

# JACOBSON RESIDENCE

## VARIANCE PACKAGE

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- A-302 EAST ELEVATION
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### SITE DATA

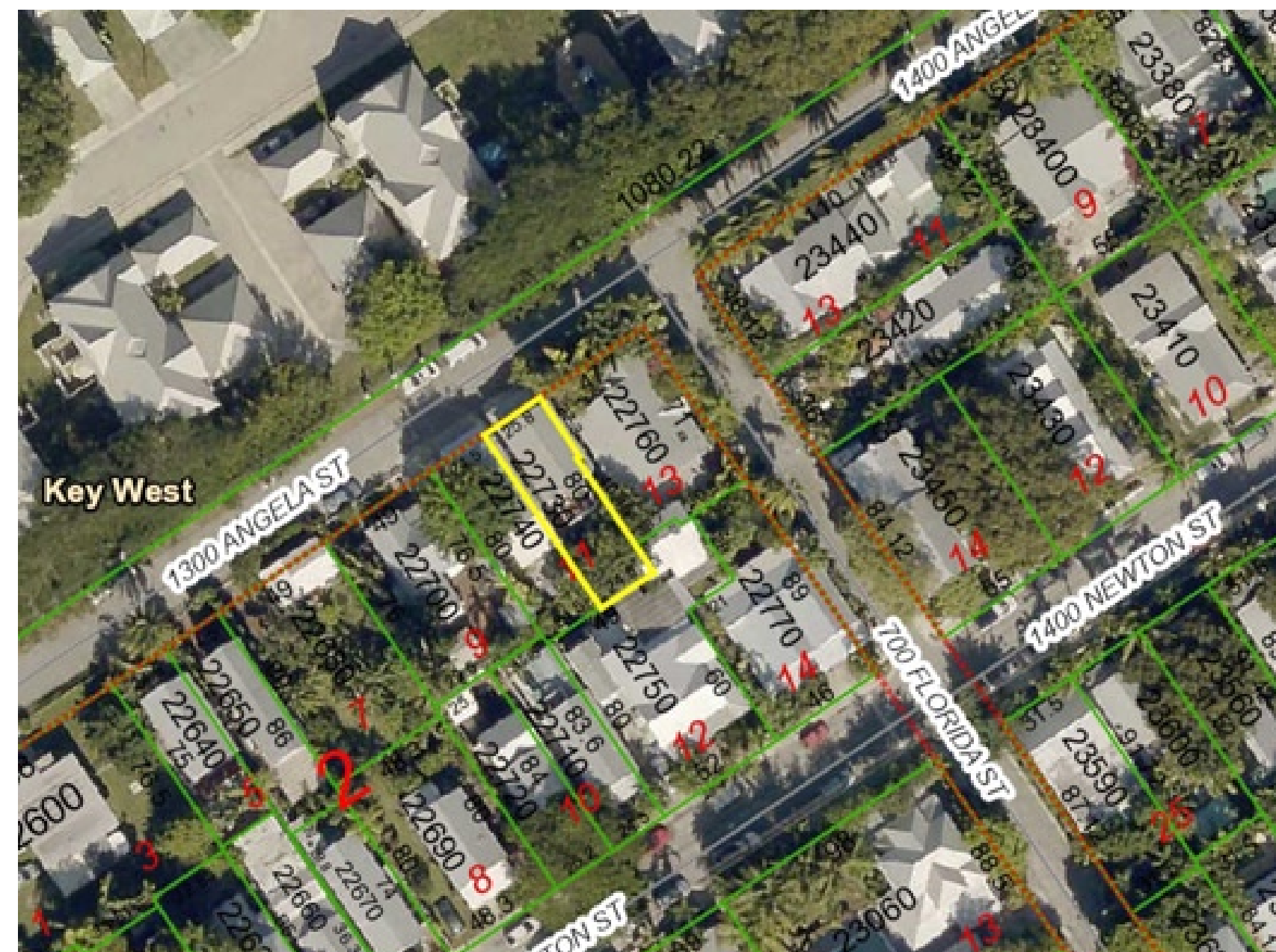
	EXISTING CONDITIONS		PROPOSED	
	(SQ FT)		(SQ FT)	
<b>BUILDING COVERAGE</b>	LOT SIZE	1996	1996	
BUILDING COVERAGE	HOUSE FOOTPRINT	1069	1069	
	COVERED DECK/EXISTING SHED	66	66	
	EXTERIOR STAIRS	75	75	
	POOL WATERFALL WALL	0	7	
	A/C UNITS (OVER 30" TALL)	9	12	
	<b>TOTAL BUILDING COVERAGE</b>	<b>1219</b>	<b>61.1%</b>	<b>1229</b>
<b>IMPERVIOUS AREA</b>	BRICK PAVERS	315	0	
IMPERVIOUS AREA	POOL	0	83	
	CONCRETE ENTRY STEPS	10	10	
	<b>TOTAL IMPERVIOUS AREA</b>	<b>1544</b>	<b>77.4%</b>	<b>1322</b>
<b>OPEN SPACE/PERVIOUS AREAS</b>	DECK	127	106	
OPEN SPACE/PERVIOUS AREAS	GRAVEL/EARTH	325	568	
	<b>TOTAL OPEN SPACE/PERVIOUS AREAS</b>	<b>452</b>	<b>22.6%</b>	<b>674</b>
LOT SIZE CHECK	1996	100.0%	1996	100.0%



3D MODEL: EXISTING



3D MODEL: PROPOSED



LOCATION MAP

#### SCOPE OF WORK

Up until 2003, the house contained two units, one downstairs and one upstairs. During a 2003 remodel, the downstairs kitchen was removed leaving the only kitchen upstairs. The owners obtained Build-back rights for the downstairs kitchen from the City of Key West in a letter dated October 23, 2018.

