

Historic Architectural Review Commission

Staff Report Item 6

Meeting Date:	October 28, 2014
Applicant:	Verizon Wireless
Application Number:	H14-01-1106
Address:	#1500 Reynolds Street
Description of Work:	Installation of new wireless equipment shelter and three antennas arrays on roof of non-historic building at Casa Marina Hotel.
Building Facts:	<p>The building in question is a five story structure that was built in 1986. The structure faces Seminole Avenue and is located on the northwest portion of the Casa Marina Hotel site. Casa Marina Hotel is listed as a contributing resource and was built in 1918.</p> <p>In July 13, 2010 the Commission approved the installation of similar equipment and antennas arrays on the roof of the same building for another wireless company. That installation was completed.</p> <p>In August 25, 2014 the Florida State Historic Preservation Office (FLSHPO) issued a no adverse effect letter and no visual adverse effect letter for the proposed project, if the applicant considers several recommendations. The FLSHPO review is a requirement of the National Environmental Policy Act (NEPA) for carriers to obtain FCC licenses to telecommunication equipment.</p>
Guidelines Cited in Review:	Air conditioning units, antennas, trash facilities and satellite dishes (pages 42-43), specifically guidelines 1, 5 and 7.

Staff Analysis

The Certificate of Appropriateness in review proposes the installation of new wireless telecommunication equipment consisting of three arrays of antennas and a shelter, as well as their infrastructure. The proposed installation of

antennas for wireless communication will be at the top roof of the newest addition of the Casa Marina Hotel. The proposed project includes the construction of an equipment shelter structure approximately 12'-0" depth by 20'-0". The plan also includes the installation of nine wireless antennas on three mounting frames, triangular in footprint. The new antennas would extend up to eight (8) feet higher than the existing rooftop parapet wall, for a total height of 54 feet above ground level (AGL). The proposed equipment shelter will be set back from the parapet wall facing Seminole Avenue approximately twenty four feet. According to the submitted plans the westernmost mounted antennas will be approximately eight (8) feet set back from the existing parapet wall facing Seminole Avenue while the third antenna installation will be fifteen or more feet set back from the south facade.

The existing parapet wall elevates approximately 3'-5" from the roof deck. The overall height of the building is approximately 42'- 3" from roof deck to grade. Vertical metal elements, measuring two feet tall will be installed across the roof deck creating a conduit bridge.

In September 18, 2014 the proposed design obtained approval from the Planning Board (Resolution Number 2014-60) for Conditional Use and is schedule to be reviewed by the Board of Adjustments on November 18th for height variance.

The building has already three free standing telecommunication antennas located on the roof that are visible from the street. The Florida State Historic Preservation Officer letter dated August 25, 2014 includes the following recommendations in order to make a determination of no adverse visual effect;

- The new antennas are painted to match the existing color of the building.
- The equipment shelter on the roof is painted to match the existing color of the building.
- Photographic documentation of the antennas after installation is submitted to the FLSHPO.
- Removal of the communication equipment when service is disconnected.
- Restoration of the building (portions altered by this undertaking) when the communication equipment is removed.

Also in the letter there is a request to the applicant to "*consider the feasibility of placing the antennas away from the edges of the roof so that they are less visible. Alternatively, mounting the antennas on the side of the building would also make them less visible*".

Consistency with Guidelines

1. Two of the proposed antenna arrays, which will be located towards the northwest side of the building, will be the closest structure in the roof

from the parapet wall facing Seminole Avenue. These antennas will be the most visible from the historic district.

2. The proposed shelter structure, although 4 inches higher than the existing one, will have the shortest façade facing Seminole Avenue and will be farther from the parapet wall than the existing shelter structure. Still will be visible from many streets.
3. The third proposed antenna array depicted in the plans towards the back portion of the structure, facing south, will not be visible from the streets.
4. The proposed wireless equipment will be located on the roof of a non-historic structure that contains other wireless equipment. Nevertheless the building is the highest structure within the area.

It is staff's opinion that the two arrays of antennas proposed on the northwest side of the roof and the new shelter will be visible from the streets. In order to further reduce the adverse visual impact on the historic district, the applicant shall locate the new antennas and equipment as far away from Seminole Avenue as feasible. If approved, it is staff's opinion that the recommendations from the FSHPO been incorporated as conditions to the approval.

**Florida State Historic Preservation Office
Letter**



FLORIDA DEPARTMENT OF STATE

RICK SCOTT
Governor

KEN DETZNER
Secretary of State

Ms. Jelane Wallace
Panamerican Consultants, Inc.
5337 North Socrum Loop Road, Suite 144
Lakeland Florida 33809

August 25, 2014

RE: DHR Project File No.: 2014-3228/ Received by DHR: July 29, 2014
Federal Communications Commission
Proposed Antenna Collocation –The 62335 Casa Marina Collocation
Casa Marina Hotel Building, 1500 Reynolds Street
Key West, Monroe County, Florida

Dear Ms. Wallace:

Our office reviewed the referenced project for possible impact to historic properties listed, or eligible for listing, in the National Register of Historic Places. The review was conducted in accordance with Section 106 of the National Historic Preservation Act of 1966, as amended, 36 CFR Part 800: Protection of Historic Properties, and the National Environmental Policy Act of 1969, as amended.

We note that the proposed Verizon Wireless antennas and equipment shelter will be placed on the non-historic west wing addition (built 1986) of the Casa Marina Hotel (8MO03180). The hotel is located within the National Register listed Key West Historic District, 8MO01976. Based on the information provided, it is the opinion of this office that the proposed project will have no adverse direct effect on historic properties. In addition, if the following recommendations are followed, it is our determination that there will be no adverse visual effect on historic properties.

- The new antennas are painted to match the existing color of the building.
- The equipment shelter on the roof is painted to match the existing color of the building.
- Photographic documentation of the antennas after installation is submitted to this office.
- Removal of the communication equipment when service is discontinued.
- Restoration of the building (portions altered by this undertaking) when the communication equipment is removed.

Division of Historical Resources

R.A. Gray Building • 500 South Bronough Street • Tallahassee, Florida 32399
850.245.6300 • 850.245.6436 (Fax) flheritage.com

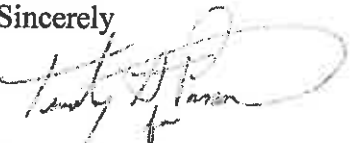
Promoting Florida's History and Culture VivaFlorida.org



Ms. Janssen
DHR Project File No.: 2014-3228
August 25, 2014
Page 2

This office would like to ask that the applicant consider the feasibility of placing the antennas away from the edges of the roof so that they are less visible. Alternatively, mounting the antennas on the side of the building would also make them less visible. If either of these options are feasible, please notify our office and include plans for the new locations for our review and comment.

For any questions concerning our comments, please contact Robin Jackson, Historic Preservationist, by phone at 850.245.6333, or at Robin.Jackson@dos.myflorida.com. We appreciate your continued interest in protecting Florida's historic properties.

Sincerely,


Robert F. Bendus, Director
Division of Historical Resources
and State Historic Preservation Officer

Pc: Enid Torregrosa, Historic Preservation Planner
Scott Wehmeyer

Application



**CITY OF KEY WEST
BUILDING DEPARTMENT
CERTIFICATE OF APPROPRIATENESS**

APPLICATION # 07-01-2014 011106

OWNER'S NAME: CASA MARINA LLC DATE: 6-27-2014

OWNER'S ADDRESS: P.O. BOX 437 BROADWAY N.J. PHONE #: 305-296-6621

APPLICANT'S NAME: VERIZON WIRELESS PHONE #: 561-995-5500

APPLICANT'S ADDRESS: 777 N.W. 51ST. BOCA RATON FL.

ADDRESS OF CONSTRUCTION: 1500 REYNOLDS STREET # OF UNITS:

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT

DETAILED DESCRIPTION OF WORK: INSTALLATION OF NEW WIRELESS EQUIPMENT SHELTER AND ANTENNAS ON ROOF ADJACENT TO EXISTING ATT ANTENNA.

Chapter 837.06 F.S.-False Official Statements – Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or 775.083

This application for Certificate of Appropriateness must precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval.

Date: 6-27-2014

Applicant's Signature: Josephine Conde

Required Submittals

<input checked="" type="checkbox"/>	TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
<input type="checkbox"/>	TREE REMOVAL PERMIT (if applicable)
<input checked="" type="checkbox"/>	PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
<input checked="" type="checkbox"/>	PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings and additions)
<input checked="" type="checkbox"/>	ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

Drawn: KEVIN TORRES Date: 7/28/14

PT * **Staff Use Only** \$100.00

Trans n... Date: 7/28/14 3:06:77

CK CHECK Staff Approval: 7/28/14 5:47

Fee Due: \$

HISTORIC ARCHITECTURAL REVIEW APPLICATION

HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

Approved _____

Denied _____

Deferred _____

Reason for Deferral or Denial:

HARC Comments:

Building in question is not-historic

Guidelines for antennas (pages 42-43)

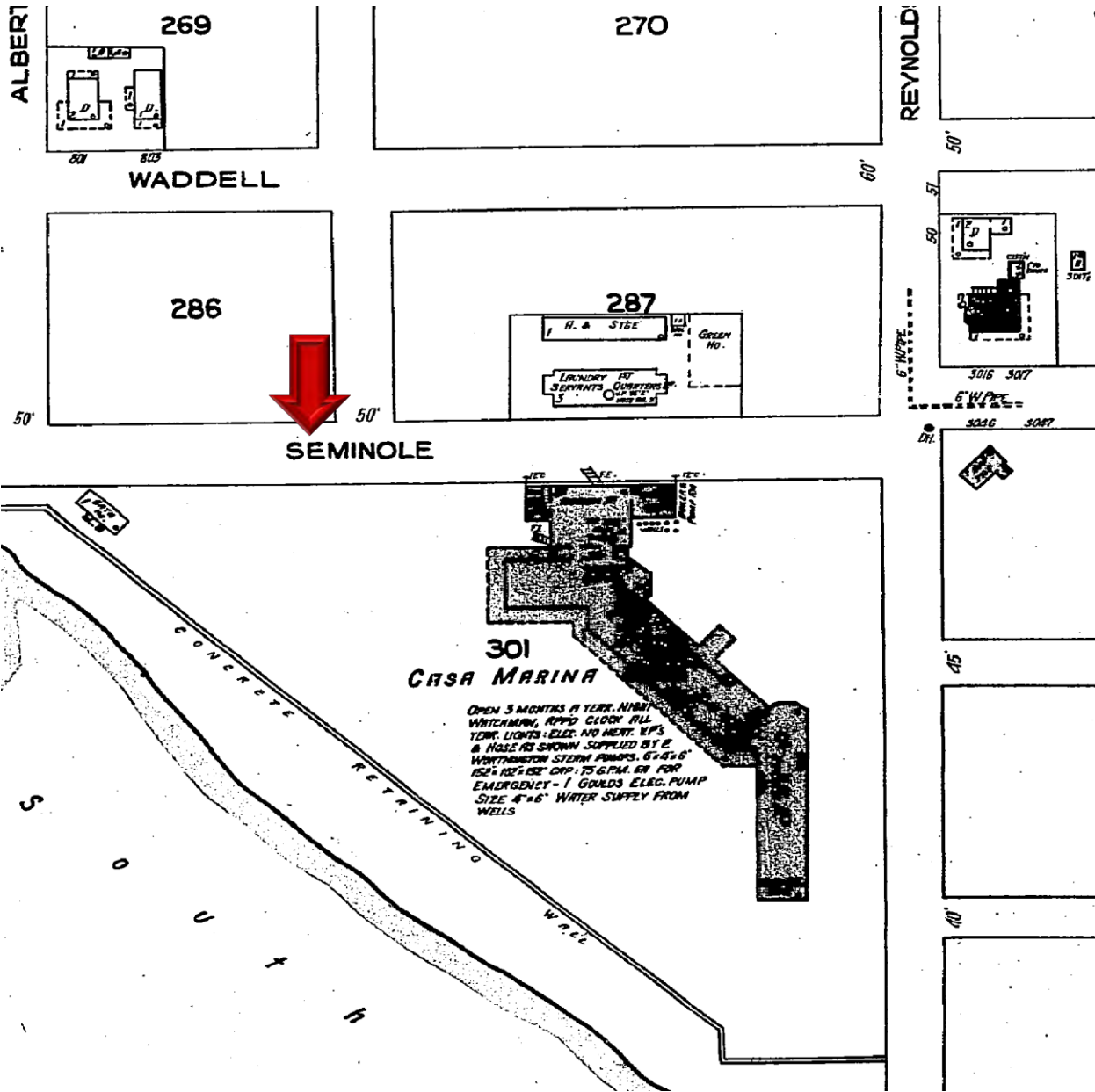
Limit of Work Approved, Conditions of Approval and/or Suggested
Changes:

Date: _____

Signature: _____

Historic Architectural
Review Commission

Sanborn Maps



#1500 Reynolds Street Sanborn map 1926



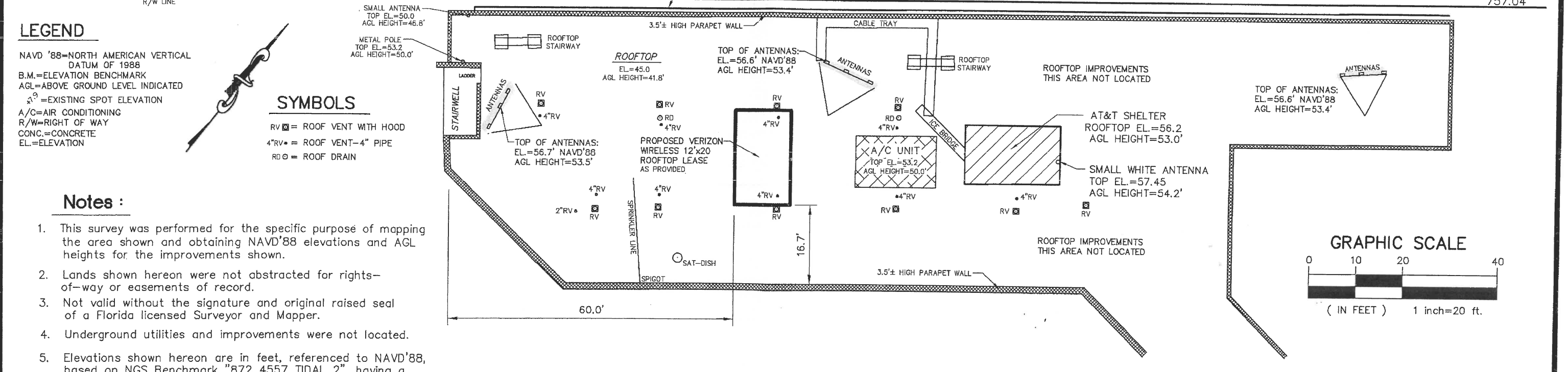
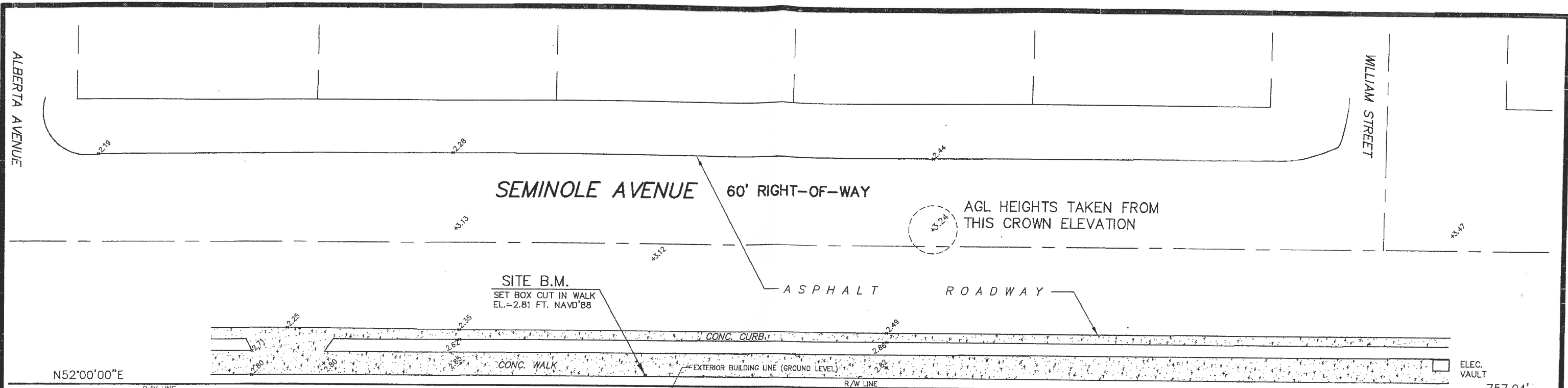
Photos from Monroe County Library

**Ca. 1965 Photo from Seminole Avenue
1976 Aerial Photograph**





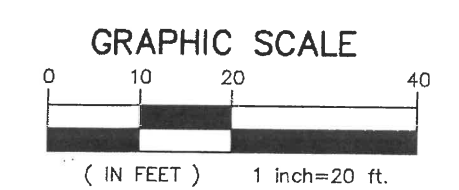
Survey



LEGEND
 NAVD '88=NORTH AMERICAN VERTICAL DATUM OF 1988
 B.M.=ELEVATION BENCHMARK
 AGL=ABOVE GROUND LEVEL INDICATED
 Ⓧ=EXISTING SPOT ELEVATION
 A/C=AIR CONDITIONING
 R/W=RIGHT OF WAY
 CONC.=CONCRETE
 EL.=ELEVATION

SYMBOLS
 RV □ = ROOF VENT WITH HOOD
 4"RV • = ROOF VENT-4" PIPE
 RD ○ = ROOF DRAIN

- Notes :**
1. This survey was performed for the specific purpose of mapping the area shown and obtaining NAVD'88 elevations and AGL heights for the improvements shown.
 2. Lands shown hereon were not abstracted for rights-of-way or easements of record.
 3. Not valid without the signature and original raised seal of a Florida licensed Surveyor and Mapper.
 4. Underground utilities and improvements were not located.
 5. Elevations shown hereon are in feet, referenced to NAVD'88, based on NGS Benchmark "872 4557 TIDAL 2", having a published elevation of 2.64 ft. NAVD'88.



Map Of Survey – Specific Purpose Survey

SURVEYORS SIGNATURE & SEAL
 NOTE: THIS SURVEY IS VALID FROM THE DATE OF THE LAST FIELD SURVEY (INCLUDING REVISION BLOCKS) TO THE SIGNATURE DATE.

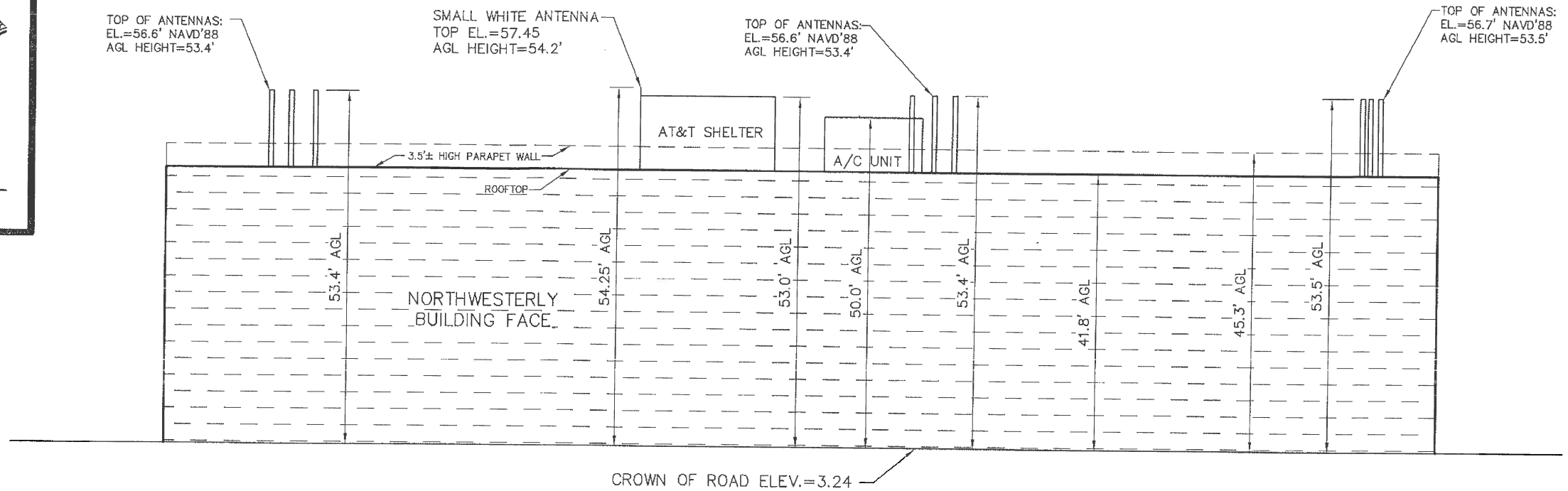
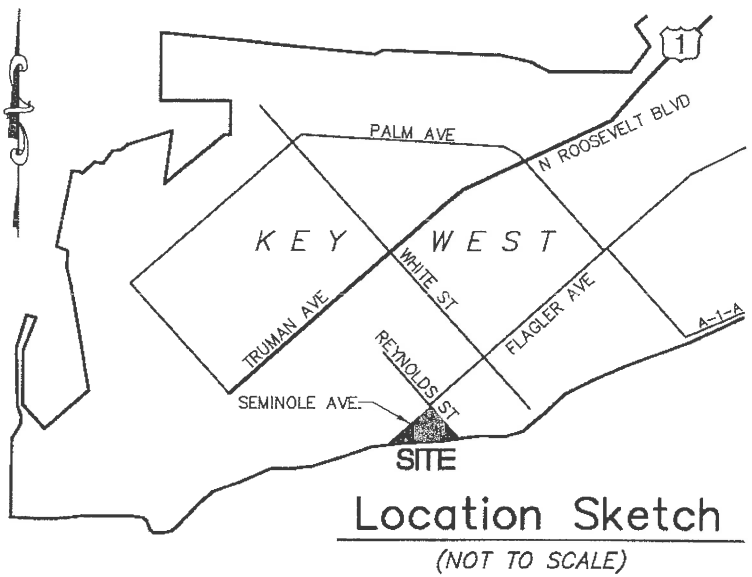
William B. Zentz
 WILLIAM B. ZENTZ
 REGISTERED LAND SURVEYOR
 STATE OF FLORIDA
 NO. 5276
 8/15/15
 DATE

William B. Zentz & Associates, Inc.
WZ Professional Surveying & Mapping
 CERTIFICATE OF AUTHORIZATION (LB) No. 6840
 684 Old Dixie Highway
 Vero Beach, FL 32962
 Phone: (772) 567-7552
 Fax : (772) 567-1751

DATE	REVISION

Verizon Wireless - #62335
Casa Marina
1500 Reynolds Street, Key West
Monroe County, Florida

DRAWN BY	FIELD BOOK / PAGE	FIELD SURVEY DATE	Job No.	SHEET OF
W.B.Z.	VER 16/27	8/14/14	114-260	1 2



Profile View - Looking Southeasterly from Seminole Avenue

Map Of Survey – Specific Purpose Survey

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Planning Board Resolution

**PLANNING BOARD
RESOLUTION NO. 2014-60**

A RESOLUTION OF THE CITY OF KEY WEST PLANNING BOARD GRANTING WITH CONDITIONS A CONDITIONAL USE APPROVAL FOR THE EXPANSION OF A PRIVATE UTILITY USE BY THE INSTALLATION OF NEW ROOFTOP WIRELESS COMMUNICATION ANTENNAS AND AN EQUIPMENT SHELTER ON PROPERTY LOCATED AT 1500 REYNOLDS STREET (RE # 00037160-000100; AK # 8735677) WITHIN THE HISTORIC COMMERCIAL TOURIST (HCT) ZONING DISTRICT PURSUANT TO SECTIONS 122-62 AND 122-898(8) OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES OF THE CITY OF KEY WEST, FLORIDA; PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the subject property is located within the Historic Commercial Tourist (HCT) Zoning District; and

WHEREAS, pursuant to Sections 122-62 and 122-898(8) of the Land Development Regulations (the "LDRs") of the Code of Ordinances (the "Code") of the City of Key West, Florida (the "City"), the applicant filed a conditional use application for the proposed installation of three new wireless communication antenna tripods, containing three antennas each, and a new 12' x 20' equipment shelter on the roof of a non-historic building on property located at 1500 Reynolds Street; and

WHEREAS, City Code Section 122-62 outlines the criteria for reviewing a conditional use application by the Planning Board; and

WHEREAS, this matter came before the Planning Board at a duly noticed public hearing on September 18, 2014; and


Chairman

 Planning Director

WHEREAS, the Planning Board found that the proposed use complies with the criteria in City Code Sections 122-62 and 122-63; and

WHEREAS, the approval of the conditional use application will be in harmony with the general purpose and intent of the LDRs, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

NOW THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as fully set forth herein.

Section 2. That a conditional use request, pursuant to Section 122-808 of the Code of Ordinances of the City of Key West, Florida is hereby approved as follows: allowing three new antenna tripods, containing three antennas each, and a 12' x 20' equipment shelter on property located at 1500 Reynolds Street (RE # 00037160-000100; AK # 8735677), as shown on the attached plans by Russell C. Morrison, P.E., dated June 30, 2014 with the following conditions:

General conditions:

1. The applicant shall adhere to the recommendations by the Florida State Historic Preservation Office, according to the attached letter dated August 25, 2014. Additionally, in order to further reduce the adverse visual impacts on the historic district, the applicant shall locate the new antennas and equipment shelter as far away from Seminole Avenue as possible, provided the height of the structures is not further increased.

2. The applicant shall comply with all applicable laws and regulations, including federal requirements pertaining to air traffic safety, wireless communication facilities and Section 106 consultation as required in the National Environmental Protection Act.

Conditions prior to issuance of a building permit:

3. The applicant shall obtain approval of a height variance from the Board of Adjustment.

4. The proposed development shall obtain all required Certificates of Appropriateness.

Section 3. Full, complete, and final application for all permits required for which this resolution is wholly or partly necessary, shall be submitted in its entirety within 12 months after the date hereof.

Section 4. This conditional use approval does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

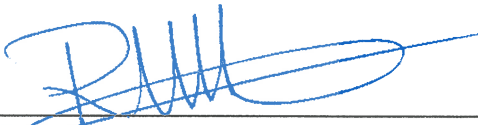
Section 5. This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Section 6. This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Economic Opportunity. Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not effective for 45 days after it has been properly rendered to the DEO with all exhibits and applications

attached to or incorporated by reference in this approval; that within the 45-day review period the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this 18th day of September, 2014.

Authenticated by the Chairman of the Planning Board and the Planning Director.



Richard Klitenick, Planning Board Chairman

9/30/2014

Date

Attest:



Donald Leland Craig, AICP, Planning Director

9/23/2014

Date

Filed with the Clerk:



Cheryl Smith, City Clerk

10/3/14

Date

Proposed Design

STANDARD PROVISIONS

INTENT

- CONSTRUCTION PLANS AND SPECIFICATIONS DESCRIBE THE WORK TO BE PERFORMED AND THE MATERIALS REQUIRED FOR THE PROPER CONSTRUCTION OF THE PROJECT.
- CONSTRUCTION PLANS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND COMPLEMENTARY. THOUGH, SHOULD ANY MATERIAL OR SPECIFICATION BE SHOWN, INDICATED OR SPECIFIED ON ONE SHEET AND NOT ANOTHER, IT SHALL BE THE SAME AS IF SHOWN, INDICATED OR SPECIFIED ON BOTH.
- THE INTENTION OF THE CONSTRUCTION DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE COMPLETION OF THE WORK.
- THE PURPOSE OF ANY SPECIFICATIONS IS TO SUPPLEMENT THE INTENT OF THE CONSTRUCTION PLANS AND TO DESIGNATE A PROCEDURE, TYPE OR QUALITY OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- MINOR DEVIATIONS FROM THE DESIGN LAYOUT MAY OCCUR AND SHALL BE CONSIDERED AS PART OF THE WORK. HOWEVER, NO CHANGES THAT ALTER THE INTENT OF THE DESIGN OF THE PROJECT WILL BE MADE OR PERMITTED WITHOUT PERMISSION OF THE OWNER AND ENGINEER.

