of two new one-story accessory structures.

Site Facts:

This property on 1309 Catherine Street contains a one-story CBS structure, which is not specifically listed on our survey, but would be considered non-contributing. Property appraiser's records show that the structure was built in 1964, which makes it historic. The existing structure is set back on the rear of the property.

Historically, this property was the site of horse stables, which show on the Sanborn maps going back to 1912. Some of the 8-foot concrete walls that made up the structure of the historic horse stable still exist on the property, including a wall that sits along the front property line, blocking the property an existing house from street view.

Guidelines Cited on Review:

- Guidelines for New Construction (pages 38a-38q), specifically guidelines 1, 2, 6, 11, 12, 13, 14, 18, 22 and 23.
- Guidelines for Outbuildings (pages 40-41), specifically guidelines 1, 2, 3, 4, 9, 10 and 11.

Staff Analysis:

The Certificate of Appropriateness under review proposes construction of two new accessory structures in front of the principal structure at 1309 Catherine Street.

One of the two new structures would be utilized as a pool house and would be approximately 336-square-feet. The proposed pool house would be stucco over wood frame with a small portion of the building that would have Hardi lap siding. The windows would be metal impact and the roofing

would be v-crimp. Windows and doors on the stucco portion would have arched stone veneer header trim.

The second of the two structures would be an open pavilion. The pavilion would be approximately 224-square-feet. The proposed pavilion would have a v-crimp roof supported by six-by-six wood columns.

Consistency with Cited Guidelines:

Staff finds the current proposal to be consistent with most of the cited guidelines, except for guideline 6 under New Construction and guideline 2 under Outbuildings, as they relate to the proposed location of the structures.

Staff recognizes that this is a very unique site, as the principal structure is set towards the rear of the property, and the front half of the property contains historic walls that have been there for over 100 years. While the siting of the proposed accessory structures is not in compliance with the guidelines, staff recognizes that there is really no other alternative for this particular site that would not jeopardize the historic concrete walls.

Staff finds the scale, forms, massing, and materials of both proposed accessory structures to be in compliance with the guidelines. Though the proposed style of the pool house does not really relate to the context, it will not be visible from behind the existing 8-foot wall at the front of the property.

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$441 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 09/27/2021 ET



City of Key West

1300 White Street
Key West, Florida 33040

| | | |
|--------------------------------|-----------------|---|
| HARC COA # <i>2022-0021</i> | REVISION # | INITIAL & DATE <i>TK / April 25 2022</i> |
| FLOOD ZONE | ZONING DISTRICT | BLDG PERMIT # |

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

| | | |
|------------------------------|-----------------------------------|-------------------------------------|
| ADDRESS OF PROPOSED PROJECT: | <i>1309 CATHERINE ST.</i> | |
| NAME ON DEED: | <i>KEVIN SCOTT</i> | PHONE NUMBER <i>512.688.8887</i> |
| OWNER'S MAILING ADDRESS: | <i>1309 CATHERINE ST.</i> | EMAIL |
| APPLICANT NAME: | <i>WILLIAM ROWAN ARCHITECTURE</i> | PHONE NUMBER <i>305 394-8773</i> |
| APPLICANT'S ADDRESS: | <i>321 PEARSON LANE</i> | EMAIL <i>wrowan@gmail.com</i> |
| APPLICANT'S SIGNATURE: | | DATE <i>MAR 24 2022</i> |

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS ___ RELOCATION OF A STRUCTURE ___ ELEVATION OF A STRUCTURE ___
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES ___ NO ___ INVOLVES A HISTORIC STRUCTURE: YES ___ NO ___
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES ___ NO ___

| |
|--|
| DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC. |
| GENERAL: <i>CONSTRUCT (2) BUILDINGS POOL HOUSE 16'x21' + PAVILION 14'x16. POOL HOUSE WOOD FRAME W/ STUCCO TO MATCH DWELLING. PAVILION ALL WOOD, BOTH STRUCTURE TO HAVE U-CRIMP METAL ROOFING.</i> |
| MAIN BUILDING: <i>EXISTING</i> |
| DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX): <i>NONE</i> |
| <div style="border: 2px solid blue; padding: 5px; display: inline-block;"> <p style="margin: 0; color: blue; font-weight: bold; font-size: 1.2em;">RECEIVED</p> <p style="margin: 0; color: red; font-weight: bold;">APR 25 2022</p> <p style="margin: 0; color: blue;">BY: <i>TK</i></p> </div> |

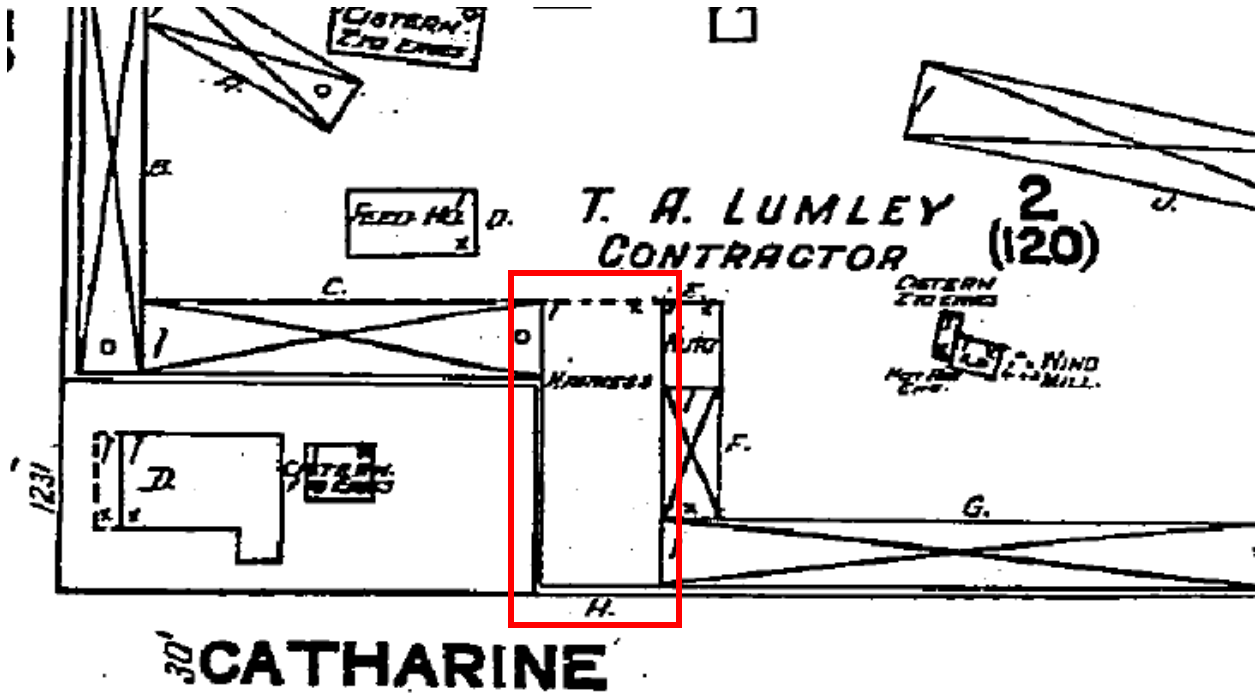
APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
 PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

| | |
|---|------------------------------|
| ACCESSORY STRUCTURE(S): | |
| <i>SEE PROPOSED UNDER GENERAL PAGA 1</i> | |
| | |
| PAVERS: <i>—</i> | FENCES: <i>—</i> |
| | |
| DECKS: <i>—</i> | PAINTING: <i>TBO</i> |
| | |
| SITE (INCLUDING GRADING, FILL, TREES, ETC): | POOLS (INCLUDING EQUIPMENT): |
| <i>MIN. GRADING</i> | <i>RISINGS</i> |
| | |
| ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC): | OTHER: |
| | |
| | |

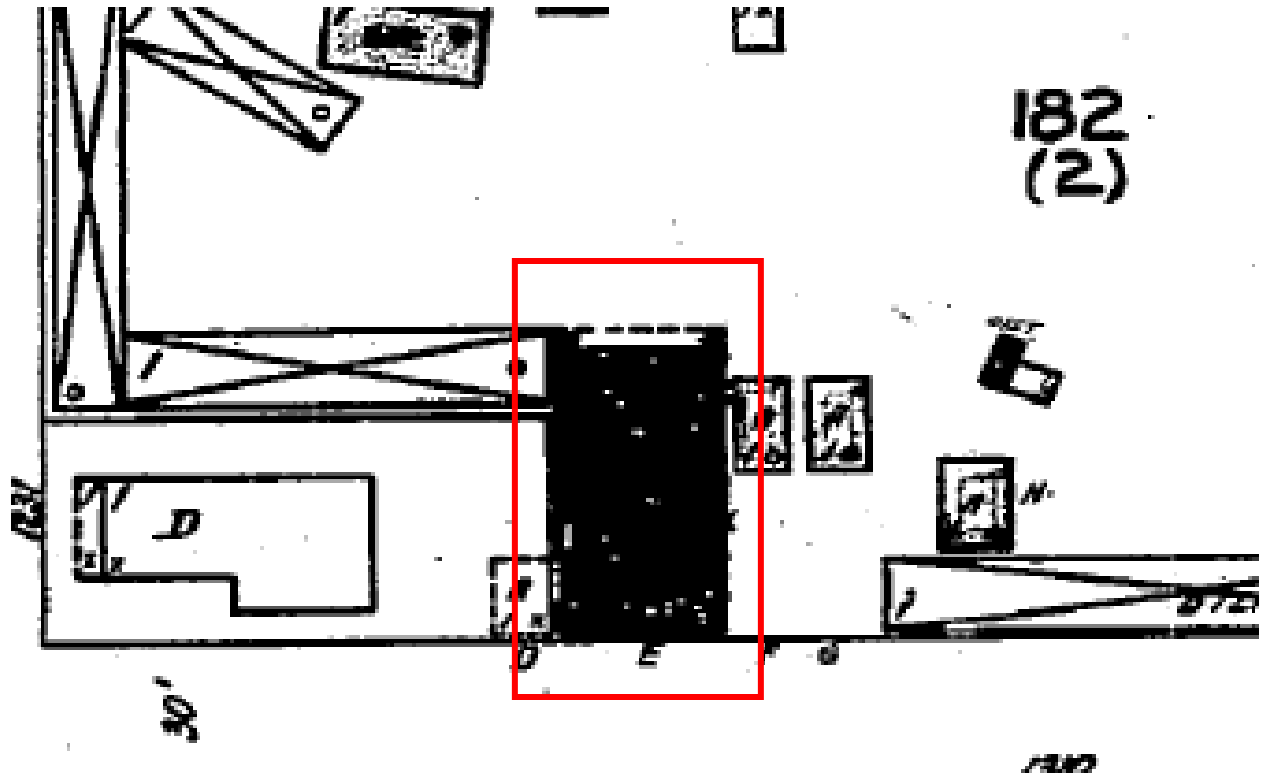
| OFFICIAL USE ONLY: | HARC COMMISSION REVIEW | EXPIRES ON: |
|--------------------------------|--|-------------|
| MEETING DATE: | <input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION | INITIAL: |
| MEETING DATE: | <input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION | INITIAL: |
| MEETING DATE: | <input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION | INITIAL: |
| REASONS OR CONDITIONS: | | |
| | | |
| | | |
| STAFF REVIEW COMMENTS: | | |
| | | |
| | | |
| FIRST READING FOR DEMO: | SECOND READING FOR DEMO: | |
| HARC STAFF SIGNATURE AND DATE: | HARC CHAIRPERSON SIGNATURE AND DATE: | |