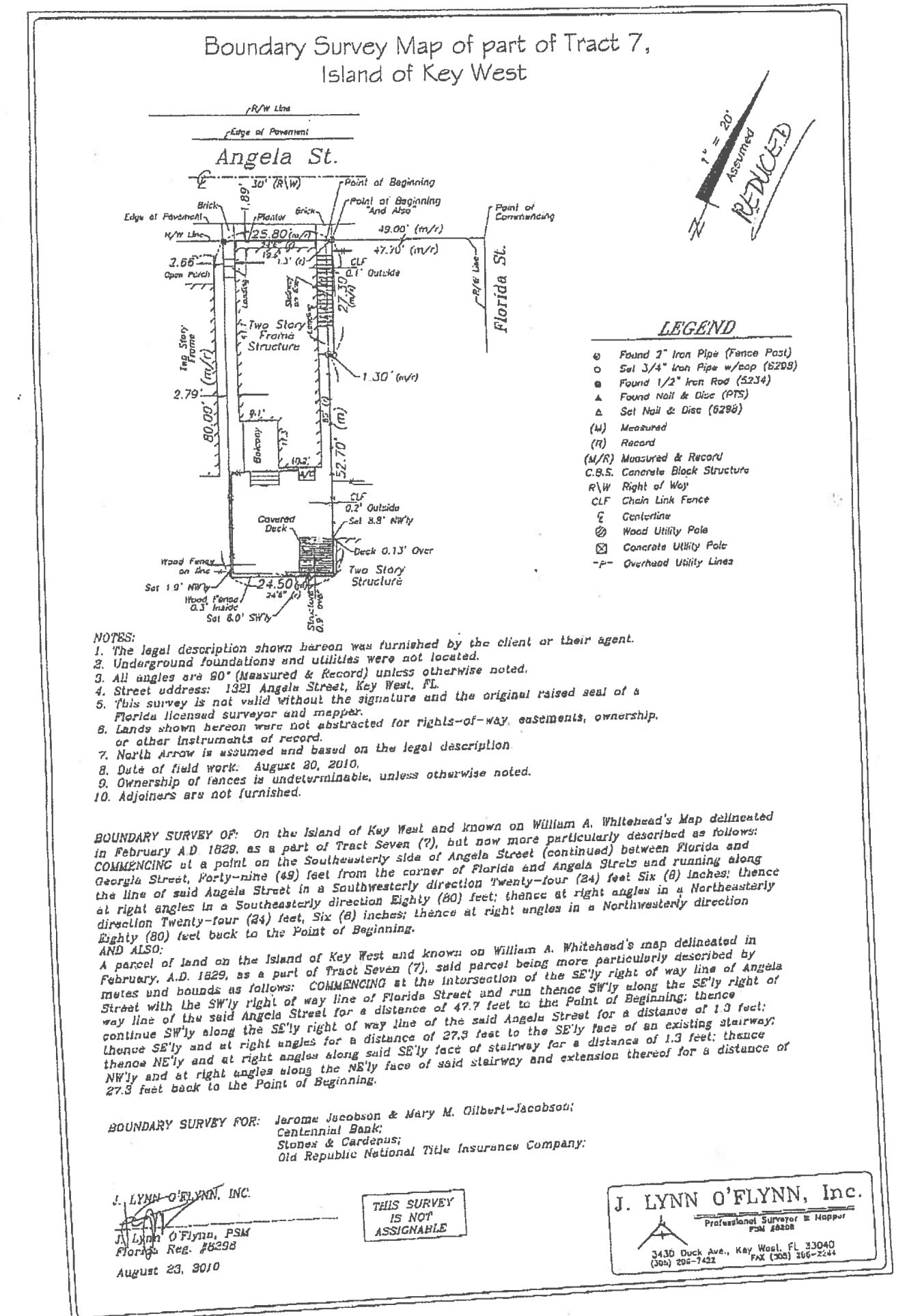
The project consists of expanding a rear laundry room by 88 square feet to provide a kitchen on the first floor. The existing shed roof on the laundry room will be extended over the new addition. Interior renovations include adding a half bath and relocating the hot water heater, washer, and dryer.

Rotting telephone poles that serve as the structure to an existing roof deck will be replaced with concrete footers and wood columns.

#### GENERAL NOTES

All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the city, county, and the state of Florida. In the city of Key West, applicable Codes forming the basis of this design and compliance requirements for the contractor include:

**BUILDING:** Florida Building Code, Residential, 2017  
**ELECTRICAL:** Florida Building Code, Residential, 2017  
**PLUMBING:** Florida Building Code, Plumbing, 2017  
**MECHANICAL:** Florida Building Code, Mechanical, 2017  
**EXISTING BUILDING:** Florida Building Code, Existing Building, 2017



SURVEY



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 KEY WEST, FL 33040

OWNER  
**JEROME JACOBSON & MARY GILBERT-JACOBSON**  
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**COVER SHEET**

