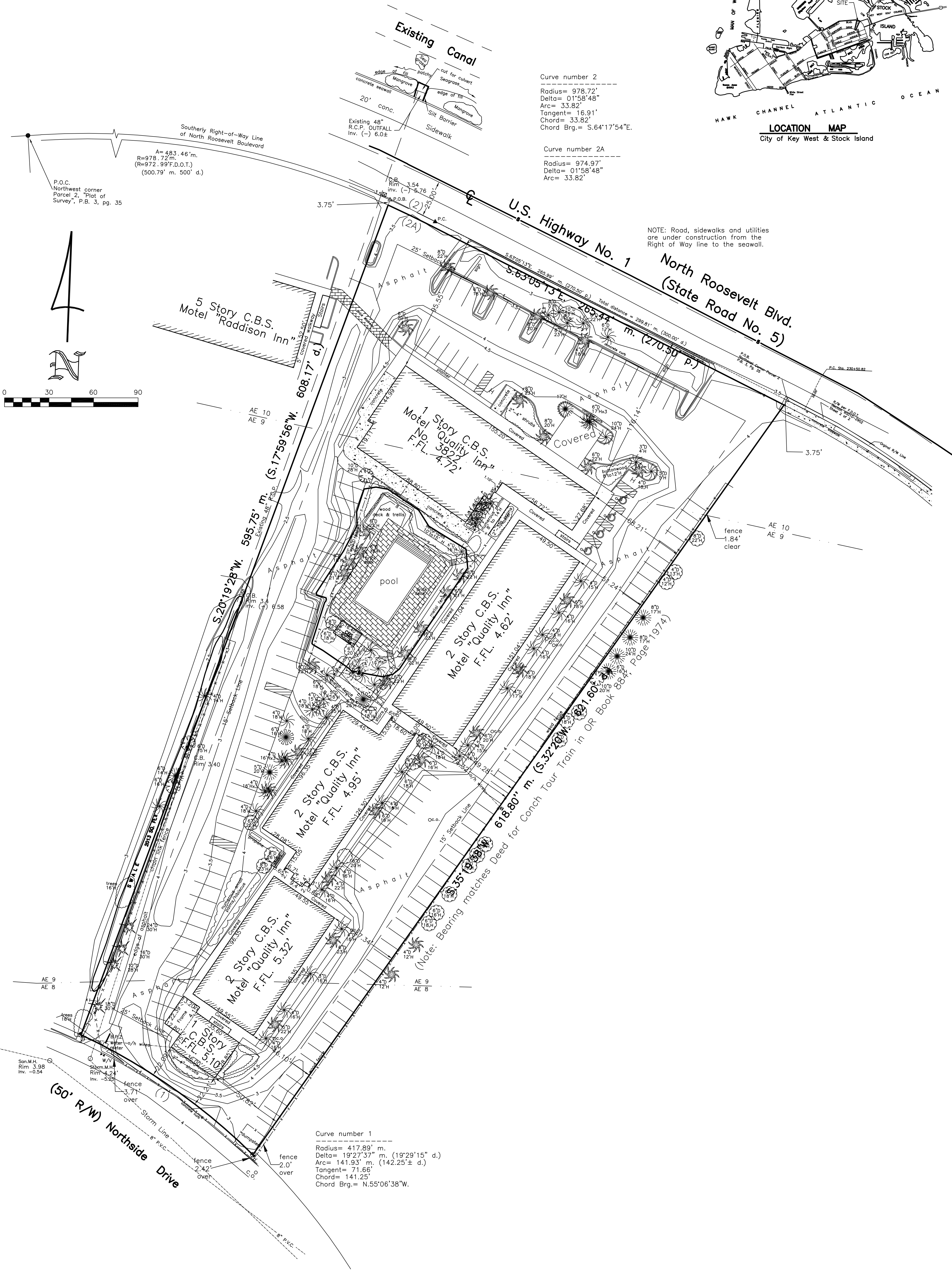
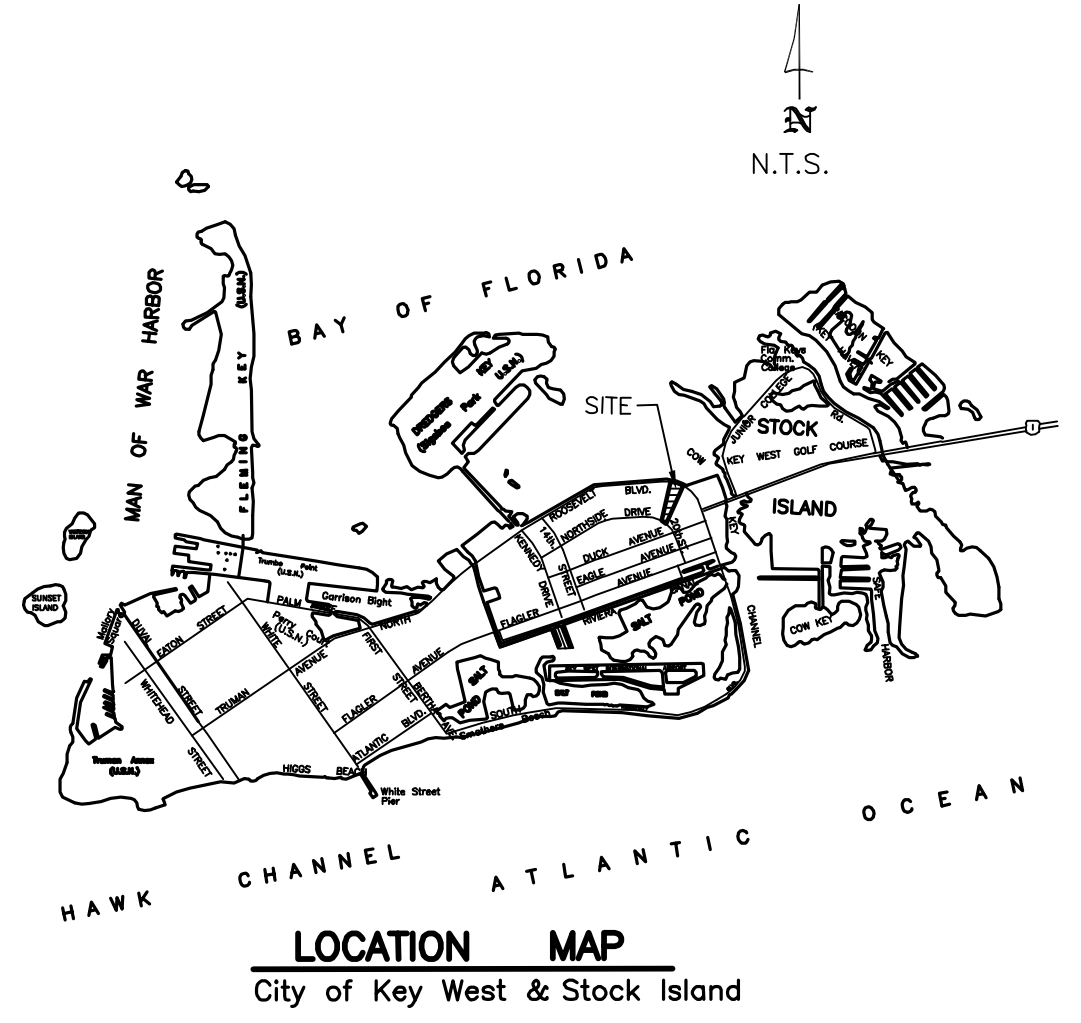


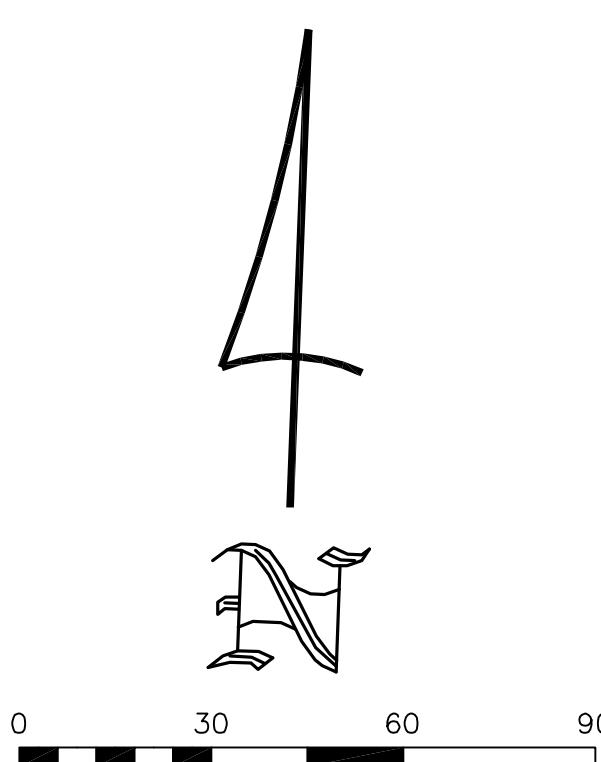
Site C: Survey and Site Plans

1. Survey
2. Existing and Proposed Site Plans
3. Elevations and Floor Plans
4. Civil Plans
5. Landscape Plans
6. Scooter Parking Plan
7. Life Safety Plan



Southerly Right-of-Way Line of North Roosevelt Boulevard
 $A = 493.46' m.$
 $R = 978.72' m.$
 $(R = 972.99' F.D.O.T.)$
 $(500.79' m. 500' d.)$

P.O.C. Northwest corner Parcel 2, "Plat of Survey", P.B. 3, pg. 35



Existing Canal

edge of fill patch
concrete seawall
Mangrove
out for culvert
Seagrass
edge of fill
Silt Barrier
Sidewalk

Existing 48" R.C.P. OUTFALL Inv. (-) 6.0±

Curve number 2
 Radius= 978.72'
 Delta= 01°58'48"
 Arc= 33.82'
 Tangent= 16.91'
 Chord= 33.82'
 Chord Brg.= S.64°17'54"E.

Curve number 2A
 Radius= 974.97'
 Delta= 01°58'48"
 Arc= 33.82'

NOTE: Road, sidewalks and utilities are under construction from the Right of Way line to the seawall.

Curve number 1
 Radius= 417.89' m.
 Delta= 19°27'37" m. (19°29'15" d.)
 Arc= 141.93' m. (142.25± d.)
 Tangent= 71.66'
 Chord= 141.25'
 Chord Brg.= N.55°06'38"W.

JL WOOD, LTD - Quality Inn 3824 North Roosevelt Blvd., Key West, Fl.			
BOUNDARY SURVEY		Dwn No. 06-299 C	
Scale: 1"=30'	Ref. 188-9	Flood panel No. 1509 K	Dwn. By: F.H.H.
Date: 6/27/06		Flood Zone: AE	Flood Elev. 8-10'
REVISIONS AND/OR ADDITIONS			
8/7/06: Update, cert, parking, alta survey			
1/datafred/deq/keywest/spottswoodcorquality/alta12.20.12			

ISLAND SURVEYING INC.
ENGINEERS PLANNERS SURVEYORS

3152 Northside Drive
Suite 201
Key West, Fl. 33040

(305) 293-0466
Fax: (305) 293-0237
flinfo@bellsouth.net
L.B. No. 7700



OLD SCHEDULE B-II

SURVEYOR'S CERTIFICATE

This Certificate and the attached survey are made for the benefit of:
Spottswood Hotels, Inc., a Florida corporation, and its assigns
Spottswood Companies, Inc., a Florida corporation, and its assigns
J.L.Woode Ltd., LLC, a Delaware limited liability company, and its assigns
Barry Preston Cooper
Betty Cooper
Betty Cooper Revocable Trust dated February 25, 2004
Marvin Cooper Revocable Trust dated February 25, 2004
Sewaca Inc., a Florida corporation
LaSalle Bank National Association
Baker & Hostetler LLP
Sanford N. Reinhard, P.A.
Chicago Title Insurance Company

I hereby certify

- 1. That the survey was made on the ground and is correct.
- 2. That the survey shows a complete legal description of the land and any easements appurtenant to the land necessary for access or utilities and an indication of the total acreage or square foot area of the land.
- 3. That the survey shows the location of the perimeter of the subject property by courses and distances and all lines described by reference to the line of another piece of property.
- 4. That all field measurements on the survey are balanced, both as to angles and distances, so as to provide a mathematical closure. That the survey shows the point of beginning, if applicable, basis of bearings, assumed or otherwise, the scale and a north arrow. That the survey shows the following information for any curve: length of arc, radius, central angle and bearing to the radius point from the beginning and end points of the curve.
- 5. That the survey shows the location of all easements and rights-of-way, including all easements and rights-of-way shown as exceptions on Chicago Title Insurance Company commitment for title insurance No. 630600743 dated May 19, 2006 at 5:00 p.m. That the survey shows the location of all easements referred to in the title binder, showing the book and page of recording of all easements on the survey, and stating that all easements are located pursuant to the book and page of the recorded easements.
- 6. That the survey shows established building lines and setback, height and bulk restrictions of record or disclosed by applicable zoning or building codes (in addition to those recorded in subdivision maps).
- 7. That the survey shows all dedicated public streets, easements or rights-of-way providing access to the land, and whether such access is paved to the property line of the land and that the width of all of the foregoing are indicated.
- 8. That the survey shows lines of streets abutting the subject property and the width thereof, and that ingress and egress to the subject property is provided by North Roosevelt Blvd., (U.S. Highway 1) (State Road No. 5), the same being a dedicated public right-of-way maintained by the Island of Key West, and the State of Florida.
- 9. That the survey shows encroachments and the extent thereof in feet and inches (if practicable) upon the subject property, including, but without limitation, over, under or across buildings, easements and encroachments either way across the boundary lines of the subject property (or if any improvements located upon the land encroach upon other lands).
- 10. That the survey shows the exterior dimensions of all buildings at ground level and the square footage of the exterior footprint of all buildings, or gross floor area of all buildings at ground level and the height of all buildings above grade at a defined location, if applicable.
- 11. That the survey shows all substantial, visible improvements (in addition to buildings) such as signs, parking areas or structures, swimming pools, tennis courts, etc.
- 12. That the survey shows the relation of the improvements by distances to the perimeter of the subject property, the established building lines and the street lines.
- 13. That the survey shows all parking areas and, if striped, the striping and the type (e.g. handicapped, motorcycle, regular, etc) and number of parking spaces, if applicable.
- 14. That the survey shows the location of all easements necessary to bring utilities to the Property, together with the location of all utilities (i.e., sewer, water, electric, telephone and gas service) serving or existing on the property as evidenced by on-site observation or as determined by records provided by client, utility companies and other appropriate sources (with reference as to the source of information) (for example): (a) railroad tracks and sidings; (b) manholes, catch basins, valve vaults or other surface indications of subterranean uses; (c) wires and cables (including their function) crossing the surveyed premises, all poles on or within ten feet of the surveyed premises, and the dimensions of all crosswires or overhangs affecting the surveyed premises; and (d) utility company installations on the surveyed premises.
- 15. That the survey shows the location of all matters affecting the land, including fences, pipelines and streams.
- 16. That the survey shows all observable evidence of earth moving work, building construction or building additions within recent months.
- 17. That the survey shows all observable evidence of site use as a solid waste dump, sump or sanitary landfill.
- 18. That if the subject property is described as being on a field map or plat, a legend relating the survey to said map or plat is on the survey.
- 19. That the survey shows any coastal body of water or navigable waterway within 150 feet of the subject property, if applicable.
- 20. That the survey shows all applicable coastal construction lines, bulkhead lines, mean high water marks and erosion control lines must be shown on the survey or a statement contained therein that same do not lie within the boundary of the subject property.
- 21. That the subject property does not serve any adjoining property for drainage, ingress or egress or any other purpose, except as shown on the survey.
- 22. That the subject property is within special flood hazard area 120168, Panel 1509 K, AE, Elevation 8'-10', dated 2/18/05 as shown in the most recent Flood Hazard Boundary Maps prepared by the Department of Housing and Urban Development.
- 23. That the Subject Property is zoned General Commercial under zoning codes of the Island of Key West.
- 24. That the survey shows any significant observations not otherwise disclosed.
- 25. That the survey represented hereon meets the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA, ACSM and NSPS in 2005, and pursuant to the Accuracy Standards (as adopted by ALTA and ACSM and in effect on the date of this certification) of an Urban Survey. This instrument is not valid unless it bears an original signature and an embossed surveyor's seal.

LEGAL DESCRIPTION:

On the Island of Key West and better known as Part of Parcel 2 of GOLAN SURVEY, according to the Plat thereof, recorded in Plat Book 3, Page 35, of the Public Records of Monroe County, Florida, and more particularly described by metes and bounds as follows:
Commencing at the Northwest corner of Parcel 2 on "Plat of Survey of Lands on the Island of Key West, Monroe County, Florida", as recorded in Plat Book 3, Page 35, of the Public Records of Monroe County, Florida; thence Northeasterly and Easterly along the Southerly right of way line of North Roosevelt Boulevard (a 5'50'24" curve) 500 feet to the Point of Beginning; thence continuing along said Southerly right of way line 300 feet to the Northeasterly corner of said Tract; thence South 32'20' West, 621.6 feet to the Northerly boundary line of a proposed street shown on said Plat, the Southeasterly corner of said Parcel 2; thence Northwesterly along said Northerly right of way line (a 19'29'15" curve) 142.25 feet, more or less, thence Northerly 608.17 feet, more or less, to the Point of Beginning.

LESS:

Parcel 166
CA Portion of Parcel ID
No.00065550-000000 with a property
address of 3824 N. Roosevelt Blvd.
(Quality Inn Property)

A portion of Parcel 2 in Plat of Survey of Lands on Island of Key West, Monroe County, Florida according to the plat thereof, as recorded in Plat Book 3, at Page 35, of the Public Records of Monroe County, Florida more particularly described as follows:
Commence at the Point of intersection of the Easterly line of the Exception Area of Parcel 3 of Plat of Survey (on two sheets) Part of Lands formerly owned by Key West Improvement Inc., according to the plat thereof, as recorded in Plat Book 4, at Page 69, of the Public Records of Monroe County, Florida and the Existing Southerly Right-of-Way line of State Road No. 5, North Roosevelt Boulevard, as shown on the Florida Department of Transportation Right-of-Way map for State Road No.5, Section 90010, said Point also being that certain Corner established by John P. Goggin as shown on the above mentioned Plat of Plat of Survey (on two sheets) Part of Lands formerly owned by Key West Improvement Inc., said point also being on a circular curve concave to the South, and said point bears N 03'34'58" W from the center of said curve; Thence Easterly, along the arc of said curve to the right and along the Existing Southerly Right-of-Way line of said State Road No. 5, North Roosevelt Boulevard, having a radius of 972.99 feet and a central angle of 28'25'13" for a distance of 482.63 feet to the Point of Beginning of the hereinafter described parcel; Thence continue Southeasterly, along the arc of said curve to the right, and along the Existing Southerly Right-of-Way line of said State Road No. 5, North Roosevelt Boulevard, having a radius of 972.99 feet and a central angle of 01'59'30" for a distance of 33.82 feet to the point of tangency; Thence S 63'10'15" E along the Existing Southerly Right-of-Way line of said State Road No. 5, North Roosevelt Boulevard, for a distance of 265.52 feet; Thence S 35'18'02" W, departing the previously described Right-of-Way line, for a distance of 4.16 feet to a point on a circular curve concave to the Southwest, said point bears N 28'33'17" E from the center of said curve; Thence Northwesterly, along the arc of said curve to the left, having a radius of 809.84 feet and a central angle of 01'43'32" for a distance of 24.39 feet to the point of tangency, said point also being on a line parallel with and 3.75 feet Southerly of, as measured at right angles, the Existing Southerly Right-of-Way line of said State Road No. 5, North Roosevelt Boulevard; Thence N 63'10'15" W along the previously described line, for a distance of 240.52 feet to a point of curvature of a circular curve concave to the Southwest; Thence Northwesterly, along the arc of said curve to the left, having a radius of 969.24 feet and a central angle of 01'58'27" for a distance of 33.39 feet; Thence N 20'17'52" E for a distance 3.76 feet to the point of Beginning.
Containing 1,124 sq.ft more or less.

