

**THE CITY OF KEY WEST
PLANNING BOARD
Staff Report**



To: Chairman and Planning Board Members

From: Kevin Bond, AICP, LEED Green Associate, Planner II

Through: Donald Leland Craig, AICP, Planning Director

Meeting Date: January 16, 2014

Agenda Item: **Variance – 313 Duval Street (AK # 1004472, RE # 00004300-000000)** – A request for a variance to the minimum off-street parking requirements in order to convert an existing retail area to a new bar service area and increase the consumption area by seven seats for an existing restaurant on property located within the Historic Residential Commercial Core – Duval Street Gulfside (HRCC-1) Zoning District pursuant to Section 108-572 of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida

Request: To consider a parking variance for three (3) vehicular parking spaces to allow for the conversion of an existing retail area to a new bar service area and increase the consumption area by seven (7) seats for an existing restaurant.

Applicant: Rich Sconyers, Hard Rock International

Property Owner: Conch Shell Properties, Inc.

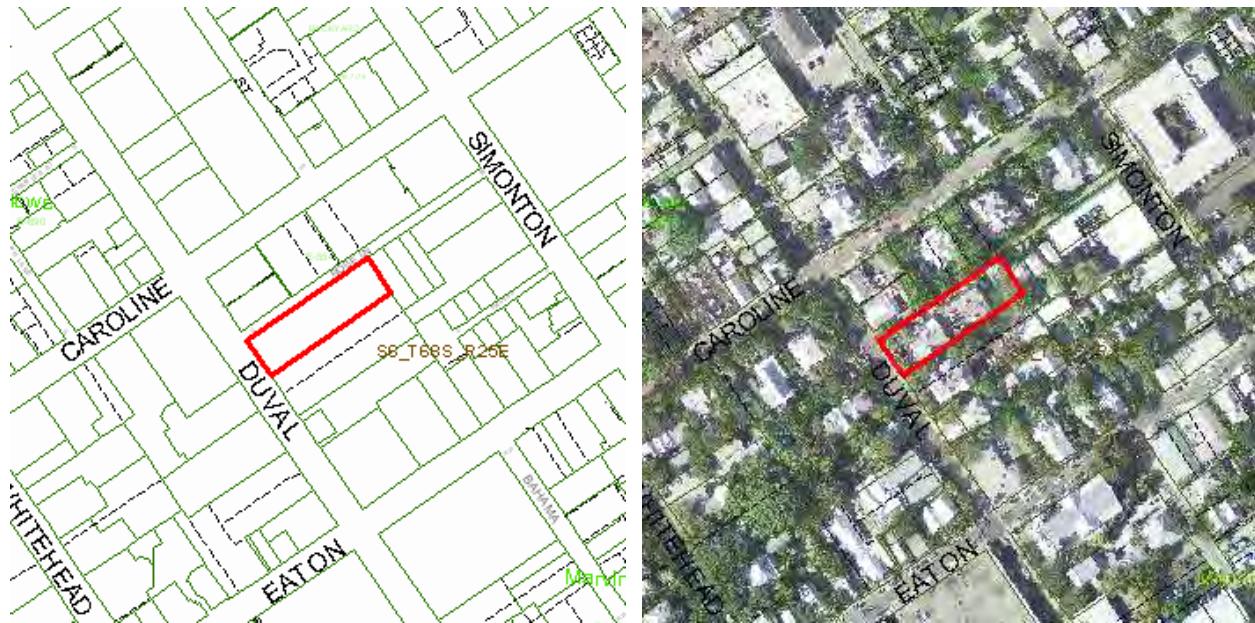
Location: 313 Duval Street (RE# 00004300-000000; AK # 1004472)

Zoning: Historic Residential Commercial Core – Duval Street Gulfside (HRCC-1)

Background:

The property is currently used as a 192-seat restaurant by Hard Rock Café and includes a small outbuilding used for retail souvenir sales, which is located near the corner of Duval Street and Rose Lane. The applicant wishes to convert 140 square feet of the existing 420-square-foot retail building to a new bar service area. The remaining 280 square feet would continue as retail souvenir sales. As part of the proposed development, four (4) existing restaurant seats would be replaced with 11 new bar seats, for a net increase of seven (7) restaurant/bar seats. Due to the increase in restaurant consumption area, the minimum off-street parking requirement increases by three (3) vehicular parking spaces and one (1) bicycle parking space. The property is fully-

developed and there is not adequate land area for any additional off-street vehicular parking spaces.



The property is located within the historic commercial pedestrian-oriented area. Pursuant to Section 108-573 of the Land Development Regulations (LDRs) of the Code of Ordinances (the "Code") of the City of Key West, Florida (the "City"), no additional off-street parking is required within the historic commercial pedestrian-oriented area if a commercial structure is the subject of a change from one type of commercial use to another type of commercial use, so long as no additional or expanded floor area is created. In this case, the proposed development would result an expansion of the restaurant consumption area by seven (7) seats. The City uses a standard of 15 square feet per seat, which results in an increase in consumption area of 105 square feet. At 105 square feet of expanded area, the total variance needed is for three (3) vehicular parking spaces.

The property currently provides 13 off-street vehicular parking spaces and racks for up to 18 off-street bicycle parking spaces. There are no existing ADA-compliant accessible parking spaces. Signs are posted reserving three parking spaces for managers and one parking space for employee of the month. See the attached parking diagram and photos of the existing off-street parking area.

It should be noted that on November 19, 2013, the Key West City Commission passed an ordinance invoking the Zoning in Progress ("ZIP") doctrine for parking variances, which defers the acceptance and processing of new applications for up to one year. A complete application for the subject request was submitted to the City on September 3, 2013 and is not subject to the ZIP.

Request:

The applicant's request is for a variance to the three (3) additional vehicular parking spaces to allow for the proposed development, which results in the addition of seven (7) new seats (or 105

new square feet) to the existing restaurant consumption area. The following table summarizes the City Code requirements and the applicant's variance request.

Parking Uses	Code Requirement	Existing	Proposed	Variance Request
Restaurants, bars and lounges (vehicular)	1 vehicular space per 45 square feet of serving and/or consumption area	192 seats x 15 SF per seat = 2,880 SF consumption area; 2,880 SF / 45 SF = 64 spaces	7 seats x 15 SF per seat = 105 SF consumption area; 105 SF / 45 SF = 2.33 spaces	3 vehicular spaces (2.3 spaces, rounded up)
Restaurants, bars and lounges (bicycles)	25% of vehicular spaces for bicycles	64 vehicular spaces x 0.25 = 16 bicycle spaces	2.33 vehicular spaces x 0.25 = 1 bicycle space (0.58 rounded up)	N/A. 18 existing bicycle spaces provided.

Process:

Development Review Committee Meeting: September 26, 2013
Planning Board Meetings: December 19, 2013 (cancelled, no quorum)
January 16, 2014

Analysis – Evaluation for Compliance With The Land Development Regulations:

The standards for considering variances are set forth in Section 90-395(a) of the City LDRs. Before any variance may be granted, the Planning Board must find all of the following:

(1) Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

The land, structures and buildings involved are located on the property within the HRCC-1 Zoning District, and were developed prior to the adoption of the current land development regulations (LDRs). However, most other land, structures and buildings within the HRCC-1 Zoning District were also developed prior to the adoption of the current LDRs. Therefore, there are no special conditions or circumstances that exist peculiar to the land, structures or buildings involved.

(2) Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

Many of the existing conditions and circumstances do not result from the action or negligence of the applicant. However, the proposed development, which would increase the restaurant consumption area by seven (7) seats and 105 square feet, does result from the action of the applicant. As an alternative to seeking a variance, the applicant could convert the retail space to bar space without increasing the number of restaurant/bar seats, which would not increase the parking requirement within the historic commercial pedestrian-oriented area.

(3) Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the Land Development Regulations to other lands, buildings or structures in the same zoning district.

Given the existing site conditions and prior development of the property, it would be difficult for the applicant to bring the parking deficiency into full conformity with the LDRs, as is required by Code Section 108-575(5). Unlike some other properties in the same zoning district, the subject property does provide 13 vehicular and 18 bicycle parking spaces. That being said, the applicant could propose the development in a way that would not increase the parking requirement above that for the current uses of the property by not adding new restaurant/bar seating.

(4) Hardship conditions exist. That literal interpretation of the provisions of the Land Development Regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

The applicant currently enjoys the use of the property as a restaurant with an indoor bar, which is a common permitted use within the HRCC-1 Zoning District. Denial of the requested variance would not deprive the applicant of rights commonly enjoyed by other properties in the same zoning district.

(5) Only minimum variance granted. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.

The proposed development could be designed in a way so as to not increase the parking requirement and thus the variance request, by maintaining the current number of restaurant seats. Furthermore, the applicant currently has reasonable use of the land, building and structures prior to the proposed development.

(6) Not injurious to the public welfare. That the granting of the variance will be in harmony with the general intent and purpose of the Land Development Regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

Due to not being in compliance with all of the other standards for considering variances, the granting of the requested variance to off-street parking spaces would not be in compliance with this standard.

(7) Existing nonconforming uses of other property not the basis for approval. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

The existing nonconforming uses of other property are not the basis for approval. No nonconforming use of neighboring lands, structures, or buildings in the HRCC-1 Zoning District, and no permitted use of lands, structures, or buildings in other zoning districts are considered grounds for the issuance of a variance.

Pursuant to Code Section 90-395(b), the Planning Board shall make factual findings regarding the following:

(1) That the standards established by Code Section 90-395 have been met by the applicant for a variance.

The standards for the granting of variances established by Code Section 90-395 have not all been met by the applicant.

(2) That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.

As of the writing of this report, public notices were not yet required. Staff is not aware of any objections at this time.

RECOMMENDATION:

Based on the above analysis of the standards for considering variances established by the Comprehensive Plan and the Land Development Regulations, the Planning Department recommends the requested variances be **DENIED**.

However, if the Planning Board approves the requested variance, the Planning Department recommends the following conditions:

Conditions required to be completed prior to the issuance of a building permit:

1. The owner shall obtain a Certificate of Appropriateness for the proposed development.

Conditions required to be completed prior to a Certificate of Occupancy and/or final inspection:

2. One existing off-street parking space shall be adapted to provide one ADA-compliant accessible parking space with an access aisle in a location and design to the satisfaction of the city building official.

Draft Resolution

**PLANNING BOARD
RESOLUTION NO.**

**A RESOLUTION OF THE CITY OF KEY WEST PLANNING BOARD
GRANTING A VARIANCE TO THE MINIMUM OFF-STREET PARKING
REQUIREMENTS IN ORDER TO INCREASE THE RESTAURANT/BAR
CONSUMPTION AREA BY SEVEN (7) SEATS ON PROPERTY LOCATED
AT 313 DUVAL STREET (RE # 00004300-000000; AK # 1004472) WITHIN
THE HISTORIC RESIDENTIAL COMMERCIAL CORE – DUVAL STREET
GULFSIDE (HRCC-1) ZONING DISTRICT PURSUANT TO SECTION 108-
572(9) OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF
ORDINANCES OF THE CITY OF KEY WEST, FLORIDA; PROVIDING
FOR AN EFFECTIVE DATE**

WHEREAS, the applicant proposes to convert an existing retail area to a new bar service area and increase the consumption area by seven (7) seats or 105 square feet for an existing restaurant (the “Proposed Development”) on property located at 313 Duval Street (RE # 00004300-000000; AK # 1004472) within the Historic Residential Commercial Core – Duval Street Gulfside (HRCC-1) Zoning District (the “Property”); and

WHEREAS, Section 108-572 of the Land Development Regulations (the “LDRs”) of the Code of Ordinances (the “Code”) of the City of Key West (the “City”) provides for the minimum off-street parking requirements for land-use types; and

WHEREAS, the Property is located within the historic commercial pedestrian-oriented area of the City pursuant to Section 108-573 of the LDRs; and

WHEREAS, Code Section 90-391 allows applicants to request variances to the Land Development Regulations through the Planning Board; and

WHEREAS, the applicant requests a variance to three (3) vehicular parking spaces generated

Page 1 of 5
Resolution Number

Chairman

Planning Director

by the Proposed Development; and

WHEREAS, this matter came before the Planning Board at a duly noticed public hearing on January 16, 2014; and

WHEREAS, the Planning Board finds that special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other land, structures or buildings in the same district; and

WHEREAS, the Planning Board finds that the special conditions do not result from the action or negligence of the applicant; and

WHEREAS, the Planning Board finds that granting the variances requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district; and

WHEREAS, the Planning Board finds that literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant; and

WHEREAS, the Planning Board finds that the variances granted are the minimum variances that will make possible the reasonable use of the land, building or structure; and

WHEREAS, the Planning Board finds that the granting of the variances will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare; and

WHEREAS, the Planning Board finds that no nonconforming use of neighboring lands,

structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts are grounds for the issuance of the requested variances; and

WHEREAS, the Planning Board finds that the applicant has demonstrated a “good neighbor policy” by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.

NOW, THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. An approval by Resolution of the Key West Planning Board for a variance to three (3) vehicular parking spaces generated by the Proposed Development according to the attached plans dated August 30, 2014 by Morris Architects, on property located at 313 Duval Street (RE # 00004300-000000; AK # 1004472) in the HRCC-1 Zoning District pursuant to Code Section 108-572(9) with the following conditions of approval:

Conditions required to be completed prior to the issuance of a building permit:

1. The owner shall obtain a Certificate of Appropriateness for the proposed development.

Conditions required to be completed prior to a Certificate of Occupancy and/or final inspection:

2. One existing off-street parking space shall be adapted to provide one ADA-compliant accessible parking space with an access aisle in a location and design to the satisfaction of the city building official.

Section 3. It is a condition of these variances that full, complete and final application for all conditions of this approval for any use and occupancy for which these variances are wholly or partly necessary, shall be submitted in their entirety within two years after the date hereof; and further, that no application shall be made after expiration of the two-year period without the applicant obtaining an extension from the Planning Board and demonstrating that no change of circumstances to the property or its underlying zoning has occurred.

Section 4. The failure to fully and completely apply the conditions of approval for permits for use and occupancy pursuant to these variances in accordance with the terms of the approval as described in Section 3 hereof, shall immediately operate to terminate these variances, which variances shall be of no force or effect.

Section 5. These variances do not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

Section 6. This Resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Section 7. This Resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of

Economic Opportunity. Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period, the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this ____ day of _____, 2014.

Authenticated by the Chairman of the Planning Board and the Planning Director;

Richard Klitenick, Planning Board Chairman

Date

Attest:

Donald Leland Craig, AICP, Planning Director

Date

Filed with the Clerk:

Cheryl Smith, City Clerk

Date

Application

Variance Application
City of Key West Planning Department
3140 Flagler Avenue, Key West, FL 33040
(305) 809-3720



Variance Application

Please completely fill out this application and attach all necessary documents. This will help our staff to process your request quickly and obtain necessary information without delay. If you have any questions please call 305-809-3720 to schedule an appointment with a Planner.

Please print or type a response to the following:

1. Site Address 313 DUVAL ST
2. Name of Applicant BICK SCONYERS, HARD ROCK CAFE
3. Applicant is: Owner _____ Authorized Representative X
4. Address of Applicant 6100 100 PARK LANE
ORLANDO, FL 32835
5. Phone # of Applicant 407-445-7625 Mobile# 407-810-8477
6. E-Mail Address BICK-SCONYERS@HARDROCK.COM
7. Name of Owner, if different than above FOUAD SAMAHNA, CONOR SHAW PROPS
8. Address of Owner 905 VON MISTER ST.
9. Phone # of Owner _____
10. Email Address _____
11. Zoning District of Parcel _____ RE# _____
12. Description of Proposed Construction, Development, and Use
CONVERTING 108 SQFT OF EXISTING RETAIL AREA
TO BAR SERVICE AREA. NO ADDITIONAL AREA
IS BEING ADDED.
13. List and describe the specific variance(s) being requested:
NO ADDITIONAL PARKING SPACES ARE BEING
ADDED.

Variance Application
City of Key West Planning Department
3140 Flagler Avenue, Key West, FL 33040
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14. Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning				
Flood Zone				
Size of Site				
Height				
Front Setback				
Side Setback				
Side Setback				
Street Side Setback				
Rear Setback				
F.A.R				
Building Coverage				
Impervious Surface				
Parking				
Handicap Parking				
Bicycle Parking				
Open Space/ Landscaping				
Number and type of units				
Consumption Area or Number of seats				

15. Is Subject Property located within the Historic District? Yes No
 If Yes, attach HARC approval and approved site plans

Meeting Date _____ HARC Approval # _____

Variance Application
City of Key West Planning Department
3140 Flagler Avenue, Key West, FL 33040
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16. Are there any easements, deed restrictions or other encumbrances attached to the subject property? Yes No If Yes, please describe and attach relevant documents

17. Will the work be within the dripline (canopy) of any tree on or off the property?

YES NO

If yes, provide date of landscape approval, and attach a copy of such approval.

This application is pursuant to Section 106-51 & 52 City of Key West Land Development Regulations.

If the applicant would like additional information, electronic version of the City's Code of Ordinances can be found either through www.keywestcity.com, Planning Department archives or at www.municode.com. Once there, search Online Library/Florida/Key West/ Chapter 122.

***Please note, variance approvals are quasi-judicial hearings, and it is improper for the owner or signatory to speak to a Planning Board member or City Commissioner about the hearing.**

Variance Application
City of Key West Planning Department
3140 Flagler Avenue, Key West, FL 33040
(305) 809-3720



Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

Variance Application
City of Key West Planning Department
3140 Flagler Avenue, Key West, FL 33040
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4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

WE ARE NOT ADDING ANY ADDITIONAL AREA TO THE EXISTING PROPERTY AND THERE IS NO OTHER AREA AVAILABLE TO ADD ADDITIONAL PARKING SPACE.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

Variance Application
City of Key West Planning Department
3140 Flagler Avenue, Key West, FL 33040
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7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in subsection (a) have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

Verification

**City of Key West
Planning Department**



Verification Form
(Where Authorized Representative is an entity)

I, Fouad Samova, in my capacity as President
(print name) (print position; president, managing member)
of Couch Shell Properties, Inc.
(print name of entity serving as Authorized Representative)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

313 Duval St. Key West, FL 33040
Street Address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Fouad Samova
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 23rd of Sept. 2013 by

Fouad Samova
Name of Authorized Representative

He/She is personally known to me or has presented _____ as identification.

Patricia Ali Neyra
Notary's Signature and Seal
Notary Public State of Florida
Patricia Ali Neyra
My Commission EE082351
Expires 04/10/2015
Name of Acknowledger typed, printed or stamped

EE082351

Commission Number, if any

Authorization

City of Key West
Planning Department



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Fouad Samaha as
Please Print Name of person with authority to execute documents on behalf of entity

PRESIDENT of CONCH SHELL PROPERTY, INC.
Name of office (President, Managing Member) Name of owner from deed

authorize Brian Sonnyers, Hard Rock INT.
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

Fouad Samaha
Signature of person with authority to execute documents on behalf on entity owner

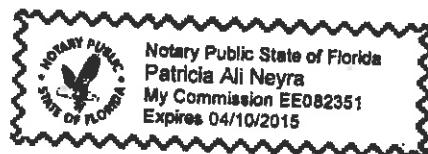
Subscribed and sworn to (or affirmed) before me on this 26 AUG. 2013 by
date

Fouad Samaha
Name of Authorized Representative

He/She is personally known to me or has presented DRIVERS LICENSE as identification.

Patricia Ali Neyra
Notary's Signature and Seal

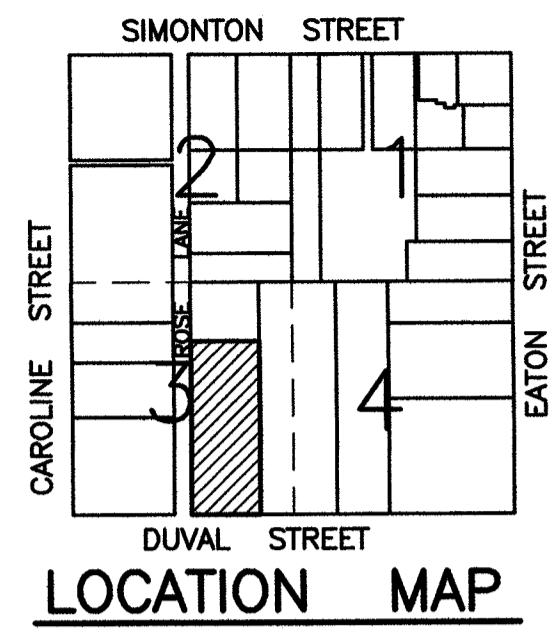
Patricia Ali NEYRA
Name of Acknowledger typed, printed or stamped



EE082351
Commission Number, if any

Deed

Survey



LEGAL DESCRIPTION:
In the City of Key West and being known according to William A. Whitehead's Map of said City of Key West, delineated in February 1829, as all that part of Square 24: Commencing at the corner of Duval Street and Rose Lane and running thence along the line of Duval Street in a Southeasterly direction 71 feet; thence at right angles in a Northeasterly direction 242 feet; thence at right angles in a Northwesterly direction 71 feet to Rose Lane; thence along the line of Rose Lane in a Southwesterly direction 242 feet to the Point of Beginning. Said lands situate, lying and being in Monroe County, Florida.

