



Historic Architectural Review Commission Staff Report for Item 6

To: Chairman Haven Burkee and Historic Architectural Review
Commission Members

From: Enid Torregrosa-Silva, MSHP
Historic Preservation Planner

Meeting Date: January 23, 2024

Applicant: T.S. Neal Architects

Application Number: H2023-0031

Address: 638 United Street

Description of Work:

Minor Development Plan- Demolition of historic but noncontributing commercial structure.

Site Facts:

The site under review is a corner lot located on the west side of United Street and Villa Mill Aley. The site has a one-story CBS structure that serves as offices. The structure was originally designed for medical offices. A side addition containing a garage was added in 2000. The structure has been altered through time, including its original form, roof, front elevation, and fenestrations.

The site was granted five BPAS unit allocations. The Tree Commission and Planning Board approved the proposed Minor Development Plan. If approved, the proposal requires City Commission approval.



638 United Street circa 1965. Monroe County Library.



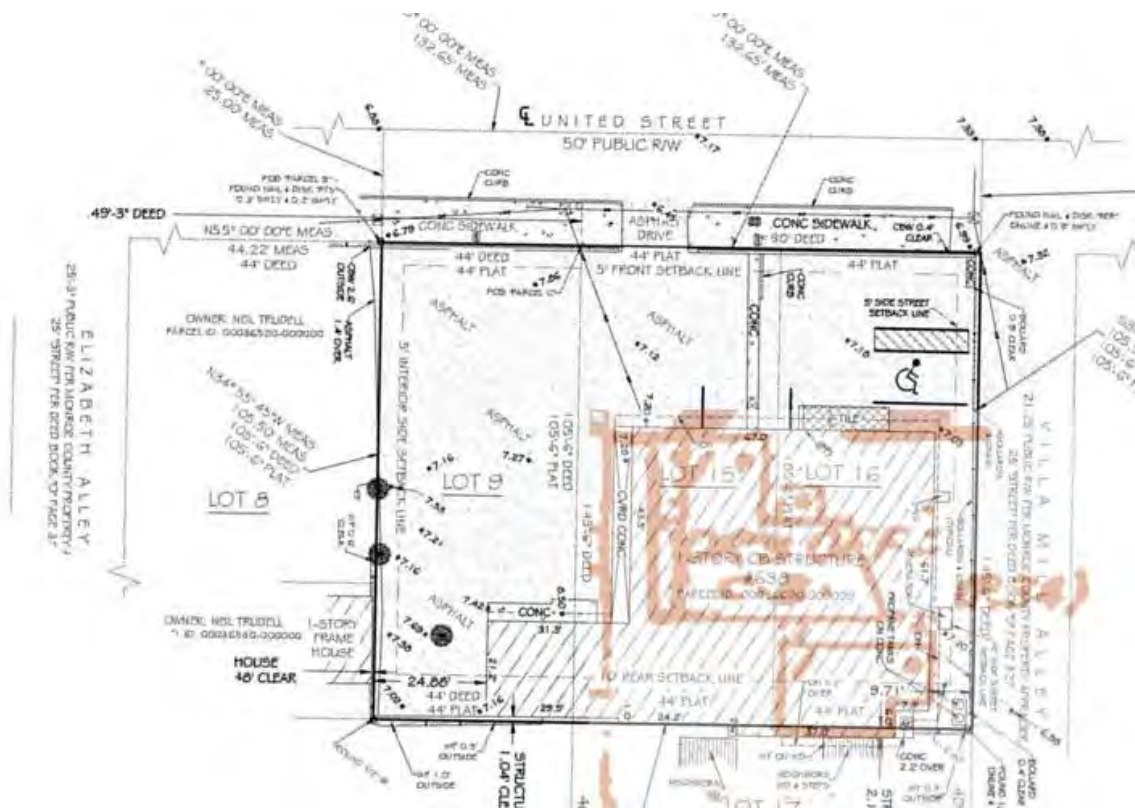
1972 Aerial photograph.

Ordinance Cited on Review:

- Section 102-217 (3), demolition of historic but non-contributing, non-historic or non-contributing buildings or structures of the Land Development Regulations.

Staff Analysis:

The Certificate of Appropriateness proposes the demolition of a CBS one-story commercial building. Built originally as a doctor's office circa 1958, the building has undergone many alterations through the years, including changes to building form and character defining features. Still the southwest part of the building still has the original footprint.



1962 and current survey overlap.

Since the proposed structure to be demolish under review has some historic fabric but the structure is non noncontributing, the evaluation shall be based on section 102-218 (a) (1) and (2) of the Land Development Regulations, which requires the following criteria for demolitions:

- (1) *If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably*

compromised by extreme deterioration or it does not meet any of the criteria of section 102-125(1) through (9).

The structure under review for demolition is structurally sound.

- (2) *For a contributing historic or noncontributing building or structure, a complete construction plan for the site is approved by the historic architectural review commission.*

The applicant has submitted drawings as part of this review. If approved, HARC staff will review construction documents during building permitting for consistency with approved schematic plans.

The following is the criteria of section 102-125:

- 1 *Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.*

Staff opine that the structure under review has no distinctive characteristics of a type or method of construction and is not a significant building in the historic district.

- 2 *Is not specifically associated with events that have made a significant contribution to local, state, or national history.*

It is staff understanding that no significant events have ever happened in the site relevant to local, state, or national history.

- 3 *Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state, or nation, and is not associated with the life of a person significant in the past.*

The building under review has no significant value to the development, heritage, or cultural record of the city.

- 4 *Is not the site of a historic event with a significant effect upon society.*

The site is not associated with any significant event.

- 5 *Does not exemplify the cultural, political, economic, social, or historic heritage of the city.*

The building under review does not exemplify the social, cultural, or historic heritage of the city.

- 6 *Does not portray the environment in an era of history characterized by a distinctive architectural style.*

The building under review cannot be considered as a fine example of a distinctive architectural style.

- 7 *If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.*

This is not the case.

- 8 *Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood; and*

The building under review does not exemplify the remaining architectural type in its neighborhood and do not possess any significant visual features.

- 9 *Has not yielded, and is not likely to yield, information important in history.*

The building under review does not yield important information in history.

In conclusion, it is the staff's opinion that the request for demolition of the building can be considered by the Commission as they meet the criteria for demolition stated under the Land Development Regulations. If approved, this will be the only required reading.

APPLICATION

RECEIVED
 AUG 24 2023
 BY: TK

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$463.05 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 10/02/2022 ET



City of Key West

1300 White Street
 Key West, Florida 33040

| | | |
|-------------------------------------|-------------------------------|-------------------------------------|
| HARC COA # <i>HARC 2023-0031</i> | REVISION # <i>0031</i> | INITIAL & DATE <i>TK 8/24/23</i> |
| FLOOD ZONE <i>X</i> | ZONING DISTRICT <i>HRO</i> | BLDG PERMIT # |

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

| | | |
|------------------------------|----------------------------------|---|
| ADDRESS OF PROPOSED PROJECT: | 638 United Street | |
| NAME ON DEED: | Land 10031 LLC | PHONE NUMBER 804-720-6301 |
| OWNER'S MAILING ADDRESS: | 4900 W Hundred Rd | EMAIL <i>suphoff@uphoffventures.com</i> |
| | Chester VA 23831 | |
| APPLICANT NAME: | T.S. Neal Architects - Seth Neal | PHONE NUMBER 305-340-8857 |
| APPLICANT'S ADDRESS: | 22974 Overseas Hwy | EMAIL <i>sethneal@tsnarchitects.com</i> |
| | Cudjoe Key, Fl | |
| APPLICANT'S SIGNATURE: | <i>Seth Neal</i> | DATE 8-24-2023 |

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS ___ RELOCATION OF A STRUCTURE ___ ELEVATION OF A STRUCTURE ___
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES ___ NO INVOLVES A HISTORIC STRUCTURE: YES NO ___
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES ___ NO

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|---|
| DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC. |
| GENERAL: Demo existing single story structure on site and replace with four new single family homes. The homes are designed differently to have their own style in keeping with the character of the Historic District. The new homes are designed to meet the Future FEMA Flood Maps. |
| |
| MAIN BUILDING: Residence will have composite lap siding and trim, aluminum impact windows, metal and wood impact doors, and 5-V crimp metal roof. One Garage building will have stucco walls at 1st floor & comp. Lap siding above. Lastly all units will have pool and deck in the rear yards. |
| |
| DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX): |
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APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
 PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

| | |
|--|---|
| ACCESSORY STRUCTURE(S): Yes, one Garage & one Pool house. | |
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| PAVERS: yes, Driveway & walkway areas, see site plan | FENCES: Yes, Perimeter low stucco retaining wall & Wood picket Above |
| | |
| DECKS: yes, pool decks. See site plan | PAINTING: |
| | |
| SITE (INCLUDING GRADING, FILL, TREES, ETC): | POOLS (INCLUDING EQUIPMENT): yes, see site plan |
| | |
| ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC): yes | OTHER: |
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| OFFICIAL USE ONLY: | HARC COMMISSION REVIEW | EXPIRES ON: |
|--------------------------------|--|-------------|
| MEETING DATE: | <input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION | INITIAL: |
| MEETING DATE: | <input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION | INITIAL: |
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| REASONS OR CONDITIONS: | | |
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| STAFF REVIEW COMMENTS: | | |
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| | | |
| FIRST READING FOR DEMO: | SECOND READING FOR DEMO: | |
| HARC STAFF SIGNATURE AND DATE: | HARC CHAIRPERSON SIGNATURE AND DATE: | |

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

HARC Certificate of Appropriateness: Demolition Appendix



City of Key West
 1300 WHITE STREET
 KEY WEST, FLORIDA 33040

| | |
|-------------------------------------|----------------|
| HARC COA # <i>HARC 2023-0031</i> | INITIAL & DATE |
| ZONING DISTRICT HRO | BLDG PERMIT # |

| | |
|------------------------------|----------------------------------|
| ADDRESS OF PROPOSED PROJECT: | 638 United Key West, Fl |
| PROPERTY OWNER'S NAME: | LAND 10031 LLC |
| APPLICANT NAME: | T.S. Neal Architects - Seth Neal |

I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval **PRIOR** to proceeding with the work outlined above and that a final inspection is required under this application. I also understand that any changes to an approved Certificate of Appropriateness must be submitted for review.

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| <i>Steven M. Uphoff</i> PROPERTY OWNER'S SIGNATURE | STEVEN M. UPHOFF 8/23/2023 DATE AND PRINT NAME |
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| DETAILED PROJECT DESCRIPTION OF DEMOLITION |
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| Demo existing one story concrete building, additions, and existing low site walls. |
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| CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES: |
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| Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies); |
| (1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria: |
| (a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration. |
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| (2) Or explain how the building or structure meets the criteria below: |
| (a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction. |
| The existing building does not have any distinctive characteristics nor has any historic significance in the city. |
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Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

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| (b) Is not specifically associated with events that have made a significant contribution to local, state, or national history. |
| Not to our knowledge |
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| (c) Has no significant character, interest, or value as part fo the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past. |
| Not to our knowledge |
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| (d) Is not the site of a historic event with significant effect upon society. |
| Not to our knowledge |
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| (e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city. |
| No |
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| (f) Does not portray the environment in an era of history characterized by a distinctive architectural style. |
| No |
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| |
| (g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif. |
| No |
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| (h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood. |

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

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| NO |
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| (i) Has not yielded, and is not likely to yield, information important in history. |
| NO |
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CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:

The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies);

(1) Removing buildings or structures that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.

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(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.

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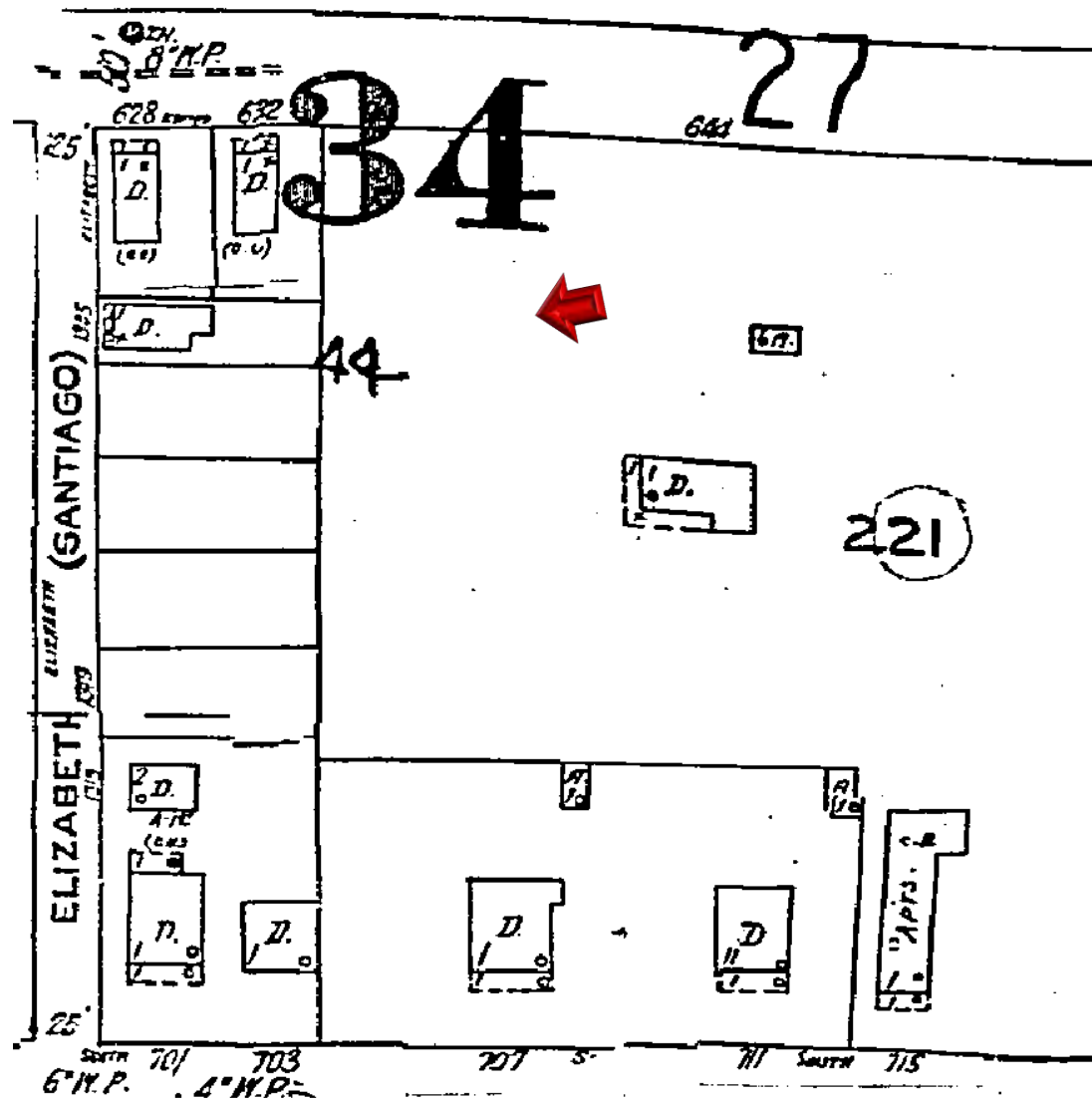
(3) Removing an historic building or structure in a complex; or removing a building facade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

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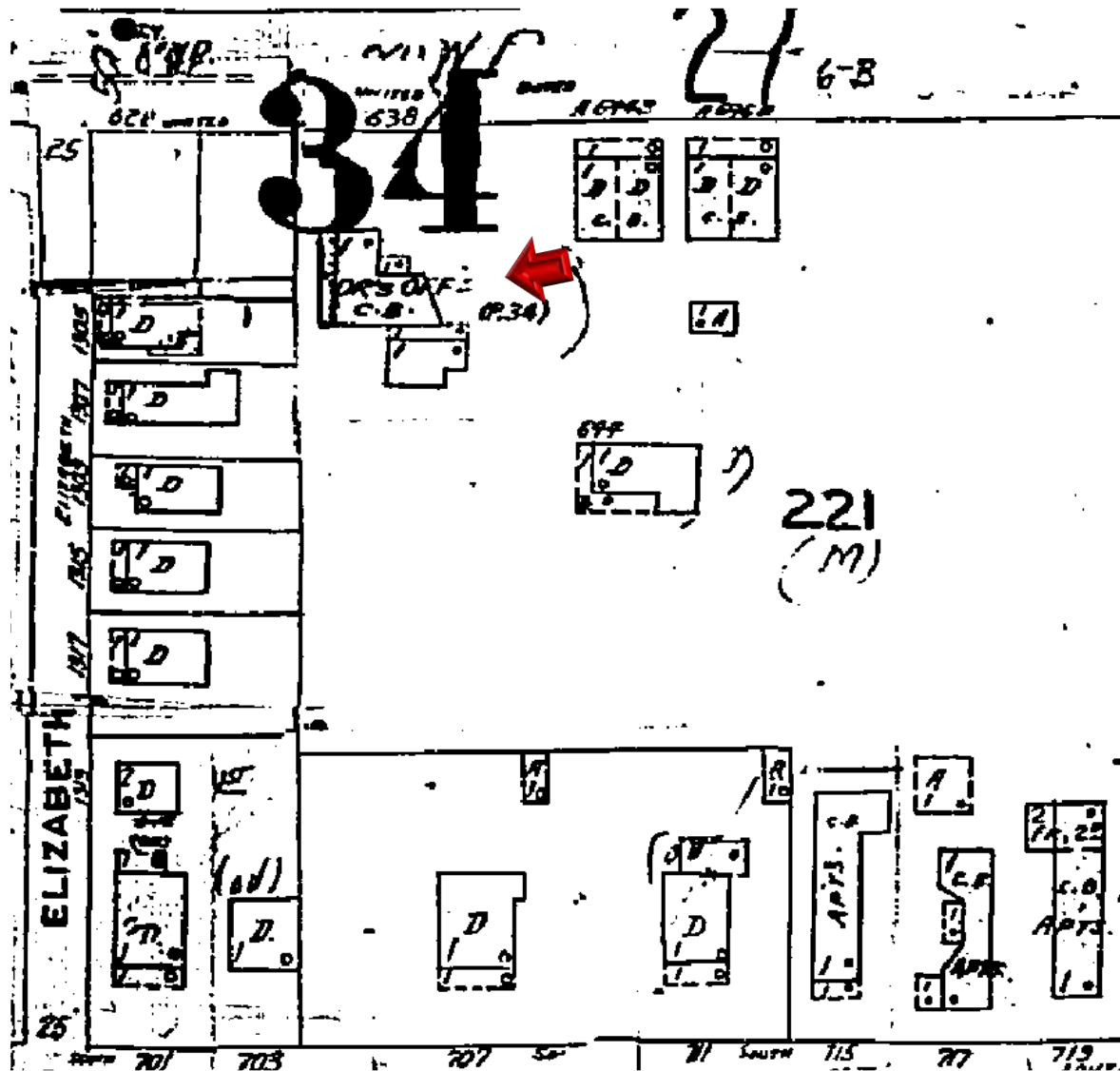
(4) Removing buildings or structures that would otherwise qualify as contributing.

