



THE CITY OF KEY WEST
Code Compliance Division

P.O. BOX 1409
KEY WEST, FL 33040
(305) 809-3740

NOTICE OF ADMINISTRATIVE HEARING

DATE: April 27, 2009

RE: CASE NUMBER 09-27

CERTIFIED MAIL RECEIPT#: 7008 1140 0002 4724 7690

TO:

Bernard C Seidling
P. O. Box 3006
Eau Claire, WI 54702

SUBJECT ADDRESS:

1106 17th St
Key West, FL 33040

TAKE NOTICE that the City of Key West Code Compliance Division has requested the City of Key West Special Magistrate to conduct an administrative hearing regarding code violation(s) reported to you by **NOTICE OF CODE VIOLATION** concerning the above noted subject address. You were noticed that your property is in violation of the City of Key West Code of Ordinances for the following reason(s):

Violation Text

A roof permit and a plumbing permit are required prior to commencement of work.

Violation Text

Street numbers need to be posted.

Violation Text

A business tax receipt is required to rent your two units.

In accordance with Florida Statutes § 162 and Code of Ordinances, City of Key West, § 2-631 through § 2-647, The City of Key West has scheduled a hearing to be held at **Old City Hall, 510 Greene Street, Key West, Florida at 1:30 P.M. on:**

May 18, 2009

The Chambers will be open at 1:00 PM. These proceedings may be televised.

The purpose of this hearing is to determine if a violation(s) exists, the appropriate action to be taken, if any is required, and if any fines or penalties are to be imposed. **YOU ARE REQUESTED TO APPEAR AT THIS HEARING** to present evidence and/or testimony to show cause, if any, why you should not comply with City Ordinances. **YOUR FAILURE TO APPEAR MAY RESULT IN A FINE OR PENALTY BEING IMPOSED AGAINST YOU AND A LIEN BEING IMPOSED UPON YOUR PROPERTY.**

You have a right to have an attorney present at the hearing. If an attorney represents you, your attorney must file written notice with this office prior to the hearing date.

If you intend to request a continuance from the Hearing Date set out above you must submit a written request for a continuance addressed to the Special Magistrate and mailed or delivered to the Special Magistrate's Legal Analyst at 604 Simonton Street, Key West, FL 33040. All requests must be received at least five (5) working days prior to the Hearing Date set out above. If the request is not received five (5) working days prior to the Hearing Date you or your attorney must appear on the Hearing Date to petition the Special Master for a continuance. If any continuance is granted this will not stay discovery and all records previously requested must be supplied to the City or formally objected to.

Be advised that, if you decide to appeal any decision of the Special Magistrate in this code enforcement hearing, you shall be responsible to ensure that a verbatim record of the proceedings of this code enforcement hearing is made, such that any evidence and testimony upon which an appeal may be based can be submitted to the appellate court.

If you are found to be in violation of City of Key West Ordinances, administrative costs in the amount of **\$250.00** may be levied for administrative recovery for prosecution and investigation in addition to levied fines associated with the violation(s). **Failure to pay these costs will result in a lien against the property in violation.**

PER FLORIDA STATUTES SECTION 162.09, YOUR FAILURE TO CORRECT THE VIOLATION (S) MAY RESULT IN THE IMPOSITION OF A FINE OF UP TO \$250.00/DAY, AND \$500.00/DAY FOR A REPEAT VIOLATION. IF THE VIOLATION (S) IS IRREPARABLE OR IRREVERSIBLE, A FINE OF UP TO \$5000.00 MAY BE IMPOSED BY THE SPECIAL MASTER. FINES MAY BE IMPOSED ON A PER DAY/ PER VIOLATION BASIS.


Jeff H. Bryan
Code Compliance Officer
City of Key West

Hand served this _____ day of _____, 2009 @ _____ am/pm.

Received by: _____ Served By: _____

CASE NUMBER 09-00000027
 PROPERTY ADDRESS 1106 17TH ST

 VIOLATION: BUILDING PERMITS, DISPLAY QUANTITY: 1
 DESCRIPTION: Sec. 14-37 DATE: 2/24/09
 LOCATION: ROOF & PLUMBING

NARRATIVE :

A roof permit and a plumbing permit are required prior to commencement of work.

ORDINANCE DESCRIPTION :

Sec. 14-37. Building permits; professional plans; display of permits.

(a) Building permit required; display. Building permits shall be procured from the building official before performance of any work or construction of any character, whether permanent or temporary. Within 48 hours after it is issued, the applicant must cause the permit to be posted and displayed at the work site so that it is readily visible from an adjacent public street throughout the term of the work. No work shall be performed unless a proper permit is so posted.

(b) Professional plans required. Professional plans shall be required as follows:

(1) Plans for work requiring a building permit shall be submitted in duplicate or in triplicate if required by the state to the building official and shall be prepared by, and bear the seal of, an architect or structural engineer duly registered in the state, except if the work is by the owner-occupant upon a one- or two-family residence, and the work is cosmetic, nonstructural repair, alteration or addition.

(2) Notwithstanding subsection (b)(1) of this section, plans for work which requires a building permit and which involves mechanical, plumbing or electrical repairs, alterations or additions shall be prepared by and shall bear the impress seal of an engineer duly registered in the state, as reasonably required in the interest of health and safety by the building official.

(c) Work done by owner-occupant. A building permit may be issued to the owner-occupant of real property to construct or cause to be constructed, while the owner-occupant is present on the site, a one- or two-family residential structure for his own use and not offered for sale or lease or to repair the structure without being required to be a qualified contractor himself in accordance with this article and without being required to employ a licensed contractor. The owner-occupant may not construct or repair or cause the construction or repair of more than one such structure during any one-year period.
 (Code 1986, § 31.010)

 VIOLATION: STREET NUMBER REQUIRED QUANTITY: 1
 DESCRIPTION: Sec. 62-87 DATE: 2/24/09
 LOCATION:

NARRATIVE :

CONTINUED

CASE NUMBER 09-00000027
PROPERTY ADDRESS 1106 17TH ST

NARRATIVE :
Street numbers need to be posted.