SURVEYOR'S NOTES:

North arrow based on assumed median
3.4 denotes existing elevation
Elevations based on N.G.V.D. 1929 Datum
Bench Mark No.: Basic Elevation: 14.324

Parking
14 Spots

Monumentation:

• = set 1/2" Iron Pipe, P.L.S. No. 2749
● = Found 1/2" Iron Bar, P.L.S. No. 1587
▲ = Found P.K. Nail, P.L.S. No. 2749
△ = Set P.K. Nail, P.L.S. No. 2749

Abbreviations:

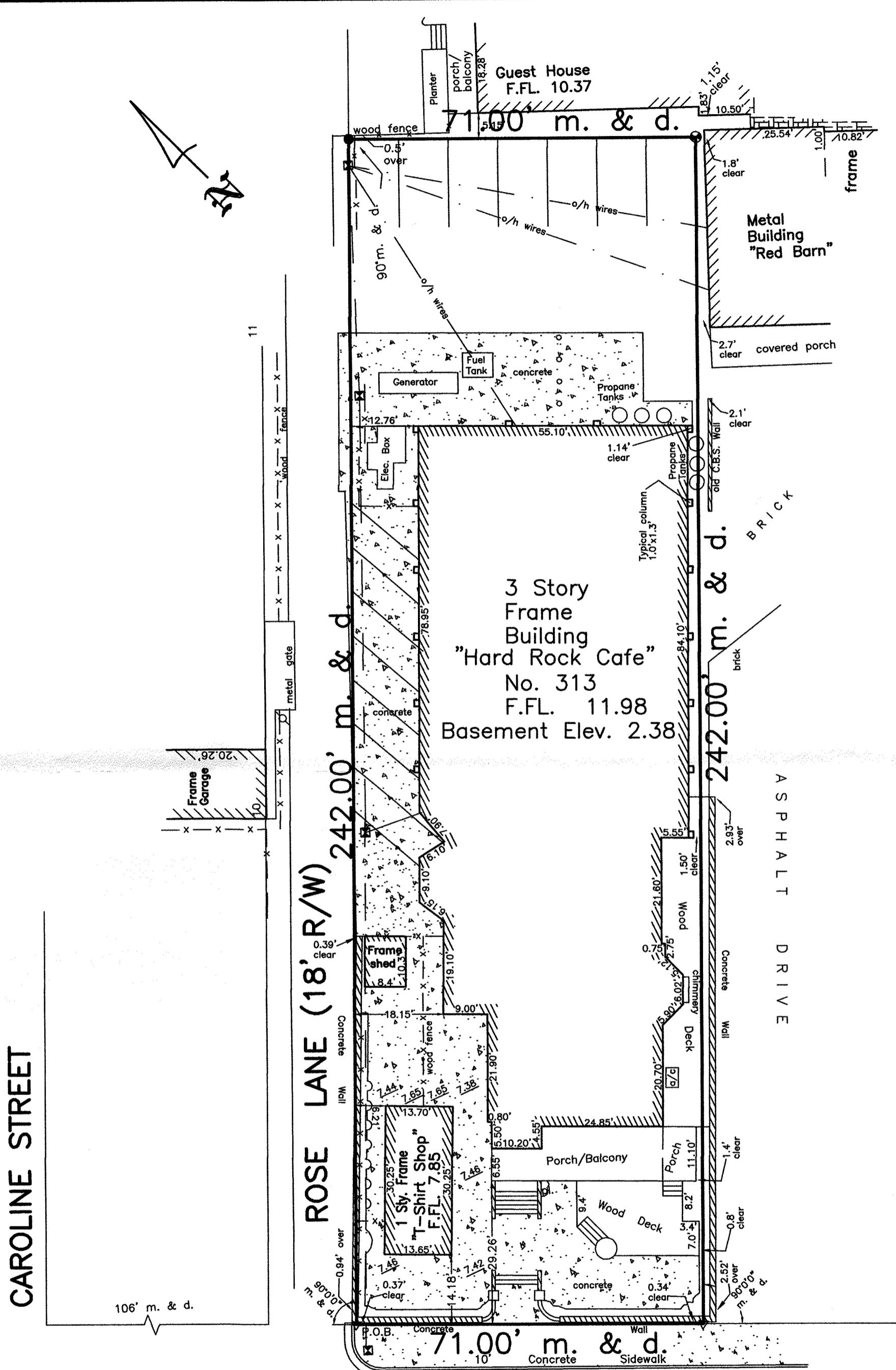
Sty. = Story	N.T.S. = Not to Scale
R/W = Right-of-Way	○ = Centerline
fd. = Found	Elev. = Elevation
p. = Plat	B.M. = Bench Mark
m. = Measured	conc. = concrete
o/h = Overhead	I.P. = Iron Pipe
wd. = Wood	I.B. = Iron Bar
A/C = Air Conditioner	F.FL. = Finish Floor Elevation

Field Work performed on: 8/27/13

CERTIFICATION:
I HEREBY CERTIFY that the attached **BOUNDARY SURVEY** is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 5J-17, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT
Professional Land Surveyor & Mapper No. 2749
Professional Engineer No. 36810
State of Florida

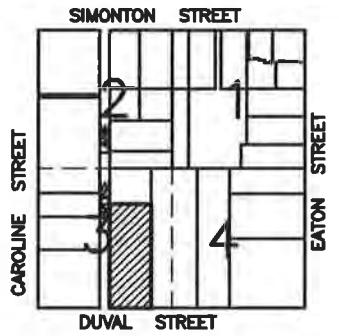
NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE



CAROLINE STREET

Hard Rock Cafe	
313 Duval Street, Key West, Florida 33040	
BOUNDARY SURVEY	
Scale: 1"=20'	Ref. 193-57
Date: 8/17/07	Flood panel No. 1516 K
File	Dwn. By: F.H.H.
	Flood Zone: AE
	Flood Elev. 6'
REVISIONS AND/OR ADDITIONS	
8/27/13: F.FL. T shirt shop, grades, parking	
f\dwg\kw\block 24\hard rock cafe	

Block 24
ISLAND SURVEYING INC.
ENGINEERS PLANNERS SURVEYORS
3152 Northside Drive
Suite 201
Key West, FL 33040
(305) 293-0466
Fax: (305) 293-0237
fhildeb1@bellsouth.net
L.B. No. 7700



LOCATION MAP

Square 24, City of Key West

LEGAL DESCRIPTION:
In the City of Key West and being known according to William A. Whitehead's Map of said City of Key West, delineated in February 1829, as all that part of Square 24: Commencing at the corner of Duval Street and Rose Lane and running thence along the line of Duval Street in a Southeasterly direction 71 feet; thence at right angles in a Northeasterly direction 242 feet; thence at right angles in a Northwesterly direction 71 feet to Rose Lane; thence along the line of Rose Lane in a Southwesterly direction 242 feet to the Point of Beginning. Said lands situate, lying and being in Monroe County, Florida.

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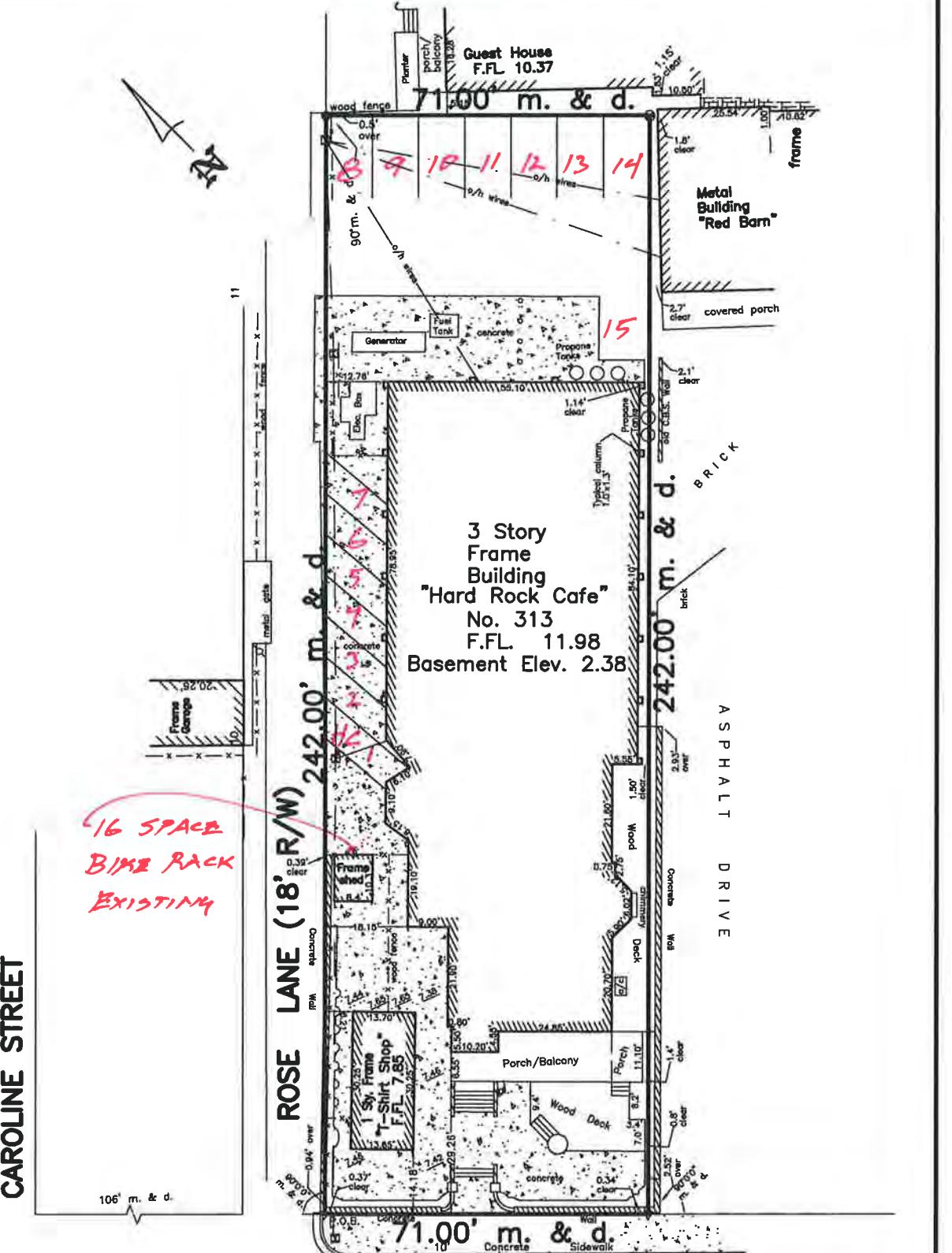
Monumentation:

• = set 1/2" Iron Pipe, P.L.S. No. 2749
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▲ = Found P.K. Nail, P.L.S. No. 2749
△ = Set P.K. Nail, P.L.S. No. 2749

Abbreviations:

Sty. = Story	N.T.S. = Not to Scale
R/W = Right-of-Way	○ = Centerline
fd. = Found	Elev. = Elevation
p. = Plat	B.M. = Bench Mark
m. = Measured	conc. = concrete
o/h = Overhead	I.P. = Iron Pipe
wd. = Wood	I.B. = Iron Bar
A/C = Air Conditioner	C.B.S. = Concrete Block Stucco
	cov'd. = Covered
	F.FL. = Finish Floor Elevation

Field Work performed on: 8/27/13



CAROLINE STREET

Hard Rock Cafe 313 Duval Street, Key West, Florida 33040		Own No.: 13-335
BOUNDARY SURVEY		
Scale: 1"=20'	Ref. 193-57	Flood panel No. 1516 K
Date: 8/17/07	file	Flood Zone: AE
Flood Elev. 5'		
REVISIONS AND/OR ADDITIONS		
8/27/13: F.FL T shirt shop, grades, parking		
A.dwg\kw\block 24\hard rock cafe		

ISLAND SURVEYING INC.

ENGINEERS PLANNERS SURVEYORS

3152 Northside Drive (305) 293-0466
Suite 201 (305) 293-0237
Key West, Fl. 33040 hildeb1@bellsouth.net
L.B. No. 7700

CERTIFICATION:

I HEREBY CERTIFY that the attached **BOUNDARY SURVEY** is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 5J-17, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT
Professional Land Surveyor & Mapper No. 2749
Professional Engineer No. 36810
State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE

PARKING

Block 24

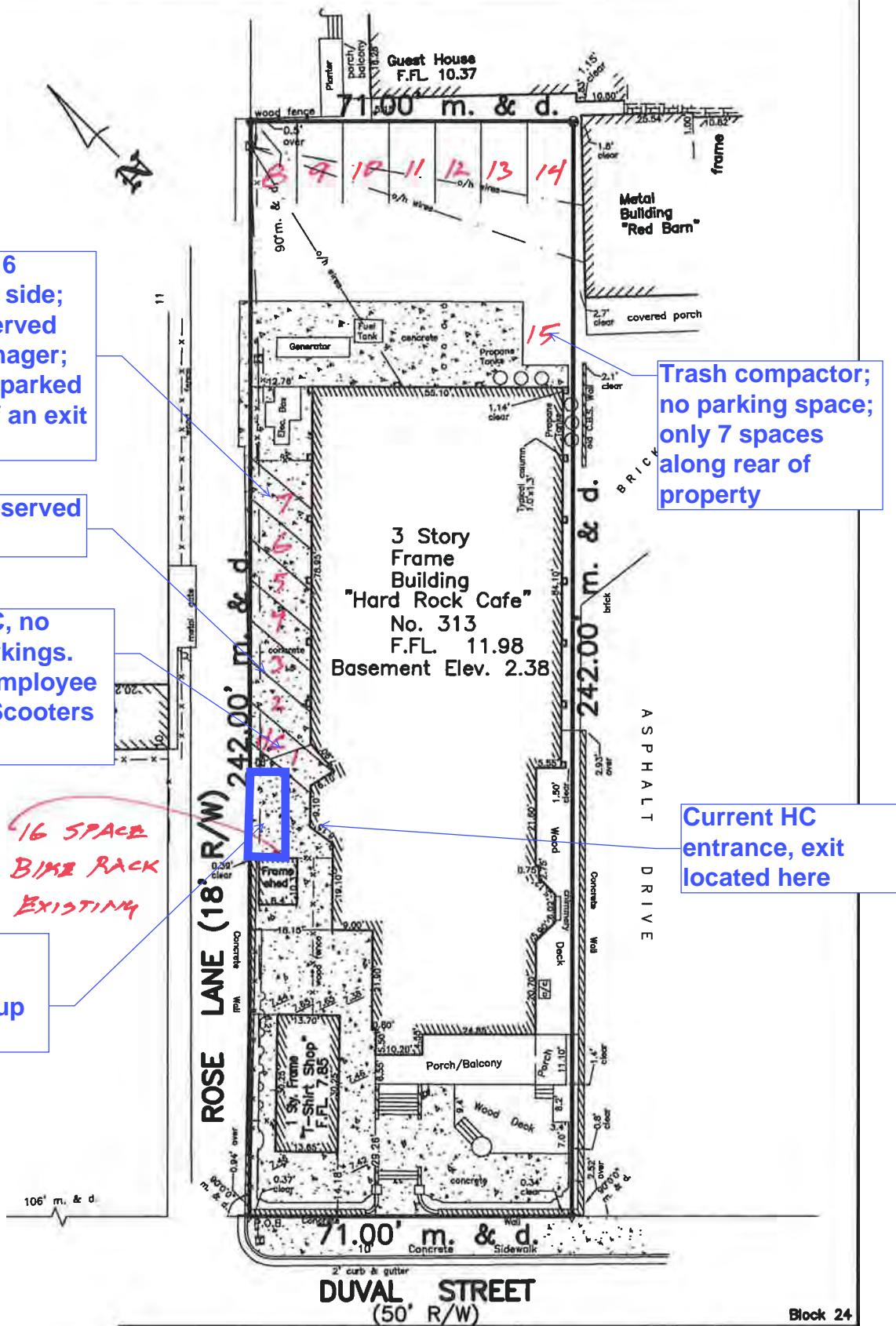
There are only 6 spaces on this side; last space reserved for district manager; scooters were parked here in front of an exit door

Spaces 2 & 3 reserved for managers

**Space 1 not HC, no
signage or markings.
Reserved for employee
of the month. Scooters
parked here.**

16 SPACE
BIKE RACK
EXISTING

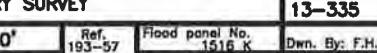
Racks located here and can accommodate up to 18 bicycles



ash compactor;
parking space;
ly 7 spaces
ong rear of
roperty

Current HC
entrance, exit
located here

Block 24

Hard Rock Cafe 313 Duval Street, Key West, Florida 33040				
BOUNDARY SURVEY			Dwn No.: 13-335	
Scale: 1"=20'	Ref. 193-57	Flood panel No. 1516 K	Dwn. By: F.H.H.	
Date: 8/17/07	Title	Flood Zone: AE	Flood Elev. 6'	
REVISIONS AND/OR ADDITIONS				
8/27/13: F.F.L. T shirt shop, grades, parking				
				

Site Plans



HARD ROCK CAFE - KEY WEST, FL

EXISTING FLOOR PLAN



FLOOR PLAN

SCALE: 1/8" = 1'-0"



ENLARGED FLOOR PLAN

SCALE: 1/4" = 1'-0"

HARD ROCK CAFE - RETAIL SHOP ALTERATIONS

KEY WEST, FLORIDA

□□□□□ □ A □□□□□□□

□□□□ □□□□□□□ □ □ A

ISSUE FOR PERMIT

30 AUGUST 2013

□□□ □□□ □□□□□

OWNER

HARD ROCK CAFE INTERNATIONAL
6100 OLD PARK LANE
ORLANDO, FLORIDA 32835
PHONE (407) 445 - 7625

ARCHITECT

MORRIS
ARCHITECTS

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FOOD SERVICE CONSULTANT

SSA
5701 PARK BLVD.
PINELLAS PARK, FLORIDA 33781
PHONE: (727) 549-8408

**HARD ROCK CAFE -
RETAIL SHOP ALTERATIONS
ISSUE FOR PERMIT**
30 AUGUST 2013

HARD ROCK CAFE
KEY WEST, FLORIDA
PERMIT PACKAGE

Morris Project Number
R301308.01

COVER

A-000

SYMBOLS	DESCRIPTION
PLAN NORTH 	NORTH ARROW
	ENLARGED DETAIL REFERENCE
	TITLE MARK
	BUILDING SECTION
	WALL SECTION
	SECTION DETAIL
	EXTERIOR ELEVATION
	INTERIOR ELEVATION
	DIMENSIONS
	MATCH LINE
	REVISION DELTA AND CLOUD
	VERTICAL ELEVATION ELEVATION NOTE
	PARTITION TYPE
	WINDOW TYPE
	DOOR IDENTIFICATION
	DOOR IDENTIFICATION IS DESIGNATED BY THE ROOM THE CIRCLE KEY IS IN.
	SHEET NOTE RE. NOTE LIST EACH SHEET
	KEYNOTE
	FINISH TAG

SHEET INDEX			
SHEET NO.	SHEET TITLE	REVISION	DATE ISSUED
GENERAL			
A-001	COVER SHEET		06/02/2013
A-001	DRAWING INDEX, ABBREVIATIONS, SYMBOLS & GENERAL NOTES		06/02/2013
A-010	SITE PLAN, LIFE SAFETY PLAN, & CODE SUMMARY		06/02/2013
ARCHITECTURAL			
A-101	FLOOR PLANS		06/02/2013
A-121	REFLECTED CEILING PLAN		06/02/2013
A-131	ROOF PLAN		06/02/2013
AK-001	EXTERIOR ELEVATIONS - DEMOLITION		06/02/2013
A-001	EXTERIOR ELEVATIONS		06/02/2013
A-001	BUILDING SECTION & DETAILS		06/02/2013
STRUCTURAL			
S-001	GENERAL NOTES		06/02/2013
S-101	PLANS & SECTIONS		06/02/2013
S-201	SECTIONS		06/02/2013
FOOD SERVICE			
FS-1.1	FOOD SERVICE EQUIPMENT PLAN AND SCHEDULE		06/02/2013
FS-2.1	FOOD SERVICE EQUIPMENT UTILITY ROUGH - INS		06/02/2013

GENERAL NOTES:

1. COORDINATE ALL IN-SLAB FLOOR SINKS & DRAINS WITH FOOD SERVICE DRAWINGS.
2. REFERENCE STRUCTURAL DRAWINGS & NOTES RE: FLOOR SLAB DEMOLITION REQUIREMENTS.
3. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS & REPORT ANY DISCREPANCIES TO OWNER & ARCHITECT.
4. ALL NEW WOOD SIDING, STANDING & ROLLING WOOD TRIM & WOOD DOORS TO BE PAINTED & STAINED TO MATCH EXISTING PAINT COLOR. DRAW DOWN SAMPLES TO BE PROVIDED TO OWNER FOR APPROVAL PRIOR TO PAINTING.