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SANBORN MAPS



1948 Sanborn Map



1962 Sanborn Map

PROJECT PHOTOS



638 United Street circa 1965. Monroe County Library.



1959 Aerial Photograph



1994 Aerial Photograph



Legend
📍 638 United St

📍 638 United St

Google Earth

© 2018 Google

100 ft





Legend

Google Earth

© 2018 Google



90 ft



**638-646 UNITED STREET & VILLA MILL:
SOUTH WEST (SIDE / FRONT)**



**638-646 UNITED STREET:
SOUTH EAST (FRONT / SIDE)**



Corner of Villa Mill Alley and United Street



Conch homes across United Street



View west from subject site at corner of Villa Mill & United



United and Elizabeth Streets



1305 Elizabeth Street – 1,089 sq. ft.



1307 Elizabeth Street - 941 sq. ft.



1309 Elizabeth Street – 2,254 sq. ft. FLA



1306 Villa Mill – 3/2 2,309 sq. ft.



1306 Villa Mill – front entry showing encroachment by 638 United St.



1309 Villa Mill – 5 bd/4 baths, 3,529 sq. ft.



1311 Villa Mill – 4 bd/3.5 bath – 2,236 sq. ft.



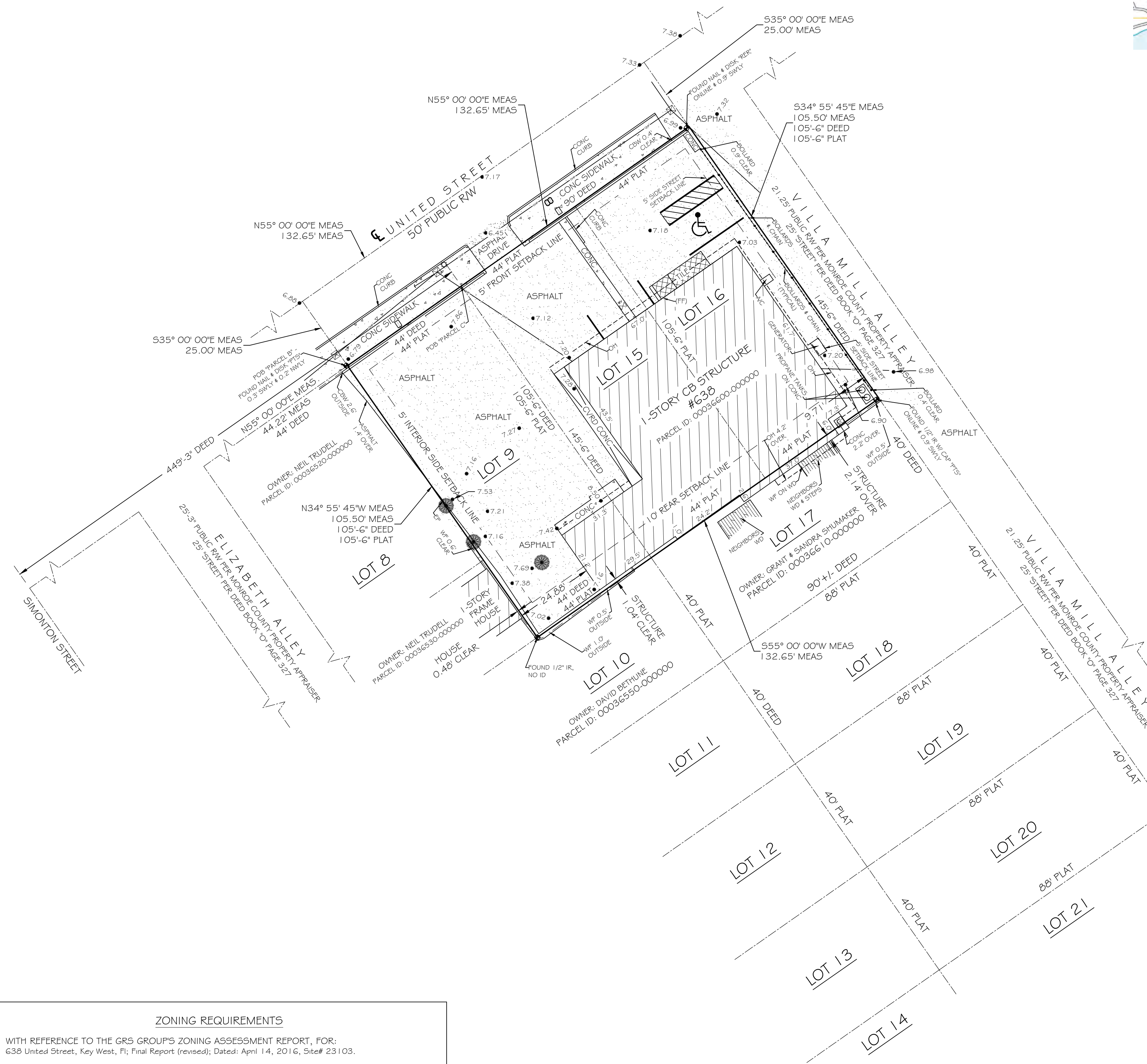
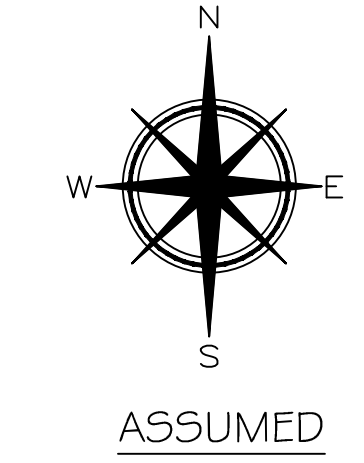
1311 Villa Mill – Rear yard

SURVEY

ALTA / NSPS LAND TITLE SURVEY



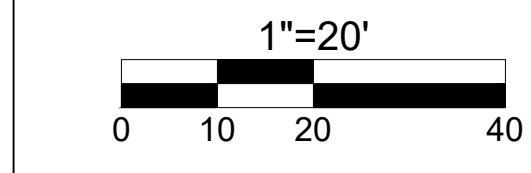
LOCATION MAP - NTS
SEC. 06-T685-R25E



ZONING REQUIREMENTS

WITH REFERENCE TO THE GRS GROUPS ZONING ASSESSMENT REPORT, FOR: 638 United Street, Key West, FL; Final Report (revised); Dated: April 14, 2016, Site# 23103.

- Building Setback Requirements:
 - Front/Side Street: 5 Feet
 - Interior Side: 5 Feet
 - Rear: 10 Feet
- Height Restrictions:
 - Height: 30 Feet
- Area Requirements:
 - Minimum Lot Area: 5,000 SF
 - Minimum Lot Width: 50 Feet
 - Minimum Lot Depth: 100 Feet
- Density Requirements:
 - Maximum Floor Area Ratio: 1.0
 - Maximum Building Coverage: 50%
 - Maximum Impervious Coverage: 60%
- Parking Requirements:
 - Parking Space Formula: Offices: 1 space per each 300 square feet of gross floor area (5095/300=17) m
 - Parking Spaces Required: 17 Total Parking Spaces
 - Existing Parking Spaces: 2 Total Parking Spaces



TOTAL AREA = 13,994.06 SQFT ±
0.32 ACRES ±

| SYMBOL LEGEND: | |
|----------------|--------------------------------|
| | BENCHMARK |
| | CATCH BASIN |
| | DRAINAGE MANHOLE |
| | CONCRETE UTILITY POLE |
| | MANHOLE |
| | FIRE HYDRANT |
| | GUY WIRE |
| | GAS PUMP |
| | MAILBOX |
| | SANITARY CLEANOUT |
| | SANITARY MANHOLE |
| | SIGN |
| | TELEPHONE MANHOLE |
| | WATER VALVE |
| | WATER METER |
| | MONITORING WELL |
| | WOOD UTILITY POLE |
| | METAL SUPPORT COLUMN |
| | OVERHEAD UTILITY LINES |
| | LIGHT POLE |
| | BELOW GROUND ELECTRIC BOX |
| | SPOT GRADE ELEVATION (TYPICAL) |
| | TREE (UNKNOWN SPECIES) |

TITLE REVIEW NOTES

WITH REFERENCE TO THE FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE, CUSTOMER REFERENCE NO. 15-1283, FIRST AMERICAN FILE NO. 1056-3482606, EFFECTIVE DATE: DECEMBER 10, 2015 AT 8:00 AM, I HEREBY CERTIFY AS FOLLOWS:

- SCHEDULE BII - PART II:
- Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment. - NOT A SURVEY MATTER
 - Any rights, interests, or claims of parties in possession of the land not shown by the public records. - NOT A SURVEY MATTER
 - Any encroachment, encumbrance, violation, variation or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the land. - DEPICTED ON SURVEY
 - Any lien, for services, labor, or materials in connection with improvements, repairs or renovations provided before, on, or after Date of Policy, not shown by the public records. - NOT A SURVEY MATTER
 - Any dispute as to the boundaries caused by a change in the location of any water body within or adjacent to the land prior to Date of Policy, and any adverse claim to all or part of the land that is, at Date of Policy, or was previously under water. - NOT APPLICABLE TO SUBJECT PROPERTY
 - Taxes or special assessments not shown as liens in the public records or in the records of the local tax collecting authority, at Date of Policy. - NOT A SURVEY MATTER
 - Any minerals or mineral rights leased, granted or retained by current or prior owners. (without right of entry) (as to Parcels 12, 14 and 15) - NOT A SURVEY MATTER
 - NOTES FOR STANDARD EXCEPTIONS: Standard Exceptions for parties in possession, for mechanics liens, and for taxes or special assessments not shown as liens in the public records shall be deleted upon receipt of an acceptable Non-Lien and Possession Affidavit establishing who is in possession of the lands, that there are no liens or encumbrances upon the lands other than as set forth in the Commitment, that no improvements to the lands have been made within the past 90 days or are contemplated to be made before closing that will not be paid in full, and that there are no unrecorded taxes or assessments that are not shown as existing liens in the public records. Any Policies issued hereunder may be subject to a Special Exception for matters disclosed by said affidavit. - NOT A SURVEY MATTER
 - Standard Exception(s) for questions of survey may be deleted upon receipt and review of a properly certified Survey meeting the Florida Minimum Technical Standards for all land surveys dated no more than 90 days prior to closing on such other proof as may be acceptable to the Company. Any Policies issued hereunder may be subject to a Special Exception for matters disclosed by said survey or proof. - DEPICTED ON SURVEY
 - Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s), (as to Parcels 6, 8, 12, 16, 21, 24, 25 and 26) - NOT A SURVEY MATTER
 - Any claim that the Title is subject to a trust or lien created under The Penobscot Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws. (As to Parcels 1, 2, 6, 7, 9, 10, 11, 12, 13, 14, 22, 23, 24, 25 and 26) - NOT A SURVEY MATTER

LEGAL DESCRIPTION

"PARCEL 15" - WITH REFERENCE TO THE FIRST AMERICAN TITLE INSURANCE COMPANY EXHIBIT A, CUSTOMER REFERENCE NO. 15-1283, FIRST AMERICAN FILE NO. 1056-3482606, EFFECTIVE DATE: DECEMBER 10, 2015 AT 8:00 AM:

Parcel A: On the Island of Key West and known on Wm. A. Whitehead's Map of said Island, delineated in February A.D. 1829, as a Part of Tract 17, but now better known and described as Lots 18, 19 and 20 according to D.T. Sweeney's Diagram of Part of Square 5, Tract 17, recorded in Book O, Page 327, Public Records of Monroe County, Florida.

Also:

Parcel B: On the Island of Key West and its Part of Tract 17, according to Whitehead's Map of 1829, but better known as Subdivision No. 9 according to D. T. Sweeney's Diagram of Part of Lot 5 in said Tract 17, recorded in Book O, Page 327, being described by metes and bounds as follows: Commencing at a point on United Street 44 feet from the corner of United Street and a 25 foot street and runs Northeasterly on United Street 44 feet; thence runs Southeasterly 105 feet, 6 inches; thence runs Southwesterly 44 feet; thence runs Northwesterly 105 feet, 6 inches out to United Street, the Point of Beginning.

Also:

Parcel C: On the Island of Key West and being known as Part of Tract 17, according to Wm. A. Whitehead's Map of the Island of Key West, delineated in February A.D. 1829, but better known as Lots 15, 16 and 17, of Sweeney's Subdivision of Part of Tract 17, described by metes and bounds as follows: Commencing at a point on the Southeasterly side of United Street, distant 449 feet, 3 inches Northeasterly from the corner of the intersection of Simonton and United Streets; thence at right angles and in a Southeasterly direction a distance of 145 feet, 6 inches; thence at right angles in a Northeasterly direction 90 feet, more or less, to an alley; thence at right angles in a Northwesterly direction 145 feet, 6 inches out of United Street; thence at right angles and along the Southeasterly side of United Street in a Southwesterly direction a distance of 90 feet, more or less, to the Point of Beginning.

Less and except from Parcels A, B and C above the following described property:

On the Island of Key West and known on Wm. A. Whitehead's Map of said Island, delineated in February A.D., 1829, as a Part of Tract 17, but now is better known and described as Lots 17, 18, 19 and 20, according to D. T. Sweeney's Diagram of Part of Square 5, Tract 17, recorded in Book O, Page 327, Public Records of Monroe County, Florida.