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

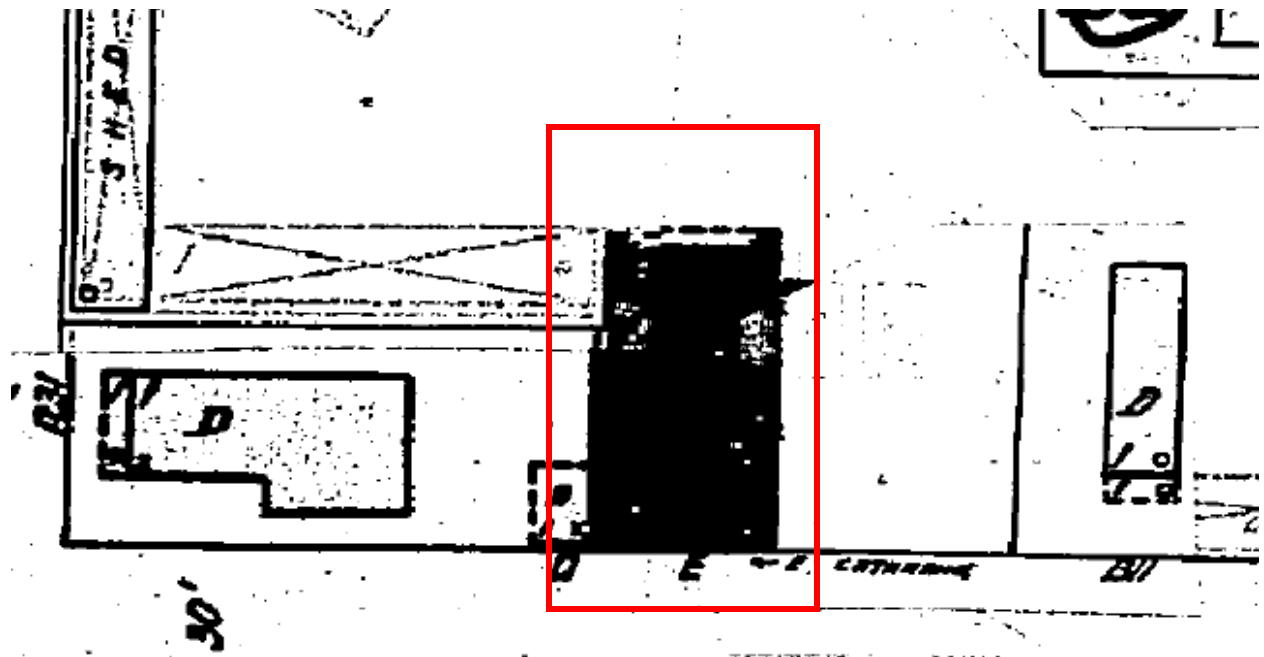
SANBORN MAPS



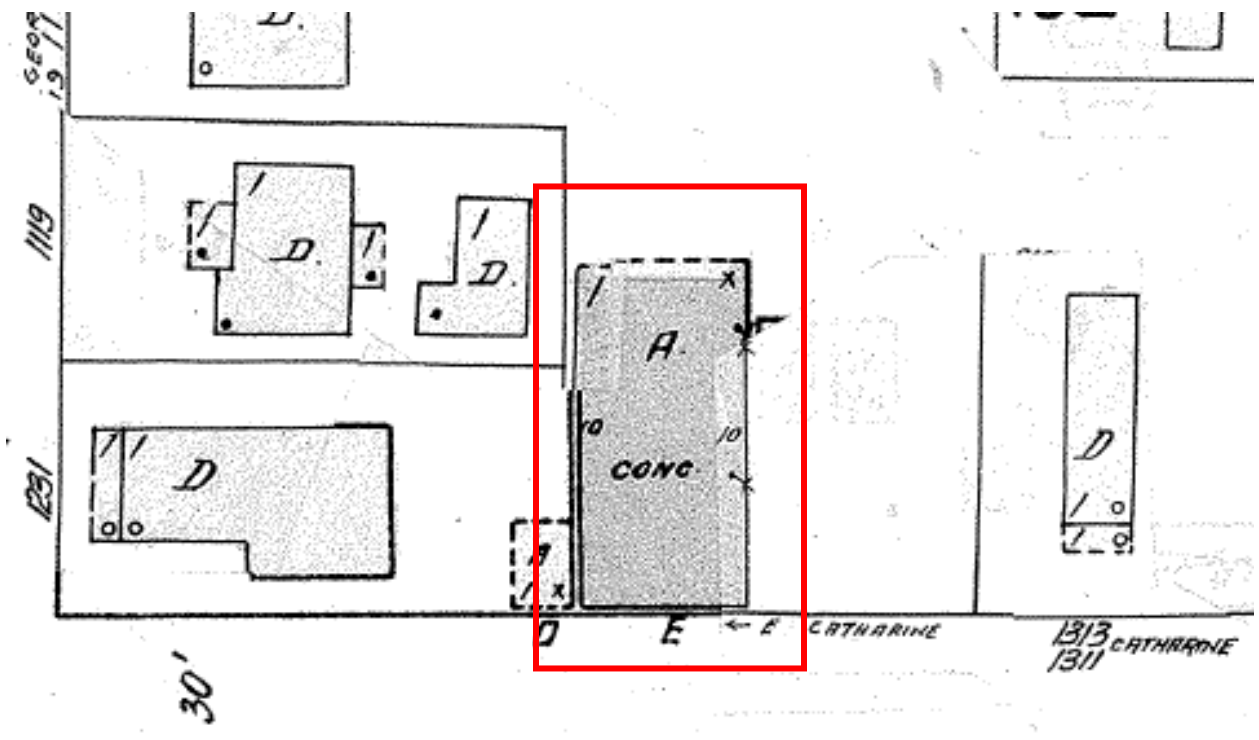
1912 Sanborn map with the property at what is now 1309 Catherine Street indicated in red. At this time, the property was the site of a stable.



1926 Sanborn map with the property at what is now 1309 Catherine Street indicated in red. At this time, the property was still the site of a stable.



1948 Sanborn map with the property at what is now 1309 Catherine Street indicated in red. At this time, it appears the stable may have been removed.



1962 Sanborn map with the property at what is now 1309 Catherine Street indicated in red. At this time, the property was utilized as a garage, indicated by the “A” for “Automobile”.

PROJECT PHOTOS



1965 photo showing the house at 1309 Catherine Street.



Google street view of 1309 Catherine Street in March 2019.



LOOKING EAST - PAVILION - POOL HOUSE



LOOKING GSW - REAR YARD - POOL HOUSE



LOOKING SOUTH - PAVILION POOL HOUSE

LOOK SE - PAVILION

POOL HOUSE

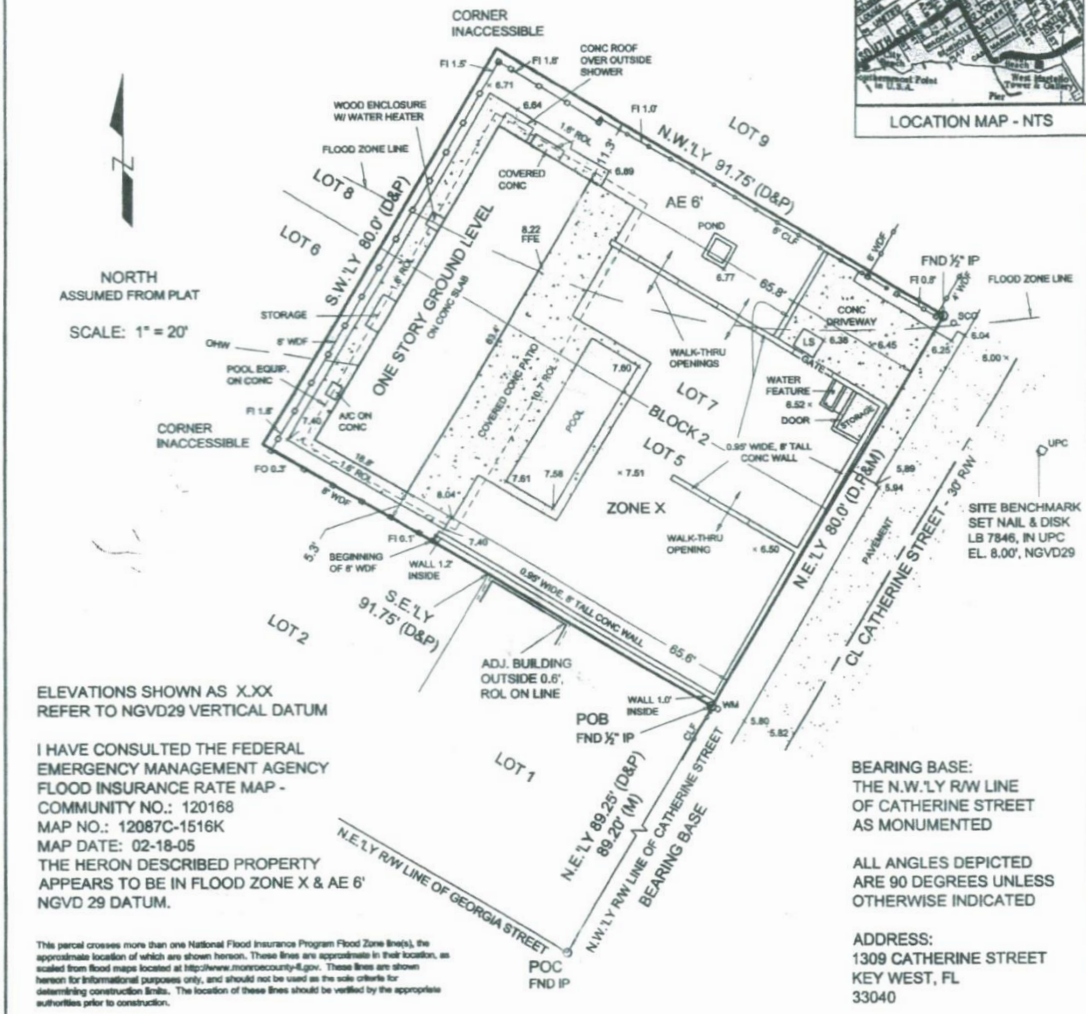
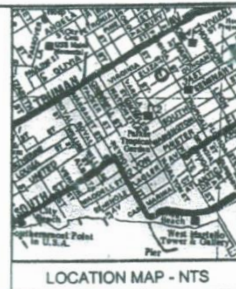


LOOKING EAST - POOL HOUSE LOCATED
IN THE FOREGROUND



SURVEY

MAP OF BOUNDARY SURVEY
Lots 5 & 7, Block 2
Peter T. Knight's Diagram of Part of Tract 14



LEGAL DESCRIPTION -

On the Island of Key West and known as Lots 5 and 7, Block 2, according to Peter T. Knight's Diagram of Part of Tract 14, according to the Plat thereof recorded in Plat Book 1, at Page 27, of Monroe County Public Records, and is more particularly described as follows: From the intersection of the Northeastery line of Georgia Street and the Northwestery line of Catherine Street, according to said plat, go Northeastery along the Northwestery line of Catherine Street a distance of 89.25 feet (89 feet, 3 inches) to a point, which point is the point of beginning; thence continue Northeastery along the Northwestery line of Catherine Street a distance of 80 feet to a point; thence Northwestery and at right angles a distance of 91.75 feet (91 feet, 9 inches) to a point; thence Southwesterly and at right angles a distance of 80 feet to a point; thence Southeastery and at right angles a distance of 91.75 feet (91 feet, 9 inches) back to the point of beginning.