**A-001**



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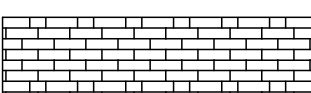
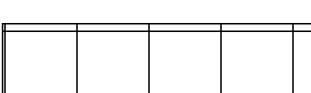
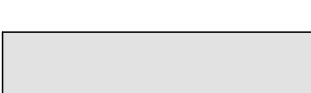
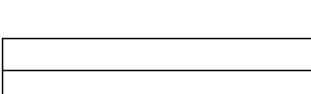
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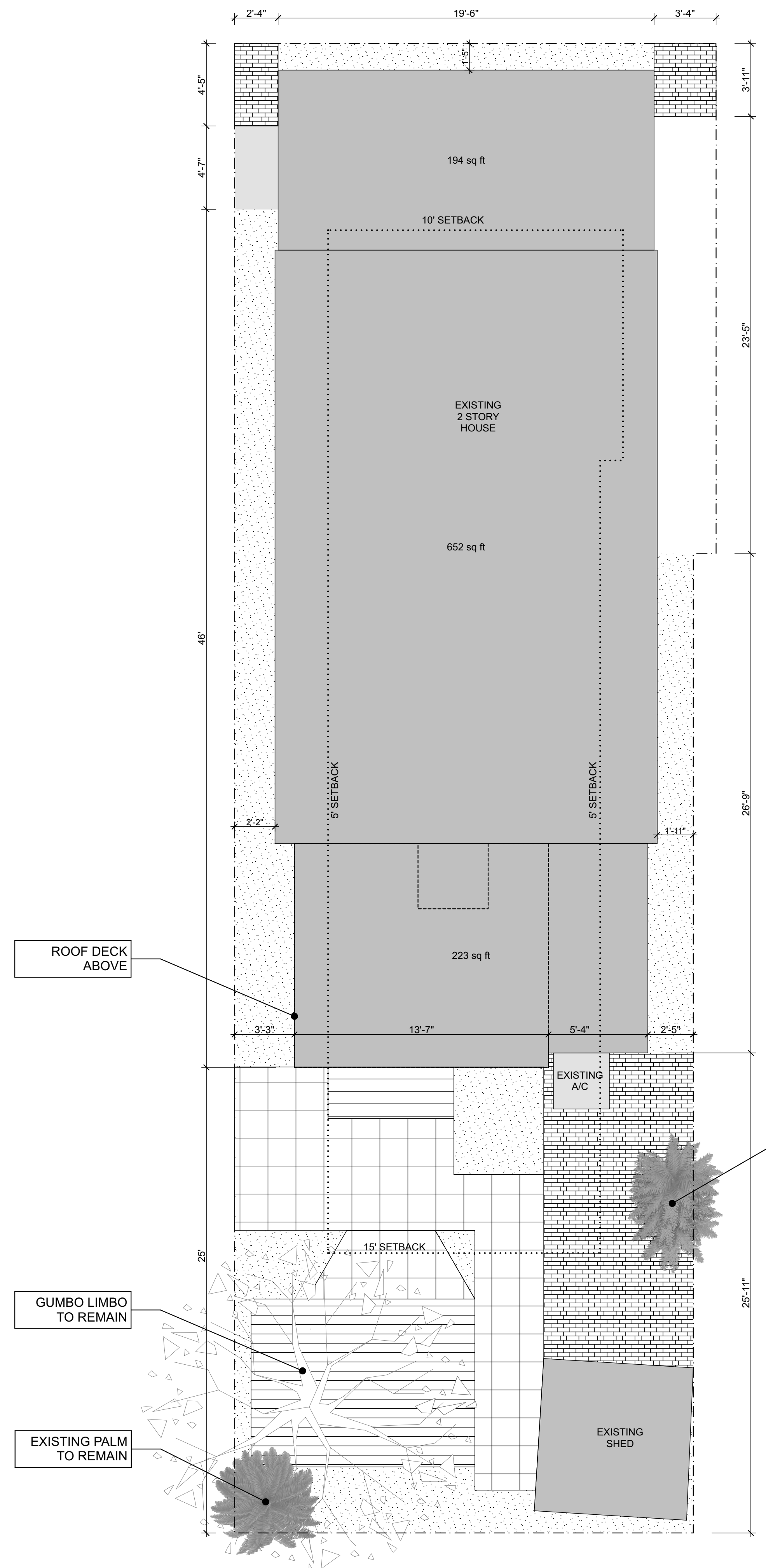
## JACOBSON RESIDENCE

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-  OPEN SPACE/  
PERVIOUS AREA
-  BUILDING COVERAGE
-  BRICKS
-  PAVING TILES
-  CONCRETE
-  DECK

SITE PLAN KEY



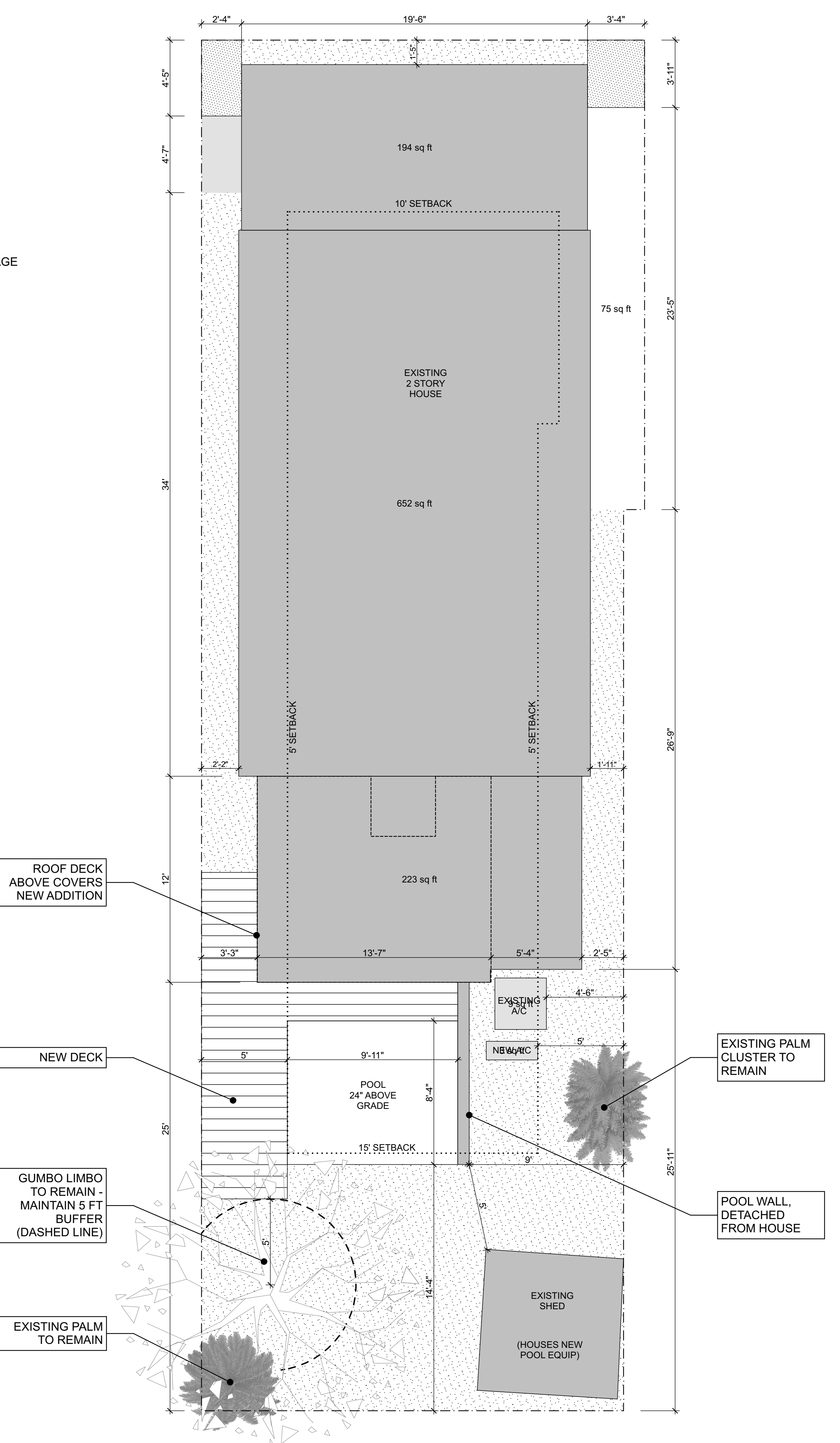
ROOF DECK ABOVE

GUMBO LIMBO TO REMAIN

EXISTING PALM TO REMAIN

EXISTING PALM CLUSTER TO REMAIN

EXISTING SHED



ROOF DECK ABOVE COVERS NEW ADDITION

NEW DECK

GUMBO LIMBO TO REMAIN - MAINTAIN 5 FT BUFFER (DASHED LINE)

