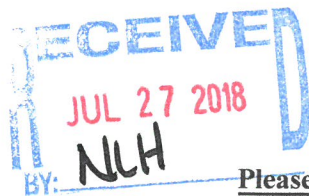
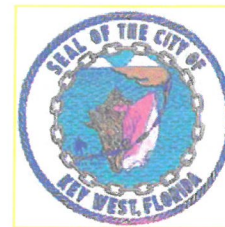


Application

VARIANCE APPLICATION INFORMATION SHEET

City of Key West Planning Department
PO Box 1409 Key West, FL 33041-1409
(305) 809-3720



Please read the following carefully before filling out the application

This application and any required attachments should be submitted to the City Planning Department at 1300 White Street. It is preferable to make an appointment before the application is submitted to determine what variances are necessary and what fee applies.

Application Process

- After submittal, the application will be reviewed by the Development Review Committee (DRC). Additional modifications to the site plan may be necessary at that time.
- After the DRC process the applicant will be responsible for submitting a landscape approval letter from the Urban Forestry Program Manager and a Stormwater approval letter from the Director of Engineering.
- **When the application is determined to be complete**, it will be brought forth to the Planning Board. If the application is approved, there is a 10 day appeal period.
- After the 10 day appeal period, the application will be sent to the Department of Environmental Opportunity (DEO) for rendering. The rendering period is 45 days.

PLEASE NOTE:

- Owners and applicants are notified of their scheduled Planning Board hearing date.
- Attendance at the formal public hearing is mandatory.
- Notice of Public Meeting is published in the newspaper.
- Owners of property within 300 feet of the subject property or parcels are notified by mail.
- Notice of public hearing will be posted on the property and must be left up until after the hearing.

FEE SCHEDULE

Variations, any number of issues	\$1,000.00
All After-the-fact variances	\$2,000.00
Advertising and Noticing Fee	\$ 100.00
Fire Department Review Fee	\$ 50.00

Please include the following with this application:

1. A **copy of the most recent recorded** warranty deed with the Book and Page numbers from the office of the Clerk of Circuit Court for Monroe County containing a legal description of the subject parcel. The application forms must be signed by all owners listed on the deed. For business/corporate ownership, please attach authorization for name of executive authorized to make the application.
2. An application fee is determined according to the attached fee schedule. Make the check payable to the City of Key West and include the site address on the memo portion of the check. Be advised that upon review by the Planning Department, additional or fewer variances may be required necessitating a different fee. It is best to see a Planner before turning in the application.
3. A site plan or site plans (**plans MUST be signed and sealed by an Engineer or Architect**) of the subject site, indicating the following:
 - a. **Existing and proposed** lot coverage including buildings, pools, spas, driveways and other walkways, patios, porches, covered areas and decks.
 - b. Location and identification/names of existing trees of 3.5 inches diameter or greater on the property or extending over the proposed work (including access routes and stormwater areas). Please provide photos.
 - c. All proposed changes to what exists, including those which make the variance(s) necessary.
 - d. Lot dimensions on all drawings and the distance from all property lines of all existing and proposed structures.
 - e. Dimensions (**existing and proposed**) of all the items in (a) above, including the height and number of stories of the structure.
 - f. Parking spaces and dimensions (**existing and proposed**).
 - g. Easements or other encumbrances on the property.
4. One copy of the most recent survey of the property.
5. Elevation drawings of proposed structures, indicating finished height above established grade as measured from crown of road.
6. Floor Plans of **existing and proposed** development.
7. Stormwater management plan.
8. PDF or compatible electronic format of entire application on compact disk.

The attached Verification and Authorization Forms must be notarized. This can be done at City Hall or the Planning Department. Identification is required. An out-of-state notarization is acceptable, if necessary.

Make sure that the applicable application and authorization forms are signed by all people listed as owners on the recorded Warranty Deed.

Be advised that the City will not grant a variance unless the City Impact Fees of sewer and solid waste services are paid in full.

If you have any questions, please call the Planning Department. We will be happy to assist you in the application process.



Application For Variance

City of Key West, Florida • Planning Department

1300 White Street • Key West, Florida 33040 • 305-809-3720 • www.cityofkeywest-fl.gov

Application Fee: \$1,150.00 / After-the-Fact: \$2,150.00
(includes \$100.00 advertising/noticing fee and \$50.00 fire review fee)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3720.

PROPERTY DESCRIPTION:

Site Address: 1116 Packer Street

Zoning District: HMDR Real Estate (RE) #: 00031440-000100

Property located within the Historic District? Yes No

APPLICANT: Owner Authorized Representative

Name: T. Seth Neal

Mailing Address: 22972 Overseas Highway

City: Cudjoe Key State: FL Zip: 33042

Home/Mobile Phone: 251-422-9547 Office: 305-340-8857 Fax: _____

Email: sethneal@tsnarchitects.com

PROPERTY OWNER: (if different than above)

Name: Frances Belzer-Reid

Mailing Address: 15 Bluff Point Road

City: Northport State: NY Zip: 11768

Home/Mobile Phone: 516-526-2572 Office: _____ Fax: _____

Email: francesbreid@gmail.com

Description of Proposed Construction, Development, and Use: _____

Addition of a rear, covered porch

List and describe the specific variance(s) being requested: _____

Building coverage and side yard setback

Are there any easements, deed restrictions or other encumbrances attached to the property? Yes No

If yes, please describe and attach relevant documents: _____

City of Key West • Application for Variance

Will any work be within the dripline (canopy) of any tree on or off the property? Yes No
 If yes, provide date of landscape approval, and attach a copy of such approval.

Is this variance request for habitable space pursuant to Section 122-1078? Yes No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	HMDR			
Flood Zone	X			
Size of Site	2,953 s.f. / 4,000 s.f.			
Height	30'	EXISTING	EXISTING	NO
Front Setback	10'	6.2'	6.2'	NO
Side Setback / EAST	5'	3'-6 1/2"	3'-6 1/2"	YES / 1' 5 1/2"
Side Setback / WEST	5'	1.3'	1.3'	NO
Street Side Setback	NA			
Rear Setback	15'	39.325'	30.325'	NO
F.A.R				
Building Coverage	1,181 40%	1,239 / 42%	1,383 / 46.8%	VARIANCE 6.9%
Impervious Surface	1,772 60%	1,952 / 66%	1,912 / 64.7%	IMPROVEMENT
Parking	25 EX.	PROVIDED		
Handicap Parking	NA			
Bicycle Parking	NA			
Open Space/ Landscaping	1,034, 35%	1,002, 34%	1,041, 35%	CONFORMING
Number and type of units				
Consumption Area or Number of seats	NA.			

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at http://www.municode.com/Library/FL/Key_West under Subpart B.

*Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.

Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

Existing home footprint is over setback and in order to align with existing roof line and door placement, a variance is requested.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

Property recently purchased and conditions were not created by applicant.

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

No, this should not allow any special privileges

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

Without variance, the covered porch could not be designed to fit the homes' existing footprint.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

Yes, requesting minimum variance

Warranty Deed

Prepared by and return to:

Gregory S. Oropeza, Esq.
Attorney at Law
Oropeza Stones Cardenas, PLLC
221 Simonton Street
Key West, FL 33040
305-294-0252
File Number: 18-207
Consideration: \$1,575,000.00

06/14/2018 11:08AM
DEED DOC STAMP CL: Krys \$11,025.00

Doc# 2173460
Bk# 2911 Pg# 1721

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 31st day of May, 2018 between **Drew Bierman and Margaret Lord-Bierman, husband and wife** whose post office address is **1116 Packer Street, Key West, FL 33040**, grantor, and **Frances Belzer-Reid, a married woman** whose post office address is **15 Bluff Point Road, Northport, NY 11768**, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Monroe County, Florida** to-wit:

Parcel 1:

On the Island of Key West, Monroe County, Florida, and known as part of Square Four (4) of Tract Thirteen (13), according to G.G. Watson's Subdivision of a part of said Tract Thirteen (13), as recorded in Deed Book "I", Page Two Hundred and Nine (209), Public Records of Monroe County, Florida, and more particularly described as follows:

Commencing at the corner of Packer and Virginia Streets and run thence along the Southwesterly side of Packer Street in a Southeasterly direction a distance of 222.73 feet for a place or Point of Beginning; thence from said Point of Beginning run along Packer Street in a Southeasterly direction a distance of 28.07 feet to a point; thence Southwesterly at right angles 100 feet to a point; thence Northwesterly at right angles 24.23 feet to a point on a fence; thence Northeasterly with a deflection angle of 87°52'30" to the right and along said fence 100.06 feet to the point of beginning.