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE. THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.

- | | | |
|---------------------------------|--------------------------------------|------------------------------------|
| BPP = BACKFLOW PREVENTER | CI = GRATE INLET | PRC = POINT OF REVERSE CURVE |
| BO = BELOW OUT | CL = CONCRETE CURB | PRM = PERMANENT REFERENCE MONUMENT |
| C = CALCULATED | CW = CONCRETE WALL | PT = POINT OF TANGENT |
| C&G = 2" CONCRETE CURB & GUTTER | CBW = CONCRETE BLOCK WALL | R = RADIUS |
| CB = CONCRETE BLOCK | CBRW = CONCRETE BLOCK RETAINING WALL | R/W = ROOF OVERHANG LINE |
| CRW = CONCRETE BLOCK WALL | CI = CONCRETE CURB | R/WL = RIGHT OF WAY LINE |
| CSW = CONCRETE BLOCK WALL | CL = CONCRETE CURB | R/W = RIGHT OF WAY |
| CW = CONCRETE WALL | CLF = CHAIN LINK FENCE | SCC = SANITARY CLEAN-OUT |
| CU = CURB INLET | CM = CONCRETE MONUMENT | SMH = SANITARY MANHOLE |
| CV = CURB VALVE | CONC = CONCRETE | SPV = SPRINKLER CONTROL VALVE |
| CG = CONCRETE GRABBER | CS = CONCRETE SLAB | SV = SEWER VALVE |
| CO = CONCRETE | CSW = CONCRETE BLOCK WALL | TB = TELEPHONE BOX |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | TM = TIE MONUMENT |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | TMB = TIE MONUMENT BENCHMARK |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | TMH = TELEPHONE MANHOLE |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | TOB = TOP OF BANK |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | TOS = TOP OF SLOPE |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | TS = TRAFFIC SIGN |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | TYP = TYPICAL |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | UB = UTILITY BENCHMARK |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | UPC = CONCRETE UTILITY POLE |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | UPM = METAL UTILITY POLE |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | UPL = METAL UTILITY POLE |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | UV = UTILITY VALVE |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | VP = VERTICALLY PIVOTED POLE |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | VR = VERTICALLY REVERSIBLE CURVE |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | VS = VERTICAL DATUM (1988) |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | VS = VERTICAL DATUM (1929) |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | VT = VERTICAL DATUM (1988) |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | VT = VERTICAL DATUM (1929) |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | W = WATER |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | WF = WOOD FENCE |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | WM = WATER METER |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | WML = WOOD METAL |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | WML = WOOD METAL |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | WR = WRACK LINE - LINE OF DESIRE |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | WV = WATER VALVE |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | WV = WATER VALVE |
| COB = CONCRETE BLOCK | CSW = CONCRETE BLOCK WALL | WV = WATER VALVE |

CERTIFIED TO - **Wilhelmus J. De Ruijter**
 Old Republic Title Insurance Company
 The Smith Law Firm
 CHANGE CERTIFICATIONS 10/23/12

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS. THIS SURVEY DOES NOT PURPORT TO SHOW OWNERSHIP OF WALLS OR FENCES ALONG PROPERTY LINES. ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

| | |
|------------------|----------|
| SCALE: | 1" = 20' |
| FIELD WORK DATE: | 10/09/12 |
| REVISION DATE: | -/- |
| SHEET: | 1 OF 1 |
| DRAWN BY: | JM |
| CHECKED BY: | RW |
| INVOICE #: | 12100503 |

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER SJ-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THIS SURVEY, WHEN SCHEDULE B HAS BEEN PROVIDED MEETS THE PROVISIONS OF FLORIDA ENFORCEMENT FORM B, SUBPARAGRAPH 1(B) (SETBACKS), 1(B)(2)(ENCROACHMENTS), & 1(B)(4)(MEASUREMENTS). SCHEDULE "B" HAS NOT BEEN PROVIDED.

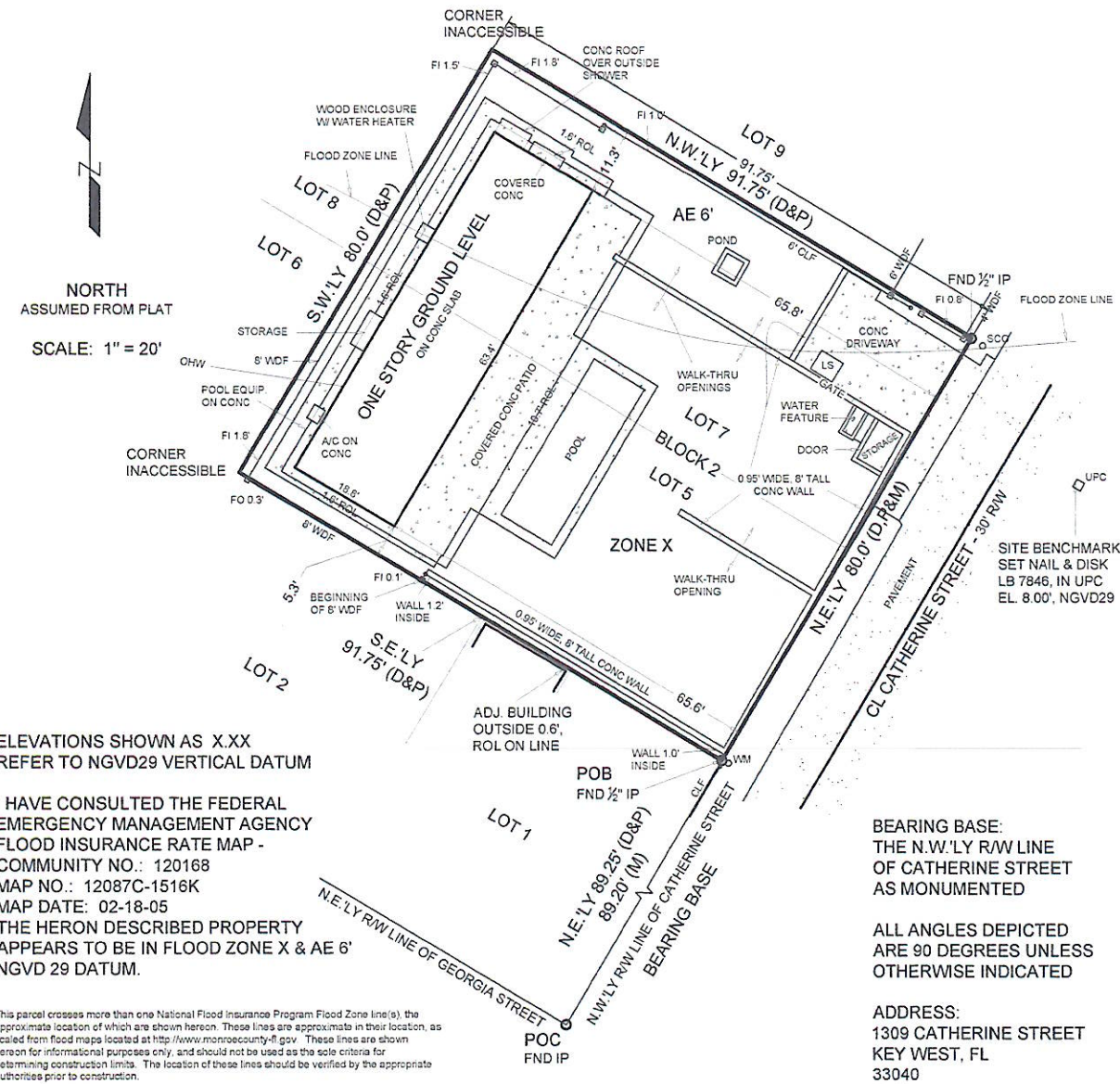
JOE ROBERT WHITE, L.S. 8801, PROFESSIONAL SURVEYOR AND MAPPER


REECE & WHITE
LAND SURVEYING, INC.
 PROFESSIONAL SURVEYOR AND MAPPER, LB 7846
 127 INDUSTRIAL ROAD, BIG PINE KEY, FL 33043
 OFFICE (305) 872 - 1348
 FAX (305) 872 - 5622

PROPOSED DESIGN

SCOTT RESIDENCE NEW POOL HOUSE & SITE UPGRADES

1309 CATHERINE STREET KEY WEST, FLORIDA 33040



STREET VIEW (CATHERINE ST.)

| PROJECT DATA | ADDRESS: 1309 CATHERINE ST. | | FLOOD: AE-9 / X | | ZONE: HM DR | |
|-------------------|-----------------------------|----------|-----------------|-----|-------------|-----|
| | ALLOWED | EXISTING | PROPOSED | | | |
| RE NO. | 00069890-000000 | | | | | |
| SETBACKS: | | | | | | |
| FRONT | 10' | 18' | 10' | | | |
| SIDE | 5' | 7.5' | 7.5' | | | |
| SIDE | 5' | 6.5' | 6.5' | | | |
| REAR | 15' | 5' | 5' | | | |
| LOT SIZE | 4,000 S.F. | | 7,340 S.F. | | | |
| BUILDING COVERAGE | 2,936 S.F. | 40% | 2,328 S.F. | 32% | 2,936 S.F. | 40% |
| BUILDING HEIGHT | 30' | | 15' +/- | | 15' +/- | |
| IMPERVIOUS AREA | 4,404 S.F. | 60% | 3,411 S.F. | 46% | 4,581 S.F. | 62% |
| OPEN SPACE | 2,569 S.F. | 35% | 3,929 S.F. | 53% | 2,759 S.F. | 37% |

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CERTIFIED TO - Wilhelmus J. De Ruijter
Old Republic Title Insurance Company
The Smith Law Firm