ORDINANCE DESCRIPTION :

- (a) The owner or occupant of any building or structure, residential or commercial, assigned a street number by the chief building official shall have affixed to such building or paneled upon glass or some metallic surface the assigned number, which shall be in Arabic numerals of a contrasting color and which shall be located in a position to be easily discernible from the street fronting the building or structure.
- (b) The following additional requirements shall apply to the street numbers:
- (1) For single-family dwellings, the numerals shall be at least three inches in height and one-half inch in stroke width and shall be affixed on, immediately above, or immediately to the side of the principal building entrance.
- (2) For single-occupant commercial, multiunit residential, and multiunit commercial buildings having a single street number, the numerals shall be at least five inches in height but no greater than 31 inches in height and shall be affixed at the center or on either end of the building. Multiunit buildings, in addition, shall have numerical or letter unit designations displayed as required for single-family dwellings.
- (3) For multiunit residential and multiunit commercial buildings having separate street numbers for each unit, the numerals shall be at least three inches in height and one-half inch in stroke width and shall be affixed on, immediately above, or immediately to the side of the principal building entrance.

VIOLATION: BUSINESS TAX RECEIPT REQU QUANTITY: 1
DESCRIPTION: Sec. 66-87 DATE: 2/24/09
LOCATION:

NARRATIVE :
A business tax receipt is required to rent your two units.

ORDINANCE DESCRIPTION :

No person shall engage in, manage, carry on or practice, wholly or in part, within the city limits, any business, profession or occupation without first procuring a city business tax receipt. For the purposes of this article, any person holding himself out to the public by sign, printed matter, telephone directory classified section, city directory or otherwise as being engaged in business or as offering services or property to the public for a consideration, regardless of whether such person actually transacts any business or practices a profession, shall be considered as engaging in business and shall be liable for a business tax receipt fee thereon.

CORRECTIVE ACTION REQUIRED : CONTINUED



THE CITY OF KEY WEST
Code Compliance Division

P.O. BOX 1409
KEY WEST, FL 33040
(305) 809-3740

NOTICE OF ADMINISTRATIVE HEARING

DATE: April 27, 2009

RE: CASE NUMBER 09-27

CERTIFIED MAIL RECEIPT#: 7008 1140 0002 4724 7706

TO:

Bernard C Seidling
Sunshine Family Limited Partnership
132 N Indies Drive
Marathon, FL 33050

SUBJECT ADDRESS:

1106 17th Street
Key West, FL 33040

TAKE NOTICE that the City of Key West Code Compliance Division has requested the City of Key West Special Magistrate to conduct an administrative hearing regarding code violation(s) reported to you by **NOTICE OF CODE VIOLATION** concerning the above noted subject address. You were noticed that your property is in violation of the City of Key West Code of Ordinances for the following reason(s):

Violation Text

A roof permit and a plumbing permit are required prior to commencement of work.

Violation Text

Street numbers need to be posted.

Violation Text

A business tax receipt is required to rent your two units.

In accordance with Florida Statutes § 162 and Code of Ordinances, City of Key West, § 2-631 through § 2-647, The City of Key West has scheduled a hearing to be held at **Old City Hall, 510 Greene Street, Key West, Florida at 1:30 P.M. on:**

May 18, 2009

The Chambers will be open at 1:00 PM. These proceedings may be televised.

The purpose of this hearing is to determine if a violation(s) exists, the appropriate action to be taken, if any is required, and if any fines or penalties are to be imposed. **YOU ARE REQUESTED TO APPEAR AT THIS HEARING** to present evidence and/or testimony to show cause, if any, why you should not comply with City Ordinances. **YOUR FAILURE TO APPEAR MAY RESULT IN A FINE OR PENALTY BEING IMPOSED AGAINST YOU AND A LIEN BEING IMPOSED UPON YOUR PROPERTY.**

You have a right to have an attorney present at the hearing. If an attorney represents you, your attorney must file written notice with this office prior to the hearing date.

If you intend to request a continuance from the Hearing Date set out above you must submit a written request for a continuance addressed to the Special Magistrate and mailed or delivered to the Special Magistrate's Legal Analyst at 604 Simonton Street, Key West, FL 33040. All requests must be received at least five (5) working days prior to the Hearing Date set out above. If the request is not received five (5) working days prior to the Hearing Date you or your attorney must appear on the Hearing Date to petition the Special Master for a continuance. If any continuance is granted this will not stay discovery and all records previously requested must be supplied to the City or formally objected to.

Be advised that, if you decide to appeal any decision of the Special Magistrate in this code enforcement hearing, you shall be responsible to ensure that a verbatim record of the proceedings of this code enforcement hearing is made, such that any evidence and testimony upon which an appeal may be based can be submitted to the appellate court.

If you are found to be in violation of City of Key West Ordinances, administrative costs in the amount of **\$250.00** may be levied for administrative recovery for prosecution and investigation in addition to levied fines associated with the violation(s). **Failure to pay these costs will result in a lien against the property in violation.**

PER FLORIDA STATUTES SECTION 162.09, YOUR FAILURE TO CORRECT THE VIOLATION(S) MAY RESULT IN THE IMPOSITION OF A FINE OF UP TO \$250.00/DAY, AND \$500.00/DAY FOR A REPEAT VIOLATION. IF THE VIOLATION(S) IS IRREPARABLE OR IRREVERSIBLE, A FINE OF UP TO \$5000.00 MAY BE IMPOSED BY THE SPECIAL MASTER. FINES MAY BE IMPOSED ON A PER DAY/ PER VIOLATION BASIS.


Jeff Bertran
Code Compliance Officer
City of Key West

Hand served this _____ day of _____, 2009 @ _____ am/pm.

Received by: _____ Served By: _____

VIOLATION DETAIL

CASE NUMBER 09-00000027
 PROPERTY ADDRESS 1106 17TH ST

 VIOLATION: BUILDING PERMITS, DISPLAY QUANTITY: 1
 DESCRIPTION: Sec. 14-37 DATE: 2/24/09
 LOCATION: ROOF & PLUMBING

NARRATIVE :
 A roof permit and a plumbing permit are required prior to commencement of work.