ADDITIONAL NOTES:

Zoning "CG" General Commercial
FIRM: 120168, Panel 1509 K
Zone, AE, Elevation 8'-10'
2/18/05

Setbacks:
Front & Rear 25'
Sides 15'

Area: 131,661 S.F.
3.02± Acres
Building Height: All buildings are 20'.
Parking: 139 Spaces
6 Handicapped Spaces

SURVEYOR'S NOTES:

North arrow based on plat
Reference Bearing: R/W No. Roosevelt Blvd. per deeds
denotes existing elevation
Elevations based on N.G.V.D. 1929 Datum
Bench Mark No.: NOS 1982 Elevation: 5.1440
Field Work performed on: 12/12/12

Monumentation:

- ⊙ = set 1/2" Iron Pipe, P.L.S. No. 2749
- = Found 1/2" Iron Bar
- △ = Set P.K. Nail, P.L.S. No. 2749
- ▲ = Found P.K. Nail

Abbreviations:

- Sty. = Story
- R/W = Right-of-Way
- fd. = Found
- p. = Plat
- m. = Measured
- d. = Deed
- M.H.W. = Mean High Water
- O.R. = Official Records
- Sec. = Section
- Twp. = Township
- Rge. = Range
- N.T.S. = Not to Scale
- Cl. = Centerline
- Elev. = Elevation
- B.M. = Bench Mark
- P.C. = Point of Curvature
- P.T. = Point of Tangency
- P.O.C. = Point of Commence
- P.O.B. = Point of Beginning
- P.B. = Plat Book
- pg. = page
- Elec. = Electric
- Tel. = Telephone
- Ench. = Encroachment
- O.L. = On Line
- C.L.F. = Chain Link Fence
- o/h = Overhead
- u/g = Underground
- F.F.L. = Finish Floor Elevation
- L.B. = Low Beam
- Rad. = Radial
- Irr. = Irregular
- conc. = concrete
- I.P. = Iron Pipe
- I.B. = Iron Bar
- B. = Baseline
- C.B. = Concrete Block
- C.B.S. = Concrete Block Stucco
- cov'd. = Covered
- P.I. = Point of Intersection
- wd. = Wood
- R = Radius
- A = Arc (Length)
- D = Delta, (Central angle)
- w.m. = Water Meter
- Bal. = Balcony
- Pl. = Planter
- Hydt. = Fire Hydrant
- F.W. = Fire Well
- A/C = Air Conditioner

D = Diameter of tree.
H = Height of tree

- ☀ = Palm
- ☼ = Almond
- ☽ = Buttonwood
- ☿ = Tree, Unknown
- ♁ = Coconut
- ♂ = Pine
- ♁ = Gumbo Limbo
- ☂ = Umbrella
- ☿ = Ficus
- ☀ = Papaya
- ♁ = Rubber
- ☀ = Hong Kong Tulip
- ☀ = Seagrape

DATED: _____

FREDERICK H. HILDEBRANDT
Professional Land Surveyor & Mapper No. 2749
Professional Engineer No. 36810
State of Florida

JL WOOD, LTD - Quality Inn 3824 North Roosevelt Blvd., Key West, FL.			
BOUNDARY SURVEY		Dwn No.: 06-299 C	
Scale: 1"=30'	Ref. 188-9	Flood panel No. 120168 K	Dwn. By: F.H.H.
Date: 6/27/06		Flood Zone: AE	Flood Elev. 8-10'
REVISIONS AND/OR ADDITIONS			
6/7/06: Update, cert, parking, alto survey			
1/10/12: Update, cert, parking, alto survey			

ISLAND SURVEYING INC.
ENGINEERS PLANNERS SURVEYORS
3152 Northside Drive
Suite 201
Key West, FL. 33040
(305) 293-0466
Fax: (305) 293-0237
fhl@islandsurveying.net
L.B. No. 7700



COOPER CARRY

ATLANTA WASHINGTON NEW YORK NEWPORT BEACH

191 Peachtree Street NE
Suite 2400
Atlanta, GA 30303-1770
(404) 237-2000
www.coopercarry.com
FL STATE LICENSE # AA26000496
© Copyright Cooper Carry 2013

SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES

No.	Drawing Issue Description	Date
	DEVELOPMENT PLAN	02/01/2013

KEY WEST HOTEL COLLECTION UNBRANDED (SITE C)

3824 North Roosevelt Boulevard
Key West, Florida 33040

J.L. Woode Ltd.

ARCHITECTURAL SITE PLAN

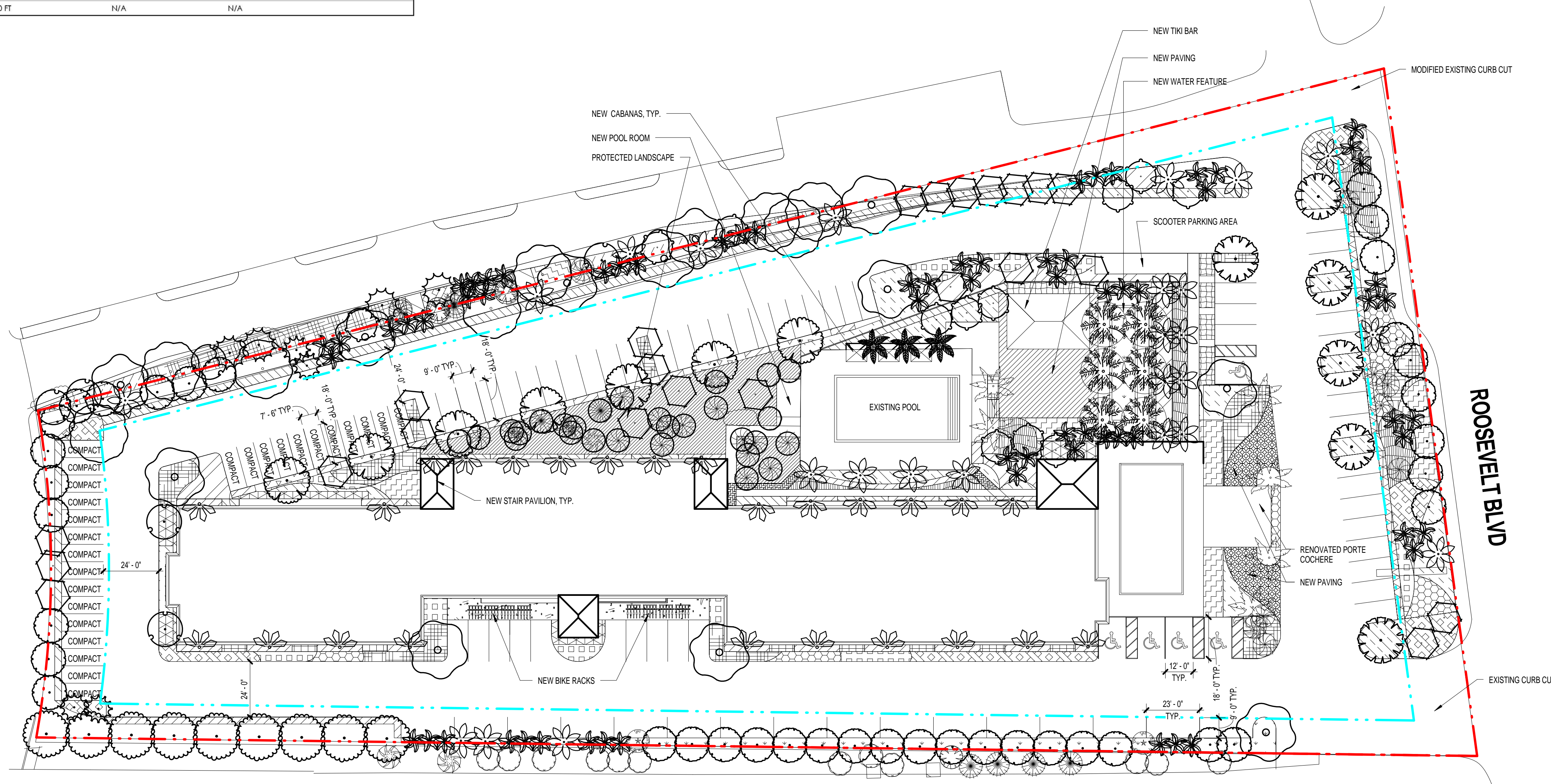
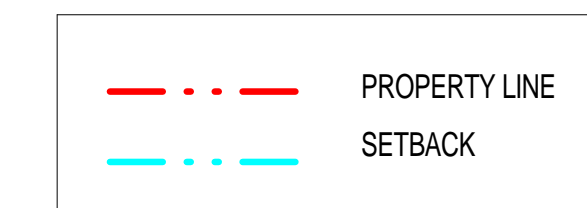
BOB NEAL Principal in Charge	20120295 Project No.
MANNY DOMINGUEZ Design Director	03/25/2013 Date
ANDRES RUBIO Project Manager	
T. JACK BAGBY Project Architect	

A0.00

NOT ISSUED FOR CONSTRUCTION

SITE C

CHARACTERISTIC	REQUIRED	EXISTING	PROPOSED	REMARKS
ZONING	CG - GENERAL COMMERCIAL, BOULEVARD SAFETY/APPEARANCE ZONE			
SITE SIZE	MIN LOT SIZE 15,000 SF	131,661 SF	131,661 SF	
LEGAL DESCRIPTION	ON SURVEY			
FLOOD ELEVATION	ZONES AE 8', 9', & 10'; DFE = 11'-1" NGVD			DFE AT NEW BUILDINGS ONLY; ALL OTHER FEE TO REMAIN
BUILDING SIZE	MAX 105,329 SF PER F.A.R.	58,721 SF	55,134 SF	
BUILDING HEIGHT	MAX 40'-0"	30' - 1 1/2"	30' - 1 1/2"	MEASUREMENTS FROM CROWN OF ROAD
FLOOR AREA RATIO	MAX 0.8	0.446	0.419	INCLUDES BALCONIES PER CODE
BUILDING COVERAGE	MAX 40%	35,469 / 131,661 = 26.94%	29,668 / 131,661 = 22.53%	INCLUDES BALCONIES AND CANOPIES PER CODE
IMPERVIOUS SURFACE	MAX 60%	107,747 / 131,661 = 81.84%	98,837 / 131,661 = 75.07%	
PERVIOUS SURFACE		23,914 / 131,661 = 18.16%	32,824 / 131,661 = 24.93%	
LANDSCAPE AREA	131,661 X 20% = 26,332 SF	19,188 SF	30,266 SF	
PARKING SPACES	101	139	101	PROP. INCLUDES (2) HDCP AND (28) COMPACTS
BIKE PARKING SPACES	35% HOTEL SPACES	0	36	
LOCATION OF STRUCTURES	TO BE SHOWN ON SURVEY AND TECHNICAL DRAWINGS			
# AND TYPE OF UNITS		100	100	ALL ARE TRANSIENT LODGING
LAND USE	MAX 14 DU/ACRE	100 / 3.02 = 33.1 DU/ACRE	100 / 3.02 = 33.1 DU/ACRE	
CONSUMPTION SPACE		5,280 SF	700 SF	EXISTING = BREAKFAST AND MEETING AREA; NEW = JUST BREAKFAST
SETBACKS	PULLED FROM SURVEY			
FRONT	25 FT	72.30 FT	72.30 FT	
REAR	25 FT	22.09 FT	49.71 FT	
SIDE	15 FT	37.12 FT	40.85 FT	
STREET SIDE	20 FT	N/A	N/A	



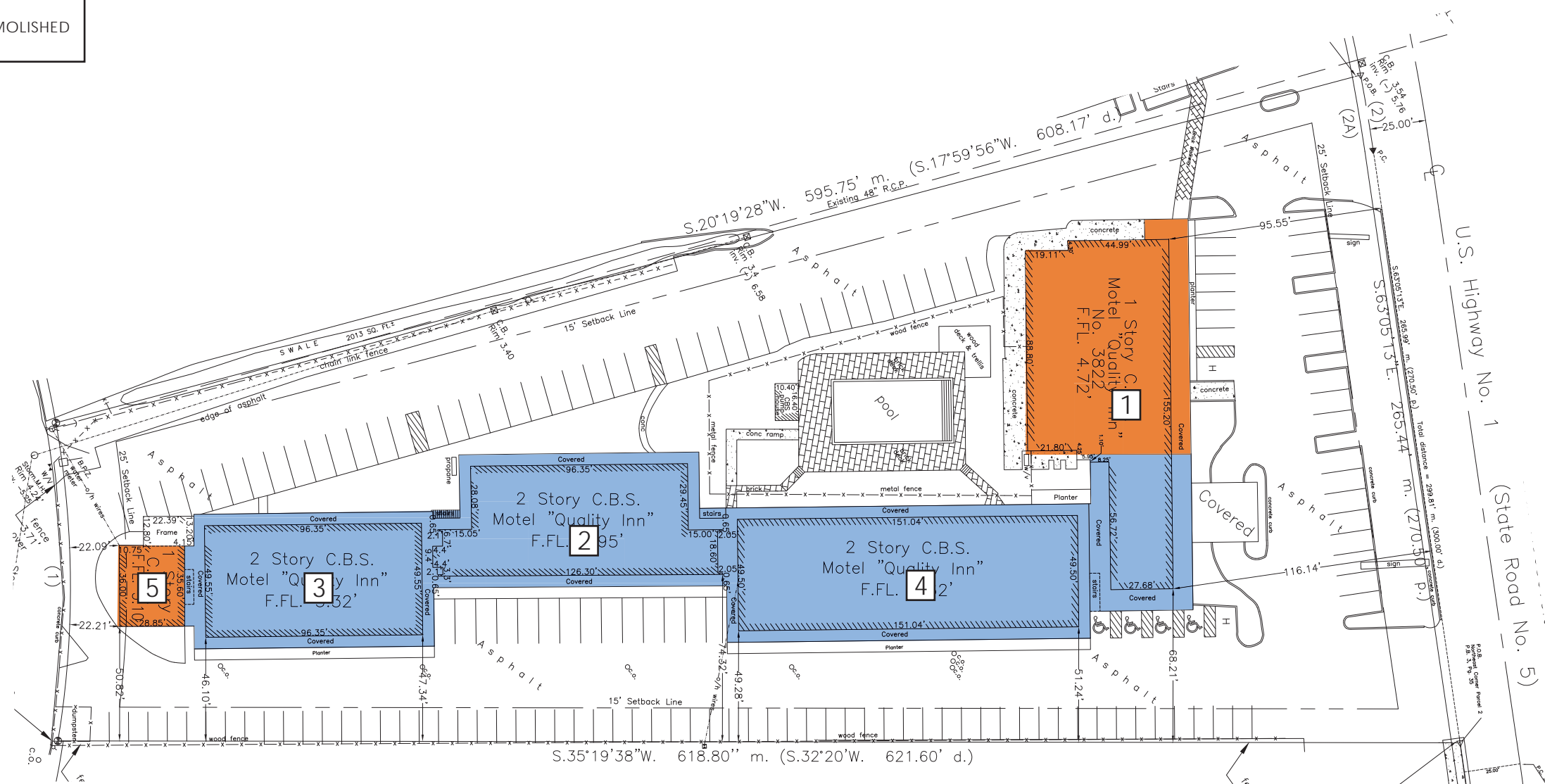
1 ARCHITECTURAL SITE PLAN
A0.00 SCALE: 1" = 30'-0"

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION
SHEET NUMBER: A0.00 - ARCHITECTURAL SITE PLAN
M:\2012\20120295\cd-7 drawings\cd-7_1 rev\users\20120295_2011_site_c_mcdantelj.rvt
3/20/2013 3:30:24 PM

UNBRANDED (SITE C)

LEGEND

- EXISTING BUILDING TO REMAIN
- EXISTING BUILDING TO DEMOLISH
- NEW BUILDING
- 1 EXISTING LOBBY AND REGISTRATION - PARTIALLY DEMOLISHED
- 2 EXISTING GUEST ROOM BUILDING TO BE RENOVATED
- 3 EXISTING GUEST ROOM BUILDING TO BE RENOVATED
- 4 EXISTING GUEST ROOM BUILDING TO BE RENOVATED
- 6 EXISTING LAUNDRY & ENGINEERING BUILDING TO BE DEMOLISHED



PROJECT N^o 20120295.00 | REVISION N^o 000 | DATE 02 27 2013

Notes

SITE C EXISTING SITE PLAN



KEY WEST DEVELOPMENT PACKAGE
Key West, Florida 33040



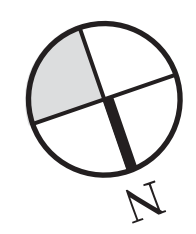
SITE C				
CHARACTERISTIC	REQUIRED	EXISTING	PROPOSED	REMARKS
ZONING	CG - GENERAL COMMERCIAL, BOULEVARD SAFETY/APPEARANCE ZONE			
SITE SIZE	MIN LOT SIZE 15,000 SF	131,661 SF	131,661 SF	
LEGAL DESCRIPTION	ON SURVEY			
FLOOD ELEVATION	ZONES AE 8', 9', & 10'; DFE = 11'-1" NGVD			DFE AT NEW BUILDINGS ONLY. ALL OTHER FEE TO REMAIN
BUILDING SIZE	MAX 105,329 SF PER F.A.R.	58,721 SF	55,134 SF	
BUILDING HEIGHT	MAX 40'-0"	30' - 1 1/2"	30' - 1 1/2"	MEASUREMENTS FROM CROWN OF ROAD
FLOOR AREA RATIO	MAX 0.8	0.446	0.419	INCLUDES BALCONIES PER CODE
BUILDING COVERAGE	MAX 40%	35,469 / 131,661 = 26.94%	29,868 / 131,661 = 22.53%	INCLUDES BALCONIES AND CANOPIES PER CODE
IMPERVIOUS SURFACE	MAX 60%	107,747 / 131,661 = 81.84%	98,837 / 131,661 = 75.07%	
PERVIOUS SURFACE		23,914 / 131,661 = 18.16%	32,824 / 131,661 = 24.93%	
LANDSCAPE AREA	131,661 X 20% = 26,332 SF	19,188 SF	30,266 SF	
PARKING SPACES	101	139	101	PROP. INCLUDES (5) HDCP
BIKE PARKING SPACES	35% HOTEL SPACES	0	36	
LOCATION OF STRUCTURES	TO BE SHOWN ON SURVEY AND TECHNICAL DRAWINGS			
# AND TYPE OF UNITS		100	100	ALL ARE TRANSIENT LODGING
LAND USE	MAX 16 DU/ACRE	100 / 3.02 = 33.1 DU/ACRE	100 / 3.02 = 33.1 DU/ACRE	
CONSUMPTION SPACE		5,280 SF	700 SF	EXISTING - BREAKFAST AND MEETING AREA. NEW - JOST BREAKFAST
SETBACKS	PULLED FROM SURVEY			
FRONT	25 FT	72.30 FT	72.30 FT	
REAR	25 FT	22.09 FT	49.71 FT	
SIDE	15 FT	37.12 FT	40.85 FT	
STREET SIDE	20 FT	N/A	N/A	

LEGEND	
	EXISTING BUILDING TO REMAIN
	EXISTING BUILDING TO DEMOLISH
	NEW BUILDING
1	RENOVATED LOBBY AND REGISTRATION BUILDING
2	EXISTING GUEST ROOM BUILDING TO BE RENOVATED
3	EXISTING GUEST ROOM BUILDING TO BE RENOVATED
4	EXISTING GUEST ROOM BUILDING TO BE RENOVATED
6	NEW POOL-SIDE BAR