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 - CBW = CONCRETE BLOCK WALL
 - CBRW = CONCRETE BLOCK RETAINING WALL
 - CL = CURB INLET
 - CL = CENTERLINE
 - CLF = CHAINLINK FENCE
 - CM = CONCRETE MONUMENT
 - CONC = CONCRETE
 - CS = CONCRETE SLAB
 - CSW = CONCRETE
 - D = DEED
 - DELTA = DELTA ANGLE
 - DEAS = DRAINAGE EASEMENT
 - DMH = DRAINAGE MANHOLE
 - EB = ELECTRIC BOX
 - EL = ELEVATION
 - ELEV = ELEVATED
 - EM = ELECTRIC METER
 - ENCL = ENCLOSURE
 - FFE = FINISHED FLOOR ELEVATION
 - FH = FIRE HYDRANT
 - FI = FENCE INSIDE
 - FND = FOUND
 - FO = FENCE OUTSIDE
 - FS = FENCE ON LINE
 - GB = GRADE BREAK
 - GI = GRATE INLET
 - GL = GROUND LEVEL
 - GW = GUY WIRE
 - HS = HOSE BIB
 - IP = IRON PIPE
 - IR = IRON ROD
 - L = ARC LENGTH
 - LE = LOWER ENCLOSURE
 - LP = LIGHT POLE
 - LS = LANDSCAPING
 - M = MEASURED
 - MHWL = MEAN HIGH WATER LINE
 - MTLF = METAL FENCE
 - NAVD = NORTH AMERICAN VERTICAL DATUM (1983)
 - NGVD = NATIONAL GEODETIC VERTICAL DATUM (1983)
 - NTS = NOT TO SCALE
 - OWW = OVER-HEAD WIRES
 - P = PLAT
 - P&M = PLAT & MEASURED
 - PC = POINT OF CURVE
 - POC = POINT OF COMPOUND CURVE
 - PI = POINT OF INTERSECTION
 - PK = PARKER WALTON PK.
 - PM = PARKING METER
 - POB = POINT OF BEGINNING
 - POC = POINT OF COMMENCEMENT
 - PRC = POINT OF REVERSE CURVE
 - PRP = PERMANENT REFERENCE MONUMENT
 - PT = POINT OF TANGENT
 - R = RADIUS
 - ROH = ROOF OVERHANG LINE
 - ROWL = RIGHT OF WAY LINE
 - R/W = RIGHT OF WAY
 - SCD = SANITARY CLEAN-OUT
 - SMH = SANITARY MANHOLE
 - SPV = SPRINKLER CONTROL VALVE
 - SV = SEWER VALVE
 - TB = TELEPHONE BOX
 - TM = TIDAL BENCHMARK
 - TMH = TELEPHONE MANHOLE
 - TOB = TOP OF BANK
 - TOS = TOP OF SLOPE
 - TS = TRAFFIC SIGN
 - TYP = TYPICAL
 - LEASE = UTILITY EASEMENT
 - UPC = CONCRETE UTILITY POLE
 - UPM = METAL UTILITY POLE
 - UPW = WOOD UTILITY POLE
 - VB = WOOD BOX
 - WD = WOOD DECK
 - WDF = WOOD FENCE
 - WL = WOOD LANDING
 - WM = WATER METER
 - WRACK LINE = LINE OF DEBRIS ON SHORE
 - WW = WATER VALVE

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS. THIS SURVEY DOES NOT PURPORT TO SHOW OWNERSHIP OF WALLS OR FENCES ALONG PROPERTY LINES. ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

SURVEY

PROPERTY LOCATION



SATELITE VIEW

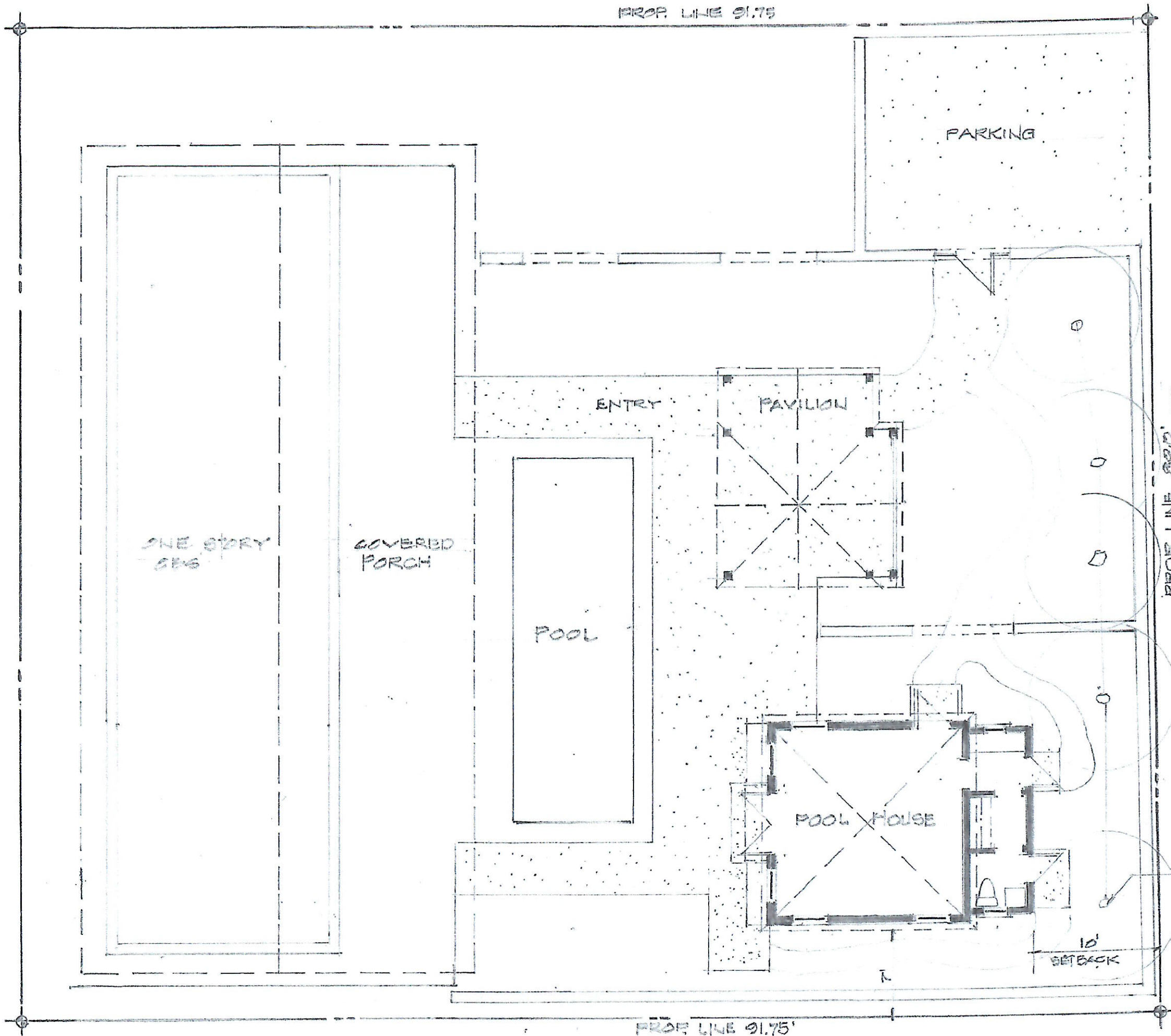
SCOTT RESIDENCE
NEW POOL HOUSE & SITE UPGRADES
1309 CATHERINE STREET KEY WEST, FLORIDA 33040



WILLIAM ROWAN N
ARCHITECTURE
KEY WEST, FLORIDA
FLORIDA LICENSE AR-001751
321 PEACOCK LANE
305.254.4713

PROJECT NO :

DATE: 4/24/22



C A T H E R I N E S T R E E T

EXISTING ROYAL PALMS (5)

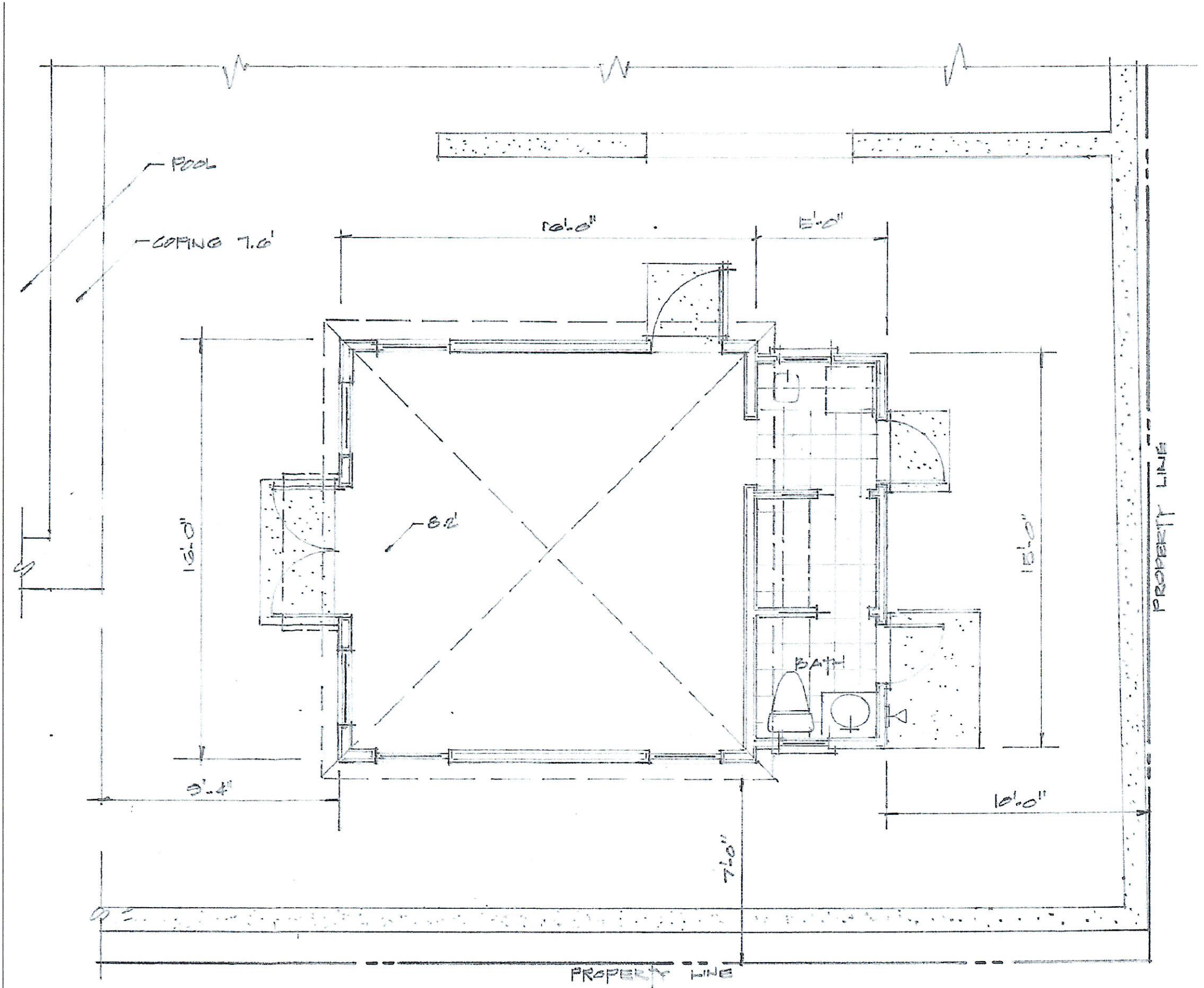
SITE PLAN
SCALE 1/8" = 1'-0"

SCOTT RESIDENCE
NEW POOL HOUSE & SITE UPGRADES
1309 CATHERINE STREET KEY WEST, FLORIDA 33040

WILLIAM ROWAN N
ARCHITECTURE
31 PEACOCK LANE
KEY WEST, FLORIDA
FLORIDA LICENSE AR 001751



PROJECT NO: _____
DATE: 4/24/22
2 OF 8



POOL HOUSE FLOOR PLAN

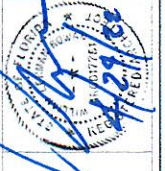
SCALE 1/4" = 1'-0"