ORDINANCE DESCRIPTION :
 Sec. 14-37. Building permits; professional plans; display of permits.
 (a) Building permit required; display. Building permits shall be procured from the building official before performance of any work or construction of any character, whether permanent or temporary. Within 48 hours after it is issued, the applicant must cause the permit to be posted and displayed at the work site so that it is readily visible from an adjacent public street throughout the term of the work. No work shall be performed unless a proper permit is so posted.
 (b) Professional plans required. Professional plans shall be required as follows:
 (1) Plans for work requiring a building permit shall be submitted in duplicate or in triplicate if required by the state to the building official and shall be prepared by, and bear the seal of, an architect or structural engineer duly registered in the state, except if the work is by the owner-occupant upon a one- or two-family residence, and the work is cosmetic, nonstructural repair, alteration or addition.
 (2) Notwithstanding subsection (b)(1) of this section, plans for work which requires a building permit and which involves mechanical, plumbing or electrical repairs, alterations or additions shall be prepared by and shall bear the impress seal of an engineer duly registered in the state, as reasonably required in the interest of health and safety by the building official.
 (c) Work done by owner-occupant. A building permit may be issued to the owner-occupant of real property to construct or cause to be constructed, while the owner-occupant is present on the site, a one- or two-family residential structure for his own use and not offered for sale or lease or to repair the structure without being required to be a qualified contractor himself in accordance with this article and without being required to employ a licensed contractor. The owner-occupant may not construct or repair or cause the construction or repair of more than one such structure during any one-year period.
 (Code 1986, § 31.010)

 VIOLATION: STREET NUMBER REQUIRED QUANTITY: 1
 DESCRIPTION: Sec. 62-87 DATE: 2/24/09
 LOCATION:

NARRATIVE :

CONTINUED

VIOLATION DETAIL

CASE NUMBER 09-00000027
 PROPERTY ADDRESS 1106 17TH ST

NARRATIVE :
 Street numbers need to be posted.

ORDINANCE DESCRIPTION :

- (a) The owner or occupant of any building or structure, residential or commercial, assigned a street number by the chief building official shall have affixed to such building or paneled upon glass or some metallic surface the assigned number, which shall be in Arabic numerals of a contrasting color and which shall be located in a position to be easily discernible from the street fronting the building or structure.
- (b) The following additional requirements shall apply to the street numbers:
 - (1) For single-family dwellings, the numerals shall be at least three inches in height and one-half inch in stroke width and shall be affixed on, immediately above, or immediately to the side of the principal building entrance.
 - (2) For single-occupant commercial, multiunit residential, and multiunit commercial buildings having a single street number, the numerals shall be at least five inches in height but no greater than 31 inches in height and shall be affixed at the center or on either end of the building. Multiunit buildings, in addition, shall have numerical or letter unit designations displayed as required for single-family dwellings.
 - (3) For multiunit residential and multiunit commercial buildings having separate street numbers for each unit, the numerals shall be at least three inches in height and one-half inch in stroke width and shall be affixed on, immediately above, or immediately to the side of the principal building entrance.

 VIOLATION: BUSINESS TAX RECEIPT REQU QUANTITY: 1
 DESCRIPTION: Sec. 66-87 DATE: 2/24/09
 LOCATION:

NARRATIVE :
 A business tax receipt is required to rent your two units.

ORDINANCE DESCRIPTION :

No person shall engage in, manage, carry on or practice, wholly or in part, within the city limits, any business, profession or occupation without first procuring a city business tax receipt. For the purposes of this article, any person holding himself out to the public by sign, printed matter, telephone directory classified section, city directory or otherwise as being engaged in business or as offering services or property to the public for a consideration, regardless of whether such person actually transacts any business or practices a profession, shall be considered as engaging in business and shall be liable for a business tax receipt fee thereon.

CORRECTIVE ACTION REQUIRED : CONTINUED



THE CITY OF KEY WEST

Code Compliance Division (305) 809-3740

P. O. Box 1409, Key West, FL 33040

NOTICE OF CODE VIOLATION

CERTIFIED MAIL RECEIPT#

7007 2680 0003 1833 5020

Date:

3-31-2009

To: Bernard Seidling

P. O. Box 3006

Eau Claire, WI 54702

Subject Address:

1106 17th Street

Key West, FL 33040

A building permit and a plumbing permit are required prior to the commencement of work. For working over a stop work order. A business tax receipt is required to rent your two units.

Case #:

09-27

According to the records of The City of Key West, you are the current property owner/ representative or the business owner at the above-referenced property. You are hereby notified that your property is in violation of the City of Key West Code of Ordinances for the following reason(s):

Sec. 66-87. Business tax receipt required for all holding themselves out to be engaged in business.

No person shall engage in, manage, carry on or practice, wholly or in part, within the city limits, any business, profession or occupation without first procuring a city business tax receipt. For the purposes of this article, any person holding himself out to the public by sign, printed matter, telephone directory classified section, city directory or otherwise as being engaged in business or as offering services or property to the public for a consideration, regardless of whether such person actually transacts any business or practices a profession, shall be considered as engaging in business and shall be liable for a business tax receipt fee thereon.

Sec. 102-158. Stop work order and penalty.

(a) The city manager is authorized and directed to post a signed and dated notice to stop work on any site on which work is being performed in violation of the laws and regulations of the city or of the historic architectural review commission. Any person who engages in the

following activities shall be guilty of an offense punishable as provided in section 1-15: (1) Performing work with actual or constructive

knowledge that the work site has been posted by such notice, which notice has not been withdrawn by dated, signed order of the city manager; or (2) Removing, detaching, concealing or altering such notice to stop work without dated, signed authorization of the city manager.

(b) Where such offenses are of a continuing nature, no two separate offenses shall be charged against that same person for the same property within any one-hour period.

Sec. 14-37. Building permits; professional plans; display of permits.

(a) *Building permit required; display.* Building permits shall be procured from the building official before performance of any work or construction of any character, whether permanent or temporary. Within 48 hours after it is issued, the applicant must cause the permit to be posted and displayed at the work site so that it is readily visible from an adjacent public street throughout the term of the work. No work shall be performed unless a proper permit is so posted. (b) *Professional plans required.* Professional plans shall be required as follows:

(1) Plans for work requiring a building permit shall be submitted in duplicate or in triplicate if required by the state to the building official and shall be prepared by, and bear the seal of, an architect or structural engineer duly registered in the state, except if the work is by the owner-occupant upon a one- or two-family residence, and the work is cosmetic, nonstructural repair, alteration or addition. (2) Notwithstanding subsection (b)(1) of this section, plans for work which requires a building permit and which involves mechanical, plumbing or electrical repairs, alterations or additions shall be prepared by and shall bear the impress seal of an engineer duly registered in the state, as reasonably required in the interest of health and safety by the building official. (c) *Work done by owner-occupant.* A building permit may be issued to the owner-occupant of real property to construct or cause to be constructed, while the owner-occupant is present on the site, a one- or two-family residential structure for his own use and not offered for sale or lease or to repair the structure without being required to be a qualified contractor himself in accordance with this article and without being required to employ a licensed contractor. The owner-occupant may not construct or repair or cause the construction or repair of more than one such structure during any one-year period.