PROJECT N^o 20120295.00 | REVISION N^o 000 | DATE 02 27 2013

Notes



SITE C ARCHITECTURAL SITE PLAN

KEY WEST DEVELOPMENT PACKAGE
Key West, Florida 33040



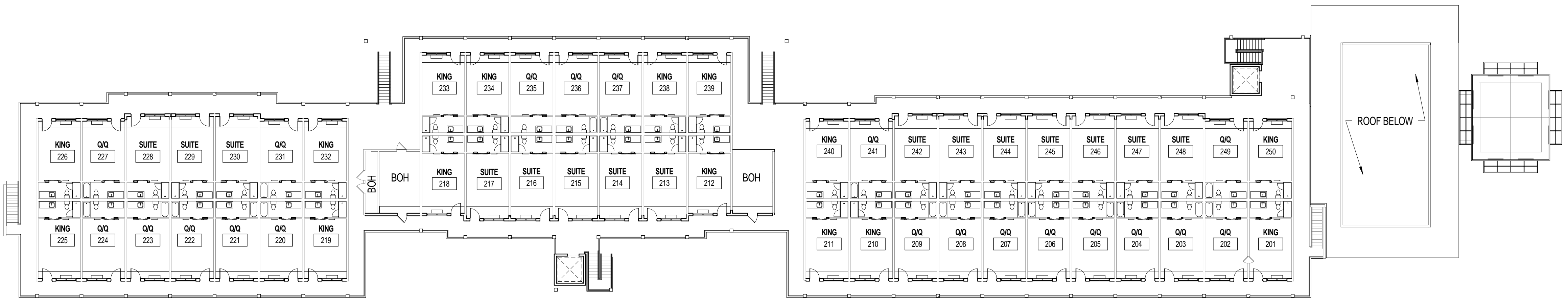


COOPER CARRY

ATLANTA WASHINGTON NEW YORK NEWPORT BEACH

191 Peachtree Street NE
Suite 2400
Atlanta, GA 30303-1770
(404) 237-2000

www.coopercarry.com
FL STATE LICENSE # AA26000496
© Copyright Cooper Carry 2013

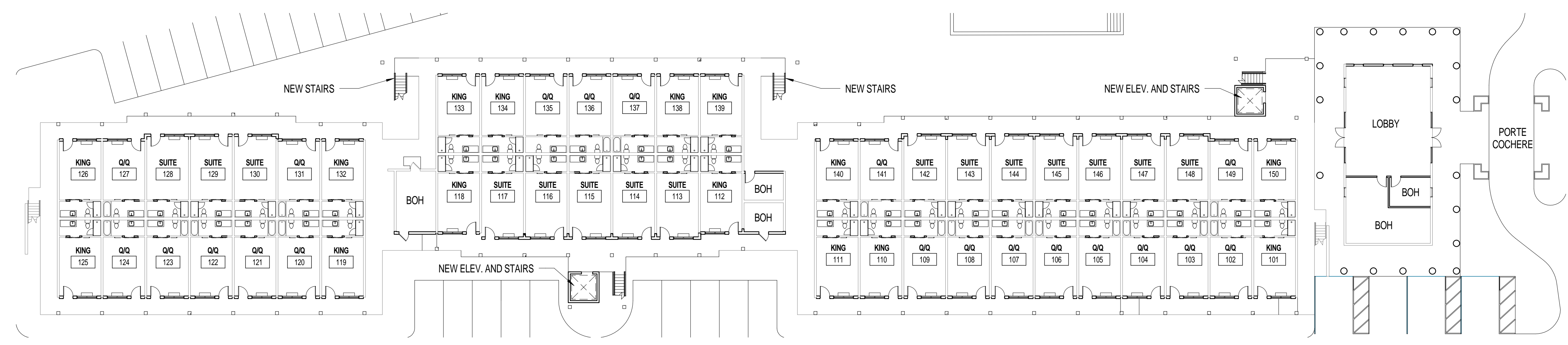


SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
	DEVELOPMENT PLAN	02/01/2013

2 SECOND LEVEL FLOOR PLAN
A1.0 SCALE: 1" = 20'-0"



1 GROUND LEVEL FLOOR PLAN
A1.0 SCALE: 1" = 20'-0"

KEY WEST HOTEL COLLECTION UNBRANDED (SITE C)

3824 North Roosevelt Boulevard
Key West, Florida 33040

J.L. Woode Ltd.

FLOOR PLANS

BOB NEAL	20120295
Principal-in-Charge	Project No.
MANNY DOMINGUEZ	02/01/2013
Design Director	Date
ANDRES RUBIO	
Project Manager	
T. JACK BAGBY	
Project Architect	

A1.0

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION
SHEET NUMBER: A1.0 - FLOOR PLANS
M:\2012\20120295\4-d-7-1 revit\users\20120295_2011_site_c_mcdaniel\j.l.woode\2013\2/8/2013 1:34:03 PM



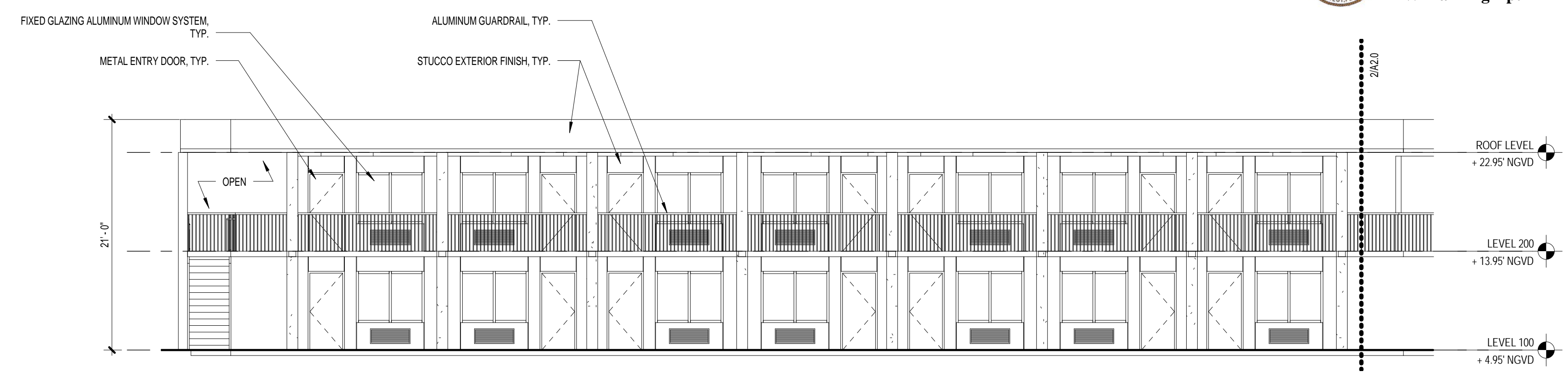
COOPER CARRY

ATLANTA WASHINGTON NEW YORK NEWPORT BEACH

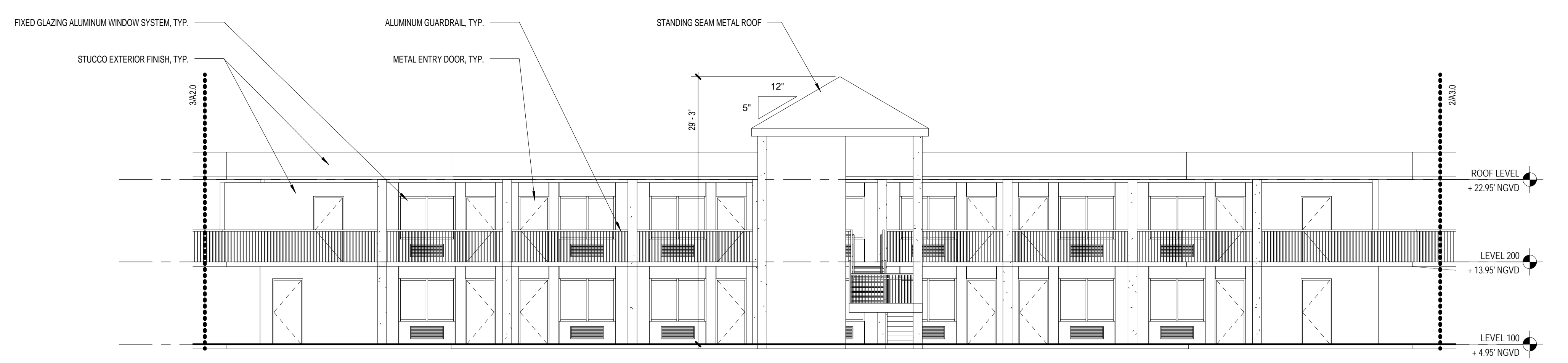
191 Peachtree Street NE
Suite 2400
Atlanta, GA 30303-1770
(404) 237-2000

www.coopercarry.com
FL STATE LICENSE # AA26000496
© Copyright Cooper Carry 2013

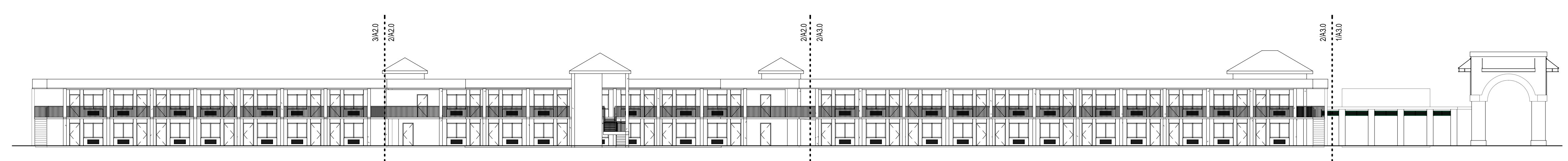
RECEIVED
February 8, 2011
KW Planning Dpt



3 ENLARGED NORTH ELEVATION
A2.0 SCALE: 1/8" = 1'-0"



2 ENLARGED NORTH ELEVATION
A2.0 SCALE: 1/8" = 1'-0"



1 COMPOSITE NORTH ELEVATION
A2.0 SCALE: 1" = 20'-0"

SCOPE DOCUMENTS
The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES

No.	Drawing Issue Description	Date
	DEVELOPMENT PLAN	02/01/2013

KEY WEST HOTEL
COLLECTION
UNBRANDED (SITE C)

3824 North Roosevelt Boulevard
Key West, Florida 33040
J.L. Woode Ltd.

ELEVATIONS

BOB NEAL Principal-in-Charge	20120295 Project No.
MANNY DOMINGUEZ Design Director	02/01/2013 Date
ANDRES RUBIO Project Manager	
T. JACK BAGBY Project Architect	

A2.0

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION
SHEET NUMBER: A2.0 ELEVATIONS
M:\2012\20120295\7-drawings\7-1-rev\users\20120295_2011_site_c_mcdaniel\j.l.vrt
2/6/2013 1:34:06 PM

UNBRANDED (SITE C)



COOPER CARRY

ATLANTA WASHINGTON NEW YORK NEWPORT BEACH

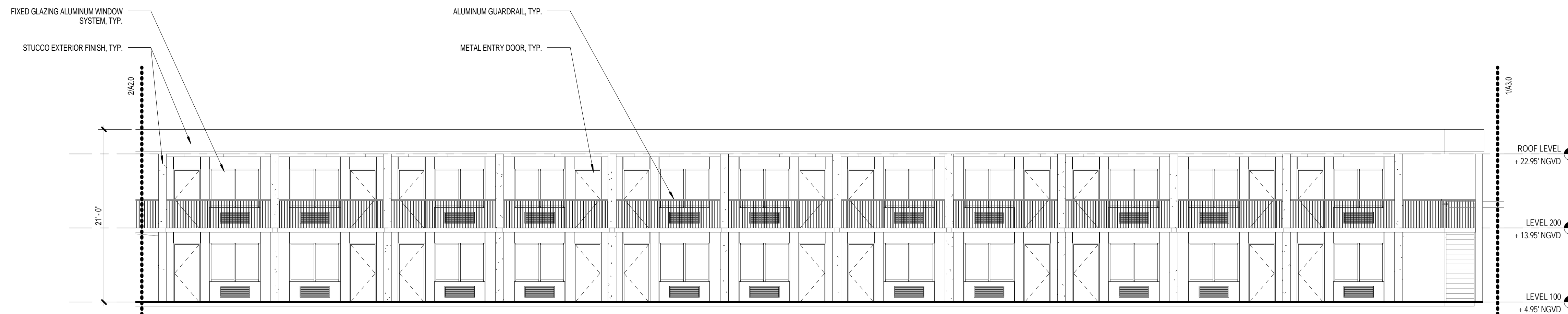
191 Peachtree Street NE
Suite 2400
Atlanta, GA 30303-1770
(404) 237-2000

www.coopercarry.com
FL STATE LICENSE # AA26000496
© Copyright Cooper Carry 2013

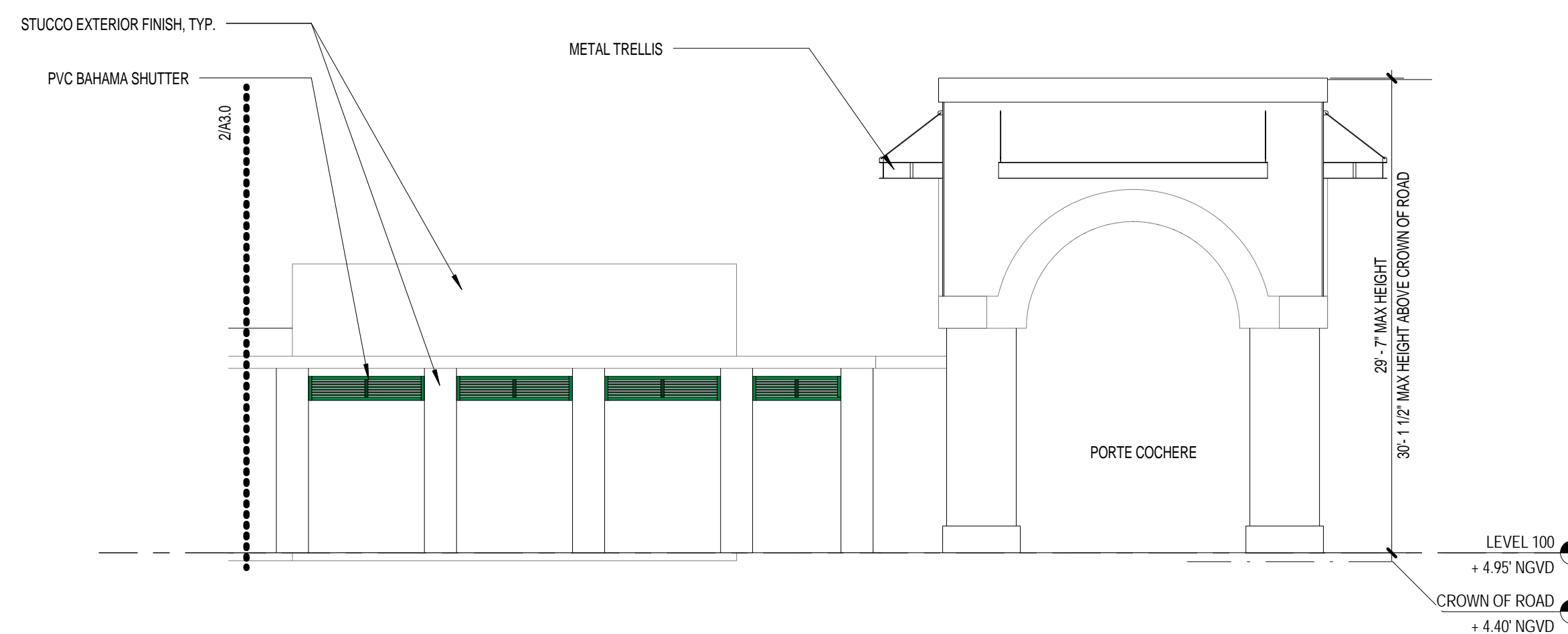
SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
	DEVELOPMENT PLAN	02/01/2013



2 ENLARGED NORTH ELEVATION
A3.0 SCALE: 1/8" = 1'-0"



1 ENLARGED NORTH ELEVATION
A3.0 SCALE: 1/8" = 1'-0"

KEY WEST HOTEL COLLECTION UNBRANDED (SITE C)

3824 North Roosevelt Boulevard
Key West, Florida 33040

J.L. Woode Ltd.

ELEVATIONS

BOB NEAL Principal-in-Charge	20120295 Project No.
MANNY DOMINGUEZ Design Director	02/01/2013 Date
ANDRES RUBIO Project Manager	
T. JACK BAGBY Project Architect	

A3.0



COOPER CARRY

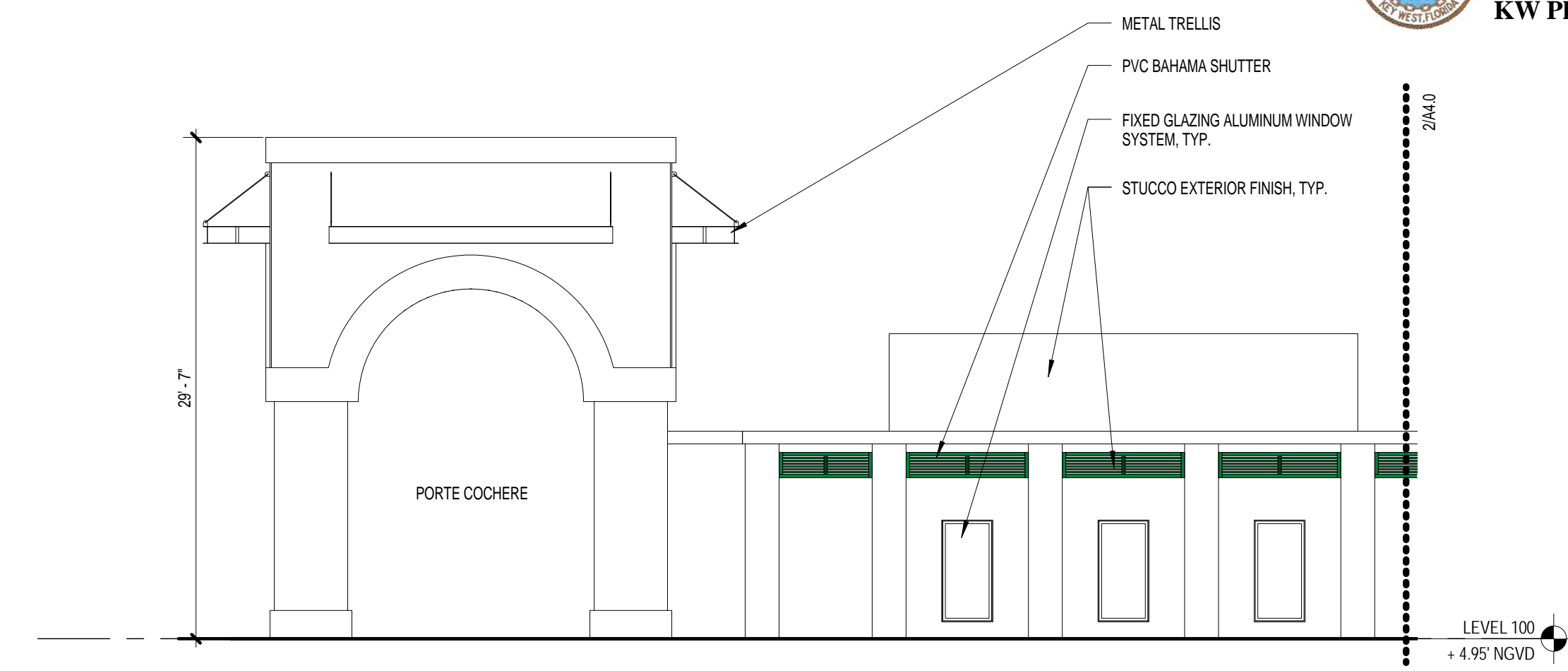
ATLANTA WASHINGTON NEW YORK NEWPORT BEACH

191 Peachtree Street NE
Suite 2400
Atlanta, GA 30303-1770
(404) 237-2000

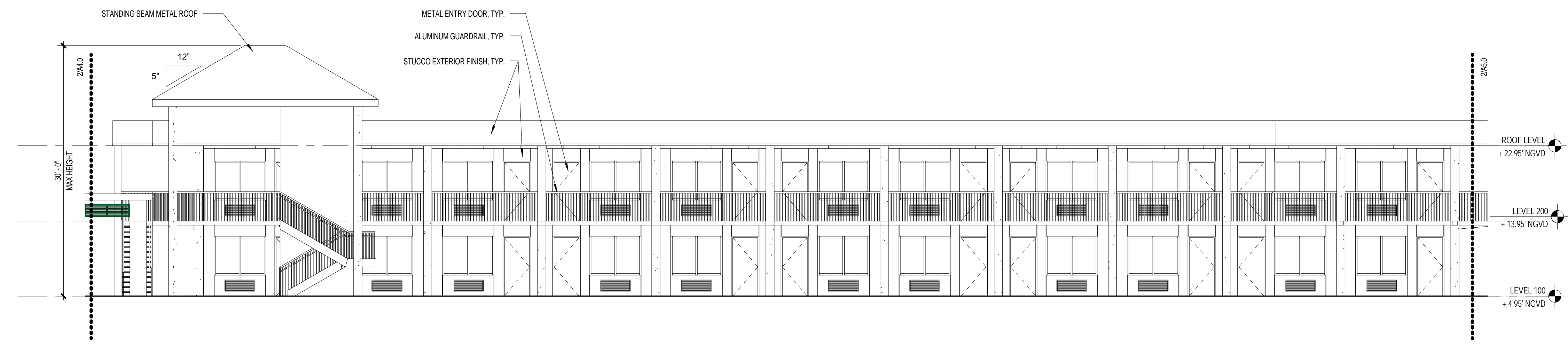
www.coopercarry.com
FL STATE LICENSE # AA26000496
© Copyright Cooper Carry 2013



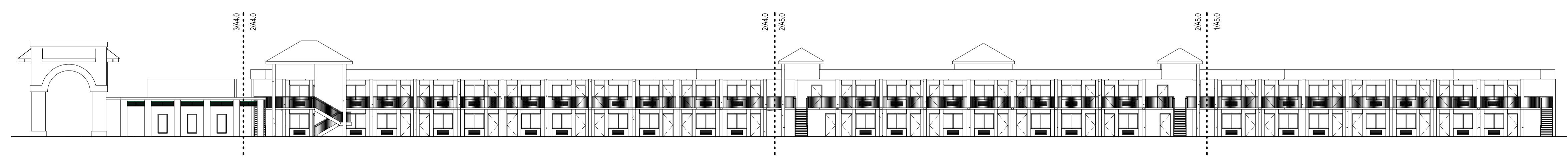
RECEIVED
February 8, 2011
KW Planning Dpt



3 ENLARGED SOUTH ELEVATION
A4.0 SCALE: 1/8" = 1'-0"



2 ENLARGED SOUTH ELEVATION
A4.0 SCALE: 1/8" = 1'-0"



1 COMPOSITE SOUTH ELEVATION
A4.0 SCALE: 1" = 20'-0"

SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES

No.	Drawing Issue Description	Date
	DEVELOPMENT PLAN	02/01/2013

KEY WEST HOTEL COLLECTION UNBRANDED (SITE C)

3824 North Roosevelt Boulevard
Key West, Florida 33040

J.L. Woode Ltd.