CONFLICTS

- THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR VISITING THE PROJECT SITE PRIOR TO CONSTRUCTION AND VERIFICATION OF ALL MEASUREMENTS ON THE CONSTRUCTION PLANS BEFORE ORDERING ANY MATERIAL OR PERFORMING ANY WORK. NO EXTRA COMPENSATION SHALL BE ALLOWED DUE TO DISCREPANCIES BETWEEN THE ACTUAL DIMENSIONS IN THE FIELD AND THE DIMENSIONS INDICATED ON THE CONSTRUCTION PLANS. ANY DISCREPANCY IN DIMENSION WHICH MAY INADVERTENTLY OCCUR SHALL BE SUBMITTED TO THE OWNER AND ENGINEER FOR CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK IN THE AFFECTED AREA.
- THE CONTRACTOR, WHEN AWARDED THE CONTRACT, WILL NOT BE ALLOWED ANY EXTRA COMPENSATION BY REASON OF ANY MATTER WHICH THE CONTRACTOR DID NOT REQUEST ADDITIONAL INFORMATION ON PRIOR TO THE BID.
- NO PLEA OF IGNORANCE OF CONDITIONS THAT EXIST, OR OF DIFFICULTIES ENCOUNTERED OR ANY OTHER RELEVANT MATTER CONCERNING THE WORK TO BE PERFORMED WILL BE ACCEPTED AS A REASON FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL THE OBLIGATIONS OF THE CONSTRUCTION CONTRACT.

PROTECTION OF WORK AREA

- CONTRACTOR TO PROTECT THE WORK AREA, WHETHER INDOORS OR OUTDOORS. MAINTAIN FINISHED SURFACES CLEAN AND SUITABLY PROTECTED UNTIL CONSTRUCTION IS COMPLETE AND ACCEPTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- PROTECT FINISHED SURFACES, INCLUDING JAMBS AND HEADS OF OPENINGS USED AS PASSAGEWAYS THROUGH WHICH EQUIPMENT AND MATERIALS MUST PASS.
- PROVIDE PROTECTION OF EQUIPMENT ROOM SURFACES PRIOR TO CONSTRUCTION ACTIVITIES IN THESE AREAS.

REPAIRS AND REPLACEMENT OF DAMAGED ITEMS

- IN THE EVENT OF DAMAGE TO EXISTING FACILITIES, THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS AND REPAIRS AT NO ADDITIONAL COST TO THE OWNER OR PROPERTY OWNER.

STORAGE OF MATERIALS AND TOOLS

- CONTRACTOR IS NOT TO UTILIZE THE EXISTING BUILDING SPACE FOR STORAGE OF MATERIALS OR TOOLS WITHOUT THE APPROVAL OF THE PROPERTY OWNER
- ALL MATERIALS MUST BE STORED IN A LEVEL AND DRY LOCATION AND IN A MANNER NOT TO OBSTRUCT THE FLOW OF OTHER WORK. ALL EQUIPMENT OR MATERIAL STORAGE MUST ALSO MEET THE SPECIFICATIONS OF THE MANUFACTURER.

TEMPORARY FACILITIES

- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH LOCAL UTILITIES TO PROVIDE TEMPORARY ELECTRIC AND TELEPHONE SERVICE AS NECESSARY TO COMPLETE THE PROJECT. THE CONTRACTOR MAY USE EXISTING ELECTRIC AND TELEPHONE FACILITIES ONLY WITH OWNER APPROVAL. ANY TEMPORARY POWER CORDS MUST BE STORED DURING NON WORKING HOURS.

CLEAN UP

- CONTRACTOR SHALL KEEP THE SITE CLEAR OF DEBRIS AND TRASH DUE TO CONSTRUCTION ACTIVITIES. AT THE COMPLETION OF THE PROJECT, CONTRACTOR TO REMOVE ALL TOOLS SCAFFOLDING AND SURPLUS MATERIALS AND SHALL LEAVE THE WORK AREA CLEAN AND READY FOR USE BY THE OWNER.
- CONTRACTOR TO VISUALLY INSPECT ALL EXTERIOR SURFACES AND REMOVE SOIL, WASTE MATERIALS, AND OTHER FOREIGN MATTER. REMOVE ALL SPLASHED MATERIALS FROM ALL FINISHED AND OTHER SURFACES.
- CONTRACTOR TO VISUALLY INSPECT ALL INTERIOR SURFACES AND REMOVE WASTE MATERIALS, FOREIGN MATTER, PAINT DROPPINGS, SPOTS, STAINS, AND SOIL FROM FINISHED SURFACES.

SHOP DRAWINGS

- CONTRACTOR TO SUBMIT SHOP DRAWINGS AND SPECIFICATIONS AS REQUIRED TO THE OWNER AND/OR ENGINEER FOR APPROVAL.
- ALL SHOP DRAWINGS TO BE REVIEWED, CHECKED, AND CORRECTED BY THE GENERAL CONTRACTOR PRIOR TO SUBMITTAL TO THE OWNER OR CONSTRUCTION PROJECT MANAGER.

PRODUCTS AND SUBSTITUTIONS

- SUBMIT 3 COPIES OF EACH REQUEST FOR SUBSTITUTION. IN EACH REQUEST IDENTIFY THE PRODUCT FABRICATION OR INSTALLATION METHOD TO BE REPLACED BY THE SUBSTITUTION. INCLUDE RELATED SPECIFICATION SECTION AND DRAWING NUMBERS, AND COMPLETE DOCUMENTATION SHOWING COMPLIANCE WITH THE REQUIREMENTS FOR SUBSTITUTIONS.

COMPLIANCE

- ALL MATERIALS, DESIGN, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, AND AUTHORITIES HAVING JURISDICTION OVER THE WORK. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A CERTIFICATE OF OCCUPANCY (IF REQUIRED BY THE LOCAL GOVERNING JURISDICTION) AND OTHER LEGAL DOCUMENTS TO VERIFY SUCH COMPLIANCE. WHERE NO CODES EXIST, THE WORK SHALL CONFORM WITH THE 2010 FLORIDA BUILDING CODE WITH LATEST SUPPLEMENTS OR THE CONSTRUCTION PLAN SPECIFICATIONS, WHICHEVER IS MOST STRINGENT AND A DOCUMENT STATEMENT SHALL BE FURNISHED TO THAT EFFECT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY COMPLIANCE WITH GOVERNING CODES AND TO NOTIFY THE OWNER IF ANY DISCREPANCIES PRIOR TO PERFORMING WORK ON THE SITE.
- REFERENCE TO ANY STANDARD CODE OR PRACTICE IN THIS SPECIFICATION SHALL BE DEEMED TO REFLECT THE MOST CURRENT EDITION AT THE TIME OF AWARD OF THE CONTRACT. IN ADDITION, LOCAL AMENDMENTS TO STANDARD CODES WILL APPLY. THE CONTRACTOR SHALL COMPLY WITH ALL ZONING AND SITE ACQUISITION STIPULATIONS AS OUTLINED IN ANY ZONING APPROVAL OF THE PROJECT.
- THE FOLLOWING CODES ARE THE MINIMUM THAT WILL BE REQUIRED FOR THE CONTRACTOR TO ADHERE TO THE LATEST EDITIONS OF THE:
 - 2010 FLORIDA BUILDING CODE
 - BUILDING OFFICIALS AND CODE ADMINISTRATORS (BOCA)
 - NATIONAL ELECTRIC CODE (NEC)
 - ANSI/TIA/EIA-222-REVISION G
 - LIFE SAFETY CODE NFPA-LATEST EDITION
 - FEDERAL AVIATION REGULATIONS-LATEST EDITION
 - UNDERWRITERS LABORATORIES

COORDINATION WITH LOCAL PUBLIC UTILITIES

- THE CONTRACTOR WILL COORDINATE WITH LOCAL UTILITIES FOR THE ELECTRIC AND TELEPHONE REQUIREMENTS OF THE SITE. THE CONTRACTOR WILL ALSO COORDINATE WITH ALL OTHER RELEVANT UTILITIES INCLUDING WATER, SEWER, STORMWATER, CABLE TELEVISION, AND ANY OTHERS TO PROTECT ANY OF THESE UTILITIES ON THE PROJECT SITE DURING THE COURSE OF CONSTRUCTION.

PERMITS AND LICENSES

- CONTRACTOR SHALL HAVE EVIDENCE OF ALL REQUIRED PERMITS AND LICENSES AVAILABLE ON SITE AS REQUIRED FOR LOCAL INSPECTION AUTHORITIES

INSPECTIONS

- THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST 24 HOURS IN ADVANCE OF ALL REQUIRED INSPECTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT REQUIRED INSPECTIONS BY PERMITTING AUTHORITIES ARE CARRIED OUT IN A TIMELY MANNER SO AS NOT TO DELAY THE PROJECT CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF ALL INSPECTIONS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE OWNER'S TESTING LABORATORY OR ENGINEERING FIRM TO OBTAIN ALL REQUIRED INSPECTIONS AND TESTING. THE CONTRACTOR IS TO PROVIDE RESULTS OF ALL TESTING TO THE OWNER.

SAFETY

- THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY INCLUDING BY NOT LIMITED TO PROTECTION OF ALL SITE PERSONNEL AND THE GENERAL PUBLIC DURING THE ENTIRE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS TO INSTALL AND MAINTAIN ALL SAFETY DEVICES, INCLUDING, BUT NOT LIMITED TO, BARRICADES, LAMPS, SIGNS, BARRIERS, WARNING TAPES, AND OTHER ITEMS IN ACCORDANCE WITH OSHA SAFETY ACT AND ANSI OCCUPATIONAL GUIDELINES.

ENVIRONMENTAL PROTECTION

- NOISE LEVEL: THE CONTRACTOR SHALL ENSURE THAT ALL STATE AND LOCAL REGULATIONS REGARDING ACCEPTABLE NOISE LEVELS ARE ADHERED TO DURING THE COURSE OF CONSTRUCTION ACTIVITIES.
- DUST CONTROL: THE CONTRACTOR SHALL IMPLEMENT NECESSARY DUST CONTROL MEASURES TO LIMIT THE RELEASE OF FUGITIVE DUST DURING THE COURSE OF CONSTRUCTION ACTIVITIES.

INSURANCE AND BONDS

- EACH CONTRACTOR AND SUB-CONTRACTOR SHALL AT HIS OWN EXPENSE CARRY AND MAINTAIN FOR THE DURATION OF THE PROJECT ALL INSURANCE AND BONDS AS REQUIRED AND SHALL NOT COMMENCE WITH HIS WORK UNTIL HE HAS PRESENTED ALL CERTIFICATES OF INSURANCE TO THE OWNER.

REPAIRS OF EXISTING FACILITIES

- ANY EXISTING FACILITIES DAMAGED DURING THE COURSE OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED TO A CONDITION EQUAL TO OR BETTER THAN THE CONDITION PRIOR TO THE DAMAGE OF THE FACILITIES.

AS-BUILT DRAWINGS

- THE CONTRACTOR SHALL PREPARE A RED LINED SET OF AS-BUILT DRAWINGS IN THE FORM OF MARKED UP CONSTRUCTION PLANS THAT SHALL BE PROVIDED TO THE OWNER. AS-BUILT PLANS WILL BE PROVIDED TO THE OWNER WITHIN 2 WEEKS OF PRACTICAL COMPLETION OF THE PROJECT.

APPLICANT/OWNER:



777 YAMATO ROAD, SUITE 600
BOCA RATON, FLORIDA 33431

PROJECT NAME AND LOCATION:

CASA MARINA
VERIZON SITE #62335
1500 REYNOLDS STREET
KEY WEST, FL 33040

PROJECT ENGINEER

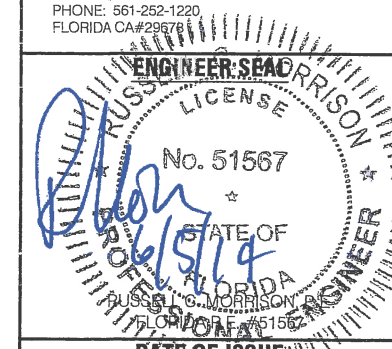
N26° 42' 12"



W81° 21' 10"

WAYPOINT

ENGINEERING AND EQUIPMENT LLC
820 W. INDIANTOWN ROAD, SUITE 105
JUPITER, FLORIDA 33458
PHONE: 561-252-1220
FLORIDA CA#29676



DATE OF ISSUE

JUNE 5, 2014

ISSUED FOR

CONSTRUCTION PLANS

SUBMITTALS

REV.	DATE	DESCRIPTION

PROJECT NUMBER

L201403-09

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KJM KJM RCM

APPROVING AGENCY

CITY OF KEY WEST, FLORIDA

BUILDING CODE

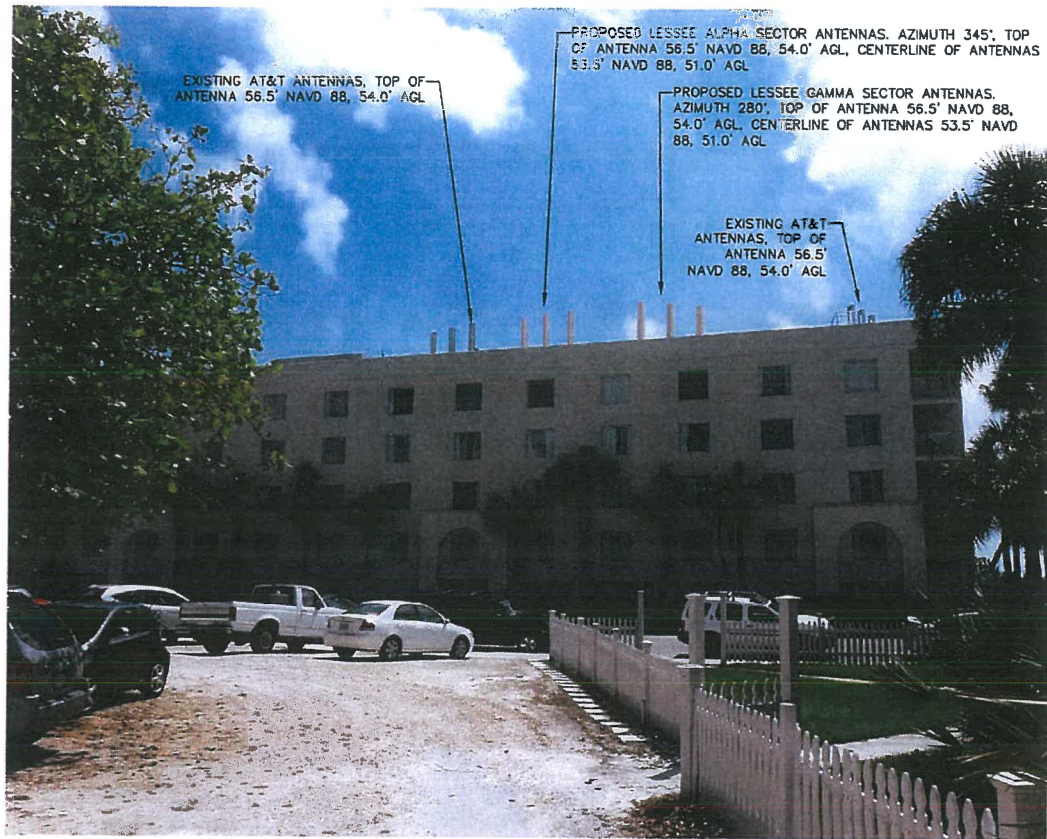
2010 FLORIDA BUILDING CODE

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

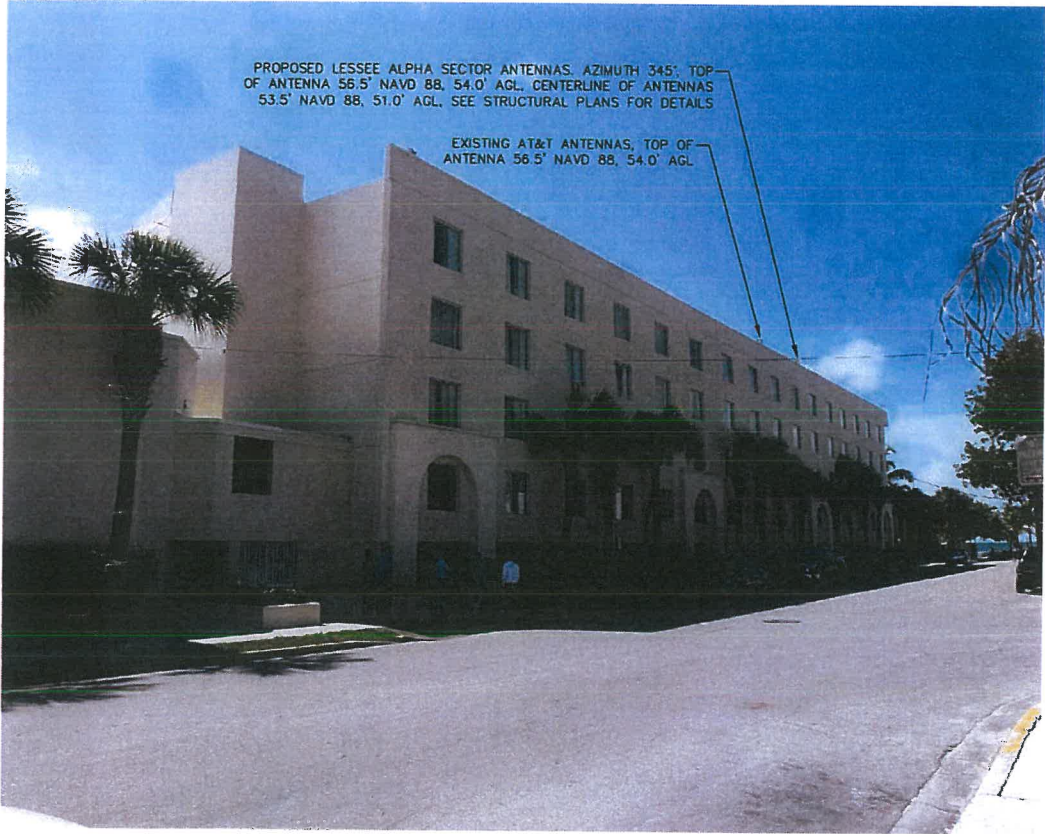
G-1



NORTHWEST BUILDING ELEVATION



SOUTHEAST BUILDING ELEVATION



NORTHEAST BUILDING ELEVATION

BUILDING ELEVATIONS-CASA MARINA-1500 REYNOLDS STREET, KEY WEST, FLORIDA

APPLICANT/OWNER:



777 YAMATO ROAD, SUITE 600
BOCA RATON, FLORIDA 33431

PROJECT NAME AND LOCATION:

CASA MARINA
VERIZON SITE #62335
1500 REYNOLDS STREET
KEY WEST, FL 33040

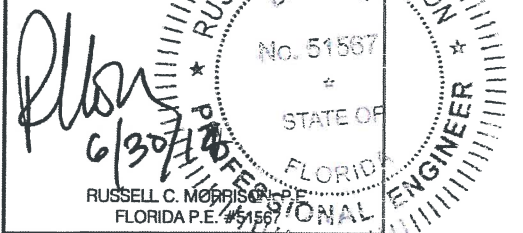
PROJECT ENGINEER



WAYPOINT

ENGINEERING AND EQUIPMENT LLC
820 W. INDIANTOWN ROAD, SUITE 105
JUPITER, FLORIDA 33458
PHONE: 561-252-1220
FLORIDA CA#29673

ENGINEER SEAL



DATE OF ISSUE

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KJM KJM RCM

APPROVING AGENCY

CITY OF KEY WEST, FLORIDA

BUILDING CODE

2010 FLORIDA BUILDING CODE

SHEET TITLE

BUILDING ELEVATIONS
PLAN

SHEET NUMBER

A-2



NORTHWEST BUILDING ELEVATION-WADDELL ST. AND ALBERTA AVE. (400' +/- FROM CASA MARINA HOTEL)

PHOTO SIMULATION-CASA MARINA-1500 REYNOLDS STREET, KEY WEST, FLORIDA

APPLICANT/OWNER:



777 YAMATO ROAD, SUITE 600
BOCA RATON, FLORIDA 33431

PROJECT NAME AND LOCATION:

CASA MARINA
VERIZON SITE #62335
1500 REYNOLDS STREET
KEY WEST, FL 33040

PROJECT ENGINEER



WAYPOINT

ENGINEERING AND EQUIPMENT LLC
820 W. INDIANTOWN ROAD, SUITE 105
JUPITER, FLORIDA 33458
PHONE: 561-252-1220
FLORIDA CA#29673

ENGINEER SEAL

RUSSELL C. MORRISON, P.E.
FLORIDA P.E. #51567

DATE OF ISSUE

AUGUST 14, 2014

ISSUED FOR

ZONING DOCUMENTS

SUBMITTALS

REV.	DATE	DESCRIPTION

PROJECT NUMBER

L201306-04

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CMO RCM RCM

APPROVING AGENCY

CITY OF KEY WEST, FLORIDA

BUILDING CODE

2010 FLORIDA BUILDING CODE

SHEET TITLE

PHOTO SIMULATION
EXHIBIT

SHEET NUMBER

A-2A



NORTHWEST BUILDING FACE. DUE TO EXTENSIVE TREE COVER,
ANTENNAS NOT VISIBLE AT THIS LOCATION.

NORTHWEST BUILDING ELEVATION-WADDELL ST. AND WILLIAM ST. (300' +/- FROM CASA MARINA HOTEL)

PHOTO SIMULATION-CASA MARINA-1500 REYNOLDS STREET, KEY WEST, FLORIDA

APPLICANT/OWNER:



777 YAMATO ROAD, SUITE 600
BOCA RATON, FLORIDA 33431

PROJECT NAME AND LOCATION:

CASA MARINA
VERIZON SITE #62335
1500 REYNOLDS STREET
KEY WEST, FL 33040

PROJECT ENGINEER



WAYPOINT

ENGINEERING AND EQUIPMENT LLC
820 W. INDIANTOWN ROAD, SUITE 105
JUPITER, FLORIDA 33458
PHONE: 561-252-1220
FLORIDA CA#29673

ENGINEER SEAL

RUSSELL C. MORRISON, P.E.
FLORIDA P.E. #51567

DATE OF ISSUE

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CMO RCM RCM

APPROVING AGENCY

CITY OF KEY WEST, FLORIDA

BUILDING CODE

2010 FLORIDA BUILDING CODE

SHEET TITLE

PHOTO SIMULATION
EXHIBIT

SHEET NUMBER

A-2B



NORTHWEST BUILDING ELEVATION-CASA MARINA GUEST PARKING LOT (300' +/- FROM CASA MARINA HOTEL)

PHOTO SIMULATION-CASA MARINA-1500 REYNOLDS STREET, KEY WEST, FLORIDA

APPLICANT/OWNER:



777 YAMATO ROAD, SUITE 600
BOCA RATON, FLORIDA 33431

PROJECT NAME AND LOCATION:

CASA MARINA
VERIZON SITE #62335
1500 REYNOLDS STREET
KEY WEST, FL 33040

PROJECT ENGINEER



WAYPOINT

ENGINEERING AND EQUIPMENT LLC
820 W. INDIANTOWN ROAD, SUITE 105
JUPITER, FLORIDA 33458
PHONE: 561-252-1220
FLORIDA CA#29673

ENGINEER SEAL

RUSSELL C. MORRISON, P.E.
FLORIDA P.E. #51567

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APPROVING AGENCY

CITY OF KEY WEST, FLORIDA

BUILDING CODE

2010 FLORIDA BUILDING CODE

SHEET TITLE

PHOTO SIMULATION
EXHIBIT

SHEET NUMBER

A-2C



NORTHEAST AND NORTHWEST BUILDING ELEVATION-SEMINOLE ST. AND REYNOLDS ST. (400' +/- FROM CASA MARINA HOTEL)

PHOTO SIMULATION-CASA MARINA-1500 REYNOLDS STREET, KEY WEST, FLORIDA

APPLICANT/OWNER:



777 YAMATO ROAD, SUITE 600
BOCA RATON, FLORIDA 33431

PROJECT NAME AND LOCATION:

CASA MARINA
VERIZON SITE #62335
1500 REYNOLDS STREET
KEY WEST, FL 33040

PROJECT ENGINEER



WAYPOINT

ENGINEERING AND EQUIPMENT LLC
820 W. INDIANTOWN ROAD, SUITE 105
JUPITER, FLORIDA 33458
PHONE: 561-252-1220
FLORIDA CA#29673

ENGINEER SEAL

RUSSELL C. MORRISON, P.E.
FLORIDA P.E. #51567

DATE OF ISSUE

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ZONING DOCUMENTS

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CMO RCM RCM

APPROVING AGENCY

CITY OF KEY WEST, FLORIDA

BUILDING CODE

2010 FLORIDA BUILDING CODE

SHEET TITLE

PHOTO SIMULATION
EXHIBIT

SHEET NUMBER

A-2D



NORTHWEST BUILDING ELEVATION-ALBERTA ST. AND WASHINGTON ST. (600' +/- FROM CASA MARINA HOTEL)
 PHOTO SIMULATION-CASA MARINA-1500 REYNOLDS STREET, KEY WEST, FLORIDA

APPLICANT/OWNER:



777 YAMATO ROAD, SUITE 600
 BOCA RATON, FLORIDA 33431

PROJECT NAME AND LOCATION:

CASA MARINA
 VERIZON SITE #62335
 1500 REYNOLDS STREET
 KEY WEST, FL 33040

PROJECT ENGINEER



WAYPOINT

ENGINEERING AND EQUIPMENT LLC
 820 W. INDIANTOWN ROAD, SUITE 105
 JUPITER, FLORIDA 33458
 PHONE: 561-252-1220
 FLORIDA CA#29673

ENGINEER SEAL

RUSSELL C. MORRISON, P.E.
 FLORIDA P.E. #51567

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APPROVING AGENCY

CITY OF KEY WEST, FLORIDA

BUILDING CODE

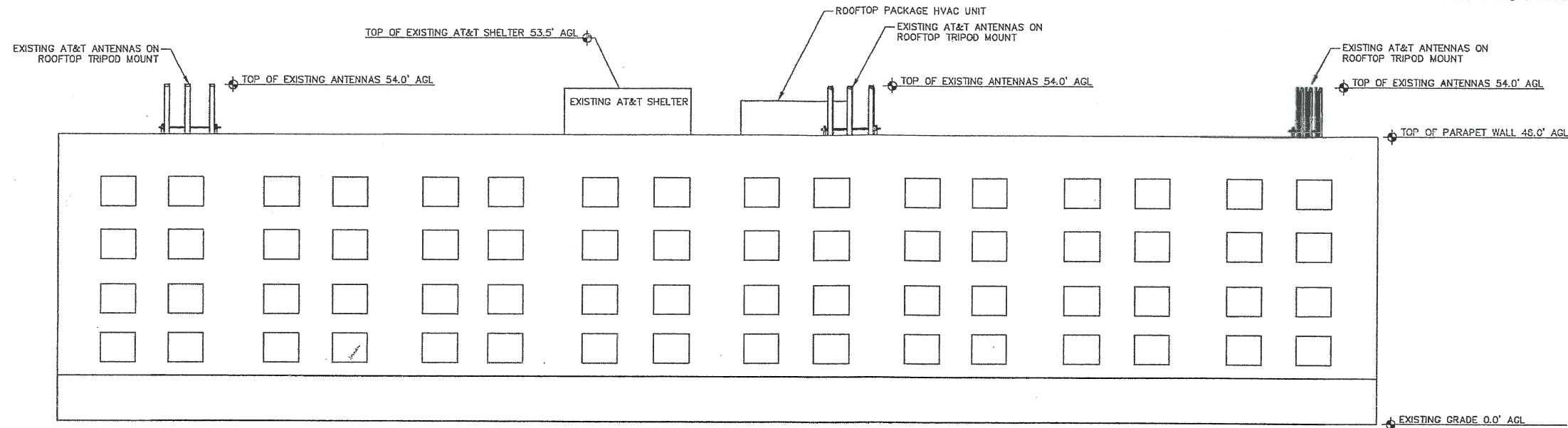
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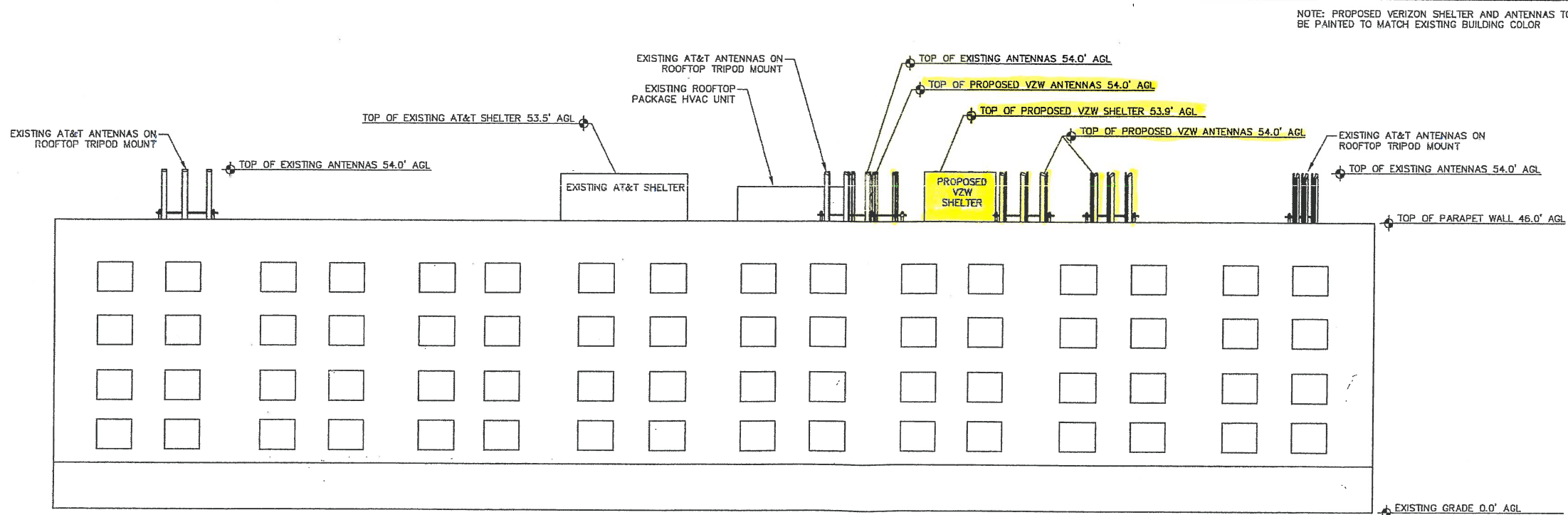
PHOTO SIMULATION
 EXHIBIT