C A T H E R I N E S T R E E T

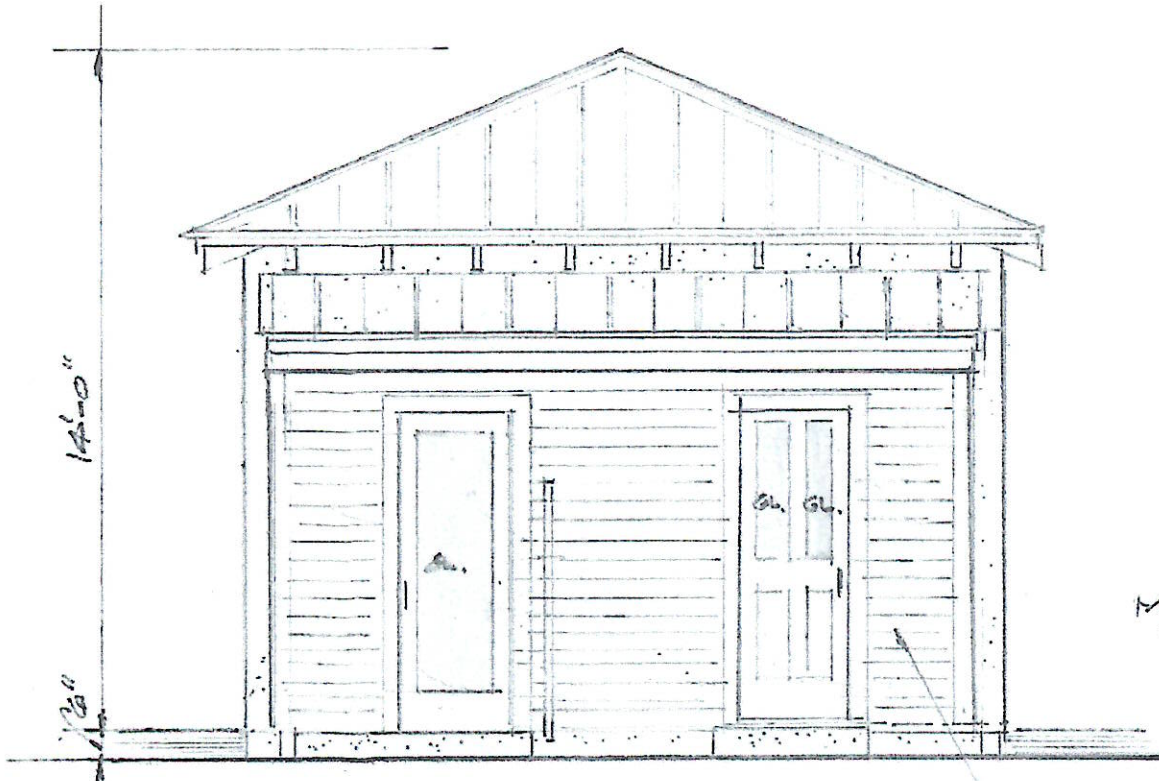
PROJECT NO:
DATE: 4/24/22

3 OF 3

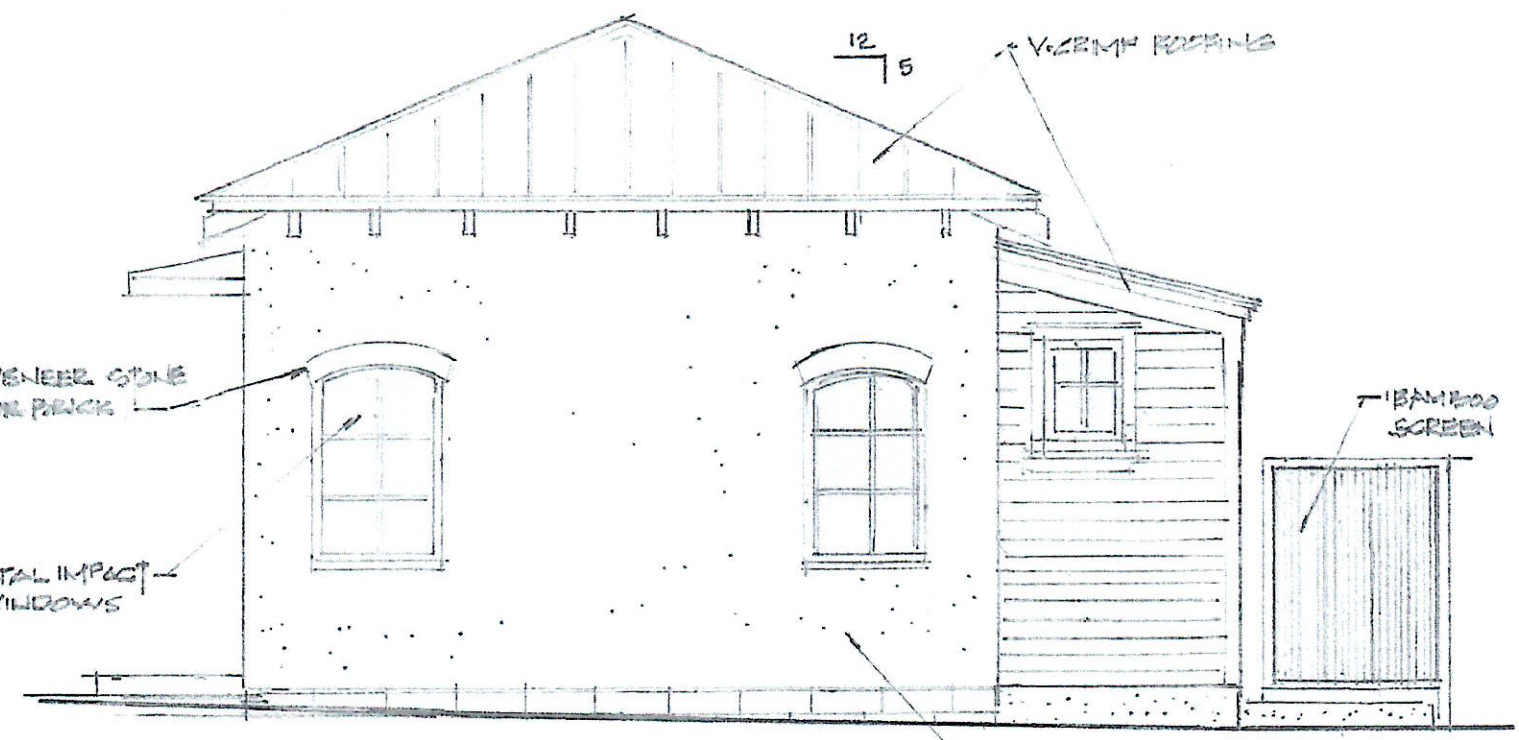
WILLIAM ROWA N
ARCHITECTURE
321 PEACOCK LANE
KEY WEST, FLORIDA
305 294 4773
FLORIDA LICENSE #AC601753



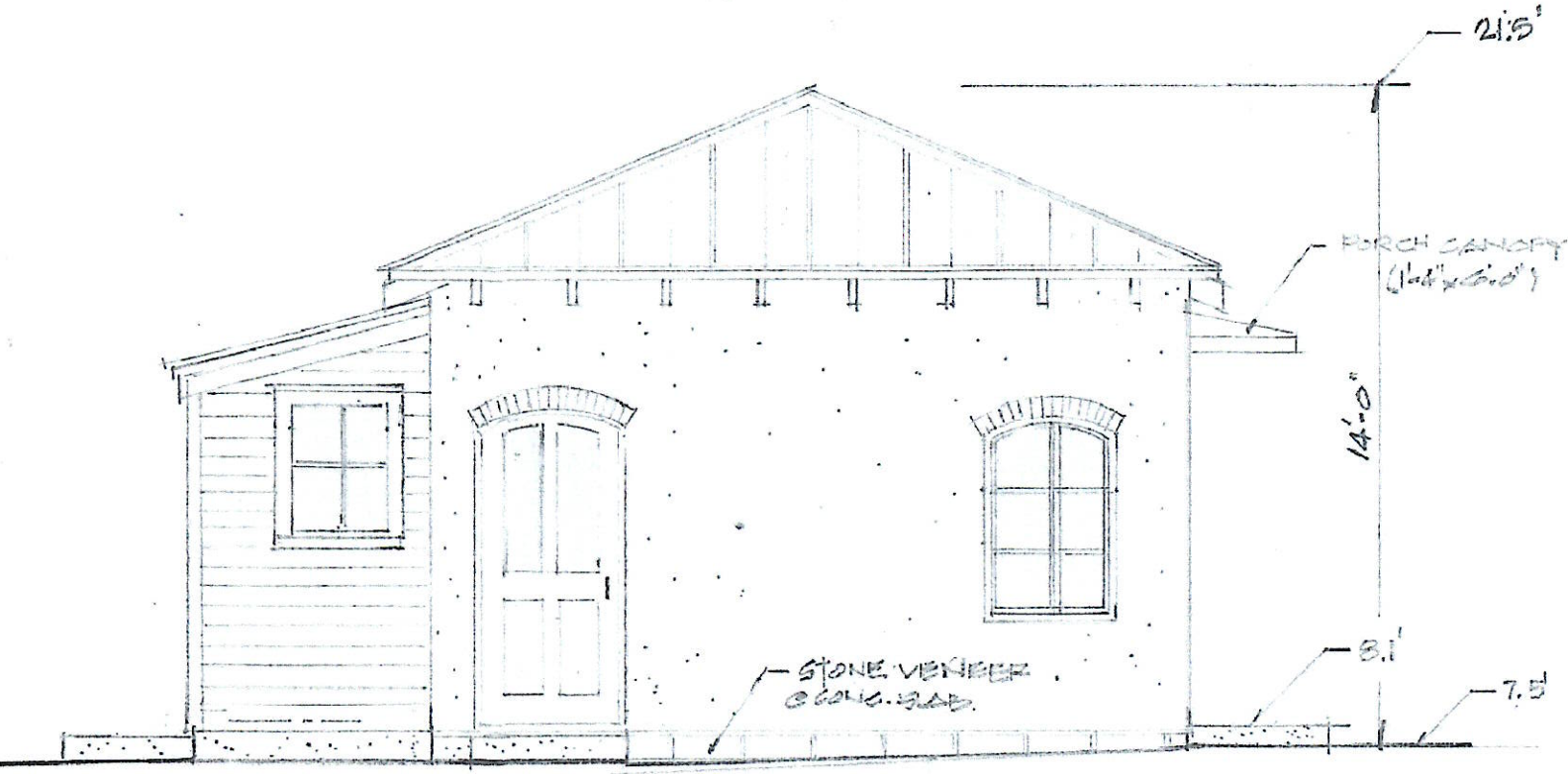
SCOTT RESIDENCE
NEW POOL HOUSE & SITE UPGRADES
1309 CATHERINE STREET
KEY WEST, FLORIDA 33040