And also:

On the Island of Key West, Monroe County, Florida, and known as part of Square Four (4) of Tract Thirteen (13), according to G.G. Watson's Subdivision of a part of said Tract Thirteen (13), as recorded in Deed Book "I", Page Two Hundred and Nine (209), Public Records of Monroe County, Florida, and more particularly described as follows:

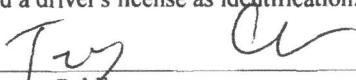
Commencing at the corner of Packer and Virginia Streets and run thence along the Southwesterly side of Packer Street in a Southeasterly direction a distance of 250.80 feet; thence Southwesterly at right angles 59 feet to the Point of Beginning of the Parcel herein described; thence continue Southwesterly 41 feet to a fence; thence Southeasterly at right angles along said fence 3.1 feet to a fence corner; thence Northeasterly at right angles along said fence 41 feet to a fence corner; thence Northwesterly along a fence 3.1 feet back to the Point of Beginning.

Parcel 2:

State of Florida
County of Monroe

The foregoing instrument was acknowledged before me this 31st day of May, 2018 by Drew Bierman and Margaret Lord-Bierman, who are personally known or have produced a driver's license as identification.

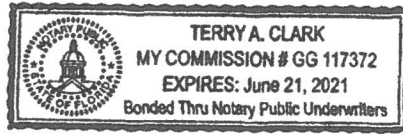
[Notary Seal]



Notary Public

Printed Name: Terry Clark

My Commission Expires: _____



MONROE COUNTY
OFFICIAL RECORDS

Verification Form

City of Key West
Planning Department



Verification Form

(Where Authorized Representative is an individual)

I, T. SETH NEAL, being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

1116 Packer Street Key West, FL 33040
Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

T. Seth Neal
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 14 September 2018 by

T. SETH NEAL
Name of Authorized Representative

He/She is personally known to me or has presented _____ as identification.

Natalie L. Hill
Notary's Signature and Seal

Natalie L. Hill
Name of Acknowledger typed, printed or stamped

GG 051262
Commission Number, if any



Authorization Form

City of Key West
Planning Department



Authorization Form
(Individual or Joint Owner)

Variance
App.

Please complete this form if someone other than the owner is representing the matter.

I, Frances Belzer-Reid
Please Print Name(s) of Owner(s) as appears on the deed

T. Beth Neal
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature] *Signature of Owner* _____ *Signature of Joint/Co-owner if applicable*

Subscribed and sworn to (or affirmed) before me on this 7/27/18
Date

by FRANCES BELZER-REID
Name of Owner

He/She is ~~personally known to me or~~ has presented DRIVER'S LICENSE as identification.