SURVEYOR NOTES

- BEARING BASE: ALL BEARINGS ARE BASED ON N55°00'00" E ASSUMED ALONG THE CENTERLINE OF UNITED STREET.
- ALL LINES ARE SHOWN IN SURVEY FEET.
- ADDRESS: 638 UNITED STREET, KEY WEST, FL 33040.
- FLOOD ZONE CLASSIFICATION: COMMUNITY NO.: 120168; MAP NO.: 12087C-1516K; MAP DATE: 02-18-05; FIRM REVISION DATE: 06-05-15; FLOOD ZONE: X SHADED; BASE ELEVATION: N/A
- THE CURRENT ZONING CLASSIFICATION AND BUILDING SETBACK REQUIREMENTS, HEIGHT AND FLOOR SPACE AREA RESTRICTIONS AS SET FORTH IN THAT CLASSIFICATION, OF THE SUBJECT PROPERTY ARE INDICATED ON THE SURVEY, REFERENCING THE SAID REPORT BY THE GRS GROUP SUPPLIED TO FLORIDA KEYS SURVEYING BY THE CLIENT AND/OR THEIR AGENT.
- SQUARE FOOTAGE OF EXTERIOR FOOTPRINT OF BUILDINGS: 1-STORY CB STRUCTURE #638 = 5095.00 SQFT ±. THE BUILDING HEIGHT IS 13.96 FEET ABOVE THE ADJACENT GRADE, MEASURED AT THE SOUTHWESTERN CORNER OF THE BUILDING.
- THERE ARE 1 DEDICATED STRIPED REGULAR PARKING SPACES AND 1 DEDICATED STRIPED HANDICAP PARKING SPACE.
- THE LOCATION OF UTILITIES EXISTING ON OR SERVING THE SUBJECT PROPERTY SHOWN ON THIS SURVEY WAS DETERMINED BY OBSERVED EVIDENCE ONLY, AS PER THE CLIENTS REQUEST.
- THERE WAS NO OBSERVED EVIDENCE OF EARTH MOVING WORK AT THE TIME OF THE SURVEY.
- THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AT THE TIME OF THE SURVEY.
- THERE WAS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL AT THE TIME OF THE SURVEY.
- NO WETLAND AREAS WERE IDENTIFIED TO SURVEYOR AT THE TIME OF SURVEY, AND NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE FIELD BY THE SURVEYOR AT THE TIME OF SURVEY.
- ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929).
- FINISH FLOOR ELEVATION = 9.6' (TAKEN AT THE DOOR THRESHOLD LOCATION AS INDICATED ON THE SURVEY MAP AS (FF)). THE INTERIOR FLOOR LEVELS WERE NOT VERIFIED.
- BENCHMARK DESCRIPTION: NATIONAL GEODETIC SURVEY BENCHMARK '872 4580 TIDAL 25" (P.I.D. AA0004), ELEVATION = 5.11' (NGVD 1929).
- REVISION (1) - 06/06/2016 - REVISED SURVEYOR NOTES, TITLE REVIEW NOTES & ADDED ZONING REQUIREMENTS.
- REVISION (2) - 02/01/2018 - ADDED SPOT GRADE ELEVATIONS AND TREES AS MEASURED AND LOCATED IN THE FIELD ON 01/23/2018.

TO: LAND 10031, LLC as to a 11.077% interest, LAND 2708, LLC as to a 8.451% interest, LAND 113, LLC as to a 13.353% interest, LAND 1701, LLC as to a 11.077% interest, LAND 8601, LLC as to a 8.236% interest, LAND 7009, LLC as to a 9.644% interest, LAND 2421, LLC as to a 9.611% interest, LAND 4027, LLC as to a 13.410% interest, and LAND 8351, LLC as to a 15.151% interest. In Common among all of the aforesaid LLCs; Capital One, National Association, its successors and/or assigns as their interests may appear; and First American Title Insurance Company.

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6, 8, 7A, 7B, 8, 9, 11, 13, 14, 16, 17, 18, 19, & 20 OF TABLE A. THE FIELD WORK WAS COMPLETED ON MARCH 5, 2016.

DATE OF MAP: APRIL 1, 2016.

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS OTHERWISE INDICATED.

THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET:

| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|-----------------|---------------------|--------------------|---------------------|---------------|--------------------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|
| BM = BENCH MARK | CB = CONCRETE BLOCK | CC = CONCRETE CURB | CD = CONCRETE DRIVE | CE = CONCRETE | CF = CONCRETE FOUNDATION | CG = CONCRETE | CH = CONCRETE | CI = CONCRETE | CL = CONCRETE | CM = CONCRETE | CS = CONCRETE | CT = CONCRETE | CU = CONCRETE | CV = CONCRETE | CW = CONCRETE | CX = CONCRETE | CY = CONCRETE | CZ = CONCRETE | DA = DRAINAGE | DB = DRAINAGE | DC = DRAINAGE | DD = DRAINAGE | DE = DRAINAGE | DF = DRAINAGE | DG = DRAINAGE | DH = DRAINAGE | DI = DRAINAGE | DJ = DRAINAGE | DK = DRAINAGE | DL = DRAINAGE | DM = DRAINAGE | DN = DRAINAGE | DO = DRAINAGE | DP = DRAINAGE | DQ = DRAINAGE | DR = DRAINAGE | DS = DRAINAGE | DT = DRAINAGE | DU = DRAINAGE | DV = DRAINAGE | DW = DRAINAGE | DX = DRAINAGE | DY = DRAINAGE | DZ = DRAINAGE |
|-----------------|---------------------|--------------------|---------------------|---------------|--------------------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|

THIS SURVEY HAS BEEN REVIEWED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 51, 7, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.007, FLORIDA STATUTES AND COMPLIES WITH CHAPTER 177, FLORIDA STATUTES.



ERIC A. ISAACS, 6763, PROFESSIONAL SURVEYOR AND MAPPER, L# 7847

NOT VALID WITHOUT THE SIGNATURE AND THE SEAL OF A FLORIDA SURVEYOR AND MAPPER.

CHECKED BY: EAI

JOB NO.: 16-106

PROPOSED DESIGN

SITE DATA 638-646 UNITED STREET

RE# 00036600-000000

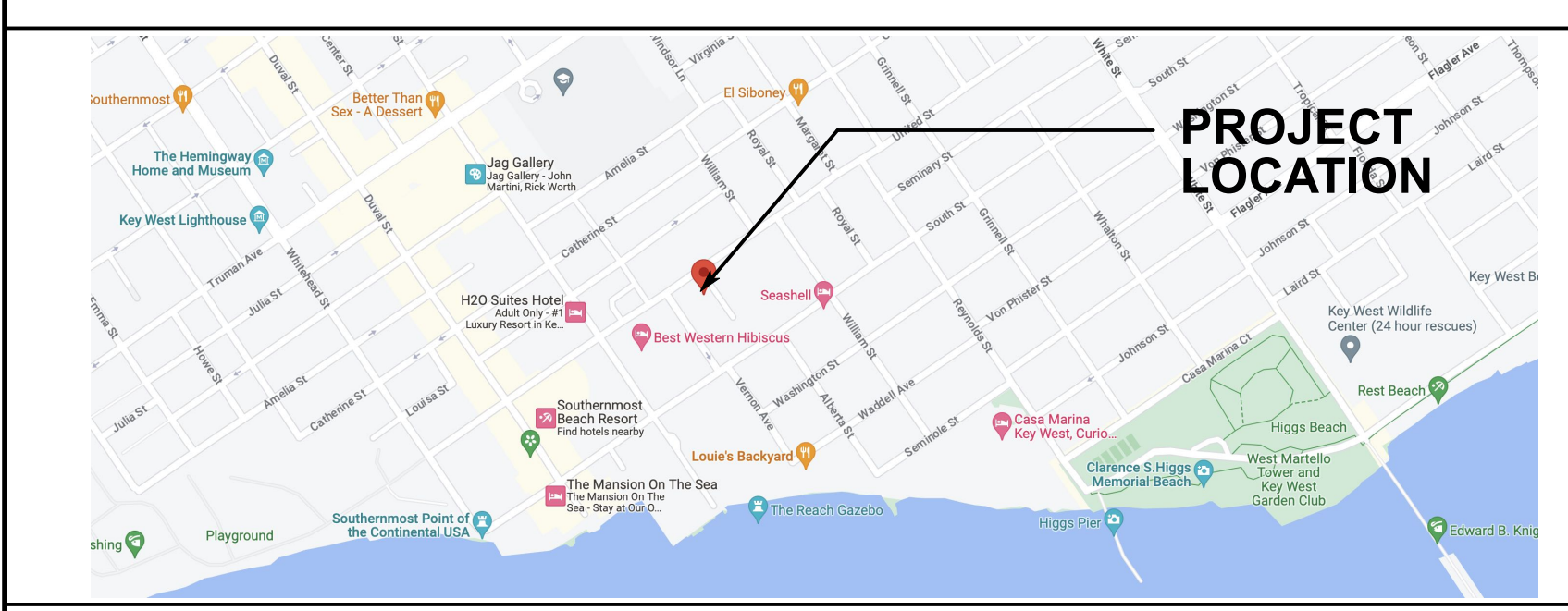
| ITEM | REQ. PER LDR | EXISTING | PROPOSED | REMARK |
|------------------------------------|--|----------------------|------------------------|------------|
| DISTRICT | HRO | HRO | HRO | - |
| SITE AREA | 5,000 SQ. FT. | 13,994 SQ. FT. | - | - |
| LOT SIZE | 50' X100' (MIN) | SEE SURVEY | EXISTING | - |
| IMPERVIOUS | 8,396 SQ. FT. (60% MAX) | 13,994 SQ. FT. 100 % | 2,706 SQ. FT. (19.3%) | CONFORMING |
| OPEN SPACE | 4,898 SQ. FT. (35% MIN) | 0 SQ. FT. 0% | 5,191 SQ. FT. 37% | CONFORMING |
| BUILDING COV. | 6,997 SQ. FT. (50% MAX) | 5,538 SQ. FT. 39.6% | 6,051 SQ. FT. 43.2% | CONFORMING |
| ACCESSORY STRUCTURE REAR YARD COV. | 1,326 SQ. FT. @ (30% MAX.) = 398 SQ FT | NONE | 233 SQ. FT. 17.6% | CONFORMING |
| LANDSCAPE | 2,799 SQ. FT. (20% MIN) | 0 SQ. FT. 0% | 3,220 SQ. FT. 23% | CONFORMING |
| DENSITY | 16 PER ACRE | 1 | 4 | CONFORMING |

| SETBACKS | | | | |
|--|-------|-------------|--------|------------|
| FRONT SETBACK (UNITED STREET) | 5' | 37'-4" | 5' | CONFORMING |
| REAR SETBACK | 10' | 4'-2" OVER | 10' | CONFORMING |
| SIDE STREET SETBACK (VILLA MILL ALLEY) | 5' | 8'-6" | 5' | CONFORMING |
| SIDE SETBACK (WEST) | 5' | 24'-10 1/2" | 5' | CONFORMING |
| BUILDING HEIGHT | 30'-0 | EXISTING | 29'-0" | CONFORMING |

CURRENT FEMA FLOOD ZONE: X FLOOD ZONE **FUTURE FEMA FLOOD ZONE: Ae8, 8'+1'=9'**



SITE LOCATION MAP:



GENERAL NOTES:

- DO NOT SCALE ANY DRAWING.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. LARGER SCALE DETAILS HAVE PRECEDENCE OVER SMALLER SCALE DETAILS. ANY DISCREPANCIES ARE TO REPORTED TO ARCHITECT PRIOR TO CONSTRUCTION.
- CONSULT THE ARCHITECT IN THE EVENT ANY ITEM OF WORK NECESSARY FOR THE PROPER COMPLETION OF THE PROJECT IS NOT SPECIFICALLY COVERED IN THE DRAWINGS.
- ALL WORK SHALL BE OF SUPERIOR QUALITY PERFORMED IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS, ALL BUILDING CODE REQUIREMENTS AND IN A PROFESSIONAL MANNER BY MECHANICS SKILLED AND LICENSED IN THEIR RESPECTIVE TRADES.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, ERRECTED AND CONNECTED IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.
- ANY DISCREPANCIES BETWEEN DRAWINGS, LOCAL CODES, BUILDING INSPECTOR REQUIREMENTS AND/OR EXISTING CONDITIONS SHALL BE REFERRED TO THE ARCHITECT FOR RESOLUTION. ALL DIMENSIONS AND CONDITIONS OF EACH TRADE ARE TO BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION OR THE WORK OF EACH SPECIFIC TRADE.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF MUNICIPAL, LOCAL, FEDERAL AND STATE LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, AND CONVENTIONAL GUIDELINES, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
- ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE WORK SHALL BE REMOVED, REPLACED, AND RECTIFIED.
- ALL LEGALLY REQUIRED APPROVALS AND PERMITS NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE OBTAINED.
- ALL TIE-INS AND UTILITY SERVICES ARE TO BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANY.
- ALL CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO THE COMPLETION OF THE PROJECT.
- ALL EXISTING TREES, SHRUBS, VEGETATION, AND LANDSCAPE ELEMENTS OR FEATURES ADJACENT TO AND IN THE VICINITY OF THE BUILDING AND STAGING AREAS SHALL BE PROTECTED DURING THE ENTIRE PERIOD OF CONSTRUCTION.
- ANY REVISIONS MUST BE APPROVED BY: ARCHITECT PRIOR TO TO CONSTRUCTION.
- ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND ENGINEER. DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE FOR USE ON THIS PROJECT ONLY AND USE OR REPRODUCTION OF A PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S AND ENGINEER'S WRITTEN PERMISSION THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED AND SIGNED BY THE ARCHITECT/ENGINEER.

PROJECT CONTACT LIST:

ARCHITECT:
T. S. NEAL ARCHITECTS, INC.
22974 OVERSEAS HIGHWAY
CUDJOE KEY, FL 33042
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O 305-293-89837

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LANDSCAPE ARCHITECTURE
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O 407-222-9583

GEO TECH ENGINEER:
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CONCRETE ANALYSIS & TESTING
LABORATORIES, INC.
PO Box 500875
MARATHON, FL 33050
LAT24LISA@AOL.COM
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O 305-743-5555

CIVIL ENGINEER:
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BRANDON O'FLYNN
1200 FOURTH STREET, #575
KEY WEST, FL 33040
BRANDON@OFLYNNENG.COM
M 305-517-5698
O 305-768-1212

DRAWING SCHEDULE:

| | |
|--------|--|
| T1.1 | TITLE, SITE DATA & PROJECT INFO SURVEY |
| C1.1 | ARCHITECTURAL SITE PLAN |
| LC-100 | STORMWATER MANAGEMENT PLAN |
| | LANDSCAPE CONCEPT |
| A1.0 | PROPOSED STREETScape CONTEXT |
| A1.1 | FIRST FLOOR PLAN / SITE PLAN |
| A1.2 | SECOND FLOOR PLAN |
| A3.1 | STREET FACE EXTERIOR ELEVATIONS |
| A3.2 | EXTERIOR ELEVATIONS UNIT #1 |
| A3.3 | EXTERIOR ELEVATIONS UNIT #2 |
| A3.4 | EXTERIOR ELEVATIONS UNIT #3 |
| A3.5 | EXTERIOR ELEVATIONS UNIT #4 |

A NEW RESIDENTIAL DEVELOPMENT AT 638-646 UNITED ST. KEY WEST, FL 33040

ABBREVIATION LEGEND:

| | |
|----------|--------------------------|
| ADJ. | = ADJUSTABLE |
| A.F.F. | = ABOVE FINISH FLOOR |
| ALUM. | = ALUMINUM |
| ARCH. | = ARCHITECTURAL |
| BALC. | = BALCONY |
| BD. | = BOARD |
| C.I.P. | = CAST IN PLACE |
| C.J. | = CONTROL JOINT |
| CL. | = CLOSET |
| CL. | = CENTERLINE |
| CONC. | = CONCRETE |
| COORD. | = COORDINATE |
| C.O.R. | = CROWN OF ROAD |
| D | = DRYER |
| DIM. | = DIMENSION |
| DN. | = DOWN |
| DW | = DISHWASHER |
| DWG | = DRAWING |
| ELECT. | = ELECTRICAL |
| ELEV. | = ELEVATOR |
| E.P. | = ELECTRICAL PANEL |
| EQ. | = EQUAL |
| EX. | = EXISTING |
| E.J. | = EXPANSION JOINT |
| FREZ. | = FREEZER |
| GYP. BD. | = GYPSUM WALL BOARD |
| HORZ. | = HORIZONTAL |
| HR. | = HOUR |
| MAX. | = MAXIMUM |
| MECH. | = MECHANICAL |
| MIC. | = MICROWAVE OVEN |
| MIN. | = MINIMUM |
| M.R. | = MOISTURE RESISTANT |
| N.A. | = NOT APPLICABLE |
| N.I.C. | = NOT IN CONTRACT |
| O.H. | = OPPOSITE HAND |
| PT. | = PAINTED |
| P.T. | = PRESSURE TREATED |
| R.A. | = RETURN AIR |
| REF. | = REFERENCE |
| REFR. | = REFRIGERATOR |
| REQ. | = REQUIRED |
| SCHED. | = SCHEDULE |
| S.F. | = SQUARE FOOT |
| SIM. | = SIMILAR |
| STOR. | = STORAGE |
| STRUCT. | = STRUCTURAL |
| SQ. | = SQUARE |
| TL | = TILE |
| TYP. | = TYPICAL |
| U.C. | = UNDER COUNTER |
| U.N.O. | = UNLESS NOTED OTHERWISE |
| VERT. | = VERTICAL |
| V.I.F. | = VERIFY IN FIELD |
| W | = WASHER |
| W/ | = WITH |
| WD. | = WOOD |
| W.H. | = WATER HEATER |

DESIGN NOTES:

THE NEW STRUCTURE IS DESIGNED TO MEET THE FOLLOWING:
FBC 2020 - RESIDENTIAL (FBC-R)
A.S.C.E. 24-14 REGULATIONS
PER FBC 07/ASCE 07-16
EXPOSURE "C"
LIVE LOAD 40 PSF
WIND LOAD 180 M.P.H.
SEE STRUCTURAL DRAWINGS, SHEET SO.0
CONSTRUCTION TYPE: TYPE Vb