ELEVATIONS

BOB NEAL Principal-in-Charge	20120295 Project No.
MANNY DOMINGUEZ Design Director	02/01/2013 Date
ANDRES RUBIO Project Manager	
T. JACK BAGBY Project Architect	

A4.0

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION
SHEET NUMBER: A4.0 - ELEVATIONS
M:\2012\20120295\7-drawings\7-1 revit\users\20120295_2011_site_c_mcdame\jli.rvt
2/6/2013 1:34:10 PM

UNBRANDED (SITE C)



COOPER CARRY

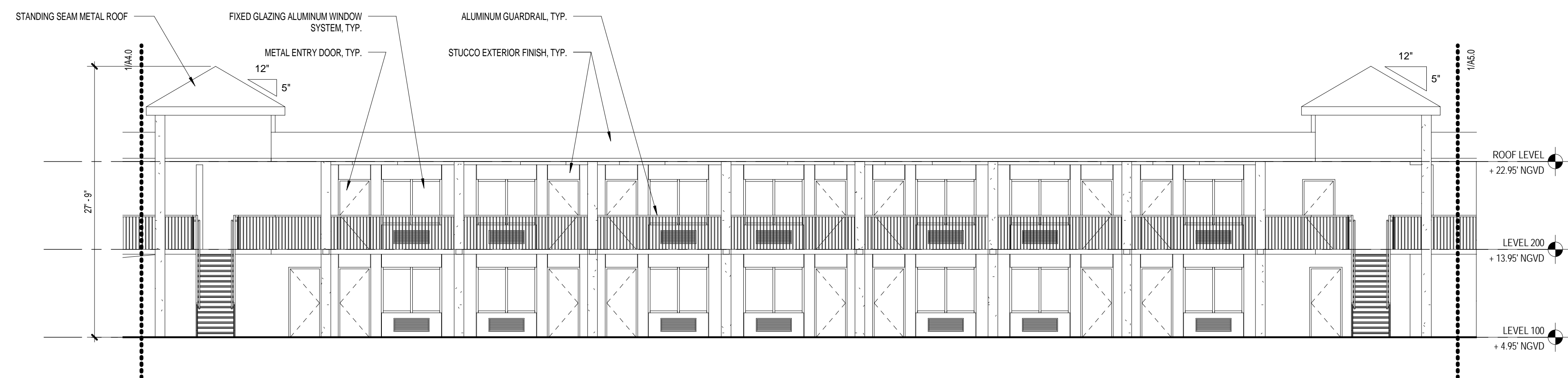
ATLANTA WASHINGTON NEW YORK NEWPORT BEACH

191 Peachtree Street NE
Suite 2400
Atlanta, GA 30303-1770
(404) 237-2000

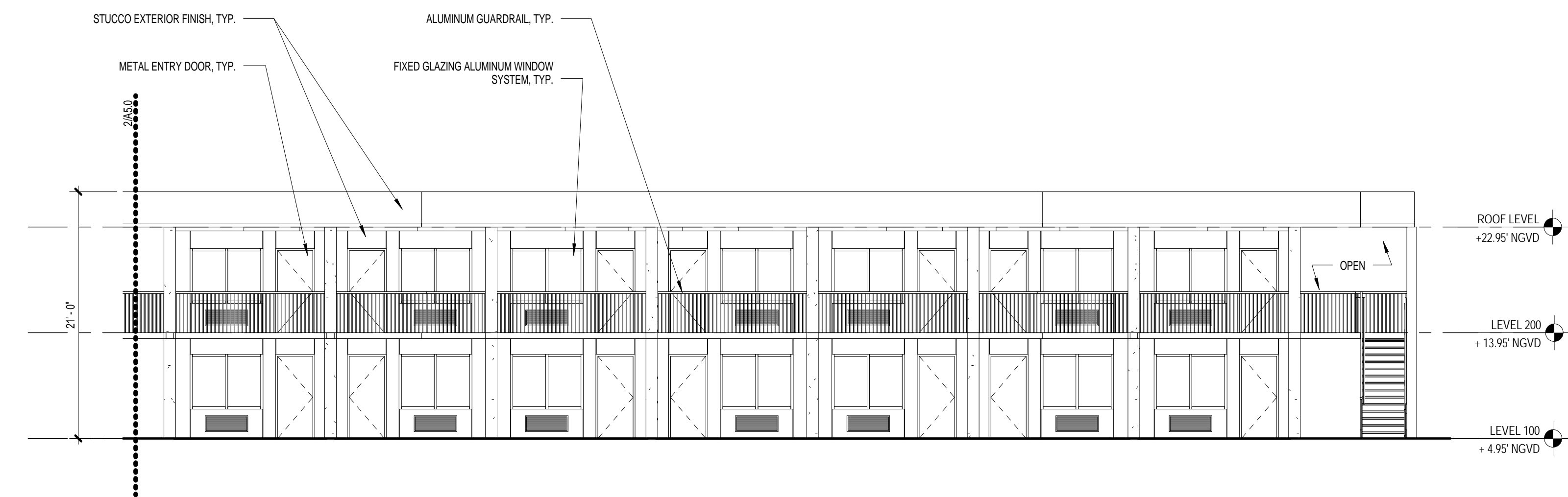
www.coopercarry.com
FL STATE LICENSE # AA26000496
© Copyright Cooper Carry 2013



RECEIVED
February 8, 2011
KW Planning Dpt



2
A5.0 ENLARGED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1
A5.0 ENLARGED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES

No.	Drawing Issue Description	Date
	DEVELOPMENT PLAN	02/01/2013

**KEY WEST HOTEL
COLLECTION
UNBRANDED (SITE C)**

3824 North Roosevelt Boulevard
Key West, Florida 33040

J.L. Woode Ltd.

ELEVATIONS

BOB NEAL Principal-in-Charge	20120295 Project No.
MANNY DOMINGUEZ Design Director	02/01/2013 Date
ANDRES RUBIO Project Manager	
T. JACK BAGBY Project Architect	

A5.0

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION
SHEET NUMBER: A5.0 - ELEVATIONS
M:\2012\20120295\7 drawings\7-1 revit\users\20120295_2011_site_c_mcdaniel\j.l.woode\2/6/2013 1:34:12 PM



COOPER CARRY

ATLANTA WASHINGTON NEW YORK NEWPORT BEACH

191 Peachtree Street NE
Suite 2400
Atlanta, GA 30303-1770
(404) 237-2000
www.coopercarry.com
FL STATE LICENSE # AA26000496
© Copyright Cooper Carry 2013

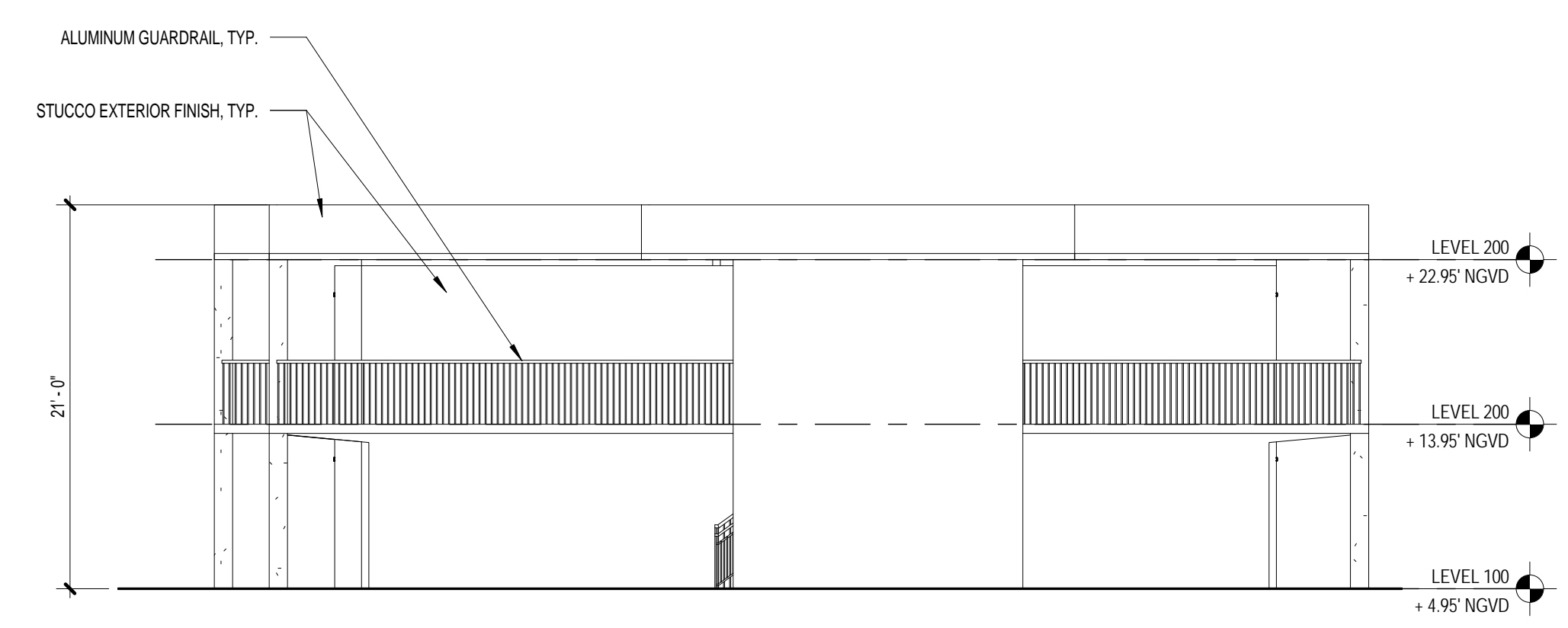


RECEIVED
February 8, 2011
KW Planning Dpt

SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
	DEVELOPMENT PLAN	02/01/2013



1 EAST ELEVATION
A6.0 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
A6.0 SCALE: 1/8" = 1'-0"

KEY WEST HOTEL COLLECTION UNBRANDED (SITE C)

3824 North Roosevelt Boulevard
Key West, Florida 33040
J.L. Woode Ltd.

ELEVATIONS

BOB NEAL Principal-in-Charge	20120295 Project No.
MANNY DOMINGUEZ Design Director	02/01/2013 Date
ANDRES RUBIO Project Manager	
T. JACK BAGBY Project Architect	

A6.0

Drawing No.

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION UNBRANDED (SITE C)
SHEET NUMBER: A6.0 - ELEVATIONS
M:\2012\20120295\Drawings\7-1 revit\users\20120295_2011_site_c_mcdaniel\j.l.woode\2/8/2013 1:34:13 PM



RECEIVED
February 8, 2011



KW Planning Dpt



ATLANTA WASHINGTON NEW YORK NEWPORT BEACH

© Copyright Cooper Carry 2013

SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on terms of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES

No.	Drawing Issue Description	Date
	DEVELOPMENT PLAN	2013-02-01



Perez Engineering & Development, Inc.
 CERTIFICATE OF AUTHORIZATION No. 8579
 1010 Kennedy Drive, Suite 201
 Key West, FL 33040
 Tel (305) 293-9440
 Fax (305) 296-0243
 aperez@perezeng.com

**KEY WEST HOTEL
COLLECTION - (SITE C)**

3824 North Roosevelt Boulevard
Key West, Florida 33040

J.L. Woode Ltd.

**SITE / CONCEPTUAL
DRAINAGE PLAN**

BOB NEAL Principal/Chargé	20120295 Project No.
MANNY DOMINGUEZ Design Director	02/01/13 Date
ANDRES RUBIO Project Manager	
T. JACK BAGBY Project Architect	

C-1

NOT ISSUED FOR CONSTRUCTION

PROJECT STATISTICS				
CHARACTERISTIC	REQUIRED	EXISTING	PROPOSED	REMARKS
ZONING	CG - GENERAL COMMERCIAL, BOULEVARD SAFETY/APPEARANCE ZONE			
SITE SIZE	MIN LOT SIZE 15,000 SF	131,661 SF	131,661 SF	
LEGAL DESCRIPTION	ON SURVEY			
FLOOD ELEVATION	ZONES AE 8', 9', & 10'; DFE = 11'-1" NGVD <small>DFE AT NEW BUILDINGS ONLY, ALL OTHER FFE TO REMAIN</small>			
BUILDING SIZE	MAX 105,329 SF PER F.A.R.	58,721 SF	55,134 SF	
FLOOR AREA RATIO	MAX 0.8	0.446	0.419	<small>INCLUDES BALCONIES PER CODE</small>
BUILDING COVERAGE	MAX 40%	35,469 / 131,661 = 26.94%	29,668 / 131,661 = 22.53%	<small>INCLUDES BALCONIES AND CANOPIES PER CODE</small>
IMPERVIOUS SURFACE	MAX 60%	107,747 / 131,661 = 81.84%	98,837 / 131,661 = 75.07%	
PERVIOUS SURFACE		23,914 / 131,661 = 18.16%	32,824 / 131,661 = 24.93%	
LANDSCAPE AREA				
PARKING SPACES	101	139	101	<small>PROP. INCLUDES (5) HOCP</small>
BIKE PARKING SPACES	35% HOTEL SPACES	0	36	
LOCATION OF STRUCTURES	TO BESHOWN ON SURVEY AND TECHNICAL DRAWINGS			
LAND USE	MAX 16 DU/ACRE	100 / 3.02 = 33.1 DU/ACRE	100 / 3.02 = 33.1 DU/ACRE	
SETBACKS	FILLED FROM SURVEY			
	FRONT	25 FT	72.30 FT	72.30 FT
	REAR	25 FT	22.09 FT	49.71 FT
	SIDE	15 FT	37.12 FT	40.85 FT
	STREET SIDE	20 FT	N/A	N/A

Infiltration Trench Design

Required trench length (L) =

$$L = \frac{V}{K(H^2W + 2H^2Du + Du^2 + 2H^2D_s) + 1.39 \times 10^{-4}(W)(Du)}$$

Hydraulic Conductivity, K = 0.0001

H = 2.25 ft
W = 5 ft
Du = 1.25 ft
D_s = 3.25 ft

Volume of Trench, V = 3.962 ac-in

Trench Length Required = 1026 FT
Trench Length Provided = 1045 FT

LEGEND

- PROJECT LIMITS
- BUILDING AREA
- ASPHALT PAVEMENT
- CONCRETE / MISC. IMPERVIOUS
- DRY RETENTION AREA
- EXISTING GRADE
- EXFILTRATION TRENCH
- STORMWATER PIPE
- STORMWATER INLET (NYLOPLAST STORM BASIN)
- STORMWATER INLET (FDOT DITCH BOTTOM)
- STORMWATER FLOW

NOTE: SYMBOLS IN LEGEND ARE NOT TO SCALE

Postdevelopment - Predevelopment

$Q_{pre-post} = Q_{post} - Q_{pre}$ $Q_{pre-post} = -0.55$ in
 $V_{pre-post} = Q_{pre-post} \times A$ $V_{pre-post} = -1.65$ ac-in

Water Quality

Basin A	3.023	ac	131,661	sf
Surface Water	0.000	ac	0	sf
Roof Area	0.684	ac	29,800	sf
Pavement/Walkways	1.585	ac	69,037	sf
Pervious area	0.754	ac	32,824	sf
Site Area for Water Quality (Total Area - (Surface Water + Roof Area))	2.338	ac	101,861	sf
Impervious area for water Quality (Site area for Water Quality - Pervious area)	1.585	ac	69,037	sf

% Impervious = 52%

A) One inch of runoff from project area = 3.023 ac-in
 B) 2.5 inches times percent impervious (2.5 x percent impervious x (site area - surface water)) = 3.962 ac-in

Comparison of Water Quality Methods

3.023	<	3.962	ac-in
-------	---	-------	-------

Comparison of Water Quality vs Water Quantity

3.962	>	-1.647	ac-in
-------	---	--------	-------

Pretreatment Volume Required: 3.962 ac-in, 14,593 cf
 Pretreatment volume provided (Dry Retention): 0.000 ac-in, 5,389 cf
 Pretreatment Volume Provided (Exfiltration Trench): 4.035 ac-in, 12,250 cf
 Total Pretreatment Volume Provided: 4.035 ac-in, 14,647 cf

Water Quantity and Water Quality Calculations

Water Quantity - Predevelopment

Project Area	A = 3.023	ac	131,661	sf
Pervious Area	0.549	ac	23,914	sf
Impervious Area	2.474	ac	107,747	sf
% Impervious	81.84%			

Rainfall for 25yr/24hr event: P₂₄ = 9 in
 Rainfall for 25yr/72hr event: P₇₂ = 12.23 in

Depth to Water Table: 2 ft
 Redeveloped Available Storage: 1.88 in
 Soil Storage: S = 0.34 in