[Signature]
Notary's Signature and Seal



To Bennett
Name of Acknowledger typed, printed or stamped

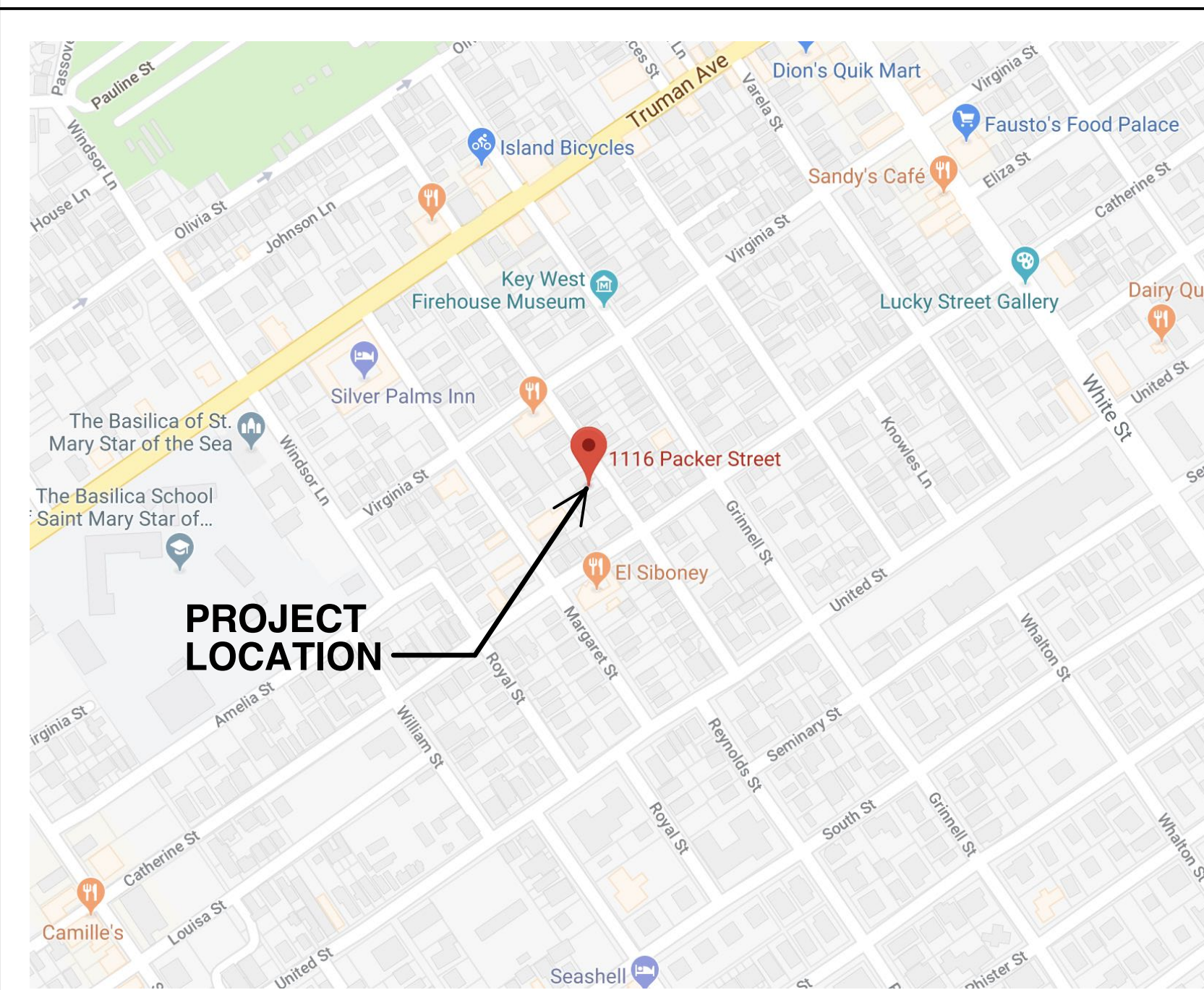
222256
Commission Number, if any

Site Plans

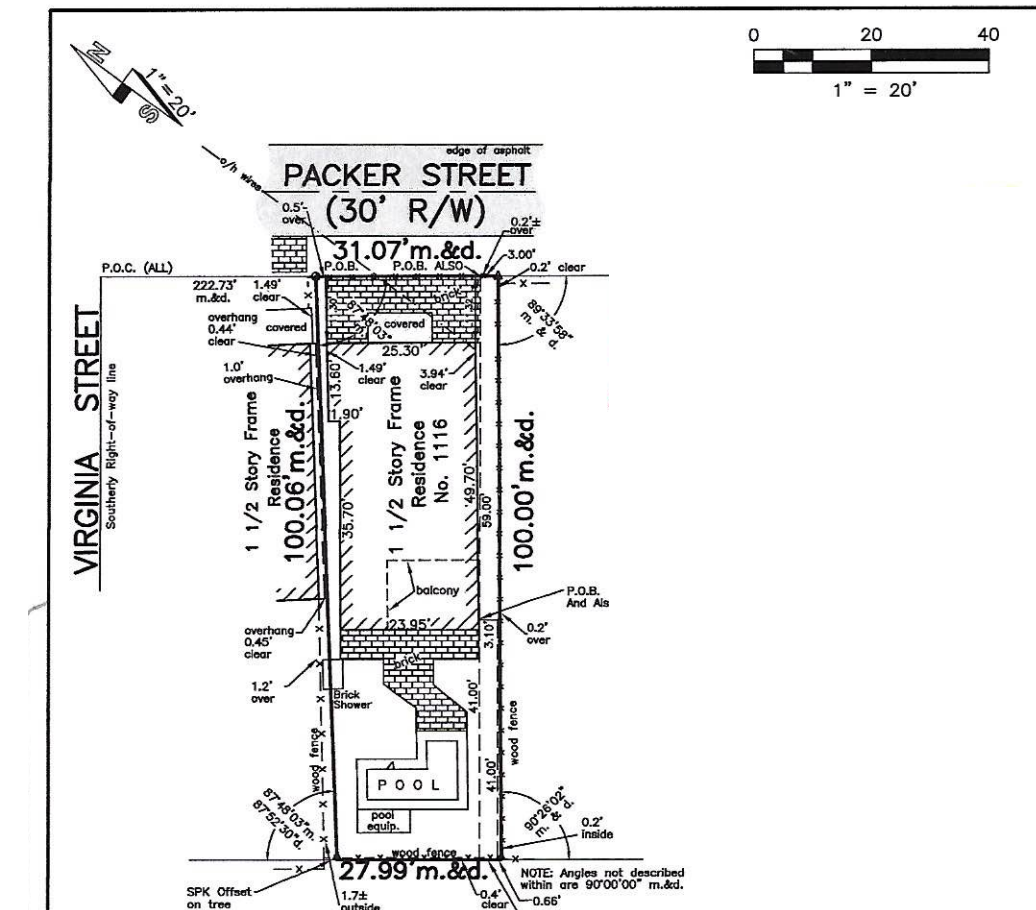
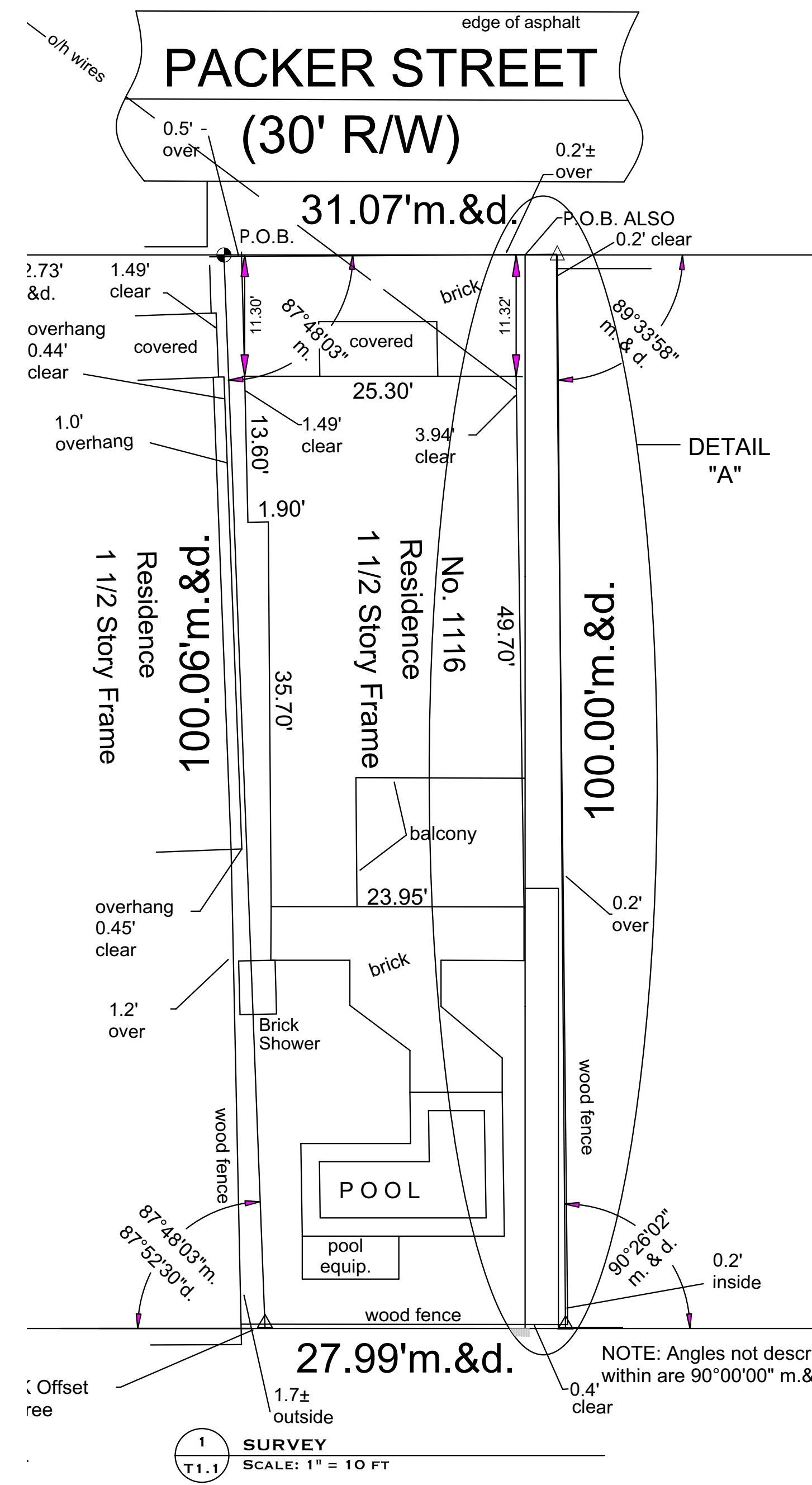
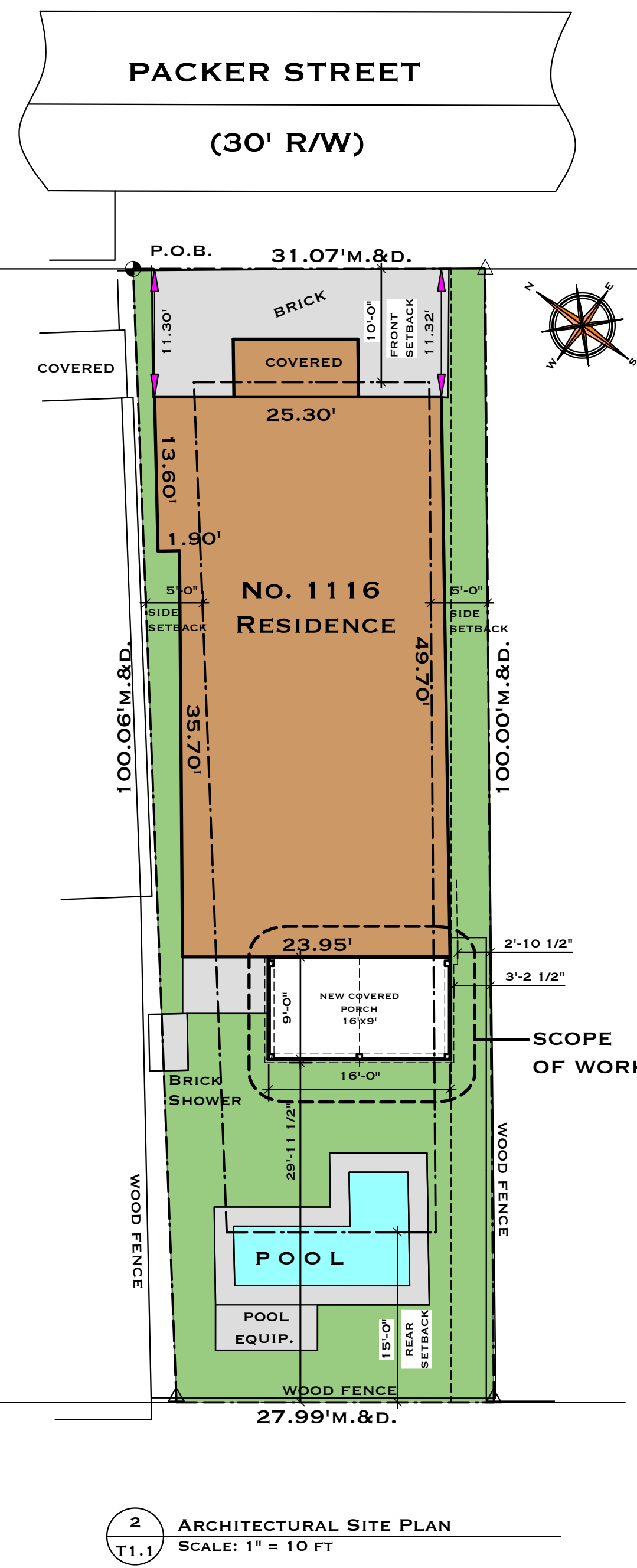
SITE DATA

ITEM	EXISTING	REQ. PER LDR	PROPOSED	REMARK
DISTRICT	HMDR	HMDR	HMDR	HISTORIC MEDIUM DENSITY RESIDENTIAL
SITE AREA	2,953 S.F.	4,000 SQ. FT.	EXISTING	EXISTING
LOT SIZE	31.07' TO 27.99' X 100'	40' X 90' (MIN)	31.07' TO 27.99' X 100'	EXISTING
IMPERVIOUS	2,020 (68.4%)	1,772 (60% MAX)	1,977 SF (66.9%)	IMPROVEMENT TO EXISTING
OPEN SPACE	934 SF (31.6%)	1,034 SF (35% MIN)	977 SF (33%)	IMPROVEMENT TO EXISTING
BUILDING COV.	1,347 SF (45.6%) ROOF OUTLINE	1,181 (40% MAX)	1,482 SF (50%) ROOF OUTLINE	VARIANCE REQUIRED
ACCESSORY STRUCTURE REAR YARD COV.	157 SF (37%)	423 SQ. FT. REAR YARD AREA, 127 SF	157 SF (37%)	NO CHANGE TO EXISTING
FRONT YARD 50% GREEN SPACE COV.	89 SF (29%)	309 SF (50% MIN) 155 SQ. FT.	89 SF (29%)	NO CHANGE TO EXISTING
SETBACKS				
WEST SIDE SETBACK	1.3'	5'	1.3'	NO CHANGE TO EXISTING
EAST SIDE SETBACK	2' - 10 1/2"	5'	3' - 2 1/2" EXISTING 1' - 9 1/2" VARIANCE	VARIANCE REQUIRED
REAR SETBACK	39.325'	15'	29' - 11 1/2"	CONFORMING
FRONT SETBACK	6.2'	10'	6.2'	NO CHANGE TO EXISTING
BUILDING HEIGHT	18' - 10" +/-	30'	NEW BACK PORCH	NO CHANGE TO EXISTING