SQUARE FOOT TABLE

| | 1ST FLOOR CONDITIONED | 2ND FLOOR CONDITIONED | PORCHES | POOL DECKS & POOLS | GARAGE OR POOL HOUSE |
|---------|-----------------------|-----------------------|---------------|---|---|
| UNIT #1 | 1,335 Sq. Ft. | 1,185 Sq. Ft. | 656 Sq. Ft. | 218 Sq. Ft. DECK 140 Sq. Ft. POOL | |
| UNIT #2 | 1,079 Sq. Ft. | 1,079 Sq. Ft. | 224 Sq. Ft. | 338 Sq. Ft. DECK 143 Sq. Ft. POOL | 286 Sq. Ft. GAR. 286 Sq. Ft. COND. 76 Sq. Ft. PORCH |
| UNIT #3 | 991 Sq. Ft. | 991 Sq. Ft. | 90 Sq. Ft. | 273 Sq. Ft. DECK 143 Sq. Ft. POOL | 240 Sq. Ft. |
| UNIT #4 | 1,209 Sq. Ft. | 1,118 Sq. Ft. | 112 Sq. Ft. | 379 Sq. Ft. DECK 111 Sq. Ft. POOL | |
| TOTAL | 4,614 Sq. Ft. | 4,373 Sq. Ft. | 1,082 Sq. Ft. | 1,208 Sq. Ft. DECK 537 Sq. Ft. POOLS | 888 Sq. Ft. |

CERTIFICATE OF COMPLIANCE:

SCOPE OF WORK:

**T.S. NEAL
ARCHITECT INC.**
22974 OVERSEAS HWY
CUDJOE KEY, FL
33042
305-340-8857
251-422-9547

DESIGN
DRAWINGS
ARE FOR HARC
REVIEW ONLY

A NEW RESIDENTIAL DEVELOPMENT AT
638-646 UNITED ST.
KEY WEST, FL 33040

DRAWING TITLE:
TITLE, SITE DATA &
PROJECT INFORMATION

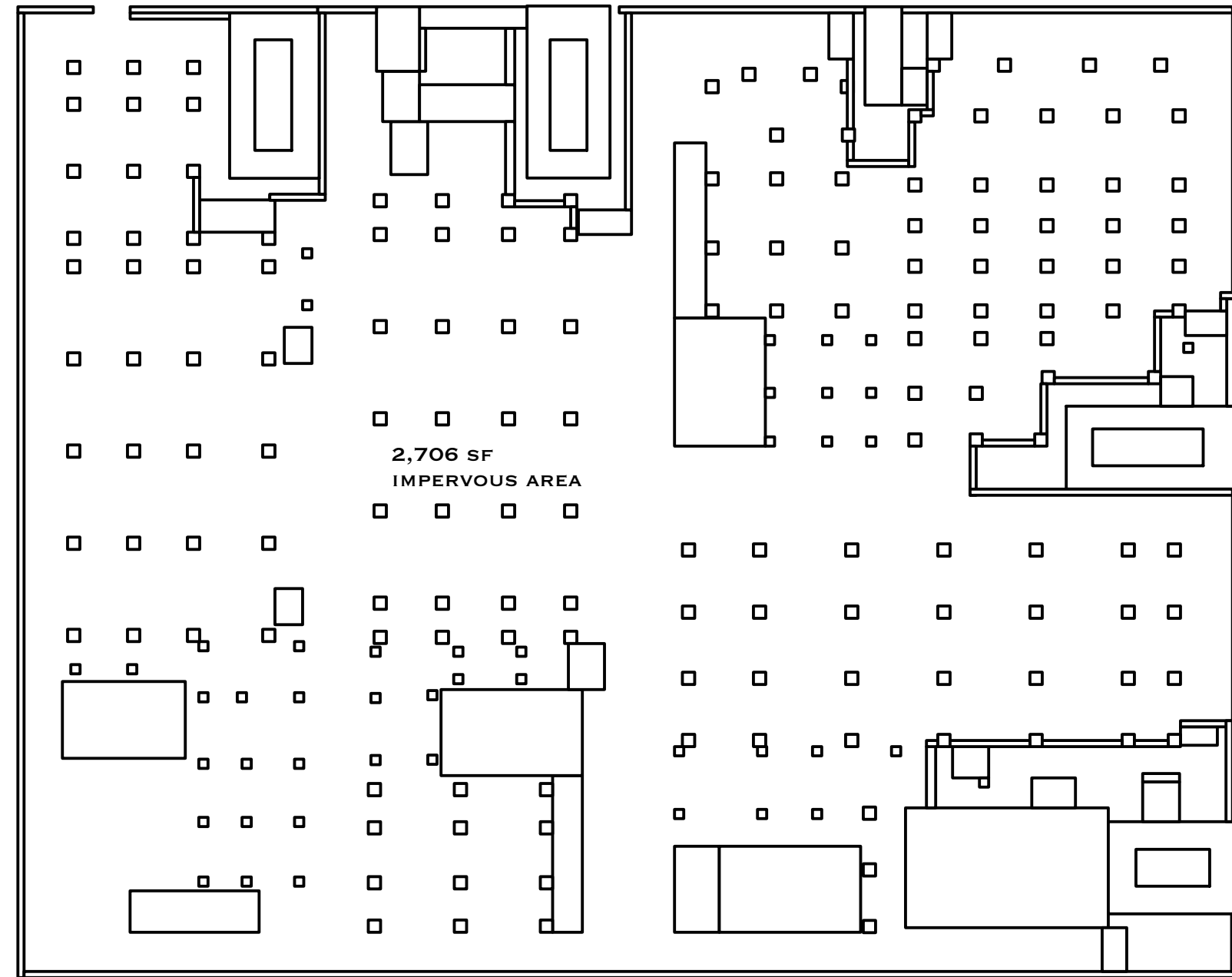
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CHECKED: -
DATE: 08-03-2023

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| REVISION # | DATE |

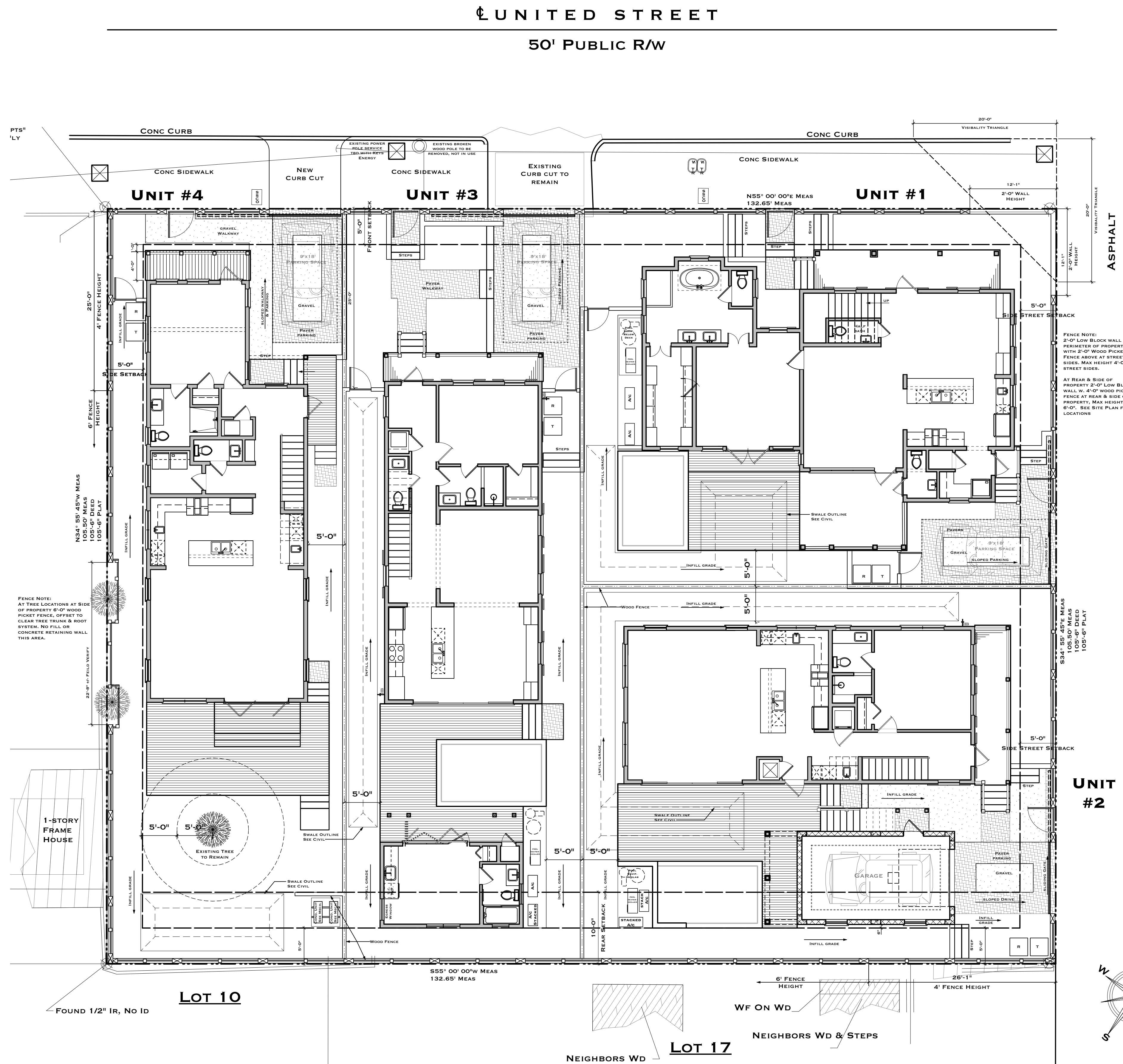
T1.1

SHEET #

T.S. NEAL ARCHITECTS, INC.



2 IMPERVIOUS AREA SITE PLAN DIAGRAM
C1.1 SCALE: 1/16" = 1'-0"



1 ARCHITECTURAL SITE PLAN
C1.1 SCALE: 1/8" = 1'-0"

T.S. NEAL
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251-422-9547

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DRAWINGS
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A NEW RESIDENTIAL DEVELOPMENT AT
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KEY WEST, FL 33040

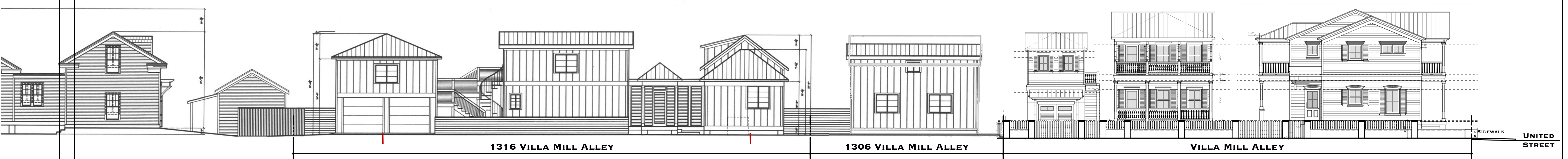
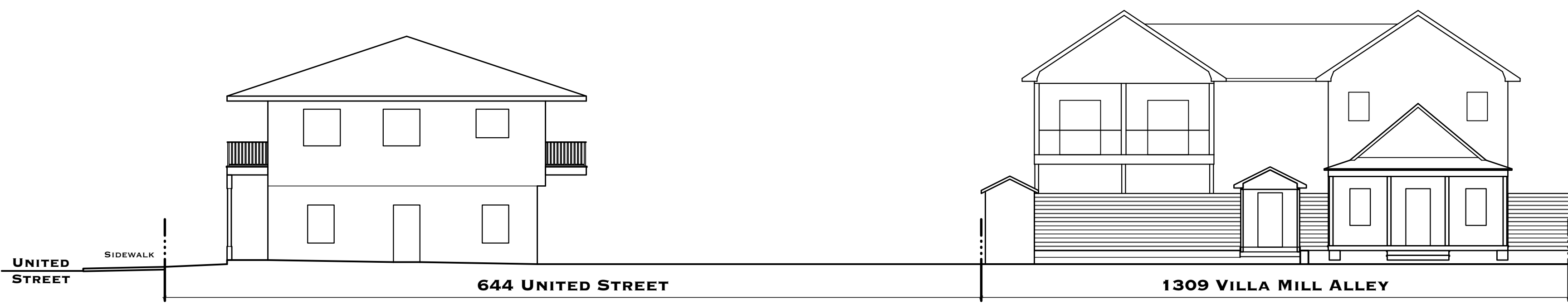
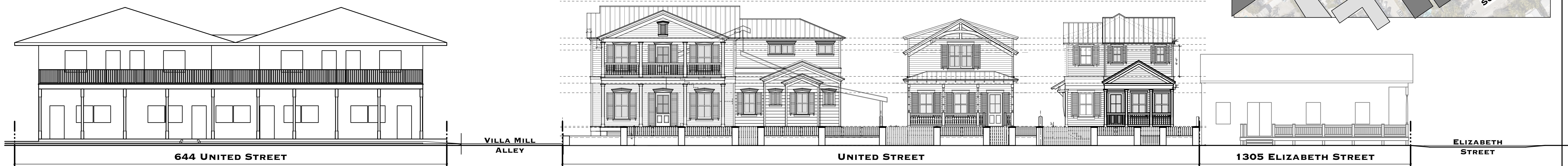
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ARCHITECTURAL SITE PLAN

DRAWN: TSN
CHECKED: -
DATE: 08-03-2023

| REV. #1 | 10-11-2023 |
|---------|------------|
| | |
| | |

REVISION # DATE
C1.1
SHEET #

TSN
T. S. NEAL ARCHITECTS, INC.



- GRAPHIC KEY**
- SINGLE STORY
 - SINGLE & A HALF
 - TWO STORY
 - SITE LOCATION




T.S. NEAL
 ARCHITECT INC.
 22974 OVERSEAS HWY
 CUDJOE KEY, FL
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 305-340-8857
 251-422-9547

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A NEW RESIDENTIAL DEVELOPMENT AT
638-646 UNITED ST.
 KEY WEST, FL 33040

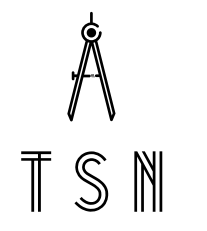
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 CONTEXT

DRAWN: TSN
 CHECKED: -
 DATE: 08-03-2023

| REV. #1 | 10-11-2023 |
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| | |
| | |

A1.0

SHEET #


 T.S. NEAL ARCHITECTS, INC.

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A NEW RESIDENTIAL DEVELOPMENT AT
638-646 UNITED ST.
 KEY WEST, FL 33040

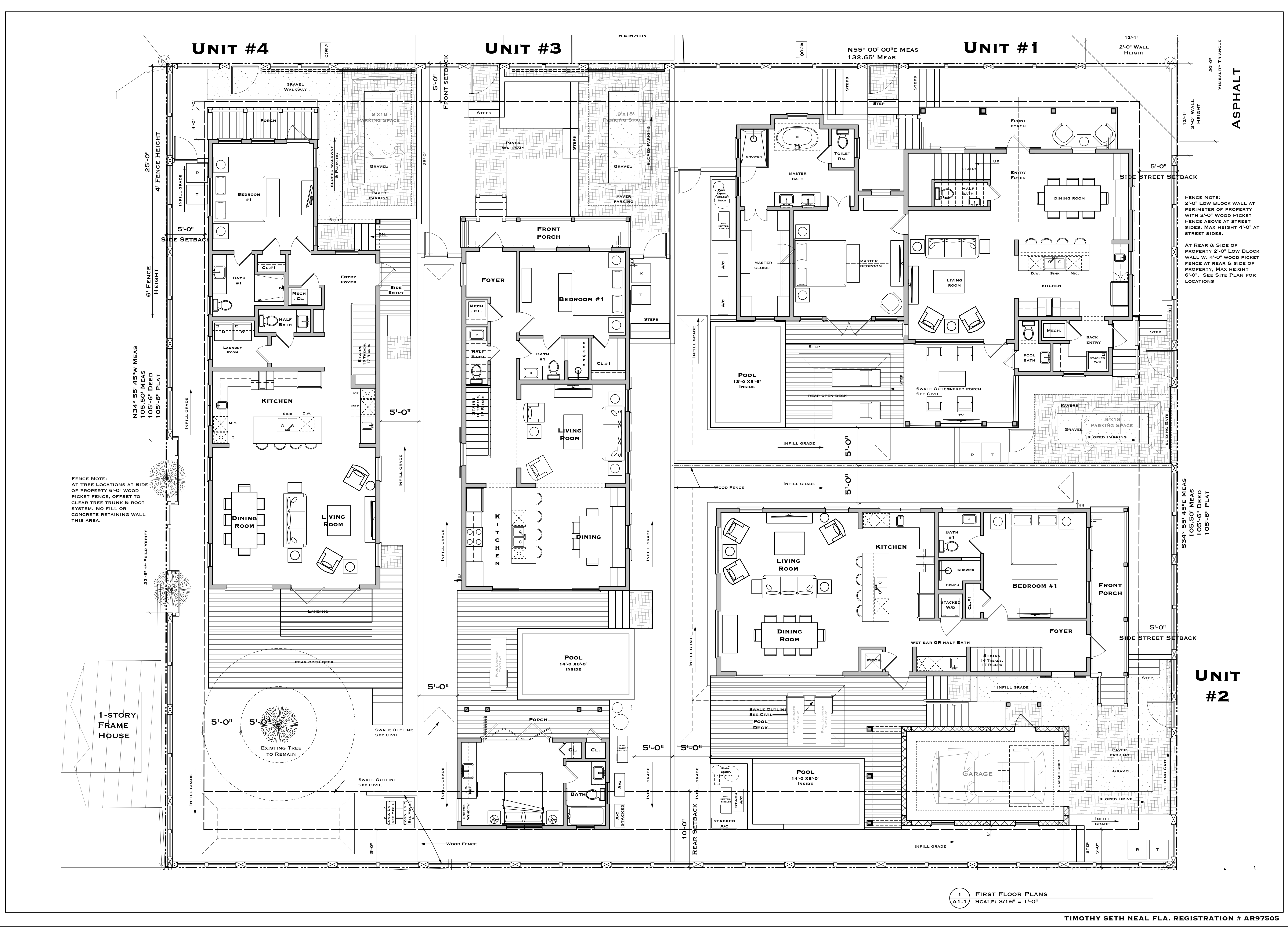
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DRAWN: TSN
 CHECKED: -
 DATE: 08-03-2023