SHEET NUMBER

A-2E



EXISTING NORTHWEST BUILDING ELEVATION



PROPOSED NORTHWEST BUILDING ELEVATION

BUILDING ELEVATIONS-CASA MARINA RESORT-1500 REYNOLDS STREET-KEY WEST, FLORIDA
 ROOF PLAN BASED ON INFORMATION PROVIDED BY PROPERTY OWNER

APPLICANT/OWNER:



777 YAMATO ROAD, SUITE 600
 BOCA RATON, FLORIDA 33431

PROJECT NAME AND LOCATION:

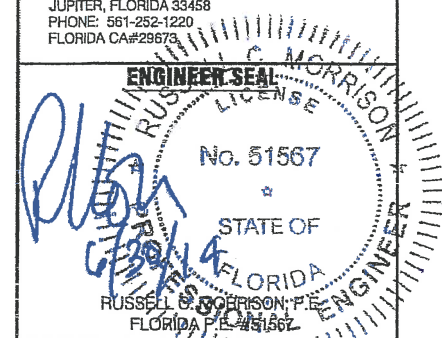
CASA MARINA
VERIZON SITE #62335
1500 REYNOLDS STREET
KEY WEST, FL 33040

PROJECT ENGINEER



WAYPOINT

ENGINEERING AND EQUIPMENT LLC
 820 W. INDIANTOWN ROAD, SUITE 105
 JUPITER, FLORIDA 33458
 PHONE: 561-252-1220
 FLORIDA CA#29673



DATE OF ISSUE

JUNE 26, 2014

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SUBMITTALS

REV. DATE DESCRIPTION

REV.	DATE	DESCRIPTION

PROJECT NUMBER

L201403-09

DRAWN BY CHECKED APPROVED

KJM KJM RCM

APPROVING AGENCY

CITY OF KEY WEST, FLORIDA

BUILDING CODE

2010 FLORIDA BUILDING CODE

SHEET TITLE

NORTHWEST BUILDING ELEVATION
 PLAN

SHEET NUMBER

A-2A

APPLICANT/OWNER:



777 YAMATO ROAD, SUITE 600
BOCA RATON, FLORIDA 33431

PROJECT NAME AND LOCATION:

CASA MARINA
VERIZON SITE #62335
1500 REYNOLDS STREET
KEY WEST, FL 33040

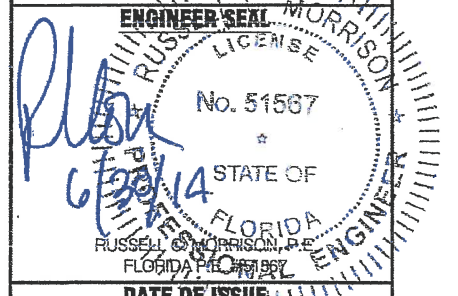
PROJECT ENGINEER



WAYPOINT

ENGINEERING AND EQUIPMENT LLC
820 W. INDIANTOWN ROAD, SUITE 105
JUPITER, FLORIDA 33458
PHONE: 561-252-1220
FLORIDA CA#29673

ENGINEER'S SEAL



DATE OF ISSUE

JUNE 30, 2014

ISSUED FOR

CONSTRUCTION PLANS

SUBMITTALS

REV.	DATE	DESCRIPTION

PROJECT NUMBER

E201403-09

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KJM KJM RCM

APPROVING AGENCY

CITY OF KEY WEST, FLORIDA

BUILDING CODE

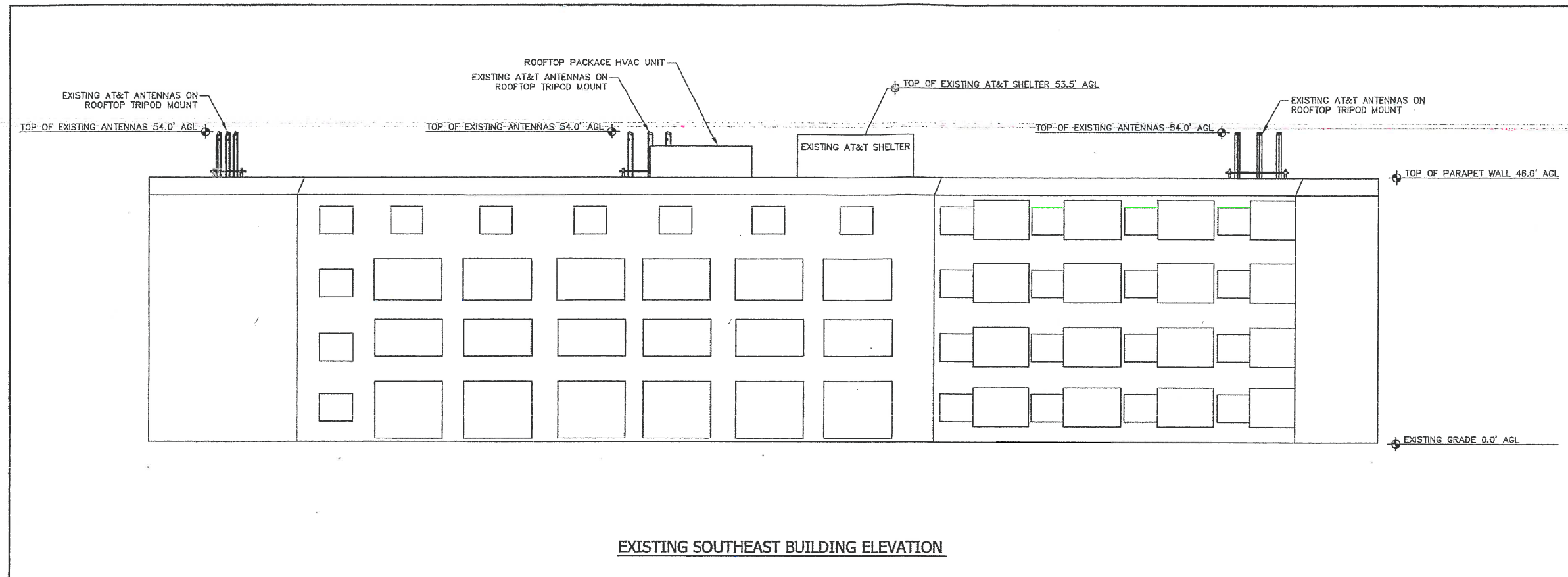
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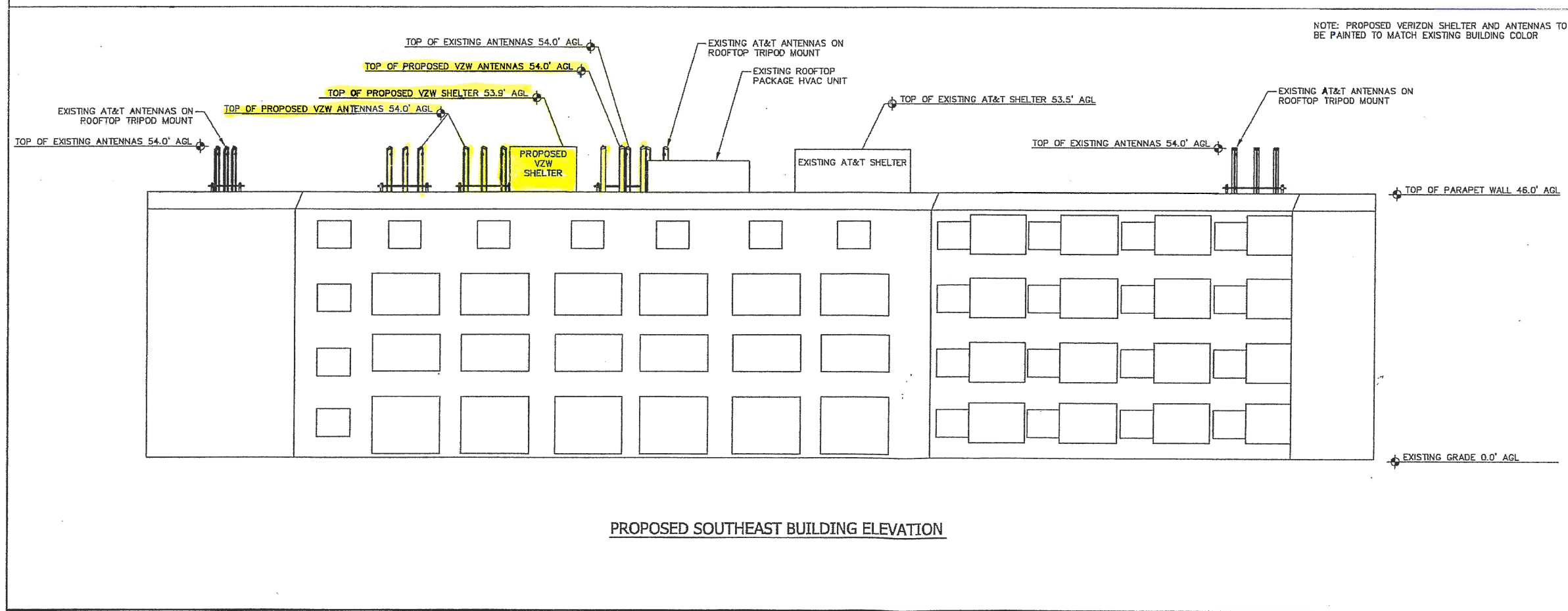
SOUTHEAST BUILDING ELEVATION
PLAN

SHEET NUMBER

A-2B



EXISTING SOUTHEAST BUILDING ELEVATION



PROPOSED SOUTHEAST BUILDING ELEVATION

NOTE: PROPOSED VERIZON SHELTER AND ANTENNAS TO BE PAINTED TO MATCH EXISTING BUILDING COLOR

BUILDING ELEVATIONS-CASA MARINA RESORT-1500 REYNOLDS STREET-KEY WEST, FLORIDA

ROOF PLAN BASED ON INFORMATION PROVIDED BY PROPERTY OWNER



715 SEMINOLE AVENUE



761 SEMINOLE AVENUE



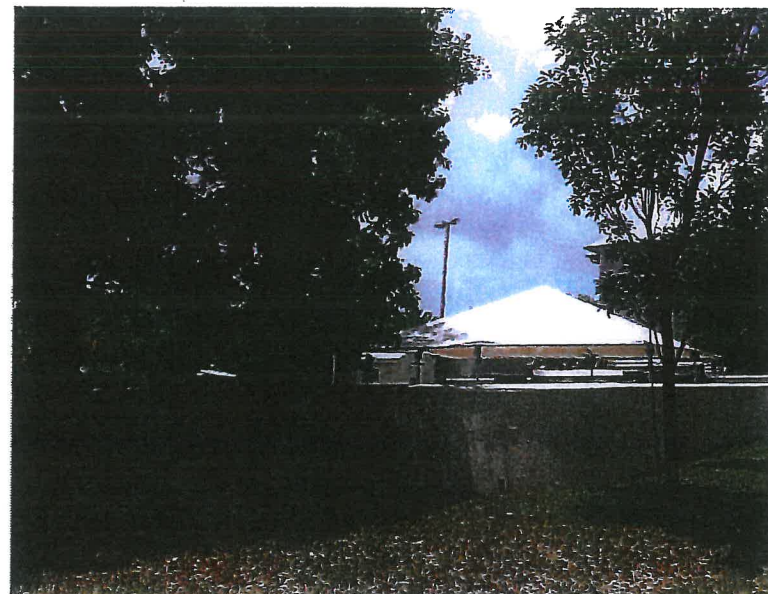
837 SEMINOLE AVENUE



850 SEMINOLE AVENUE



1500 ALBERTA STREET



1579 WILLIAM STREET

APPLICANT/OWNER:



777 YAMATO ROAD, SUITE 600
BOCA RATON, FLORIDA 33431

PROJECT NAME AND LOCATION:

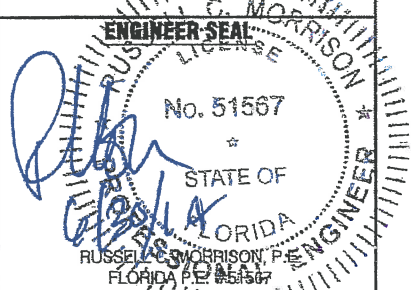
CASA MARINA
VERIZON SITE #62335
1500 REYNOLDS STREET
KEY WEST, FL 33040

PROJECT ENGINEER



WAYPOINT

ENGINEERING AND EQUIPMENT LLC
820 W. INDIANTOWN ROAD, SUITE 105
JUPITER, FLORIDA 33458
PHONE: 561-252-1220
FLORIDA CA#29673



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KJM KJM RCM

APPROVING AGENCY

CITY OF KEY WEST, FLORIDA

BUILDING CODE

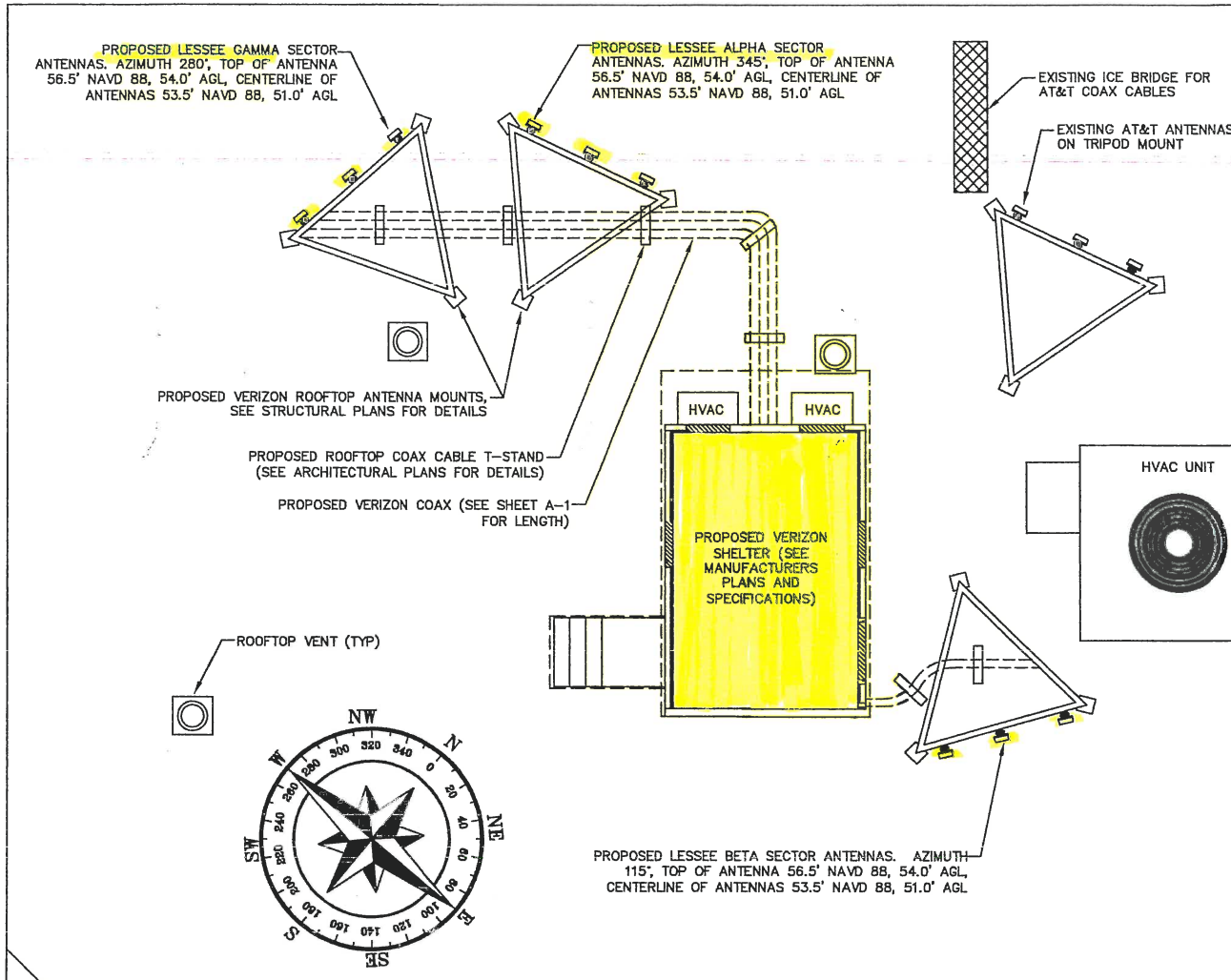
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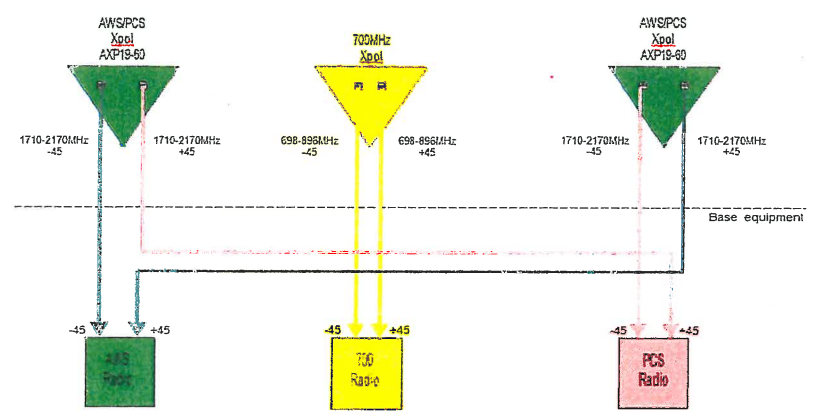
ADJACENT PROPERTIES
EXHIBIT

SHEET NUMBER

A-2C



ROOF PLAN-CASA MARINA-1500 REYNOLDS STREET, KEY WEST, FLORIDA NORTH



CONFIGURATION OPTION

RF CONFIGURATION PLAN-CASA MARINA-1500 REYNOLDS STREET, KEY WEST, FLORIDA

Proposed Config
PROPOSED CONFIGURATION

RF ENGINEERING ANTENNA SPECIFICATION SHEET

CELLULAR 800 MHz ANTENNA CONFIGURATIONS				
	ALPHA	BETA	GAMMA	
Antenna Quantity	1	1	1	
Antenna Model				
Antenna Orientation				
Antenna Centerline (feet AGL)				
Mechanical Down-Tilt (Deg.)				
Diplexer Model				
TMA Model				
Coaxial Type				
Coaxial Quantity				
Cell Site Number & PNs				

PCS 1900MHz ANTENNA CONFIGURATIONS				
	ALPHA	BETA	GAMMA	
Antenna Quantity	1	1	1	
Antenna Model	AXP19-60-2	AXP19-60-2	AXP19-60-2	
Antenna Orientation	345	115	280	
Antenna Centerline (feet AGL)	50	50	50	
Mechanical Down-Tilt (Deg.)	0	0	0	
Diplexer Model				
TMA Model				
Coaxial Type	1 5/8"	1 5/8"	1 5/8"	
Coaxial Quantity	2	2	2	
Cell Site Number & PNs				

LTE 700MHz ANTENNA CONFIGURATIONS				
	ALPHA	BETA	GAMMA	
Antenna Quantity	1	1	1	
Antenna Model	CSS X7-665-4	CSS X7-665-4	CSS X7-665-4	
Antenna Orientation	345	115	280	
Antenna Centerline (feet AGL)	-60- 51	-60- 51	-60- 51	
Mechanical Down-Tilt (Deg.)	0	0	0	
Diplexer Model				
TMA Model				
Coaxial Type	1 5/8"	1 5/8"	1 5/8"	
Coaxial Quantity	2	2	2	
DUL Quantity				
LTE Site Number & PNs				

LTE 2100MHz (AWS) ANTENNA CONFIGURATIONS				
	ALPHA	BETA	GAMMA	
Antenna Quantity	1	1	1	
Antenna Model	AXP19-60-2	AXP19-60-2	AXP19-60-2	
Antenna Orientation	345	115	280	
Antenna Centerline (feet AGL)	50	50	50	
Mechanical Down-Tilt (Deg.)	0	0	0	
Diplexer Model				
TMA Model				
Coaxial Type	1 5/8"	1 5/8"	1 5/8"	
Coaxial Quantity	2	2	2	
DUL Quantity				
AWS Site Number & PNs				

TECH TYPE: 70019002100
 ANTENNA: Adding 9 antennas/ 18 cables
 COAX: No diplexers.
 COMMENTS:

EQUIPMENT SUMMARY				
Total Number of Antennas:	0	CELLULAR (800MHz)	Total Number of Coaxial:	0
Total Number of Antennas:	3	PCS (1900MHz)	Total Number of Coaxial:	6
Total Number of Antennas:	3	LTE (700MHz)	Total Number of Coaxial:	6
Total Number of Antennas:	3	AWS (2100MHz)	Total Number of Coaxial:	6
TOTAL ANTENNA COUNT:	9	TOTAL	TOTAL COAXIAL COUNT:	18
Cellular Diplexers:	0	CELLULAR (800MHz)	Cellular Coaxial Size:	0
PCS Diplexers:	0	PCS (1900MHz)	PCS Coaxial Size:	1 5/8"
LTE Diplexers:	0	LTE (700MHz)	LTE Coaxial Size:	1 5/8"
AWS Diplexers:	0	AWS (2100MHz)	AWS Coaxial Size:	1 5/8"
TOTAL DIPLEXER COUNT:	0	COMBINER SET NEEDED AT BTS:		N/A

RF CONFIGURATION INFORMATION

- LINE AND ANTENNA NOTES:
- NORTH ARROW SHOWN ON SITE PLAN REFERS TO TRUE NORTH. CONTRACTOR SHALL VERIFY AND NOTIFY VERIZON OF ANY DISCREPANCY BEFORE COMMENCEMENT OF CONSTRUCTION.
 - ANTENNA AND COAX TO BE PROVIDED BY VERIZON WIRELESS, CONTRACTOR TO COORDINATE DELIVERY OF MATERIALS.
 - ALL THREADED STRUCTURAL FASTENERS FOR ANTENNA SUPPORT ASSEMBLIES TO CONFORM WITH ASTM A307 OR ASTM A36. ALL STRUCTURAL FASTENERS FOR STRUCTURAL STEEL FRAMING SHALL CONFORM WITH ASTM A325. ALL EXPOSED FASTENERS SHALL BE GALVANIZED UNLESS OTHERWISE NOTES.
 - PROVIDE LOCK WASHERS FOR ALL MECHANICAL CONNECTIONS FOR GROUND CONDUCTORS. USE STAINLESS STEEL HARDWARE THROUGHOUT.
 - THOROUGHLY REMOVE ALL PAINT AND CLEAN ALL DIRT FROM SURFACES REQUIRING GROUND CONNECTIONS.
 - MAKE ALL GROUND CONNECTIONS AS SHORT AND DIRECT AS POSSIBLE. ALL BENDS TO BE A MINIMUM OF 8" RADIUS.
 - FOR ALL EXTERNAL GROUND CONNECTIONS, APPLY A PROTECTIVE COATING OF ANTI-OXIDANT COMPOUND SUCH AS 'NO-OXIDE A' BY DEARBORN CHEMICAL COMPANY.
 - REPAIR ALL GALVANIZED AREAS DAMAGED BY THERMOWELDING. REPAIR WITH GOLD-GALV PAINT.

LINES AND ANTENNA NOTES

APPLICANT/OWNER:



777 YAMATO ROAD, SUITE 600
BOCA RATON, FLORIDA 33431

PROJECT NAME AND LOCATION:

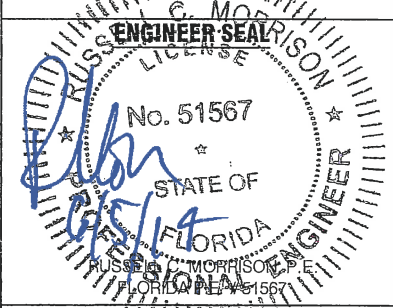
CASA MARINA
VERIZON SITE #62335
1500 REYNOLDS STREET
KEY WEST, FL 33040

PROJECT ENGINEER



WAYPOINT

ENGINEERING AND EQUIPMENT LLC
820 W. INDIANTOWN ROAD, SUITE 105
JUPITER, FLORIDA 33458
PHONE: 561-252-1220
FLORIDA LICENSE #1567



DATE OF ISSUE

JUNE 5, 2014

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CONSTRUCTION PLANS

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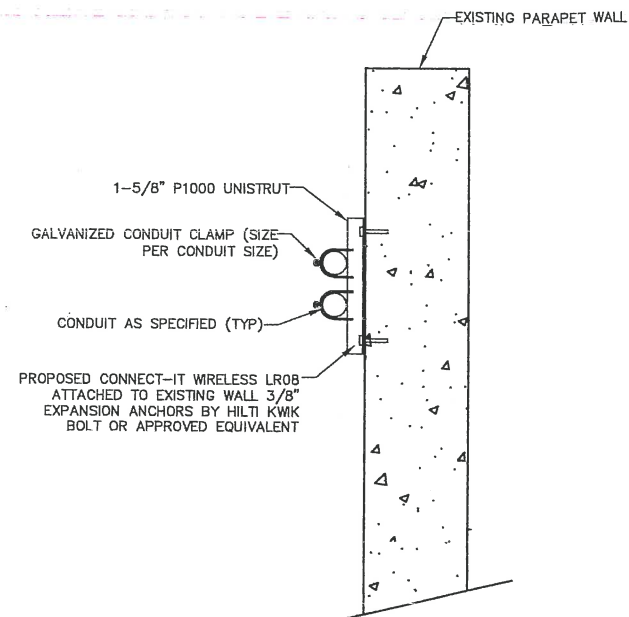
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KJM KJM RCM

APPROVING AGENCY
CITY OF KEY WEST, FLORIDA

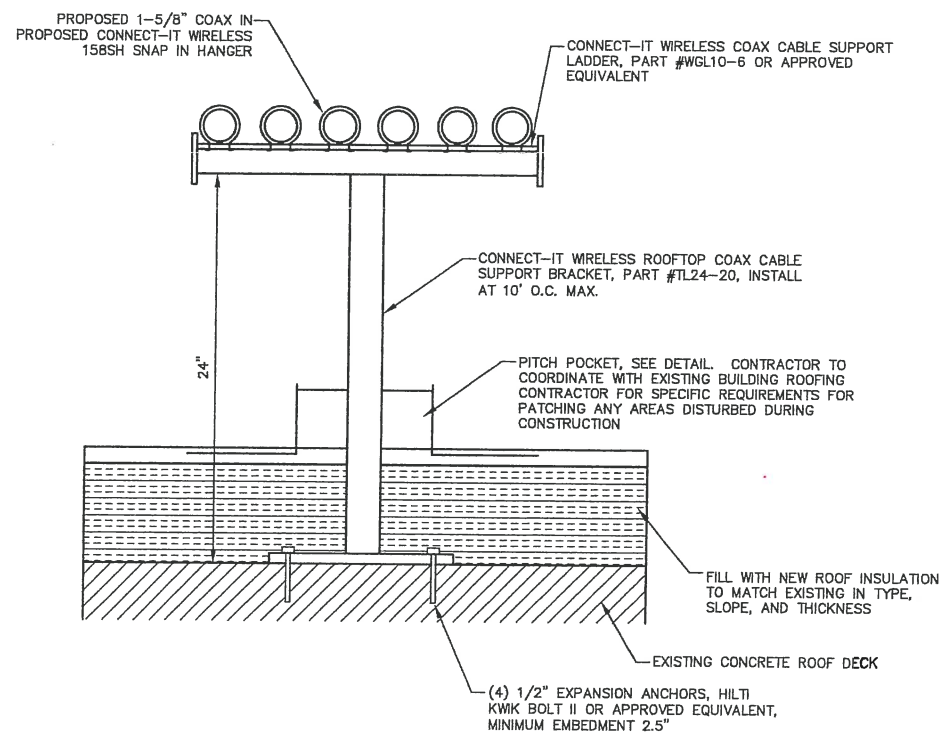
BUILDING CODE
2010 FLORIDA BUILDING CODE