SITE LOCATION MAP



PROJECT LOCATION



LEGEND

A/C	Air Conditioner	LB	Licensed Business
BA	Battery	M	Member
BM	Bench Mark	M.C.	Member of Council
CB	Center Line	O.D.	Original
CD	Center of Gravity	OT	Other
CL	Center Line	P	Point
COMP	Concrete	P.C.	Point of Commencement
CONC	Concrete	P.P.	Point of Beginning
COVD	Concrete	P.O.C.	Point of Commencement
D	Ditch	P.O.B.	Point of Beginning
ELEV	Elevation	R/W	Right of Way
F.L.	Finished Floor Elevation	S	Set
FR	Found	S&I	Set Iron Bar
FRS	Found Reinforcing Steel	S&P	Set Iron Pipe
FW	Found Wall	ST	Steel
IR	Iron	SW	Water Meter
IRI	Iron	WV	Water Valve
IRI	Iron	WV	Water Valve
P.E.	Pool Equipment		

LEGAL DESCRIPTION:
The following describes land situated, lying and being in the County of Monroe, State of Florida, to wit: On the Island of Key West, Monroe County, Florida, and known as part of Square Four (4) of Tract Thirteen (13), according to George C. Wilson's subdivision of a part of said Tract Thirteen (13) as recorded in Plat Book One (1), Page Two Hundred and Nine (209), Public Records of Monroe County, Florida, and more particularly described as follows: Commencing at the corner of Packer and Virginia Streets and run thence along the Southeastern side of Packer Street in a Southerly direction a distance of 222.13 feet to a fence thence Southeasternly at right angles 59 feet to the Point of Beginning of the parcel described; thence continue Southeasternly 41 feet to a fence thence Southeasternly at right angles along said fence 3.1 feet to a fence corner; thence Northeasternly at right angles along said fence 41 feet to a fence corner; thence Northeasternly along a fence 3.1 feet back to the Point of Beginning.

ALSO: On the Island of Key West, Monroe County, Florida, and known as part of Square Four (4) of Tract Thirteen (13), according to George C. Wilson's subdivision of a part of said Tract Thirteen (13) as recorded in Plat Book One (1), Page Two Hundred and Nine (209), Public Records of Monroe County, Florida, and more particularly described as follows: Commencing at the intersection of the Southeastern Right-of-Way line of Packer Street with the Southeastern Right-of-Way line of Virginia Street and run thence Southeasternly along the Southeastern Right-of-Way line of the said Packer for a distance of 222.13 feet to the Point of Beginning of the parcel herein described; thence Southeasternly at right angles for a distance of 41 feet; thence Southeasternly and at right angles for a distance of 3.10 feet; thence Southeasternly at right angles for a distance of 41 feet; thence Southeasternly at right angles for a distance of 0.86; thence Northeasternly with a deflection angle of 89°28'02" to the left for a distance of 100 feet to the Southeastern Right-of-Way line of the said Packer Street; thence Northeasternly with a deflection angle of 89°28'02" to the left and along the said Packer Street for a distance of 3.0 feet back to the Point of Beginning, Containing 211 square feet.

SURVEY PROVIDED BY OWNER

FEMA MAP FLOOD ZONE X



PROJECT LOCATION

GENERAL NOTES:

- DO NOT SCALE ANY DRAWING.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. LARGER SCALE DETAILS HAVE PRECEDENCE OVER SMALLER SCALE DETAILS. ANY DISCREPANCIES ARE TO BE REPORTED TO ARCHITECT PRIOR TO CONSTRUCTION.
- CONSULT THE ARCHITECT IN THE EVENT ANY ITEM OF WORK NECESSARY FOR THE PROPER COMPLETION OF THE PROJECT IS NOT SPECIFICALLY COVERED IN THE DRAWINGS.
- ALL WORK SHALL BE OF SUPERIOR QUALITY PERFORMED IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS. ALL BUILDING CODE REQUIREMENTS AND IN A PROFESSIONAL MANNER BY MECHANICS SKILLED AND LICENSED IN THEIR RESPECTIVE TRADES.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, ERECTED AND CONNECTED IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.
- ANY DISCREPANCIES BETWEEN DRAWINGS, LOCAL CODES, BUILDING INSPECTOR REQUIREMENTS AND/OR EXISTING CONDITIONS SHALL BE REFERRED TO THE ARCHITECT FOR RESOLUTION. ALL DIMENSIONS AND CONDITIONS OF EACH TRADE ARE TO BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION OR THE WORK OF EACH SPECIFIC TRADE.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF MUNICIPAL, LOCAL, FEDERAL AND STATE LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, AND CONVENTIONAL GUIDELINES, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
- ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE WORK SHALL BE REMOVED, REPLACED, AND RECTIFIED.
- ALL LEGALLY REQUIRED APPROVALS AND PERMITS NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE OBTAINED.
- ALL TIE-INS AND UTILITY SERVICES ARE TO BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANY.
- ALL CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO THE COMPLETION OF THE PROJECT.
- ALL EXISTING TREES, SHRUBS, VEGETATION, AND LANDSCAPE ELEMENTS OR FEATURES ADJACENT TO AND IN THE VICINITY OF THE BUILDING AND STAGING AREAS SHALL BE PROTECTED DURING THE ENTIRE PERIOD OF CONSTRUCTION.
- ANY REVISIONS MUST BE APPROVED BY: ARCHITECT PRIOR TO TO CONSTRUCTION.
- ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND ENGINEER. DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE FOR USE ON THIS PROJECT ONLY AND USE OR REPRODUCTION OF A PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S AND ENGINEER'S WRITTEN PERMISSION. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED AND SIGNED BY THE ARCHITECT/ENGINEER.

DRAWING SCHEDULE:

- T1.1 TITLE, INFORMATION, SURVEY, SITE DATA, & ARCHITECTURAL SITE PLAN**
- Ex1.1 EXISTING FLOOR PLANS & ELEVATIONS**
- A1.1 PROPOSED FLOOR PLAN AND ELEVATIONS**

SCOPE OF WORK:

A NEW COVERED PORCH AT REAR YARD.

T.S. NEAL ARCHITECTS INC.
22972 OVERSEAS HWY
CUDJOE KEY, FL 33042
305-340-8857
251-422-9547

A NEW REAR PORCH ADDITION FOR FRANCES BELZEL - REID 1116 PACKER STREET KEY WEST, FL 33040

DRAWING TITLE:
TITLE, INFORMATION, SURVEY, SITE DATA, & ARCHITECTURAL SITE PLAN

DRAWN: TSN
CHECKED: TSN
DATE: 07-25-2018

#1	09-10-2018
#2	09-12-2018

REVISION # DATE

T1.1 SHEET #

T S N
T. S. NEAL ARCHITECTS, INC.