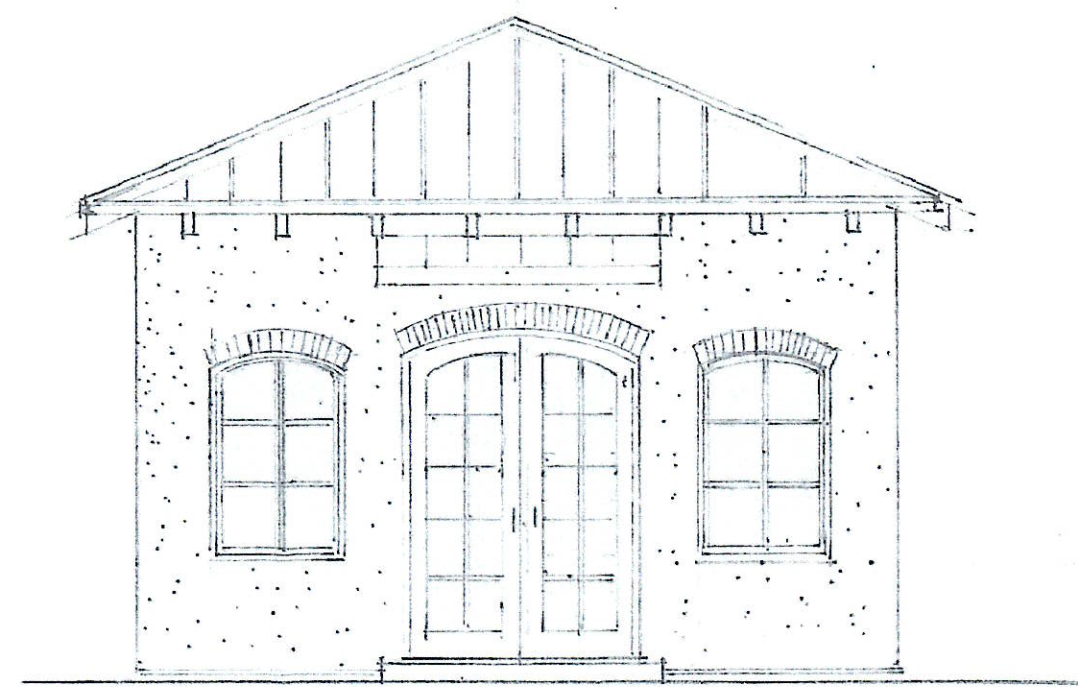
SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION

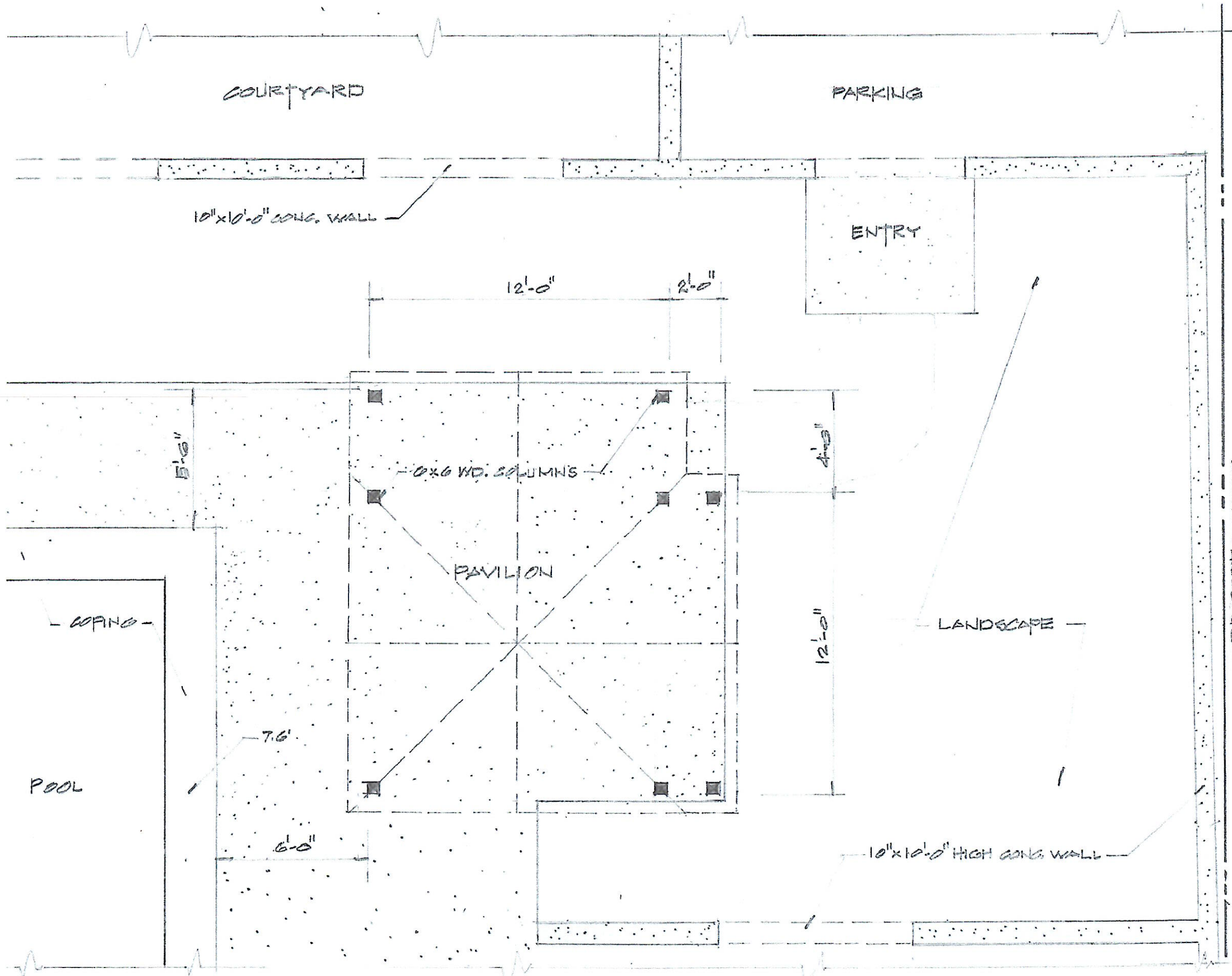
SCOTT RESIDENCE
 NEW POOL HOUSE & SITE UPGRADES
 1309 CATHERINE STREET KEY WEST, FLORIDA 33040



WILLIAM ROWAN N
 ARCHITECTURE
 331 BEACON LANE
 KEY WEST, FLORIDA
 FLORIDA LICENSE AR-001751

PROJECT NO :

DATE :



S O A T H E R N S T R E E T

PAVILION FLOOR PLAN

SCALE 1/4" = 1'-0"

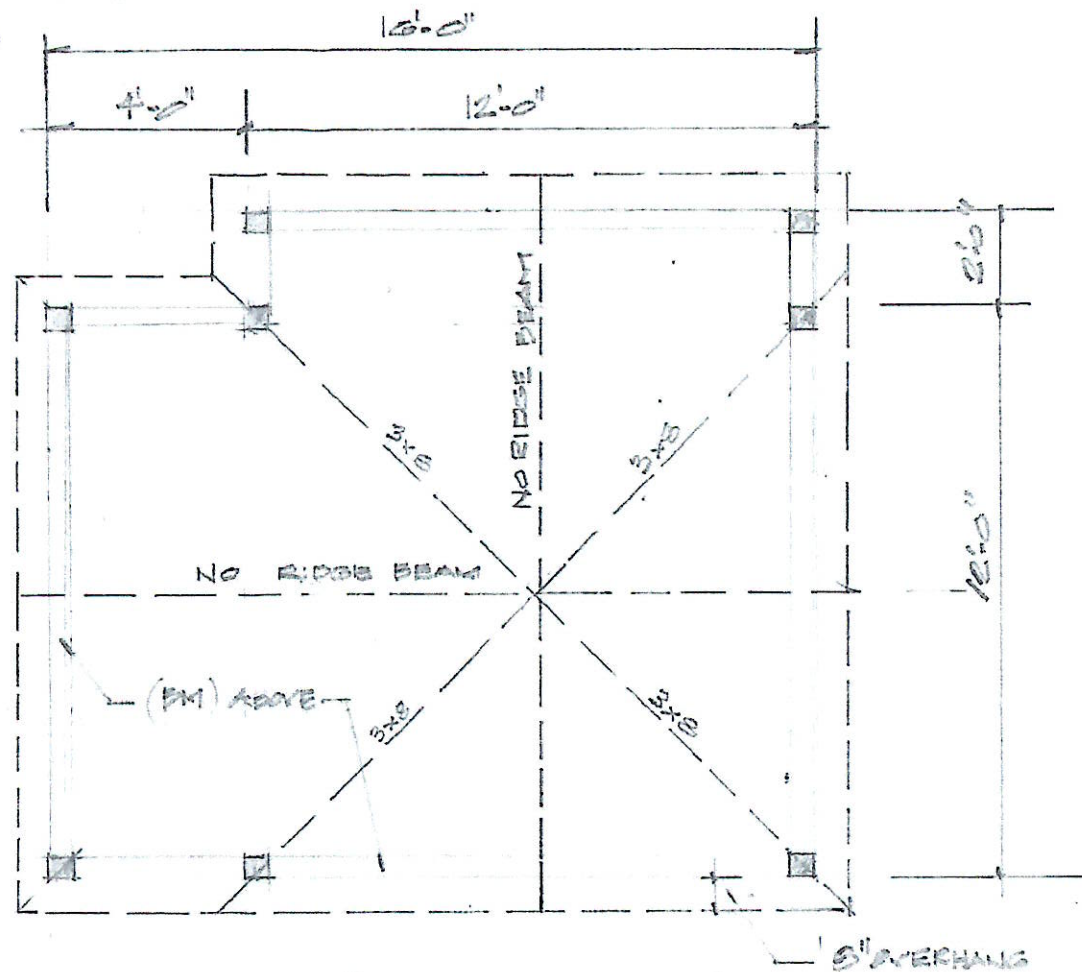
SCOTT RESIDENCE
 NEW POOL HOUSE & SITE UPGRADES
 1309 CATHERINE STREET KEY WEST, FLORIDA 33040



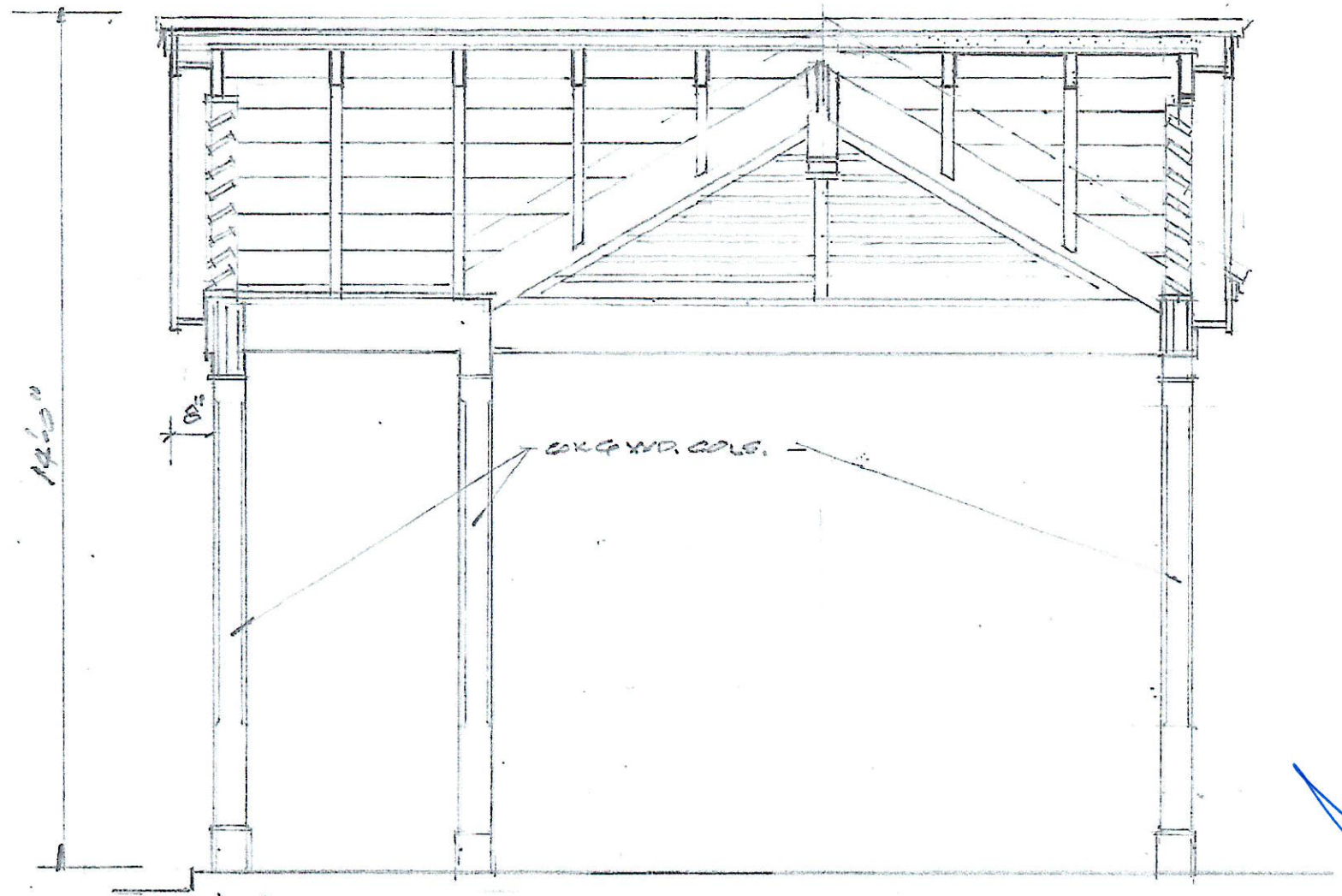
WILLIAM ROWAN N
 ARCHITECTURE
 KEY WEST, FLORIDA
 FLORIDA LICENSE AR-001751
 321 PEACOCK LANE
 305 294-4773