$Q_{pre} = \frac{P_{24} - 0.2S}{(P_{24} + 0.8S)}$ $Q_{pre} = 11.83$ in

Runoff Volume from 25 year / 3 day storm: V_{25yr/24hr} = 35.76 ac-in

Water Quantity - Postdevelopment

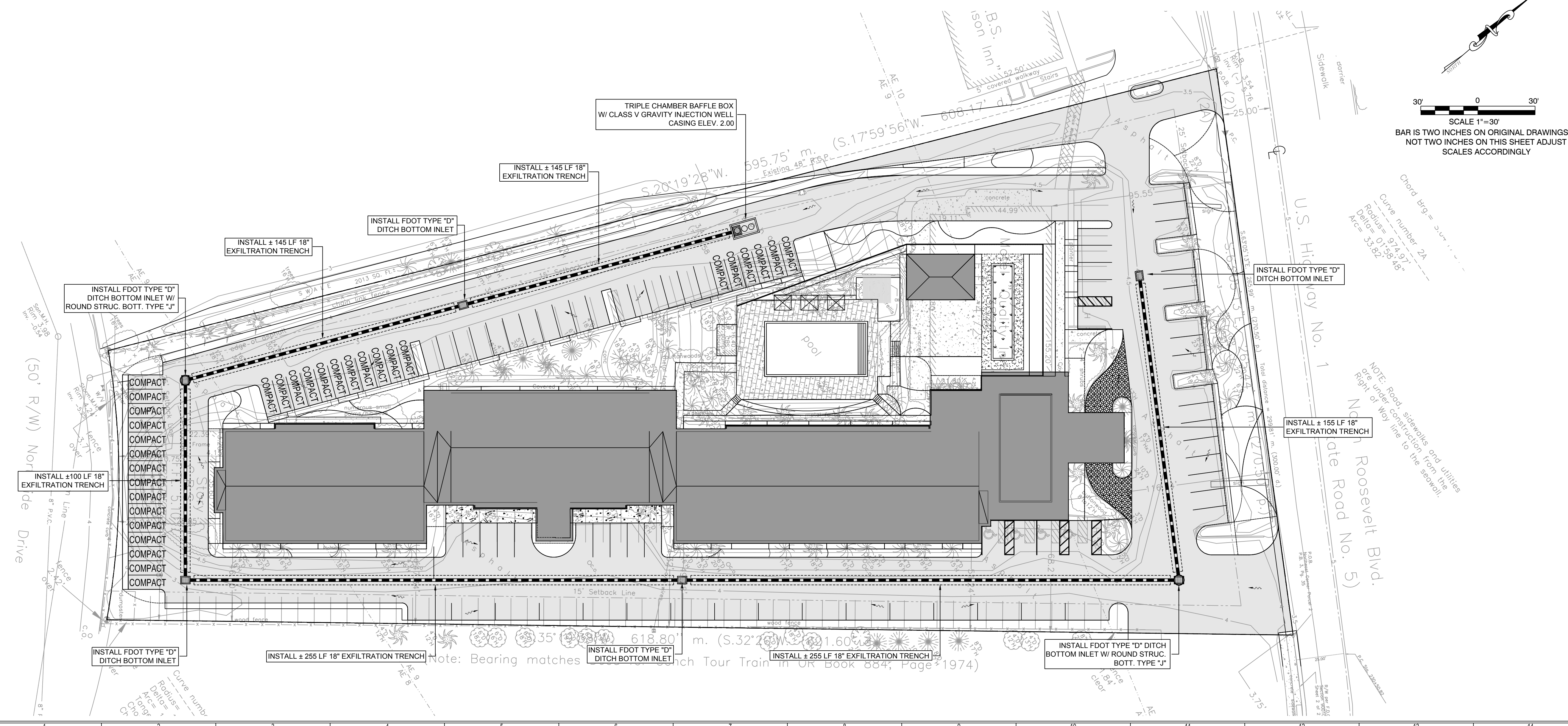
Project Area	A = 3.023	ac	131,661	sf
Pervious Area	0.754	ac	32,824	sf
Impervious Area	2.269	ac	98,837	sf
% Impervious	75.1%			

Rainfall for 25yr/24hr event: P₂₄ = 9 in
 Rainfall for 25yr/72hr event: P₇₂ = 12.23 in

Depth to Water Table: 2 ft
 Developed Available Storage: 1.88 in
 Soil Storage: S = 0.47 in

$Q_{post} = \frac{P_{24} - 0.2S}{(P_{24} + 0.8S)}$ $Q_{post} = 11.69$ in

Runoff Volume from 25 year / 3 day storm: V_{25yr/24hr} = 35.32 ac-in



SCALE 1"=30'
 BAR IS TWO INCHES ON ORIGINAL DRAWINGS IF
 NOT TWO INCHES ON THIS SHEET ADJUST
 SCALES ACCORDINGLY

U.S. Highway No. 1

North Roosevelt Blvd.
 (State Road No. 5)

(50' R/W) Northside Drive

Note: Bearing matches with Tour Train in CR Book 884, Page 1974



TREE PERMIT APPLICATION NOTES
PALMS TO BE REPLACED:51
NATIVE PALMS PLANTED:96
NON NATIVE PALMS TO BE PLANTED:36
CANOPY TREES TO BE REPLACED:18
NATIVE CANOPY TREES TO BE PLANTED:106
NON NATIVE CANOPY TREES TO BE PLANTED:0
EXISTING TREES TO REMAIN ON SITE:55

NOTE:
ALL TREES AND PALMS TO BE FLORIDA GRADE #1

© Copyright Cooper Carry 2012

SCOPE DOCUMENTS

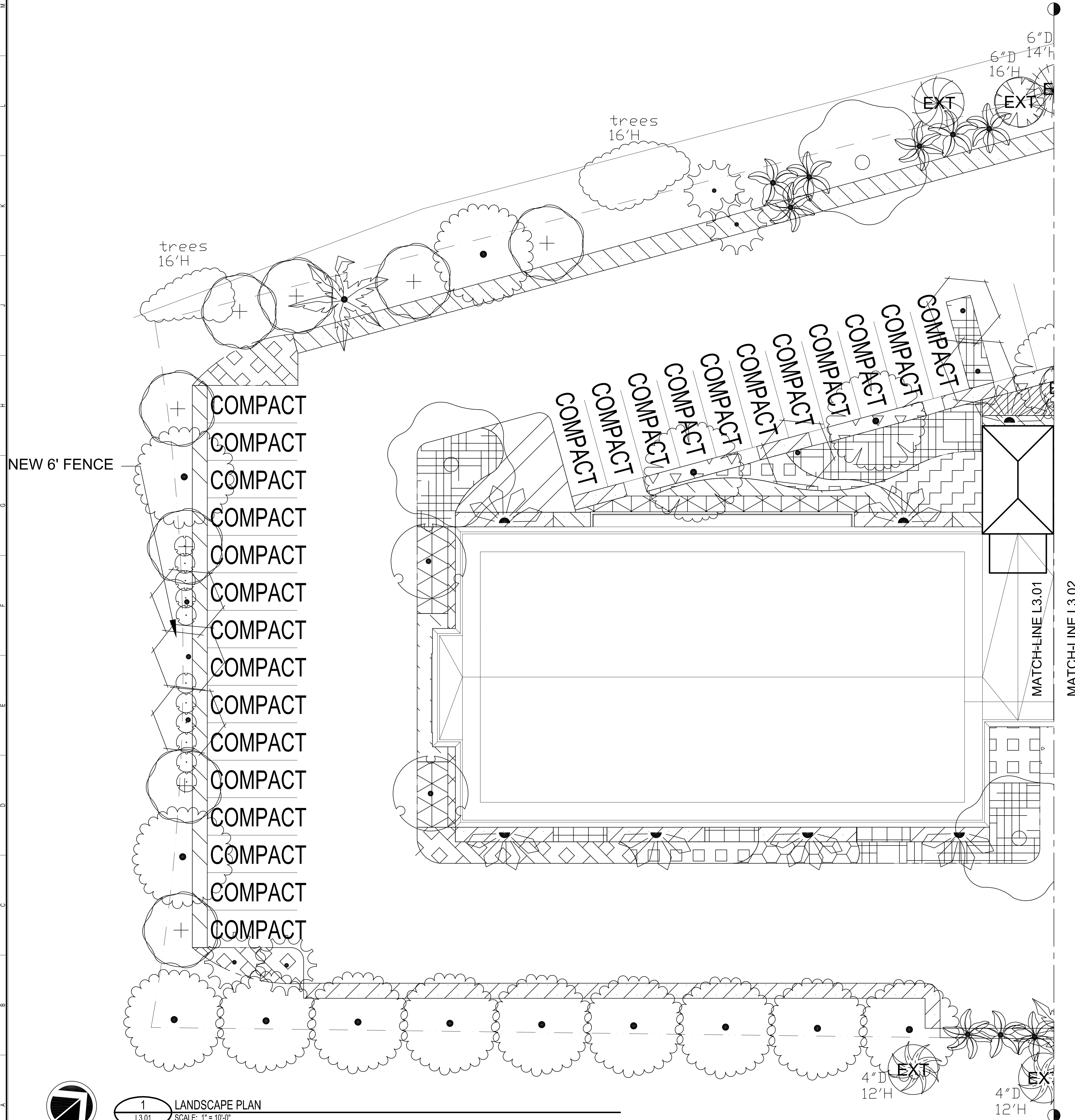
The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work indicated in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES

No.	Drawing Issue Description	Date
	SCHEMATIC DESIGN	12/17/2012

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	REMARKS
	7	BURSERIA SIMARUBA	GUMBO LIMBO	B&B OR FG	3" CAL, 13-15' HT	NATIVE
	13	CONOCARPUS ERECTUS	BUTTONWOOD	B&B OR FG	8-10' HT, MULTI-TRUNK	NATIVE
	9	CORDIA SEBESTENA	ORANGE GEIGER TREE	B&B OR FG	8-10' HT.	NATIVE
	60	EXISTING TREE TO REMAIN		NA	VARIES	
	2	GORDONIA LASIANTHUS	LOBLOLLY BAY	B&B OR FG	8-10' HT	NATIVE
	11	ILEX CASSINE	DAHOOON HOLLY	25 GAL	8-10' HT	NATIVE
	24	MAGNOLIA VIRGINIANA	SWEET BAY	B&B OR FG	10-12' HT	NATIVE
	26	MYRICA CERIFERA	WAX MYRTLE	FG	10-12' HT	
	6	SIMAROUBA GLAUCA	PARADISE TREE	B&B OR FG	8-10' HT	NATIVE
	10	SWIETENIA MAHAGONI	WEST INDIAN MAHOGANY	B&B OR FG	14-16' HT	NATIVE
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	REMARKS
	6	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	FG	10' CT	
	3	PHOENIX DACTYLIFERA 'MEDJOOOL'	DATE PALM	FG	10' CT	
	25	RAVENALA MADAGASCARIENSIS	TRAVELER'S TREE	FG	10'-12' HT	
	6	ROYSTONIA ELATA	FLORIDA ROYAL PALM	FG	14' CT	NATIVE
	22	SABAL PALMETTO	CABBAGE PALMETTO	FG	10' CT	NATIVE
	22	SABAL PALMETTO	CABBAGE PALMETTO	FG	12' CT	NATIVE
	22	SABAL PALMETTO	CABBAGE PALMETTO	FG	14' CT	NATIVE
	24	THRINAX RADIATA	FLORIDA THATCH PALM	B&B OR FG	10' CT	NATIVE
	2	WODYETIA BIFURCATA	FOXTAIL PALM	FG	10' CT	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
	11	SERENOA REPENS	SAW PALMETTO	7 GAL	AS SHOWN	
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	REMARKS	
	246	BLECHNUM SERRULATUM	SWAMP FERN	3 GAL 18-24" H @ 36" OC		
	351	CHRYSOBALANUS ICACO	COCO PLUM	3 GAL 18-24" H @ 36" OC		
	318	IXORA COCCINEA	RED IXORA	3 GAL 18-24" H @ 30" OC		
	244	NEPHROLEPIS BISERRATA	GIANT SWORDFERN	3 GAL 18-24" H @ 36" OC		
	8	PODOCARPUS MACROPHYLLUS	YEW PINE	30 GAL 6' HT @ 72" OC		
	60	PSYCHOTRIA NERVOSA	WILD COFFEE	3 GAL 18-24" H @ 36" OC		
	1,456	SCHAEFFERIA FRUTESCENS	FLORIDA BOXWOOD	1 GAL 12" H @ 12" OC		
	147	SERENOA REPENS	SAW PALMETTO	3 GAL 14-18" H @ 48" OC		
	2,634	UNIOLA PANICULATA	SEA OATS	3 GAL @ 12" OC		
	154	ZAMIA FURFURACEA	CARDBOARD PALM	3 GAL 18-24" H @ 42" OC		
	280	ZAMIA PUMILA	COONTIE	3 GAL 12-14" H @ 36" OC		
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	REMARKS	
	2,098	BLECHNUM SERRULATUM	SWAMP FERN	1 GAL 12"X12" @ 12" OC		
	1,204	CRINUM AMERICANUM	SEVEN SISTERS	1 GAL 12"X12" @ 12" OC		
	58	FICUS PUMILA	CREEPING FIG	4"POT @ 12" OC		
	420	NEPHROLEPIS BISERRATA	GIANT SWORDFERN	1 GAL 12"X12" @ 12" OC		
	1,707 SF	STENOTAPHRUM SECUNDATUM	ST. AUGUSTINE GRASS	SOD		
	1,216	TRADESCANTIA OHIENSIS 'MRS. LOEWER'	SPIDERWORT	1 GAL 12"X12" @ 12" OC		



PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION - HAMPTON INN & SUITES - (SITE D)
SHEET NUMBER: A2.01 - COMPOSITE FLOOR PLANS
M:\2012\20120295\4-7 drawings\4-7-1 rev\users\20120295_2011_hampton_peter.rvt
12/6/2012 5:14:39 AM

1 LANDSCAPE PLAN
L3.01 SCALE: 1" = 10'-0"

KEY WEST HOTEL
COLLECTION
UNBRANDED (SITE C)

3824 North Roosevelt Boulevard
Key West, Florida 33040

J.L. Woode Ltd.

LANDSCAPE PLAN

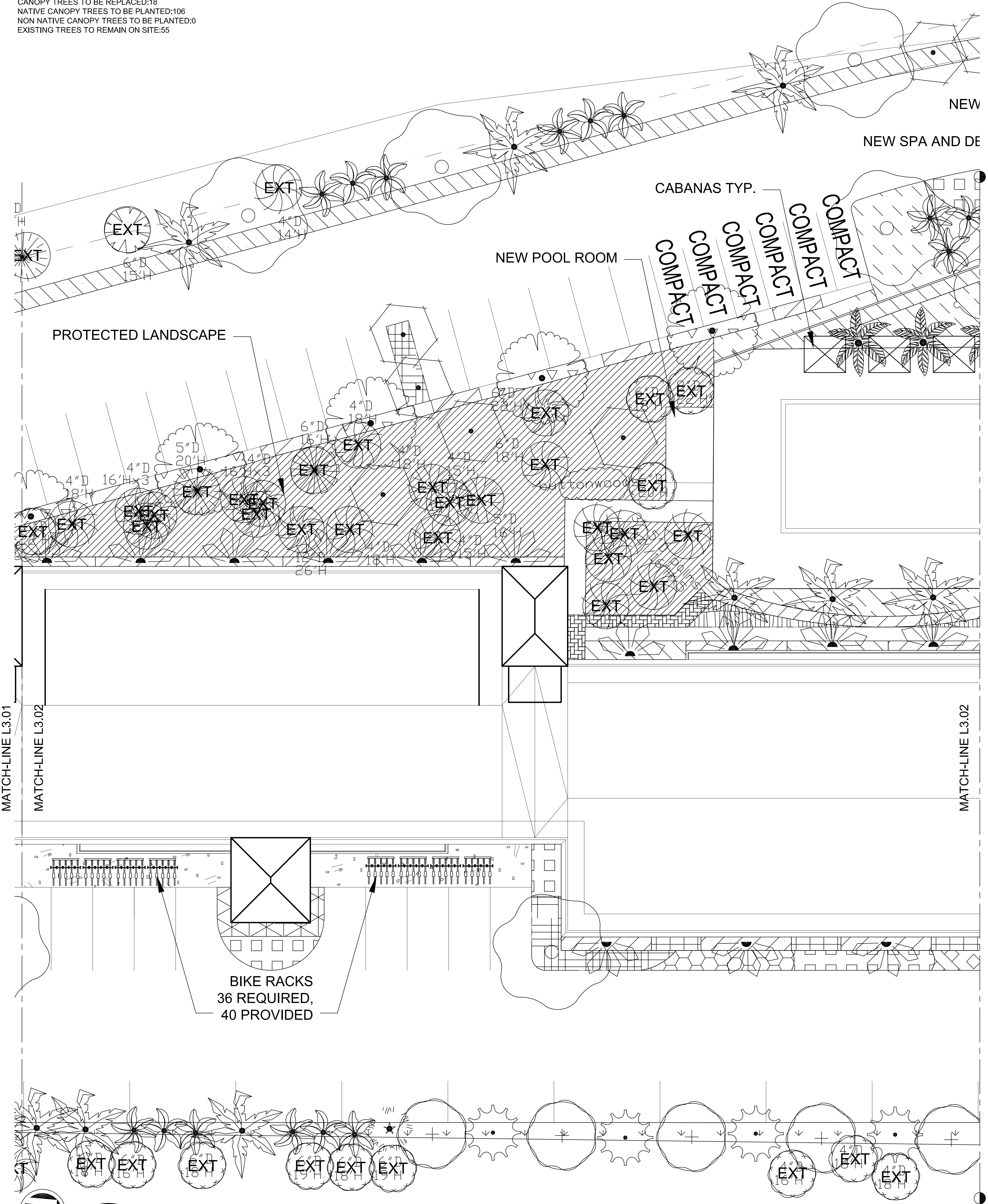
BOB NEAL 20120295
Principal-in-Charge Project No.
MANNY DOMINGUEZ 02/25/12
Design Director Date
ANDRES RUBIO
Project Manager
T. JACK BAGBY
Project Architect
GARY WARNER
Director of Landscape Architecture

L3.01



TREE PERMIT APPLICATION NOTES
PALMS TO BE REPLACED:51
NATIVE PALMS PLANTED:36
NON NATIVE PALMS TO BE PLANTED:36
CANOPY TREES TO BE REPLACED:18
NATIVE CANOPY TREES TO BE PLANTED:106
NON NATIVE CANOPY TREES TO BE PLANTED:0
EXISTING TREES TO REMAIN ON SITE:55

NOTE:
ALL TREES AND PALMS TO BE FLORIDA GRADE #1



PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	REMARKS
	7	BURSERIA SIMARUBA	GUMBO LIMBO	B&B OR FG	3" CAL, 13-15' HT	NATIVE
	13	CONOCARPUS ERECTUS	BUTTONWOOD	B&B OR FG	8-10' HT, MULTI-TRUNK	NATIVE
	9	CORDIA SEBESTENA	ORANGE GEIGER TREE	B&B OR FG	8-10' HT.	NATIVE
	60	EXISTING TREE TO REMAIN		NA	VARIES	
	2	GORDONIA LASIANTHUS	LOBLOLLY BAY	B&B OR FG	8-10' HT	NATIVE
	11	ILEX CASSINE	DAHOO HOLLY	25 GAL	8-10' HT	NATIVE
	24	MAGNOLIA VIRGINIANA	SWEET BAY	B&B OR FG	10-12' HT	NATIVE
	26	MYRICA CERIFERA	WAX MYRTLE	FG	10-12' HT	
	6	SIMAROUBA GLAUCA	PARADISE TREE	B&B OR FG	8-10' HT	NATIVE
	10	SWIETENIA MAHAGONI	WEST INDIAN MAHOGANY	B&B OR FG	14-16' HT	NATIVE
	6	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	FG	10' CT	
	3	PHOENIX DACTYLIFERA 'MEDJOL'	DATE PALM	FG	10' CT	
	25	RAVENALA MADAGASCARIENSIS	TRAVELER'S TREE	FG	10'-12' HT	
	6	ROYSTONIA ELATA	FLORIDA ROYAL PALM	FG	14' CT	NATIVE
	22	SABAL PALMETTO	CABBAGE PALMETTO	FG	10' CT	NATIVE
	22	SABAL PALMETTO	CABBAGE PALMETTO	FG	12' CT	NATIVE
	22	SABAL PALMETTO	CABBAGE PALMETTO	FG	14' CT	NATIVE
	24	THRINAX RADIATA	FLORIDA THATCH PALM	B&B OR FG	10' CT	NATIVE
	2	WODYETIA BIFURCATA	FOXTAIL PALM	FG	10' CT	
	11	SERENOA REPENS	SAW PALMETTO	7 GAL	AS SHOWN	
	246	BLECHNUM SERRULATUM	SWAMP FERN	3 GAL 18-24" H@ 36" OC		
	351	CHRYSOBALANUS ICACO	COCO PLUM	3 GAL 18-24" H@ 36" OC		
	318	IXORA COCCINEA	RED IXORA	3 GAL 18-24" H@ 30" OC		
	244	NEPHROLEPIS BISERRATA	GIANT SWORDFERN	3 GAL 18-24" H@ 36" OC		
	8	PODOCARPUS MACROPHYLLUS	YEW PINE	30 GAL 6' HT@ 72" OC		
	60	PSYCHOTRIA NERVOSA	WILD COFFEE	3 GAL 18-24" H@ 36" OC		
	1,456	SCHAEFFERIA FRUTESCENS	FLORIDA BOXWOOD	1 GAL 12" H @ 12" OC		
	147	SERENOA REPENS	SAW PALMETTO	3 GAL 14-18" H @ 48" OC		
	2,634	UNIOLA PANICULATA	SEA OATS	3 GAL @ 12" OC		
	154	ZAMIA FURFURACEA	CARDBOARD PALM	3 GAL 18-24" H@ 42" OC		
	280	ZAMIA PUMILA	COONTIE	3 GAL 12-14" H@ 36" OC		
	2,098	BLECHNUM SERRULATUM	SWAMP FERN	1 GAL 12"X12" @ 12" OC		
	1,204	CRINUM AMERICANUM	SEVEN SISTERS	1 GAL 12"X12" @ 12" OC		
	58	FICUS PUMILA	CREEPING FIG	4"POT@ 12" OC		
	420	NEPHROLEPIS BISERRATA	GIANT SWORDFERN	1 GAL 12"X12" @ 12" OC		
	1,707 SF	STENOTAPHRUM SECUNDATUM	ST. AUGUSTINE GRASS	SOD		
	1,216	TRADESCANTIA OHIENSIS 'MRS. LOEWER'	SPIDERWORT	1 GAL 12"X12" @ 12" OC		