A NEW REAR PORCH ADDITION
FOR
FRANCES BELZER - REID
1116 PACKER STREET
KEY WEST, F L 33040

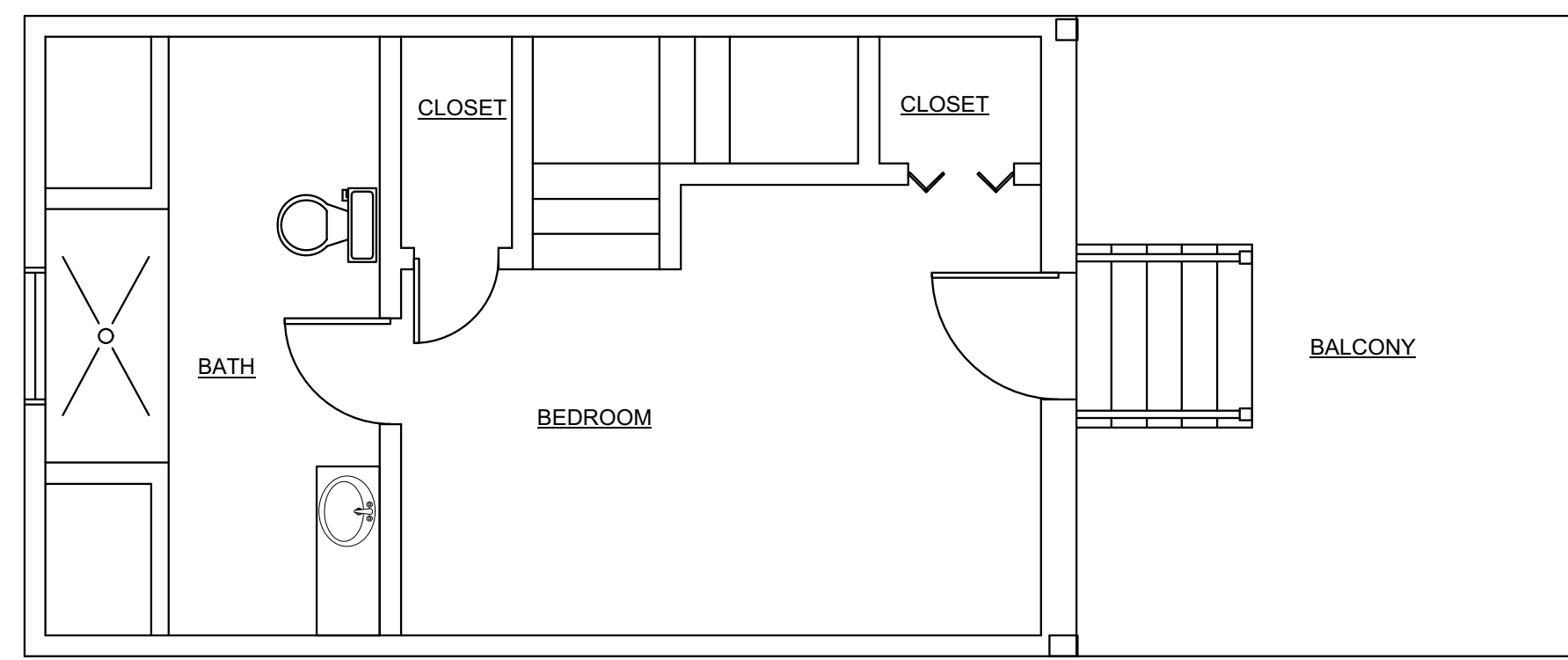
DRAWING TITLE:
PROPOSED FLOOR PLAN

DRAWN: TSN
 CHECKED: TSN
 DATE: 07-25-2018

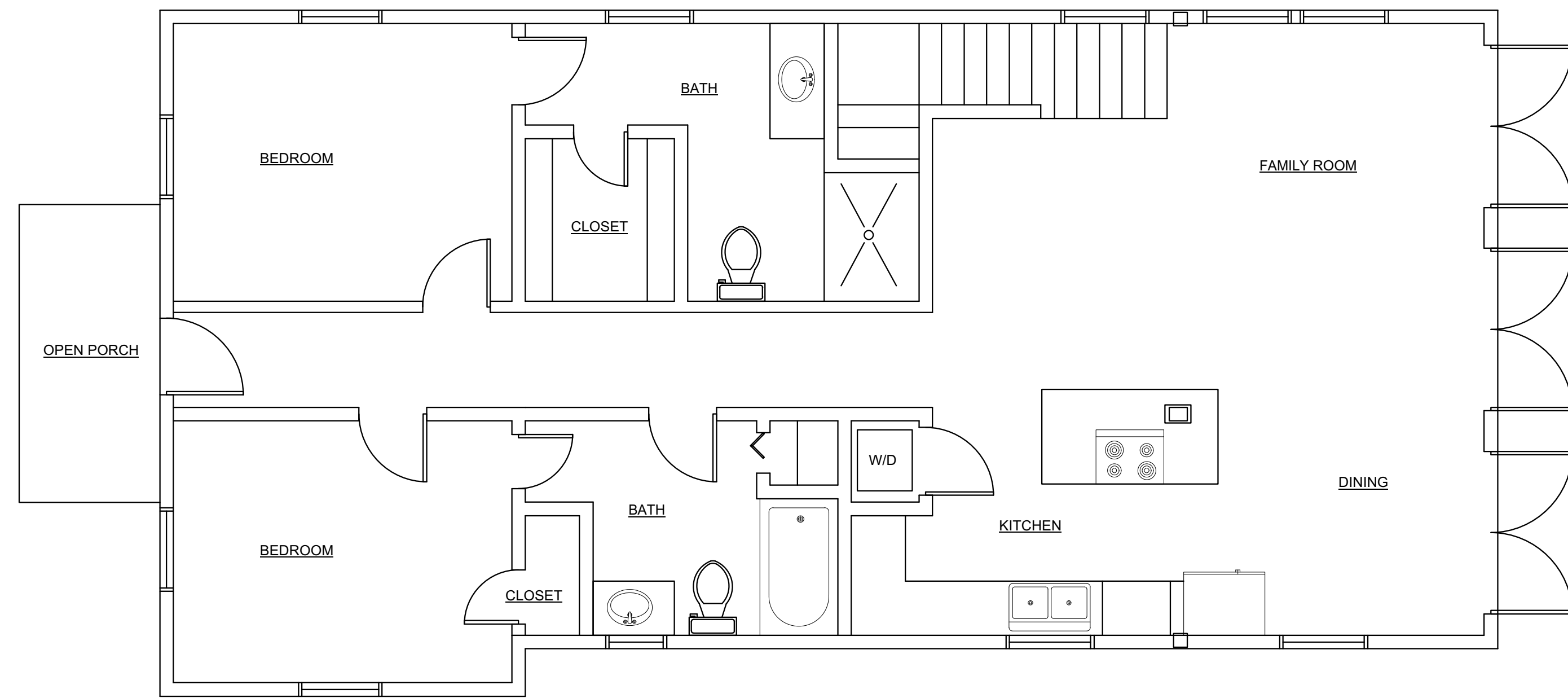
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#2	09-12-2018

REVISION #	DATE

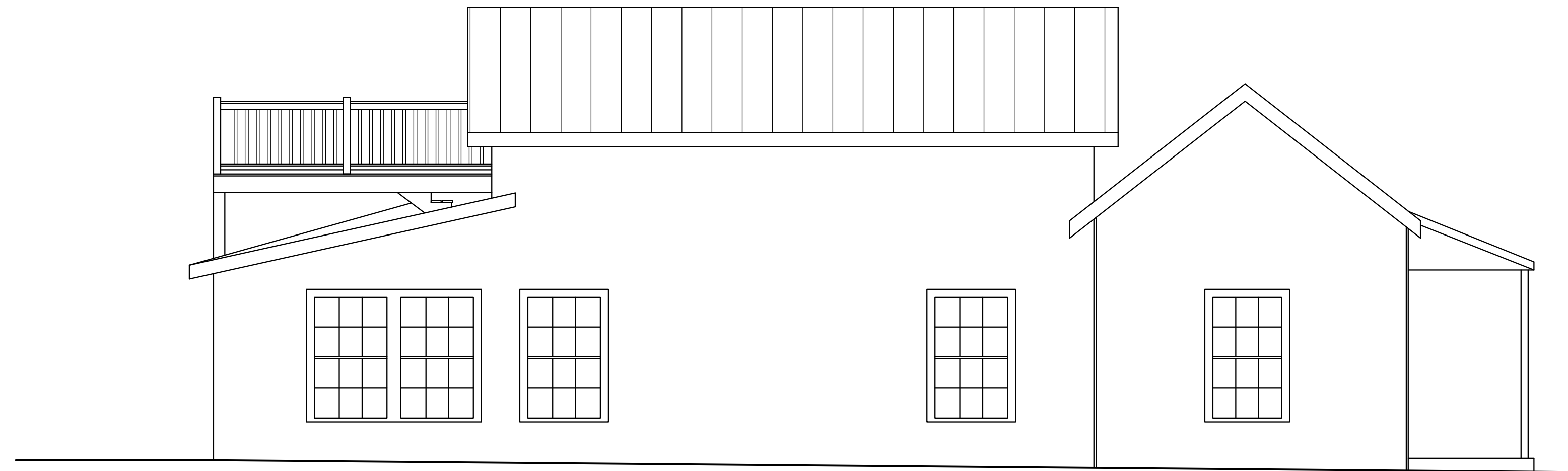
Ex1.1
 SHEET #



2 EXISTING SECOND FLOOR PLAN
 Ex1.1 SCALE: 1/4" = 1'-0"



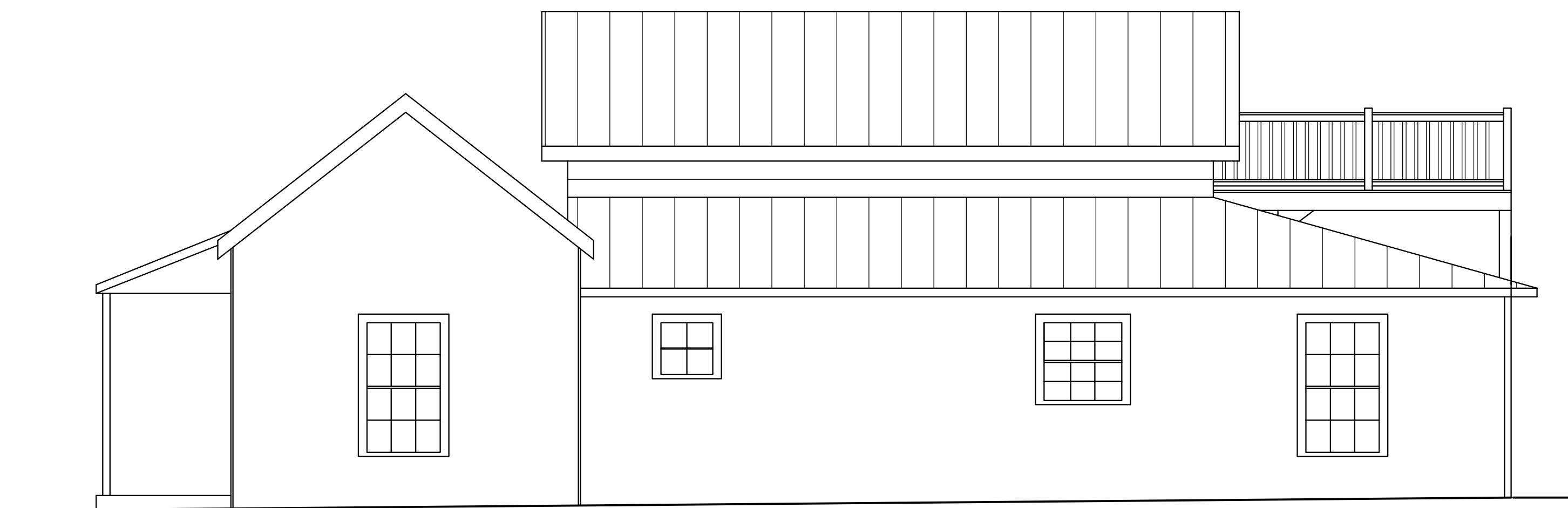
1 EXISTING FIRST FLOOR PLAN
 Ex1.1 SCALE: 1/4" = 1'-0"