SHEET NOTES:

SYMBOLS:

Draw Description
08/30/13 ISSUE FOR PERMIT

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e-mail: info@morrarch.com AAC 001024 LC 000036

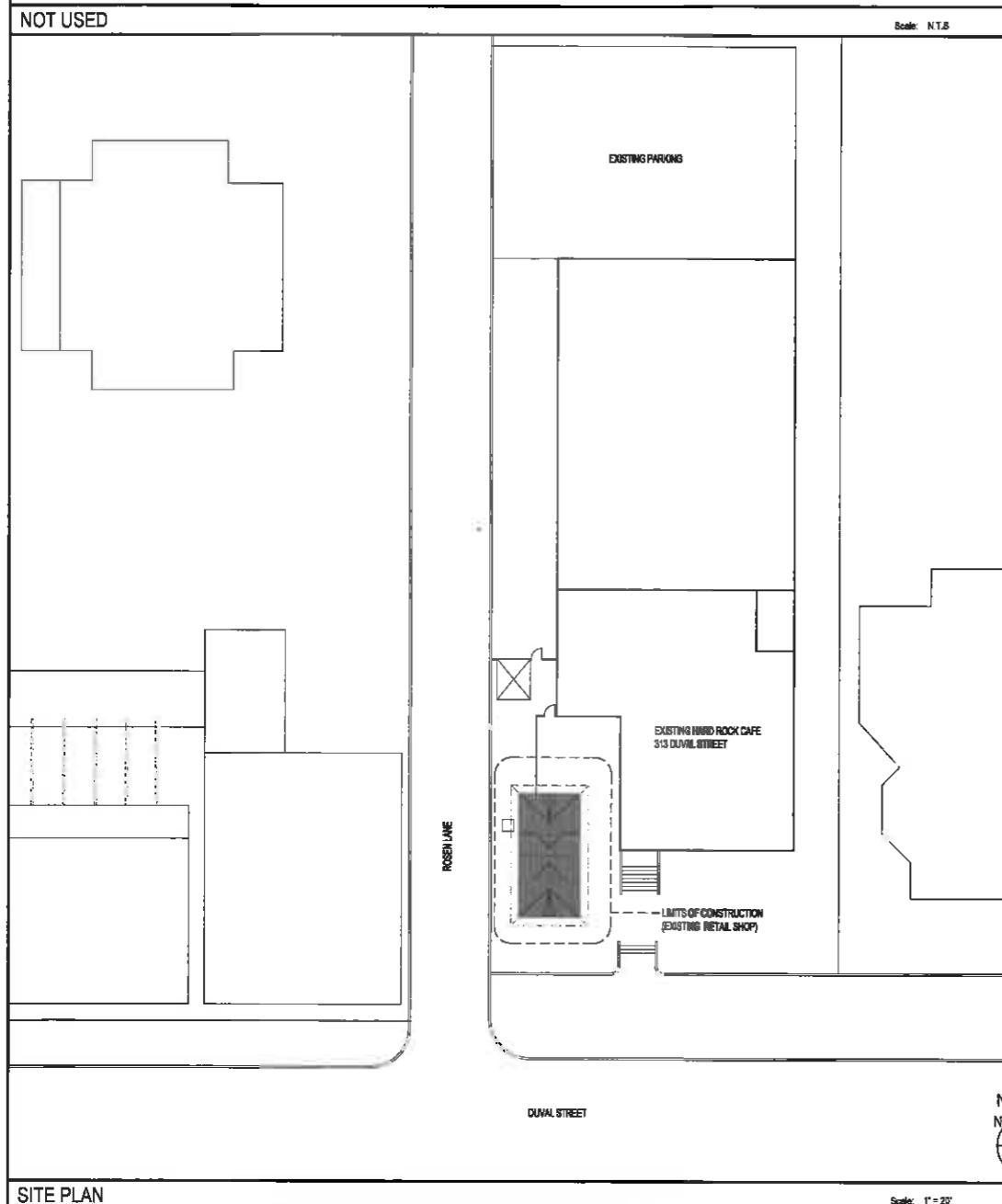
Paul J. Ford and Company
Architectural Engineer
Service Consultant

**HARD ROCK CAFE
TAIL SHOP ALTERATIONS
KEY WEST, FLORIDA**

Under
08.01

DRAWING INDEX, ABBREV,
SYMBOLS & GENERAL NOTES

Under
001

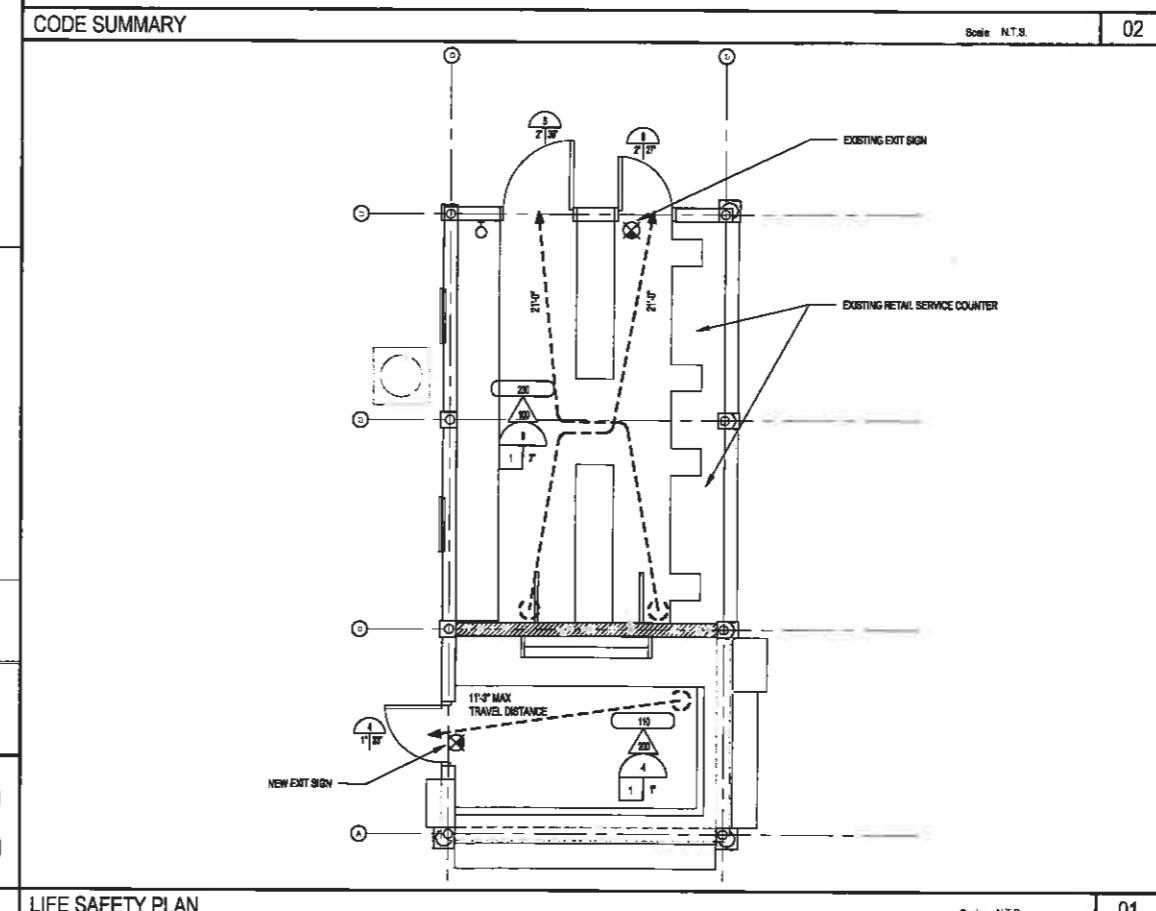


APPLICABLE CODES	
Building:	FLORIDA BUILDING CODE - EXISTING BLDG. IFPA 101 LIFE SAFETY CODE
Mechanical:	FLORIDA MECHANICAL CODE
Plumbing:	FLORIDA PLUMBING CODE
Gas:	FLORIDA FUEL GAS CODE
Electrical:	NATIONAL ELECTRIC CODE
Fire:	FLORIDA FIRE PREVENTION CODE
A.D.A.:	FLORIDA ACCESSIBILITY CODE

OCCUPANCY	
Occupancy(s) / Group Classification:	MERCANTILE (GROUP M), RETAIL AND DRINKING ESTABLISHMENT (FBC 306.1)
Total Gross Floor Area:	368 S.F. (EXISTING AREA, NO ADDED SQUARE FOOTAGE)
Bar Floor Area:	110 S.F. (280 S.F. GROSS PER PERSON)
Retail Floor Area:	230 S.F. (BUSINESS AREA = 100 S.F. GROSS PER PERSON)

CONSTRUCTION	
Type of Construction:	TYPE V-B Protected or Unprotected: UNPROTECTED
Sprinklered or Non-sprinklered:	NON-SPRINKLERED
Max Building Height:	40 FT
Max. No. of Stories:	1 (TABLE 503)
Max. Floor Area:	6,000 S.F. (TABLE 503)

FIRE PROTECTION	
FIRE PROTECTION REQUIREMENTS: (TABLE 601)	
Interior Bearing:	NR
Columns:	NR
Floor Assembly:	NR
Exterior Non-Bearing Wall(s) Rating / % Permitted Openings:	
North:	NR / NL %
South:	NR / NL %
West:	NR / NL %
East:	NR / NL %
(FBC 803.1) Flame spread Classification	
A (0-25) / B (26-75) / C (76-200)	
MINIMUM INTERIOR FINISH CLASS: (TABLE 803.5)	
Vertical/Horiz. Exits: A	corridors: B
Area/Room: C	Floor: FBC 804
EXITS	
Minimum Number of Exits:	1
Maximum Travel Distance:	150 FT (TABLE 1016.1)
Maximum Dead End Hall:	20 FT (805.5)
Min. Corridor Width:	44" MIN (1017.2)

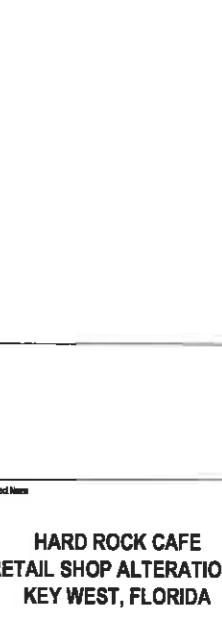


GENERAL NOTES:	
Issue	
No.	Date
08/30/13	Descrip
ISSUE FOR PERMIT	
1. COORDINATE ALL IN SLAB FLOOR SINKS & DRAINS WITH FOOD SERVICE DRAWINGS	
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SHEET NOTES:	

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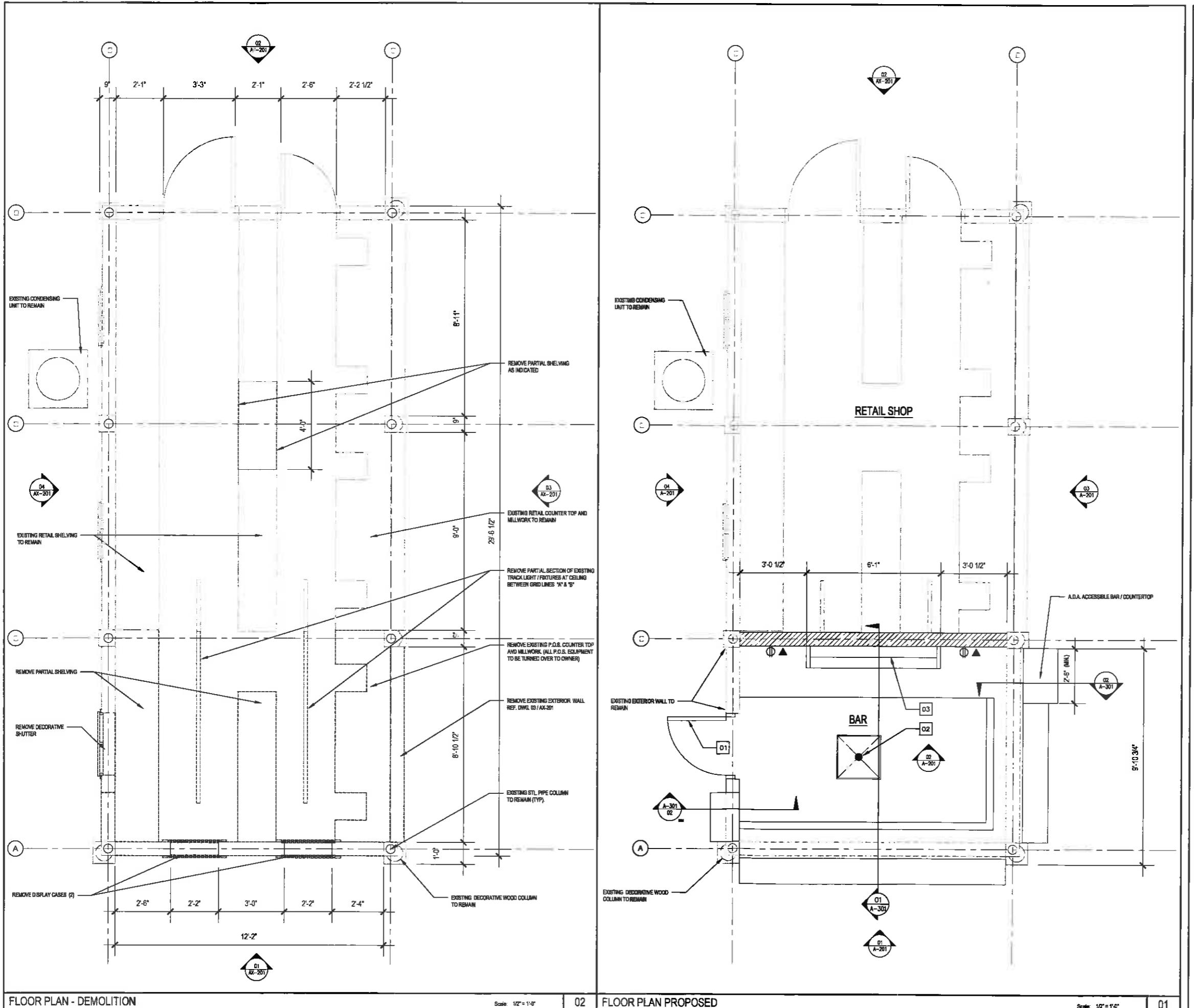


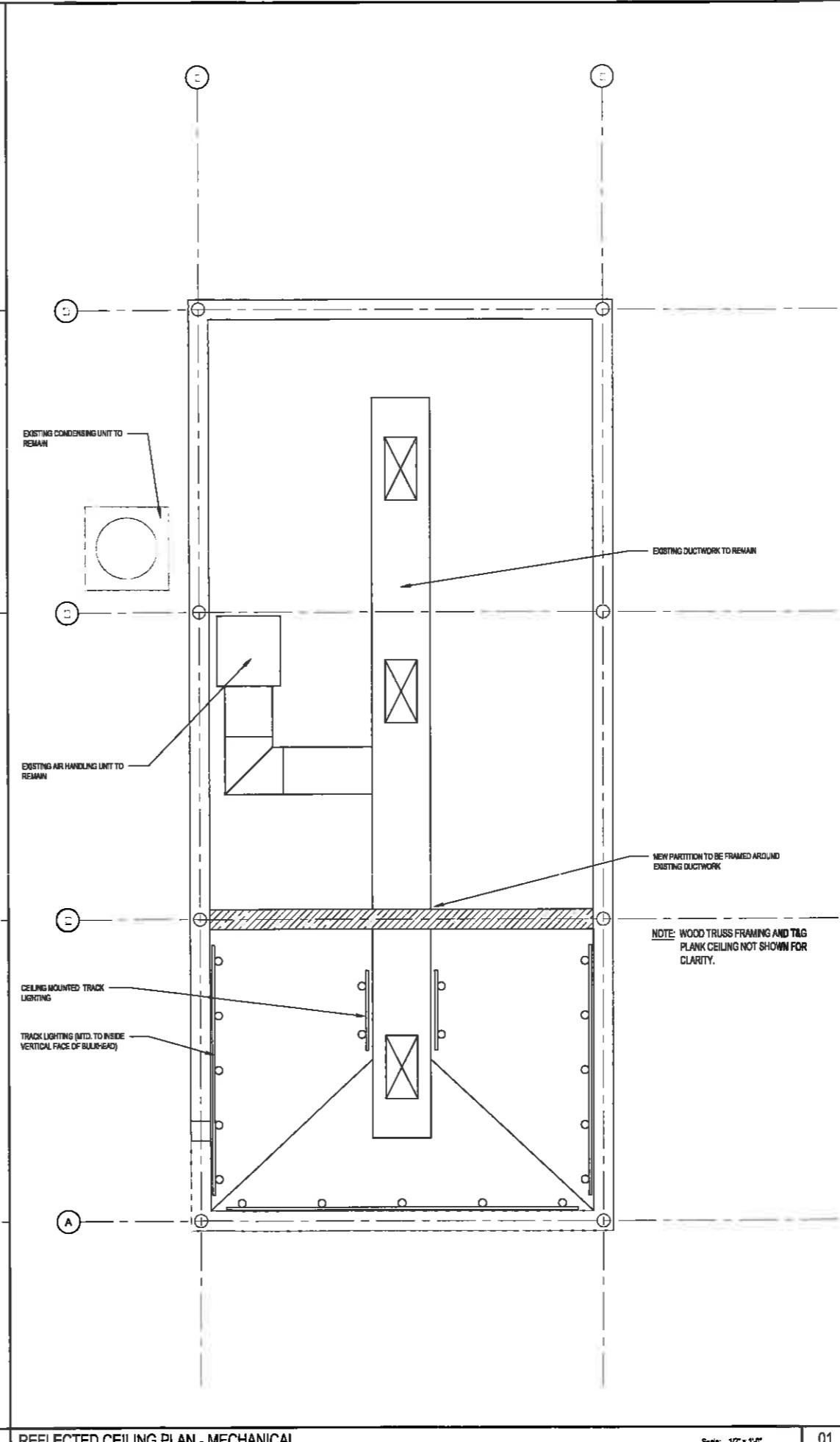
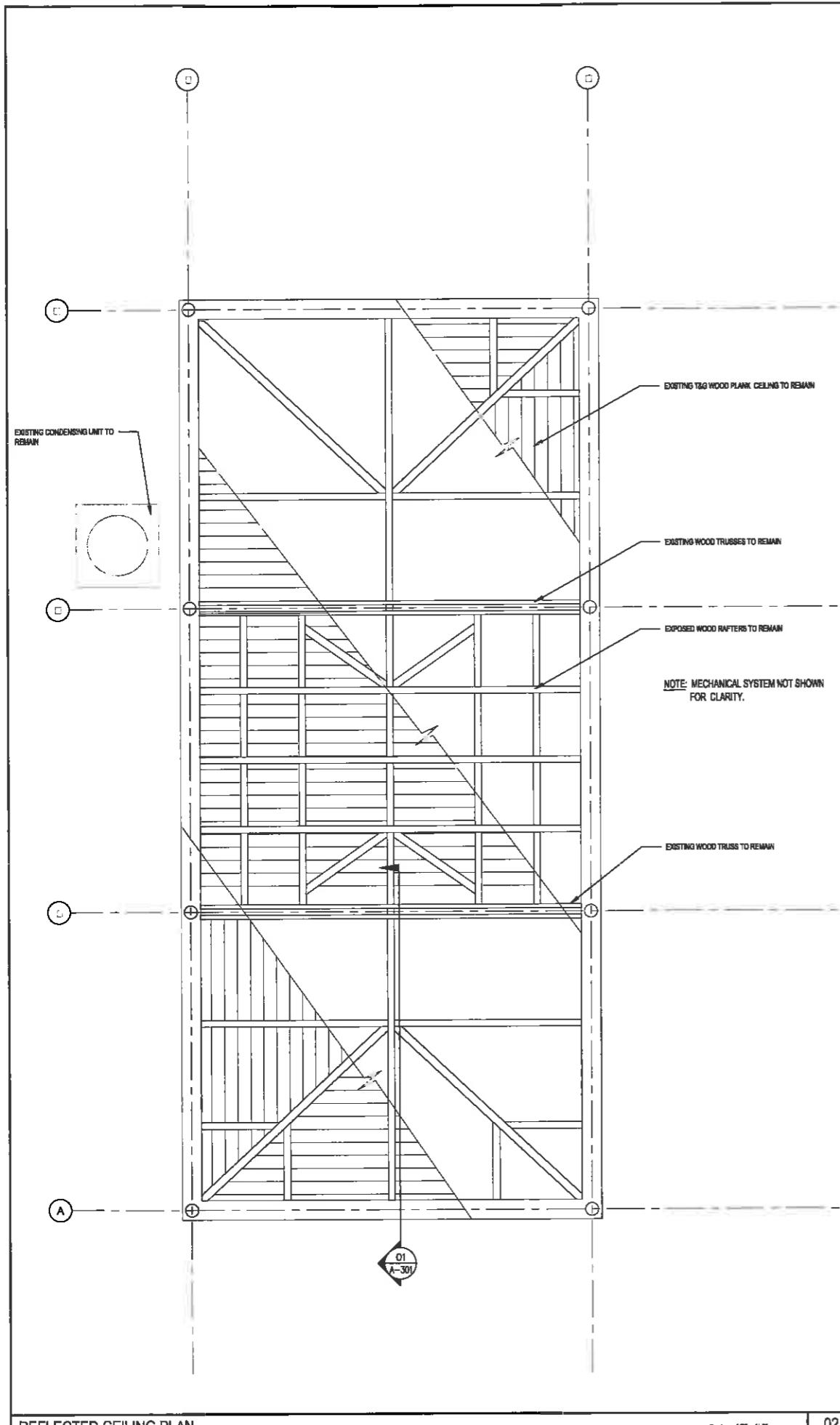
Project Number
R301308.01