REV. #1 10-11-2023

REVISION # DATE

A1.1
 SHEET #

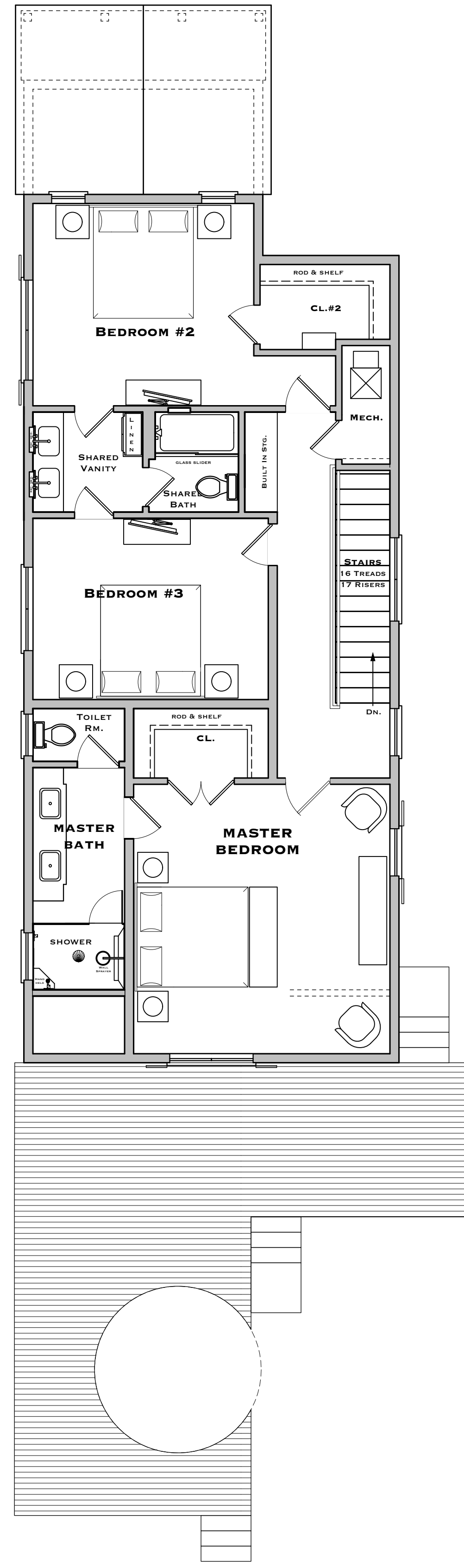


1 FIRST FLOOR PLANS
 A1.1 SCALE: 3/16" = 1'-0"

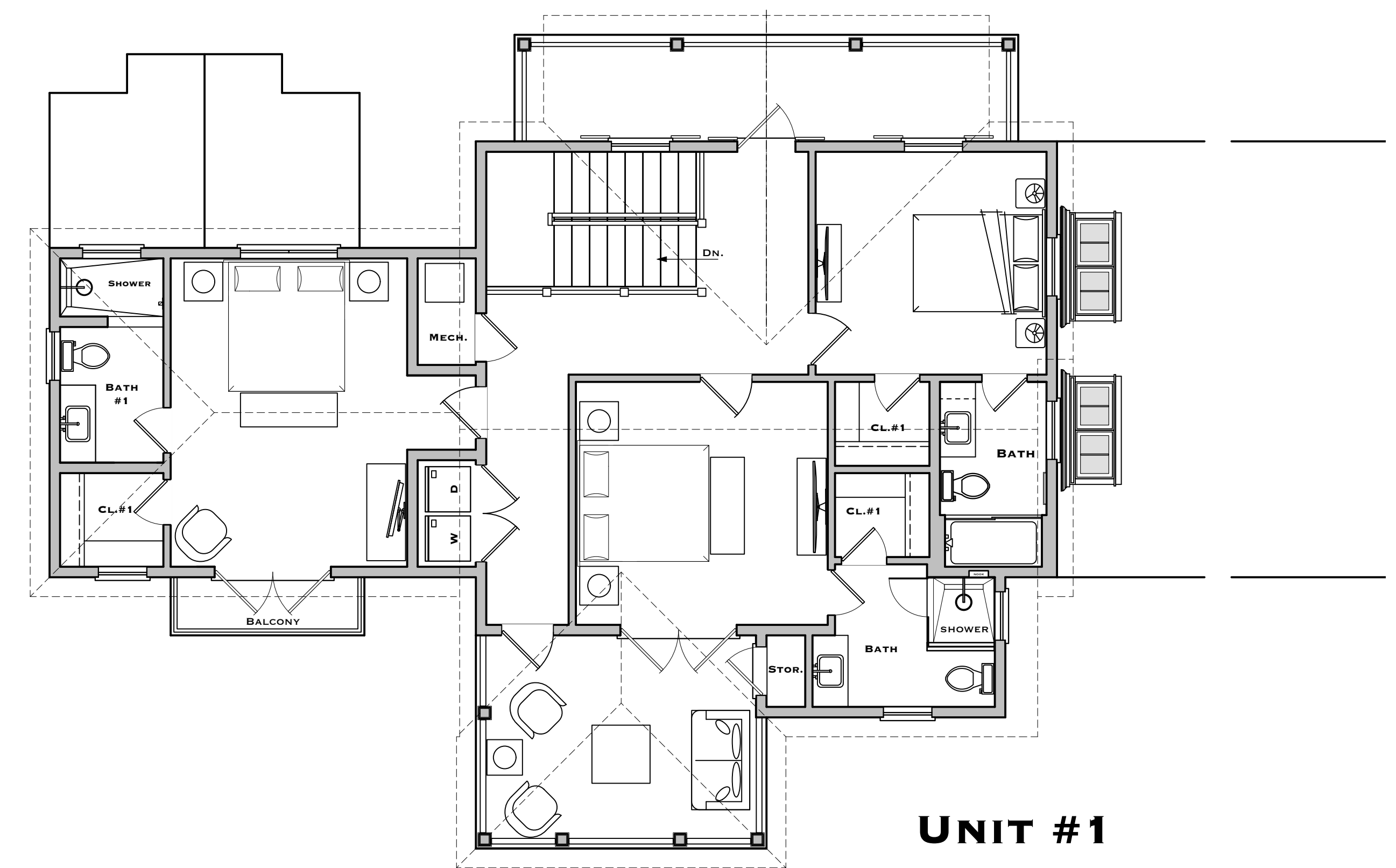
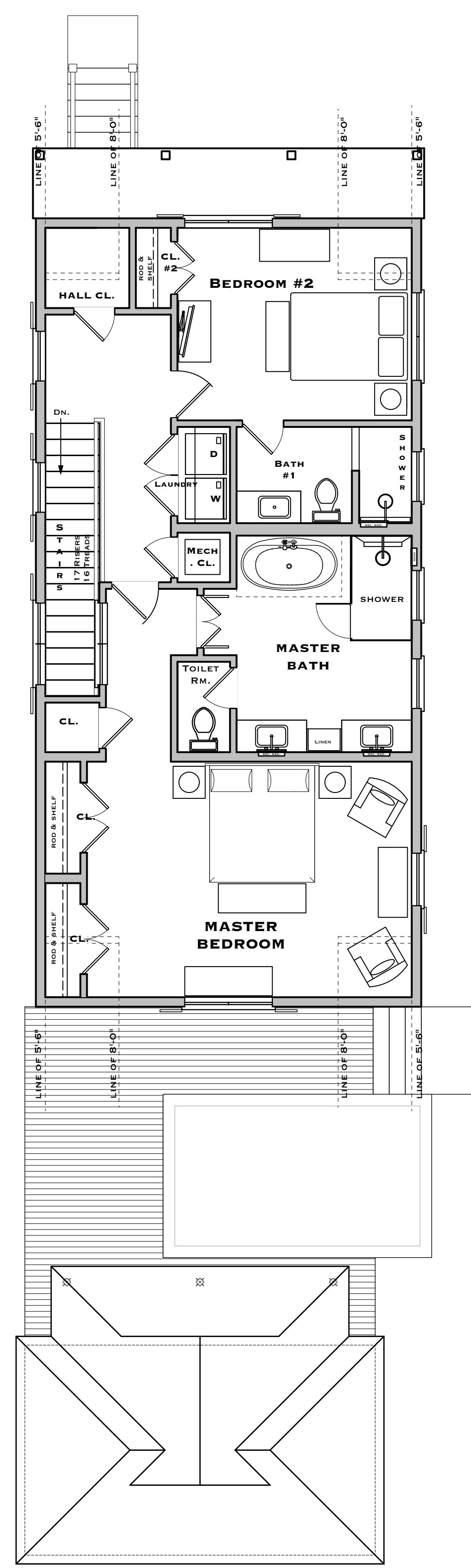
DESIGN
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638-646 UNITED ST.
 KEY WEST, FL 33040

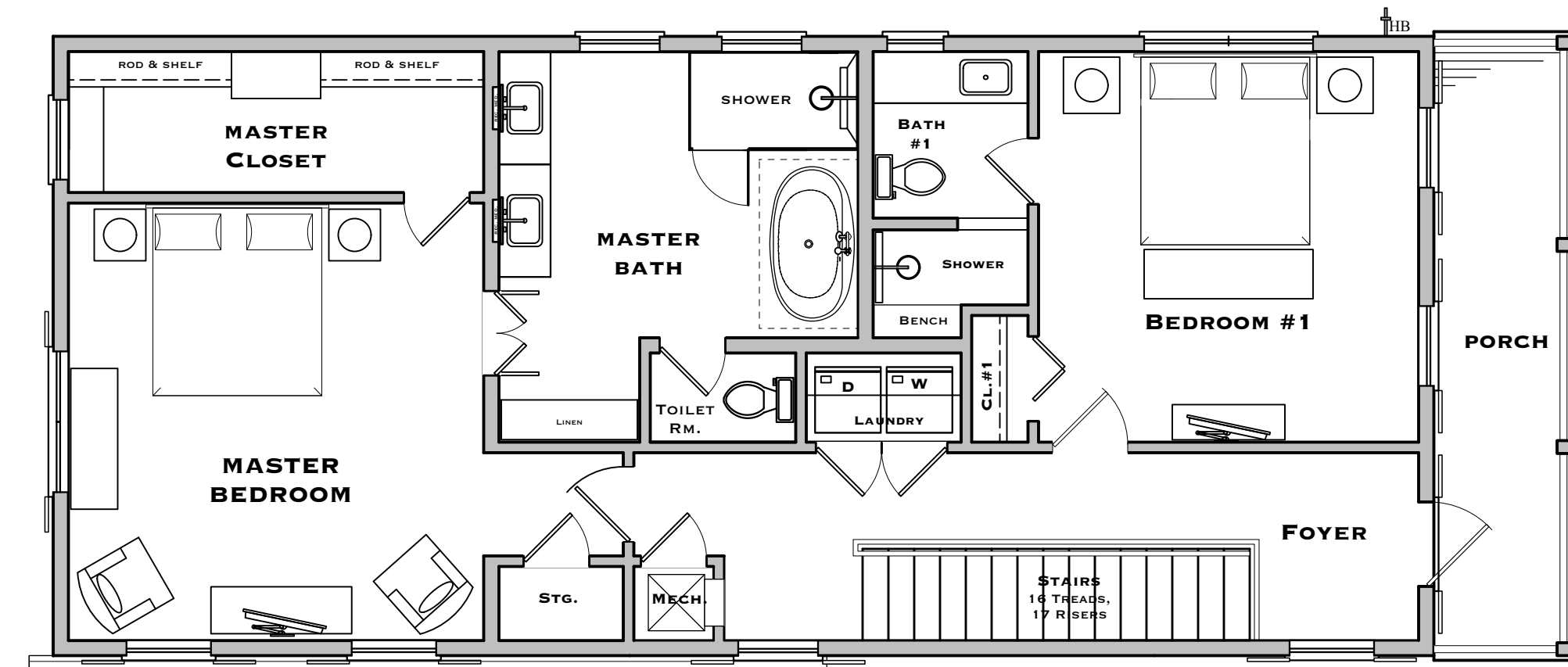
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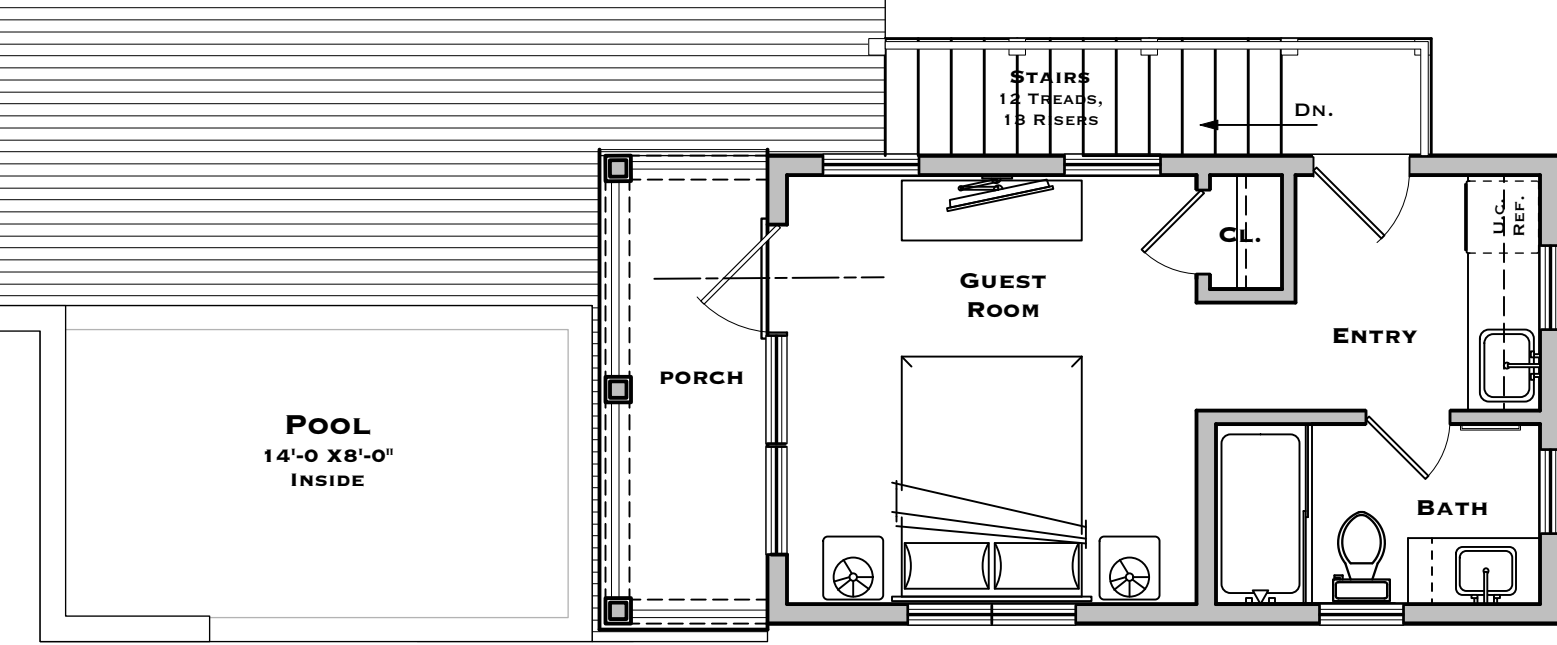
UNIT #3



UNIT #1



UNIT #2

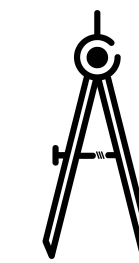


DRAWING TITLE:
SECOND FLOOR PLAN

DRAWN: TSN
 CHECKED: -
 DATE: 08-03-2023

| REV. #1 | DATE |
|---------|------|
| - | - |

A1.2
 SHEET #



T.S. NEAL
ARCHITECT INC.