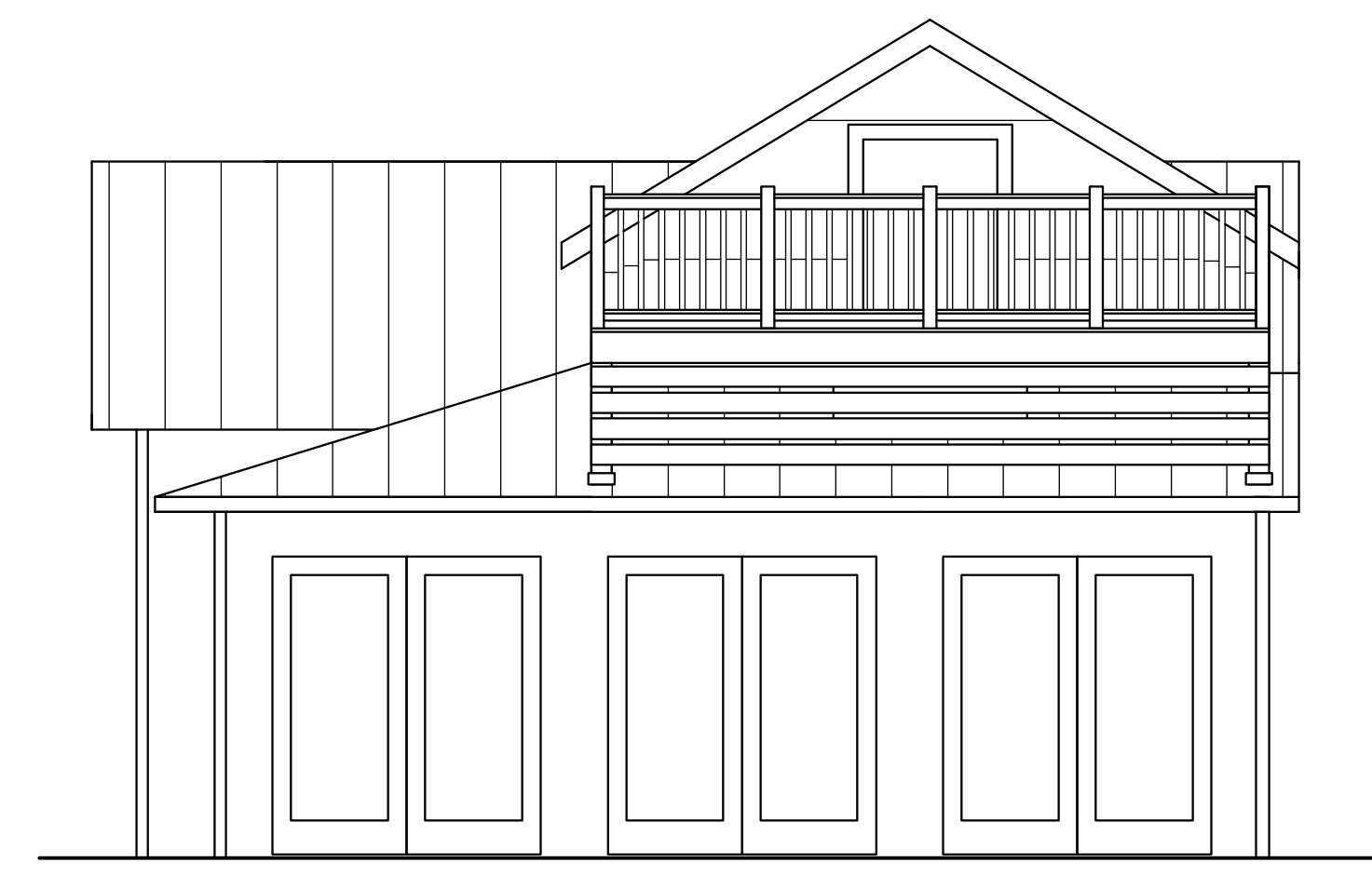
4 EXISTING SIDE ELEVATION
 Ex1.1 SCALE: 1/4" = 1'-0"



3 EXISTING STREET ELEVATION
 Ex1.1 SCALE: 1/4" = 1'-0"



6 EXISTING SIDE ELEVATION
 Ex1.1 SCALE: 1/4" = 1'-0"



5 EXISTING REAR ELEVATION
 Ex1.1 SCALE: 1/4" = 1'-0"

A NEW REAR PORCH ADDITION
 FOR
FRANCES BELZER - REID
 1116 PACKER STREET
 KEY WEST, FL 33040

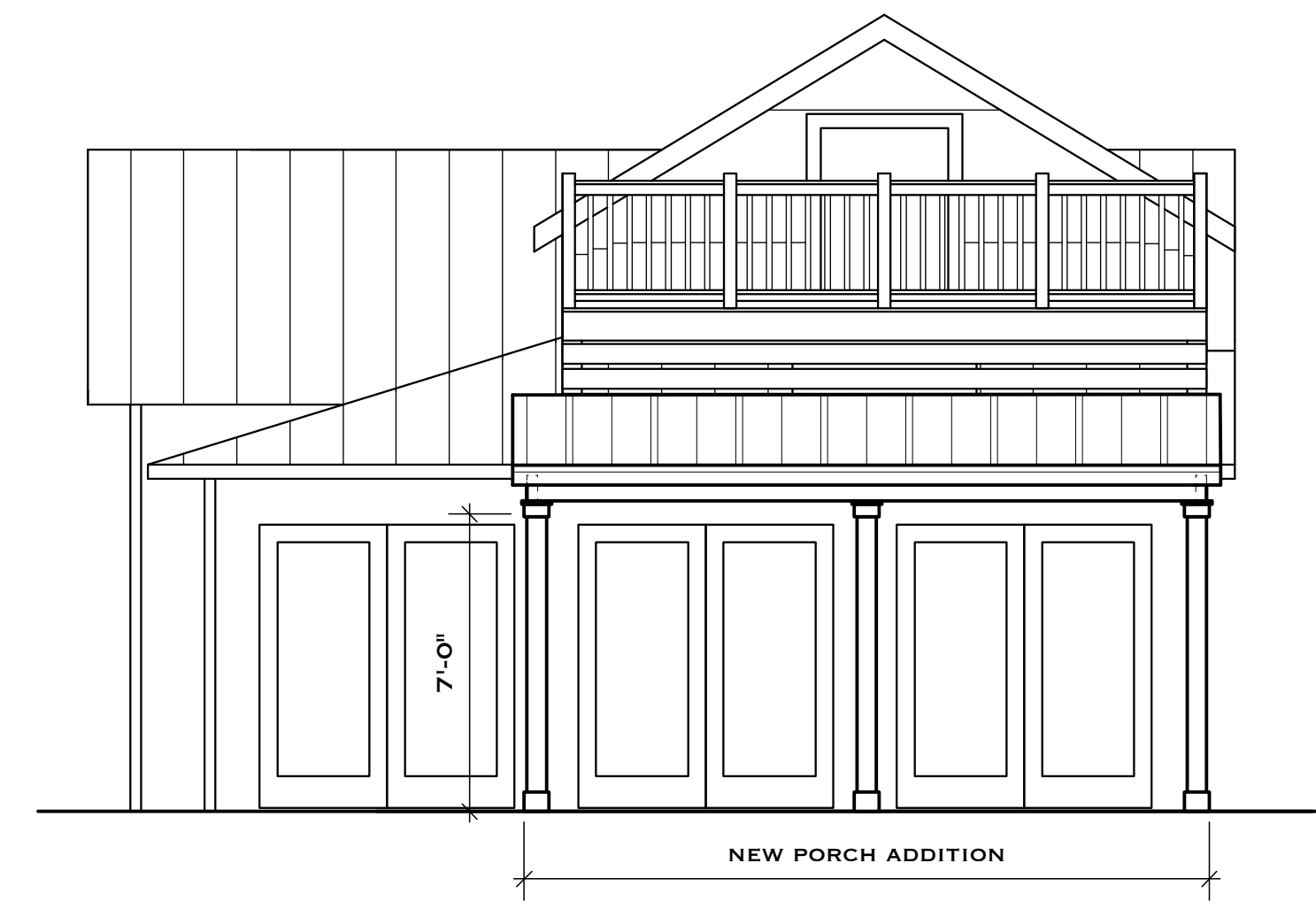
DRAWING TITLE:
**PROPOSED FLOOR PLAN
 AND ELEVATIONS**