Drawing Name

**SITE PLAN, LIFE SAFETY PLAN
& CODE SUMMARY**

Drawing Number
A-010





GENERAL NOTES:

1. COORDINATE ALL IN-FLR BLDG SINKS & DRAINS WITH FOOD SERVICE DRAWINGS.
2. REFERENCE STRUCTURAL DRAWINGS & NOTES RE. FLOOR SLAB DEMOLITION REQUIREMENTS.
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SSA
GOALS-FORMS-COMMUNICANT

SYMBOLS:

**SURFACE MOUNTED TRACK LIGHTING
Fixture (Fixture Selection & Finish to
be Selected by Owner)**

591

**HARD ROCK CAFE
RETAIL SHOP ALTERATIONS
KEY WEST, FLORIDA**

Project Number

Drawing Name

Drawing Number
A-121

REFLECTED CEILING PLAN

Scale: $1/2" = 1'$

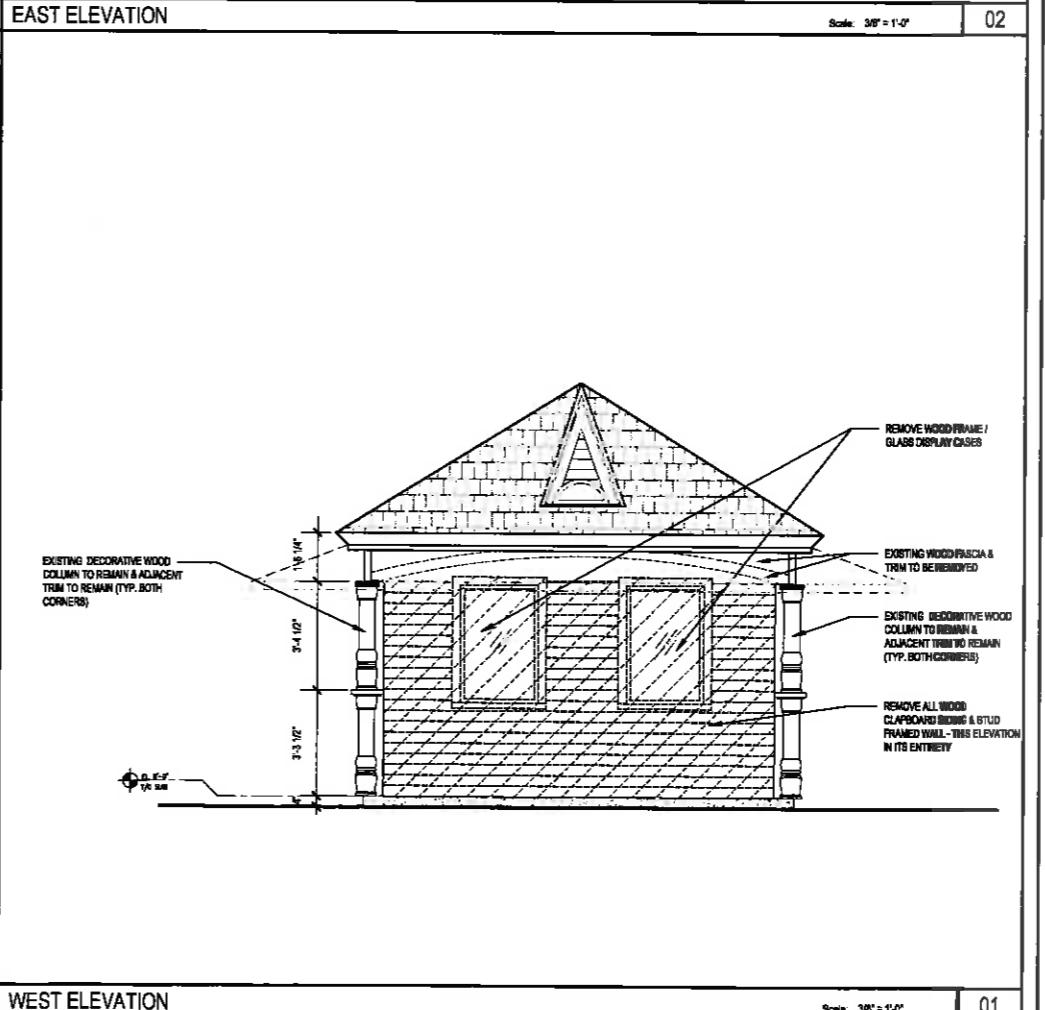
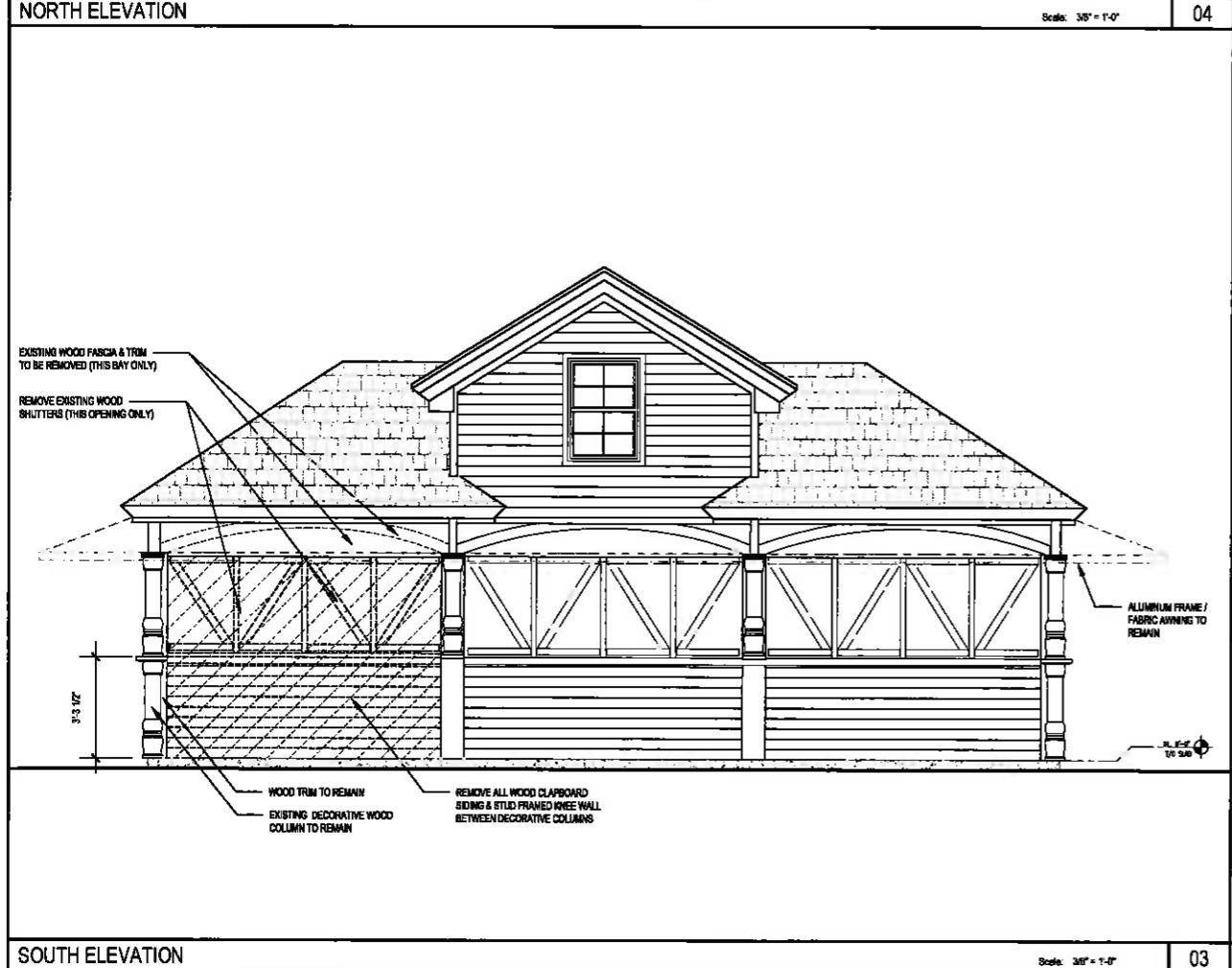
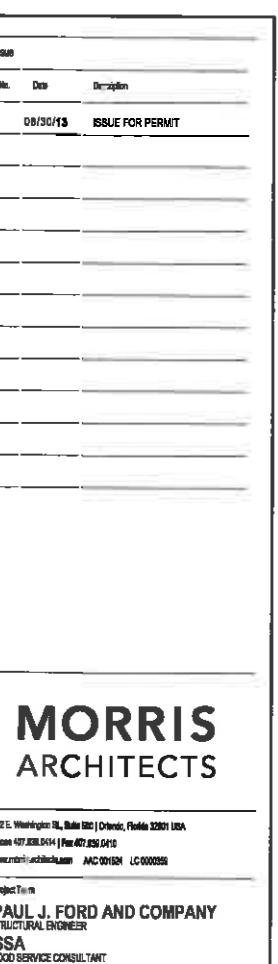
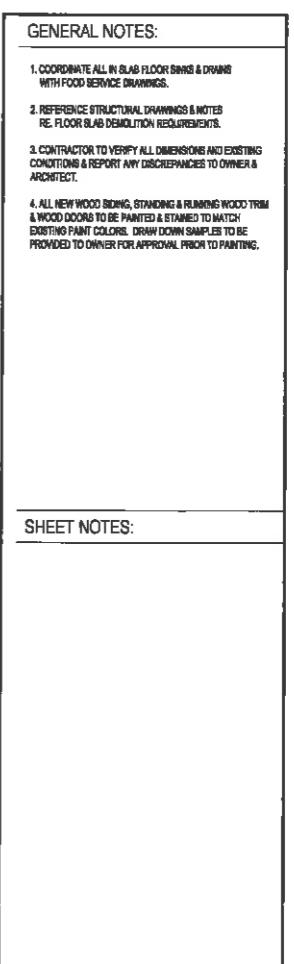
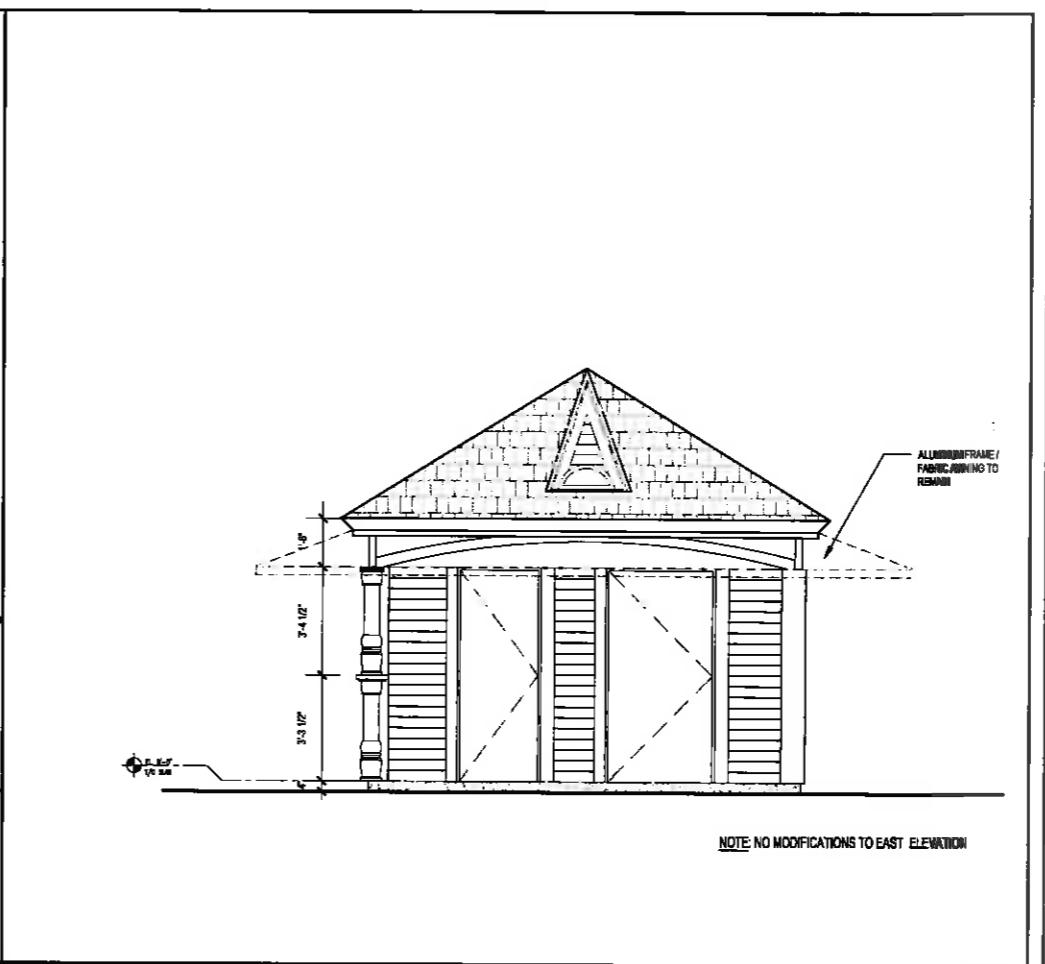
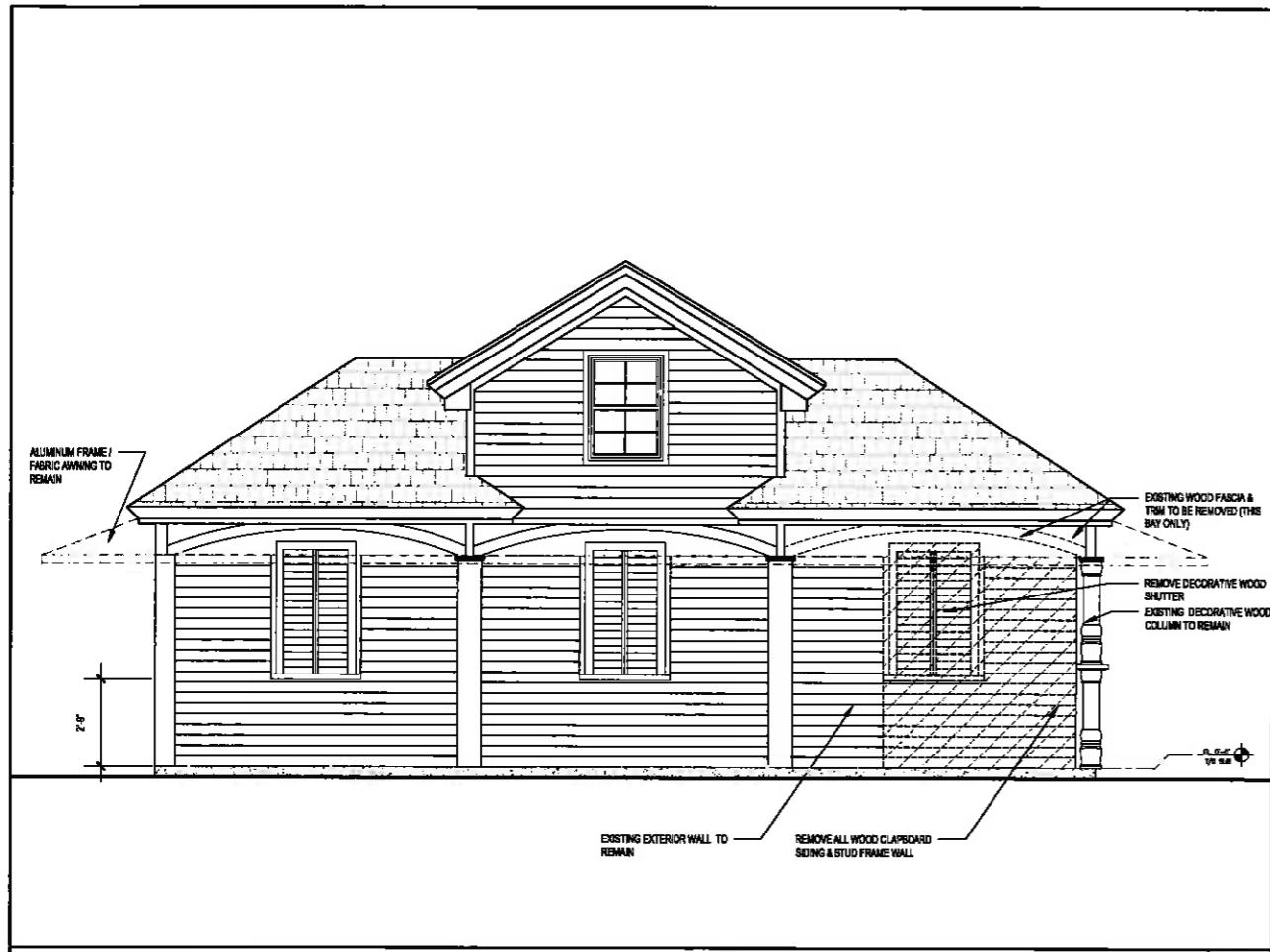
02

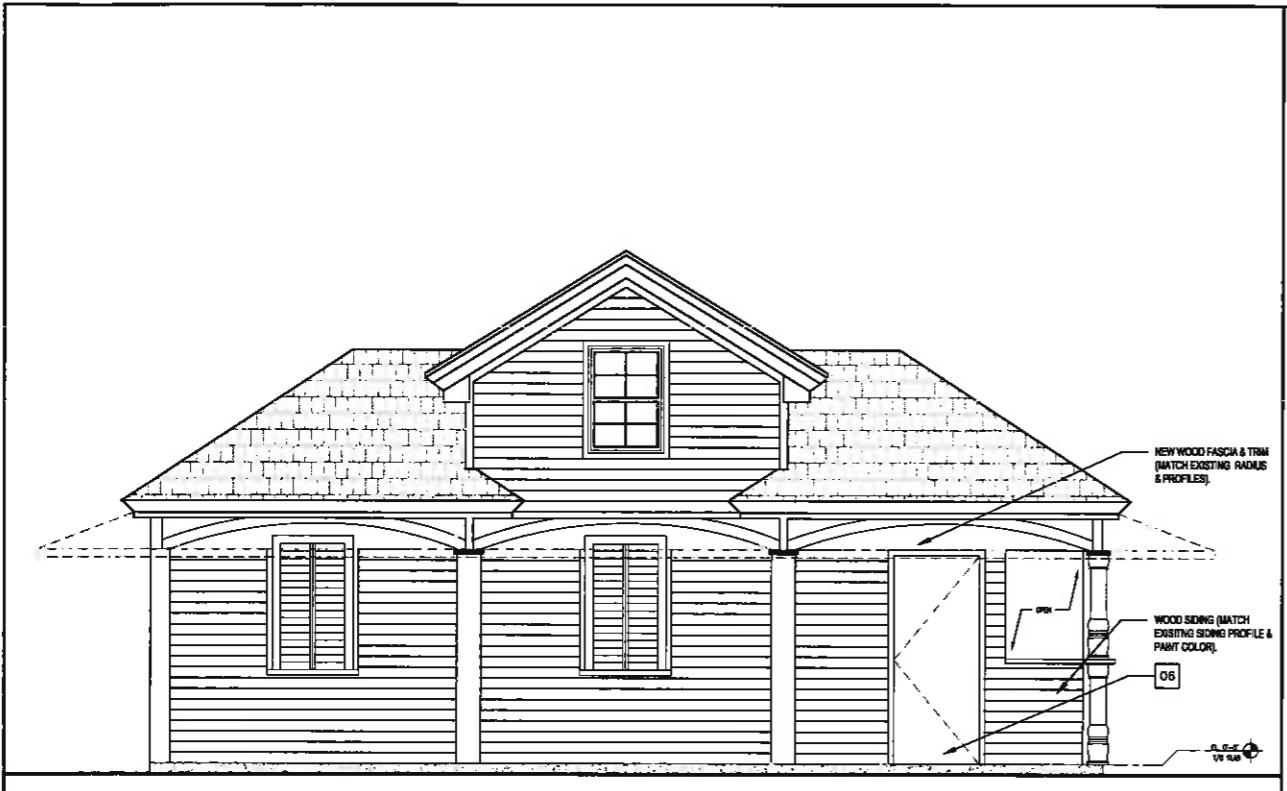
REFLECTED CEILING PLAN - MECHANICAL

Scale: 1/2" x 1"

01

The logo consists of the words "PLAN NORTH" in a bold, sans-serif font above a circular compass rose. The compass rose is divided into four quadrants by lines, with the top-left quadrant containing a small letter "N".