22974 OVERSEAS HWY
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33042

305-340-8857
251-422-9547

DESIGN
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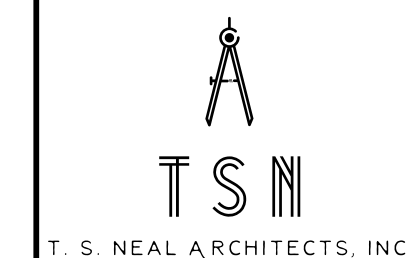
A NEW RESIDENTIAL DEVELOPMENT AT
638-646 UNITED ST.
KEY WEST, FL 33040

DRAWING TITLE:
STREET EXTERIOR ELEVATIONS

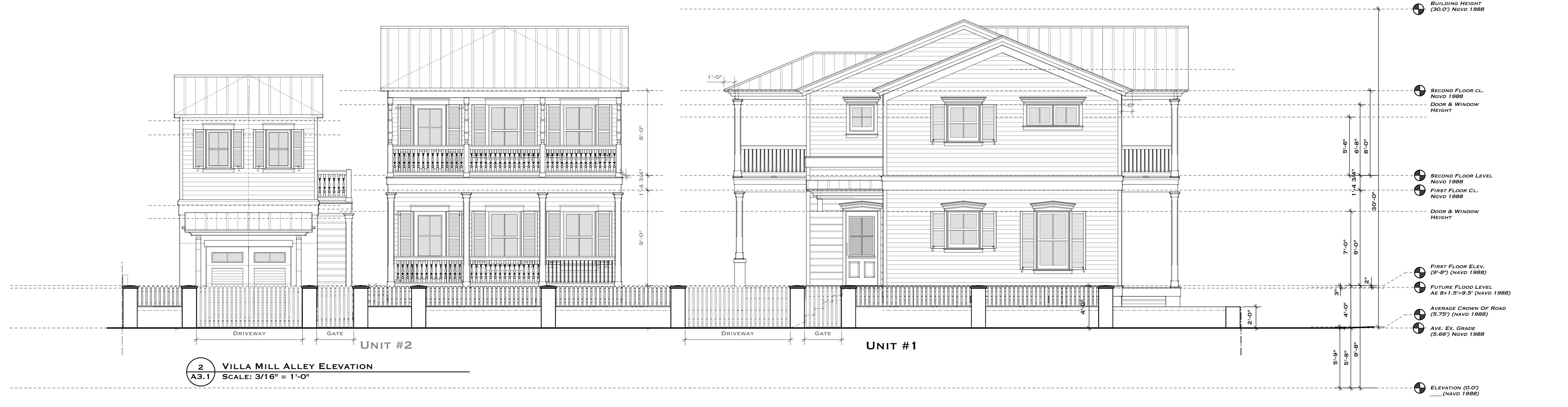
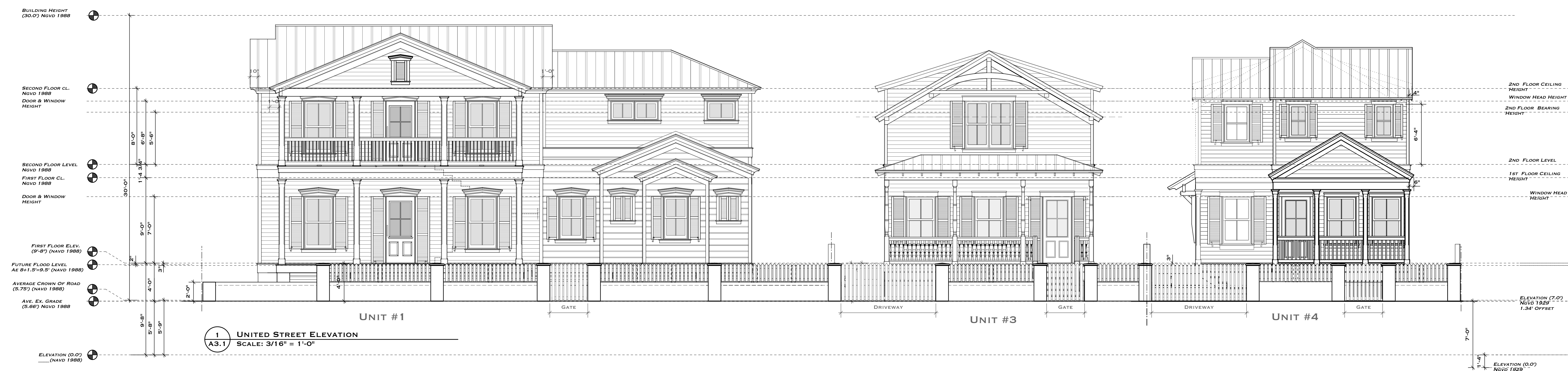
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| | |
| REVISION # | DATE |

A3.1
SHEET #



TIMOTHY SETH NEAL FLA. REGISTRATION # AR97505



TIMOTHY SETH NEAL FLA. REGISTRATION # AR97505

DESIGN DRAWINGS ARE FOR HARC REVIEW ONLY

A NEW RESIDENTIAL DEVELOPMENT AT
638-646 UNITED ST.
 KEY WEST, FL 33040

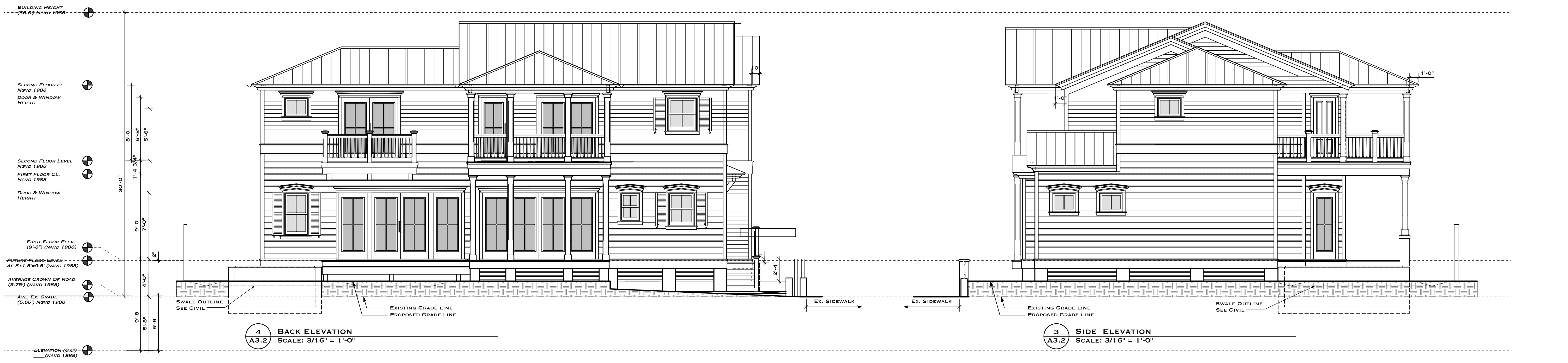
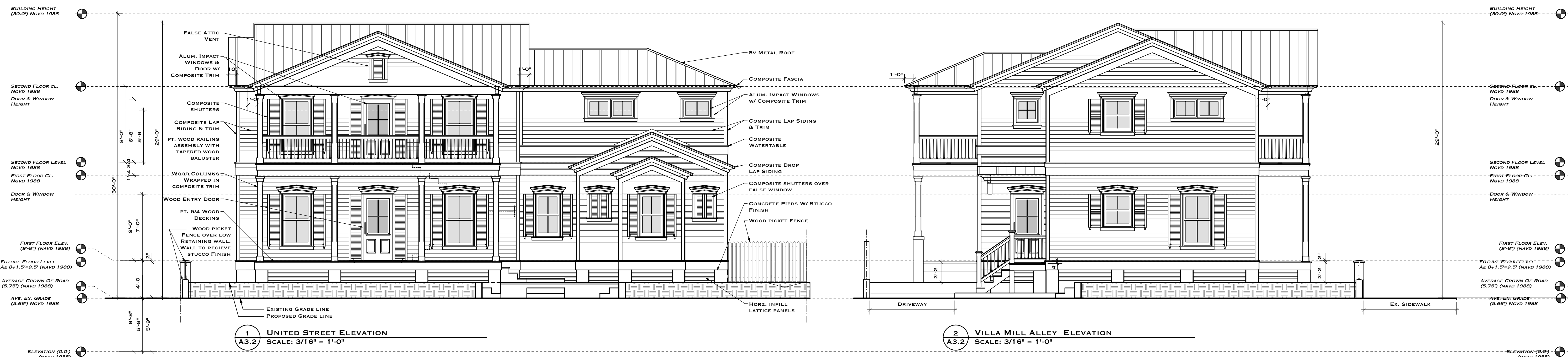
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EXTERIOR ELEVATIONS UNIT #1

DRAWN: TSN
 CHECKED: -
 DATE: 08-03-2023

| | |
|---------|------------|
| REV. #1 | 10-11-2023 |
| | |
| | |
| | |

REVISION # DATE

A3.2
 SHEET #



NOTE:
 ALL EXPOSED CONCRETE
 TO RECEIVE A SAND
 SMOOTH STUCCO FINISH

DESIGN DRAWINGS ARE FOR HARC REVIEW ONLY

A NEW RESIDENTIAL DEVELOPMENT AT
638-646 UNITED ST.
 KEY WEST, FL 33040

DRAWING TITLE:
EXTERIOR ELEVATIONS UNIT #2

DRAWN: TSN
 CHECKED: -
 DATE: 08-03-2023

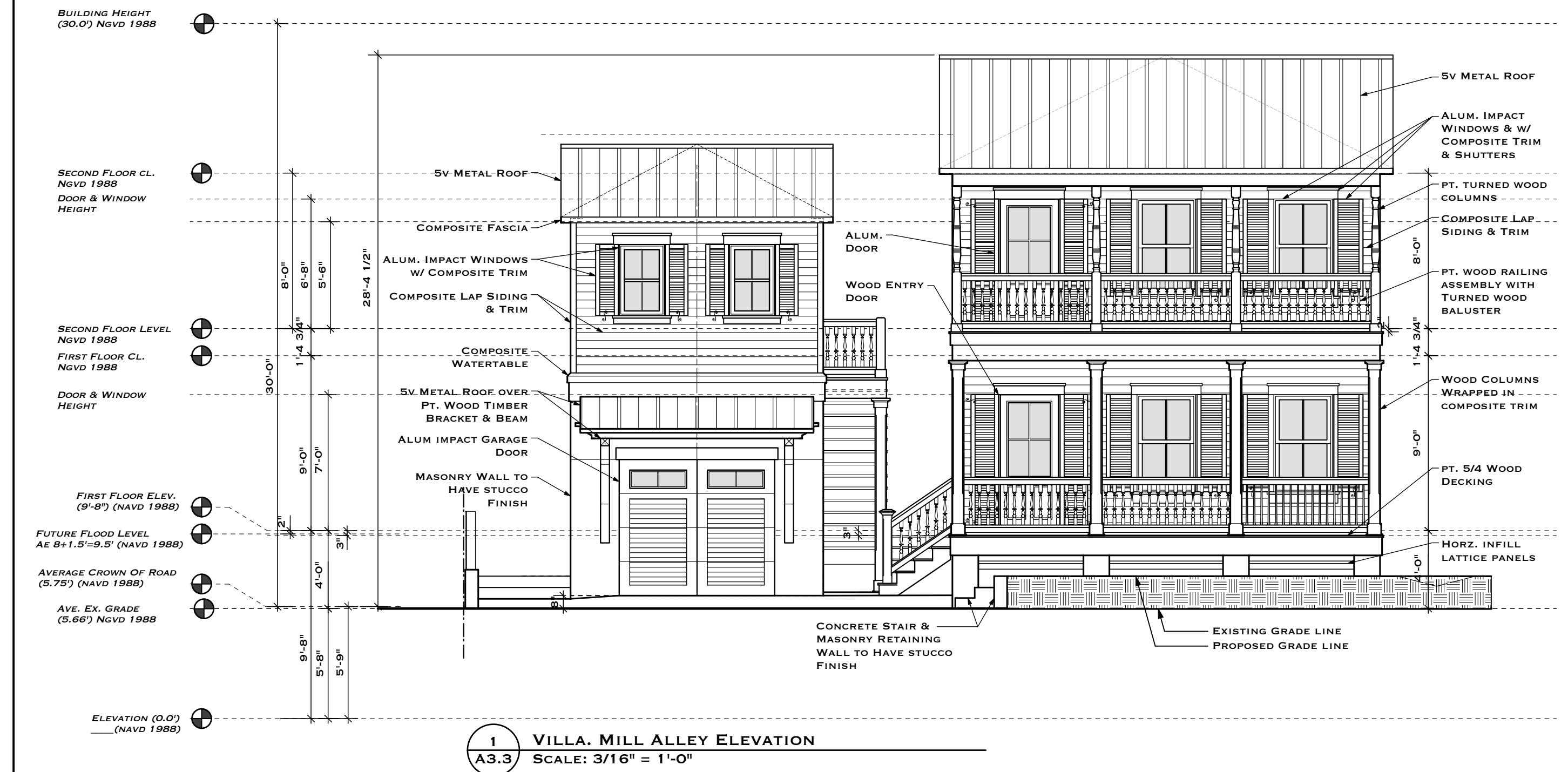
| REV. #1 | 10-11-2023 |
|---------|------------|
| | |
| | |
| | |

REVISION # DATE

A3.3
 SHEET #



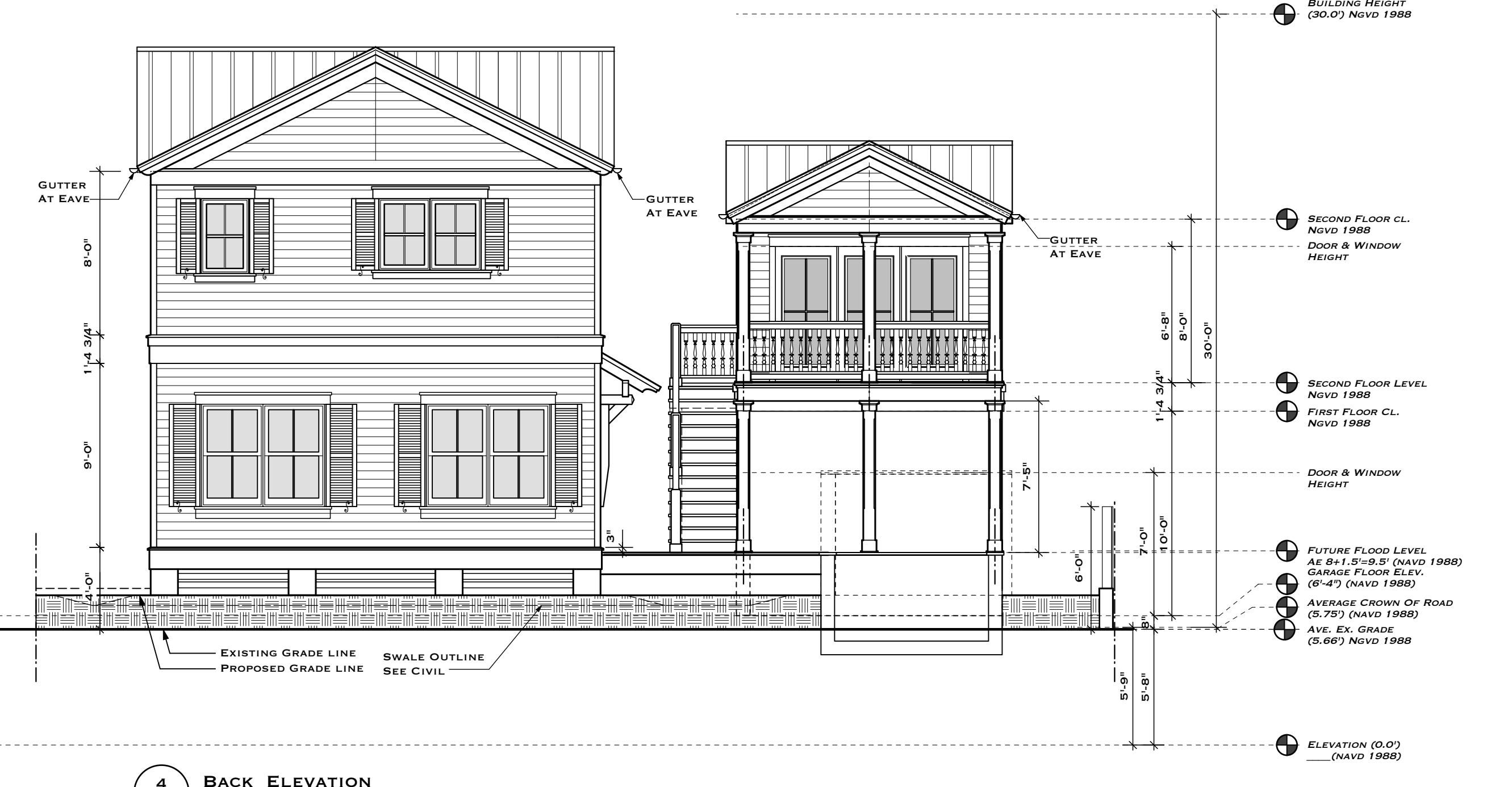
2 SWATHWEST SIDE ELEVATION
 A3.3 SCALE: 3/16" = 1'-0"