SHEET TITLE
RF PLAN
ANTENNAS AND LINES

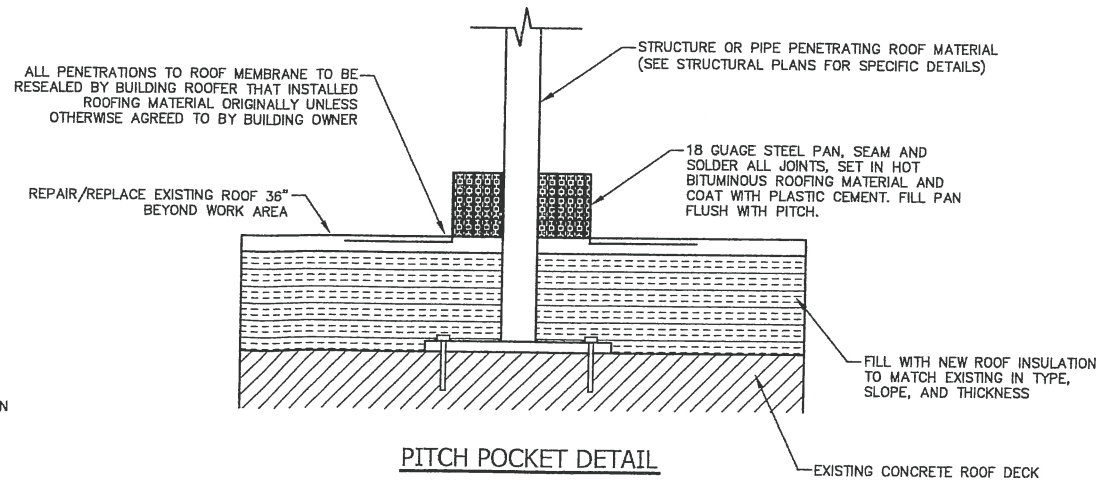
SHEET NUMBER
A-3



COAX CABLE MOUNT TO PARAPET WALL



ROOFTOP MOUNT CABLE SUPPORT



PITCH POCKET DETAIL

APPLICANT/OWNER:



777 YAMATO ROAD, SUITE 600
BOCA RATON, FLORIDA 33431

PROJECT NAME AND LOCATION:

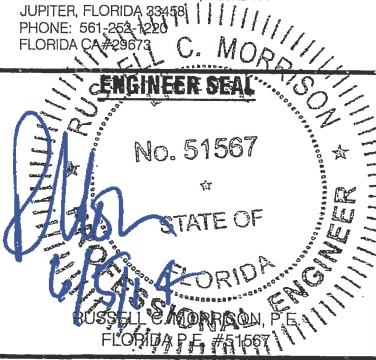
CASA MARINA
VERIZON SITE #62335
1500 REYNOLDS STREET
KEY WEST, FL 33040

PROJECT ENGINEER



WAYPOINT

ENGINEERING AND EQUIPMENT LLC
820 W. INDIANTOWN ROAD, SUITE 105
JUPITER, FLORIDA 33498
PHONE: 561-263-1220
FLORIDA CA#29673



DATE OF ISSUE

JUNE 5, 2014

ISSUED FOR

CONSTRUCTION PLANS

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REV.	DATE	DESCRIPTION

PROJECT NUMBER

L201403-09

DRAWN BY CHECKED APPROVED

KJM KJM RCM

APPROVING AGENCY

CITY OF KEY WEST, FLORIDA

BUILDING CODE

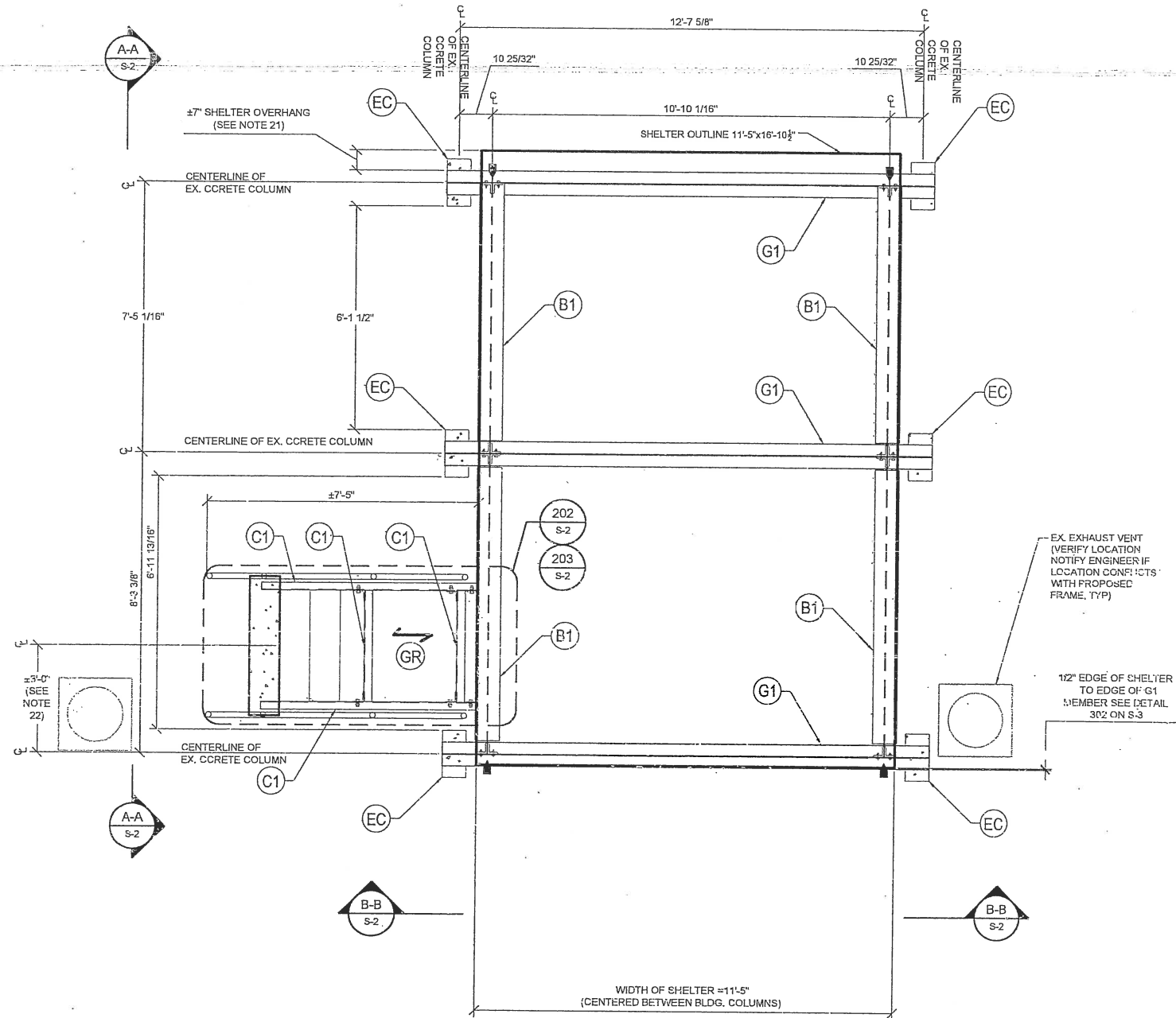
2010 FLORIDA BUILDING CODE

SHEET TITLE

CONSTRUCTION DETAILS

SHEET NUMBER

A-4



- LEGEND**
- (GR) MCNICHOLS GW(19W4) 1" x 3/4" GALVANIZED FINISH GRATING (INSTALL PER MANUFACTURER'S SPECIFICATIONS)
 - DIRECTION OF GRATING
 - (EC) EX. CONCRETE COLUMN, 7 1/2" x 15 5/8" W/ #45 VERTICLE REINFORCEMENT & #2 @ 12" O/C TIES
 - (G1) GIRDER, W10X33
 - (C1) CHANNEL C10x15.3
 - (B1) BEAM, W10X33
 - (P1) 5.0X PIPE
 - (P2) 3.0X PIPE
 - (A1) ANTENNA (SEE CIVIL PLANS FOR DETAILS)
 - (S1) SHELTER PERIMETER BEAM W16x31 (INCLUDED W/ SHELTER)
 - (HR) HAND RAIL (SEE DETAIL 307 ON S-3)
 - INSTALL STIFFENER (SEE DETAIL 203 ON S-2)

UNDERLYING STRUCTURAL SUPPORT FOR SHELTER - PLAN VIEW
SCALE: 1/2" = 1'-0"

- NOTES:**
- DESIGN: CONTRACTOR SHALL MEET THE REQUIREMENTS OF THE 2010 FLORIDA BUILDING CODE AND ANY OTHER LOCAL OR REGIONAL GOVERNING CODES DURING CONSTRUCTION.
 - WIND LOAD CRITERIA (ASCE 7-10):
STRUCTURAL FRAME:
 BASIC WIND SPEED = 185 MPH (3-SECOND GUST)
 STRUCTURAL CATEGORY = II
 WIND EXPOSURE = D
 MWFRS ENCLOSED BUILDING
 - STRUCTURAL STEEL:
MATERIAL - ALL STEEL MEMBERS SHALL CONFORM WITH THE FOLLOWING SPECIFICATIONS:
 PIPE SHAPES SHALL CONFORM TO ASTM A53 GRADE B (Fy = 35 ksi; Fu = 60 ksi)
 HSS SHAPES SHALL CONFORM TO ASTM A500 GRADE B (Fy = 46 ksi; Fu = 58 ksi)
 W SHAPES SHALL CONFORM WITH ASTM A992 (Fy=50ksi, Fu=65ksi)
 CHANNELS AND ANGLES SHALL CONFORM WITH ASTM A36 (Fy=36ksi, Fu=58ksi)
 PLATES SHALL CONFORM WITH ASTM A36 (Fy=36ksi, Fu=58ksi)
CONNECTIONS:
 DESIGN, FABRICATION, AND CONSTRUCTION SHALL CONFORM TO AISC MANUAL OF STEEL CONSTRUCTION, 14TH EDITION.
WELDING:
 SHALL BE DONE BY AN AWS CERTIFIED WELDER AND IN COMPLIANCE WITH AWS D1.1. ALL WELDS SIZES SHALL BE THE MAXIMUM ALLOWED BY THE MATERIAL BEING WELDED WITH E70XX ELECTRODE
GALVANIZED ASSEMBLIES:
 GALVANIZED HSS ASSEMBLIES SHOULD NOT BE COMPLETELY SEALED BECAUSE RAPID PRESSURE CHANGES DURING THE GALVANIZING PROCESS TEND TO BURST SEALED ASSEMBLIES.
 - SHELTER:
 THIS DESIGN IS BASED AN EMAIL PROVIDED BY JOHN IRVING AT CELLIXION A LIGHTWEIGHT 11'-5" x 16'-10 1/2" 3/4" x 11'-5" (LxWxH OVERALL) IS PROPOSED TO BE INSTALLED ON TOP OF THE SUBFRAME AS DETAILED IN THESE PLANS. THE SHELTER HAS A DEAD WEIGHT OF 22,000 LBS (SHELTER WEIGHT ONLY). THE SHELTER FLOOR HAS A W16x31 PERIMETER BEAM THAT IS PROPOSED TO BE DIRECTLY WELDED TO THE SUBFRAME. THE LIGHTWEIGHT SHELTER SHOP DRAWINGS MUST BE PROVIDED TO JWME PRIOR TO CONSTRUCTION SO THAT JWME MAY BE ABLE TO MODIFY ANY PARTS OF THE DESIGN THAT MAY CONFLICT WITH THESE PLANS.
 - ALL COMPONENTS SHALL BE PROTECTED FROM WEATHER EFFECTS. USE HOT DIP GALVANIZED MATERIAL OR PAINT AS APPROPRIATE. TOUCH UP ALL FIELD WELDS AND ABRADED AREAS WITH TWO COATS OF ACCEPTABLE PAINT. REPAIR OF ABRADED OR UNCOATED AREAS SHALL CONFORM TO ASTM A780-93A.
 - CONTRACTOR MAY PAINT GALVANIZED HSS MEMBERS IF REQUESTED BY THE CLIENT. CONTRACTOR SHALL COORDINATE WITH PROJECT MANAGER FOR COLOR SELECTION.
 - CONTRACTOR / STEEL FABRICATOR SHALL CAP OR SEAL ALL PIPES AS REQUIRED TO PREVENT RAINWATER INTRUSION.
 - CONTRACTOR / STEEL FABRICATOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO ANY STEEL FABRICATION. AT THE CONTRACTOR'S OPTION, FIELD SPLICES MAY BE USED FOR ERECTION PURPOSES. IF FIELD SPLICES ARE USED, THE SHOP DRAWINGS SHALL INCLUDE ALL DETAILS FOR THE PROPOSED FIELD SPLICES AND SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
 - AT THE CONTRACTORS OPTION, SHOP WELDS MAY BE USED INSTEAD OF FIELD WELDS
 - SUBMIT ORIGINAL SHOP DRAWINGS, INCLUDING COMPLETE DETAILS, SCHEDULES OF FABRICATION AND ASSEMBLY, PROCEDURES, AND DIAGRAMS. INCLUDE DETAILS OF CUTS, CONNECTIONS, CAMBER, HOLE, AND OTHER PERTINENT DATA. INDICATE WELDS BY STANDARD AWS A2.1 AND A2.4 SYMBOLS, AND SHOW SIZE, LENGTH, AND TYPE OF WELD. PROVIDE SETTING DRAWINGS, TEMPLATES, AND DIRECTIONS FOR INSTALLATION OF ANCHOR BOLTS AND OTHER ANCHORAGES TO BE INSTALLED AS WORK OF OTHERS' SECTIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ANY AREAS OF THE SITE AT THE CONTRACTOR'S EXPENSE THAT ARE DISTURBED AS A RESULT OF THE WORK ASSOCIATED WITH THE INSTALLATION OF THE PROPOSED IMPROVEMENTS
 - THE CONTRACTOR SHALL VERIFY PROPOSED STRUCTURAL LOCATIONS AND POTENTIAL CONFLICTS BEFORE BEGINNING CONSTRUCTION AND NOTIFY THE ENGINEER. DESIGN MODIFICATIONS MAY BE NECESSARY AS A RESULT.
 - CONTRACTOR SHALL VERIFY ALL DIMENSION PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWING SET AND EXISTING FIELD CONDITIONS.
 - JWME WAS NOT PROVIDED AN EXISTING DRAINAGE PLAN FOR THIS ROOF AND THEREFORE THE EXISTING DRAINAGE PATTERN IS UNKNOWN. THE CONTRACTOR MUST PROVIDE PROPER SLOPING AT AND AROUND SHELTER SO THAT THE EXISTING DRAINAGE PATTERN ON THE ROOF IS MAINTAINED. THIS MAY REQUIRE SOME MODIFICATION TO THE EXISTING ROOF. THE CONTRACTOR SHALL EVALUATE THE SITE PRIOR TO CONSTRUCTION AND NOTIFY JWME OF ANY POTENTIAL PROBLEMS. JWME WILL WORK WITH THE CONTRACTOR TO DEVELOP A PROPER DRAINAGE PLAN AS NECESSARY.
 - THIS DESIGN IS BASED ON INFORMATION PROVIDED TO JWME BY WAYPOINT ENGINEERING INCLUDING:
 - RECORD DRAWINGS BY PETER L. GLUCK ARCHITECT 80 FIFTH AVE. NEW YORK, NY 10011 & GEIGER BERGER ASSOCIATES, P.C. (STRUCTURAL ENGINEERS) 500 FIFTH AVE. NEW YORK, NY 10036 DATED 1978
 - PHOTOGRAPHS OF THE RECORD BUILDING DRAWINGS FROM SITE VISIT PERFORMED BY RUSSELL MORRISON OF WAYPOINT ENGINEERING, LLC ON 03/11/14
 - LIGHT WEIGHT SHELTER DESIGNED BY CELLIXION (JOHN IRVING, PE). INFORMATION ON THE OVERALL DIMENSIONS AND WEIGHT OF THIS SHELTER WERE PROVIDED IN AN EMAIL FROM MR. IRVING.
 - CONTRACTOR MUST COORDINATE ALL SITE IMPROVEMENTS WITH THE BUILDING OWNER AND CLIENT PROJECT MANAGER.
 - CONTRACTOR MUST VERIFY THE PROPOSED BASE PLATES ARE LOCATED DIRECTLY ABOVE THE UNDERLYING BUILDING'S CONCRETE COLUMNS AND THAT THE CONCRETE SLAB THICKNESS IS AS INDICATED. CONTRACTOR SHALL ALSO VERIFY THAT NO EXISTING REINFORCING STEEL IN THE UNDERLYING CONCRETE DECK AND COLUMN ARE COMPROMISED WITH THE PROPOSED IMPROVEMENTS. REPORT TO ENGINEER IF DIFFERENT.
 - FROM THE SITE PHOTOGRAPH IT IS UNDERSTOOD THERE ARE SOME EXHAUST VENTS NEAR THE PROPOSED SITE AREA. JWME WAS NOT PROVIDED AN AS-BUILT SURVEY OF THIS ROOF TOP AND ALL EQUIPMENT IS GENERALLY LOCATED. THE CONTRACTOR MUST VERIFY THAT THE EXISTING EXHAUST VENT IS NOT IN CONFLICT WITH THE PROPOSED SITE LAYOUT AND THAT ALL CLEARANCES ARE MAINTAINED ACCORDING TO THE FBC. THE CONTRACTOR MUST CONTACT THE ENGINEER IF THERE IS A PERCEIVED CONFLICT PRIOR TO CONSTRUCTION.
 - THE SHELTER'S PERIMETER BEAM IS NOT LOCATED ON TOP OF THE UNDERLYING GIRDER DUE TO THE SHELTER LENGTH.
 - STAIRWELL MUST BE CENTERED ON SHELTER DOOR AND PROVIDE PROPER INGRESS AND EGRESS ACCESS TO SHELTER. NOTIFY ENGINEER IF SHELTER DRAWINGS CONFLICT WITH PROPOSED STAIRWELL. MODIFICATIONS MAY BE NECESSARY.

APPLICANT/OWNER:

 14055 RIVEREDGE DRIVE, SUITE 600
 TAMPA, FLORIDA 33637

PROJECT NAME AND LOCATION:
CASA MARINA
VERIZON SITE #62335
 1500 REYNOLDS STREET
 KEY WEST, FL 33040

PROJECT ENGINEER

 ENGINEERING AND EQUIPMENT LLC
 820 W. INDIANTOWN ROAD, SUITE 105
 JUPITER, FLORIDA 33459
 PHONE: 561-744-2211
 FLORIDA 0429975

PROFESSIONAL ENGINEER SEAL
 JOHN WAYNE MISHOE
 No. 25349
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 STRUCTURAL ENGINEER
 WAYPOINT ENGINEERING, LLC
 14055 RIVEREDGE DRIVE, SUITE 600
 TAMPA, FLORIDA 33637
 P. 813-992-2211
 F. 561-744-2211
 E. jwm@waypointeng.com
 EXP. 03/31/2014

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SUBMITTALS

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 SMB JWM RCM

APPROVING AGENCY
 CITY OF KEY WEST, FLORIDA

BUILDING CODE
 2010 FLORIDA BUILDING CODE

SHEET TITLE
 STRUCTURAL PLAN
 AND SECTION

SHEET NUMBER
 S-1

VERIFY SCALES
 1/4" = 1'-0" FROM ORIGINAL DRAWING
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

APPLICANT/OWNER:



14055 RIVEREDGE DRIVE, SUITE 600
TAMPA, FLORIDA 33637

PROJECT NAME AND LOCATION:

CASA MARINA
VERIZON SITE #62335
1500 REYNOLDS STREET
KEY WEST, FL 33040

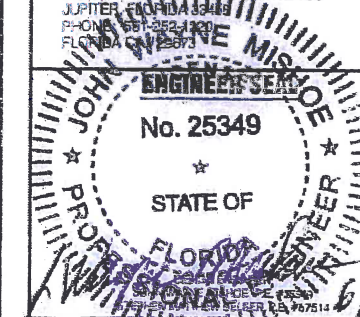
PROJECT ENGINEER

NSI 432 12



WAYPOINT

ENGINEERS AND EQUIPMENT LLC
520 W. INDIANTOWN ROAD, SUITE 105
JUPITER, FLORIDA 33450
PHONE: 561-252-1100
FLORIDA LICENSE # 12073



ENGINEER SEAL

No. 25349

STATE OF

STRUCTURAL ENGINEER:



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SMB JWM RCM

APPROVING AGENCY

CITY OF KEY WEST, FLORIDA

BUILDING CODE

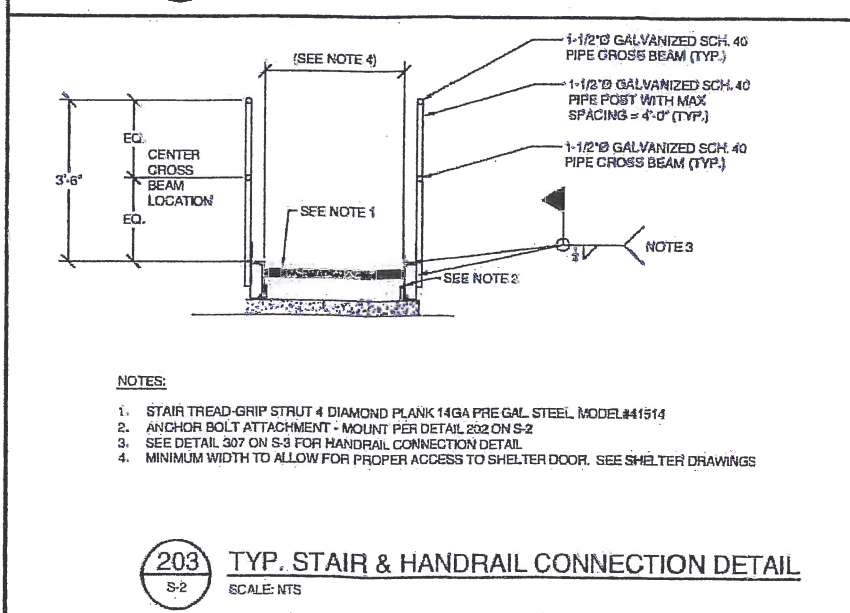
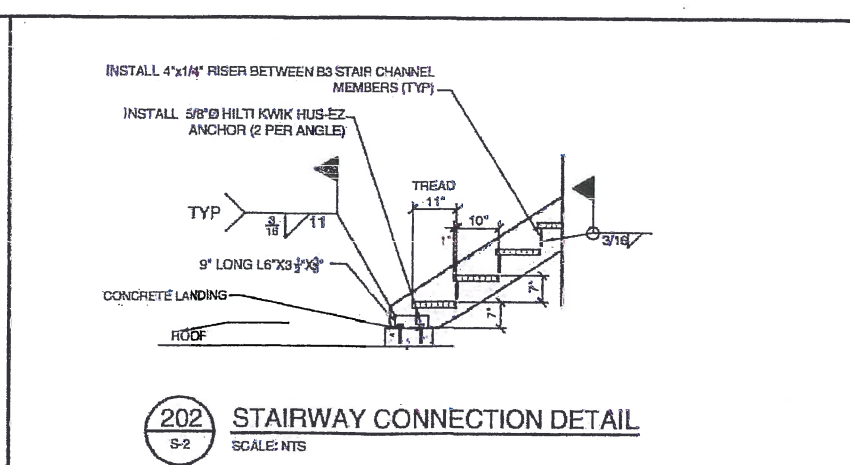
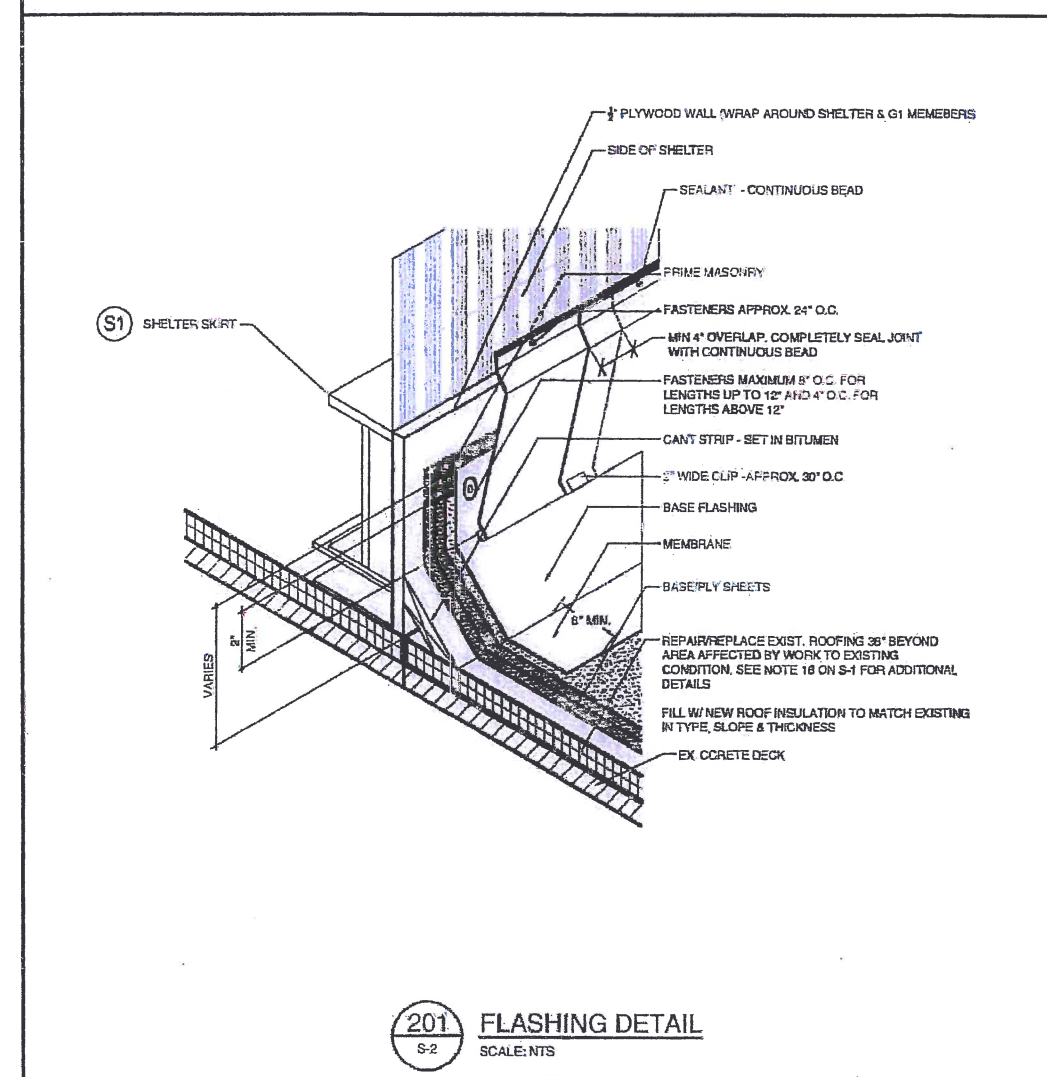
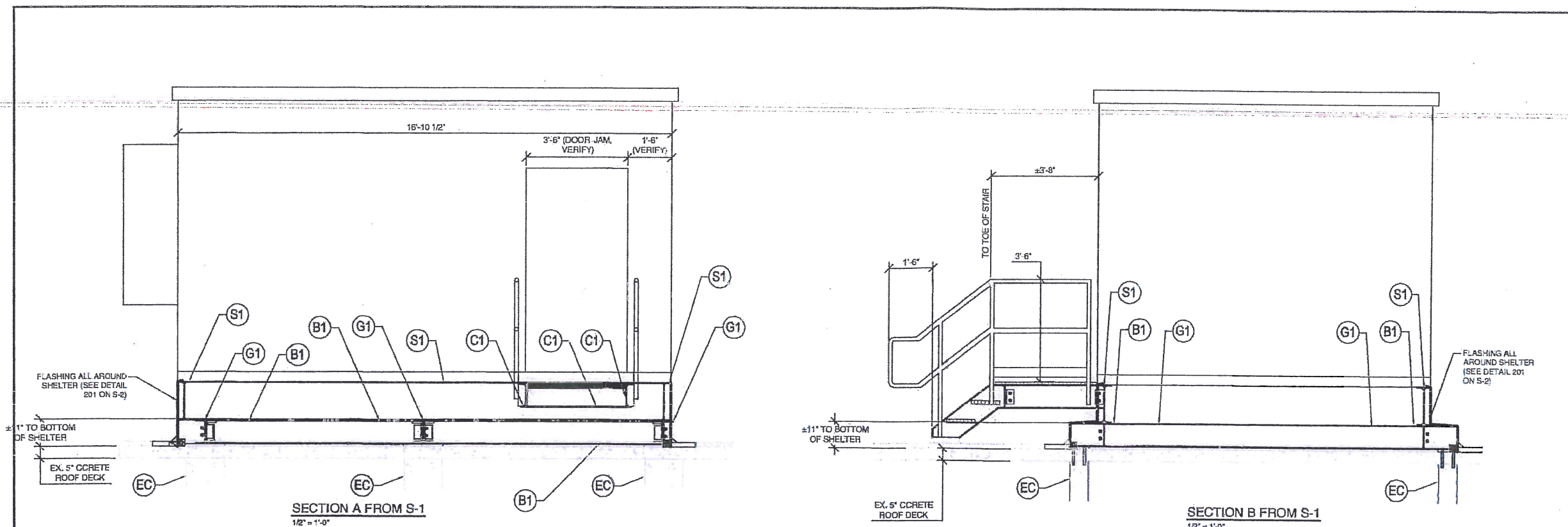
2010 FLORIDA BUILDING CODE