PROJECT NO :

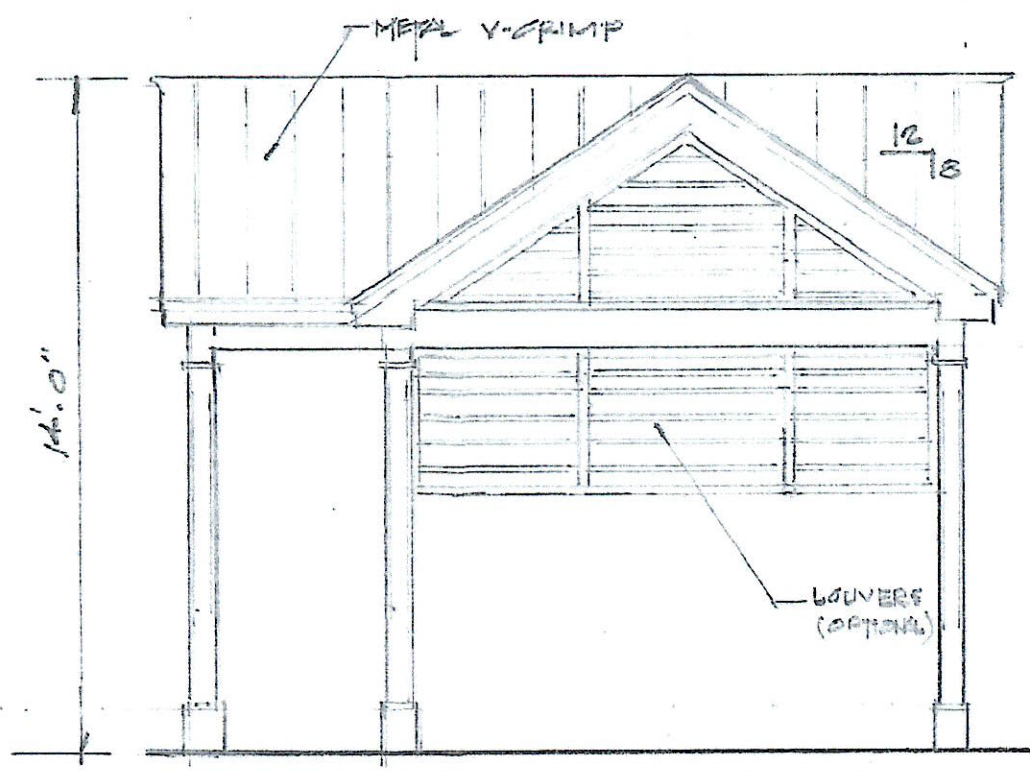
DATE : 4.24.22



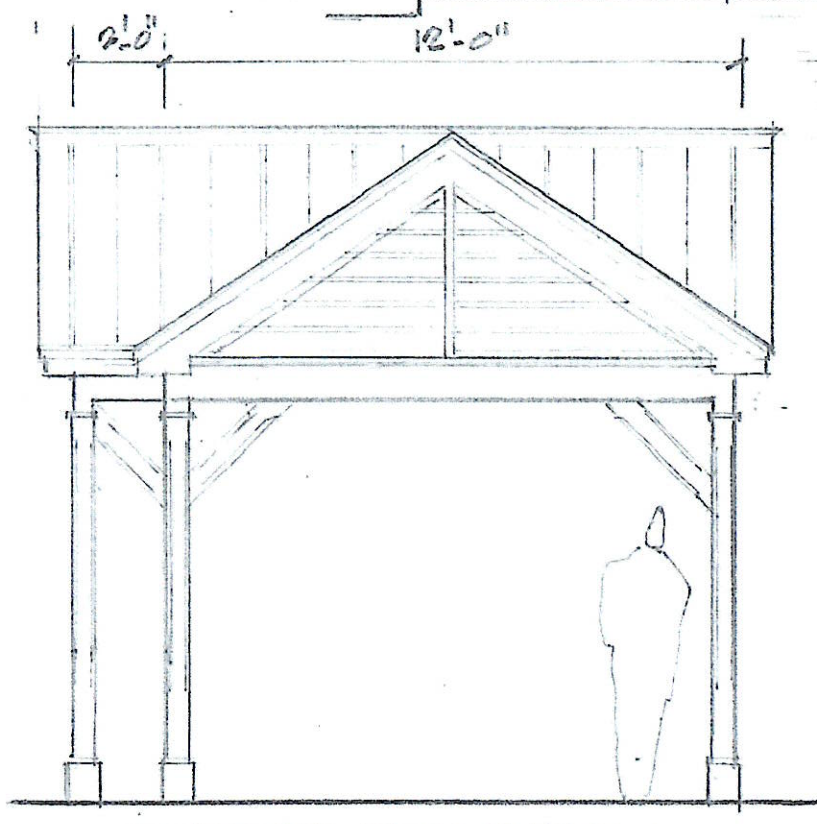
PAVILION FLOOR PLAN
SCALE 1/4" = 1'-0"



SECTION THRU PAVILION
SCALE 3/8" = 1'-0"



NORTH ELEVATION
SCALE 1/4"



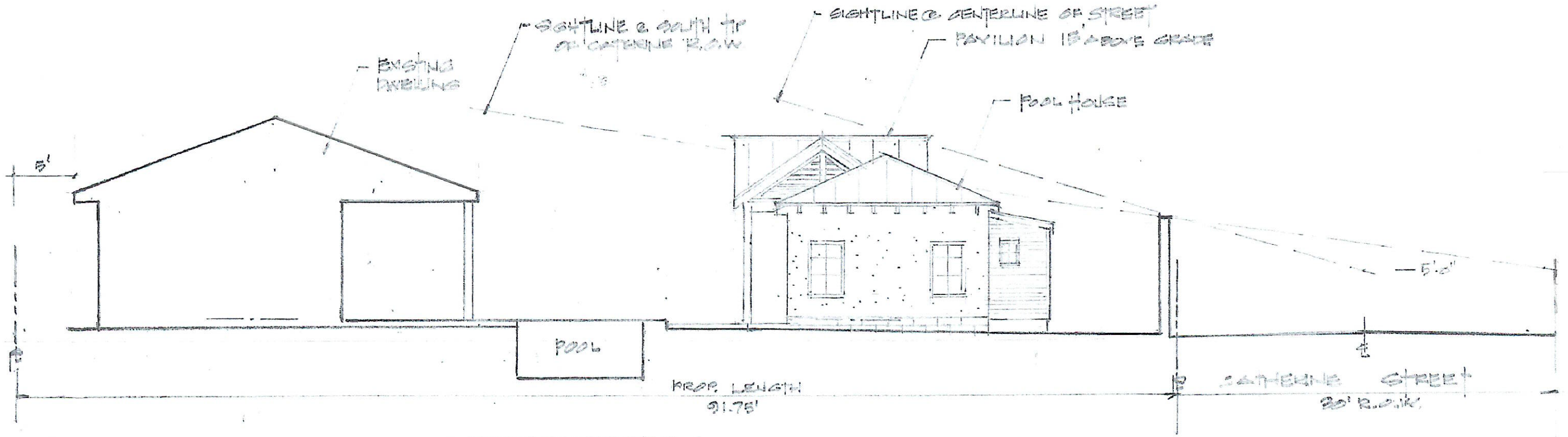
EAST ELEVATION
SCALE 1/4"

SCOTT RESIDENCE
NEW POOL HOUSE & SITE UPGRADES
1309 CATHERINE STREET KEY WEST, FLORIDA 33040



WILLIAM ROWA N
ARCHITECTURE
321 PEACOCK LANE
305.294.4773
KEY WEST, FLORIDA
FLORIDA LICENSE AR-001751

PROJECT NO:
DATE 4.24.22



CROSS SECTION
SCALE 1/8" = 1'-0"

SCOTT RESIDENCE
NEW POOL HOUSE & SITE UPGRADES
1309 CATHERINE STREET KEY WEST, FLORIDA 33040



WILLIAM ROWA N
ARCHITECTURE
KEY WEST, FLORIDA
FLORIDA LICENSE AR 001751
321 PEACOCK LANE
305 294 4773

PROJECT NO :

DATE 4/24/22



LOOKING EAST - PAVILION - POOL HOUSE



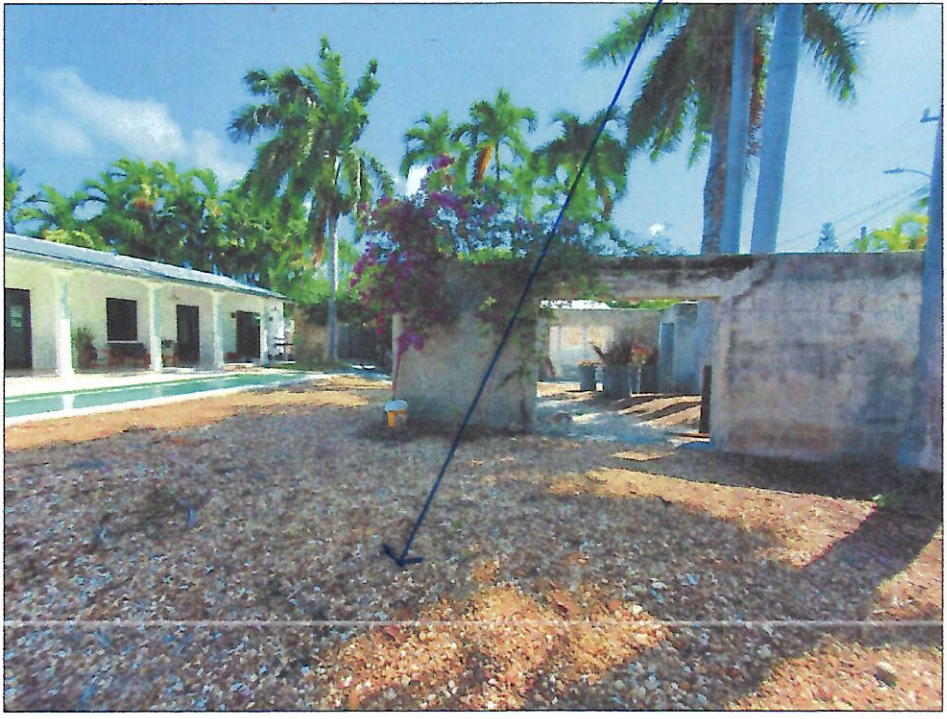
LOOKING GSW - REAR YARD - POOL HOUSE



LOOKING SOUTH - PAVILION - POOL HOUSE



LOOK SE - PAVILION - POOL HOUSE



LOOKING EAST - POOL HOUSE LOCATED IN THE FOREGROUND

SCOTT RESIDENCE
 NEW POOL HOUSE & SITE UPGRADES
 1309 CATHERINE STREET KEY WEST, FLORIDA 33040



WILLIAM ROWAN N
 ARCHITECTURE
 521 BRACON LANE
 KEY WEST, FLORIDA
 360 294 4773
 FLORIDA LICENSE AR 607751

PROJECT NO :