Florida Statutes Chapter 162 and Key West Code of Ordinances Article VI authorize code enforcement proceedings. You have ten (10) days after receipt of this notice to take corrective action on the above-described violation(s). **PLEASE CONTACT THE UNDERSIGNED CODE COMPLIANCE OFFICER** so that we can assist you in achieving compliance and scheduling a re-inspection. **If corrective action is not taken within the specified 10 days, this matter will be referred to The Special Master for an administrative non-criminal hearing concerning the alleged violation(s).**

The violation listed herein does not necessarily constitute all the violations that may exist with regard to this matter/property. Lack of enforcement proceedings at this time does not constitute a waiver of the right to any future notices of violations.

IF THE VIOLATION IS CORRECTED AND THEN RECURS OR IF THE VIOLATION IS NOT CORRECTED BY THE TIME SPECIFIED BY THE CODE OFFICER, THE CASE MIGHT BE PRESENTED TO THE SPECIAL MASTER EVEN IF THE VIOLATION HAS BEEN CORRECTED PRIOR TO THE HEARING DATE.

PER FLORIDA STATUTES SECTION 162.09, YOUR FAILURE TO CORRECT THE VIOLATION(S) MAY RESULT IN THE IMPOSITION OF A FINE OF UP TO \$250.00/DAY, AND \$500.00/DAY FOR A REPEAT VIOLATION. IF THE VIOLATION(S) IS IRREPARABLE OR IRREVERSIBLE, A FINE OF UP TO \$5000.00 MAY BE IMPOSED BY THE SPECIAL MASTER. FINES MAY BE IMPOSED ON A PER DAY/PER VIOLATION BASIS.

FINES THAT ARE NOT PAID MAY BECOME LIENS UPON YOUR PROPERTY AND BE RECORDED IN THE PUBLIC RECORDS OF MONROE COUNTY.



Jeff Berman
Code Compliance Officer
City of Key West
(305) 809-3740

Hand Served this day of , 2009

RECEIVED BY:

SERVED BY:



THE CITY OF KEY WEST
Code Compliance Division

P.O. BOX 1409
KEY WEST, FL 33040
(305) 809-3740

NOTICE OF CODE VIOLATION

DATE: March 23, 2009
RE: CASE NUMBER 09-00000027

CERTIFIED MAIL RECEIPT#: 7007 2680 0003 1833 2134

TO:
Royal Land Enterprises
P. O. Box 13017
Hayward, WI 54843

SUBJECT ADDRESS:
1106 17TH St
Key West, FL 33040

According to the records of The City of Key West, you are the current property owner/ representative or the business owner at the above-referenced property. You are hereby noticed that your property is in violation of the City of Key West Code of Ordinances for the following reason(s):

Violation Detail

00050 BUILDING PERMITS, DISPLAY Sec. 14-37

Date Est: February 24, 2009 Location: ROOF & PLUMBING Qty: 001

A roof permit and a plumbing permit are required prior to commencement of work.

Violation Detail

00060 STREET NUMBER REQUIRED Sec. 62-87

Date Est: February 24, 2009 Location: Qty: 001

Street numbers need to be posted.

Violation Detail

00070 BUSINESS TAX RECEIPT REQU Sec. 66-87

Date Est: February 24, 2009 Location: Qty: 001

A business tax receipt is required to rent your two units.

Violation Detail

00080 DELINQUENCY Sec. 58-63

Date Est: March 20, 2009 Location: Qty: 001

Sewer/garbage account is past due.

Violation Detail

00090 FEES TO CONSTITUTE LIEN Sec. 58-69

Date Est: March 20, 2009 Location: Qty: 001

A lien may be filed for failure to pay your sewer/garbage account.

CASE NUMBER 09-00000027
PROPERTY ADDRESS 1106 17TH ST

VIOLATION: BUILDING PERMITS, DISPLAY QUANTITY: 1
DESCRIPTION: Sec. 14-37 DATE: 2/24/09
LOCATION: ROOF & PLUMBING

NARRATIVE :
A roof permit and a plumbing permit are required prior to commencement of work.

ORDINANCE DESCRIPTION :
Sec. 14-37. Building permits; professional plans; display of permits.

- (a) Building permit required; display. Building permits shall be procured from the building official before performance of any work or construction of any character, whether permanent or temporary. Within 48 hours after it is issued, the applicant must cause the permit to be posted and displayed at the work site so that it is readily visible from an adjacent public street throughout the term of the work. No work shall be performed unless a proper permit is so posted.
- (b) Professional plans required. Professional plans shall be required as follows:
- (1) Plans for work requiring a building permit shall be submitted in duplicate or in triplicate if required by the state to the building official and shall be prepared by, and bear the seal of, an architect or structural engineer duly registered in the state, except if the work is by the owner-occupant upon a one- or two-family residence, and the work is cosmetic, nonstructural repair, alteration or addition.
- (2) Notwithstanding subsection (b)(1) of this section, plans for work which requires a building permit and which involves mechanical, plumbing or electrical repairs, alterations or additions shall be prepared by and shall bear the impress seal of an engineer duly registered in the state, as reasonably required in the interest of health and safety by the building official.
- (c) Work done by owner-occupant. A building permit may be issued to the owner-occupant of real property to construct or cause to be constructed, while the owner-occupant is present on the site, a one- or two-family residential structure for his own use and not offered for sale or lease or to repair the structure without being required to be a qualified contractor himself in accordance with this article and without being required to employ a licensed contractor. The owner-occupant may not construct or repair or cause the construction or repair of more than one such structure during any one-year period.
(Code 1986, § 31.010)

VIOLATION: STREET NUMBER REQUIRED QUANTITY: 1
DESCRIPTION: Sec. 62-87 DATE: 2/24/09
LOCATION:

NARRATIVE :

CONTINUED

CASE NUMBER 09-00000027
 PROPERTY ADDRESS 1106 17TH ST

NARRATIVE :
 Street numbers need to be posted.