DRAWN: TSN
 CHECKED: TSN
 DATE: 07-25-2018

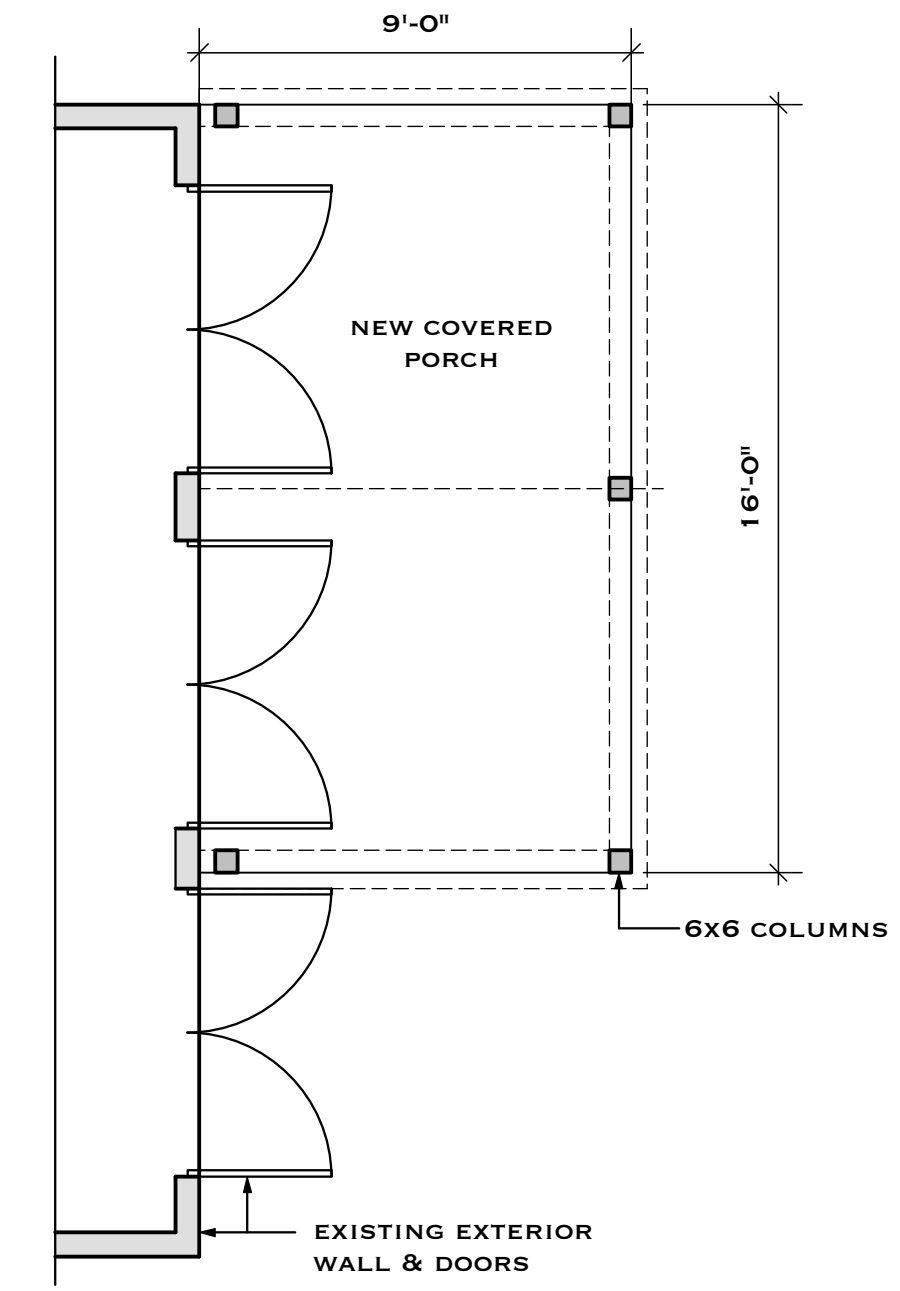
#1	09-10-2018
#2	09-12-2018

REVISION #	DATE

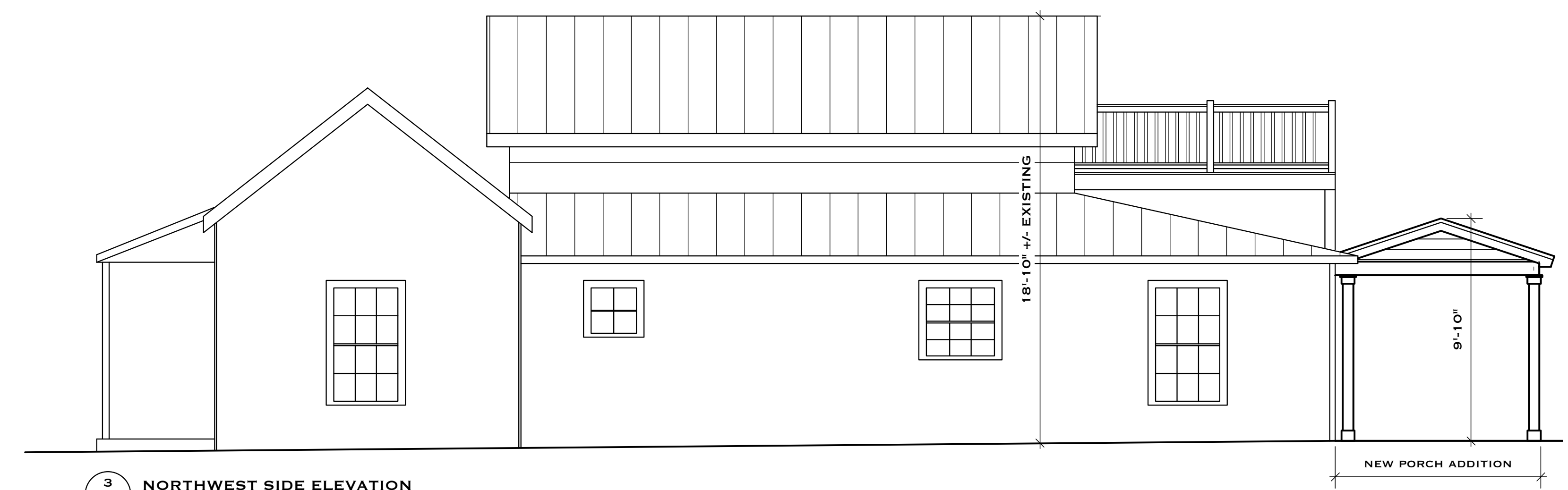
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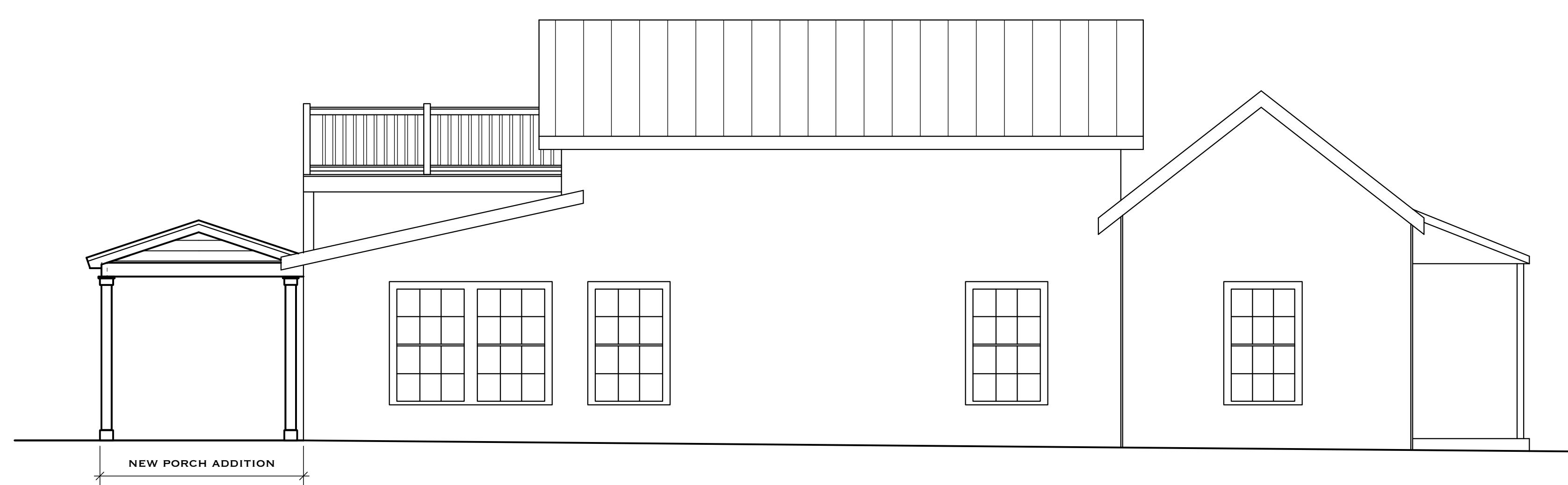
2 BACK ELEVATION
 SCALE: 1/4" = 1'-0"