EXISTING PALM TO REMAIN

EXISTING SHED (HOUSES NEW POOL EQUIP)

EXISTING PALM CLUSTER TO REMAIN

POOL WALL, DETACHED FROM HOUSE

1 SITE PLAN - EXISTING  
 SCALE: 1/4" = 1'-0"

2 SITE PLAN - PROPOSED  
 SCALE: 1/4" = 1'-0"

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## SITE PLAN



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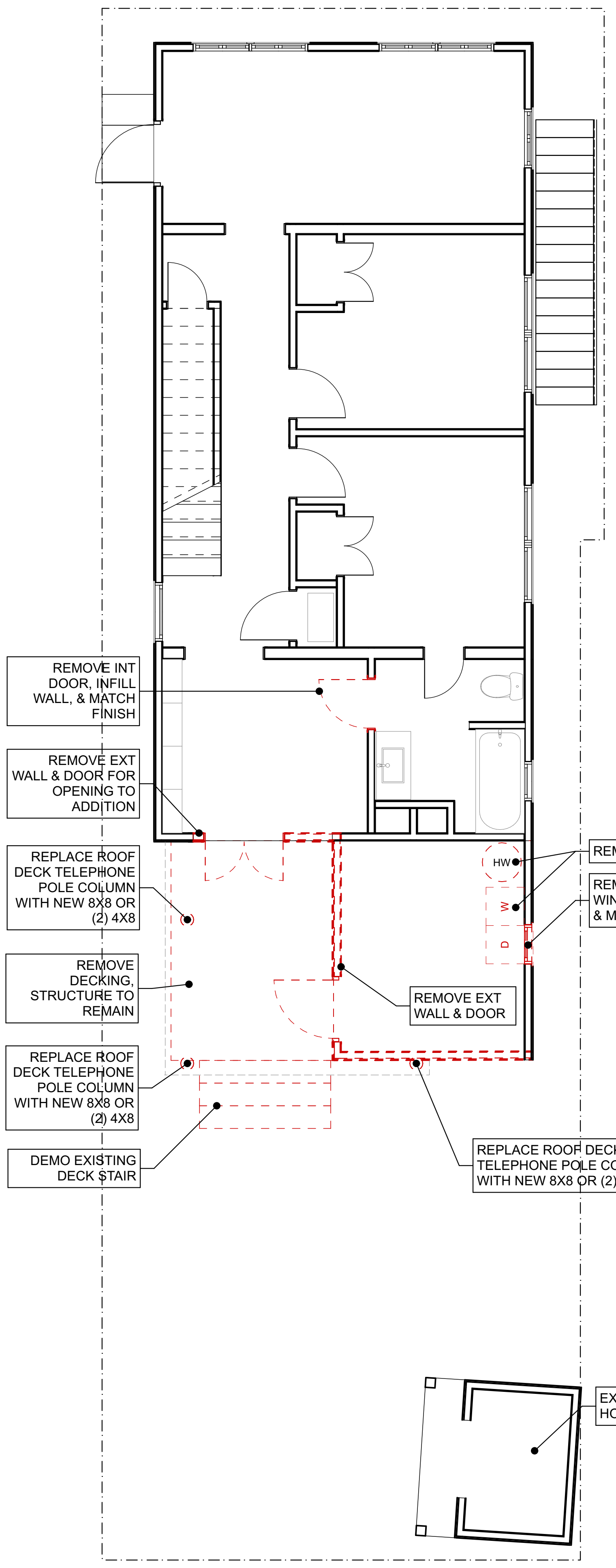
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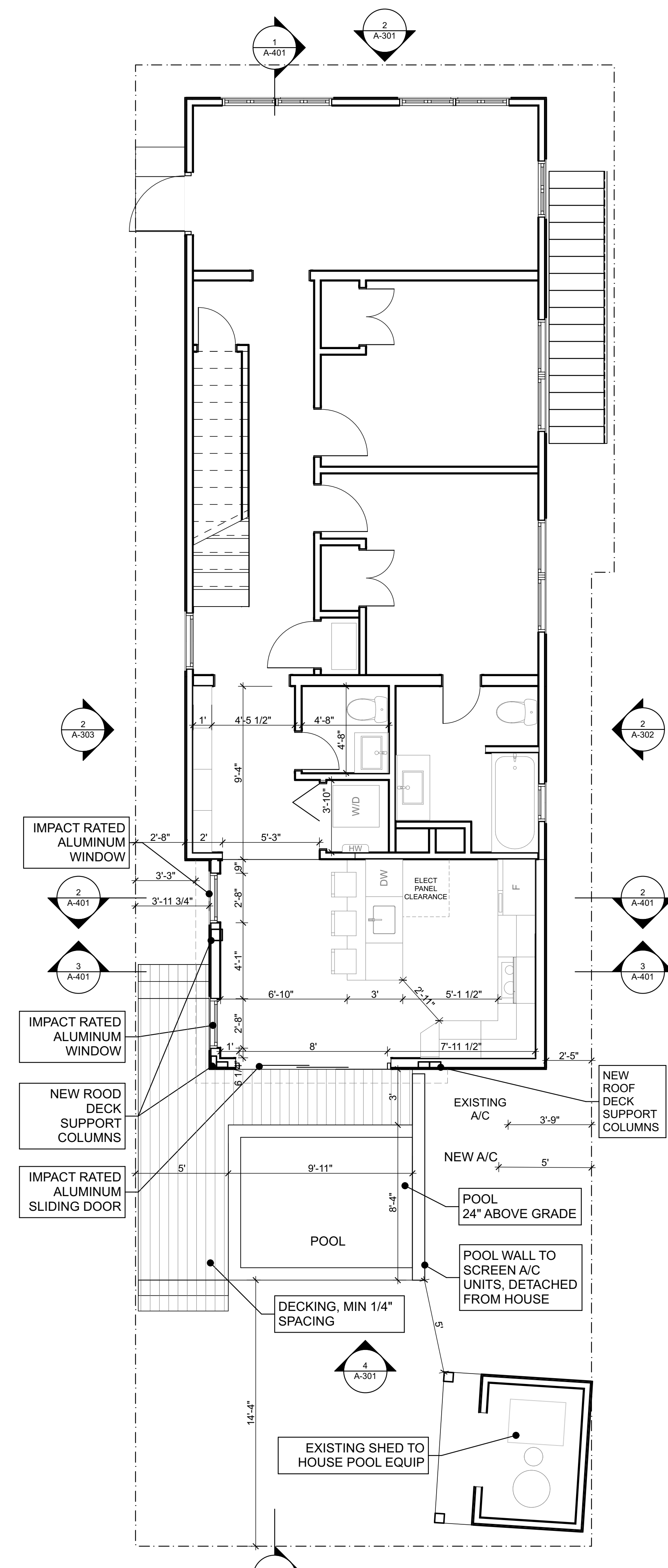
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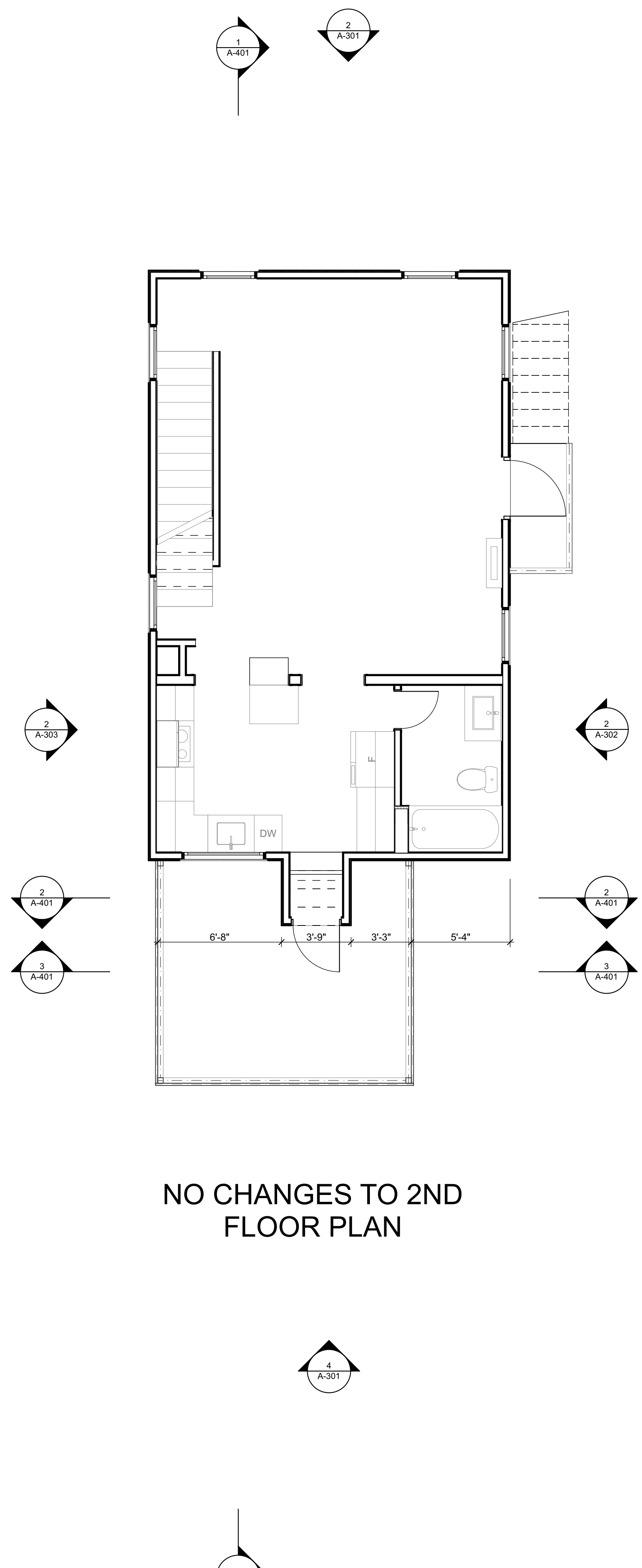
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1 DEMO PLAN  
 SCALE: 1/4" = 1'-0"