ORDINANCE DESCRIPTION :

- (a) The owner or occupant of any building or structure, residential or commercial, assigned a street number by the chief building official shall have affixed to such building or paneled upon glass or some metallic surface the assigned number, which shall be in Arabic numerals of a contrasting color and which shall be located in a position to be easily discernible from the street fronting the building or structure.
- (b) The following additional requirements shall apply to the street numbers:
 - (1) For single-family dwellings, the numerals shall be at least three inches in height and one-half inch in stroke width and shall be affixed on, immediately above, or immediately to the side of the principal building entrance.
 - (2) For single-occupant commercial, multiunit residential, and multiunit commercial buildings having a single street number, the numerals shall be at least five inches in height but no greater than 31 inches in height and shall be affixed at the center or on either end of the building. Multiunit buildings, in addition, shall have numerical or letter unit designations displayed as required for single-family dwellings.
 - (3) For multiunit residential and multiunit commercial buildings having separate street numbers for each unit, the numerals shall be at least three inches in height and one-half inch in stroke width and shall be affixed on, immediately above, or immediately to the side of the principal building entrance.

 VIOLATION: BUSINESS TAX RECEIPT REQU QUANTITY: 1
 DESCRIPTION: Sec. 66-87 DATE: 2/24/09
 LOCATION:

NARRATIVE :
 A business tax receipt is required to rent your two units.

ORDINANCE DESCRIPTION :

No person shall engage in, manage, carry on or practice, wholly or in part, within the city limits, any business, profession or occupation without first procuring a city business tax receipt. For the purposes of this article, any person holding himself out to the public by sign, printed matter, telephone directory classified section, city directory or otherwise as being engaged in business or as offering services or property to the public for a consideration, regardless of whether such person actually transacts any business or practices a profession, shall be considered as engaging in business and shall be liable for a business tax receipt fee thereon.

CORRECTIVE ACTION REQUIRED : CONTINUED

CASE NUMBER 09-00000027
PROPERTY ADDRESS 1106 17TH ST

CORRECTIVE ACTION REQUIRED :
Obtain business tax receipt or cease activity.

VIOLATION: DELINQUENCY	QUANTITY: 1
DESCRIPTION: Sec. 58-63	DATE: 3/20/09
LOCATION:	

NARRATIVE :
Sewer/garbage account is past due.

ORDINANCE DESCRIPTION :

- (a) Solid waste charges shall become delinquent 20 days after date of billing.
- (b) Any solid waste service charge which becomes delinquent shall be assessed a one-time penalty charge, which shall appear on the next billing statement, of the greater of \$5.00 or 15percent of the delinquent service charge amount. If any rates, fees or charges established for the use and privilege of use of the city solid waste collection system shall not be paid within 30 days after the rates, fees or charges shall become due and payable, the city may, at the expiration of such 30-day period and after 15 days' written notice, which notice may be given and may run within the 30-day period, disconnect the premises from the sewer system for which the solid waste rates, fees or charges have not been paid. The owner of the premises may cause to have his premises reconnected at his own expense with the sewer system, provided that the owner pays to the city its actual cost of disconnecting the premises and all delinquent solid waste rates, fees or charges.

CORRECTIVE ACTION REQUIRED :
Payment is due immediately upon receipt of this notice.

VIOLATION: FEES TO CONSTITUTE LIEN	QUANTITY: 1
DESCRIPTION: Sec. 58-69	DATE: 3/20/09
LOCATION:	

NARRATIVE :
A lien may be filed for failure to pay your sewer/garbage account.

ORDINANCE DESCRIPTION :

The city shall have a lien on lands or premises served by the city's solid waste franchisee, which liens shall be prior to all other liens on such lands or premises except the lien of state, county, and municipal taxes and shall be on parity with state, county, and municipal taxes. Such liens when delinquent for more than 30 days may be foreclosed in the manner provided by the laws of the state for the foreclosure of mortgages on real property.



THE CITY OF KEY WEST

Code Compliance Division

P.O. BOX 1409
KEY WEST, FL 33040
(305) 809-3740

NOTICE OF CODE VIOLATION

DATE: March 23, 2009
RE: CASE NUMBER 09-00000027

CERTIFIED MAIL RECEIPT#: 7007 2680 0003 1833 2141

TO:
Kathy Hitchcock
1106 17TH Street
Key West, FL 33040

SUBJECT ADDRESS:
1106 17TH Street
Key West, FL 33040

According to the records of The City of Key West, you are the current property owner/ representative or the business owner at the above-referenced property. You are hereby noticed that your property is in violation of the City of Key West Code of Ordinances for the following reason(s):

Violation Detail

00050 BUILDING PERMITS, DISPLAY Sec. 14-37

Date Est: February 24, 2009 Location: ROOF & PLUMBING Qty: 001

A roof permit and a plumbing permit are required prior to commencement of work.

Violation Detail

00060 STREET NUMBER REQUIRED Sec. 62-87

Date Est: February 24, 2009 Location: Qty: 001

Street numbers need to be posted.

Violation Detail

00070 BUSINESS TAX RECEIPT REQU Sec. 66-87

Date Est: February 24, 2009 Location: Qty: 001

A business tax receipt is required to rent your two units.

Violation Detail

00080 DELINQUENCY Sec. 58-63

Date Est: March 20, 2009 Location: Qty: 001

Sewer/garbage account is past due.

Violation Detail

00090 FEES TO CONSTITUTE LIEN Sec. 58-69

Date Est: March 20, 2009 Location: Qty: 001

A lien may be filed for failure to pay your sewer/garbage account.

CASE NUMBER 09-00000027
 PROPERTY ADDRESS 1106 17TH ST

VIOLATION: BUILDING PERMITS, DISPLAY QUANTITY: 1
 DESCRIPTION: Sec. 14-37 DATE: 2/24/09
 LOCATION: ROOF & PLUMBING

NARRATIVE :

A roof permit and a plumbing permit are required prior to commencement of work.

ORDINANCE DESCRIPTION :

Sec. 14-37. Building permits; professional plans; display of permits.

(a) Building permit required; display. Building permits shall be procured from the building official before performance of any work or construction of any character, whether permanent or temporary. Within 48 hours after it is issued, the applicant must cause the permit to be posted and displayed at the work site so that it is readily visible from an adjacent public street throughout the term of the work. No work shall be performed unless a proper permit is so posted.