SHEET TITLE

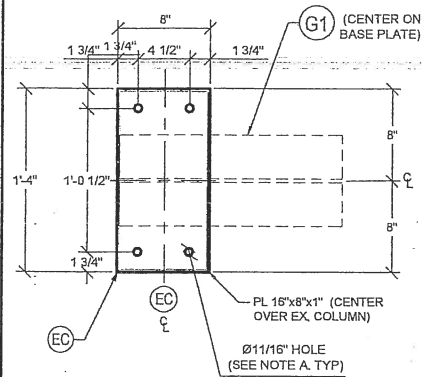
SHELTER SECTIONS
AND DETAILS

SHEET NUMBER

S-2



- LEGEND**
- (GR) MCNICHOLS GW(19W4) 1" x 1/2" GALVANIZED FINISH GRATING (INSTALL PER MANUFACTURER'S SPECIFICATIONS)
 - DIRECTION OF GRATING
 - (EC) EX. CONCRETE COLUMN, 7 1/2" x 15 3/8" W/ #85 VERTICLE REINFORCEMENT & #2 @ 72" O/C TIES
 - (G1) GIRDER, W10x33
 - (C1) CHANNEL C10x15.3
 - (B1) BEAM, W10x33
 - (P1) 5.0X PIPE
 - (P2) 3.0X PIPE
 - (A1) ANTENNA (SEE CIVIL PLANS FOR DETAILS)
 - (S1) SHELTER PERIMETER BEAM W10x31 (INCLUDED W/ SHELTER)
 - (HR) HAND RAIL (SEE DETAIL 307 ON S-3)
 - ▶ INSTALL STIFFENER (SEE DETAIL 203 ON S-2)

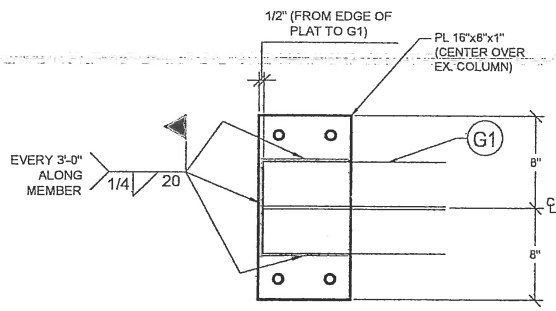


BASE PLATE
NTS

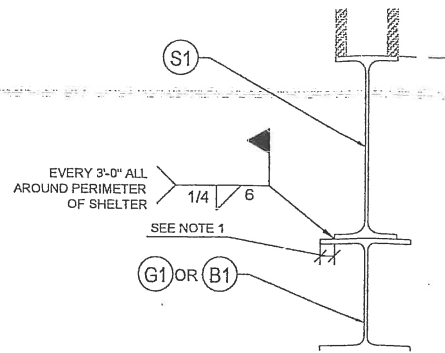
NOTES FOR DETAIL 301:

- A. INSTALL 5/8 HILTI HAS B7 CARBON STEEL THREADED ROD WITH HILTI HIT-ZY 200 SAFE SET SYSTEM EPOXY WITH MINIMUM EMBEDMENT DEPTH OF 4"
- B. CENTER BASE PLATE OVER EXISTING COLUMN (TYP)

301 BASE PLATE CONNECTION DETAIL
S-3 SCALE: NTS



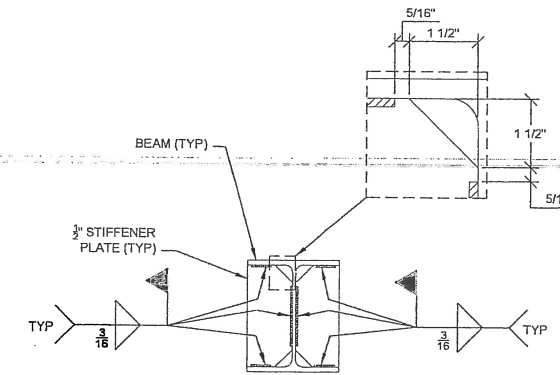
G1 TO BASE PLATE CONNECTION
NTS



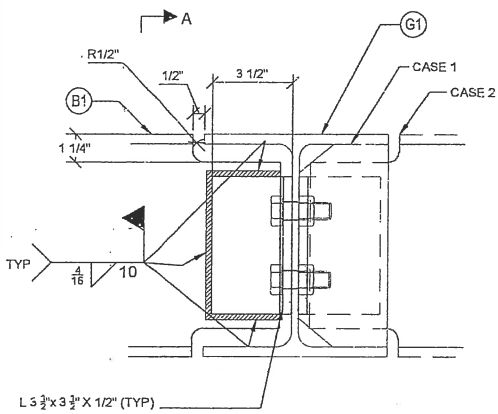
NOTES FOR DETAIL 302:

- A. ALIGN B1 SO THAT 1/2" GAP IS AVAILABLE FOR WELDING.

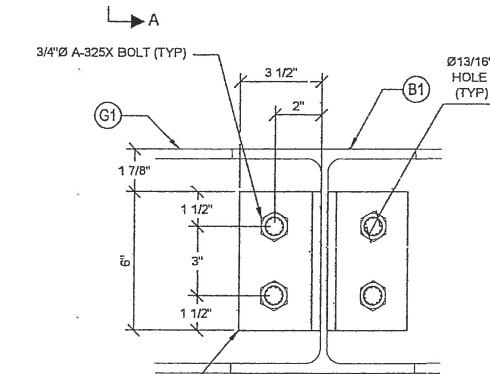
302 SHELTER CONNECTION DETAIL
S-3 SCALE: NTS



303 STIFFENER PLATE DETAIL
S-3 SCALE: NTS



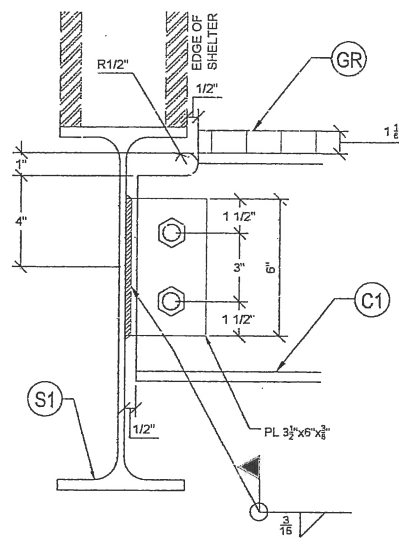
L 3 1/2" x 3 1/2" X 1/2" (TYP)



SECTION A-A
NTS

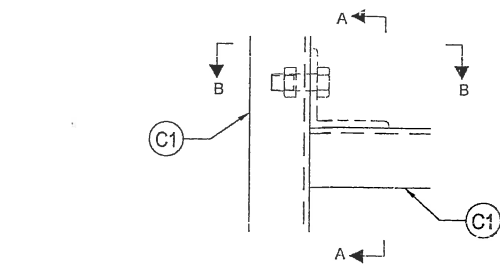
CASE 1 - ADD STIFFENER ON OPPOSITE SIDE OF ANY SINGLE BEAM
CASE 2 - OPPOSITE BEAM PRESENT

304 B1 TO G1 CONNECTION
S-3 SCALE: NTS

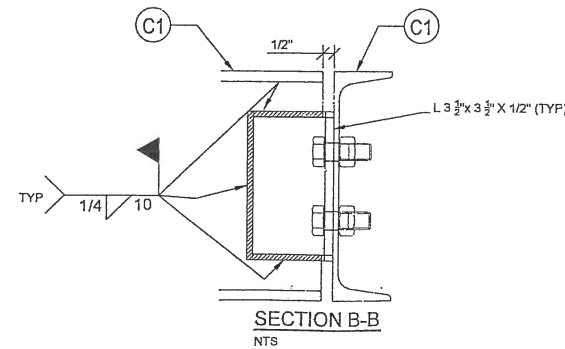


NOTE:
FIELD VERIFY PROPER DOOR SWING IS PROVIDED

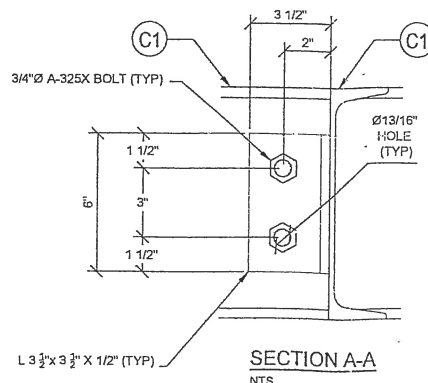
305 C1 TO S1 CONNECTION
S-3 SCALE: NTS



PLAN VIEW
NTS

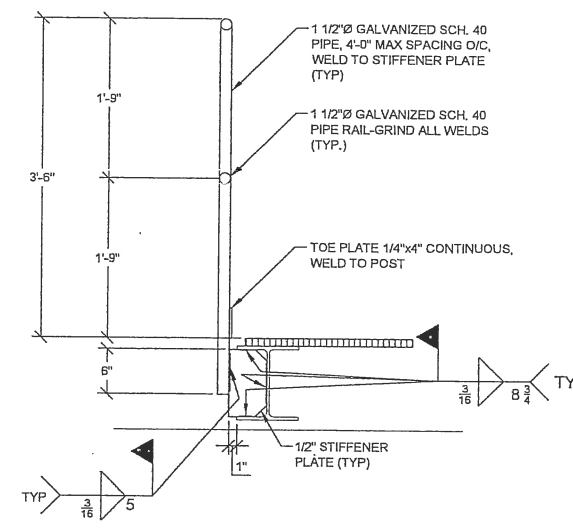


SECTION B-B
NTS



SECTION A-A
NTS

306 C1 TO C1 CONNECTION
S-3 SCALE: NTS



307 HANDRAIL DETAIL
S-3 SCALE: NTS

LEGEND

- GR MCNICHOLS GW(19W4) 1" x 3" GALVANIZED FINISH GRATING (INSTALL PER MANUFACTURER'S SPECIFICATIONS)
- DIRECTION OF GRATING
- EC EX. CONCRETE COLUMN, 7 3/8" x 15 3/8" W/ #5 VERTICLE REINFORCEMENT & #2 @ 7" O/C TIES
- G1 GIRDER, W10X33
- C1 CHANNEL C10x15.3
- B1 BEAM, W10X33
- P1 5.0X PIPE
- P2 3.0X PIPE
- A1 ANTENNA (SEE CIVIL PLANS FOR DETAILS)
- S1 SHELTER PERIMETER BEAM W16x31 (INCLUDED W/ SHELTER)
- HR HAND RAIL (SEE DETAIL 307 ON S-3)
- ▶ INSTALL STIFFENER (SEE DETAIL 203 ON S-2)

APPLICANT/OWNER:



14055 RIVEREDGE DRIVE, SUITE 600
TAMPA, FLORIDA 33637

PROJECT NAME AND LOCATION:

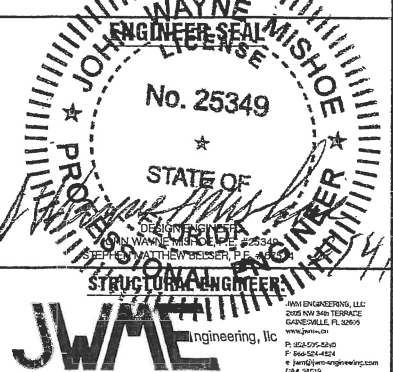
CASA MARINA
VERIZON SITE #62335
1500 REYNOLDS STREET
KEY WEST, FL 33040

PROJECT ENGINEER



WAYPOINT

ENGINEERING AND EQUIPMENT LLC
820 W. INDIANTOWN ROAD, SUITE 105
JUPITER, FLORIDA 33458
PHONE: 561-253-1111
FLORIDA CA # 20075



JWA Engineering, LLC
2005 NW 34th TERRACE
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F: 352-595-4824
E: jwa@jwa-engineering.com
CA# 25219

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SMB JWM RCM

APPROVING AGENCY

CITY OF KEY WEST, FLORIDA

BUILDING CODE

2010 FLORIDA BUILDING CODE

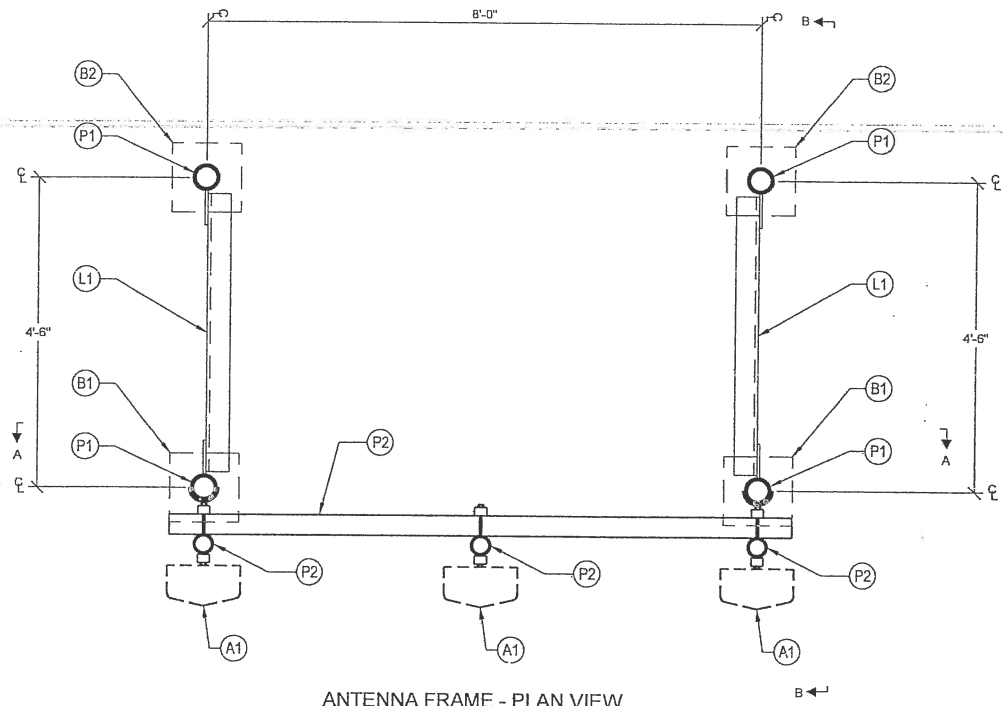
SHEET TITLE

STRUCTURAL DETAILS

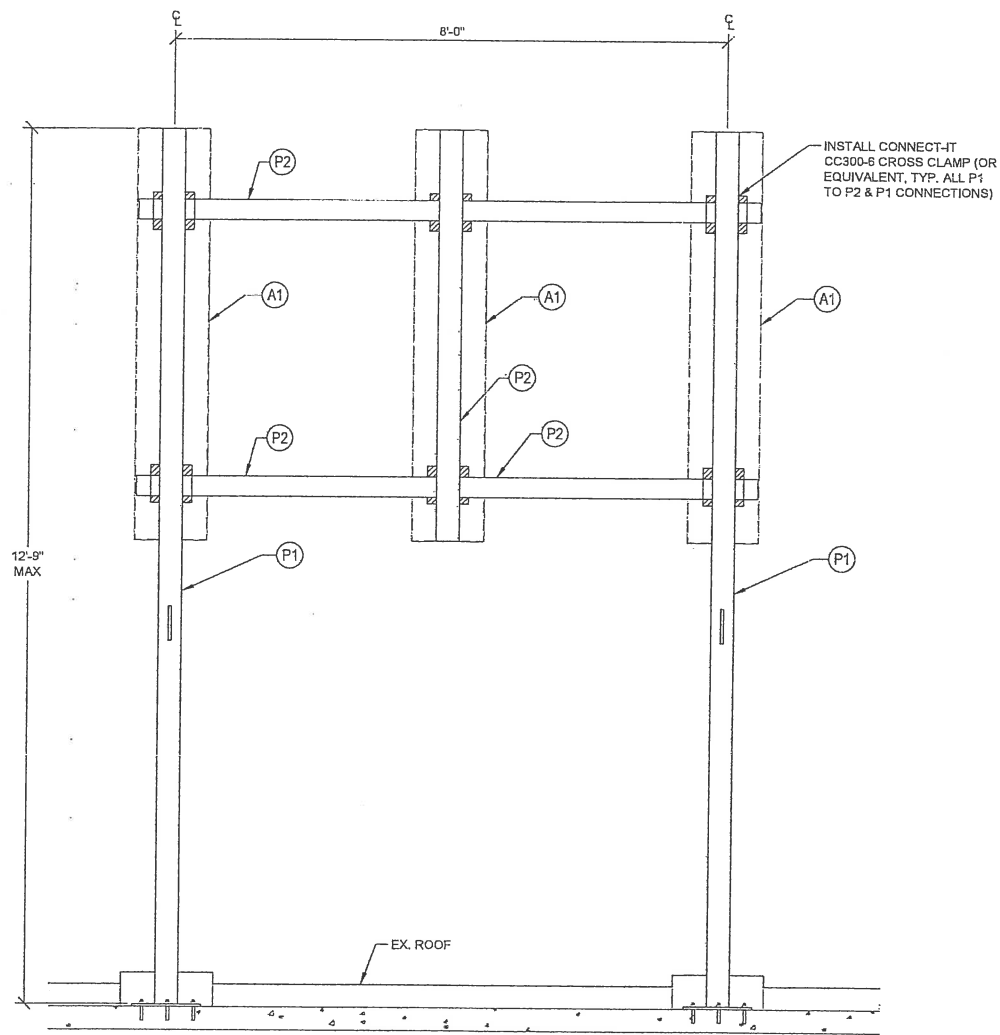
SHEET NUMBER

S-3

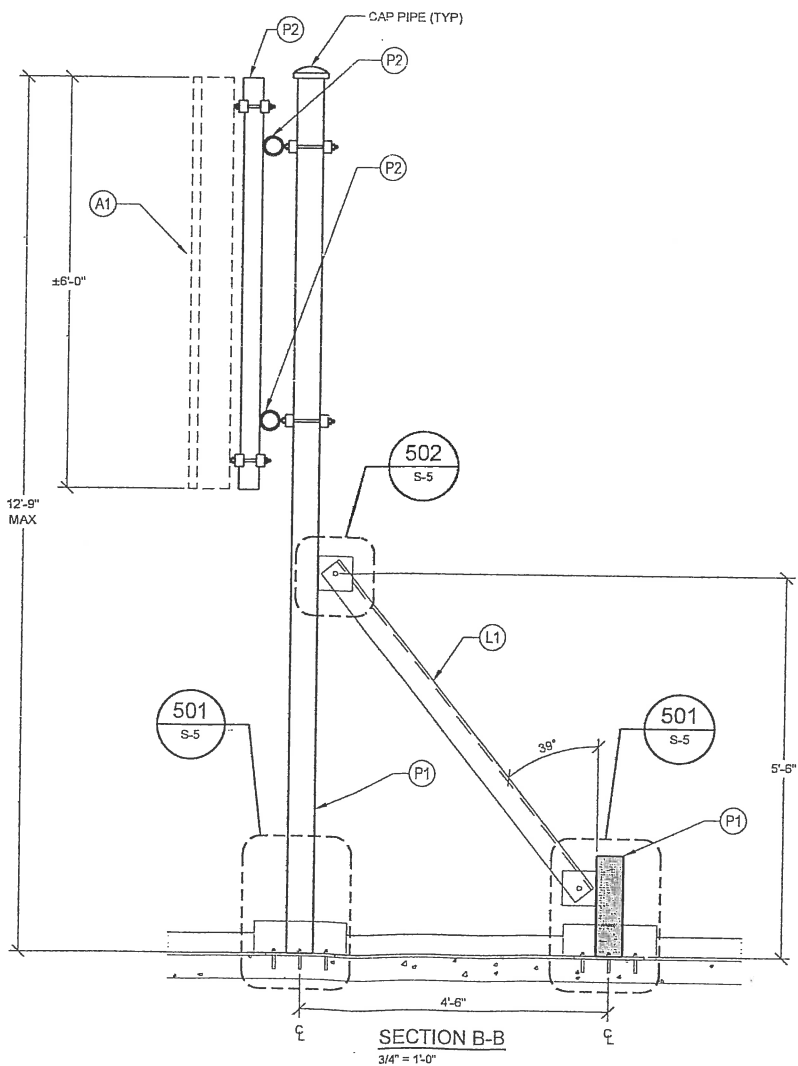
VERIFY SCALES
BASE IS ONE INCH ON
ORIGINAL DRAWING
IF NOT ONE INCH ON
THIS SHEET, ADJUST
SCALES ACCORDINGLY.



ANTENNA FRAME - PLAN VIEW
3/4" = 1'-0"



SECTION A-A
3/4" = 1'-0"



SECTION B-B
3/4" = 1'-0"

LEGEND

- (GR) MCNICHOLS GW(19W4) 1" x 1" GALVANIZED FINISH GRATING (INSTALL PER MANUFACTURER'S SPECIFICATIONS)
- DIRECTION OF GRATING
- (EC) EX. CONCRETE COLUMN, 7' 8" x 15' 8" W/ 4#5 VERTICLE REINFORCEMENT & #2 @ 72" O/C TIES
- (G) GIRDER, W10X33
- (C) CHANNEL C10x15.3
- (B) BEAM, W10X33
- (P1) 5.0X PIPE
- (P2) 3.0X PIPE
- (A) ANTENNA (SEE CIVIL PLANS FOR DETAILS)
- (S1) SHELTER PERIMETER BEAM W16x31 (INCLUDED W/ SHELTER)
- (HR) HAND RAIL (SEE DETAIL 307 ON S-3)
- ▶ INSTALL STIFFENER (SEE DETAIL 203 ON S-2)

APPLICANT/OWNER:



14055 RIVEREDGE DRIVE, SUITE 600
TAMPA, FLORIDA 33637

PROJECT NAME AND LOCATION:

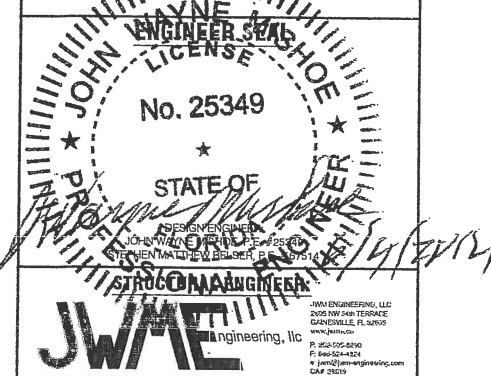
CASA MARINA
VERIZON SITE #62335
1500 REYNOLDS STREET
KEY WEST, FL 33040

PROJECT ENGINEER



WAYPOINT

ENGINEERING AND EQUIPMENT LLC
820 W. INDIANTOWN ROAD, SUITE 105
JUPITER, FLORIDA 33458
PHONE: 561-252-1230
FLORIDA 04133613



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SMB JWM RCM

APPROVING AGENCY

CITY OF KEY WEST, FLORIDA

BUILDING CODE

2010 FLORIDA BUILDING CODE

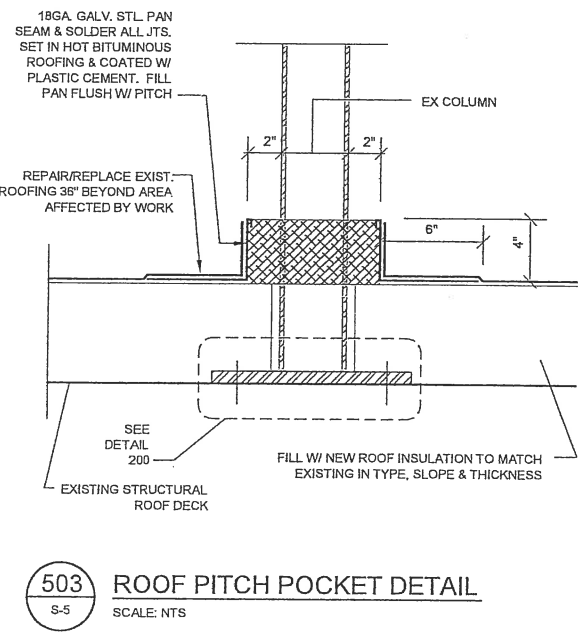
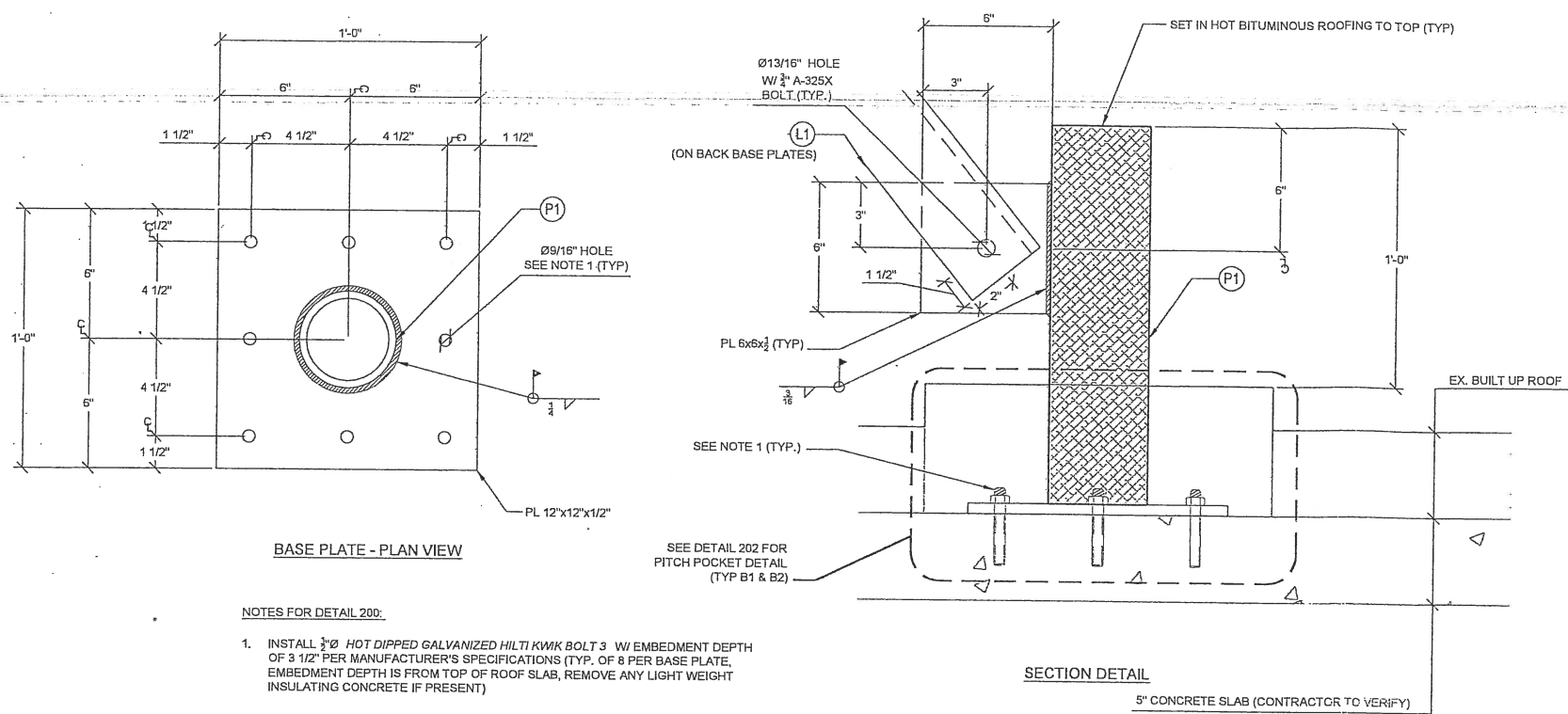
SHEET TITLE

ANTENNA FRAME
PLAN & SECTIONS

SHEET NUMBER

S-4

VERIFY SCALES
BASED ON ONE INCH ON
ORIGINAL DRAWING
IF NOT ONE INCH ON
THIS SHEET, ADJUST
SCALES ACCORDINGLY.