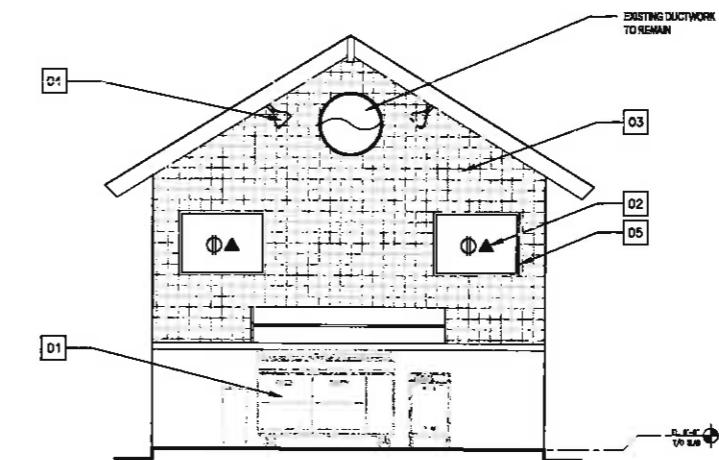


NORTH ELEVATION

Scale: 30' = 1' on map

D4 INTERIOR ELEVATION

02



NOTE: PROVIDE NEW WOOD SHUTTERS
THIS OPENING / BEE. DET. 2 (A-301)

SOUTH ELEVATION

Scale: $35^{\circ} = 1^{\circ}$

03 WEST ELEVATION

01

GENERAL NOTES:

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SHEET NOTES:

- 01 REF. FOOD SERVICE DRAWINGS FOR EQUIPMENT LAYOUT.
- 02 POWER AND DATA OUTLETS FOR WALL MOUNTED MONITORS (MTB, HT, TO BE VERIFIED BY OWNER).
- 03 CERAMIC MOSAIC WALL TILE (SELECTION BY OWNER).
- 04 CEILING MOUNTED TRACK LIGHT & FIXTURES EACH SIDE OF DUCT.
- 05 LED MONITORS BY OWNER (VERY LOCATION WITH OWNER).
- 06 34" X 64" SOLID CORE RAISED PANEL WOOD DOOR PROVIDED IN SIZE 8'2" X 9'0" HINGEWARE: 1 LOCKSET WITH CHROME PLATES PAINTED IN RAL 9010 (WHITE).

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Project Team
PAUL J. FORD AND COMPANY
STRUCTURAL ENGINEER
SSA
FOOD SERVICE CONSULTANT

SYMBOLS:

 DATA OUTLET
 ELECTRICAL DUPLEX RECEPTACLE

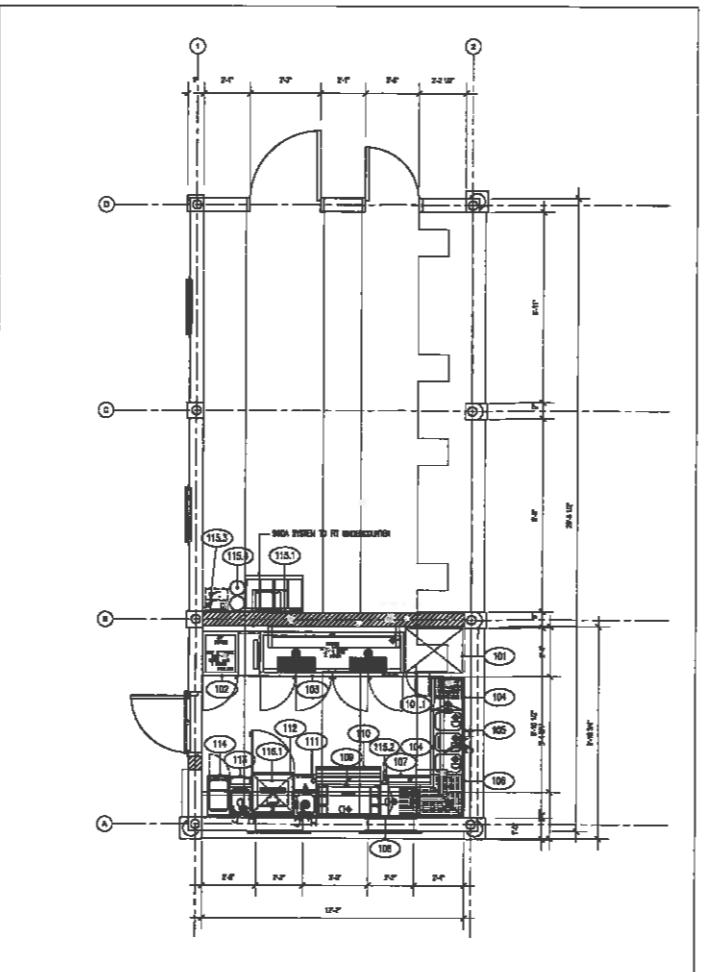
800
Project Name

HARD ROCK CAFE
RETAIL SHOP ALTERATIONS
KEY WEST, FLORIDA

Project Number _____

Drawing Name

Drawing Number



FOODSERVICE EQUIPMENT SCHEDULE

STATUS	ITEM	QTY	DESCRIPTION	MANUFACTURER	MODEL	ELECTRICAL DATA					PLUMBING DATA					REMARKS
						VOLTAGE	CYCLES	PH	AMPS	BTU	SE	WATERS	SUPPLY	DRAIN	WATER	
100 - RECEIVING & STORAGE																
A	101	1	BATCHER CABINET	FABRICATED	CUSTOM	-	-	-	-	-	-	-	-	-	-	-
A	101.1	1	BOTTOM & INTERMEDIATE UNDERSHELF W/ DOOR	-	CUSTOM	-	-	-	-	-	-	-	-	-	-	-
A	102	1	DRY STORAGE CABINET	PERlick	DR820	-	-	-	-	-	-	-	-	-	-	-
A	103	1	4-DOOR DIRECT DRIVE REFRIGERATOR	PERlick	DS882	120	60	1	0.3	-	-	3/8"	3/8"	-	-	-
A	104	2	18" DRAINBOARD	PERlick	TS18	-	-	-	-	-	-	-	-	1 1/2"	-	-
A	105	1	3 COMPARTMENT SINK	PERlick	TS403A	-	-	-	-	-	-	3/8"	3/8"	-	1 1/2"	-
A	106	1	24" CORNER DRAINBOARD	PERlick	TSK00-R	-	-	-	-	-	-	-	-	-	1 1/2"	-
A	107	1	24" SPEED VAC	PERlick	SR-524	-	-	-	-	-	-	-	-	-	-	-
A	108	1	SODA GUN FILLER SECTION	PERlick	TS403A	-	-	-	-	-	-	-	-	-	-	-
A	109	1	ICE BIN	PERlick	TS30C	-	-	-	-	-	-	-	-	1/2"	-	-
A	110	1	36" DOUBLE SPEED VAC	PERlick	SR-536	-	-	-	-	-	-	-	-	-	-	-
A	111	1	BLENDER STATION	PERlick	TS12BWF	120	60	1	15 CWT	-	-	3/8"	3/8"	-	1 1/2"	-
A	112	1	P.O.S. STAND	PERlick	CM7061-2NL	-	-	-	-	-	-	-	-	-	-	-
A	113	1	HANDSINK	PERlick	TS212FS	-	-	-	-	-	-	3/8"	3/8"	1 1/2"	-	-
A	114	1	TRASH CABINET	PERlick	TS12TRB	-	-	-	-	-	-	-	-	-	-	-
C	115	1	SODA SYSTEM	-	-	-	-	-	-	-	-	-	-	-	-	-
C	115.1	1	BAG & BOX	-	-	-	-	-	-	-	-	-	-	-	-	-
C	115.2	1	SODA GUN	-	-	-	-	-	-	-	-	-	-	-	-	-
C	115.3	1	CARBONATOR	-	-	120	60	1	VERITY	-	-	-	-	-	-	-
C	115.4	2	CO2 TANK	-	-	-	-	-	-	-	-	-	-	-	-	-
C	116	1	POS SYSTEM	-	-	120	60	1	VERITY	-	-	-	-	-	-	-
C	116.1	1	POS MONITOR	-	-	120	60	1	VERITY	-	-	-	-	-	-	-

STATUS CODES:
 *P - PROVIDED AND INSTALLED BY GENERAL CONTRACTOR
 *G - PROVIDED BY OWNER AND INSTALLED BY GENERAL CONTRACTOR
 *C - PROVIDED BY OWNER AND INSTALLED BY OWNER

GENERAL NOTES:

Issue		
No.	Date	Description
08/30/13 ISSUE FOR PERMIT		

SYMBOLS:



SHEET NOTES:

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 STRUCTURAL ENGINEER
SSA
 FOOD SERVICE CONSULTANT

HARD ROCK CAFE
 RETAIL SHOP ALTERATIONS
 KEY WEST, FLORIDA

Project Number
 R301308.01

Drawing Name

FOODSERVICE EQUIPMENT PLAN
 AND SCHEDULE

Drawing Number

FS-1.1

GENERAL

- UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREINAFTER FOR USE ON THIS PROJECT.
- IF MATERIALS, QUANTITIES, STRENGTHS OR SIZES INDICATED BY THE DRAWINGS OR SPECIFICATIONS ARE NOT IN AGREEMENT WITH THESE NOTES, THE CONTRACTOR SHALL CONTACT THE ARCHITECT/ENGINEER FOR CLARIFICATION.
- TYPICAL DETAILS MAY NOT NECESSARILY BE CUT ON THE PLANS, BUT APPLY UNLESS NOTED OTHERWISE.
- SHOP DRAWINGS PREPARED BY SUPPLIERS AND SUBCONTRACTORS SHALL BE REVIEWED AND APPROVED BY THE GENERAL CONTRACTOR PRIOR TO SUBMISSION TO THE ENGINEER/ARCHITECT.
- SHOP DRAWINGS PREPARED BY THE CONTRACTORS, SUPPLIERS, ETC., WILL BE REVIEWED BY THE ENGINEER/ARCHITECT ONLY FOR CONFORMANCE WITH DESIGN CONCEPT. NO WORK AFFECTED BY THE SHOP DRAWINGS SHALL BE STARTED WITHOUT SUCH REVIEW.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL REVISIONS, CORRECTIONS, AND COMMENTS INDICATED ON THE SHOP DRAWINGS BY THE ARCHITECT/ENGINEER.
- FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK. EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONSTRUCTION MANAGER, GENERAL CONTRACTOR, CONTRACTOR, SUB-CONTRACTOR AND/OR SUPPLIER PRIOR TO DETAILING, FABRICATION, ERECTION OR CONSTRUCTION OF ANY ELEMENT. ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND THE ACTUAL FIELD CONDITIONS MUST BE REPORTED IMMEDIATELY TO THE ENGINEER/ARCHITECT.
- SUPPORT, BRACE, AND SECURE EXISTING STRUCTURES AS REQUIRED TO PREVENT DAMAGE AND MOVEMENT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF EXISTING STRUCTURES DURING CONSTRUCTION.
- ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR AND SHALL CONFORM TO THOSE SHOWN ON THE ARCHITECTURAL DRAWINGS.
- THE STRUCTURAL CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES.
- ANY SUPPORT SERVICES PERFORMED BY THE ENGINEER DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE ENGINEER ARE SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
- ALL STRUCTURES ARE DESIGNED TO BE STABLE AND SELF-SUPPORTING AT THE COMPLETION OF CONSTRUCTION. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE STABILITY AND SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS, AND THE ADEQUACY OF TEMPORARY OR INCOMPLETE CONNECTIONS DURING CONSTRUCTION. THAT INCLUDED, BUT IS NOT LIMITED TO, THE ADDITION OF WHATEVER TEMPORARY BRACING, GUY'S OR TIE-DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL IS NOT INDICATED ON THE DRAWINGS AND, IF PROVIDED, SHALL BE REMOVED, AS CONDITIONS PERMIT AND REMAIN THE PROPERTY OF THE CONTRACTOR.
- ALL MATERIALS AND EQUIPMENT FURNISHED WILL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- COORDINATE WITH THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR SIZE AND LOCATION OF FLOOR SLOPES, DEPRESSED AREAS, FINISH FLOOR, CHAMBERS, GROOVES, INSERTS, ETC.
- COORDINATE WITH CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS FOR PIPE SLEEVES, FLOOR DRAINS, ROOF DRAINS, INSERTS, HANGERS, TRENCHES, PITS, WALL AND SLAB OPENINGS, CONDUIT RUNS IN WALLS AND SLABS, SIZE AND LOCATION OF MACHINE OR EQUIPMENT SUPPORTS, BASE AND ANCHOR BOLTS, RAILING, ETC.
- COORDINATE WITH SITE, ARCHITECTURAL, ELECTRICAL, MECHANICAL, AND CIVIL DRAWINGS FOR RETAINING WALLS, PADS, PAVEMENT AND OTHER SITE STRUCTURES.
- FOUNDATION DRAINS, WATER PROOFING, AND OTHER REQUIRED NON-STRUCTURAL ITEMS ARE NOT SHOWN ON THE STRUCTURAL DRAWINGS. COORDINATE WITH CIVILSITE AND ARCHITECTURAL DRAWINGS.

GOVERNING CODES AND SPECIFICATIONS

- FLORIDA BUILDING CODE 2010
- ASCE 7-10 -MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
- ACI 318-05 -BUILDING CODE DESIGN SPECIFICATIONS FOR STRUCTURAL CONCRETE
- ACI 355.1-05 -SPECIFICATIONS FOR STRUCTURAL CONCRETE
- HOT WEATHER CONCRETING
- ACI 355.2-05 -COLD WEATHER CONCRETING, REAPPRAVED 2002
- ASCE 360-05 -STEEL CONSTRUCTION MANUAL, 13TH EDITION
- ANSI/AWS D1.1-04 -STRUCTURAL WELDING CODE, STEEL
- NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL, STRUCTURAL MEMBERS W2004 SUPPLEMENT
- NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION WITH 2005 SUPPLEMENT
- AF&PA NDS 2005 -AF&PA SUPPLEMENT SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC
- ATC 194 2003 -TYPICAL CONSTRUCTION DETAILS
- APA PDS 2004 -PANEL DESIGN SPECIFICATION

DESIGN LOADS

- LIVE LOADS:
 - FIRST FLOOR (SLAB ON GRADE) 100 PSF
- WIND LOADS:
 - CODE ASCE 7-10
 - BASIC WIND SPEED (3 SECOND GUST), MPH 180 MPH
 - RISK CATEGORY II
 - WIND EXPOSURE C
 - DESIGN WIND PRESSURE FOR COMPONENTS AND CLADDING SEE WIND PRESSURE SCHEDULE ON SHEET 6-001

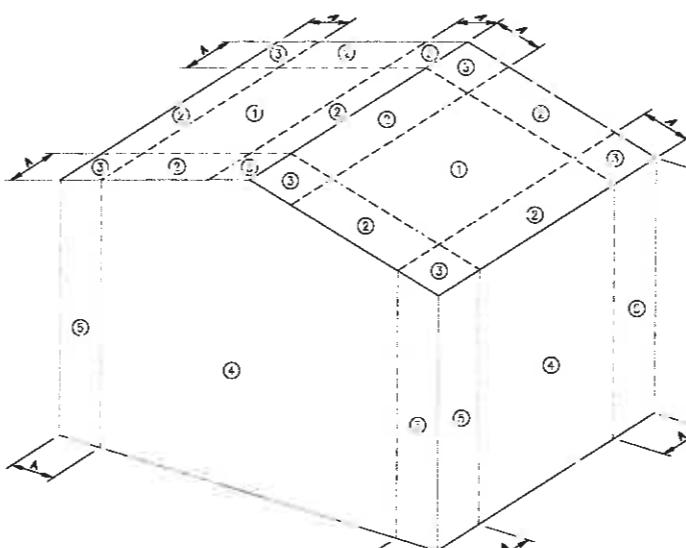
CONCRETE AND REINFORCEMENT

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE: ACI 318.
- CONCRETE SHALL HAVE THE FOLLOWING 28-DAY COMPRESSIVE STRENGTH: CAST-IN-PLACE CONCRETE 3,000 PSI
- USE 3% ± 1.5% ENTRAINED AIR PER ASTM C230 FOR ALL CONCRETE EXPOSED TO WEATHER.
- ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60. WELDED REINFORCING SHALL CONFORM TO ASTM A65.
- ADMIXTURES SHALL CONTAIN NO MORE THAN 0.08% CHLORIDE IONS BY WEIGHT OF CEMENT WHEN TESTED IN ACCORDANCE WITH AASHTO T290.
- CONTRACTOR SHALL KEEP A COPY OF "FIELD REFERENCE MANUAL: STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE ACI 318-05 WITH SELECTED ACI REFERENCES", (ACI PUBLICATION SP-10-05) AT THE PROJECT OFFICE.
- ALL REINFORCING DETAILS SHALL CONFORM TO "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT" ACI 318-99, UNLESS DETAILED OTHERWISE ON THE STRUCTURAL DRAWINGS.
- SUBMIT FOR APPROVAL CONCRETE MIX DESIGN AND CERTIFICATION OF CONFORMITY OF CONCRETE MATERIALS.
- THE CONTRACTOR SHALL EMPLOY, AT NO COST TO THE OWNER, A TESTING LABORATORY APPROVED BY THE ENGINEER/ARCHITECT TO PERFORM THE TESTING SPECIFIED PER PARAGRAPH 1.8.4 OF ACI 318. THE TESTING LABORATORY SHALL MEET THE REQUIREMENTS OF ASTM E360. TESTING SHALL BE MADE BY AN ACI CONCRETE FIELD TESTING TECHNICIAN GRADE 1 OR APPROVED EQUIVALENT. A TECHNICIAN GRADE 1 SHALL BE PRESENT DURING ALL CONCRETE PLACEMENT.

STRUCTURAL ABBREVIATIONS		H	HORIZONTAL
A	AMERICAN CONCRETE INSTITUTE	H	HORIZONTAL
ACI		HGT	HEIGHT
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	L	
AISC	AMERICAN IRON AND STEEL INSTITUTE	LG	LONG
ARCH	ARCHITECTURAL	LL	LIVE LOAD
ASTM	AMERICAN SOCIETY OF TESTING MATERIALS	LONG	LONGITUDINAL
AWS	AMERICAN WELDING SOCIETY	LSH	LONG SIDE HORIZONTAL
B		M	
B/	BOTTOM OF	MAX	
BM	BEAM	MECH	
BOT	BOTTOM	MIN	
BRG	BEARING	MTL	
BS	BOTH SIDES		
C		N	NOT TO SCALE
C/C	CENTER TO CENTER	O	
CP	CAST IN PLACE	OC	ON CENTER
CL	CENTERLINE	OPNG	OPENING
CLR	CLEARANCE		
COL	COLUMN	P	
CON	CONCRETE	PL	PLATE
CONT	CONTINUOUS	PTW	PI TWIN
CTR	CENTER	PT	PRESSURE TREATED
D		R	
DIA	DIAMETER	REINF	REINFORCED(D) (ING)
DIM	DIMENSION	REQ	REQUIRE
DTL	DETAIL		
DWG	DRAWING	S	SCHEDULE
DWL	DOWEL	SCH	SECTION
E		SECT	
EA	EACH	SHT	SECTION
EE	EACH END	SIM	SIMILAR
EL	ELEVATION	SL	SLOPE
ELEC	ELECTRICAL	SPECS	SPECIFICATIONS
ENG	ENGINEER	STD	STANDARD
EW	EACH SIDE	STL	STEEL
EW	EACH WAY	T	
EXT	EXTERIOR	T/B	TOP & BOTTOM
EXIST	EXISTING	THICK	THICK
F		U	UNLESS NOTED OTHERWISE
FDN	FOUNDATION	UND	
FUR	FLOOR	W	WITH
FT	FOOT	WP	WORKING POINT
FTG	FOOTING		
FV	FIELD VERIFY		
G			
GALV	GALVANIZED		
GC	GENERAL CONTRACTOR		
GR	GRADE		

EFFECTIVE AREA	ZONE 1		ZONE 2		ZONE 3		OVERHANG		ZONE 4		ZONE 5	
	POSITIVE	NEGATIVE	POSITIVE	NEGATIVE	POSITIVE	NEGATIVE	ZONE 2	ZONE 3	POSITIVE	NEGATIVE	POSITIVE	NEGATIVE
≤ 10 SF/FT	62	-58	62	-63	62	-63	-72	-72	58	-58	61	-71
≤ 20 SF/FT	51	-54	51	-51	51	-51	-70	-70	54	-56	54	-43
≤ 50 SF/FT	50	-51	50	-58	50	-58	-67	-67	51	-55	51	-51
≤ 100 SF/FT	48	-49	48	-58	48	-58	-65	-65	48	-53	48	-58

1. TABLE IS BASED UPON A PARTIALLY ENCLOSED BUILDING USING THE SPECIFIED WIND LOADS AS INDICATED IN THE "DESIGN LOADS" SECTION ON THIS SHEET.
2. EDGE STRIP ** = 10 FT.
3. POSITIVE & NEGATIVE SIGNS SIGNIFY PRESSURES ACTING TOWARDS AND AWAY FROM THE BUILDING SURFACES, RESPECTIVELY (FULL HEIGHT, UNLESS NOTED).
4. VALUES SHOWN ARE ALLOWABLE STRESS DESIGN PRESSURES.