(b) Professional plans required. Professional plans shall be required as follows:

(1) Plans for work requiring a building permit shall be submitted in duplicate or in triplicate if required by the state to the building official and shall be prepared by, and bear the seal of, an architect or structural engineer duly registered in the state, except if the work is by the owner-occupant upon a one- or two-family residence, and the work is cosmetic, nonstructural repair, alteration or addition.

(2) Notwithstanding subsection (b)(1) of this section, plans for work which requires a building permit and which involves mechanical, plumbing or electrical repairs, alterations or additions shall be prepared by and shall bear the impress seal of an engineer duly registered in the state, as reasonably required in the interest of health and safety by the building official.

(c) Work done by owner-occupant. A building permit may be issued to the owner-occupant of real property to construct or cause to be constructed, while the owner-occupant is present on the site, a one- or two-family residential structure for his own use and not offered for sale or lease or to repair the structure without being required to be a qualified contractor himself in accordance with this article and without being required to employ a licensed contractor. The owner-occupant may not construct or repair or cause the construction or repair of more than one such structure during any one-year period.
 (Code 1986, § 31.010)

VIOLATION: STREET NUMBER REQUIRED QUANTITY: 1
 DESCRIPTION: Sec. 62-87 DATE: 2/24/09
 LOCATION:

NARRATIVE :

CONTINUED

VIOLATION DETAIL

CASE NUMBER 09-00000027
PROPERTY ADDRESS 1106 17TH ST

NARRATIVE :
Street numbers need to be posted.

ORDINANCE DESCRIPTION :

- (a) The owner or occupant of any building or structure, residential or commercial, assigned a street number by the chief building official shall have affixed to such building or paneled upon glass or some metallic surface the assigned number, which shall be in Arabic numerals of a contrasting color and which shall be located in a position to be easily discernible from the street fronting the building or structure.
- (b) The following additional requirements shall apply to the street numbers:
 - (1) For single-family dwellings, the numerals shall be at least three inches in height and one-half inch in stroke width and shall be affixed on, immediately above, or immediately to the side of the principal building entrance.
 - (2) For single-occupant commercial, multiunit residential, and multiunit commercial buildings having a single street number, the numerals shall be at least five inches in height but no greater than 31 inches in height and shall be affixed at the center or on either end of the building. Multiunit buildings, in addition, shall have numerical or letter unit designations displayed as required for single-family dwellings.
 - (3) For multiunit residential and multiunit commercial buildings having separate street numbers for each unit, the numerals shall be at least three inches in height and one-half inch in stroke width and shall be affixed on, immediately above, or immediately to the side of the principal building entrance.

VIOLATION: BUSINESS TAX RECEIPT REQU QUANTITY: 1
DESCRIPTION: Sec. 66-87 DATE: 2/24/09
LOCATION: -----

NARRATIVE :
A business tax receipt is required to rent your two units.

ORDINANCE DESCRIPTION :

No person shall engage in, manage, carry on or practice, wholly or in part, within the city limits, any business, profession or occupation without first procuring a city business tax receipt. For the purposes of this article, any person holding himself out to the public by sign, printed matter, telephone directory classified section, city directory or otherwise as being engaged in business or as offering services or property to the public for a consideration, regardless of whether such person actually transacts any business or practices a profession, shall be considered as engaging in business and shall be liable for a business tax receipt fee thereon.

CORRECTIVE ACTION REQUIRED :

CONTINUED

CASE NUMBER 09-00000027
 PROPERTY ADDRESS 1106 17TH ST

CORRECTIVE ACTION REQUIRED :
 Obtain business tax receipt or cease activity.

 VIOLATION: DELINQUENCY QUANTITY: 1
 DESCRIPTION: Sec. 58-63 DATE: 3/20/09
 LOCATION: -----

NARRATIVE :
 Sewer/garbage account is past due.

ORDINANCE DESCRIPTION :

- (a) Solid waste charges shall become delinquent 20 days after date of billing.
- (b) Any solid waste service charge which becomes delinquent shall be assessed a one-time penalty charge, which shall appear on the next billing statement, of the greater of \$5.00 or 15percent of the delinquent service charge amount. If any rates, fees or charges established for the use and privilege of use of the city solid waste collection system shall not be paid within 30 days after the rates, fees or charges shall become due and payable, the city may, at the expiration of such 30-day period and after 15 days' written notice, which notice may be given and may run within the 30-day period, disconnect the premises from the sewer system for which the solid waste rates, fees or charges have not been paid. The owner of the premises may cause to have his premises reconnected at his own expense with the sewer system, provided that the owner pays to the city its actual cost of disconnecting the premises and all delinquent solid waste rates, fees or charges.

CORRECTIVE ACTION REQUIRED :
 Payment is due immediately upon receipt of this notice.

 VIOLATION: FEES TO CONSTITUTE LIEN QUANTITY: 1
 DESCRIPTION: Sec. 58-69 DATE: 3/20/09
 LOCATION: -----

NARRATIVE :
 A lien may be filed for failure to pay your sewer/garbage account.

ORDINANCE DESCRIPTION :

The city shall have a lien on lands or premises served by the city's solid waste franchisee, which liens shall be prior to all other liens on such lands or premises except the lien of state, county, and municipal taxes and shall be on parity with state, county, and municipal taxes. Such liens when delinquent for more than 30 days may be foreclosed in the manner provided by the laws of the state for the foreclosure of mortgages on real property.



THE CITY OF KEY WEST
Code Compliance Division

P.O. BOX 1409
KEY WEST, FL 33040
(305) 809-3740

NOTICE OF CODE VIOLATION

DATE: February 25, 2009
RE: CASE NUMBER 09-00000027

CERTIFIED MAIL RECEIPT#: 7007 2680 0003 1832 8052

TO: SUBJECT ADDRESS:
Bernard C Seidling Living Trust 1106 17th St
132 N Indies S Key West, FL 33040
Marathon FL 33050

According to the records of The City of Key West, you are the current property owner/ representative or the business owner at the above-referenced property. You are hereby noticed that your property is in violation of the City of Key West Code of Ordinances for the following reason(s):

Violation Detail

00050 BUILDING PERMITS,DISPLAY Sec. 14-37

Date Est: February 24, 2009 Location: ROOF & PLUMBING Qty: 001

A roof permit and a plumbing permit are required prior to commencement of work.

Violation Detail

00060 STREET NUMBER REQUIRED Sec. 62-87

Date Est: February 24, 2009 Location: Qty: 001

Street numbers need to be posted.