- LEGEND**
- (GR) MCNICHOLS GW(19W4) 1" x 1/4" GALVANIZED FINISH GRATING (INSTALL PER MANUFACTURER'S SPECIFICATIONS)
 - DIRECTION OF GRATING
 - (EC) EX. CONCRETE COLUMN, 7 1/2" X 15 1/8" W/ #5 VERTICAL REINFORCEMENT & #2 @ 72" O/C TIES
 - (G1) GIRDER, W10X33
 - (C1) CHANNEL C10x15.3
 - (B1) BEAM, W10X33
 - (P1) 5.0X PIPE
 - (P2) 3.0X PIPE
 - (A1) ANTENNA (SEE CIVIL PLANS FOR DETAILS)
 - (S1) SHELTER PERIMETER BEAM W16x31 (INCLUDED W/ SHELTER)
 - (HR) HAND RAIL (SEE DETAIL 307 ON S-3)
 - INSTALL STIFFENER (SEE DETAIL 203 ON S-2)

APPLICANT/OWNER:

 14055 RIVEREDGE DRIVE, SUITE 600
 TAMPA, FLORIDA 33637

PROJECT NAME AND LOCATION:
 CASA MARINA
 VERIZON SITE #62335
 1500 REYNOLDS STREET
 KEY WEST, FL 33040

PROJECT ENGINEER

 ENGINEERING AND EQUIPMENT LLC
 820 W. INDIANTOWN ROAD, SUITE 105
 JUPITER, FLORIDA 33458
 PHONE: 561-252-1220
 FLORIDA CA#29673

PROFESSIONAL ENGINEER SEAL
 JOHN WAYNE MISHOE
 LICENSE No. 25349
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 JOHN WAYNE MISHOE, P.E. #25349
 STEPHEN MATTHEW BELSER, P.E. #17616
 JWM ENGINEERING, LLC
 1900 NW 34th TERRACE
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 F: 904-521-4524
 www.jwmeng.com
 CMA 2014

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APPROVING AGENCY
 CITY OF KEY WEST, FLORIDA

BUILDING CODE
 2010 FLORIDA BUILDING CODE

SHEET TITLE
 ANTENNA DETAILS

SHEET NUMBER
 S-5

VERIFY SIZES
 BAR IS ONE INCH OR
 ORIGINAL DIMENSION
 IF NOT ONE INCH OR
 THIS SHEET ADJUST
 SIZES ACCORDINGLY.

ELECTRICAL SYSTEM NOTES

1. GENERAL

- A. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL AND LABOR FOR A COMPLETE ELECTRICAL SYSTEM AS INDICATED ON THE DRAWINGS. ITEMS NOT SHOWN BUT OBVIOUSLY NECESSARY FOR A COMPLETE SYSTEM SHALL BE INCLUDED.
- B. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, INSPECTIONS AND APPROVALS.
- C. ALL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE AND THE LOCAL BUILDING CODES. ALL COMPONENTS SHALL BE U.L. APPROVED.
- D. THE CONTRACTOR SHALL BEFORE SUBMITTING HIS BID, VISIT THE SITE OF THE PROJECT AND BECOME FAMILIAR WITH THE CONDITIONS. NO ALLOWANCE WILL BE MADE FOR EXISTING CONDITIONS OR FAILURE OF THE CONTRACTOR TO OBSERVE THEM.
- E. EXACT LOCATION OF ALL EQUIPMENT SHALL BE COORDINATED WITH WIRELESS CARRIER, THE BUILDING OWNER AND OTHER TRADES.
- F. WHERE EQUIPMENT IS SPECIFIED BY MANUFACTURER AND TYPE, SUBSTITUTION SHALL ONLY BE MADE WITH THE APPROVAL OF THE ENGINEER. THE CONTRACTOR SHALL SUBMIT DETAILS OF PROPOSED MATERIALS, REASON FOR CHANGE AND CHANGE IN CONTRACT AMOUNT.

2. SCOPE OF WORK

- A. THE CONTRACTOR SHALL PROVIDE ALL ELECTRICAL WIRING AND EQUIPMENT UNLESS OTHERWISE INDICATED. MAIN COMPONENTS ARE AS FOLLOWS:
 - 1. PROVIDE ELECTRICAL SERVICE AS INDICATED ON THE DRAWINGS.
 - 2. PROVIDE SERVICE EQUIPMENT MOUNTED AS DIRECTED BY CARRIER AND AS INDICATED ON THE DRAWINGS.

- 3. PROVIDE TELEPHONE CONDUIT WITH PULL WIRE AND CABLE AS INDICATED ON DRAWINGS.
- 4. COORDINATE ELECTRICAL SERVICE WITH POWER CO. CONTACT REPRESENTATIVE & OBTAIN FAULT CURRENT LETTER PRIOR TO CONSTRUCTION. CONTRACTOR SHALL MAKE ADJUSTMENTS TO CIRCUIT BREAKERS TO MEET FAULT CURRENT WHEN NOT USING CURRENT LIMITING FUSES.
- 5. COORDINATE TELEPHONE SERVICE WITH THE TELEPHONE CO. CONTACT REPRESENTATIVE PRIOR TO CONSTRUCTION.
- 6. INSTALL WIRE AND CONDUIT AS INDICATED. PROVIDE CABLE SUPPORTS AS INDICATED.
- 7. PROVIDE GROUNDING AND LIGHTNING PROTECTION SYSTEM AS INDICATED.
- 8. RESTORE ALL AREAS TO ORIGINAL CONDITION AFTER INSTALLATION OF CONDUIT.
- 9. CONTRACTOR SHALL CLEARLY LABEL DISCONNECTS AND OTHER RELATED GEAR.
- 10. AT TIME OF PLAN PERMITTING, CONTRACTOR SHALL APPLY FOR A THIRTY (30) DAY TEMPORARY POWER PERMIT FOR TESTING PURPOSES.

3. CONDUIT

- A. CONDUIT SIZES AS SHOWN ON THE DRAWINGS ARE A MINIMUM. THE CONTRACTOR MAY INCREASE AS REQUIRED FOR EASE OF PULLING.
- B. CONDUIT TYPES SHALL BE AS FOLLOWS UNLESS OTHERWISE INDICATED:
 - 1. ALL ABOVE GRADE CONDUIT SHALL BE RIGID GALVANIZED STEEL.
 - 2. ALL CONDUIT BELOW GRADE SHALL BE SCHEDULE 40 PVC.
 - 3. CONCEALED CONDUIT IN WALLS OR ABOVE CEILING SHALL BE EMT.
- C. ALL EXPOSED CONDUIT SHALL BE NEATLY INSTALLED AND RUN PARALLEL OR PERPENDICULAR TO STRUCTURAL ELEMENTS. SUPPORTS AND MOUNTING HARDWARE

SHALL BE HOT DIPPED GALVANIZED STEEL. NYLON INSULATED BUSHINGS SHALL BE USED ON ALL CONDUIT TERMINATIONS.

- D. FLEX CONDUIT SHALL BE LIQUID TIGHT FLEXIBLE METALLIC CONDUIT.
- E. NO CONDUIT SHALL BE INSTALLED IN LIFE SAFETY AREAS SUCH AS STAIRWAYS.
- F. CONDUIT ROUTES ARE SCHEMATIC. FIELD VERIFY ROUTE BEFORE BID. COORDINATE ROUTE WITH WIRELESS CARRIER AND BUILDING OWNER.
- G. WEATHERPROOF HUBS SHALL BE USED FOR ALL TOP AND SIDE PENETRATIONS TO ENCLOSURE LOCATED OUTDOORS.
- 4. CONDUCTORS
 - A. CONDUCTORS SHALL BE STRANDED COPPER TYPE THWN WITH 90 DEGREE C RISE INSULATION.
- 5. PULL BOXES AND JUNCTION BOXES
 - A. INTERIOR ENCL. SHALL BE NEMA 1. EXTERIOR ENCL. SHALL BE NEMA 3R.
- 6. GROUNDING
 - A. PROVIDE GROUND SYSTEM AS INDICATED ON THE DRAWINGS AND AS REQUIRED BY THE NATIONAL ELECTRIC CODE AND RADIO EQUIPMENT MANUFACTURER.
 - B. ALL RACEWAYS REQUIRE GROUNDING CONDUCTORS. BONDING CONDUCTORS THROUGH THE RACEWAY SYSTEM SHALL BE CONTINUOUS FROM MAIN SWITCH GROUND BUSES TO PANEL GROUND BARS, AND FROM PANEL GROUNDING BARS TO BRANCH CIRCUIT OUTLETS, MOTORS, LIGHTS, ETC. THESE GROUND CONDUCTORS ARE REQUIRED THROUGHOUT THE PROJECT REGARDLESS OF WHETHER CONDUIT RUNS SHOW GROUND CONDUCTORS ON THE DRAWINGS.
 - C. COORDINATE WITH ENCLOSURE SUPPLIER TO INSTALL TELCO GROUND BARS BELOW THE TELCO BOARD. CONNECT TO MAIN GROUNDING SYSTEM.

GROUNDING PROTECTION SYSTEM NOTES

- 1. PROVIDE "CABLE ENTRANCE GROUND BAR" (CEGB), 3"H x 6"L x 1/4"D. MOUNT AT TELCO CABINET. COORD. INSTALLATION WITH CPM.
- 2. PROVIDE A GROUND RING BURIED A MINIMUM OF 18" BELOW GRADE. THE GROUND RING SHALL BE INSTALLED A MINIMUM OF 2'-0" AWAY FROM THE FOUNDATION UNLESS SHOWN ON DRAWING.
- 3. BOND FENCE POST TO GROUND RING USING AN EXOTHERMIC WELD. BOND FENCE GATE TO POST WITH A FLEXIBLE COPPER JUMPER STRAP MECHANICALLY OR EXOTHERMICALLY. TYPICAL FOR ALL FENCE PLANES WITHIN 12 FEET OF TOWER FOUNDATION. FOR FENCE PLANES BEYOND 12', EXTEND 1#2 TO EACH FENCE PLANE TO ANY PLANES WITHIN 50'.
- 4. BOND DISCONNECT SWITCH, METER, TELEPHONE CABINET AND SERVICE CONDUITS TO BURIED GROUND RING AS THEY CROSS.
- 5. EACH LEG OF THE WAVEGUIDE STRUCTURE SHALL BE INDIVIDUALLY BONDED TO THE BURIED GND RING. EXOTHERMICALLY WELD CONNECTIONS AT POST FOR WAVEGUIDE STRUCTURE AND BURIED GND RING. PLACE 5/8"x10' COPPERCLAD GND ROD AT 10' INTERVALS ALONG WAVEGUIDE PATH.
- 6. BOND REBAR IN CONCRETE FOR COMMUNICATION STRUCTURE AND EQUIPMENT PAD TO BURIED GROUND RING. EXOTHERMICALLY WELD A #2 TINNED SOLID COPPER CONDUCTOR TO THE REBAR AND CONNECT TO THE BURIED GROUND RING.
- 7. PROVIDE INSPECTION SLEEVE AT MAIN SERVICE GROUNDS. EXOTHERMIC CONNECTIONS.
- 8. PROVIDE BONDING CONDUCTOR(S) FROM THE BURIED GROUND RING TO THE ANTENNA CABLE BUS BAR AT POINT JUST INSIDE OF THE COMMUNICATION STRUCTURE EXIT. VERIFY EXACT LOCATION OF COPPER BUS BAR FOR PROPER CONDUCTOR LENGTH. FINAL EXOTHERMIC WELDS TO COPPER BUS BAR BY THE ANTENNA CABLE INSTALLER.
- 9. EXOTHERMICALLY WELD BONDING CONDUCTOR TO COMMUNICATION STRUCTURE LEG AT 1'-0" ABOVE PAD AND BOND TO BURIED GROUND RING. PROVIDE A 3/4" PVC SLEEVE WITH A GRADUAL BEND IN THE CONCRETE FOUNDATION.
- 10. 5/8"x10'-0" LONG COPPER CLAD GND ROD AS SHOWN ON PLAN (NON-LINEAR). TYPICAL FOR ALL GROUND RODS SHOWN. USE STAINLESS STEEL HARDWARE WHERE APPLICABLE.
- 11. ELECTRICAL CONTRACTOR SHALL TAKE MEGGER READINGS OF GROUND. THE RESULTS SHALL NOT BE GREATER THAN 5 OHMS.
- 12. ALL CONNECTIONS TO GROUND SYSTEM SHALL BE MADE IN LINE WITH BENDS NOMINAL 12" RADIUS IN THE DIRECTION OF CURRENT FLOW. T-CONNECTIONS WILL NOT BE ALLOWED.
- 13. ALL BENDS IN GROUND WIRES SHALL BE NOMINAL 12" RADIUS.
- 14. ANTENNA CABLES SHALL BE BONDED AT EACH END. RUNS GREATER THAN 150' SHALL BE BONDED TOWARDS MIDDLE OF LENGTH. COORDINATE LOCATION WITH WIRELESS CARRIER'S PROJECT MANAGER.
- 15. WHEN APPLICABLE, CONTRACTOR SHALL BOND FRAMES TO EACH OTHER AND TO GND RING VIA TWO PATHS. COORDINATE WITH WIRELESS CARRIER PROJECT MANAGER.
- 16. CONTRACTOR CAN PROVIDE ONE OF THE FOLLOWING AS DIRECTED BY THE PROJECT MANAGER: THE SECOND OPTION IS PREFERRED.
 - A. CADWELD EACH CABINET GROUND WIRE TO GROUND RING AS SHOWN IN EQUIPMENT GROUND DETAIL.
 - B. CADWELD EACH WIRE TO A 1/4"x4"x24" MIN. COPPER BUS BAR LOCATED BEHIND RADIO CABINET. EXTEND A #2 WIRE FROM EACH END OF COPPER BUS BAR TO GROUND RING.
- 17. PROVIDED BRAIDED BONDING JUMPERS BETWEEN EACH GATE AND POST (OPTIONAL).
- 19. CONTRACTOR SHALL PROVIDE EXOTHERMIC BONDING AT ALL BURIED GROUND RING CONNECTIONS, STRUCTURAL EQUIPMENT FRAME, SERVICE RACK(S), EXISTING TOWER GROUND RINGS, AND AS INSTRUCTED BY METROPICS CPM.
- 20. CONTRACTOR SHALL PROVIDE MECHANICAL BONDING AT ALL ANTENNA SECTOR GROUND BARS, ALL ELECTRICAL EQUIPMENT DISCONNECTS, TRANSFORMERS, J-BOXES, PANEL-BOARDS, CABINETS, AND MAIN GROUND BAR AS DIRECTED BY METROPICS CPM. ALL MECHANICAL CONNECTIONS SHALL BE PROPERLY TERMINATED W/ LUGS, NUTS & BOLTS.
- 21. CONTRACTOR SHALL COAT WITH NOX-OX ALL POINTS OF CONTACT BETWEEN DISSIMILAR METALS.

ABBREVIATIONS

ANT	ANTENNA
AWG	AMERICAN WIRE GAUGE
BCW	BARE COPPER WIRE
RWY	RACEWAY
TYP.	TYPICAL
RGS	RIGID GALVANIZED STEEL
EMT	ELECTRICAL METALLIC TUBING
DWG	DRAWING
LPS.	LIGHTNING PROTECTION SYSTEM
S.S.	STAINLESS STEEL
PNL	PANEL
CLF.	CURRENT LIMITING FUSE
CPM	CONST. PROJ. MANAGER

SYMBOLS

▼	CADWELD TYPE CONNECTION	(C01)	CONDUIT TAG 1; REFER TO RISER
⊙	5/8" X10'-0" COPPERCLAD GRND. ROD W/INSP. SLEEVE	(M-1.3)	CONDUIT TAG 1; PANEL SCHEDULE
○	5/8" X10'-0" COPPERCLAD GRND. ROD	⚡	GENERATOR RECEPTACLE
■	MECHANICAL TYPE CONNECTION		
---	#2 TINNED SOLID BARE CU WIRE		
---	UNDER GROUND TELCO CONDUIT		
---	UNDER GROUND ELECTRIC CONDUIT		

ELECTRICAL SYSTEM NOTES

APPLICANT/OWNER:



777 YAMATO ROAD, SUITE 600
BOCA RATON, FLORIDA 33431

PROJECT NAME AND LOCATION:

CASA MARINA
VERIZON SITE #62335
1500 REYNOLDS STREET
KEY WEST, FL 33040

PROJECT ENGINEER

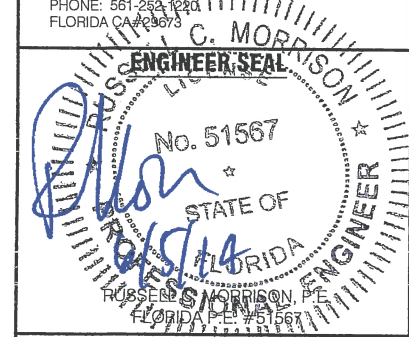
N24 42 12



WB17 21 10'

WAYPOINT

ENGINEERING AND EQUIPMENT LLC
820 W. INDIANTOWN ROAD, SUITE 105
JUPITER, FLORIDA 33458
PHONE: 561-252-1230
FLORIDA CA#23673



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CONSTRUCTION PLANS

SUBMITTALS

REV. DATE DESCRIPTION

REV.	DATE	DESCRIPTION

PROJECT NUMBER

L201403-09

DRAWN BY CHECKED APPROVED

KJM KJM RCM

APPROVING AGENCY

CITY OF KEY WEST, FLORIDA

BUILDING CODE

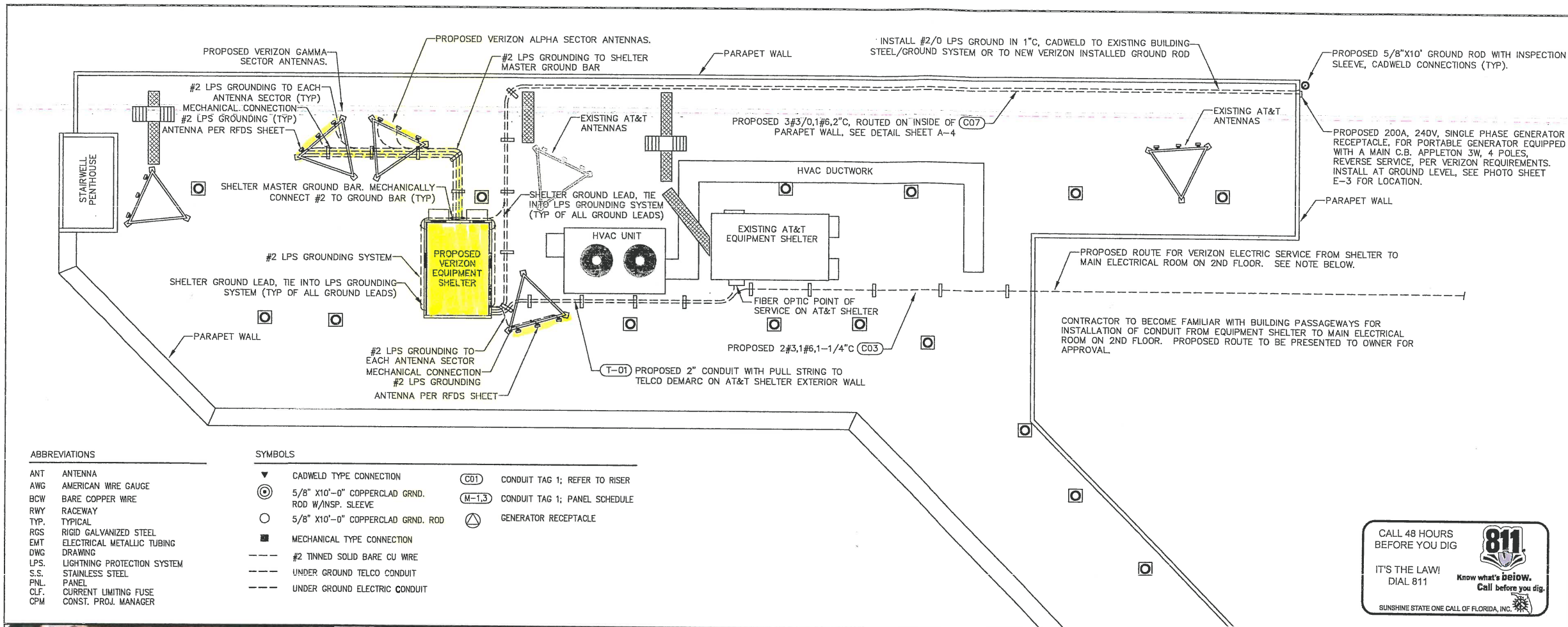
2010 FLORIDA BUILDING CODE

SHEET TITLE

ELECTRICAL NOTES

SHEET NUMBER

E-1



ABBREVIATIONS

- ANT ANTENNA
- AWG AMERICAN WIRE GAUGE
- BCW BARE COPPER WIRE
- RWY RACEWAY
- TYP TYPICAL
- RGS RIGID GALVANIZED STEEL
- EMT ELECTRICAL METALLIC TUBING
- DWG DRAWING
- LPS LIGHTNING PROTECTION SYSTEM
- S.S. STAINLESS STEEL
- PNL PANEL
- CLF CURRENT LIMITING FUSE
- CPM CONST. PROJ. MANAGER

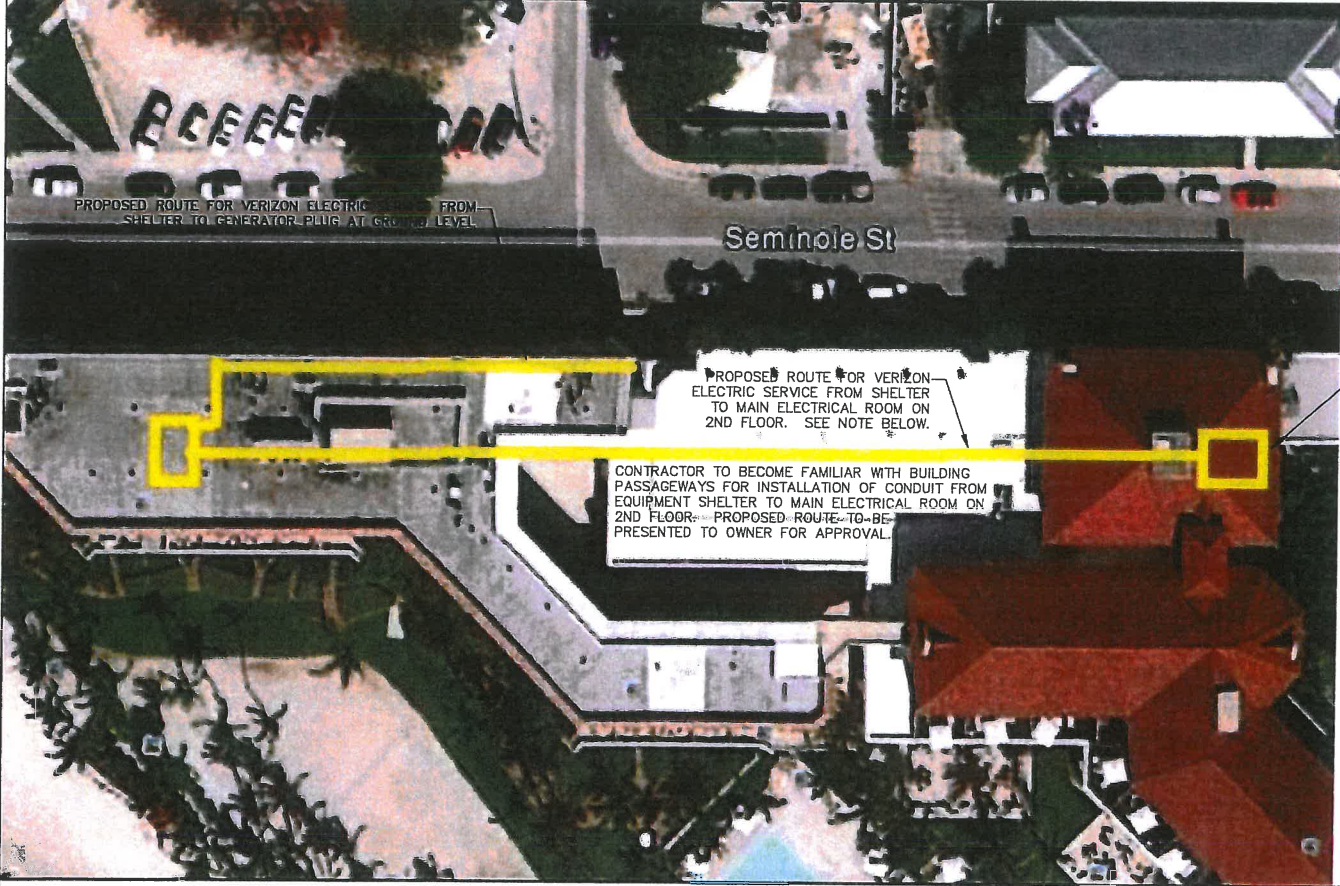
SYMBOLS

- ▼ CADWELD TYPE CONNECTION
- ⊙ 5/8" X10"-0" COPPERCLAD GRND. ROD W/INSP. SLEEVE
- 5/8" X10"-0" COPPERCLAD GRND. ROD
- MECHANICAL TYPE CONNECTION
- #2 TINNED SOLID BARE CU WIRE
- UNDER GROUND TELCO CONDUIT
- UNDER GROUND ELECTRIC CONDUIT
- (C01) CONDUIT TAG 1; REFER TO RISER
- (M-1,3) CONDUIT TAG 1; PANEL SCHEDULE
- ⊕ GENERATOR RECEPTACLE

CALL 48 HOURS BEFORE YOU DIG **811**

IT'S THE LAW! DIAL 811 Know what's below. Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.



LOCATION OF MAIN ELECTRICAL ROOM ON 2ND FLOOR, COORDINATE WITH BUILDING OWNER FOR ACCESS.