1 VILLA. MILL ALLEY ELEVATION
 A3.3 SCALE: 3/16" = 1'-0"



3 SWATHWEST GARAGE SIDE ELEVATION
 A3.3 SCALE: 3/16" = 1'-0"

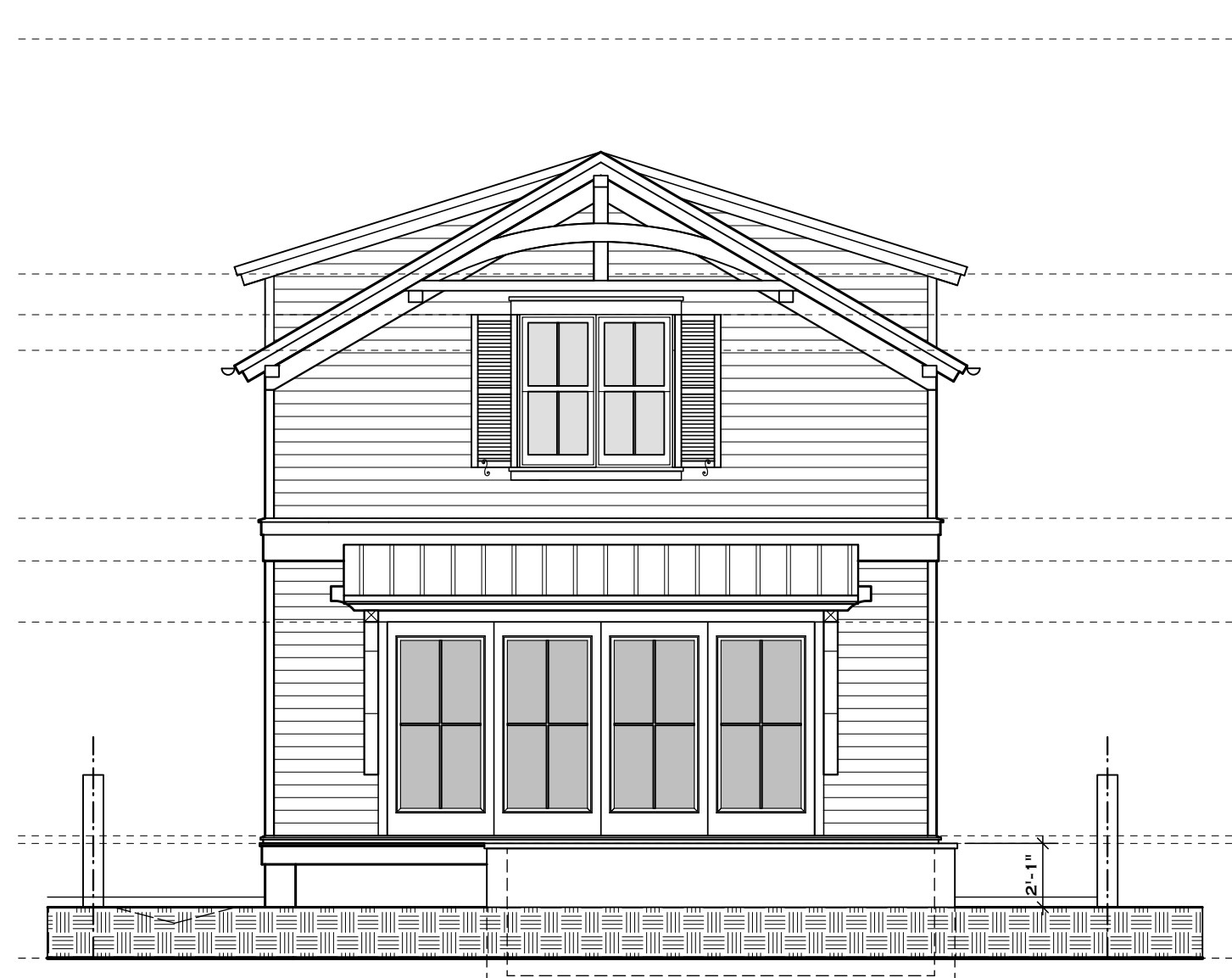


4 BACK ELEVATION
 A3.3 SCALE: 3/16" = 1'-0"

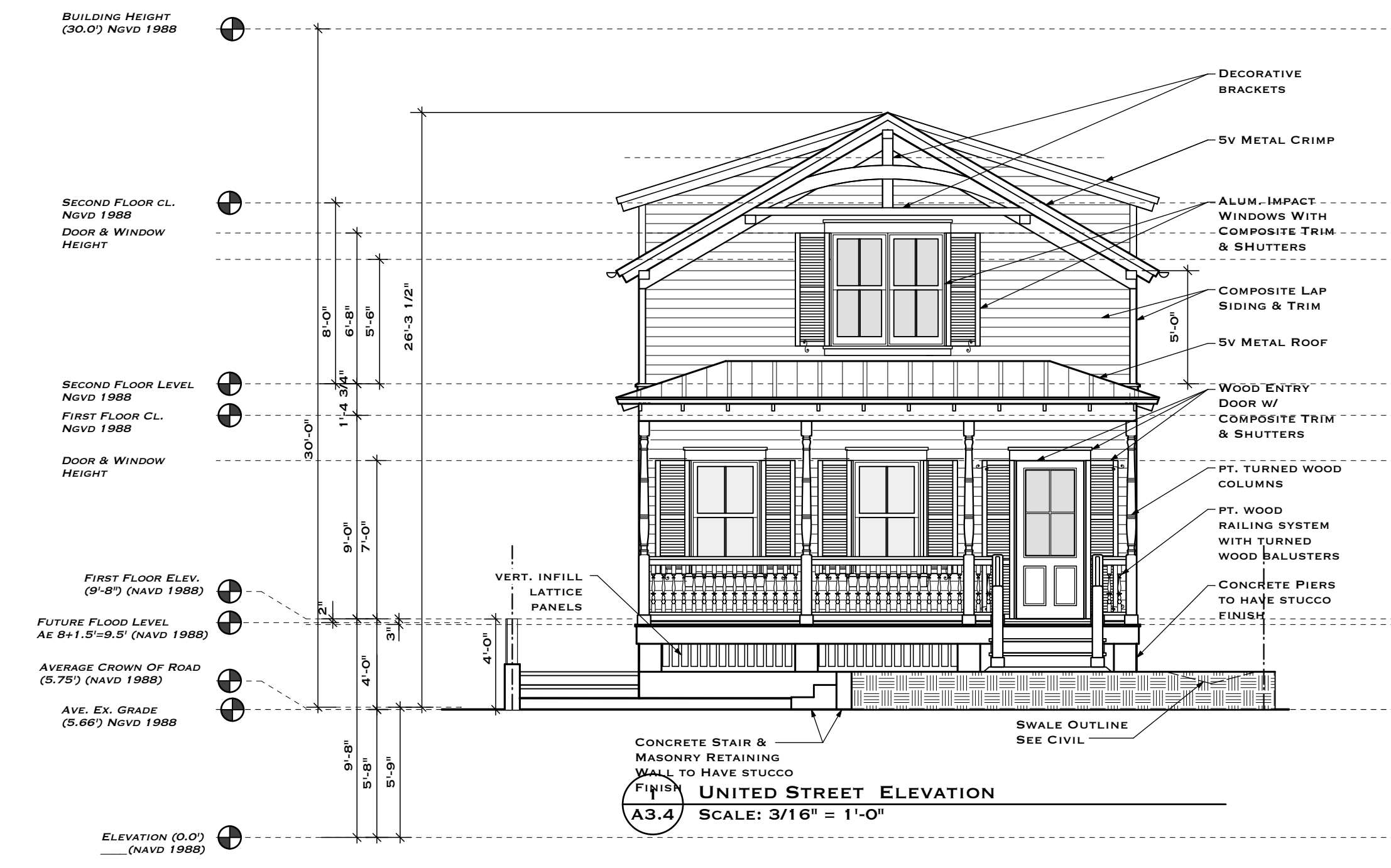
NOTE:
 ALL EXPOSED CONCRETE TO RECIEVE A SAND SMOOTH STUCCO FINISH

DESIGN DRAWINGS ARE FOR HARC REVIEW ONLY

A NEW RESIDENTIAL DEVELOPMENT AT
638-646 UNITED ST.
 KEY WEST, FL 33040



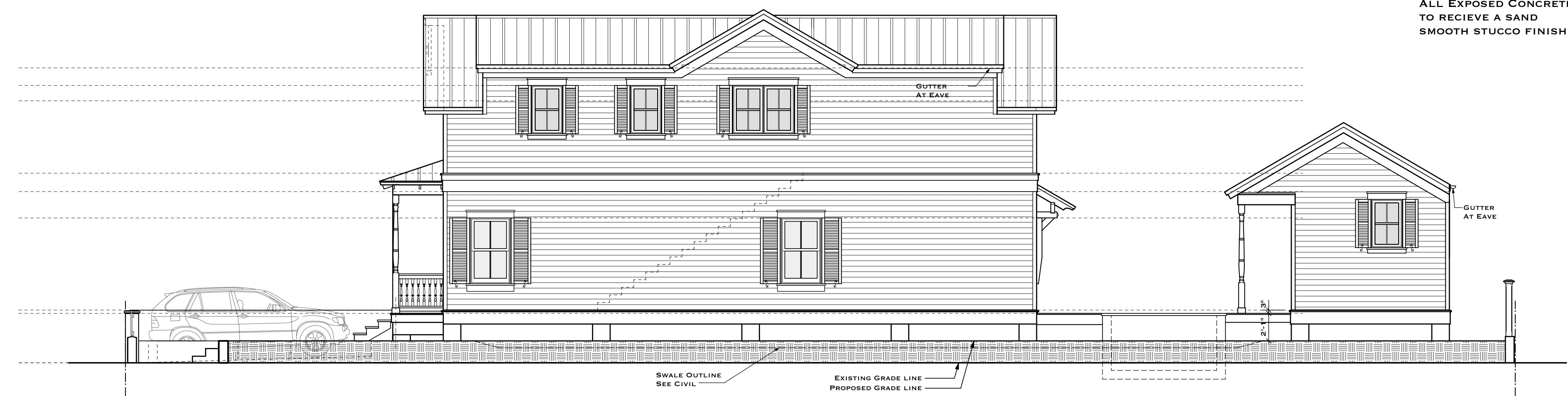
2 BACK ELEVATION
 A3.4 SCALE: 3/16" = 1'-0"



FINISH UNITED STREET ELEVATION
 A3.4 SCALE: 3/16" = 1'-0"



3 SOUTHWEST SIDE ELEVATION
 A3.4 SCALE: 3/16" = 1'-0"



4 NORTHEAST SIDE ELEVATION
 A3.4 SCALE: 3/16" = 1'-0"

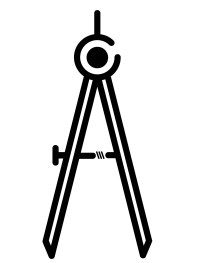
NOTE:
 ALL EXPOSED CONCRETE TO RECEIVE A SAND SMOOTH STUCCO FINISH

DRAWING TITLE:
 EXTERIOR ELEVATIONS
 UNIT #3

DRAWN: TSN
 CHECKED: -
 DATE: 08-03-2023

| REV. #1 | 10-11-2023 |
|---------|------------|
| | |
| | |

A3.4
 SHEET #



T.S. NEAL
ARCHITECT INC.