Violation Detail

00070 BUSINESS TAX RECEIPT REQU Sec. 66-87

Date Est: February 24, 2009 Location: Qty: 001

A business tax receipt is required to rent your two units.

Florida Statutes Chapter 162 and Key West Code of Ordinances Article VI authorize code enforcement proceedings. You have ten (10) days after receipt of this notice to take corrective action on the above-described violation(s). **PLEASE CONTACT THE UNDERSIGNED CODE COMPLIANCE OFFICER** so that we can assist you in achieving compliance and scheduling a re-inspection. If **corrective action is not taken within the specified 10 days, this matter will be referred to The Special Master for an administrative non-criminal hearing concerning the alleged violation(s).**

The violation listed herein does not necessarily constitute all the violations that may exist with regard to this matter/property. Lack of enforcement proceedings at this time does not constitute a waiver of the right to any future notices of violations.

IF THE VIOLATION IS CORRECTED AND THEN RECURS OR IF THE VIOLATION IS NOT CORRECTED BY THE TIME SPECIFIED BY THE CODE OFFICER, THE CASE MIGHT BE PRESENTED TO THE SPECIAL MASTER EVEN IF THE VIOLATION HAS BEEN CORRECTED PRIOR TO THE HEARING DATE.

PER FLORIDA STATUTES SECTION 162.09, YOUR FAILURE TO CORRECT THE VIOLATION (S) MAY RESULT IN THE IMPOSITION OF A FINE OF UP TO \$250.00/DAY, AND \$500.00/DAY FOR A REPEAT VIOLATION. IF THE VIOLATION (S) IS IRREPARABLE OR IRREVERSIBLE, A FINE OF UP TO \$5000.00 MAY BE IMPOSED BY THE SPECIAL MASTER. FINES MAY BE IMPOSED ON A PER DAY/PER VIOLATION BASIS.

FINES THAT ARE NOT PAID MAY BECOME LIENS UPON YOUR PROPERTY AND BE RECORDED IN THE PUBLIC RECORDS OF MONROE COUNTY.


Jeff Bernman
Code Compliance Officer

City of Key West
(305) 809-3740

Hand Served this day of , 2009

RECEIVED BY:

SERVED BY:

CASE NUMBER 09-00000027
 PROPERTY ADDRESS 1106 17TH ST

VIOLATION: BUILDING PERMITS, DISPLAY QUANTITY: 1
 DESCRIPTION: Sec. 14-37 DATE: 2/24/09
 LOCATION: ROOF & PLUMBING

NARRATIVE :

A roof permit and a plumbing permit are required prior to commencement of work.

ORDINANCE DESCRIPTION :

Sec. 14-37. Building permits; professional plans; display of permits.

(a) Building permit required; display. Building permits shall be procured from the building official before performance of any work or construction of any character, whether permanent or temporary. Within 48 hours after it is issued, the applicant must cause the permit to be posted and displayed at the work site so that it is readily visible from an adjacent public street throughout the term of the work. No work shall be performed unless a proper permit is so posted.

(b) Professional plans required. Professional plans shall be required as follows:

(1) Plans for work requiring a building permit shall be submitted in duplicate or in triplicate if required by the state to the building official and shall be prepared by, and bear the seal of, an architect or structural engineer duly registered in the state, except if the work is by the owner-occupant upon a one- or two-family residence, and the work is cosmetic, nonstructural repair, alteration or addition.

(2) Notwithstanding subsection (b)(1) of this section, plans for work which requires a building permit and which involves mechanical, plumbing or electrical repairs, alterations or additions shall be prepared by and shall bear the impress seal of an engineer duly registered in the state, as reasonably required in the interest of health and safety by the building official.

(c) Work done by owner-occupant. A building permit may be issued to the owner-occupant of real property to construct or cause to be constructed, while the owner-occupant is present on the site, a one- or two-family residential structure for his own use and not offered for sale or lease or to repair the structure without being required to be a qualified contractor himself in accordance with this article and without being required to employ a licensed contractor. The owner-occupant may not construct or repair or cause the construction or repair of more than one such structure during any one-year period.
 (Code 1986, § 31.010)

VIOLATION: STREET NUMBER REQUIRED QUANTITY: 1
 DESCRIPTION: Sec. 62-87 DATE: 2/24/09
 LOCATION:

NARRATIVE :

CONTINUED

CASE NUMBER 09-00000027
 PROPERTY ADDRESS 1106 17TH ST

NARRATIVE :
 Street numbers need to be posted.

ORDINANCE DESCRIPTION :

- (a) The owner or occupant of any building or structure, residential or commercial, assigned a street number by the chief building official shall have affixed to such building or paneled upon glass or some metallic surface the assigned number, which shall be in Arabic numerals of a contrasting color and which shall be located in a position to be easily discernible from the street fronting the building or structure.
- (b) The following additional requirements shall apply to the street numbers:
 - (1) For single-family dwellings, the numerals shall be at least three inches in height and one-half inch in stroke width and shall be affixed on, immediately above, or immediately to the side of the principal building entrance.
 - (2) For single-occupant commercial, multiunit residential, and multiunit commercial buildings having a single street number, the numerals shall be at least five inches in height but no greater than 31 inches in height and shall be affixed at the center or on either end of the building. Multiunit buildings, in addition, shall have numerical or letter unit designations displayed as required for single-family dwellings.
 - (3) For multiunit residential and multiunit commercial buildings having separate street numbers for each unit, the numerals shall be at least three inches in height and one-half inch in stroke width and shall be affixed on, immediately above, or immediately to the side of the principal building entrance.

 VIOLATION: BUSINESS TAX RECEIPT REQD QUANTITY: 1
 DESCRIPTION: Sec. 66-87 DATE: 2/24/09
 LOCATION: -----

NARRATIVE :
 A business tax receipt is required to rent your two units.

ORDINANCE DESCRIPTION :

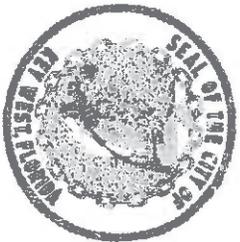
No person shall engage in, manage, carry on or practice, wholly or in part, within the city limits, any business, profession or occupation without first procuring a city business tax receipt. For the purposes of this article, any person holding himself out to the public by sign, printed matter, telephone directory classified section, city directory or otherwise as being engaged in business or as offering services or property to the public for a consideration, regardless of whether such person actually transacts any business or practices a profession, shall be considered as engaging in business and shall be liable for a business tax receipt fee thereon.