MAIN ELECTRICAL SWITCHGEAR IN 2ND FLOOR ELECTRICAL ROOM (SEE ONE LINE DIAGRAM FOR CONDUCTOR AND CONDUIT SIZING)



2ND FLOOR MAIN ELECTRICAL ROOM SWITCHGEAR

ELECTRICAL SERVICE ROUTING SCHEMATIC

APPLICANT/OWNER:



777 YAMATO ROAD, SUITE 600
BOCA RATON, FLORIDA 33431

PROJECT NAME AND LOCATION:

CASA MARINA
VERIZON SITE #62335
1500 REYNOLDS STREET
KEY WEST, FL 33040

PROJECT ENGINEER

WAYPOINT
ENGINEERING AND EQUIPMENT LLC
820 W. INDIANTOWN ROAD, SUITE 105
JUPITER, FLORIDA 33458
PHONE: 561-261-1200
FLORIDA CA#29673

ENGINEER SEAL
No. 51567
STATE OF FLORIDA
RUSSELL C. MORRISON, P.E.
FLORIDA P.E. #51567

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KJM KJM RCM

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CITY OF KEY WEST, FLORIDA

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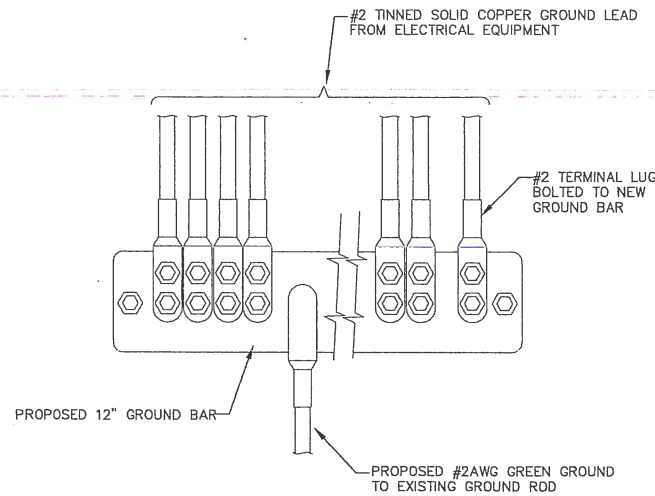
2010 FLORIDA BUILDING CODE

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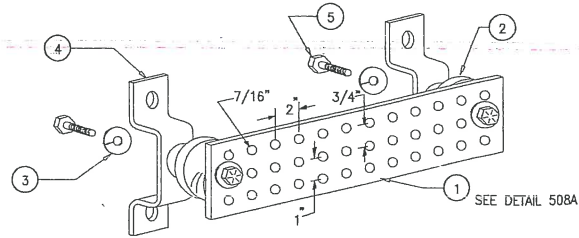
ELECTRICAL SITE AND GROUNDING PLAN

SHEET NUMBER

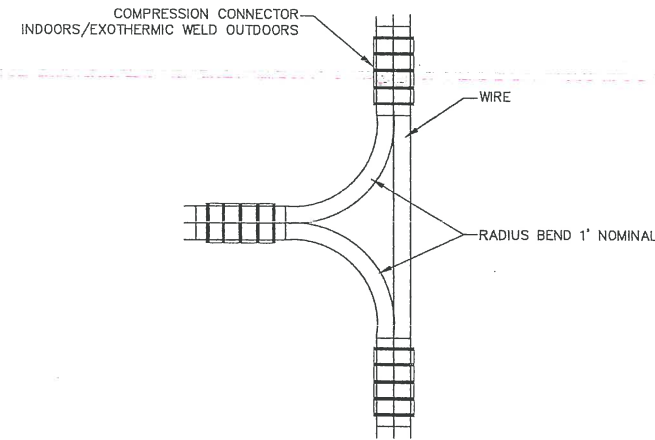
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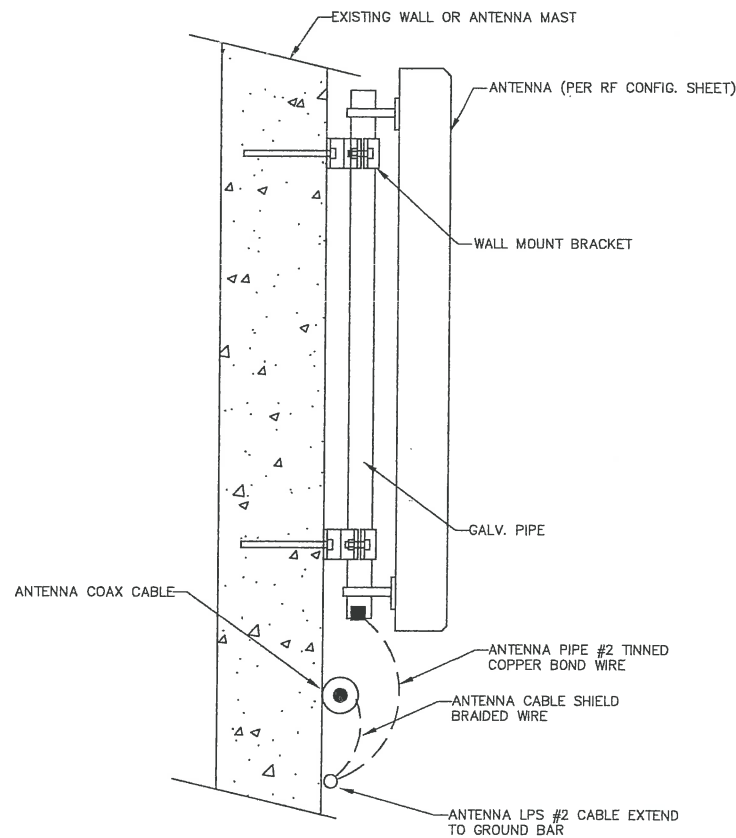
GROUND BAR DETAIL



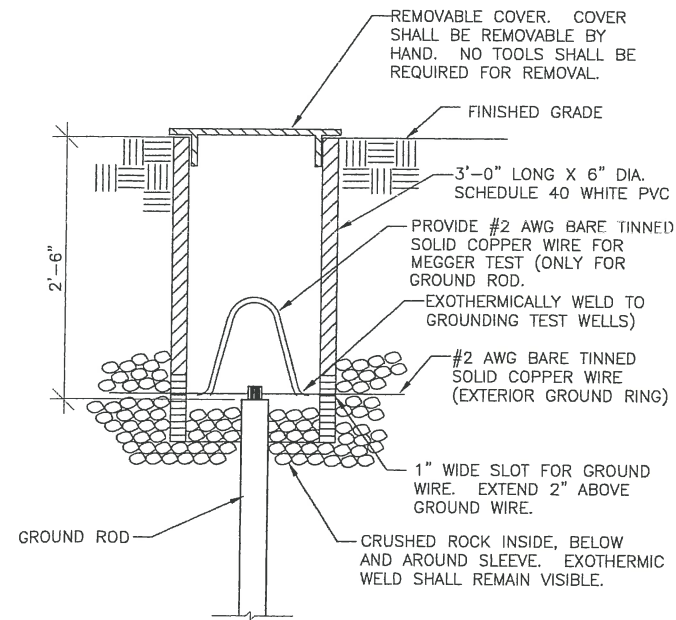
- LEGEND**
- 1- COPPER GROUND BAR, 1/4" X 4" X 20", NEWTON INSTRUMENT CO. CAT. NO. B-6142 OR EQUAL. HOLE CENTERS TO MATCH NEMA DOUBLE LUG CONFIGURATION
 - 2- INSULATORS, NEWTON INSTRUMENT CAT. NO. 3061-4
 - 3- 5/8" LOCKWASHERS, NEWTON INSTRUMENT CO. CAT. NO. 3015-B
 - 4- WALL MOUNTING BRACKET, NEWTON INSTRUMENT CO. CAT. NO. A-6056
 - 5- 5/8-11 X 1" HHCS BOLTS, NEWTON INSTRUMENT CO. CAT. NO. 3012-1
 - 6- INSULATORS SHALL BE ELIMINATED WHEN BONDING DIRECTLY TO TOWER/MONOPOLE STRUCTURE. CONNECTION TO TOWER/MONOPOLE STRUCTURE SHALL BE PER MANUFACTURERS RECOMMENDATIONS



NON-DIRECTIONAL SPLICE



ANTENNA LPS DETAIL



GROUND ROD INSPECTION SLEEVE DETAIL

APPLICANT/OWNER:



777 YAMATO ROAD, SUITE 600
BOCA RATON, FLORIDA 33431

PROJECT NAME AND LOCATION:

CASA MARINA
VERIZON SITE #62335
1500 REYNOLDS STREET
KEY WEST, FL 33040

PROJECT ENGINEER

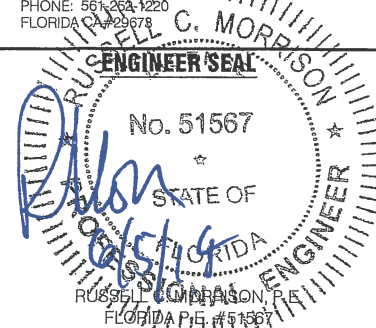
N24° 42' 12"



W81° 21' 10"

WAYPOINT

ENGINEERING AND EQUIPMENT LLC
820 W. INDIANTOWN ROAD, SUITE 105
JUPITER, FLORIDA 33411
PHONE: 561-263-1220
FLORIDA CAP #29678



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KJM KJM RCM

APPROVING AGENCY

CITY OF KEY WEST, FLORIDA

BUILDING CODE

2010 FLORIDA BUILDING CODE

SHEET TITLE

ELECTRICAL DETAILS

SHEET NUMBER

E-4

APPLICANT/OWNER:



777 YAMATO ROAD, SUITE 600
BOCA RATON, FLORIDA 33431

PROJECT NAME AND LOCATION:

CASA MARINA
VERIZON SITE #62335
1500 REYNOLDS STREET
KEY WEST, FL 33040

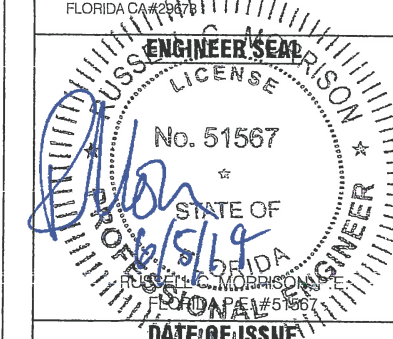
PROJECT ENGINEER

N24 42 12



WAYPOINT

ENGINEERING AND EQUIPMENT LLC
820 W. INDIANTOWN ROAD, SUITE 105
JUPITER, FLORIDA 33458
PHONE: 561-252-1220
FLORIDA CA#23671



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KJM KJM RCM

APPROVING AGENCY

CITY OF KEY WEST, FLORIDA

BUILDING CODE

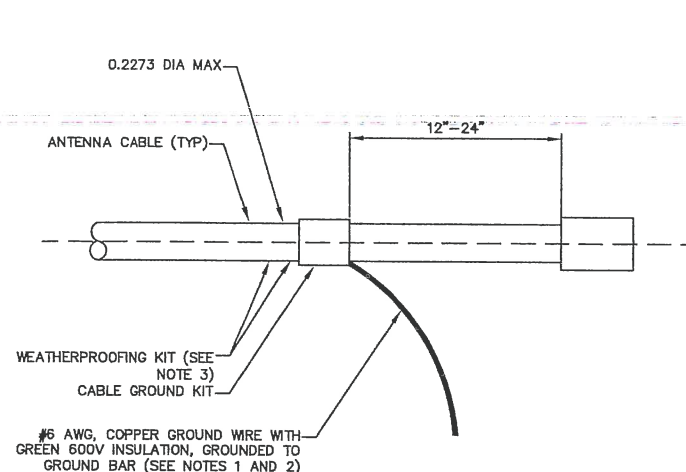
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SHEET TITLE

ELECTRICAL DETAILS

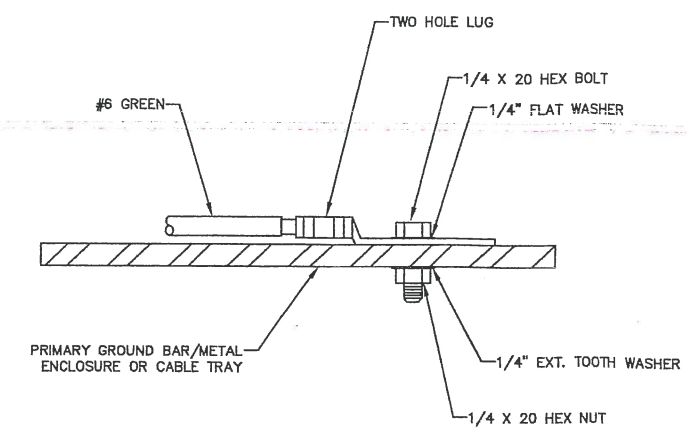
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E-5



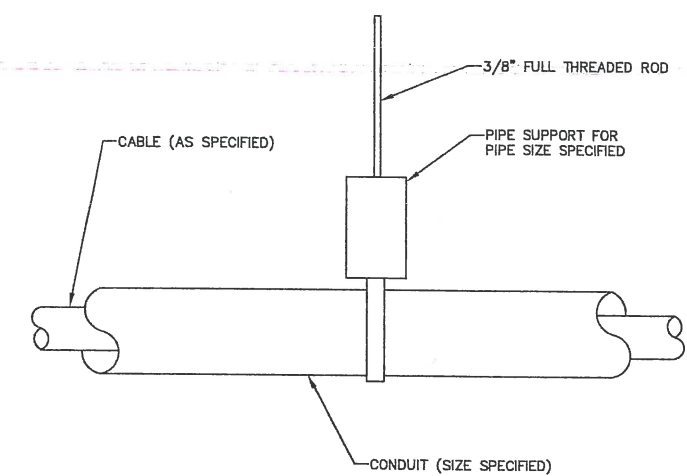
- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR
- GROUND KIT WILL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER
- WEATHER PROOFING SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER

CONNECTION OF GROUND CABLE KIT TO ANTENNA CABLE

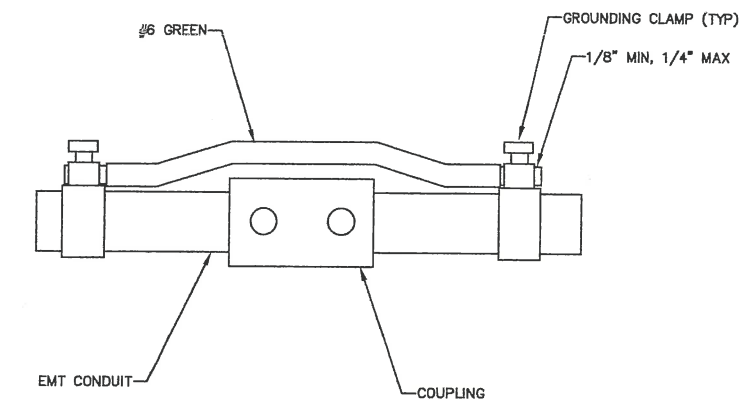


- CHOOSE BOLT LENGTH TO ALLOW FOR A MINIMUM OF 2 EXPOSED THREADS
- BURNISH MOUNTING AREA TO REMOVE PAINT OR SCALING IN AREA FOR LUG TO BE MOUNTED
- APPLY ANTI OXIDANT COMPOUND TO MATING SURFACE OF LUG AND WIPE CLEAN EXCESS COMPOUND
- USE SOLID COPPER WIRE AND TWO HOLE LUG FOR ALL EXTERIOR GROUNDING APPLICATIONS

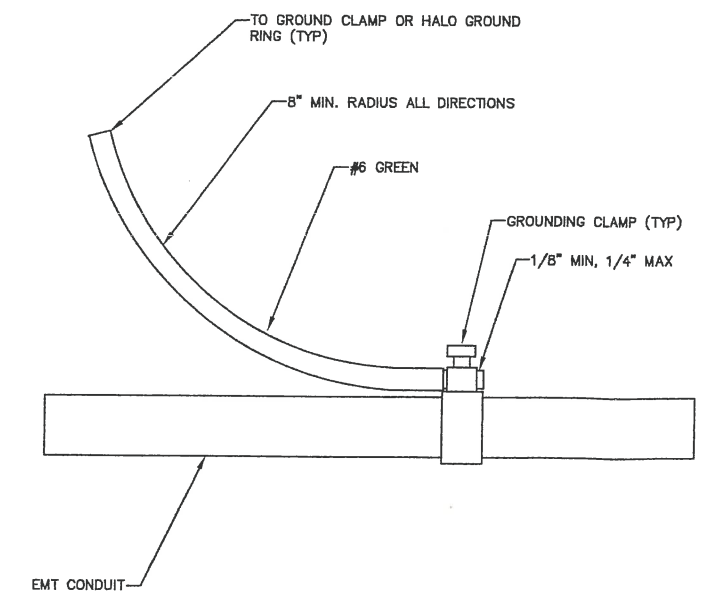
GROUNDING CONNECTION DETAIL



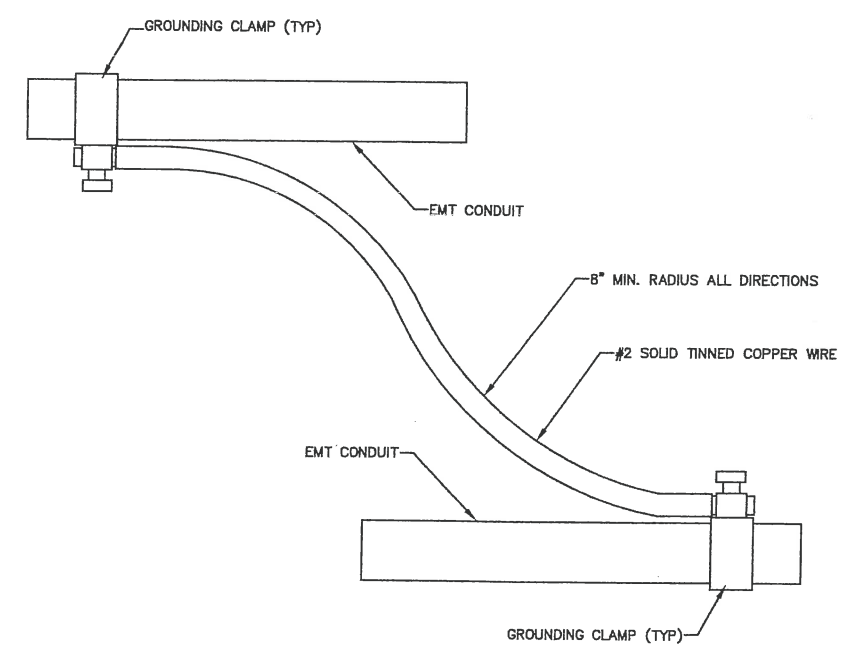
PIPE SUPPORT DETAIL



CONDUIT BOND DETAIL



CONDUIT BOND DETAIL



MULTIPLE CONDUIT GROUNDING DETAIL



AXP19-60 Xpol, 60° H-Beams

1710-2170 MHz

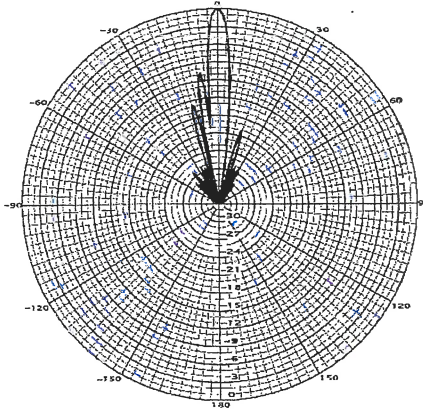
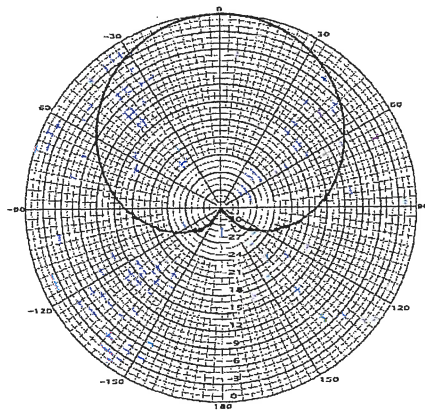
Electrical Specifications

Frequency	1710-2170 MHz
Polarization	Slant +/- 45
Gain @ 1710 MHz	19.0 dBi
Gain @ 1920 MHz	19.3 dBi
Gain @ 2170 MHz	19.6 dBi
Horizontal Beam (3dB Points)	60°
Vertical Beam (3dB Points)	5°
Elect. Downtilt Range, 2° Increments	0-6°
VSWR / Return Loss	<1.40:1 / 15.6 dB
VSWR / Return Loss w/tp	<1.50:1 / 14.0 dB
Front-to-Back at Horizon	>30 dB
Upper Side Lobe Suppression	<-18 dB
Impedance	50 Ohms
Power Input Per Connector	250 CW at 1900 MHz
Isolation	<-28 dB
Intermodulation (2x20W)	typ -150 dBc

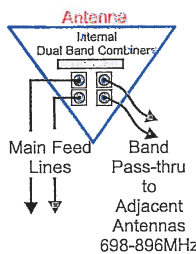
Mechanical Specifications

Input Connector (female)	Back 7/16 DIN or w/bot. opt.
Antenna Dimensions (LxWxD)	69.1 x 6.7 x 4.1 in. (1755 x 170 x 104mm)
Antenna Dimensions with Opt-"ip"	69.1 x 6.7 x 4.5 in. (1755 x 170 x 114mm)
*Antenna Weight	15.0 lbs
Bracket Weight	13.2 lbs
RF Distribution	Printed Microstrip Substrate
Radome	Ultra High-Strength Luran
Weatherability	UV Stabilized, ASTM D1925
Radome Water Absorption	ASTM D570, 0.45%
Environmental	MIL-STD-810E
Wind Survival	150 mph
Front Wind Load @100mph	105 lbf
Equivalent Flat Plate @100mph	2.13 sq-ft. (c=2)
Mounting Brackets	Fits 3.5 Inch Max. O.D. Pipe
Mechanical Downtilt Range	0-12°
Clamps/Bolts	Galvanized Steel/Stainless Steel

[Link to Mechanical Drawing](#)



Available with Integrated Diplexers and back mounted connectors, bottom mounted connectors are not available with Integrated Diplexers



Integrated Pass-Thru Diplexers will work with TMA's

Recommended Connector Coupling Torque
7/16 DIN: 220-265 lbf-in (25-30 N-m)

Ordering Information & Options

- AXP19-60-x "-x" is a placeholder for the built-in fixed electrical downtilt in degrees, set to 0, 2, 4 or 6
- AXP19-60-xip "ip" option includes pass-thru integrated diplexer(s) which pass DC to the diplexer port(s)
- AXP19-60-x-bot for bottom mounted connectors, add "-bot" (otherwise antenna comes standard with back mounted connectors)

*Antenna Weight may vary slightly with options.



X7-665 Xpol, 65° H-Beam

698-800 MHz

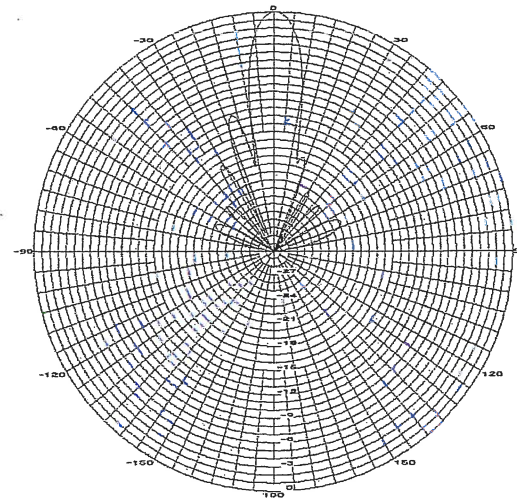
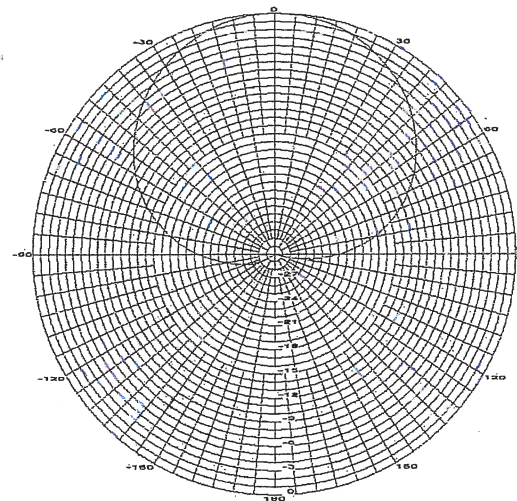
Electrical Specifications

Frequency	698-800 MHz
Polarization	Slant +/- 45
Gain @ 698 MHz	15.3 dBi
Gain @ 752 MHz	15.6 dBi
Gain @ 782 MHz	15.8 dBi
Horizontal Beam (3dB Points)	65°
Vertical Beam (3dB Points)	10°
Elect. Downtilt Range, 2° Increments	0-10°
VSWR / Return Loss	<1.40:1 / 15.6 dB
Front-to-Back at Horizon	>30 dB
Upper Side Lobe Suppression	<-18 dB
Impedance	50 Ohms
Power Input Per Connector	500 CW at 800 MHz
Isolation	<-28 dB
Intermodulation (2x20W)	<-150 dBc

Mechanical Specifications

Input Connector (female)	Back 7/16 DIN or w/bot. opt.
Antenna Dimensions (LxWxD)	72.0 x 12.5 x 7.1 in. (1829 x 318 x 180mm)
*Antenna Weight	30.0 lbs
Bracket Weight	13.2 lbs
Lightning Protection	Direct Ground
RF Distribution	Printed Microstrip Substrate
Radome	Ultra High-Strength Luran
Weatherability	UV Stabilized, ASTM D1925
Radome Water Absorption	ASTM D570, 0.45%
Environmental	MIL-STD-810E
Wind Survival	150 mph
Front Wind Load @100mph	177.4 lbf
Equivalent Flat Plate @100mph	3.6 sq-ft. (c=2)
Mounting Brackets	Fits 3.5 Inch Max. O.D. Pipe
Mechanical Downtilt Range	0-12°
Clamps/Bolts	Galvanized Steel/Stainless Steel

[Link to Mechanical Drawing](#)



Recommended Connector Coupling Torque
7/16 DIN: 220-265 lbf-in (25-30 N-m)

Ordering Information & Options

- X7-665-x "-x" is a placeholder for the built-in fixed electrical downtilt in degrees, set to 0, 2, 4, 6, 8 or 10
- X7-665-x-bot for bottom mounted connectors, add "-bot" (otherwise antenna comes standard with back mounted connectors)

*Antenna Weight may vary slightly with options.



Noticing

Public Meeting Notice

The Historic Architectural Review Commission will hold a special public hearing at 5:30 p.m., October 28, 2014 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**INSTALLATION OF NEW WIRELESS EQUIPMENT SHELTER
AND THREE ARRAYS OF ANTENNAS ON ROOF OF NON-
HISTORIC CASA MARINA STRUCTURE.**

FOR- #1500 REYNOLDS STREET

Applicant- Verizon Wireless

Application # H14-01-1106

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

Property Appraiser Information

- [» Tax Collector](#)

Monroe County Cities

- [» City of Key West](#)
- [» City of Marathon](#)
- [» City of Key Colony Beach](#)
- [» City of Layton](#)
- [» Islamorada, Village of Islands](#)

First Time Home Buyer (IRS)

- [» Cancellation of Debt Flyer \(English\)](#)
- [» Cancellation of Debt Flyer \(Spanish\)](#)
- [» 1st Time Homebuyers Fact Sheet](#)
- [» 1st Time Homebuyers Basic Information](#)
- [» 1st Time Homebuyers Scenarios](#)
- [» 1st Time Homebuyers Q& A's](#)

IRS Links

- [» Make Work Pay Credit](#)
- [» Energy Conservation Credit](#)

Other Links

- [» FL Dept Rev - Property Tax Oversight](#)
- [» Census Info](#)

Property Record Card -

Maps are now launching the new map application version.