2 1ST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



3 2ND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

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# FLOOR PLANS

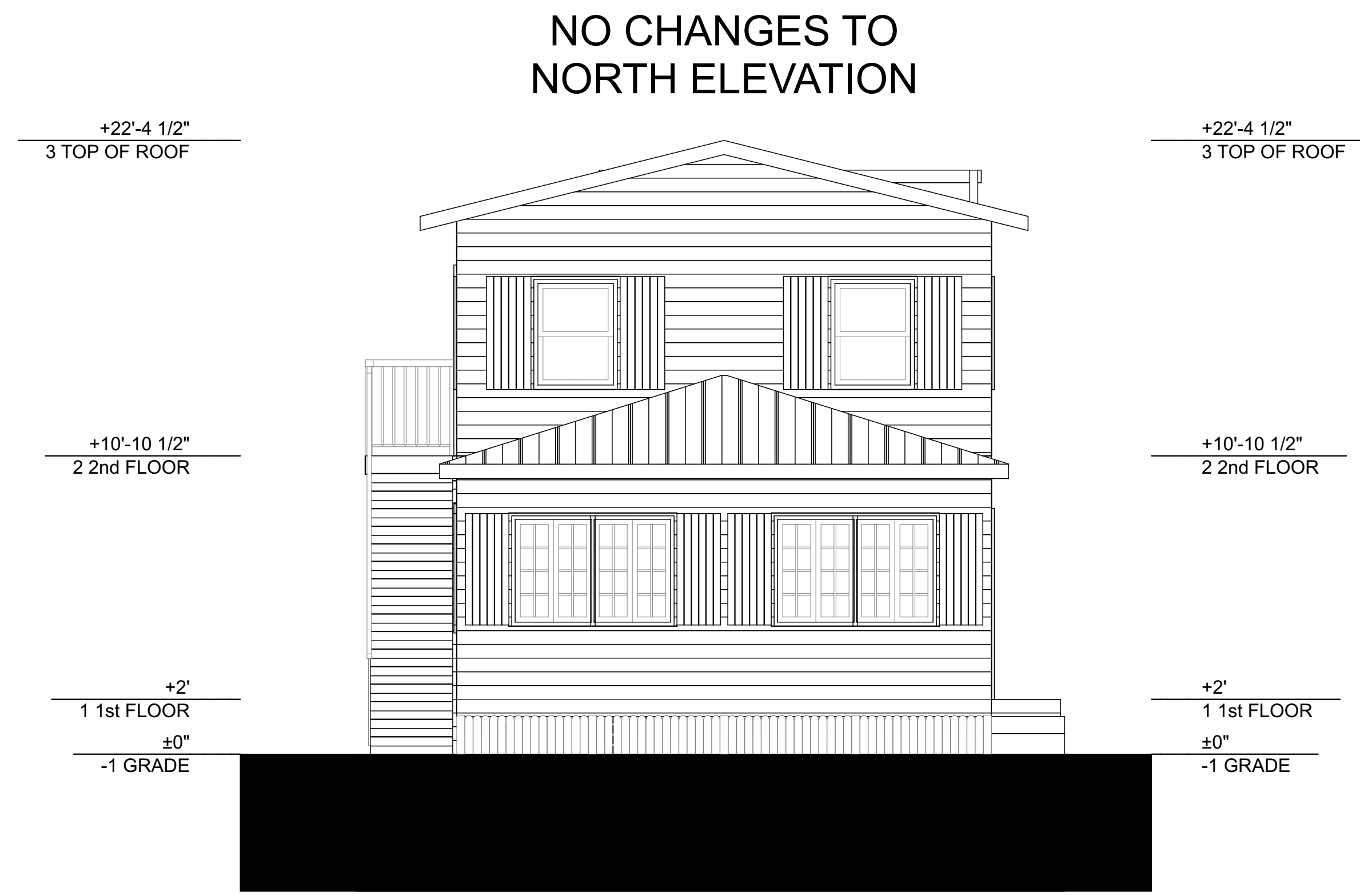
A-201

**ELEVATION NOTES:**

1. POOL, 24" ABOVE GRADE
2. POOL WALL TO SCREEN A/C CONDENSERS
3. NEW A/C CONDENSER, ELEVATED OFF OF GROUND
4. EXISTING A/C UNIT TO REMAIN
5. POOL EQUIPMENT TO BE LOCATED IN EXISTING SHED
6. REPLACE ROOF DECK TELEPHONE COLUMNS WITH NEW 8X8 OR (2) 4X8 COLUMNS
7. STANDING SEAM METAL ROOF
8. NOVELTY SIDING TO MATCH EXISTING
9. NEW IMPACT RATED ALUMINUM WINDOWS
10. NEW IMPACT RATED ALUMINUM SLIDING DOOR
11. NEW IMPACT RATED SKYLIGHT



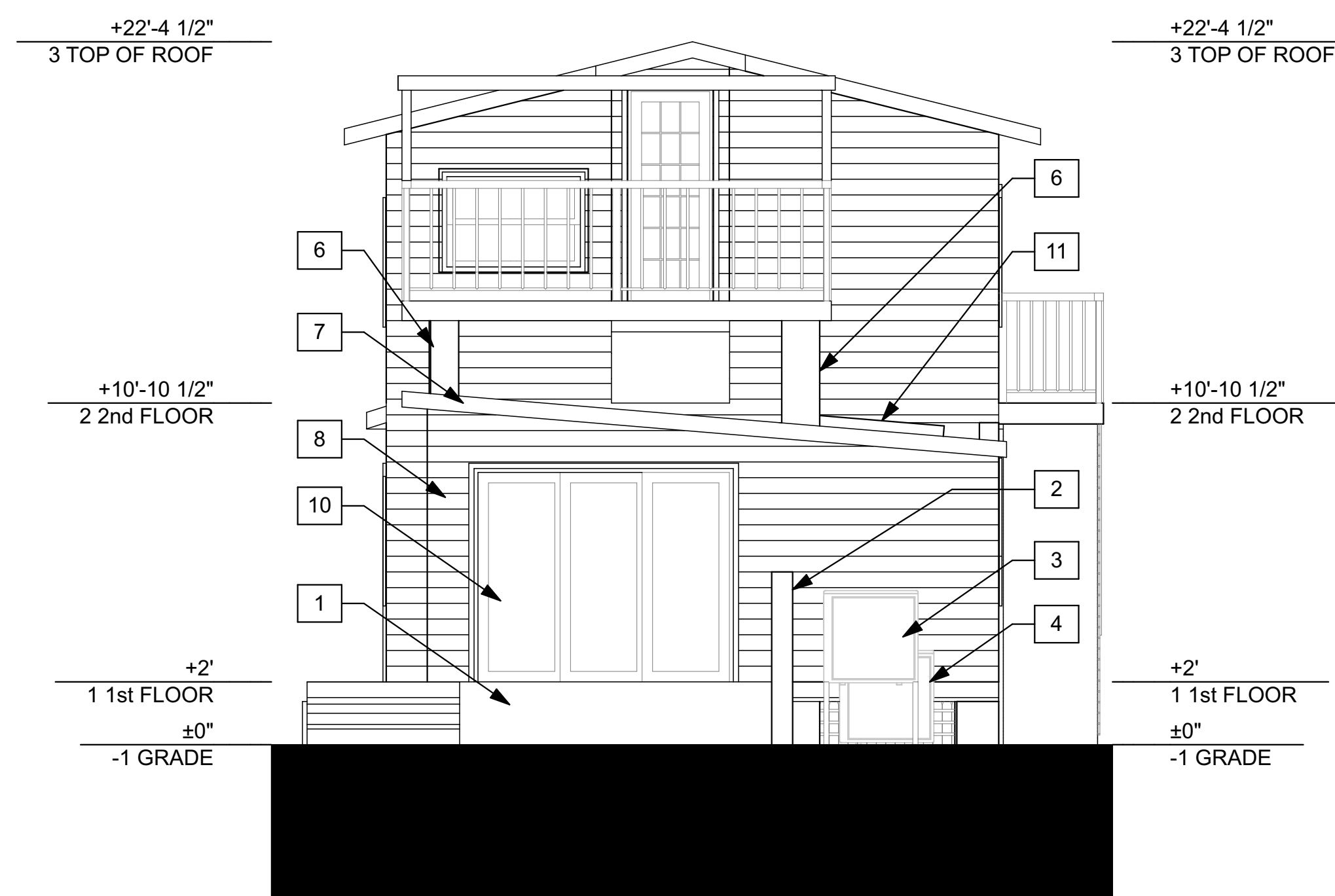
**1 NORTH ELEVATION - EXISTING**  
SCALE: 1/4" = 1'-0"