CORRECTIVE ACTION REQUIRED :

CONTINUED

CASE NUMBER 09-00000027
PROPERTY ADDRESS 1106 17TH ST

CORRECTIVE ACTION REQUIRED :
Obtain business tax receipt or cease activity.



THE CITY OF KEY WEST
Code Compliance Division

P.O. BOX 1409
KEY WEST, FL 33040
(305) 809-3740

NOTICE OF CODE VIOLATION

DATE: February 25, 2009
RE: CASE NUMBER 09-00000027

CERTIFIED MAIL RECEIPT#: 7007 2680 0003 1832 8069

TO: **SUBJECT ADDRESS:**
Sunshine Family Limited Partnership 1106 17th St
132 N Indies Dr Key West, FL 33040
Marathon FL 33050

According to the records of The City of Key West, you are the current property owner/ representative or the business owner at the above--referenced property. You are hereby noticed that your property is in violation of the City of Key West Code of Ordinances for the following reason(s):

Violation Detail

00050 BUILDING PERMITS,DISPLAY Sec. 14-37

Date Est: February 24, 2009 Location: **ROOF & PLUMBING Qty: 001**
A roof permit and a plumbing permit are required prior to commencement of work.

Violation Detail

00060 STREET NUMBER REQUIRED Sec. 62-87

Date Est: February 24, 2009 Location: **Qty: 001**
Street numbers need to be posted.

Violation Detail

00070 BUSINESS TAX RECEIPT REQU Sec. 66-87

Date Est: February 24, 2009 Location: **Qty: 001**
A business tax receipt is required to rent your two units.

Florida Statutes Chapter 162 and Key West Code of Ordinances Article VI authorize code enforcement proceedings. You have ten (10) days after receipt of this notice to take corrective action on the above-described violation(s). **PLEASE CONTACT THE UNDERSIGNED CODE COMPLIANCE OFFICER** so that we can assist you in achieving compliance and scheduling a re-inspection. **If**

CASE NUMBER 09-00000027
PROPERTY ADDRESS 1106 17TH ST

VIOLATION: BUILDING PERMITS, DISPLAY QUANTITY: 1
DESCRIPTION: Sec. 14-37 DATE: 2/24/09
LOCATION: ROOF & PLUMBING

NARRATIVE :

A roof permit and a plumbing permit are required prior to commencement of work.

ORDINANCE DESCRIPTION :

Sec. 14-37. Building permits; professional plans; display of permits.

(a) Building permit required; display. Building permits shall be procured from the building official before performance of any work or construction of any character, whether permanent or temporary. Within 48 hours after it is issued, the applicant must cause the permit to be posted and displayed at the work site so that it is readily visible from an adjacent public street throughout the term of the work. No work shall be performed unless a proper permit is so posted.

(b) Professional plans required. Professional plans shall be required as follows:

(1) Plans for work requiring a building permit shall be submitted in duplicate or in triplicate if required by the state to the building official and shall be prepared by, and bear the seal of, an architect or structural engineer duly registered in the state, except if the work is by the owner-occupant upon a one- or two-family residence, and the work is cosmetic, nonstructural repair, alteration or addition.

(2) Notwithstanding subsection (b)(1) of this section, plans for work which requires a building permit and which involves mechanical, plumbing or electrical repairs, alterations or additions shall be prepared by and shall bear the impress seal of an engineer duly registered in the state, as reasonably required in the interest of health and safety by the building official.

(c) Work done by owner-occupant. A building permit may be issued to the owner-occupant of real property to construct or cause to be constructed, while the owner-occupant is present on the site, a one- or two-family residential structure for his own use and not offered for sale or lease or to repair the structure without being required to be a qualified contractor himself in accordance with this article and without being required to employ a licensed contractor. The owner-occupant may not construct or repair or cause the construction or repair of more than one such structure during any one-year period.
(Code 1986, § 31.010)

VIOLATION: STREET NUMBER REQUIRED QUANTITY: 1
DESCRIPTION: Sec. 62-87 DATE: 2/24/09
LOCATION:

NARRATIVE :

CONTINUED

VIOLATION DETAIL

CASE NUMBER 09-00000027
PROPERTY ADDRESS 1106 17TH ST

NARRATIVE :
Street numbers need to be posted.

ORDINANCE DESCRIPTION :

- (a) The owner or occupant of any building or structure, residential or commercial, assigned a street number by the chief building official shall have affixed to such building or paneled upon glass or some metallic surface the assigned number, which shall be in Arabic numerals of a contrasting color and which shall be located in a position to be easily discernible from the street fronting the building or structure.
- (b) The following additional requirements shall apply to the street numbers:
 - (1) For single-family dwellings, the numerals shall be at least three inches in height and one-half inch in stroke width and shall be affixed on, immediately above, or immediately to the side of the principal building entrance.
 - (2) For single-occupant commercial, multiunit residential, and multiunit commercial buildings having a single street number, the numerals shall be at least five inches in height but no greater than 31 inches in height and shall be affixed at the center or on either end of the building. Multiunit buildings, in addition, shall have numerical or letter unit designations displayed as required for single-family dwellings.
 - (3) For multiunit residential and multiunit commercial buildings having separate street numbers for each unit, the numerals shall be at least three inches in height and one-half inch in stroke width and shall be affixed on, immediately above, or immediately to the side of the principal building entrance.

VIOLATION: BUSINESS TAX RECEIPT REQU QUANTITY: 1
DESCRIPTION: Sec. 66-87 DATE: 2/24/09
LOCATION: -----

NARRATIVE :
A business tax receipt is required to rent your two units.

ORDINANCE DESCRIPTION :
No person shall engage in, manage, carry on or practice, wholly or in part, within the city limits, any business, profession or occupation without first procuring a city business tax receipt. For the purposes of this article, any person holding himself out to the public by sign, printed matter, telephone directory classified section, city directory or otherwise as being engaged in business or as offering services or property to the public for a consideration, regardless of whether such person actually transacts any business or practices a profession, shall be considered as engaging in business and shall be liable for a business tax receipt fee thereon.

CORRECTIVE ACTION REQUIRED : CONTINUED

CASE NUMBER 09-00000027
PROPERTY ADDRESS 1106 17TH ST

CORRECTIVE ACTION REQUIRED :
Obtain business tax receipt or cease activity.