© Copyright Cooper Carry 2012
SCOPE DOCUMENTS
The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated printing and Work and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work indicated in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
	SCHEMATIC DESIGN	12/17/2012

KEY WEST HOTEL COLLECTION
UNBRANDED (SITE C)
3824 North Roosevelt Boulevard
Key West, Florida 33040
J.L. Woode Ltd.
LANDSCAPE PLAN

BOB NEAL	20120295
Principal-in-Charge	Project No.
MANNY DOMINGUEZ	02/25/12
Design Director	Date
ANDRES RUBIO	
Project Manager	
T. JACK BAGBY	
Project Architect	
GARY WARNER	
Director of Landscape Architecture	

L3.02

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION - HAMPTON INN & SUITES - (SITE D)
SHEET NUMBER: A2.01 - COMPOSITE FLOOR PLANS
M:\2012\20120295\4-7 drawings\4-7-1 rev\itusers\20120295_2011_hampton_peller.rvt
12/6/2012 5:14:39 AM

1 LANDSCAPE PLAN
L3.02 SCALE: 1" = 10'-0"

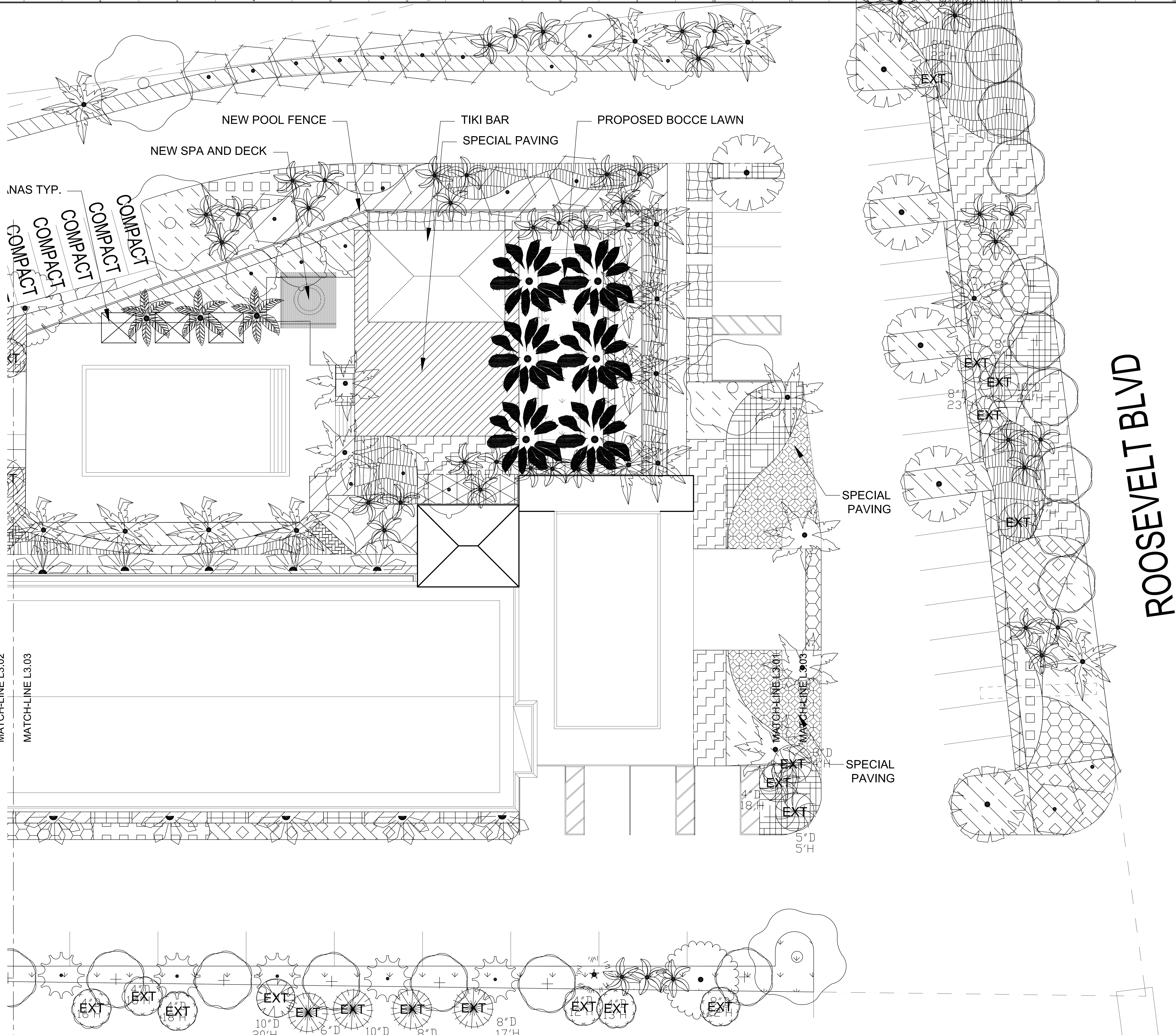




© Copyright Cooper Carry 2012

SCOPE DOCUMENTS
The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work indicated in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
	SCHEMATIC DESIGN	12/17/2012



ROOSEVELT BLVD

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION - HAMPTON INN & SUITES - (SITE D)
SHEET NUMBER: L3.01 - COMPOSITE FLOOR PLANS
M:\2012\20120295\4-7 drawings\4-7-1 rev\users\20120295_2011_hampton_peller.rvt
12/6/2012 9:14:39 AM

NORTH

1 LANDSCAPE PLAN
L3.03 SCALE: 1" = 10'-0"

TREE PERMIT APPLICATION NOTES
 PALMS TO BE REPLACED:51
 NATIVE PALMS PLANTED:96
 NON NATIVE PALMS TO BE PLANTED:36
 CANOPY TREES TO BE REPLACED:18
 NATIVE CANOPY TREES TO BE PLANTED:106
 NON NATIVE CANOPY TREES TO BE PLANTED:0
 EXISTING TREES TO REMAIN ON SITE:55

NOTE:
ALL TREES AND PALMS TO BE FLORIDA GRADE #1

KEY WEST HOTEL
COLLECTION
UNBRANDED (SITE C)

3824 North Roosevelt Boulevard
Key West, Florida 33040

J.L. Woode Ltd.

LANDSCAPE PLAN

BOB NEAL	20120295
Principal-in-Charge	Project No.
MANNY DOMINGUEZ	02/25/12
Design Director	Date
ANDRES RUBIO	
Project Manager	
T. JACK BAGBY	
Project Architect	
GARY WARNER	
Director of Landscape Architecture	

L3.03



COOPER CARRY

ATLANTA WASHINGTON NEW YORK NEWPORT BEACH

© Copyright Cooper Carry 2013

SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES

No.	Drawing Issue Description	Date
1	DEVELOPMENT PLAN	02/01/2013
2	TREE PERMIT APPLICATION	02/20/2013

KEY WEST HOTEL COLLECTION UNBRANDED (SITE C)

3824 North Roosevelt Boulevard
Key West, Florida 33040

J.L. Woode Ltd.

EXISTING SITE PLAN

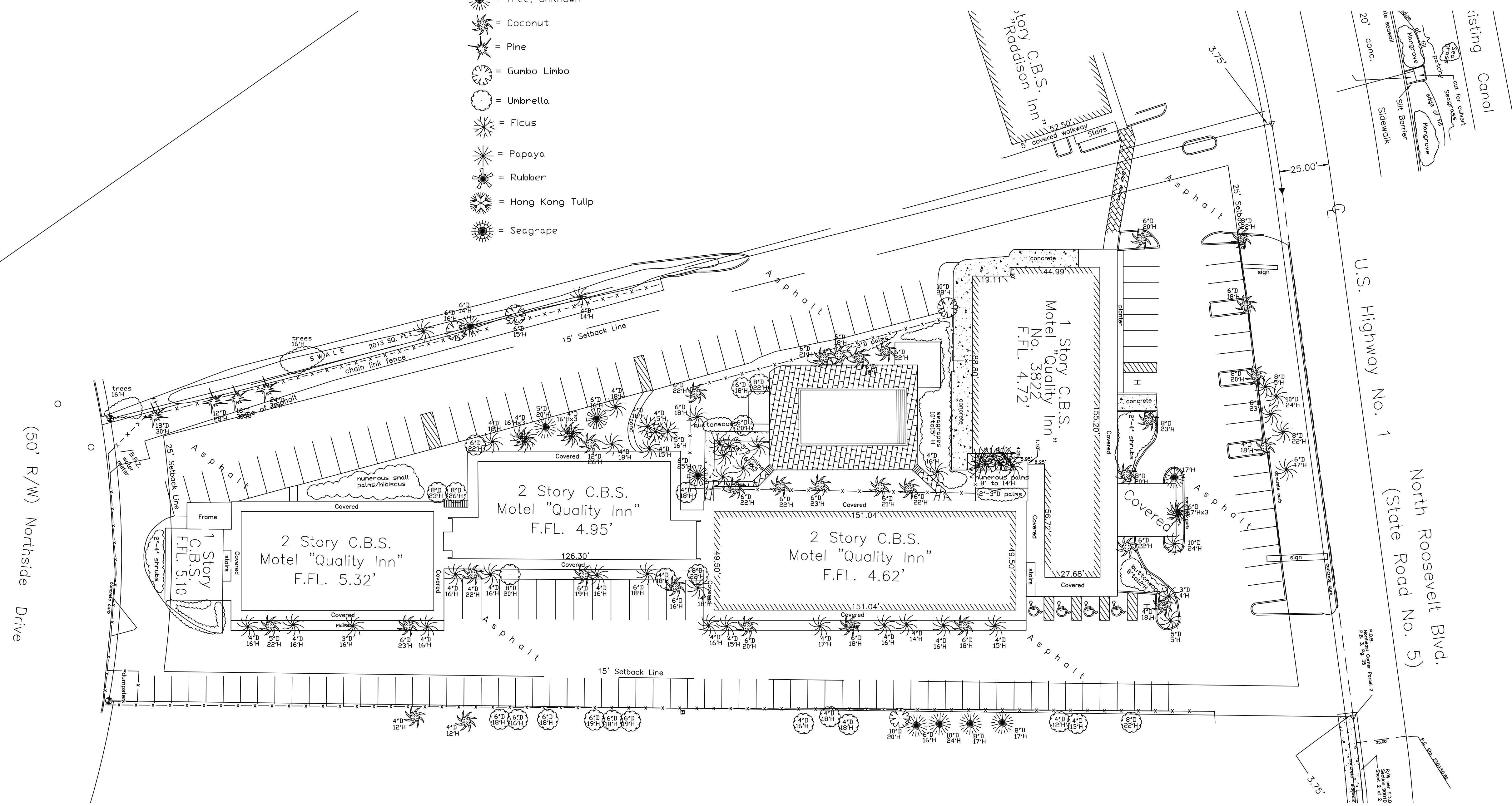
BOB NEAL Principal-in-Charge	20120295 Project No.
MANNY DOMINGUEZ Design Director	02/01/13 Date
ANDRES RUBIO Project Manager	
T. JACK BAGBY Project Architect	

L2.00

ISSUED FOR TREE PERMIT APPLICATION ONLY

D = Diameter of tree.
H = Height of tree

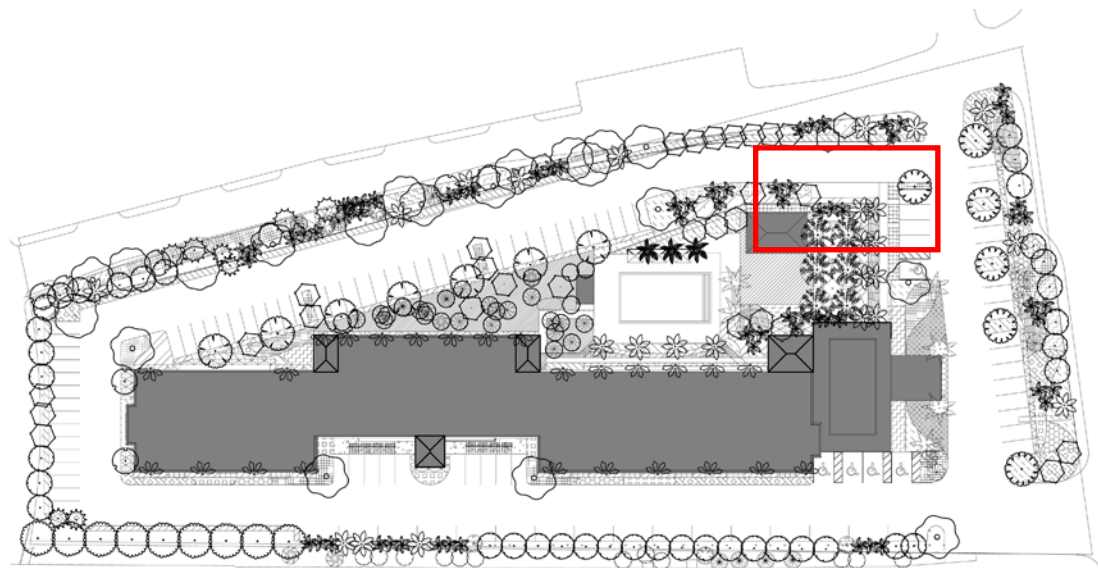
- = Palm
- = Almond
- = Buttonwood
- = Tree, Unknown
- = Coconut
- = Pine
- = Gumbo Limbo
- = Umbrella
- = Ficus
- = Papaya
- = Rubber
- = Hong Kong Tulip
- = Seagrape



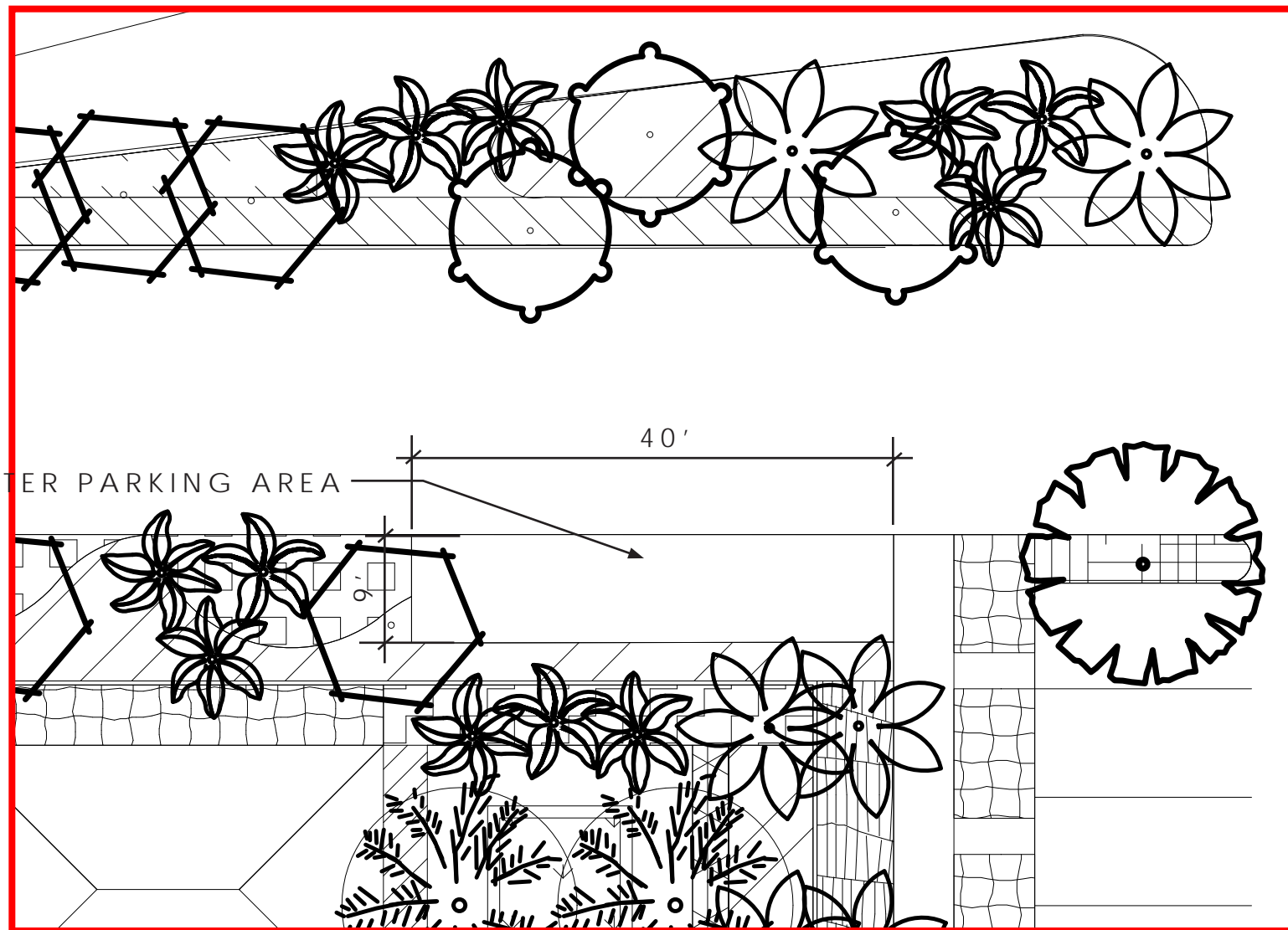
NOTE: SURVEY DONE BY OTHERS.
ALL INVASIVE EXOTIC PLANTS TO
BE REMOVED.