[Return to Search Results](#) | [Modify Search](#) | [New Search](#) | [Send Email to MCPA Regarding this Parcel](#) | [Estimate Taxes on this Parcel](#)

Previous Record **Alternate Key: 8735677 Parcel ID: 00037160-000100** Next Record

Ownership Details

Mailing Address:

CASA MARINA OWNER LLC
PO BOX 437
BROADWAY, NJ 08808-0437

Property Details

PC Code: 39 - HOTELS,MOTELS

Millage Group: 10KW

Affordable Housing: No

Section-Township-Range: 05-68-25

Property: 1500 REYNOLDS ST KEY WEST

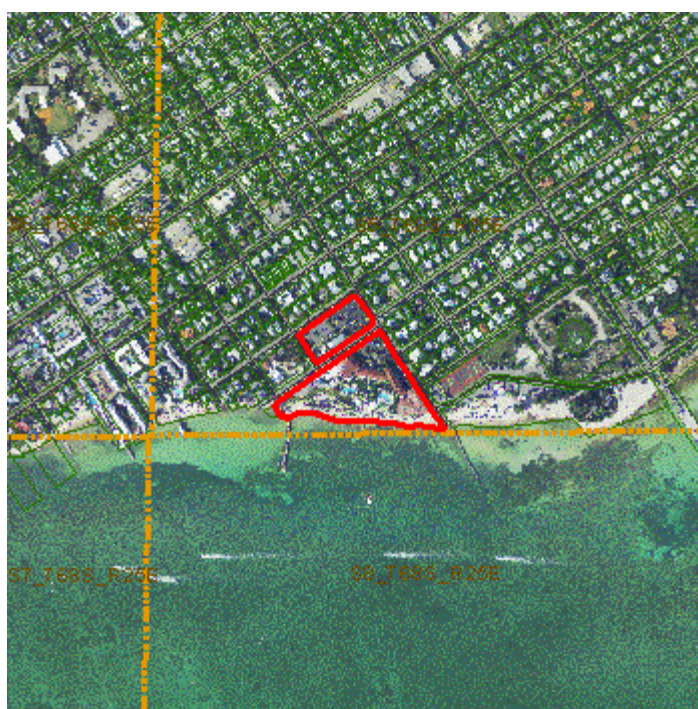
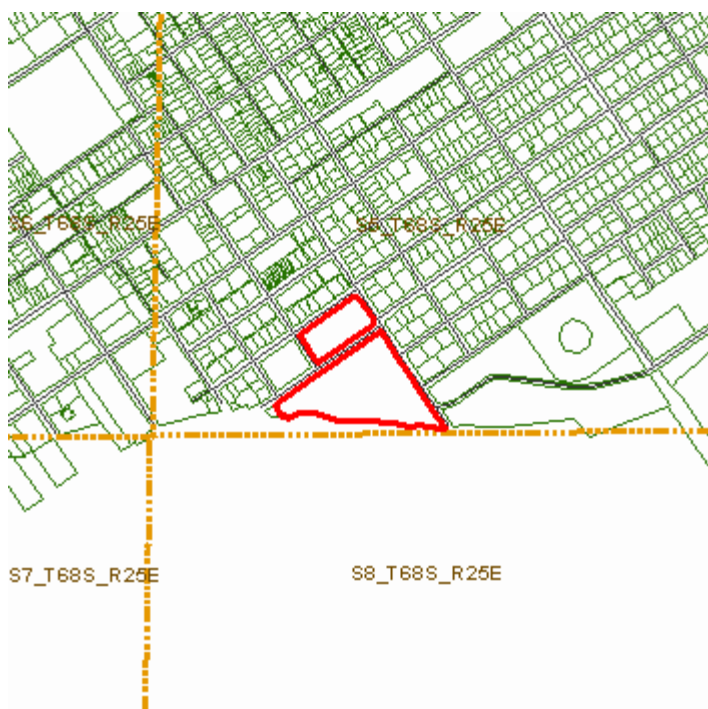
Location: 811 SEMINOLE ST KEY WEST

Subdivision: Key West Investment Coâ€™s Sub

KW KW INVESTMENT CO SUB PB1-69 SQRS 1 THRU 5 & PT SQR 6 & SQR 7 TR 17 G6-103 G37-65/67 G70-508/9 OR175-144/45 OR214-88/89 OR274-337/38 OR332-35 OR387-997/99 OR388-826/28 OR399-599/600 OR427-61/62 OR534-1098 OR660-860/887 OR695-8/9OR1033-627/632 OR1033-633/648 OR1033-649/664 OR1350-357/368(LEASE) OR1350-385/91-C OR1359-745/774(LEASE) OR1436-592/597OR1436-598/608 OR1437-275/278Q/C OR1624-743/763(LEASE) OR1624-764/779(LEASE) OR1701-931/932Q/C OR2115-141/147 OR2326-1954/1959(REST) OR2347-648/666(II LEASE) OR2414-19/25(REST)

Legal Description:

Click Map Image to open interactive viewer



Land Details

Land Use Code	Frontage	Depth	Land Area
100W - COMMERCIAL WATERFRON	0	0	290,110.00 SF
100D - COMMERCIAL DRY	0	0	83,000.00 SF

Building Summary

Number of Buildings: 7
 Number of Commercial Buildings: 7
 Total Living Area: 183188
 Year Built: 1901

Building 1 Details

Building Type		Condition	G	Quality Grade	450
Effective Age	21	Perimeter	918	Depreciation %	27
Year Built	1901	Special Arch	0	Grnd Floor Area	11,610
Functional Obs	0	Economic Obs	0		

Inclusions:

Roof Type		Roof Cover		Foundation	
Heat 1		Heat 2		Bedrooms	0
Heat Src 1		Heat Src 2			

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	0	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	9	Dishwasher	0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1986					3,870
2	FLA		1	1986					3,870
3	FLA		1	1986					3,870

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	15708	WAREHOUSE/MARINA A	100	N	N
	15709	WAREHOUSE/MARINA A	100	N	N
	15710	WAREHOUSE/MARINA A	100	N	N

Exterior Wall:

Interior Finish Nbr	Type	Area %
5411	MIN WOOD SIDING	100

Building 2 Details

Building Type	Condition	G	Quality Grade	450	
Effective Age	19	Perimeter	1,213	Depreciation %	23
Year Built	1916	Special Arch	0	Grnd Floor Area	92,058

Functional Obs 0 Economic Obs 0

Inclusions:

Roof Type	Roof Cover	Foundation	
Heat 1	Heat 2	Bedrooms	0
Heat Src 1	Heat Src 2		

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	0	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	0	Dishwasher	0

[Building Sketch Image](#)



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	FLA		1	1915				92,058
2	CPF		1	1915				405
3	OPF		1	1915				7,084

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	15711	HOTELS/MOTEL A	100	Y	Y
	15712	CPF	100	N	N
	15713	OPF	100	N	N

Exterior Wall:

Interior Finish Nbr	Type	Area %
5412	REIN CONCRETE	100

Building 3 Details

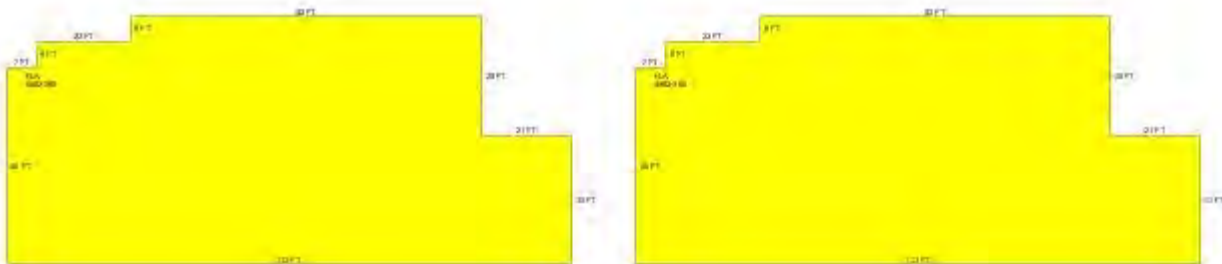
Building Type		Condition	G	Quality Grade	450
Effective Age	19	Perimeter	760	Depreciation %	23
Year Built	1979	Special Arch	0	Grnd Floor Area	13,704
Functional Obs	0	Economic Obs	0		

Inclusions:

Roof Type	Roof Cover	Foundation	
Heat 1	Heat 2	Bedrooms	0
Heat Src 1	Heat Src 2		

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	0	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	0	Dishwasher	0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1978					6,852
2	FLA		1	1978					6,852

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	15714	HOTELS/MOTEL A	100	Y	Y
	15715	HOTELS/MOTEL A	100	Y	Y

Exterior Wall:

Interior Finish Nbr	Type	Area %
5413	C.B.S.	100

Building 4 Details

Building Type	Condition	G	Quality Grade	450	
Effective Age	19	Perimeter	1,045	Depreciation %	23
Year Built	1979	Special Arch	0	Grnd Floor Area	52,446
Functional Obs	0	Economic Obs	0		

Inclusions:

Roof Type	Roof Cover	Foundation	
Heat 1	Heat 2	Bedrooms	0
Heat Src 1	Heat Src 2		
Extra Features:			
2 Fix Bath	0	Vacuum	0
3 Fix Bath	160	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	0	Dishwasher	0

[Building Sketch Image](#)



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	SBU		1	1978					5,495
2	SBF		1	1978					5,863
3	FLA		1	1978					1,232
4	OUF		1	1978					30,006
5	EPB		1	1978					1,800

6	FLA	1	1978	51,214
7	PTO	1	1978	13,433

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	15716	SBU	100	N	N
	15717	SBF	100	N	N
	15718	OFF BLDG 1 STY-A	100	Y	Y
	15719	OUF	100	N	N
	15720	EPB	100	N	Y
	15721	HOTELS/MOTEL A	100	Y	Y
	15722	PTO	100	N	N

Exterior Wall:

Interior Finish Nbr	Type	Area %
5414	C.B.S.	100

Building 5 Details

Building Type	Condition	E	Quality Grade	450	
Effective Age	19	Perimeter	638	Depreciation %	23
Year Built	1986	Special Arch	0	Grnd Floor Area	6,972
Functional Obs	0	Economic Obs	0		

Inclusions:

Roof Type	Roof Cover	Foundation	
Heat 1	Heat 2	Bedrooms	0
Heat Src 1	Heat Src 2		

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	0	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	252	Dishwasher	0

Building 6 Details

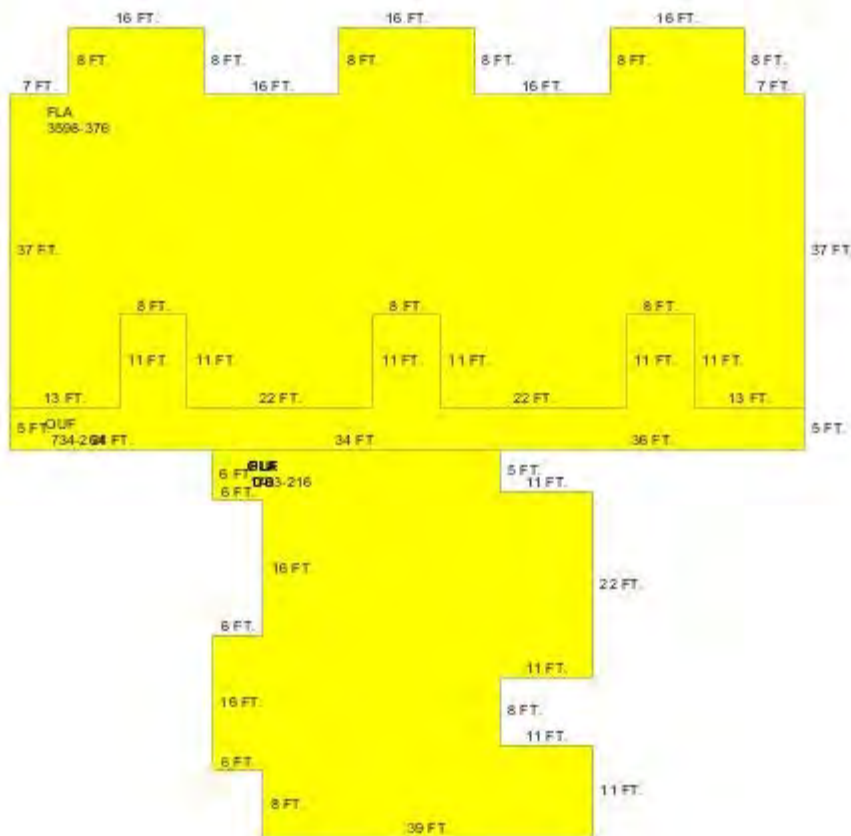
Building Type		Condition	G	Quality Grade	450
Effective Age	19	Perimeter	592	Depreciation %	23
Year Built	1986	Special Arch	0	Grnd Floor Area	5,822
Functional Obs	0	Economic Obs	0		

Inclusions:

Roof Type	Roof Cover	Foundation	
Heat 1	Heat 2	Bedrooms	0
Heat Src 1	Heat Src 2		

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	0	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	0	Dishwasher	0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	FLA		3	1986				1,783
2	FLA		3	1986				3,598
3	OUF		1	1986				734
4	OUF		1	1986				1,104
5	OUF		1	1986				1,468
6	FLA		1	1986				441

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	15729	HOTELS/MOTEL A	100	Y	Y
	15730	HOTELS/MOTEL A	100	Y	Y
	15731	OUF	100	N	N
	15732	OUF	100	N	N
	15733	OUF	100	N	N
	15734	HOTELS/MOTEL A	100	Y	Y

Exterior Wall:

Interior Finish Nbr	Type	Area %
5416	CUSTOM	100

Building 7 Details

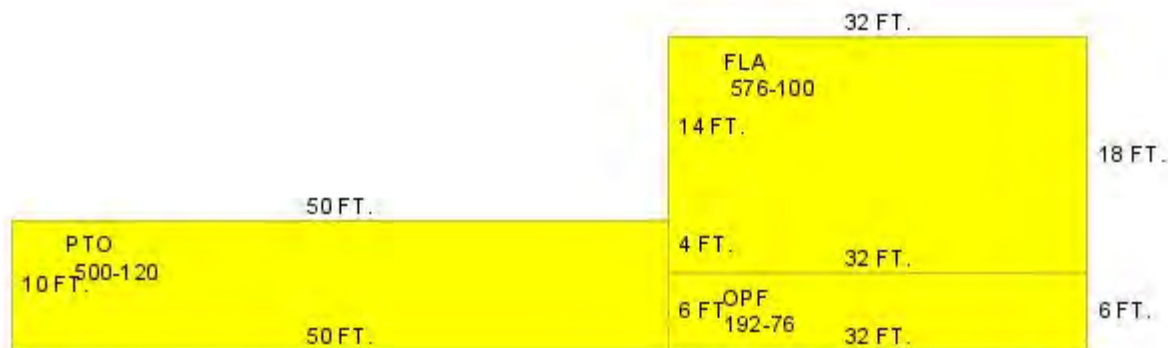
Building Type		Condition	G	Quality Grade	450
Effective Age	19	Perimeter	100	Depreciation %	23
Year Built	1979	Special Arch	0	Grnd Floor Area	576
Functional Obs	0	Economic Obs	0		

Inclusions:

Roof Type	Roof Cover	Foundation	
Heat 1	Heat 2	Bedrooms	0
Heat Src 1	Heat Src 2		

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	0	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	0	Dishwasher	0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1978					576
2	OPF		1	1978					192
3	PTO		1	1978					500

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	15735	1 STY STORE-A	100	Y	Y
	15736	OPF	100	N	N
	15737	PTO	100	N	N

Exterior Wall:

Interior Finish Nbr	Type	Area %
5417	C.B.S.	100

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
0	PO5:COMM POOL	2,500 SF	0	0	2007	2014	3	50
1	DK4:WOOD DOCKS	3,840 SF	240	16	2000	2001	5	40

2	DK3:CONCRETE DOCK	2,338 SF	167	14	1979	1980	5	60
3	DK4:WOOD DOCKS	1,650 SF	150	11	2000	2001	5	40
4	TK2:TIKI	509 SF	0	0	1979	1980	4	40
5	AP2:ASPHALT PAVING	49,200 SF	0	0	1979	1980	2	25
6	RW2:RETAINING WALL	720 SF	180	4	1979	1980	3	50
7	PT2:BRICK PATIO	2,762 SF	0	0	1979	1980	5	50
8	PT2:BRICK PATIO	13,662 SF	0	0	1979	1980	2	50
9	AP2:ASPHALT PAVING	19,311 SF	0	0	1979	1980	2	25
10	PT3:PATIO	962 SF	0	0	1985	1986	2	50
11	PT3:PATIO	440 SF	0	0	1969	1970	2	50
12	RW2:RETAINING WALL	136 SF	68	2	1969	1970	4	50
13	AP2:ASPHALT PAVING	34,240 SF	0	0	1985	1986	2	25
14	PO5:COMM POOL	2,500 SF	0	0	2007	2014	3	50
15	HT2:HOT TUB	1 UT	0	0	1979	1980	5	50
16	CL2:CH LINK FENCE	256 SF	0	0	1993	1994	3	30
18	WD2:WOOD DECK	3,900 SF	0	0	1995	1996	2	40
19	CL2:CH LINK FENCE	360 SF	60	6	1989	1990	1	30
20	PT3:PATIO	765 SF	51	15	2000	2001	2	50
21	DK4:WOOD DOCKS	676 SF	26	26	2000	2001	5	40
23	TK2:TIKI	94 SF	0	0	2000	2001	5	40
24	FN2:FENCES	988 SF	247	4	2001	2002	4	30
25	FN2:FENCES	122 SF	0	0	2001	2002	2	30
26	BL2:BOAT LIFT	1 UT	0	0	2003	2004	2	20
27	WD2:WOOD DECK	200 SF	20	10	2003	2004	2	40

Appraiser Notes

2003-01-10 (241) 314 HOTEL ROOMS
DR-219 ATTACHED TO OR2115-141/147 STATES THE SALES PRICE IS \$107,500,000, BUT THE DOCUMENTARY STAMPS ON DEED CALCULATE THE SALES PRICE TO \$104,316,200 TPP 8538421 - WYNDHAM MARRIOTTCASA MARINA TPP 8695128 - THE MESSAGE STUDIO INC TPP 8930010 - HEARTLAND CASH NETWORK LLC FOR ATM @ CASA MARINA
TPP 8538421 - WYNDHAM MARRIOTTCASA MARINA TPP 8695128 - THE MESSAGE STUDIO INC TPP 8930010 - HEARTLAND CASH NETWORK LLC FOR ATM @ CASA MARINA

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
21	09-4523	07/06/2009	07/06/2009	0 Commercial	ISSUED C/O
10-- 3531	11/18/2010		15,000	Commercial	INSTALLATION OF 200 AMP SERVICE, DATA AND GROUNDING ON ROOF TOP FOR ANTENNAS AND ASSOCIATED EQUIPMENT
10-3530	11/18/2010		30,000	Commercial	INSTALL WIRELESS TELECOMMUNICATION FACILITY ON EXISTING ROOF TOP.
10-2776	08/24/2010		6,000	Commercial	PICK UP AND RELAY BRICK PAVER DRIVEWAY APPROXIMATELY 3000SF NO NEW IMPERVIOUS AREAS WILL BE ADDED.

10-1232	04/20/2010	11,000	Commercial	ERECT REPLACEMENT OF TWO 3.5 TON CHILLER UNITS FOR HALLWAYS, MAIN BUILDING. UNIT REPLACEMENT OF IDENTICAL SIZE AND DESIGN, NO DUCT. RECONNECT TO EXISTING PIPING. UNITS LOCATED INSIDE BUILDING ABOVE LOBBY.
10-1081	05/13/2010	2,500	Commercial	AFTER THE FACT: REPLACE 1000 WATT POLE LIGHTS WITH 400 WATT LIGHTS. NEW LIGHTING ON EXISTING POLE. NEW LIGHTS TO MATCH EXISTING. SHIELDS TO BE INSTALLED AS NEEDED. LIGHT POST AND FIXTURES TO MATCH.
10-0584	02/25/2010	8,000	Commercial	INSTALL WIRELESS CELLULAR PHONE SYSTEM WITH INSIDE ANTENNAE PROVIDING SIGNAL.
10-1042	04/10/2010	26,936	Commercial	CONSTRUCT ROADWAY ENTRANCE 360SF PAVE PREPARED SURFACE 13,500SF WITH HOT ASPHALT, STRIPE 124 PARKING SPACES, 13 COMPACT SPACES AND 5 HANDICAP SPACES AS PER CITY AND ADA SPECS, SUPPLY AND INSTALL 60 CONCRETE CAR STOPS
06-4050	07/06/2009 07/06/2009	0	Commercial	RENOVATED STRUCTURE (20 DEED RESTRICTED EFFICIENCY UNITS) INCLUDING PLUMBING ELECTRIC, MECHANICAL AND ROOFING.
05-1104	04/11/2005	30,000	Commercial	REHABILITATION OF EXISTING WOOD ROOF FRAMING IN THE SPORTS HUT
05-3219	08/02/2005	700	Commercial	REPLACE 30SF OF EXISTING DECKING
05-3348	08/14/2005	11,000	Commercial	ALL TEMPORARY CONSTRUCTION FENCES MUST BE SECURED IF KEY WEST IF PLACED UNDER A HURRICANE WATCH OR WARNING. REPAIR OF FENCING AROUND TENNIS COURTS (200LF/6' H)
05-3347	08/17/2005	60,250	Commercial	REPAIR/REPLACE CHAINLINK FENCE FOOTING ON THE EAST SIDE (100LF). REPAIR BLOCK WALL ON THE WEST SIDE 180SF. REPAIR DOCK AND SWIMMING PIER.
05-4328	10/12/2005	0	Commercial	REVISION TO EXISTING PERMIT (05-3348) REPLACE 100LF OF DAMAGES CHAIN LINK FENCE WITH ALUMINUM PICKET FENCE.
05-2583	11/18/2005	2,400	Commercial	INSTALL TEMPORARY POWER FOR SIX SLEEPER TRAILER.
05-5739	12/16/2005	29,988	Commercial	HURRICANE REPAIRS: RELEVEL THE FRONT OF THE DECK AND REPLACE THE BOARDS ON IT. BUILD THE HANDRAILS BACK AT THE END OF THE PIER. 12' REPAIR THE HANDRAIL AT THE FRONT OF THE PIER. 9' MATERIAL IS ACQ WOOD TREATMENT. REPAIR MISSING BOARDS.
05-5740	12/16/2005	70,850	Commercial	HURRICANE REPAIRS TO PIER
06-0143	01/12/2006	10,000	Commercial	HURRICANE REPAIRS TO FENCEES
06-0531	01/30/2006	1,000	Commercial	DEMO OF DRYWALL, WING WALLS TUB AND TRIM
06-1228	04/12/2006	33,000	Commercial	HURRICANE DAMAGE: REPAIRS TO A/C SYSTEMS.
06-2336	04/17/2006	11,600	Commercial	REPLACE/INSTALL NEW 110LF OF 3 & 4 FT OF WOOD PICKET FENCING AROUND MANAGERS

			OFFICE.
06/2582	04/25/2006	1,000 Commercial	EXTEND PERMIT FOR TEMPOARARY TRAILER THAT SITS ON CASA MARINA/ REACH PROPERTY
06-2897	06/15/2006	0	
06-5024	08/30/2006	20,000 Commercial	CARPET, FURNITURE, DRYWALL, DOORS AND RAILING DEMOLITION.
06-5031	08/30/2006	400,000 Commercial	REPLACE WATER CLOSETS, LAVATORIES, SHOWER AND SHOWER VALVES 981 AND 321 WATER LINES.
06-5962	10/30/2006	6,000 Commercial	RELOCATION OF EXISTING FIRE SPRINKLER HEADS
07-1522	03/29/2007	54,740 Commercial	INSTALL 1600SF NEW ROOFING
07-1557	04/02/2007	197,000 Commercial	DEMO OF POOL AREA 5500SF
07-1899		310,000 Commercial	NEW RETAINING WALLS, POOL AREA CONCRETE, ALL CONCRETE HARD SCAPES, INCLUDING FILL PLACEMENT
07-2034	04/24/2007	95,000 Commercial	REFLECTING FOUNTAIN
07-2519	05/30/2007	280,000 Commercial	CONSTRUCT NEW COMMERCIAL POOL
07-3376	07/06/2007	160,000 Commercial	ADD NEW PAVILLION ONTO EXISTING KITCHEN STRUCTURE OF 6X6 POST V-GROOVE CEILING WITH CEDAR SHAKE ROOF. NEW CONCRETE FLOOR AT SUN SUN BAR AND KITCHEN REPAIR ROOF AT SUN SUN BAR.
07-1636	04/09/2007	0 Commercial	TEMPORARY CONSTRUCTION TRAILERS
07-4413	10/10/2007	80,000 Commercial	INSTALL NEW CABINTRY FOR NEW LOBBY BAR TO INCLUDE PAINT AND INTERIOR FINISHES.
07-3942	08/08/2007	100,000 Commercial	DEMO ALL SIDEWALKS AND FRONT ENTRY INSTALL NEW HEADER CURBS AT SIDEWALK.
07-4402	10/11/2007	9,500 Commercial	ISNTALLATION OF CONDUITS, PULL BOXES FOR LOW VOLTAGE WIRING, BRANCH CIRCUITS, WIRING DEVICES AND CONNECTION AS INDICATED ON PLANS.
14-1994	06/26/2014	258,000 Commercial	RENOVATE APPROXIMATELY 1263SF OF EXISTING SPA, REMOVE EXISTING WALL FINISHES AND FLOORING, BUILD NEW WALLS, DRYWALL, BASEBOARDS, INSTALL NEW ACT DROP CEILING AND FLOORING. INSTALL NEW INTERIOR DOORS AND CABINETS
07-5128	11/28/2007	1,000 Commercial	REPLACE EXISTING GAS LINE TO OUTDOOR KITCHEN, REPLACE MAINFOLD IN OUTDOOR KITCHEN, HOOK APPLIANCES.
07-5200	12/19/2007	27,000 Commercial	REMOVE EXISTING 4 K TANK AND INSTALL ONE NEW 2 K FIREGARD TANK ON EXISTING CONCRETE REQ CONNECT TO EXISTING PIPING.
07-5496	12/21/2007	15,000 Commercial	SEAL-COAT FRONT MAIN PARKING LOT AND SUITE BUILDING PARKING LOT; STRIPE BACK PARKING LOT TO PLAN SPECIFICATIONS AND TO EXISTING STANDARDS (MAIN PARKING AND SUITE PARKING ONLY). ADA/HANDICAP SPACES TO BE INCLUDED PER PLANS. AND AUXILIERY

				LOT.	
	08-0658	03/19/2008	95,000	Commercial	COMMERICAL POOL RENOVATION.
	08-0499	02/26/2008	15,000	Commercial	REPLACE EXISTING 1250 GAL GREASE TRAP
	08-4582	02/02/2009	3,500	Commercial	ADD/RELOCATE FIRE SPRINKLER HEADS
	08-4583	02/02/2009	3,500	Commercial	ADD/RELOCATE FIRE SPRINKLER HEADS.
	07-0276	02/20/2007	40,000	Commercial	ADA ROOMS ONLY: APPLY NEW DRYWALL, PAINT AND FINISH INSTALLATION OF NEW VANITIES. INSTALLATION OF NEW FURNITURE.
	07-0716	02/14/2007	587,000	Commercial	REPLACE CHILLED WATER FAN COILS IN GUEST ROOMS (195 ROOMS)
	06-6802	02/02/2007	8,000	Commercial	REPLACE 5 WINDOWS AND 2 DOORS, ALL NEW GLASS IS LAMINATED IMPACT ROOM #402.
	07-0498	02/01/2007	30,178	Commercial	REMOVE AND ROOF ON BUILDING 7,8,9,10. INSTALLING SARNAFIL G-410 ENERGY SMART ROOFING MEMBRANE
	06-3951	01/16/2007	355,955	Commercial	
1	01-3978	12/14/2001 09/18/2002	22,000	Commercial	AWNING
2	02-0322	04/11/2002 09/18/2002	50,000	Commercial	SIDEWALK & DUCT
3	02-0635	04/22/2002 09/18/2002	99,800	Commercial	ANTENNAS
4	03-1400	04/21/2003 01/01/2004	61,000	Commercial	NEW ELECTRIC
5	02-1549	06/14/2002 09/18/2003	2,125	Commercial	INSTALLED NEW AWNING
6	03-3169	09/12/2003 09/18/2003	5,500	Commercial	REPLACED LIGHT FIXTURES
7	03-3425	09/25/2003 10/02/2003	1,800	Commercial	INSTALLED NEW CEILING WOR
8	03-2912	09/24/2003 10/02/2003	25,900	Commercial	INSTALLED 15 PITCH PANS
9	03-2406	09/26/2003 10/02/2003	20,350	Commercial	REPLACED PARTS A/C
10	03-2285	10/01/2003 10/08/2003	16,230	Commercial	INSTALLED NEW DECK 200SF
11	03-3806	11/03/2004 11/10/2003	21,000	Commercial	REPAIRED DECKING
12	03-3721	10/31/2003 11/08/2003	7,500	Commercial	REPAIRED ROOF DECK
13	04-2422	07/21/2004 12/17/2004	27,000	Commercial	REPLACE HALLWAY DOORS
14	05-3349	08/14/2005 12/11/2005	19,000	Commercial	REPAIR EXTERIOR LIGHTING IN COMMON AREAS,ALSO FANS .
15	06-6161	11/21/2006 04/15/2007	4,000	Commercial	DEMO 4469 SF OF WOOD FLOORING IN BAR AND RESTAURANT AREA
16	06-6162	11/27/2006 04/15/2007	88,000	Commercial	DEMO 14,500 SF OF INTERIOR PUBLIC SPACE.THIS WILL INCLUDE BUILD BACK OF MENTIONED WORK
17	06-3951	01/16/2007 04/15/2007	355,955	Commercial	REMOVE OLD ROOF. REPLACE.5 WOOD FIBER OVER ISO SET IN HOT ASPHALT
18	07-0280	03/20/2007 04/15/2007	22,000	Commercial	REPLACE PLUMBING AT FLAGLER
19	07-4803	10/22/2007 11/22/2007	2,000	Commercial	INSTALL IRRIGATION SYSTEM
20	07-4822	10/24/2007 11/22/2007	7,500	Commercial	COVER DUCT FIRST FLOOR DRYWALL & METAL STUDS

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2014	27,550,765	656,655	18,220,567	65,621,679	30,934,707	0	65,621,679
2013	27,550,765	435,867	17,359,656	44,324,443	28,122,461	0	44,324,443
2012	28,949,152	446,565	17,359,656	25,565,874	25,565,874	0	25,565,874
2011	28,949,152	454,505	18,986,124	33,331,182	26,220,827	0	33,331,182
2010	30,372,154	465,125	14,397,600	23,837,116	23,837,116	0	23,837,116
2009	30,372,154	478,775	20,659,724	23,181,570	23,181,570	0	23,181,570
2008	30,388,565	493,423	34,432,873	60,000,000	60,000,000	0	60,000,000
2007	25,926,075	497,417	34,432,873	69,316,439	69,316,439	0	69,316,439
2006	25,926,075	335,472	44,563,750	74,743,668	74,743,668	0	74,743,668
2005	26,229,701	343,222	21,556,600	45,887,445	45,887,445	0	45,887,445
2004	26,814,915	505,548	21,556,600	45,887,445	45,887,445	0	45,887,445
2003	26,814,915	514,362	19,316,380	53,082,953	53,082,953	0	53,082,953
2002	26,814,915	528,119	19,316,380	53,082,953	53,082,953	0	53,082,953
2001	32,146,185	531,828	13,521,466	53,082,953	53,082,953	0	53,082,953
2000	32,051,273	161,846	11,026,169	47,461,104	47,461,104	0	47,461,104
1999	34,776,245	167,609	11,026,169	44,949,658	44,949,658	0	44,949,658
1998	23,184,164	172,915	11,026,169	44,949,658	44,949,658	0	44,949,658
1997	23,547,698	178,888	10,503,815	42,351,368	42,351,368	0	42,351,368
1996	0	168,380	10,503,815	10,672,195	10,672,195	0	10,672,195
1995	0	173,890	10,503,815	10,677,705	10,677,705	0	10,677,705
1994	0	180,785	10,503,815	10,684,600	10,684,600	0	10,684,600
1993	0	189,061	10,503,815	10,692,876	10,692,876	0	10,692,876
1992	0	197,041	10,503,815	10,700,856	10,700,856	0	10,700,856
1991	0	205,530	10,503,815	10,709,345	10,709,345	0	10,709,345
1990	0	213,299	9,350,374	9,563,673	9,563,673	0	9,563,673
1989	0	221,786	9,285,080	9,506,866	9,506,866	0	9,506,866
1988	0	156,967	8,762,726	8,919,693	8,919,693	0	8,919,693

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
5/10/2005	2115 / 141	104,316,200	WD	Q
12/1/1996	1436 / 0592	54,346,000	WD	O
11/1/1987	1033 / 640	9,500,000	WD	M

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Monroe County Monroe County Property Appraiser
Scott P. Russell, CFA
P.O. Box 1176 Key West, FL 33041-1176