GENERAL NOTES:

Issue
No. Date Revision
08/30/13 ISSUE FOR PERMIT

SYMBOLS:
SHEET NOTES:

**MORRIS
ARCHITECTS**

222 E. Washington St., Suite 600 | Orlando, Florida 32801 USA
Phone: 407.590.0114 | Fax: 407.598.1112
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Project Team
 PAUL J. FORD & COMPANY
STRUCTURAL ENGINEERS
3570 MAGNUINE BLVD, SUITE 250 ORLANDO, FL 32803
407.850.0399
PJF Project No C02613.0003
SSA
FOOD SERVICE CONSULTANT

NATHAN E. McEWEN
FL REC. NO. 73148
Project Name

Pedestrian
R301300.01

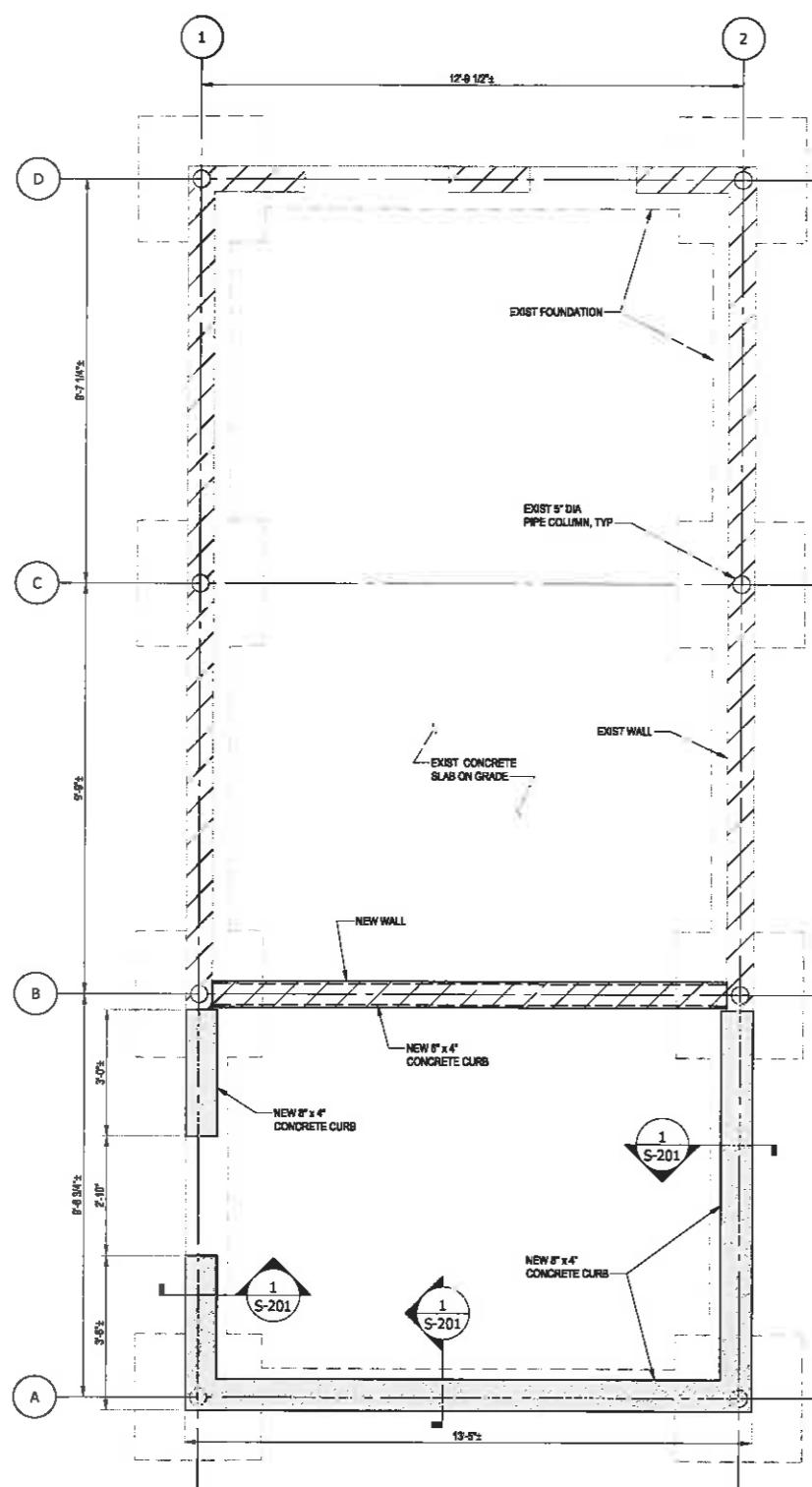
Driveway Name

GENERAL NOTES

Scale: 1" = 10'

Drawing Number

S-001

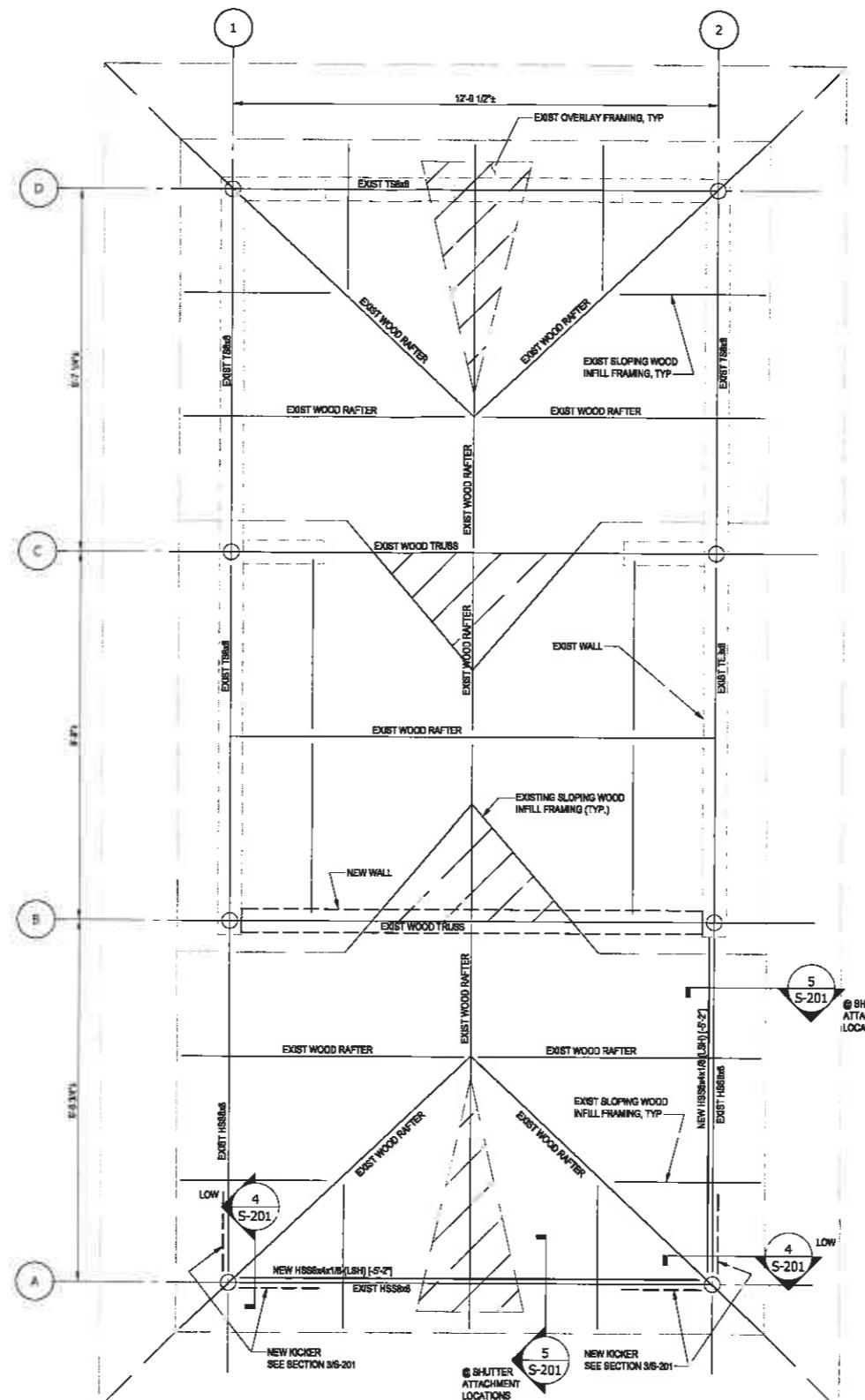


FOUNDATION PLAN

SCALE: 1" = 1'

FOUNDATION PLAN NOTES

1. SEE SHEET S-001 FOR GENERAL NOTES AND ADDITIONAL INFORMATION.
2. TOP OF EXISTING SLAB ELEVATION IS 04'-0", U.N.O.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCY TO THE ARCHITECT AND ENGINEER.
4. CONTRACTOR SHALL VERIFY ALL SLAB EDGE AND OPENING DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION FOR SLAB OPENINGS, SEE DETAIL 269-201.
5. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR SLAB PENETRATIONS AND UNDERGROUND UTILITIES.
6. CONTRACTOR SHALL COORDINATE FINISHES WITH ARCHITECTURAL DRAWINGS.



ROOF FRAMING PLAN

SCALE: 1/25

ROOF PLAN NOTE

1. SEE SHEET 8-001 FOR GENERAL NOTES AND ADDITIONAL INFORMATION.
2. TOP OF EXISTING STEEL ELEVATION IS 8'-4" ± UNLESS NOTED OTHERWISE THUS 14'-X-X"
3. TYPICAL EXISTING WOOD TRUSS AND RAFTER BEARING ELEVATION IS 8'-4" ±, L.N.O.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCY TO THE ARCHITECT AND ENGINEER.

**MORRIS
ARCHITECTS**

822 E. Washington St., Suite 500 | Orlando, Florida 32801 USA
Phone 407.239.0414 | Fax 407.238.0410
www.sorianoarchitects.com AAC 081524 LC 00000000

The logo for Paul J. Ford & Company Structural Engineers. It features a stylized 'J' and 'F' intertwined on the left, followed by the company name in a serif font: 'PAUL J. FORD & COMPANY' and 'STRUCTURAL ENGINEERS' stacked vertically. Below the name is the address '3670 MAGURE BLVD, SUITE 250 ORLANDO, FL 32803' and the phone number '407-888-3032'. At the bottom right is the text 'PJF Project No C0L813.0013' and the EB-00202849 reference number.

SA
ND SERVICE CONSULTANT

NATHAN E. MORROW
FL. REG. NO. 73148

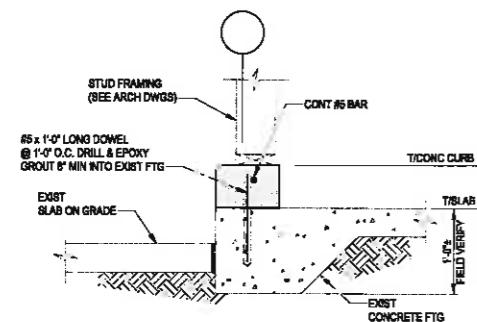
**HARD ROCK CAFE
RETAIL SHOP ALTERATIONS
KEY WEST, FLORIDA**

Spec Number

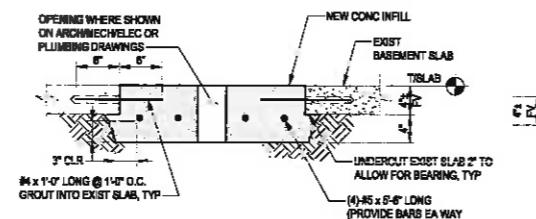
using **flow**

PLANS & SECTIONS

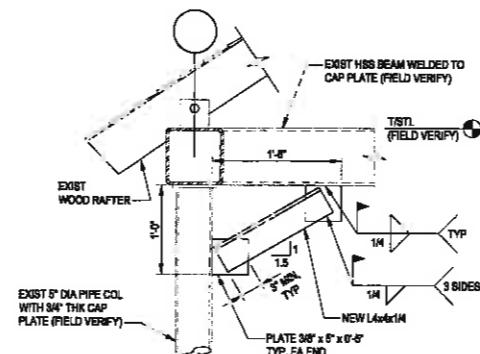
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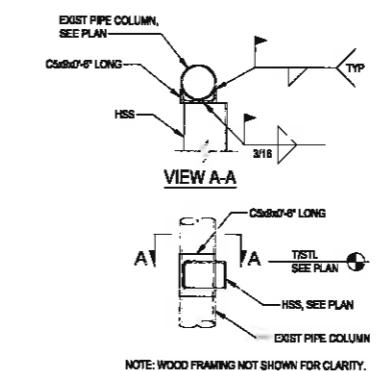
SECTION 1
SCALE: 1'-0"



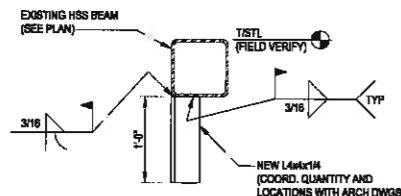
SECTION 2
SCALE: 1'-0"



SECTION 3
SCALE: 1'-0"



SECTION 4
SCALE: 1'-0"



SECTION 5
SCALE: 1'-0"

GENERAL NOTES:

Issue	Date	Description
	08/30/10	ISSUE FOR PERMIT

SYMBOLS:

SHEET NOTES:

**MORRIS
ARCHITECTS**

822 E. Wabasso Ave St. Suite 300 | Orlando, Florida 32801 USA
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Project Title: **PF**
PF PAUL J. FORD & COMPANY
STRUCTURAL ENGINEERS
3670 MAGUIRE BLVD, SUITE 260 ORLANDO, FL 32803
407.838.0019 EB-102-548
PJF Project No C02313.0000

SSA
FOOD SERVICE CONSULTANT

Project Name: **NATHANIEL MCGRROW**
FL REG. NO. 73140

**HARD ROCK CAFE
RETAIL SHOP ALTERATIONS
KEY WEST, FLORIDA**

Project Number: **R201308.01**

Drawing Name: **SECTIONS**

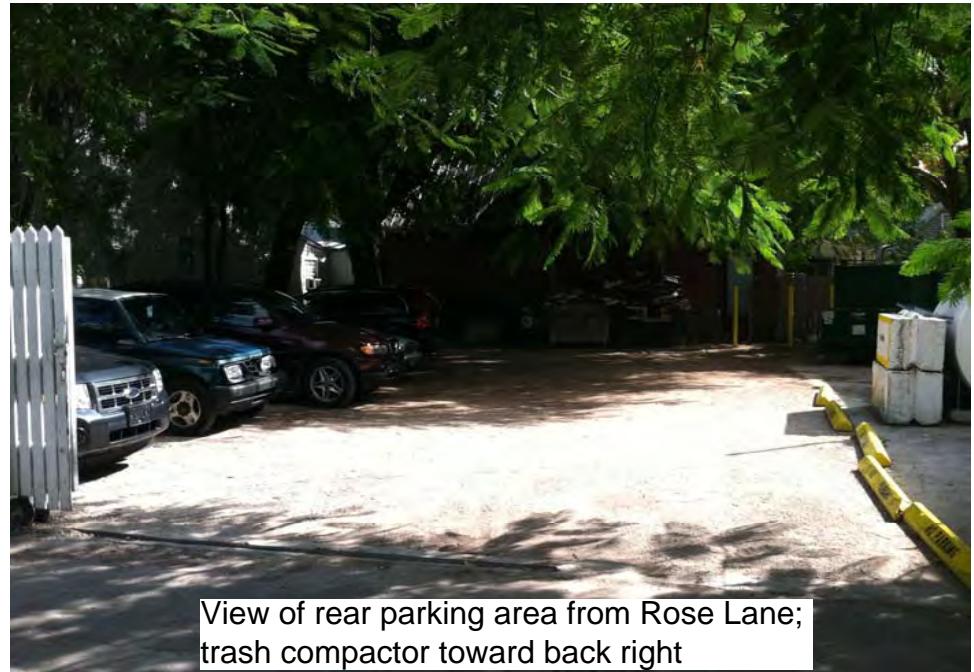
Scale: **1'-0" = 1'-0"**

Drawing Number: **S-201**

Site Photos



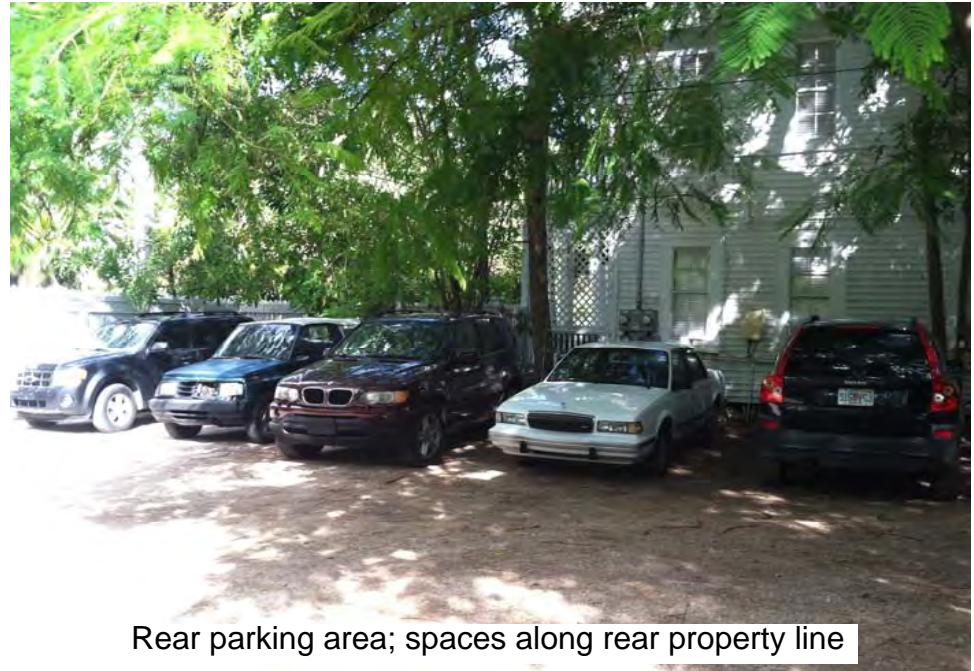
Rear parking area; spaces along rear property line



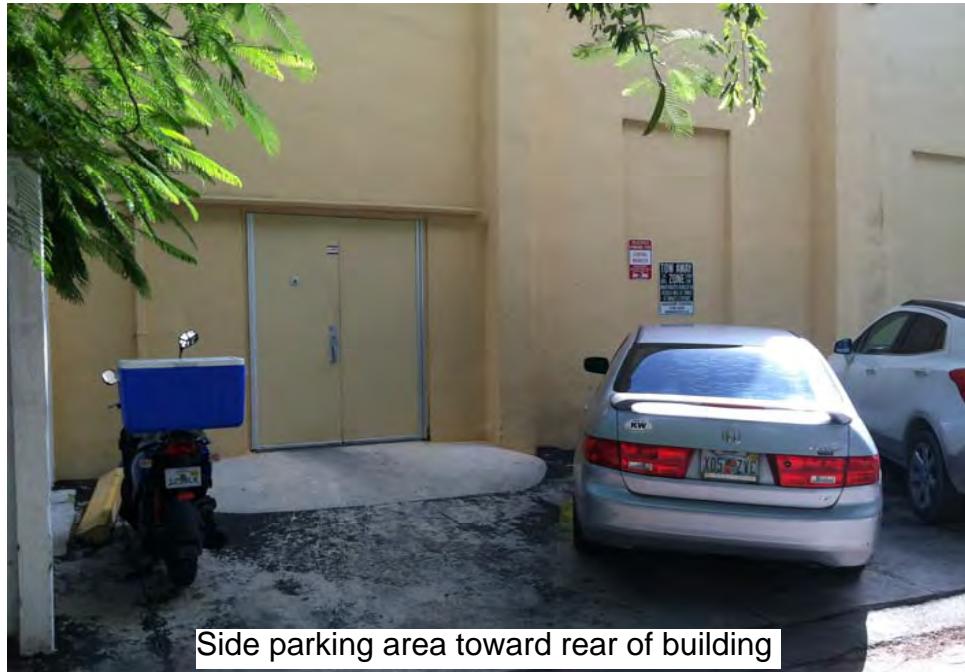
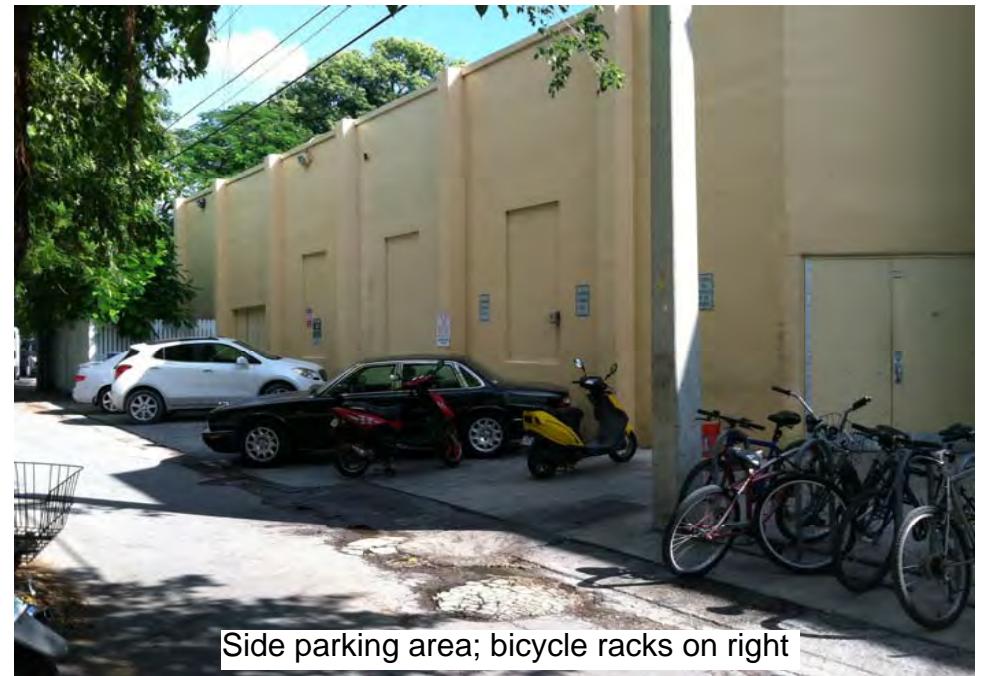
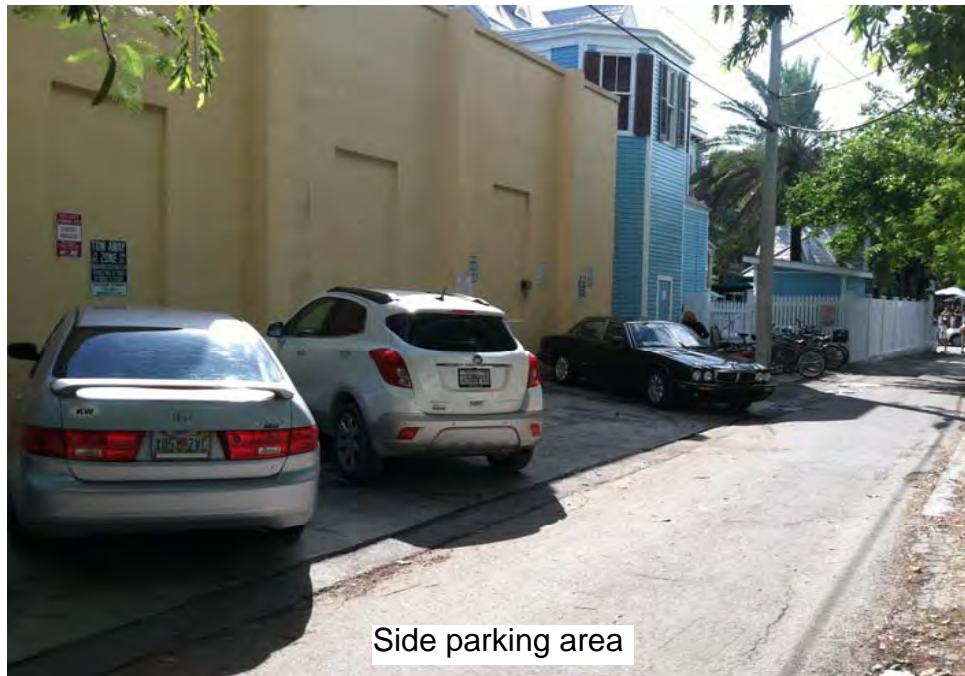
View of rear parking area from Rose Lane;
trash compactor toward back right



Rear parking area; trash compactor occupies area
where space 15 is indicated on applicant's plan.