1 EXISTING TREE PLAN
L2.00 SCALE: 1" = 30'-0"



KEY PLAN



SCOOTER PARKING AREA

40'

SCOOTER PARKING AREA

PAGE 1

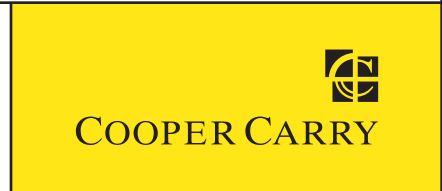
PROJECT N° 20120295.00 | REVISION N° 000 | DATE 03 06 2013

Notes



KEY WEST HOTEL COLLECTION - TOWNEPLACE SUITES
3824 North Roosevelt Blvd, Key West, Florida 33040

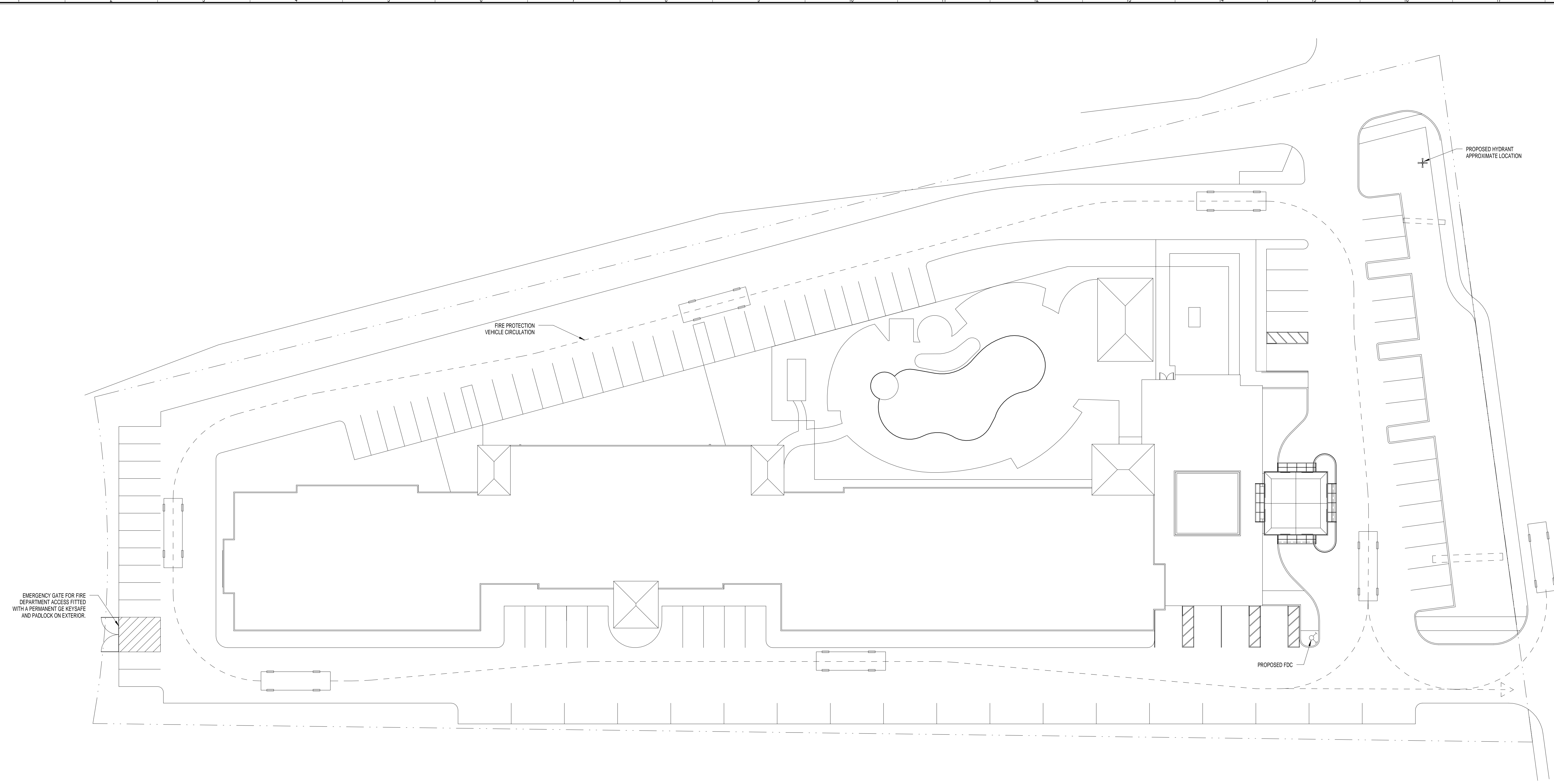
© 2013 Cooper Carry, Inc., 191 Peachtree Street NE, Suite 2400, Atlanta, Georgia 30303 Tel. 404-237-2000 Fax 404-237-0276





SCOPE DOCUMENTS
The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
	DESIGN DEVELOPMENT	03.25.13



1 SITE LIFE SAFETY PLAN
G1.01 SCALE: 1" = 20'-0"

UNBRANDED (SITE C)
PROJECT NUMBER: 20120295
SHEET NUMBER: G1 - MEANS OF EGRESS PLAN - SITE PLAN
M:\2012\20120295\G1.dwg
3/14/2013 11:03:04 AM

KEY WEST HOTEL
COLLECTION
UNBRANDED (SITE C)

3824 North Roosevelt Boulevard
Key West, Florida 33040
J.L. Woode Ltd.

MEANS OF EGRESS PLAN -
SITE PLAN

BOB NEAL Principal-in-Charge	20120295 Project No.
MANNY DOMINGUEZ Design Director	03/25/2013 Date
ANDRES RUBIO Project Manager	
T. JACK BAGBY Project Architect	

G1.01

MEANS OF EGRESS LEGEND

<p>WALL RATINGS</p> <p>1 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION</p> <p>2 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION</p> <p>3 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION</p> <p>4 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION</p> <p>SMOKE SEPARATION ASSEMBLY</p>	<p>DISTANCES</p> <p>COMMON PATH OF TRAVEL (XX FT. MAX)</p> <p>DEAD END CORRIDOR (XX FT. MAX)</p> <p>TRAVEL DISTANCE</p> <p>MAX DIAGONAL DISTANCE</p> <p>EXIT SEPARATION</p>	<p>LEVEL EXIT LOAD / CAPACITY</p> <p>LEVEL EXIT LOAD / CAPACITY @ DOORWAY</p> <p>LEVEL EXIT LOAD / CAPACITY @ CORRIDOR</p> <p>EXIT CAPACITY = DOOR WIDTH - REDUCTION TO ACHIEVE CLEAR OPENING) X LOAD FACTOR</p> <p>EXIT CAPACITY = CLEAR OPENING X LOAD FACTOR</p>	<p>STAIR EXIT LOAD / CAPACITY</p> <p>MEASUREMENT OF MEANS OF EGRESS: THE WIDTH OF MEANS OF EGRESS SHALL BE MEASURED IN THE CLEAR AT THE NARROWEST POINT OF THE EGRESS COMPONENT UNDER CONSIDERATION. PROJECTIONS WITHIN THE MEANS OF EGRESS OF NOT MORE THAN 4 1/2" IN STAIR (4" OTHERWISE) ON EACH SIDE SHALL BE PERMITTED AT A HEIGHT OF 38" AND BELOW.</p> <p>CLEAR EXIT WIDTH: FACE OF WALL TO FACE OF GUARD</p> <p>38" HIGH X 4.5" WIDE ALLOWABLE PROJECTION AREA ON EACH SIDE</p> <p>42" HIGH GUARD RAIL</p> <p>34" HIGH HANDRAIL LOCATED WITHIN PROJECTION AREA</p> <p>RAISED STRINGER LOCATED WITHIN PROJECTION AREA</p>
---	--	--	---

OCCUPANCY AREA LABELS

AREA NAME	PORTABLE EXTINGUISHER SYMBOLS
150 SF	<p>RECESSED FIRE EXTINGUISHER CABINET</p> <p>FIRE EXTINGUISHER</p> <p>FIRE EXTINGUISHER CABINET ON POST</p>

GENERAL NOTE: ALL BUILDINGS (EXISTING AND NEW) TO HAVE FULLY AUTOMATIC FIRE SPRINKLERS

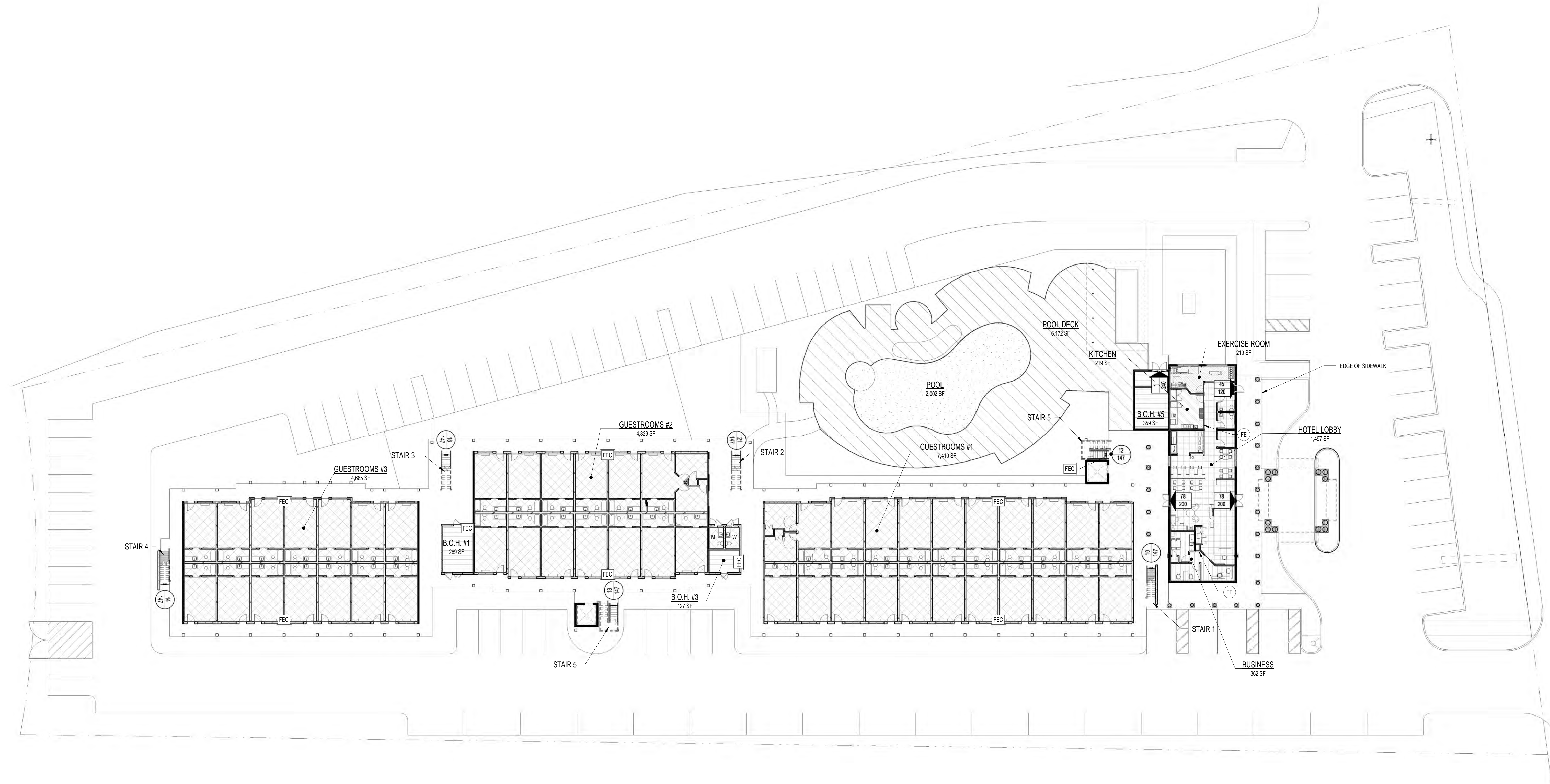


© Copyright Cooper Carry 2012

SCOPE DOCUMENTS

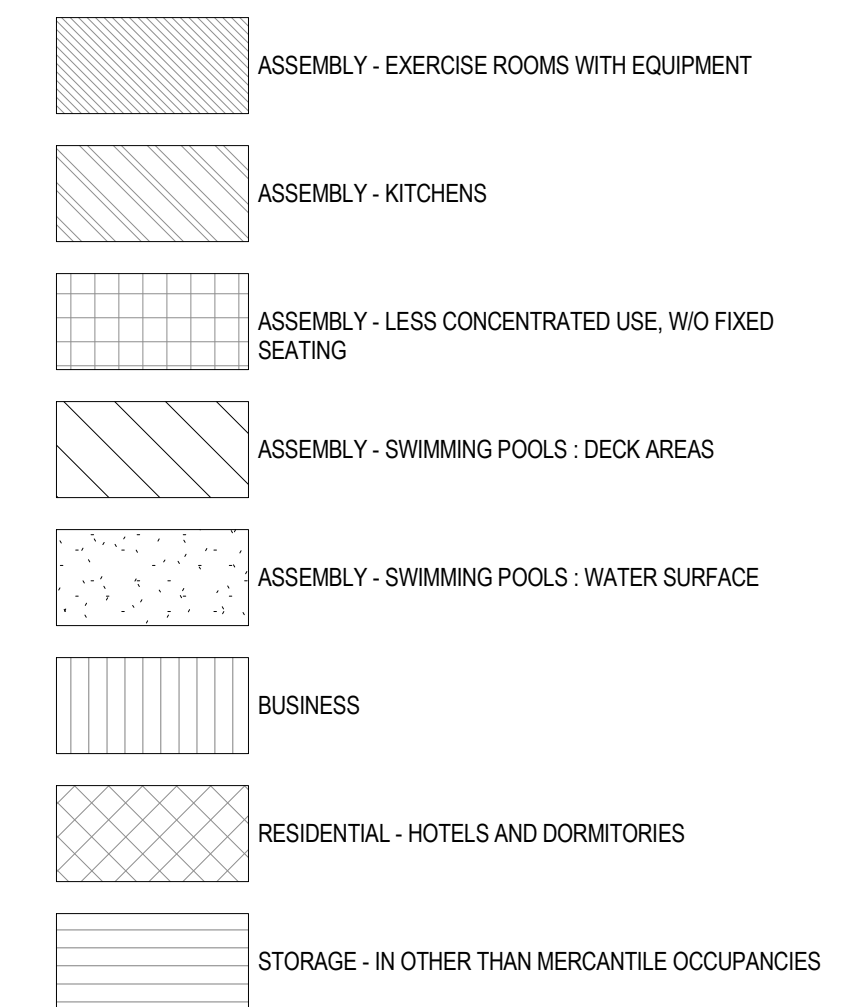
The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
	DESIGN DEVELOPMENT	03.25.13



1 LEVEL 1 EGRESS PLAN
G2.01 SCALE: 1" = 20'-0"

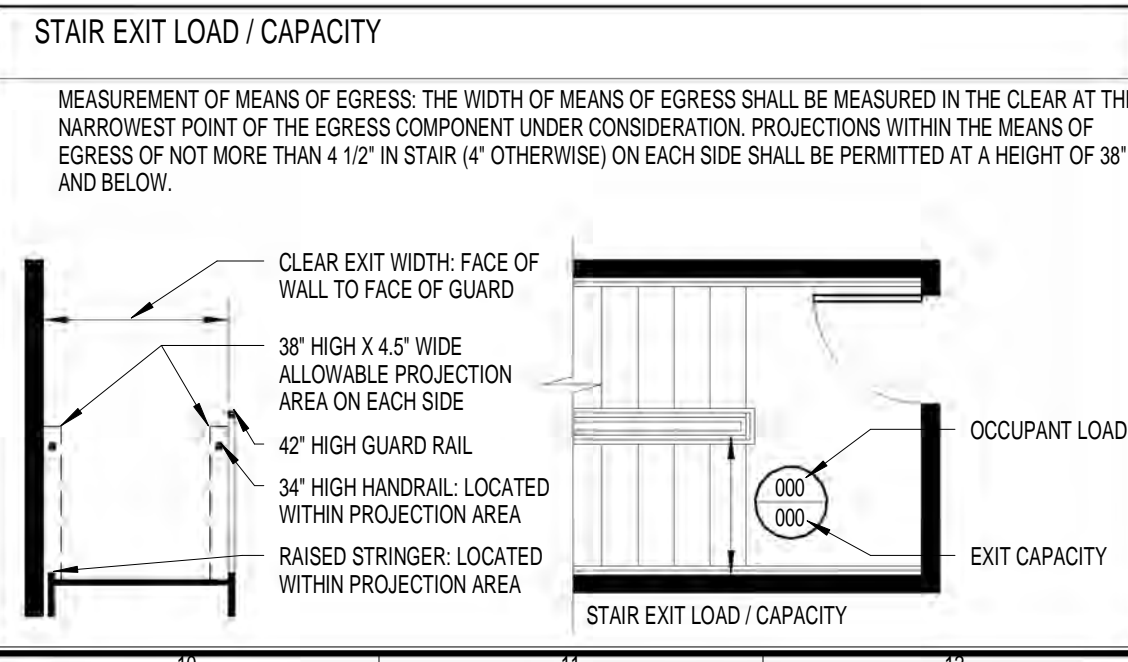
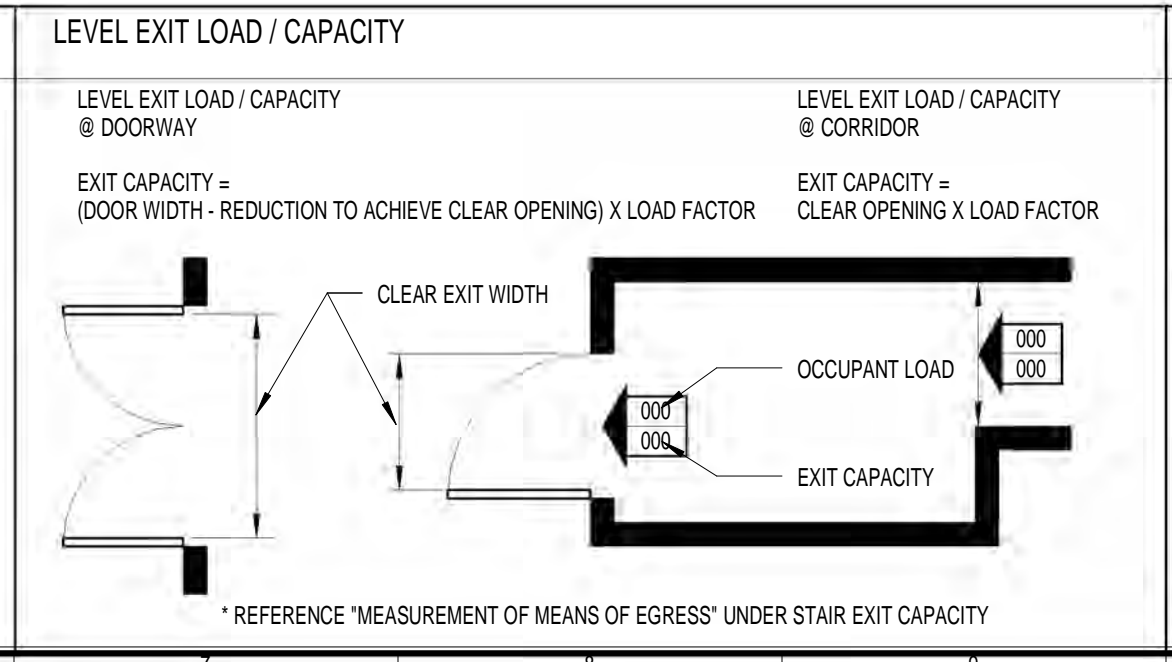
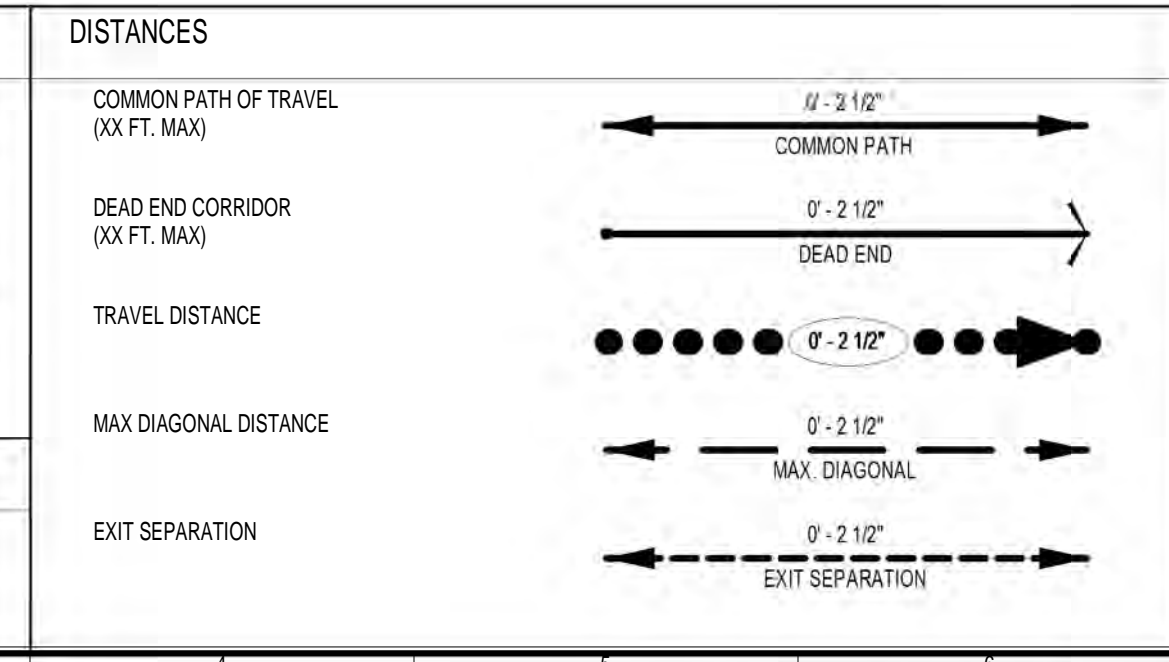
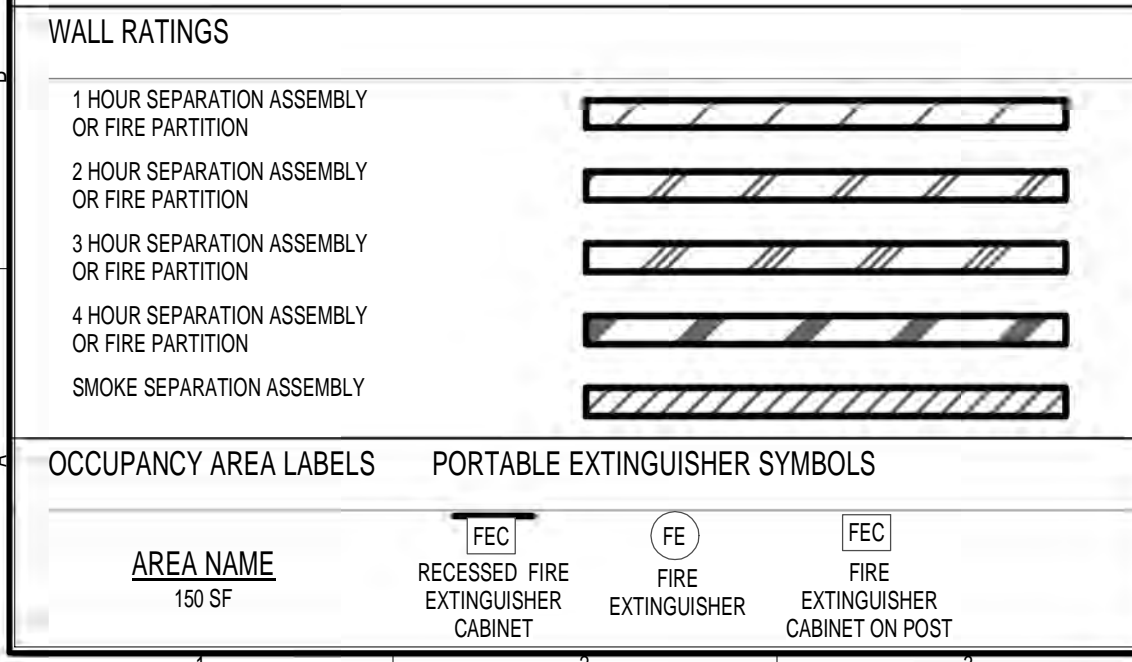
MEANS OF EGRESS OCCUPANCY LEGEND