DATE 4.24.22

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., May 24, 2022 at City Hall, 1300 White Street**, Key West, Florida. In order to view the live feed of the meeting, you can tune in to Comcast channel 77, AT&T Uverse channel 99, or type this link into your browser: http://keywestcity.granicus.com/MediaPlayer.php?publish_id=1&embed=1 If you wish to participate virtually, please contact HARC staff at 305-809-3975. The purpose of the hearing will be to consider a request for:

CONSTRUCTION OF TWO NEW ONE-STORY ACCESSORY STRUCTURES.

#1309 CATHERINE STREET

Applicant – William Rowan Architecture Application #H2022-0021

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared Brian Olson, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:
1309 CATHERINE ST on the 18 day of May, 2022.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on May 24th, 2022.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is _____.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

[Signature]
Date: 5/18/2022
Address: 314 Pearson Ln
City: Key West
State, Zip: FL 33040

The forgoing instrument was acknowledged before me on this 18th day of May, 2022.

By (Print name of Affiant) Brian Olson who is personally known to me or has produced personally known as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: [Signature]

Print Name: Veronica Cleare

Notary Public - State of Florida (seal)

My Commission Expires: _____









PROPERTY APPRAISER INFORMATION

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00034610-000000
 Account# 1035491
 Property ID 1035491
 Millage Group 10KW
 Location 1309 CATHERINE ST, KEY WEST
 Address
 Legal KW KNIGHTS SUB PB1-27 LOTS 5-7 SQR 2 TR 14 QQ-114 T-255 OR304-120
 Description OR342-306 OR1075-1896 OR1090-2483 OR1090-2485 OR1128-191
 OR1720-1348 OR2198-1783 OR2225-383 OR2586-47 OR2587-1008
 OR2598-1374 OR2598-1858 OR2598-1861 OR2668-379 OR2676-2175
 OR3091-0970
 (Note: Not to be used on legal documents.)
 Neighborhood 6149
 Property SINGLE FAMILY RESID (0100)
 Class
 Subdivision
 Sec/Twp/Rng 05/68/25
 Affordable No
 Housing



Owner

SCOTT KEVIN
 1309 Catherine St
 Key West FL 33040

SCOTT LAURIE
 1309 Catherine St
 Key West FL 33040

Valuation

| | 2021 | 2020 | 2019 | 2018 |
|----------------------------|------------|------------|------------|-------------|
| + Market Improvement Value | \$435,905 | \$367,162 | \$336,007 | \$296,098 |
| + Market Misc Value | \$48,242 | \$30,502 | \$30,771 | \$30,759 |
| + Market Land Value | \$499,120 | \$499,120 | \$588,962 | \$723,724 |
| = Just Market Value | \$983,267 | \$896,784 | \$955,740 | \$1,050,581 |
| = Total Assessed Value | \$880,091 | \$867,940 | \$848,427 | \$832,608 |
| - School Exempt Value | (\$25,000) | (\$25,000) | (\$25,000) | (\$25,000) |
| = School Taxable Value | \$855,091 | \$842,940 | \$823,427 | \$807,608 |

Land

| Land Use | Number of Units | Unit Type | Frontage | Depth |
|------------------------|-----------------|-------------|----------|-------|
| RESSUPERIOR DRY (01SD) | 7,340.00 | Square Foot | 80 | 91.8 |

Buildings

Building ID 2754
 Style 1 STORY ELEV FOUNDATION
 Building Type S.F.R. - R1/ R1
 Gross Sq Ft 1890
 Finished Sq Ft 1260
 Stories 1 Floor
 Condition GOOD
 Perimeter 164
 Functional Obs 0
 Economic Obs 0
 Depreciation % 2
 Interior Walls MASONRY/MIN
 Exterior Walls C.B.S.
 Year Built 1964
 Effective Year Built 2018
 Foundation CONCR FTR
 Roof Type GABLE/HIP
 Roof Coverage METAL
 Flooring Type TERRAZZO
 Heating Type FCD/AIR DUCTED
 Bedrooms 2
 Full Bathrooms 2
 Half Bathrooms 0
 Grade 500
 Number of Fire Pl 0

| Code | Description | Sketch Area | Finished Area | Perimeter |
|--------------|----------------|--------------|---------------|------------|
| OPX | EXC OPEN PORCH | 630 | 0 | 146 |
| FLA | FLOOR LIV AREA | 1,260 | 1,260 | 166 |
| TOTAL | | 1,890 | 1,260 | 312 |

Yard Items

| Description | Year Built | Roll Year | Quantity | Units | Grade |
|---------------|------------|-----------|----------|---------|-------|
| LC UTILBLDG | 1979 | 1980 | 1 | 18 SF | 1 |
| UTILITY BLDG | 1979 | 1980 | 1 | 48 SF | 1 |
| FENCES | 1988 | 1989 | 1 | 90 SF | 2 |
| CONC PATIO | 1995 | 1996 | 1 | 1000 SF | 2 |
| CUSTOM PATIO | 1991 | 1992 | 1 | 150 SF | 4 |
| FENCES | 1975 | 1976 | 1 | 1575 SF | 5 |
| RES POOL | 1988 | 1989 | 1 | 300 SF | 4 |
| WATER FEATURE | 1994 | 1995 | 1 | 1 UT | 1 |

Sales

| Sale Date | Sale Price | Instrument | Instrument Number | Deed Book | Deed Page | Sale Qualification | Vacant or Improved |
|------------|-------------|-----------------|-------------------|-----------|-----------|--------------------|--------------------|
| 4/15/2021 | \$1,325,000 | Warranty Deed | 2315429 | 3091 | 970 | 01 - Qualified | Improved |
| 3/26/2014 | \$0 | Quit Claim Deed | | 2676 | 2175 | 11 - Unqualified | Improved |
| 1/22/2014 | \$1,065,000 | Warranty Deed | | 2668 | 379 | 02 - Qualified | Improved |
| 11/15/2012 | \$925,000 | Warranty Deed | | 2598 | 1858 | 37 - Unqualified | Improved |
| 11/9/2012 | \$0 | Warranty Deed | | 2598 | 1861 | 11 - Unqualified | Improved |
| 6/29/2012 | \$0 | Other | | 2586 | 47 | 19 - Unqualified | Improved |
| 4/3/2006 | \$1,725,000 | Warranty Deed | | 2198 | 1783 | Q - Qualified | Improved |
| 8/10/2001 | \$339,600 | Warranty Deed | | 1720 | 1348 | O - Unqualified | Improved |
| 4/1/1990 | \$390,000 | Warranty Deed | | 1128 | 191 | U - Unqualified | Improved |
| 5/1/1989 | \$210,000 | Warranty Deed | | 1090 | 2483 | Q - Qualified | Improved |

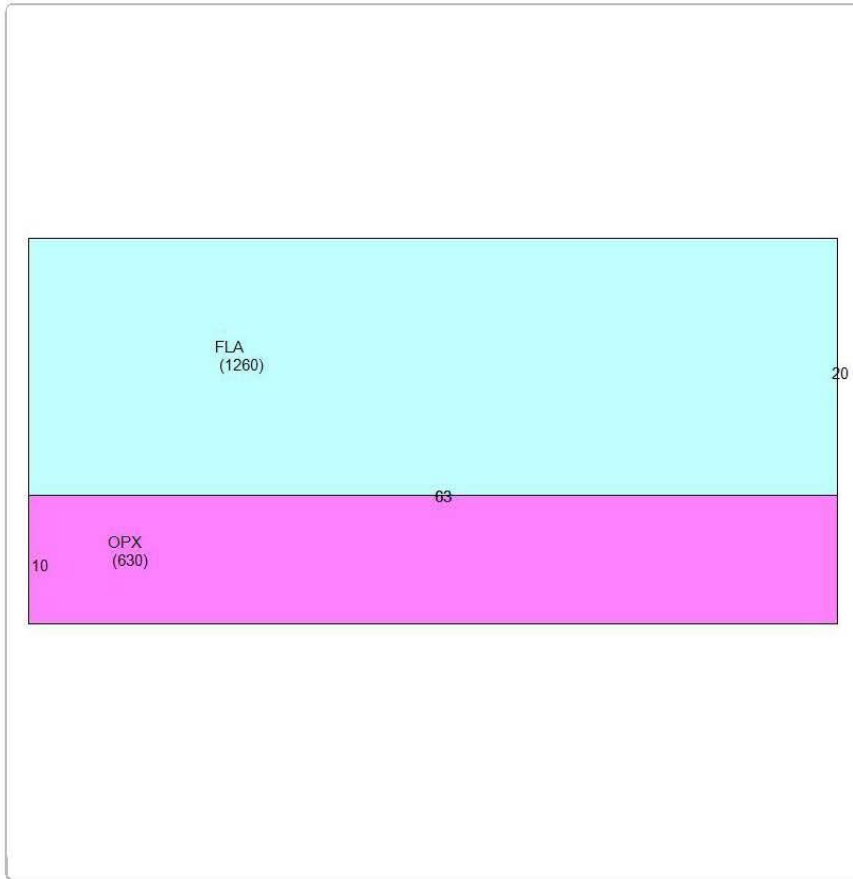
Permits

| Number ↕ | Date Issued ↕ | Date Completed ↕ | Amount ↕ | Permit Type ↕ | Notes ↕ |
|----------|---------------|------------------|----------|---------------|-------------------------|
| 03-0570 | 2/25/2003 | 7/23/2003 | \$2,800 | | ROOFING |
| 0001789 | 6/28/2000 | 10/26/2000 | \$4,500 | | ROOF |
| 9800917 | 3/23/1998 | 12/31/1998 | \$800 | Residential | TILE PATIO PORCH INSIDE |
| 9601298 | 3/1/1996 | 8/1/1996 | \$2,472 | | PAVING |
| B951652 | 5/1/1995 | 8/1/1996 | \$2,500 | | CONCRETE DRIVEWAY |

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



TRIM Notice

[2021 TRIM Notice \(PDF\)](#)

[2021 TRIM Notice \(PDF\)](#)

2021 Notices Only

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purposes. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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[GDPR Privacy Notice](#)

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Version 2.3.194