Rear parking area; spaces along rear property line



DRC
Minutes & Comments

Minutes of the Development Review Committee

September 26, 2013

Approved on October 24, 2013

DRC Member Comments:

ART IN PUBLIC PLACES:

No comments.

URBAN FORESTRY MANAGER:

No comments.

POLICE DEPARTMENT:

No comments.

HARC PLANNER:

Question 15 is wrongly answered as no, when indeed the proposed changes to the site will require a Certificate of Appropriateness.

ENGINEERING:

Please provide inspection report for the existing grease interceptor, including type of tank, liquid capacity, and tank location. (Survey does not show location of grease interceptor.)

FIRE DEPARTMENT:

Mr. Barroso has concerns with lifesaving accessibility issues.

BUILDING OFFICIAL:

Mr. Wampler stated that according to Florida plumbing code, bars are required to have grease interceptors. Mr. Wampler stated that impact fee will apply.

SUSTAINABILITY COORDINATOR

No comments.

KEYS ENERGY:

No comments.

6. Parking Variance – 313 Duval Street (RE# 00004300-000000; AK# 1004472) – A request for a variance to the minimum parking space requirement in order to convert an existing retail area to a new bar service area for an existing restaurant on property located within the Residential Commercial Core – Duval Street Gulfside (HRCC-1) Zoning District pursuant to Section 108-572 of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

Mr. Bond gave members an overview of the variance request.

The applicant, Mr. Rick Sconyers gave members an overview of the request.

DRC Member Comments:

Minutes of the Development Review Committee

September 26, 2013

Approved on October 24, 2013

ART IN PUBLIC PLACES:

No comments.

URBAN FORESTRY MANAGER:

No comments.

POLICE DEPARTMENT:

No comments.

HARC PLANNER:

Application is incomplete. Question 15 is wrongly answered as no, when indeed the proposed changes to the site will require a Certificate of Appropriateness.

ENGINEERING:

No comments.

FIRE DEPARTMENT:

Mr. Barroso has concerns with lifesaving accessibility issues.

BUILDING OFFICIAL:

Mr. Wampler stated that according to Florida plumbing code, bars are required to have grease interceptors. Mr. Wampler stated that impact fee will apply.

SUSTAINABILITY COORDINATOR:

No comments.

KEYS ENERGY:

No comments.

7. Variance - 825 Duval (RE# 00016830-000000; AK# 1017230) - A request for a building coverage variance to erect a canopy to cover an existing outdoor-dining area at property in the HRCC-3 zoning district per Section 90-391 and Section 122-750(4)a. of the Land Development Regulations of the Code of Ordinances of the City of Key West.

Mr. Cunningham gave members an overview of the request.

The applicant, Miami Awning Company gave members an overview of the request.

DRC Member Comments:

ART IN PUBLIC PLACES:

No comments.

URBAN FORESTRY MANAGER:

No comments.

SunBiz Information



Detail by Entity Name

Florida Profit Corporation

CONCH SHELL PROPERTIES, INC.

Filing Information

Document Number P94000087757
FEI/EIN Number 650542514
Date Filed 12/02/1994
State FL
Status ACTIVE

Principal Address

313 DUVAL ST.
KEY WEST, FL 33040

Changed: 01/26/1996

Mailing Address

905 VON PHISTER ST
KEY WEST, FL 33040

Changed: 01/26/1995

Registered Agent Name & Address

SAMAHA, FOUAD
905 VON PHISTER ST
KEY WEST, FL 33040

Name Changed: 01/26/1995

Address Changed: 01/26/1995

Officer/Director Detail

Name & Address

Title P

SAMAHA, FOUAD
905 VON PHISTER ST
KEY WEST, FL 33040

Title V

LADHA, ISSA
12178 4TH STREET
RANCHO CUCAMONGA, CA 91730-6127

Title S

LADHA, NAVEEN
12178 4TH STREET
RANCHO CUCAMONGA, CA 91730-6127

Annual Reports

Report Year	Filed Date
2011	01/07/2011
2012	02/08/2012
2013	04/08/2013

Document Images

04/08/2013 -- ANNUAL REPORT	View image in PDF format
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01/07/2011 -- ANNUAL REPORT	View image in PDF format
02/24/2010 -- ANNUAL REPORT	View image in PDF format
01/12/2009 -- ANNUAL REPORT	View image in PDF format
01/23/2008 -- ANNUAL REPORT	View image in PDF format
01/18/2007 -- ANNUAL REPORT	View image in PDF format
01/20/2006 -- ANNUAL REPORT	View image in PDF format
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01/26/1996 -- ANNUAL REPORT	View image in PDF format
01/26/1995 -- ANNUAL REPORT	View image in PDF format

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[Vwdwh#; iHlcrulgd/#BhsduP hqwh#;/wdwh](#)

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1-9.

OMB No. 1660-0008
Expiration Date: July 31, 2015

SECTION A – PROPERTY INFORMATION

FOR INSURANCE COMPANY USE

A1. Building Owner's Name Conch Shell Properties Inc.		Policy Number	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 313 Duval Street, Retail		Company NAIC Number	
City Key West	State FL	ZIP Code 33040	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Part of Lot 2, Square 24, Whitehead's Map, Parcel No.00004300-000000			
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>		Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983	
A5. Latitude/Longitude: Lat. <u>24 33'27.5"N</u> Long. <u>81 48'14.7"W</u>			
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.			
A7. Building Diagram Number <u>1A</u>			
A8. For a building with a crawlspace or enclosure(s):		A9. For a building with an attached garage:	
a) Square footage of crawlspace or enclosure(s)	<u>n/a</u>	sq ft	a) Square footage of attached garage <u>n/a</u> sq ft
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade	<u>n/a</u>		b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>n/a</u>
c) Total net area of flood openings in A8.b	<u>n/a</u>	sq in	c) Total net area of flood openings in A9.b <u>n/a</u> sq in
d) Engineered flood openings?	<input type="checkbox"/> Yes <input type="checkbox"/> No		d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No

SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number City of Key West 120168		B2. County Name Monroe		B3. State Florida	
B4. Map/Panel Number 12087C1516	B5. Suffix K	B6. FIRM Index Date 2/18/05	B7. FIRM Panel Effective/Revised Date 2/18/05	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 6'

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.

FIS Profile FIRM Community Determined Other/Source: _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other/Source: _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
Designation Date: _____ CBRS OPA

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: Basic

Vertical Datum: NGVD 1929

Indicate elevation datum used for the elevations in items a) through h) below. NGVD 1929 NAVD 1988 Other/Source: _____
Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	<u>7.85</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
b) Top of the next higher floor	<u>n/a</u>	<input type="checkbox"/> feet	<input type="checkbox"/> meters
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>n/a</u>	<input type="checkbox"/> feet	<input type="checkbox"/> meters
d) Attached garage (top of slab)	<u>n/a</u>	<input type="checkbox"/> feet	<input type="checkbox"/> meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	<u>n/a</u>	<input type="checkbox"/> feet	<input type="checkbox"/> meters
f) Lowest adjacent (finished) grade next to building (LAG)	<u>7.3</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
g) Highest adjacent (finished) grade next to building (HAG)	<u>7.6</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	<u>7.4</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. *I certify that the information on this Certificate represents my best efforts to interpret the data available.*
I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a
 Check here if attachments. licensed land surveyor? Yes No

Certifier's Name Fred H. Hildebrandt

License Number PLSM 2749

Title P.E., P.L.S.

Company Name Island Surveying, Inc.

Address 3152 Northside Drive

City Key West

State FL ZIP Code 33040

Signature

Date 8/28/13

Telephone 305-293-0466

IMPORTANT: In these spaces, copy the corresponding information from Section A.		FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 313 Duval Street, Retail Shop		Policy Number
City Key West	State FL	ZIP Code 33040
		Company NAIC Number

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments A5. Lat. and Long. obtained using hand held G.P.S.

Signature

Date 8/28/13

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).

a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
 b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.

E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8–9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.

E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner's or Owner's Authorized Representative's Name

Address	City	State	ZIP Code
---------	------	-------	----------

Signature	Date	Telephone
-----------	------	-----------

Comments	<input checked="" type="checkbox"/> Check here if attachments.
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SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)

G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.

G3. The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
-------------------	------------------------	---

G7. This permit has been issued for:	<input type="checkbox"/> New Construction	<input type="checkbox"/> Substantial Improvement	
--------------------------------------	---	--	--

G8. Elevation of as-built lowest floor (including basement) of the building:	_____	<input type="checkbox"/> feet	<input type="checkbox"/> meters	Datum _____
--	-------	-------------------------------	---------------------------------	-------------

G9. BFE or (in Zone AO) depth of flooding at the building site:	_____	<input type="checkbox"/> feet	<input type="checkbox"/> meters	Datum _____
---	-------	-------------------------------	---------------------------------	-------------

G10. Community's design flood elevation:	_____	<input type="checkbox"/> feet	<input type="checkbox"/> meters	Datum _____
--	-------	-------------------------------	---------------------------------	-------------

Local Official's Name	Title
-----------------------	-------

Community Name	Telephone
----------------	-----------

Signature	Date
-----------	------

Comments	<input checked="" type="checkbox"/> Check here if attachments.
----------	--

Building Photographs

See Instructions for Item A6.

IMPORTANT: In these spaces, copy the corresponding information from Section A.**FOR INSURANCE COMPANY USE**Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
313 Duval Street, Retail Shop

Policy Number

City Key West

State FL

ZIP Code 33040

Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Front View (8/27/13)



Rear View (8/27/13)

Building Photographs

Continuation Page

IMPORTANT: In these spaces, copy the corresponding information from Section A.**FOR INSURANCE COMPANY USE**

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.	Policy Number.	
City	State	ZIP Code

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

Property Appraiser Information



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
 Marathon (305) 289-2550
 Plantation Key (305) 852-7130

Property Record Card -

Maps are now launching the new map application version.

Alternate Key: **1004472** Parcel ID: **00004300-000000**

Website tested on IE8, IE9, & Firefox.
 Requires Adobe Flash 10.3 or higher

Ownership Details

Mailing Address:

CONCH SHELL PROPERTIES INC
 905 VON PHISTER ST
 KEY WEST, FL 33040

Property Details

PC Code: 21 - RESTAURANTS & CAFETERIAS

Millage Group: 10KW

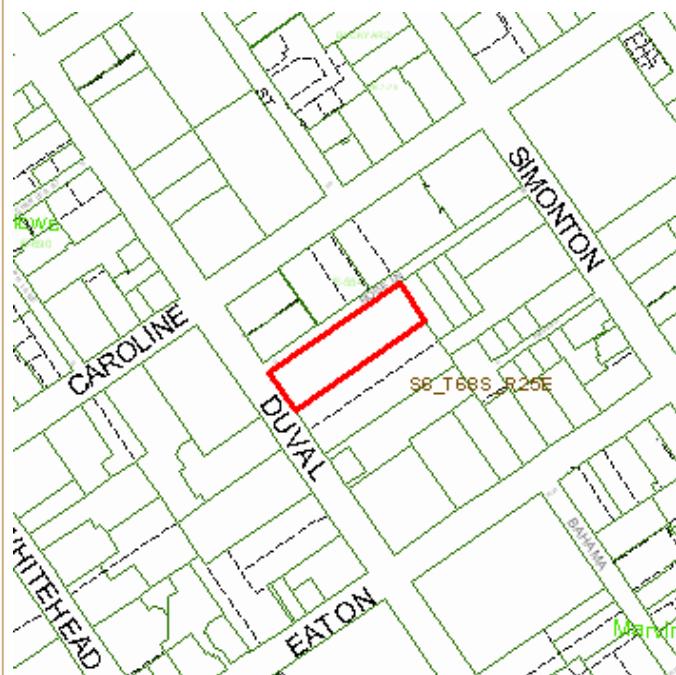
Affordable Housing: No

Section-Township-Range: 06-68-25

Property Location: 313 DUVAL ST KEY WEST

Legal Description: KW PT LOT 3 SQR 24 A5-132/4 OR920-834/35Q/C OR920-836/38 OR1004-635 OR1334-606(LG)

Click Map Image to open interactive viewer



Land Details

Land Use Code	Frontage	Depth	Land Area
100D - COMMERCIAL DRY	71	243	17,253.00 SF

Building Summary

Number of Buildings: 3
 Number of Commercial Buildings: 3
 Total Living Area: 11237
 Year Built: 1909

Building 1 Details

Building Type	Condition E	Quality Grade 450
Effective Age 20	Perimeter 630	Depreciation % 23
Year Built 1909	Special Arch 0	Grnd Floor Area 6,222
Functional Obs 0	Economic Obs 0	

Inclusions:

Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	0	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	31	Dishwasher	0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
0	PDO		1	1987					478
1	EFD		1	1987					2,697
2	FLA		1	1987					2,428
3	OPX		1	1987					269
5	OPU		1	1987					463
6	FLA		1	1987					2,329
7	OUU		1	1987					262

8	FLA	1	1987	1,465
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Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	1192	REST/CAFET-A-	100	Y	Y
	1196	REST/CAFET-A-	100	Y	Y
	1198	OFFICE BLD-1 STORY	100	Y	Y

Exterior Wall:

Interior Finish Nbr	Type	Area %
356	CUSTOM	100

Building 2 Details

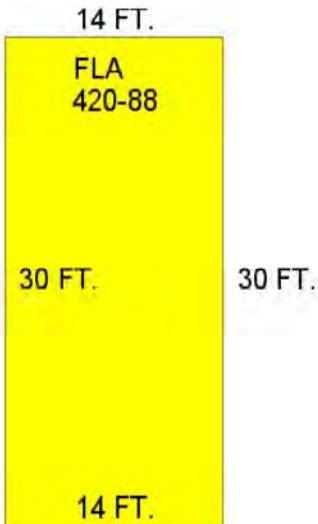
Building Type	Condition E	Quality Grade 350
Effective Age 20	Perimeter 88	Depreciation % 23
Year Built 1995	Special Arch 0	Grnd Floor Area 420
Functional Obs 0	Economic Obs 0	

Inclusions:

Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	2	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	4	Dishwasher	0

**Sections:**

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area

1 FLA

1

1996

420

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	1199	1 STY STORE-B	100	N	Y

Exterior Wall:

Interior Finish Nbr	Type	Area %
357	CUSTOM	100

Building 3 Details

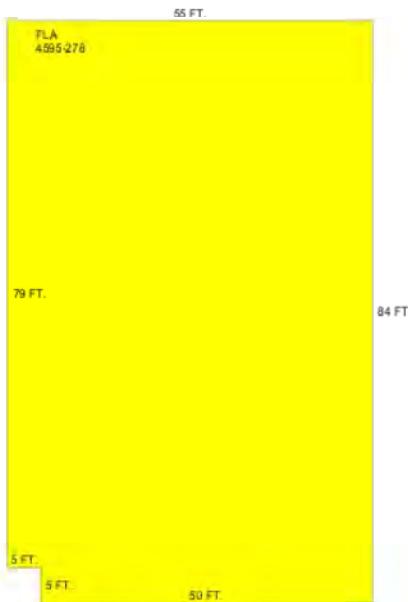
Building Type	Condition E	Quality Grade 400
Effective Age 18	Perimeter 278	Depreciation % 23
Year Built 1949	Special Arch 0	Grnd Floor Area 4,595
Functional Obs 0	Economic Obs 0	

Inclusions:

Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	0	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	15	Dishwasher	0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1987					4,595

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	1200	RESTRNT/CAFETR-B-	100	Y	Y

Exterior Wall:

Interior Finish Nbr	Type	Area %
358	C.B.S.	100

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	RW2:RETAINING WALL	276 SF	0	0	1949	1950	3	50
2	FN2:FENCES	72 SF	12	6	1994	1995	2	30
3	FN2:FENCES	336 SF	56	6	1994	1995	2	30
4	FN2:FENCES	51 SF	17	3	1994	1995	2	30
5	FN2:FENCES	312 SF	52	6	1994	1995	2	30
6	PT3:PATIO	1,288 SF	0	0	1994	1995	2	50
7	FN2:FENCES	234 SF	0	0	1995	1996	2	30
8	CL2:CH LINK FENCE	78 SF	13	6	1995	1996	1	30
9	PT3:PATIO	260 SF	0	0	1995	1996	2	50
10	PT3:PATIO	527 SF	31	17	1996	1997	2	50
11	FN2:FENCES	540 SF	90	6	1997	1998	2	30

Appraiser Notes

2003-06-12- BLDG #1 HARD ROCK CAFE BLDG #2 TEE SHIRT SHOP BLDG #3 ATTACHED TO REAR OF BLDG # 1 2003-06-11- ADDED FLA #8, 3RD STORY OFFICE. WMC 1995 DOR SALE PARCEL

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
1 08-2455	07/16/2008		1,500	Commercial	ROOFING
1 09-0811	03/27/2009		2,450	Commercial	INSTALL FOUR SQRS. OF TAPERED INSULATION & FOUR SQRS. OF BUILT UP ROOFING
1 08-4209	11/10/2008		19,900	Commercial	INSTALL WALK-IN FREEZER; INDOOR CONDENSOR ON EXISTING STAND ON ROOF EXISTING POWER.
1 08-3247	09/04/2008		13,100	Commercial	REPLACE T SPLIT A/C EQUIPMENT SEVEN TON.
1 09-1551	05/29/2009		9,000	Commercial	REPLACE 1327SF OF SIDING WITH 120LF OF TRIM ON FIRST AND SECOND FLOOR. REPLACE 9 2/2 WOOD WINDOWS TO MATCH EXISTING WINDOWS COVERED WITH COORUGATED STORM PANELS. REPLACE 200 SF OF LATTICE SKIRT.
1 08-4208	11/12/2008		3,500	Commercial	DEMO EXISTNG WALK IN FREEZER AND INSTALL NEW FREEZER BOX.
1 08-4210	11/12/2008		2,355	Commercial	RUN POWER TO NEW WALK-IN FREEZER.
1 07-5481	12/20/2007		13,000		REPLACE 500SF OF DROP CEILING, TILE AND GROUT IN KITCHEN AREA, SAND AND REFINISH 625SF OF WOOD FLOOR IN LOWER DINING AREA, SAND AND REFINISH BAR TOPS. INSTALL 300SF OF 1X4 T&G DECKING ON SECOND FLOOR BALCONY.
1 08-4528	12/16/2008		19,900	Commercial	REMOVE AND REPLACE SUB-FLOOR AND TILE IN WAIT STATION AREA. EXCAVATE AROUND EXTERIOR OF CISTERN TO WATER PROOF. FURR WALLS AND CEILING IN CISTERN/STORAGE ROOM TO INSULATE. APPLY DURAROCK AND STUCCO FINISH.
1 13-1404	04/12/2013		15,000	Commercial	CHANGE OUT 20 TON A/C CONDENSOR ONLY.
1 B953562	10/01/1995	12/01/1995	130,000	Commercial	REMODEL REAR BUILDING