GENERAL NOTE: ALL BUILDINGS (EXISTING AND NEW) TO HAVE FULLY AUTOMATIC FIRE SPRINKLERS

NFPA 101 LSC - OCCUPANCY LOAD SCHEDULE-FLOOR LEVEL 1						
NAME	OCCUPANT USE GROUP (LSC TABLE 7.3.1.2)	AREA	OCC. LOAD FACTOR	SOFT TYPE	FIXED OCC. LOAD	OCCUPANT LOAD
GUESTROOMS #3	RESIDENTIAL - HOTELS AND DORMITORIES	4,665 SF	200	GROSS		24
GUESTROOMS #2	RESIDENTIAL - HOTELS AND DORMITORIES	4,829 SF	200	GROSS		25
GUESTROOMS #1	RESIDENTIAL - HOTELS AND DORMITORIES	7,410 SF	200	GROSS		38
B.O.H. #1	STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES	269 SF	500	GROSS		1
HOTEL LOBBY	ASSEMBLY - LESS CONCENTRATED USE, W/O FIXED SEATING	1,497 SF	15	NET		100
B.O.H. #3	STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES	127 SF	500	GROSS	0	1
B.O.H. #5	STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES	399 SF	500	GROSS		1
EXERCISE ROOM	ASSEMBLY - EXERCISE ROOMS WITH EQUIPMENT	219 SF	50	GROSS		5
KITCHEN	ASSEMBLY - KITCHENS	219 SF	100	GROSS		3
BUSINESS	BUSINESS	362 SF	100	GROSS		4
POOL	ASSEMBLY - SWIMMING POOLS WATER SURFACE	2,002 SF	50	GROSS		41
POOL DECK	ASSEMBLY - SWIMMING POOLS DECK AREAS	6,172 SF	30	GROSS		206
						449

MEANS OF EGRESS LEGEND



EXIT CAPACITY: FLOOR LEVEL 1

STAIR NO.	STAIR CAPACITY (0.30)	DOOR CAPACITY (0.20)	GOVERNING CAPACITY	OCCUPANT LOAD @ STAIR EXIT
STAIR NO. 1	147	NA	147	12
STAIR NO. 2	147	NA	147	21
STAIR NO. 3	147	NA	147	18
STAIR NO. 4	147	NA	147	14
STAIR NO. 5	147	NA	147	13
STAIR NO. 6	147	NA	147	10
TOTAL EXIT CAPACITY FOR FLOOR:				
				882
				88

PROJECT NUMBER: 20120295
 SHEET NUMBER: G2.01 - MEANS OF EGRESS PLAN - LEVEL 1
 UNBRANDED (SITE C)
 M:\2012\20120295\47 drawings\g2-1 rev\users\20120295_2011_site_c_browning.rvt
 3/14/2013 11:03:07 AM

KEY WEST HOTEL COLLECTION UNBRANDED (SITE C)

3824 North Roosevelt Boulevard Key West, Florida 33040

J.L. Woode Ltd.

MEANS OF EGRESS PLAN - LEVEL 1

BOB NEAL	20120295
Principal-in-Charge	Project No.
MANNY DOMINGUEZ	03/25/2013
Project Manager	Date
ANDRES RUBIO	
Project Architect	
T. JACK BAGBY	
Staff Architect	

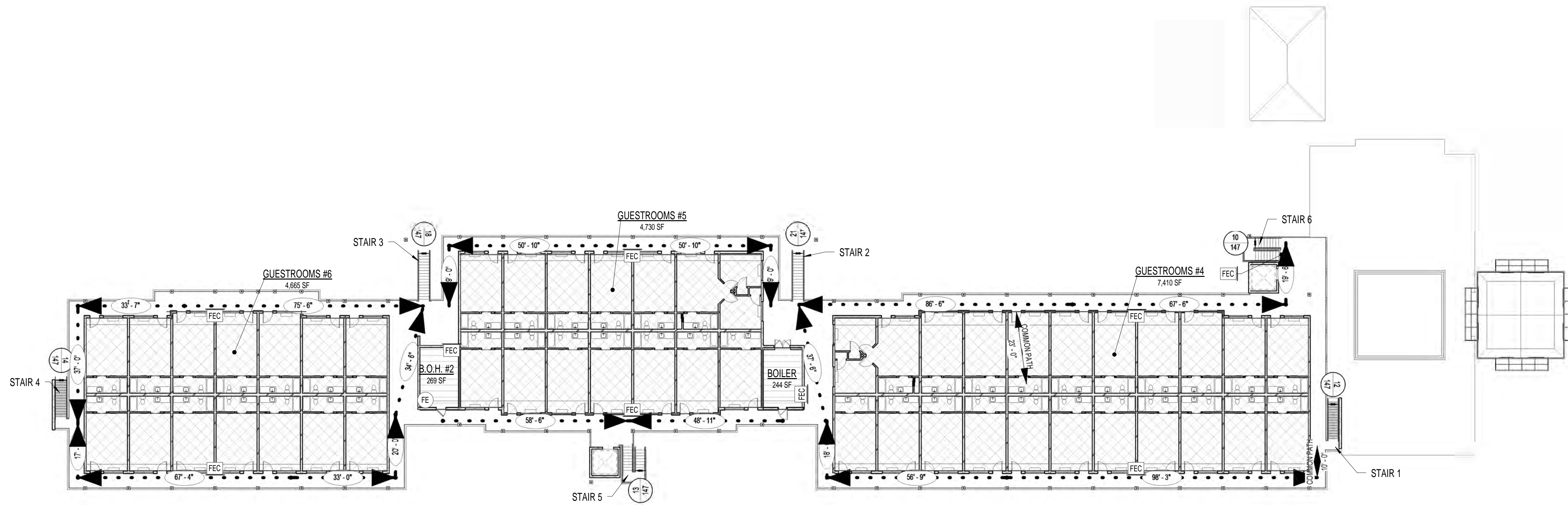
G2.01



SCOPE DOCUMENTS

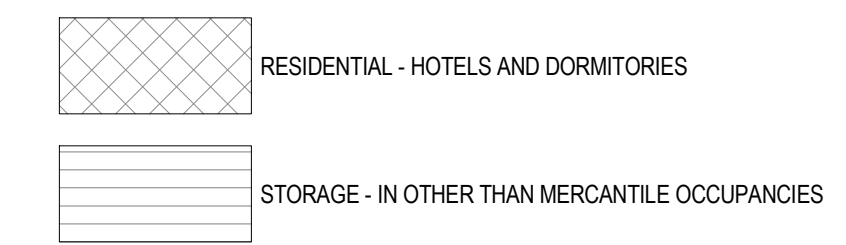
The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
	DESIGN DEVELOPMENT	03.25.13



1 LEVEL 2 EGRESS PLAN
G2.02 SCALE: 1" = 20'-0"

MEANS OF EGRESS OCCUPANCY LEGEND



KEY WEST HOTEL COLLECTION
UNBRANDED (SITE C)

3824 North Roosevelt Boulevard
Key West, Florida 33040

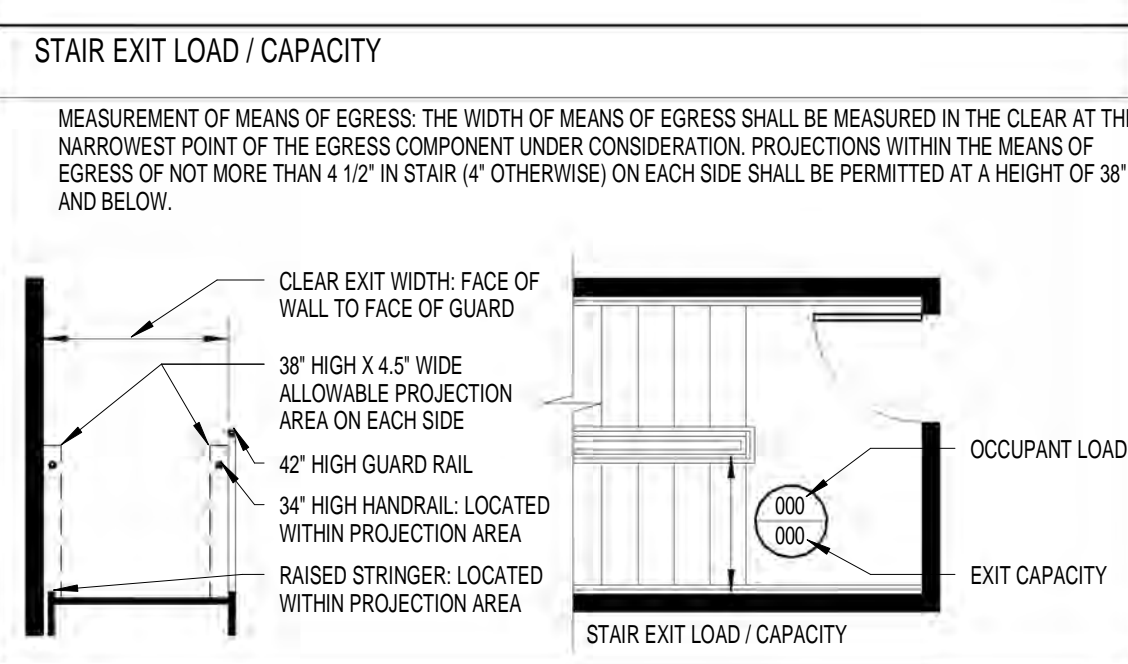
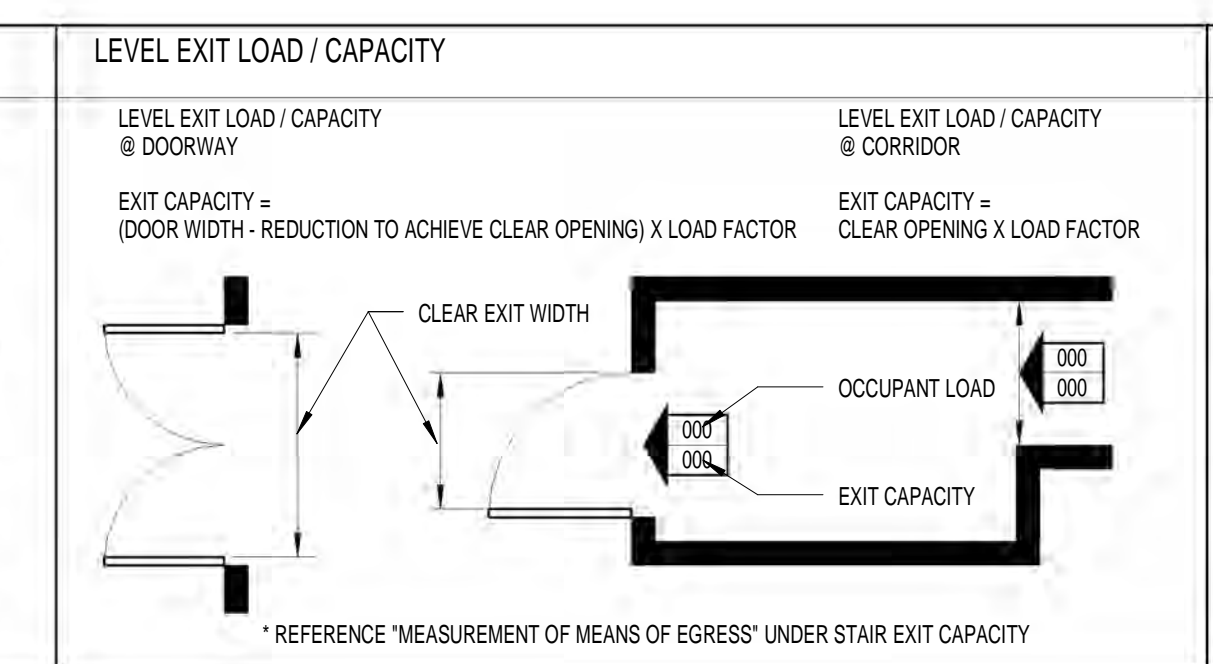
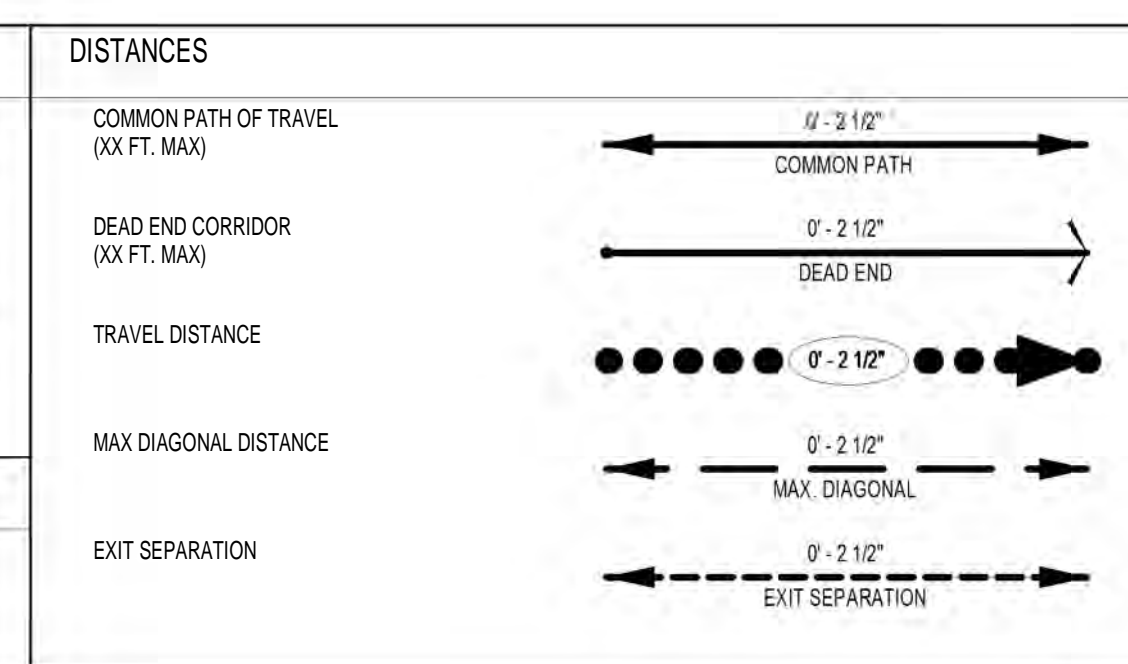
J.L. Woode Ltd.

MEANS OF EGRESS PLAN - LEVEL 2

GENERAL NOTE: ALL BUILDINGS (EXISTING AND NEW)
TO HAVE FULLY AUTOMATIC FIRE SPRINKLERS

MEANS OF EGRESS LEGEND

WALL RATINGS	DISTANCES
<p>1 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION</p> <p>2 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION</p> <p>3 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION</p> <p>4 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION</p> <p>SMOKE SEPARATION ASSEMBLY</p>	<p>COMMON PATH OF TRAVEL (XX FT. MAX)</p> <p>DEAD END CORRIDOR (XX FT. MAX)</p> <p>TRAVEL DISTANCE</p> <p>MAX DIAGONAL DISTANCE</p> <p>EXIT SEPARATION</p>
OCCUPANCY AREA LABELS	PORTABLE EXTINGUISHER SYMBOLS
<p>AREA NAME</p> <p>150 SF</p>	<p>FEC RECESSED FIRE EXTINGUISHER CABINET</p> <p>FE FIRE EXTINGUISHER</p> <p>FEC FIRE EXTINGUISHER CABINET ON POST</p>



EXIT CAPACITY: FLOOR LEVEL 2

STAIR NO.	STAIR CAPACITY (0.30)	DOOR CAPACITY (0.20)	GOVERNING CAPACITY	OCCUPANT LOAD @ STAIR EXIT
STAIR NO. 1	147	NA	147	12
STAIR NO. 2	147	NA	147	21
STAIR NO. 3	147	NA	147	18
STAIR NO. 4	147	NA	147	14
STAIR NO. 5	147	NA	147	13
STAIR NO. 6	147	NA	147	10
TOTAL EXIT CAPACITY FOR FLOOR:			882	88

NFPA 101 LSC - OCCUPANCY LOAD SCHEDULE-FLOOR LEVEL 2

NAME	OCCUPANT USE GROUP (LSC TABLE 7.3.1.2)	AREA	OCC. LOAD FACTOR	SQFT TYPE	FIXED OCC. LOAD	OCCUPANT LOAD
GUESTROOMS #4	RESIDENTIAL - HOTELS AND DORMITORIES	7,410 SF	200	GROSS		38
GUESTROOMS #5	RESIDENTIAL - HOTELS AND DORMITORIES	4,730 SF	200	GROSS		24
GUESTROOMS #6	RESIDENTIAL - HOTELS AND DORMITORIES	4,665 SF	200	GROSS		24
B.O.H. #2	STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES	269 SF	500	GROSS		5
BOILER	STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES	244 SF	500	GROSS		5
						88

BOB NEAL	20120295
Principal-in-Charge	Project No.
MANNY DOMINGUEZ	03/25/2013
Project Manager	Date
ANDRES RUBIO	
Project Architect	
T. JACK BAGBY	
Staff Architect	

G2.02

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION
 SHEET NUMBER: G2.02 - MEANS OF EGRESS PLAN - LEVEL 2
 M:\2012\20120295\47 Drawings\47-1 rev\users\20120295_2011_site_c_browning.rvt
 3/14/2013 11:03:10 AM

UNBRANDED (SITE C)