**2 NORTH ELEVATION - PROPOSED**  
SCALE: 1/4" = 1'-0"



**3 SOUTH ELEVATION EXISTING**  
SCALE: 1/4" = 1'-0"



**4 SOUTH ELEVATION - PROPOSED**  
SCALE: 1/4" = 1'-0"



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**NORTH &  
SOUTH  
ELEVATIONS**

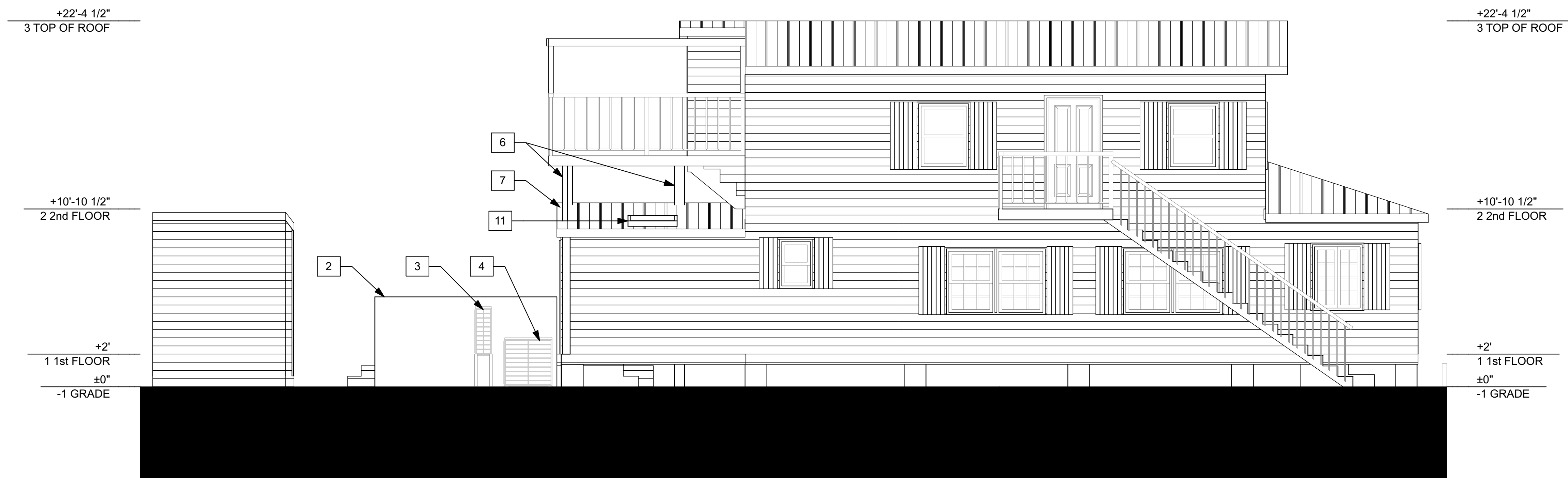
**A-301**

**ELEVATION NOTES:**

1. POOL, 24" ABOVE GRADE
2. POOL WALL TO SCREEN A/C CONDENSERS
3. NEW A/C CONDENSER, ELEVATED OFF OF GROUND
4. EXISTING A/C UNIT TO REMAIN
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6. REPLACE ROOF DECK TELEPHONE COLUMNS WITH NEW 8X8 OR (2) 4X8 COLUMNS
7. STANDING SEAM METAL ROOF
8. NOVELTY SIDING TO MATCH EXISTING
9. NEW IMPACT RATED ALUMINUM WINDOWS
10. NEW IMPACT RATED ALUMINUM SLIDING DOOR
11. NEW IMPACT RATED SKYLIGHT



**1 EAST ELEVATION - EXISTING**  
SCALE: 1/4" = 1'-0"



**2 EAST ELEVATION - PROPOSED**  
SCALE: 1/4" = 1'-0"



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**EAST ELEVATIONS**

A-302

**ELEVATION NOTES:**

1. POOL, 24" ABOVE GRADE
2. POOL WALL TO SCREEN A/C CONDENSERS
3. NEW A/C CONDENSER, ELEVATED OFF OF GROUND
4. EXISTING A/C UNIT TO REMAIN
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**1 WEST ELEVATION EXISTING**  
 SCALE: 1/4" = 1'-0"