1 PARTIAL FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



3 NORTHWEST SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



4 SOUTHEAST SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

Site Visit

1116 Packer Street, Key West, Florida 33040
SITE VISIT



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SITE VISIT



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SITE VISIT



Additional Information



Disclaimer

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By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00031440-000100
 Account # 8613865
 Property ID 8613865
 Millage Group 10KW
 Location 1116 PACKER St , KEY WEST
 Address
 Legal KW G G WATSON SUB I-209 PT SQR 4 TR 13
 Description OR846-1970/71 OR849-1691E OR864-1873/74
 OR864-1877/78 OR1645-961/63R/S OR1700-
 991 OR2047-2271/72 OR2655-1947/49C/T
 OR2740-8/10 OR2758-1472/1473 OR2758-
 1474/1476Q/C OR2911-1721/23
 (Note: Not to be used on legal documents)
 Neighborhood 6096
 Property Class SINGLE FAMILY RESID (0100)
 Subdivision
 Sec/Twp/Rng 05/68/25
 Affordable No
 Housing



Owner

BELZER-REID FRANCES
 15 Bluff Point Rd
 Northport NY 11768

Valuation

	2017	2016	2015	2014
+ Market Improvement Value	\$58,772	\$56,555	\$131,963	\$140,828
+ Market Misc Value	\$4,767	\$4,989	\$4,436	\$4,129
+ Market Land Value	\$427,247	\$458,446	\$413,213	\$266,153
= Just Market Value	\$490,786	\$519,990	\$549,612	\$411,110
= Total Assessed Value	\$490,786	\$519,990	\$452,221	\$411,110
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$490,786	\$519,990	\$549,612	\$411,110

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RES SUPERIOR DRY (01SD)	2,953.00	Square Foot	31	100

Buildings

Building ID	Exterior Walls
32448	CUSTOM

Style	2 STORY ELEV FOUNDATION	Year Built	1938
Building Type	S.F.R. - R1 / R1	EffectiveYearBuilt	2017
Gross Sq Ft	1728	Foundation	WD CONC PADS
Finished Sq Ft	1128	Roof Type	GABLE/HIP
Stories	2 Floor	Roof Coverage	METAL
Condition	AVERAGE	Flooring Type	SFT/HD WD
Perimeter	206	Heating Type	FCD/AIR DUCTED with 0% NONE
Functional Obs	0	Bedrooms	3
Economic Obs	0	Full Bathrooms	1
Depreciation %	0	Half Bathrooms	0
Interior Walls	DRYWALL	Grade	600
		Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	60	0	32
FHS	FINISH HALF ST	345	0	76
FLA	FLOOR LIV AREA	1,128	1,128	148
OUU	OP PR UNFIN UL	195	0	56
TOTAL		1,728	1,128	312

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
BRICK PATIO	2017	2018	1	433 SF	2
FENCES	2017	2018	1	496 SF	5
WATER FEATURE	2017	2018	1	1 UT	4
FENCES	2017	2018	1	504 SF	2
RES POOL	2017	2018	1	204 SF	3
FENCES	2017	2018	1	92 SF	2

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
5/31/2018	\$1,575,000	Warranty Deed	2173460	2911	1721	01 - Qualified	Improved
8/26/2015	\$100	Quit Claim Deed		2758	1474	11 - Unqualified	Vacant
8/26/2015	\$522,300	Warranty Deed		2758	1472	37 - Unqualified	Improved
5/4/2015	\$449,700	Warranty Deed		2740	8	12 - Unqualified	Improved
10/23/2013	\$410,000	Certificate of Title		2655	1947	12 - Unqualified	Improved
7/21/2000	\$199,000	Warranty Deed		1645	0961	Q - Qualified	Improved
1/1/1982	\$40,000	Warranty Deed		846	1970	Q - Qualified	Improved

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
17-899	3/16/2017	4/4/2017	\$3,600	Residential	INSTALL 49LF OF 6'H PICKETT FENCING INSTALL 12' OF 4'H PICKET FENCE
16-4915	3/8/2017	4/4/2017	\$2,500	Residential	INSTALL 64LF OF WOOD PICKET FENCE 6'H
17-451	2/28/2017	4/4/2017	\$2,000	Residential	BRICK PAVERS LOCATED IN FRONT AND RIGHT SIDE OF HOUSE
16-3777	11/28/2016	4/1/2017	\$13,000	Residential	INSTALL TRIZONE MITSU DUCTLESS AC SYSTEM AND ON SINGLE ZONE
16-3486	9/18/2016	4/4/2017	\$2,200	Residential	REMOVE 29' OF WOOD FENCE. REPLACE WITH 6'H STOCKADE WOOD FENCE.
16-3276	8/22/2016	4/4/2017	\$12,000	Residential	ROUGH DRAIN, VENT AND WATER LINES FOR 3 TOILETS,2 SHOWERS, 3 LAVS, 1 KITCH SINK, 1 WSH MACH
16-2698	7/11/2016	4/4/2017	\$21,000	Residential	RE WIRE HOUSE PER PLANS
16-2414	7/8/2016	4/1/2017	\$55,000	Residential	COMPLETING PREVIOUSLY PERMITTED POOL (16-562)

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
16-2394	6/16/2016	4/4/2017	\$189,000	Residential	FINISH ONE ROOM FRAMING INSTALL ALL METAL CONNECTIONS INSULATION, TYVEK, SIDING, DRYWALL, WINDOWS, DOORS , FLOORING TRIM AND TILE PER PLANS
16-562	5/3/2016	4/4/2017	\$19,700	Residential	BUILD 17'X12' POOL
16-203	1/29/2016	4/4/2017	\$5,500	Residential	ROUGH IN 3 BATHROOMS, 1 HEATER, 9 FIX
16-204	1/29/2016	4/4/2017	\$8,500	Residential	WIRE UP ENTIRE HOUSE UP TO CODE. WIRE CENTRAL AC STOVE , DRIER WASHER
16-207	1/29/2016	4/4/2017	\$6,500	Residential	INSTALL 2 DUCTLESS AC UNITS. 1 TRIZONE, 1 SINGLE ZONE
16-211	1/29/2016	4/4/2017	\$184,500	Residential	RENOVATION TO EXISTING STRUCTURE, REBUILD INTERIOR FRAME REPLACE WINDOWS, REPALCE ALL SIDING DRYWALL FLOORING TRIM FOUNDATION INSULATION AND ETC...
15-4605	11/10/2015	4/4/2017	\$20,000	Residential	DEMO 2 SHEDS AND INTERIOR WALLS AND FLOORS
03-3570	10/5/2003	12/18/2003	\$800	Residential	200 AMP UPGRADE
9801730	6/2/1998	11/12/1998	\$500	Residential	ELECTRICAL
9800493	3/4/1998	11/12/1998	\$648	Residential	ROOF

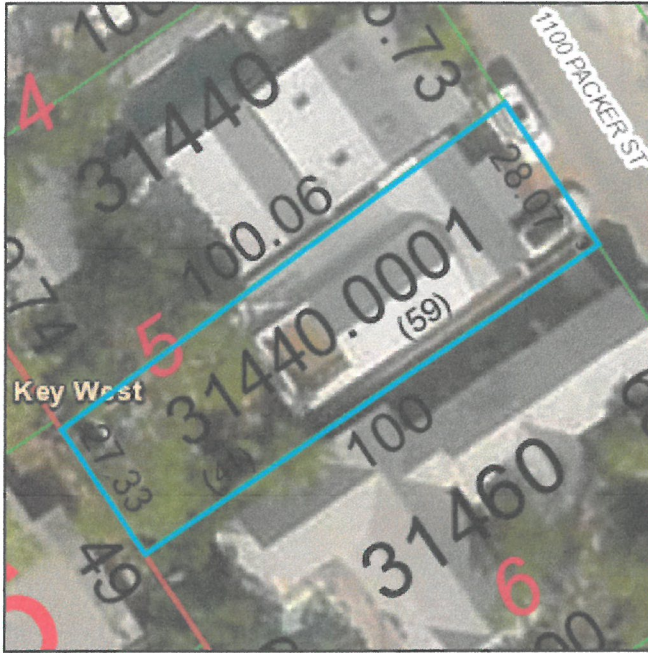
Sketches (click to enlarge)



Photos



Map



No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.

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