1	B953512	10/01/1995	12/01/1995	5,000	Commercial	DEMO INTERIOR
1	P953533	10/01/1995	12/01/1995	7,064	Commercial	PLUMBING
1	E953566	10/01/1995	12/01/1995	11,300	Commercial	RENOVATIONS/ALTERATIONS
1	M953579	10/01/1995	12/01/1995	33,000	Commercial	REPLACE 4/10-1/5 TON AC
1	E953648	10/01/1995	12/01/1995	4,000	Commercial	100 KW GENERATOR
1	E953887	11/01/1995	12/01/1995	2,100	Commercial	ELECTRIC SERVICES
1	B954283	12/01/1995	09/01/1996	1,650	Commercial	AWNNGS
1	95-0176	12/01/1995	09/01/1996	10,000	Commercial	RENOVATIONS
1	96-2144	05/01/1996	09/01/1996	25,000	Commercial	DEMO OF BLDG
1	96-2176	05/01/1996	09/01/1996	5,000	Commercial	RENOVATIONS
1	96-2462	06/01/1996	09/01/1996	20,000	Commercial	RENOVATIONS
1	96-2702	07/01/1996	09/01/1996	30,000	Commercial	RENOVATIONS
1	96-2996	07/01/1996	09/01/1996	1,000	Commercial	FENCE
1	9602939	07/01/1996	09/01/1996	810,000	Commercial	RENOVATONS
1	9603273	08/01/1996	09/01/1996	5,000	Commercial	PLUMBING
1	9603307	08/01/1996	09/01/1996	70,000	Commercial	PLUMBING
1	9603316	08/01/1996	09/01/1996	153,000	Commercial	ELECTRICAL
1	9603324	08/01/1996	09/01/1996	14,285	Commercial	FIRE ALARM
1	9603328	08/01/1996	09/01/1996	160,000	Commercial	MECHANICAL
1	9603355	08/01/1996	09/01/1996	5,935	Commercial	FIRE ALARM
1	9603404	08/01/1996	09/01/1996	2,500	Commercial	SIGN
1	9603430	08/01/1996	09/01/1996	17,163	Commercial	MECHANICAL
1	96-3461	08/01/1996	09/01/1996	2,300	Commercial	MECHANICAL
1	96-3489	08/01/1996	09/01/1996	15,000	Commercial	ELECTRICAL
1	96-3539	08/01/1996	09/01/1996	3,000	Commercial	MECHANICAL
1	97-0866	03/01/1997	07/01/1997	900	Commercial	PAINTING
1	97-1403	05/01/1997	07/01/1997	3,000	Commercial	SLAB FOR TRASH COMPACTOR
1	97-4358	12/31/1997	01/01/1999	10,500	Commercial	INSTALL SWITCH & GENERATO
1	98-0217	01/27/1998	01/01/1999	3,000	Commercial	INSTALL DIESAL TANK
1	97-0866	06/29/1998	01/01/1999	900	Commercial	REPAINT DECK
1	98-2089	07/07/1998	01/01/1999	6,000	Commercial	WHITE PICKET FENCE
1	00-0382	02/14/2000	11/01/2000	43,027	Commercial	NEW ROOF
1	00-2259	08/18/2000	11/01/2000	39,000	Commercial	PAINT OUTSIDE
1	04-0558	03/11/2004	10/04/2004	2,400	Commercial	INSTALL DRAINS
1	07-5481	12/20/2007		13,000	Commercial	REPLACE 500 SF OF DROP CEILING, TILE & GRID IN KITCHEN AREA, SAND & REFINISH 625 SF, INSTALL APPROX. 300 SF OF 1X4 T&G DECKING SECOND FLOOR
1	05-2805	07/06/2005	12/31/2005	2,000	Commercial	INSTALL ELECTRIC FOR C.U.'S
1	05-3151	07/28/2005	12/31/2005	8,000	Commercial	REPLACE EXISTING 20 TON C/U WITH EQUAL PER HARC
1	06-6363	11/28/2006	03/08/2007	42,000	Commercial	REPLACE 4 A/C UNITS 10 TON

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2013	1,566,494	14,264	1,964,772	3,545,530	3,545,530	0	3,545,530

2012	1,595,880	14,772	1,964,772	3,575,424	3,575,424	0	3,575,424
2011	1,595,880	15,316	1,964,772	3,575,968	3,575,968	0	3,575,968
2010	1,664,258	15,814	1,998,415	3,678,487	3,678,487	0	3,678,487
2009	1,664,258	16,323	2,555,523	4,236,104	4,236,104	0	4,236,104
2008	1,690,253	16,865	2,691,468	4,760,564	4,760,564	0	4,760,564
2007	1,221,832	17,355	2,691,468	4,760,564	4,760,564	0	4,760,564
2006	1,346,657	17,863	1,552,770	4,760,564	4,760,564	0	4,760,564
2005	1,372,264	18,406	1,293,975	4,560,564	4,560,564	0	4,560,564
2004	1,382,498	18,903	1,086,939	4,560,564	4,560,564	0	4,560,564
2003	1,382,498	19,412	1,069,686	4,560,564	4,560,564	0	4,560,564
2002	1,210,176	19,955	1,069,686	4,343,394	4,343,394	0	4,343,394
2001	1,210,176	20,455	1,069,686	4,343,394	4,343,394	0	4,343,394
2000	1,254,847	6,803	897,156	4,343,394	4,343,394	0	4,343,394
1999	1,386,178	6,986	897,156	4,343,394	4,343,394	0	4,343,394
1998	924,218	6,451	897,156	1,970,016	1,970,016	0	1,970,016
1997	924,218	5,281	862,650	1,970,016	1,970,016	0	1,970,016
1996	827,103	4,383	862,650	1,326,392	1,326,392	0	1,326,392
1995	344,572	0	862,650	1,326,392	1,326,392	0	1,326,392
1994	372,633	0	862,650	1,256,582	1,256,582	0	1,256,582
1993	372,633	0	862,650	1,235,283	1,235,283	0	1,235,283
1992	372,633	0	862,650	1,235,283	1,235,283	0	1,235,283
1991	372,633	0	862,650	1,235,283	1,235,283	0	1,235,283
1990	329,114	0	694,433	1,023,547	1,023,547	0	1,023,547
1989	317,942	0	690,120	1,008,062	1,008,062	0	1,008,062
1988	294,685	0	552,096	846,781	846,781	0	846,781
1987	325,913	0	317,024	642,937	642,937	0	642,937
1986	327,136	0	310,554	637,690	637,690	0	637,690
1985	321,410	0	186,332	507,742	507,742	0	507,742
1984	317,843	0	186,332	504,175	504,175	423,507	80,668
1983	317,843	0	120,771	438,614	438,614	368,435	70,179
1982	232,196	0	109,556	341,752	341,752	269,984	71,768

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
12/1/1994	1334 / 0606	1,100,000	WD	U
3/1/1987	1004 / 635	750,000	WD	U
8/1/1984	920 / 836	475,000	WD	Q

This page has been visited 2,613 times.

Monroe County Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176

Public Notices

(radius map & mailing list)

Public Meeting Notice

The Key West Planning Board will hold a public hearing at 6:00 p.m., January 16, 2014 at Old City Hall, 510 Greene Street, Key West, Florida, (Behind Sloppy Joe's Bar). The purpose of the hearing will be to consider a request for:

Parking Variance – 313 Duval Street (RE# 00004300-000000; AK# 1004472) – A request for a variance the minimum parking space requirement in order to convert an existing retail area to a new bar service area for an existing restaurant on property located within the Duval Street Gulf side (HRCC-1) Zoning District pursuant to Section 108-572 of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3720 or visit our website at www.keywestcity.com.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL AFTER PLANNING BOARD DETERMINATION

YOU ARE WITHIN 300 FEET OF THE SUBJECT PROPERTY

The City of Key West Planning Board will be holding a Public Hearing:

Request: **Parking Variance – 313 Duval Street (RE# 00004300-000000; AK# 1004472)** – A request for a variance the minimum parking space requirement in order to convert an existing retail area to a new bar service area for an existing restaurant on property located within the Duval Street Gulf side (HRCC-1) Zoning District pursuant to Section 108-572 of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

Applicant/Owner: **Rick Sconyers, Hard Rock Cafe**

Project Location: 313 Duval

Date of Hearing: Thursday, January 16, 2014

Time of Hearing: 6:00 PM

Location of Hearing: Old City Hall, 510 Greene
City Commission Chambers

Interested parties may appear at the public hearing(s) and be heard with respect to the applications. Packets can be viewed online at www.keywestcity.com. Click on City Board & Committee Agendas. A copy of the corresponding application is available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm.

Please provide written comments to the Planning Department, PO Box 1409, Key West, FL 33041-1409 , by FAX (305) 809-3978 or by email to Stacy L. Gibson at sgibson@keywestcity.com.

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Planning Commission or the City Commission with respect to any matter considered at such hearing or meeting, one will need a record of the proceedings and for such purpose that person may need to ensure that a verbatim record of the proceedings is made; such record includes the testimony and evidence upon which the appeal is to be based.

ADA Assistance: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 305-809-1000 or the ADA Coordinator at 305-809-3951 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

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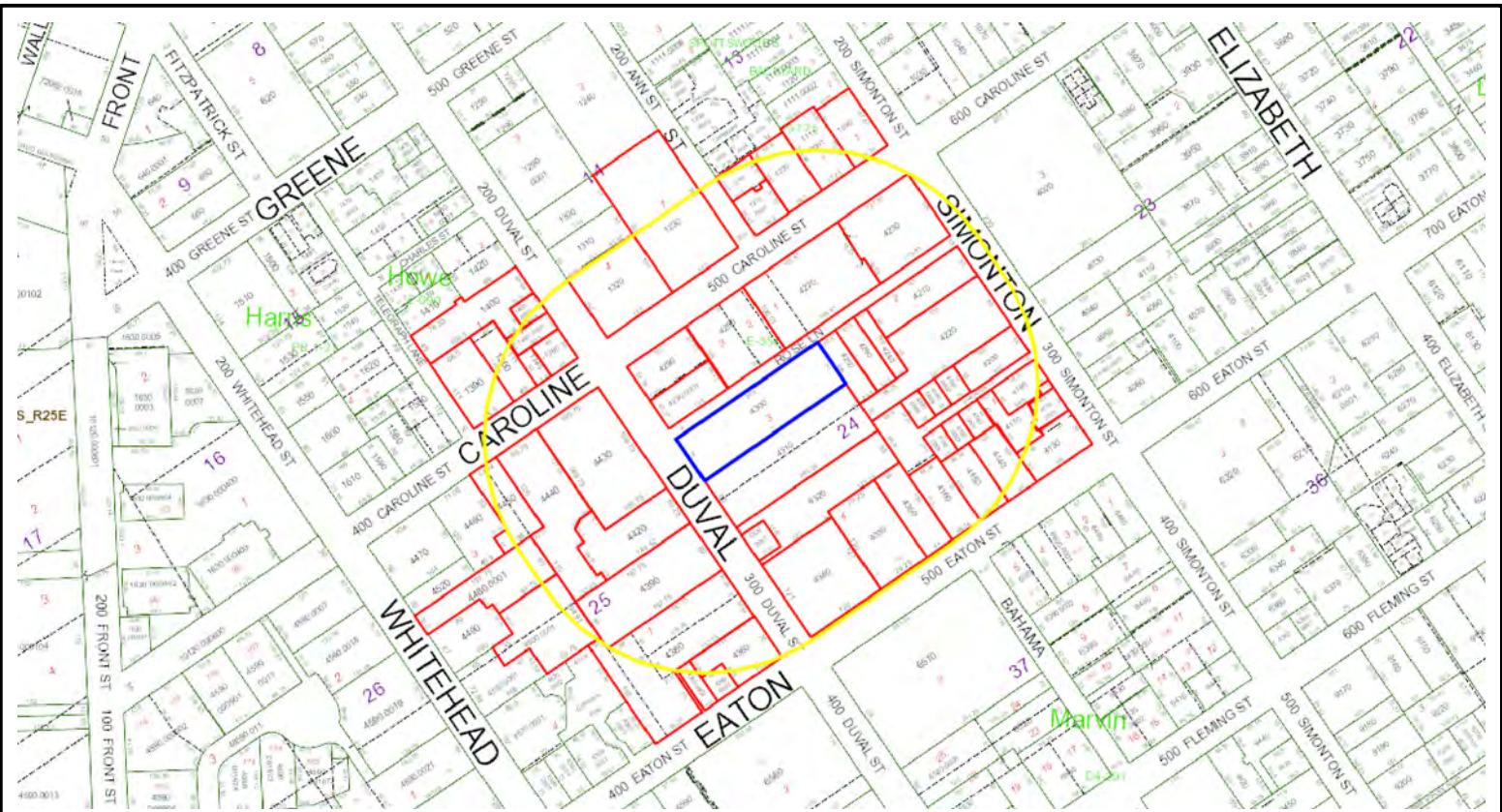
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Interested parties may appear at the public hearing(s) and be heard with respect to the applications. Packets can be viewed online at www.keywestcity.com. Click on City Board & Committee Agendas. A copy of the corresponding application is available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm.

Please provide written comments to the Planning Department, PO Box 1409, Key West, FL 33041-1409 , by FAX (305) 809-3978 or by email to Stacy L. Gibson at sgibson@keywestcity.com.

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Planning Commission or the City Commission with respect to any matter considered at such hearing or meeting, one will need a record of the proceedings and for such purpose that person may need to ensure that a verbatim record of the proceedings is made; such record includes the testimony and evidence upon which the appeal is to be based.

ADA Assistance: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 305-809-1000 or the ADA Coordinator at 305-809-3951 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.



Monroe County, Florida

Printed:Dec 27, 2013

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DISCLAIMER: The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.



NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
CENTER COURT - HISTORIC INN & COTTAGES LC	1402 NEWTON ST		KEY WEST	FL	33040-7028	
KEHOE GERALD F AND ELIZABETH J	66 BAY DR		KEY WEST	FL	33040-6115	
TIKAL REAL ESTATE HOLDING II LLC	PO BOX 1778		KEY WEST	FL	33041-1778	
STUART DAVID SULLINS III TRUST 05/06/2009	3756 LAKE ST		FORT MYERS	FL	33901-7935	
ALCOBER ELDA	380 MOUNTAIN RD APT 812		UNION CITY	NJ	07087-7305	
MENDOLA CHARLES AND BIQUETTE	2601 S ROOSEVELT BLVD APT 210A		KEY WEST	FL	33040-5115	
HEPBURN EMILY B ESTATE	821 SHAVERS LN		KEY WEST	FL	33040-7415	
WHALEN BERNARD	2050 CHEROKEE RD		MACOMB	IL	61455-7702	
SAINT PETER'S EPISCOPAL CHURCH OF KW FL INC	800 CENTER ST		KEY WEST	FL	33040-7435	
KAMRADT RICHARD	2049 CENTURY PARK E STE 3600		LOS ANGELES	CA	90067-3210	
MARTINS ON DUVAL LLC	917 DUVAL ST		KEY WEST	FL	33040-7407	
TEETS JOHN AMD AND REINST TRUST 01/2/2008 T/C	827 CENTER ST		KEY WEST	FL	33040-7434	
911 CENTER STREET LLC	223 ROCKY HILL RD		PLYMOUTH	MA	02360-5517	
913 DUVAL ST LLC	913 DUVAL ST		KEY WEST	FL	33040-7407	
COWARD NANCY REVOCABLE TRUST	1316 LAIRD ST		KEY WEST	FL	33040	
TYNES KENNETH L	13312 ARCTURUS AVE		GARDENA	CA	90249-1624	
LORDITCH JOSEPH L REVOCABLE TRUST 9/21/2012	PO BOX 1872		KEY WEST	FL	33041-1872	
MCMILLIN KAY ANN	1007 VONPHISTER ST		KEY WEST	FL	33040-4829	
CLARK ARTHUR ROY AND FRANKIE MAE	821 CENTER ST		KEY WEST	FL	33040-7434	
BEAVER DENNIS A LIVING TRUST 6/6/2003	1207 WHITEHEAD ST		KEY WEST	FL	33040-7526	
CLEMENS KAREN	225 PETRONIA ST		KEY WEST	FL	33040-7373	
JACKSON JERRY J	513 OLIVIA ST		KEY WEST	FL	33040-7438	
TODD ROBERT A AND MARY JANE	1304 ELIZA ST		KEY WEST	FL	33040-3424	
DION RENTAL PROPERTIES LLC	PO BOX 1209		KEY WEST	FL	33041-1209	
511 OLIVIA STREET LLC	517 TRUMAN AVE		KEY WEST	FL	33040-3173	
824 KW LLC	PO BOX 21182		SARASOTA	FL	34276-4182	
ORTEGA EVELYN A LIV TR 10/30/2008	1418 ROSE ST		KEY WEST	FL	33040-5037	
GEORGIA/CAROLINA I AND D LLC	1215 VARELA ST		KEY WEST	FL	33040-3313	
COWARD THOMAS REV TRUST 5/19/2000	1316 LAIRD ST		KEY WEST	FL	33040-5047	
CONCH INVESTORS III LLC	12178 4TH ST		RANCHO CUCAM CA	CA	91730-6127	
KEY WEST HOSPITALITY INS LLC	913 DUVAL ST		KEY WEST	FL	33040-7407	
BAUMLER THOMAS AND MARUEEN	19856 E UNION DR		CENTENNIAL	CO	80015-3490	
MATHIES DELORES ESTATE	522 OLIVIA ST		KEY WEST	FL	33040-7471	
EDGAR LLC	816 DUVAL ST		KEY WEST	FL	33040-7406	

NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
APPEL MILTON LLC	6844 BELMONT SHORE DR		DELRAY BEACH	FL	33446-5658	
LAWSON LESTER AND HERTISCINE FAMILY TR	2731 WRIGHT AVE		PINOLE	CA	94564-1075	
CONDON LINDA KIEL	817 CENTER ST		KEY WEST	FL	33040-7434	
KNOWLES PATRICIA A AND STEVE JR	813 SHAVERS LN		KEY WEST	FL	33040-7415	
DIXON CHARLES AND CLEARE GEORGE	256 AUMOE RD		KAILUA	HI	96734-3444	
NEWMAN-MARINE KEY WEST LLC	3408 N WASHINGTON RD		FORT WAYNE	IN	46802-4905	
NESS STEVEN ELLIOTT	524 OLIVIA ST		KEY WEST	FL	33040-7471	
903 DUVAL LLC	PO BOX 1486		KEY WEST	FL	33041-1486	
OCEAN BLUE COMMERCIAL HOLDINGS	824 DUVAL ST		KEY WEST	FL	33040-7406	
CABANAS GEORGE	904 SIMONTON ST		KEY WEST	FL	33040-7448	
901 DUVAL STREET INC	301 LINCOLN RD		MIAMI BEACH	FL	33139-3102	
801 BOURBON INC	728 DUVAL ST		KEY WEST	FL	33040-7400	
CABANAS GEORGE JR	526 OLIVIA ST		KEY WEST	FL	33040-7471	
S AND P MANAGEMENT INC	420 OLIVIA ST		KEY WEST	FL	33040-7411	
MYAING RAMON T AND MARTHA E	20315 ROSETHORN AVE		GAITHERSBURG	MD	20882	
ORTEGA EVELYN A LIV TR 10/30/08	1418 ROSE ST		KEY WEST	FL	33040-5037	
CLARKE OSSIE MAE	416 OLIVIA ST		KEY WEST	FL	33040-7411	
GARCIA GREGORIO AND ISABEL	820 SIMONTON ST		KEY WEST	FL	33040-7446	
FLUKERS CERETTA ESTATE	917 CENTER ST		KEY WEST	FL	33040-7436	
907 WHITEHEAD STREET CORP	907 WHITEHEAD ST		KEY WEST	FL	33040-7473	
ELLIOTT URSULA WELTERS	222 EANES LN		KEY WEST	FL	33040-7409	
MALSIN ELAINE 2006 REV TRUST 09/18/2006	522 PETRONIA ST		KEY WEST	FL	33040-7466	
GARCIA MANUEL E AND ANITA	30 EVERGREEN AVE		KEY WEST	FL	33040-6244	
SEPULVEDA ZAIRA	PO BOX 1614		KEY WEST	FL	33041-1614	
CLARKE CAMILLA	11215 SW 138TH ST		MIAMI	FL	33176-6420	
CABANAS JUANITA C	1111 SUNSET RD		MIAMI	FL	33143-6021	
GARDNER PAUL W AND DIANA L	126 SPOONBILL POINT CT		ST AUGUSTINE	FL	32080-5393	
CENTER COURT HISTORIC INN AND COTTAGES LC	915 CENTER ST		KEY WEST	FL	33040-7436	
WOO PATRICIA ERNST REV LIV TRUST AMD 02/27/09	1919 HICKORY ST		SAINT LOUIS	MO	63104-2931	
BANSHEE LLC	915 DUVAL ST		KEY WEST	FL	33040-7407	
O'NEIL BRIAN S AND SUZANNE	PO BOX 199		TAVERNIER	FL	33070-0199	
MAISON SUR DUVAL CONDOMINIUM	824-826 DUVAL ST		KEY WEST	FL	33040	
PLA STEPHEN E ESTATE	415 OLIVIA ST		KEY WEST	FL	33040-7410	
SAWYER ELVIRA V	818 SHAVERS LN		KEY WEST	FL	33040-7416	