**2 WEST ELEVATION PROPOSED**  
 SCALE: 1/4" = 1'-0"

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**WEST ELEVATIONS**

A-303



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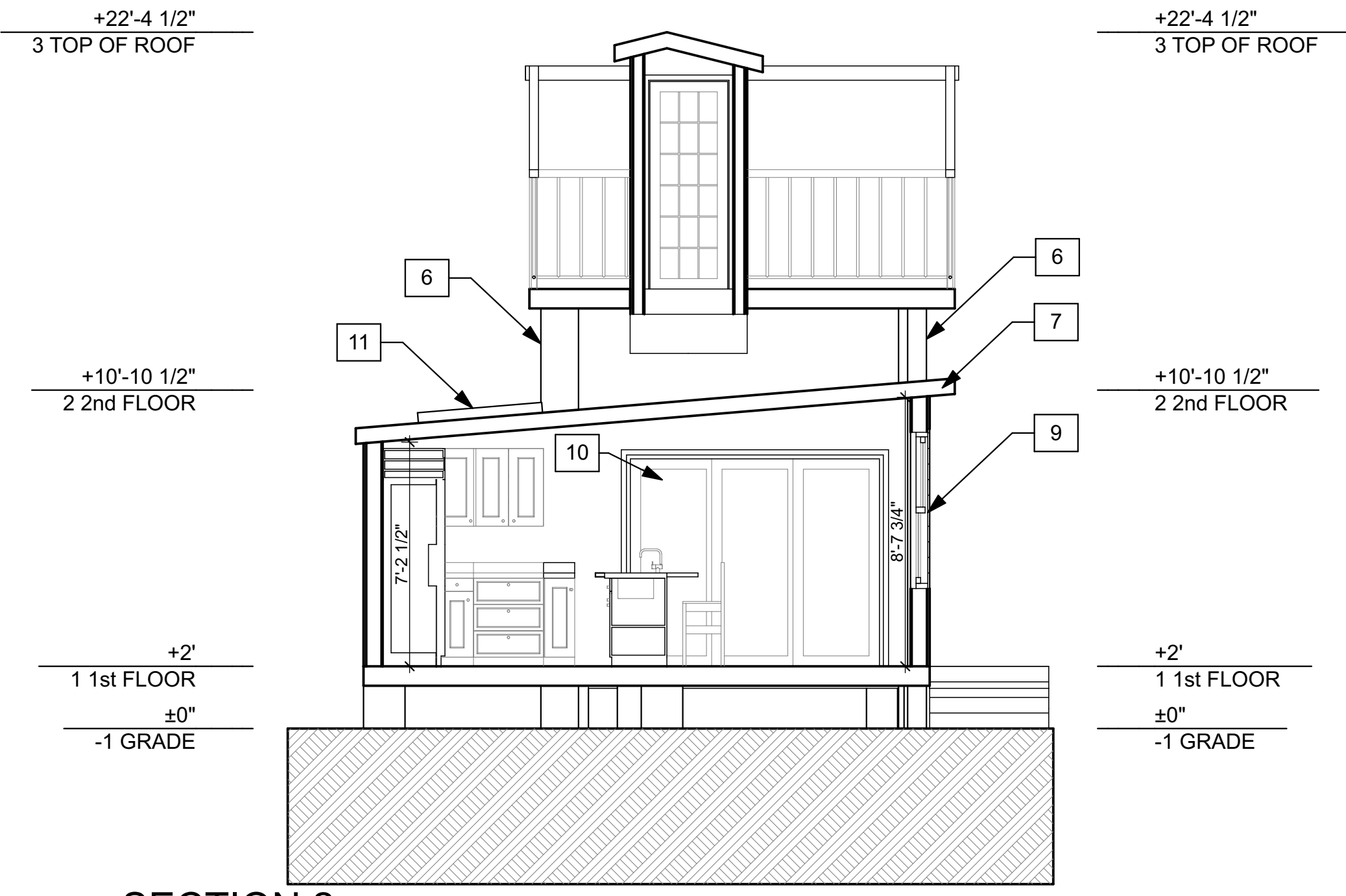
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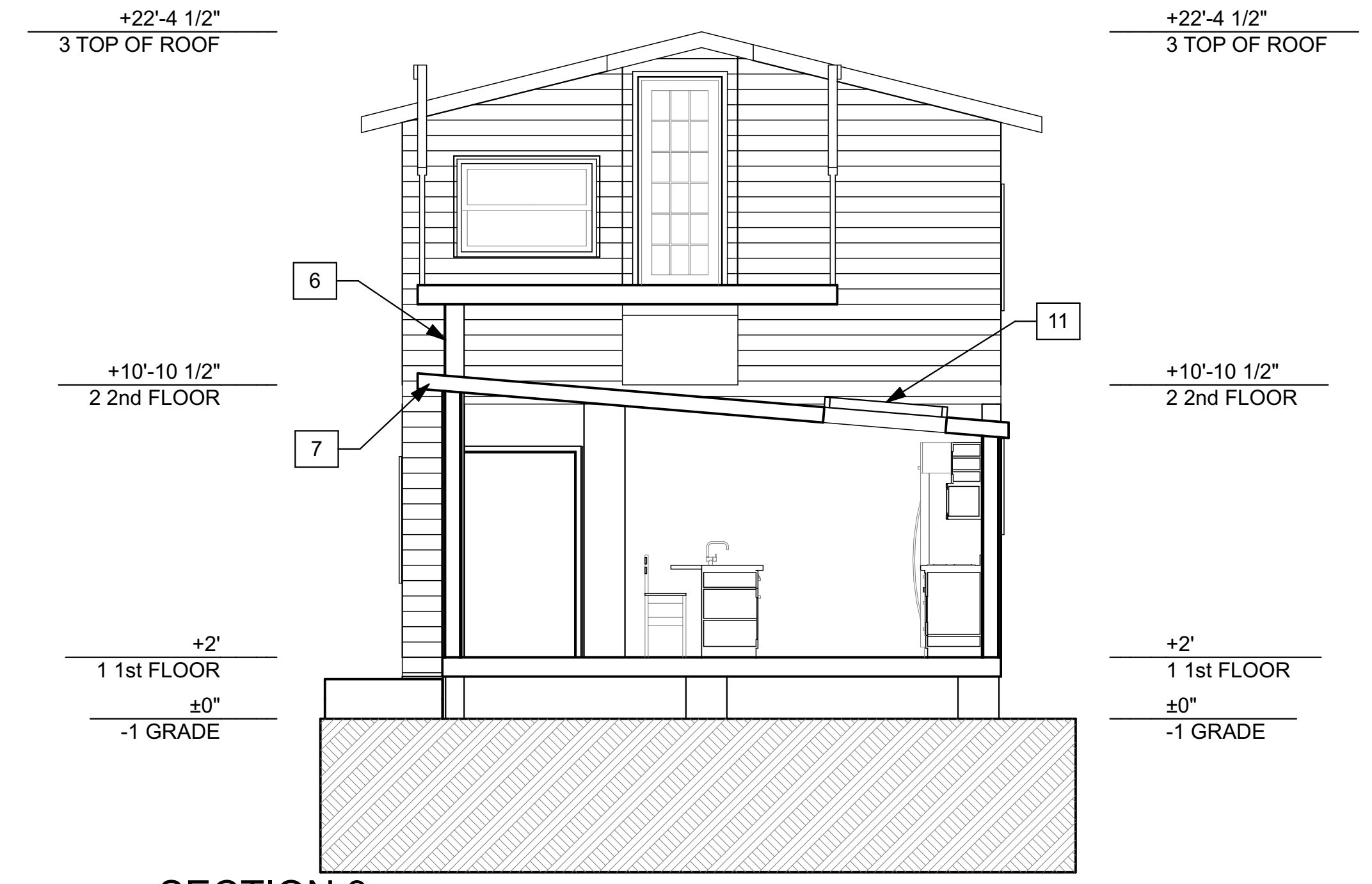
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**2 SECTION 2**  
 SCALE: 1/4" = 1'-0"



**3 SECTION 3**  
 SCALE: 1/4" = 1'-0"

**SECTION NOTES:**

1. POOL, 24" ABOVE GRADE
2. POOL WALL TO SCREEN A/C CONDENSERS
3. NEW A/C CONDENSER, ELEVATED OFF OF GROUND
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11. NEW IMPACT RATED SKYLIGHT



**1 SECTION 1**  
 SCALE: 1/4" = 1'-0"

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**SECTIONS**