22974 OVERSEAS HWY
CUDDOKE KEY, FL
33042

305-340-8857
251-422-9547

DESIGN
DRAWINGS
ARE FOR HARC
REVIEW ONLY

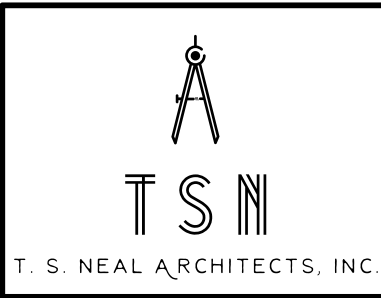
A NEW RESIDENTIAL DEVELOPMENT AT
638-646 UNITED ST.
KEY WEST, FL 33040

DRAWING TITLE:
EXTERIOR ELEVATIONS
UNIT #4

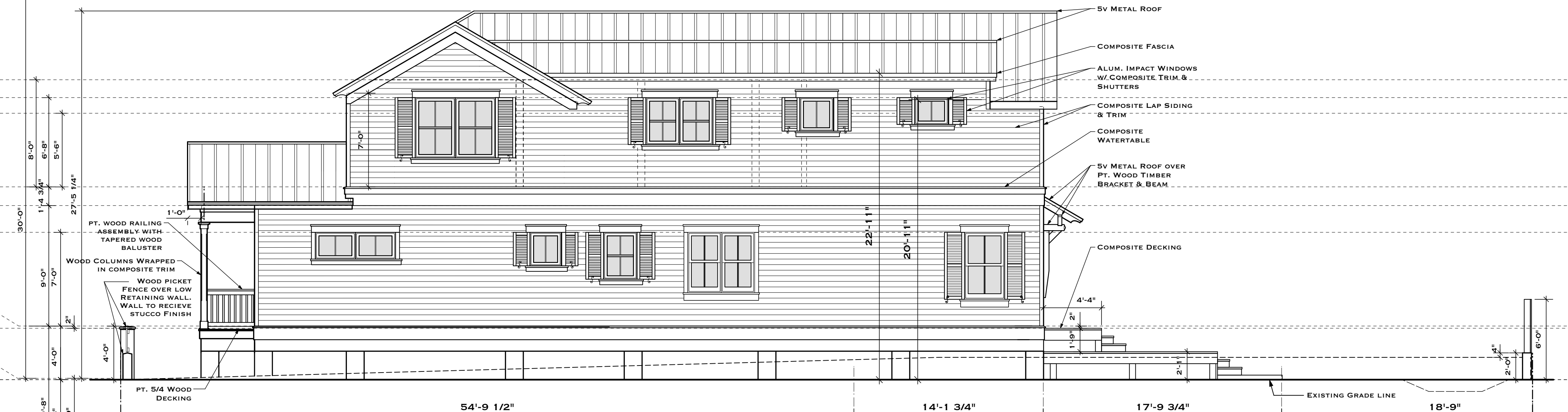
DRAWN: TSN
CHECKED: -
DATE: 08-03-2023

| | |
|------------|------------|
| REV. #1 | 10-11-2023 |
| | |
| | |
| | |
| REVISION # | DATE |

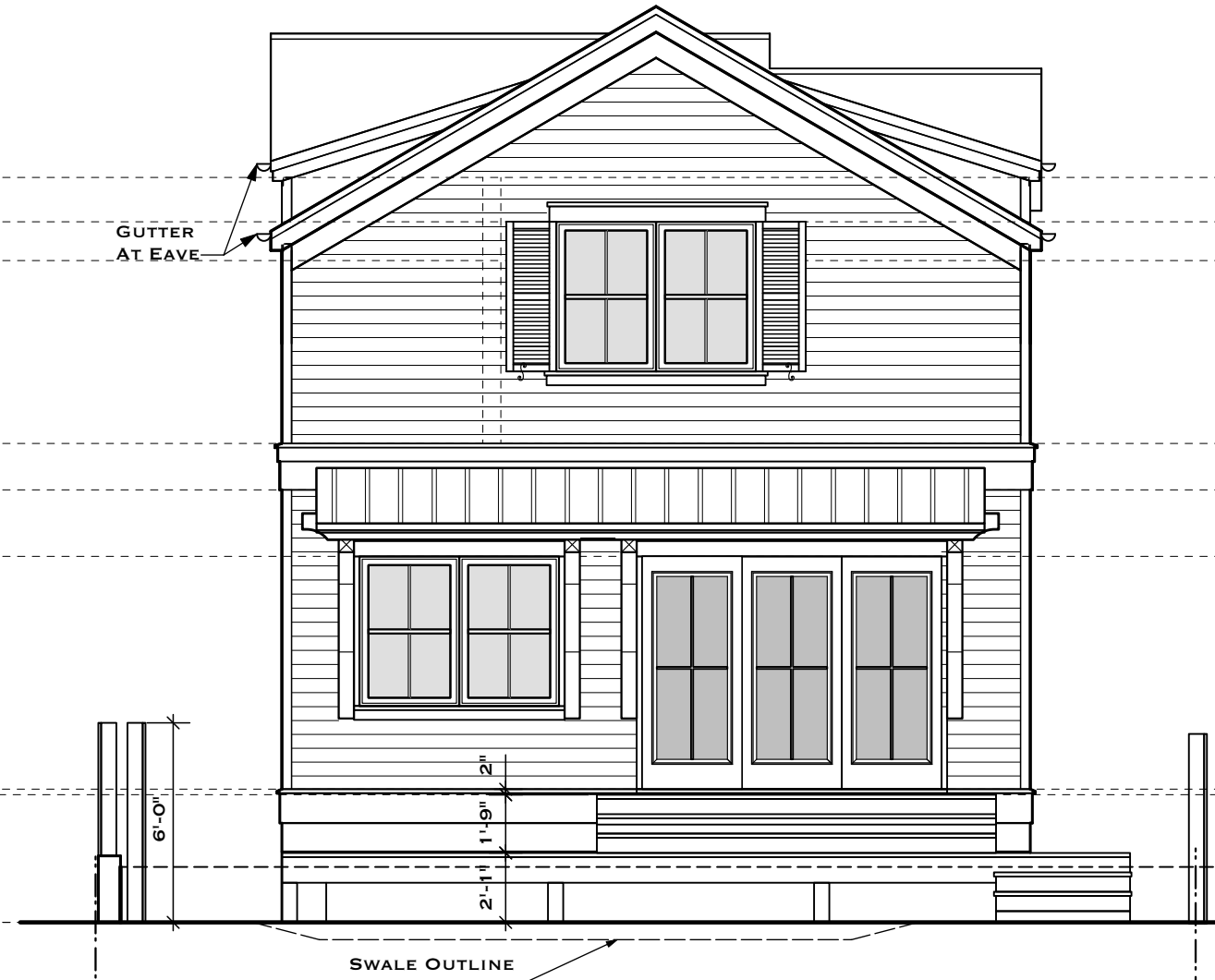
A3.5
SHEET #



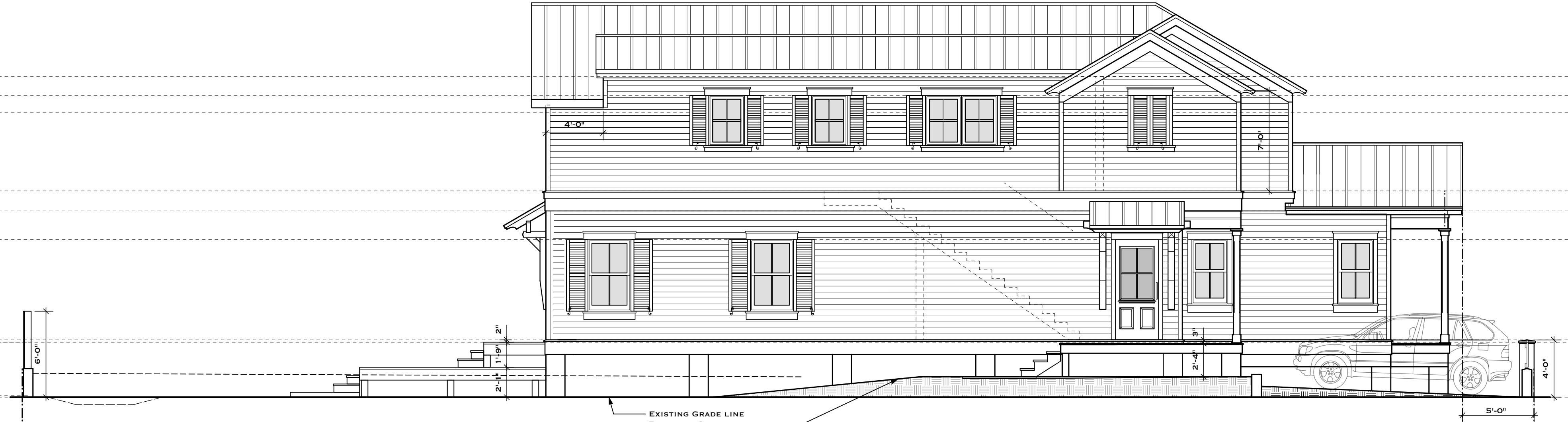
1 UNITED STREET ELEVATION
SCALE: 3/16" = 1'-0"



2 SOUTHWEST SIDE ELEVATION
SCALE: 3/16" = 1'-0"



3 BACK ELEVATION
SCALE: 3/16" = 1'-0"



4 NORTHEAST SIDE ELEVATION
SCALE: 3/16" = 1'-0"

BUILDING HEIGHT (30.0') NAVD 1988

SECOND FLOOR CL. NAVD 1988
DOOR & WINDOW HEIGHT

SECOND FLOOR LEVEL NAVD 1988
FIRST FLOOR CL. NAVD 1988
DOOR & WINDOW HEIGHT

FIRST FLOOR ELEV. (9'-8") NAVD 1988

FUTURE FLOOD LEVEL
AT 9'-1.5"=9.5" (NAVD 1988)

AVERAGE CROWN OF ROAD
(5.75') (NAVD 1988)

AVE. EX. GRADE
(5.66') NAVD 1988

ELEVATION (0.0')
(NAVD 1988)

FUTURE C.O.G.
(NAVD 1988)

BUILDING HEIGHT (30.0') NAVD 1988

SECOND FLOOR CL. NAVD 1988
DOOR & WINDOW HEIGHT

SECOND FLOOR LEVEL NAVD 1988
FIRST FLOOR CL. NAVD 1988
DOOR & WINDOW HEIGHT

FIRST FLOOR ELEV. (9'-8") NAVD 1988

FUTURE FLOOD LEVEL
AT 9'-1.5"=9.5" (NAVD 1988)

AVERAGE CROWN OF ROAD
(5.75') (NAVD 1988)

AVE. EX. GRADE
(5.66') NAVD 1988

ELEVATION (0.0')
(NAVD 1988)

NOTE:
ALL EXPOSED CONCRETE
TO RECEIVE A SAND
SMOOTH STUCCO FINISH

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., January 23, 2024, at City Hall, 1300 White Street**, Key West, Florida. The purpose of the hearing will be to consider a request for:

MINOR DEVELOPMENT PLAN – FOUR NEW SINGLE-FAMILY HOUSES WITH POOLS, DRIVEWAYS, AND SITE IMPROVEMENTS. ONE TWO-STORY ACCESSORY STRUCTURE WITH GARAGE. NEW BUILDINGS TO MEET FUTURE FEMA FLOOD MAPS. DEMOLITION OF HISTORIC BUT NONCONTRIBUTING COMMERCIAL STRUCTURE.

#638 UNITED STREET

Applicant – T.S. Neal Architects Application #H2023-0031

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

PROPERTY APPRAISER INFORMATION

Monroe County, FL

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00036600-000000
 Account# 1037443
 Property ID 1037443
 Millage Group 10KW
 Location 638 UNITED St, KEY WEST
 Address
 Legal KW D T SWEENY'S DIA O-327 LT 9 AND 15 AND 16 SQR 5 TR
 Description 17 RR-781 OR181-140/41 OR329-360/67 OR382-1073/1075 OR874-391/393 OR880-81/83C OR1913-1667/69 OR2067-611/13C OR2471-2244D/C OR2471-2250/54 OR2471-2255/57 OR2781-1791/95
 (Note: Not to be used on legal documents.)
 Neighborhood 32130
 Property Class ONE STORY OFFICE (1700)
 Subdivision
 Sec/Twp/Rng 06/68/25
 Affordable No
 Housing



Owner

[LAND 10031 LLC](#)
 4900 W Hundred Rd
 Chester VA 23831

[LAND 7009 LLC](#)

[LAND 2708 LLC](#)

[LAND 1701 LLC](#)

[LAND 4027 LLC](#)

[LAND 2421 LLC](#)

[LAND 8351 LLC](#)

[LAND 8601 LLC](#)

[LAND 113 LLC](#)

Valuation

| | 2023 Certified Values | 2022 Certified Values | 2021 Certified Values | 2020 Certified Values |
|----------------------------|-----------------------|-----------------------|-----------------------|-----------------------|
| + Market Improvement Value | \$263,051 | \$289,356 | \$289,356 | \$289,356 |
| + Market Misc Value | \$15,941 | \$15,941 | \$15,941 | \$15,941 |
| + Market Land Value | \$719,991 | \$719,991 | \$719,991 | \$719,991 |
| = Just Market Value | \$998,983 | \$1,025,288 | \$1,025,288 | \$1,025,288 |
| = Total Assessed Value | \$998,983 | \$1,025,288 | \$1,025,288 | \$1,025,288 |
| - School Exempt Value | \$0 | \$0 | \$0 | \$0 |
| = School Taxable Value | \$998,983 | \$1,025,288 | \$1,025,288 | \$1,025,288 |

Historical Assessments

| Year | Land Value | Building Value | Yard Item Value | Just (Market) Value | Assessed Value | Exempt Value | Taxable Value | Maximum Portability |
|------|------------|----------------|-----------------|---------------------|----------------|--------------|---------------|---------------------|
| 2022 | \$719,991 | \$289,356 | \$15,941 | \$1,025,288 | \$1,025,288 | \$0 | \$1,025,288 | \$0 |
| 2021 | \$719,991 | \$289,356 | \$15,941 | \$1,025,288 | \$1,025,288 | \$0 | \$1,025,288 | \$0 |
| 2020 | \$719,991 | \$289,356 | \$15,941 | \$1,025,288 | \$1,025,288 | \$0 | \$1,025,288 | \$0 |
| 2019 | \$685,706 | \$315,661 | \$15,941 | \$1,017,308 | \$994,763 | \$0 | \$1,017,308 | \$0 |
| 2018 | \$606,220 | \$289,673 | \$8,437 | \$904,330 | \$904,330 | \$0 | \$904,330 | \$0 |

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

| Land Use | Number of Units | Unit Type | Frontage | Depth |
|----------|-----------------|-------------|----------|-------|
| (1700) | 13,994.00 | Square Foot | 132.65 | 105.5 |

Buildings

| | | | |
|----------------|--------------------------|--------------------|--------|
| Building ID | 40142 | Exterior Walls | C.B.S. |
| Style | | Year Built | 1963 |
| Building Type | OFFICE BLD-1 STORY / 17C | EffectiveYearBuilt | 1985 |
| Building Name | | Foundation | |
| Gross Sq Ft | 4910 | Roof Type | |
| Finished Sq Ft | 4562 | Roof Coverage | |
| Stories | 2 Floor | Flooring Type | |
| Condition | AVERAGE | Heating Type | |
| Perimeter | 320 | Bedrooms | 0 |
| Functional Obs | 0 | Full Bathrooms | 0 |
| Economic Obs | 0 | Half Bathrooms | 0 |
| Depreciation % | 50 | Grade | 400 |
| Interior Walls | | Number of Fire Pl | 0 |

| Code | Description | Sketch Area | Finished Area | Perimeter |
|--------------|----------------|--------------|---------------|-----------|
| FLA | FLOOR LIV AREA | 4,562 | 4,562 | 0 |
| OPU | OP PR UNFIN LL | 128 | 0 | 0 |
| OPF | OP PRCH FIN LL | 220 | 0 | 0 |
| TOTAL | | 4,910 | 4,562 | 0 |

Yard Items

| Description | Year Built | Roll Year | Size | Quantity | Units | Grade |
|----------------|------------|-----------|---------|----------|---------|-------|
| FENCES | 1982 | 1983 | 3 x 115 | 1 | 345 SF | 4 |
| ASPHALT PAVING | 1993 | 1994 | 0 x 0 | 1 | 6700 SF | 2 |

Sales

| Sale Date | Sale Price | Instrument | Instrument Number | Deed Book | Deed Page | Sale Qualification | Vacant or Improved | Grantor | Grantee |
|-----------|------------|-----------------|-------------------|-----------|-----------|--------------------|--------------------|---------|---------|
| 2/8/2016 | \$0 | Warranty Deed | | 2781 | 1791 | 37 - Unqualified | Improved | | |
| 6/2/2010 | \$100 | Quit Claim Deed | | 2471 | 2255 | 11 - Unqualified | Improved | | |
| 6/2/2010 | \$100 | Quit Claim Deed | | 2471 | 2250 | 11 - Unqualified | Improved | | |
| 2/1/1983 | \$153,000 | Warranty Deed | | 874 | 391 | Q - Qualified | Improved | | |

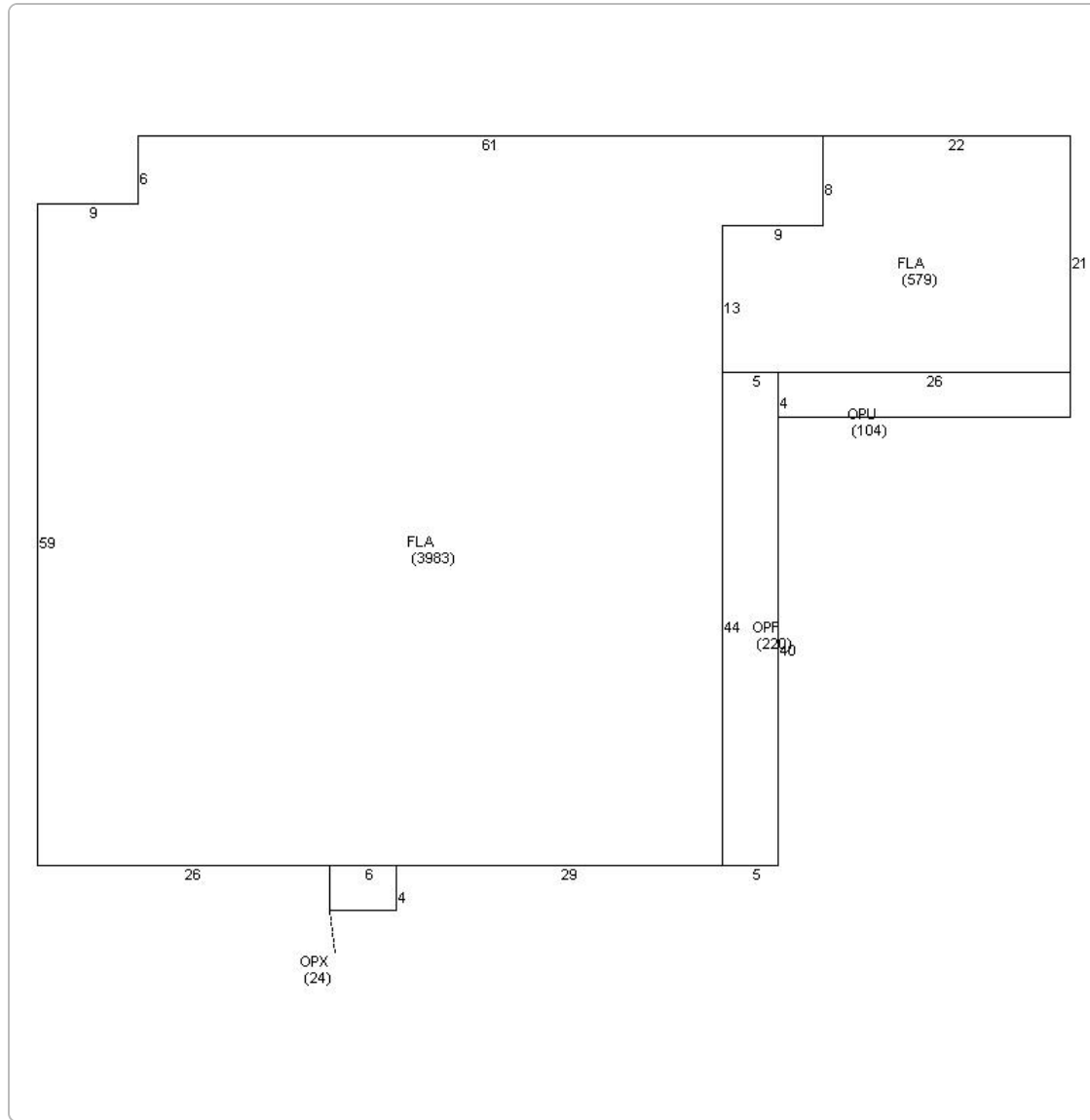
Permits

| Number | Date Issued | Date Completed | Amount | Permit Type | Notes |
|----------|-------------|----------------|----------|-------------|--|
| 08-1406 | 5/2/2008 | | \$21,000 | Commercial | REMOVE ASPHALT SHINGLES AND REPLACE WITH V-CRIMP ROOFING. ROOF OVER FLAT WITH MODIFIED RUBBER. |
| 06-6482 | 12/4/2006 | 12/31/2007 | \$2,200 | Commercial | REPLACE TWO AIR HANDLERS |
| 03-2386 | 7/24/2003 | 10/8/1983 | \$3,000 | Commercial | ELECTRICAL |
| 03-0733 | 3/12/2003 | 10/8/2003 | \$8,500 | Commercial | ROOFING |
| 00-2365 | 9/20/2000 | 12/5/2000 | \$4,500 | Commercial | CENTRAL AC UNIT FOR STORA |
| 99-2886 | 2/4/2000 | 8/11/2000 | \$25,000 | Commercial | NEW 2 CAR GARAGE |
| 96-3644 | 9/1/1996 | 11/1/1996 | \$1 | Commercial | ROOF |
| 96-3367 | 8/1/1996 | 11/1/1996 | \$1,000 | Commercial | RENOVATIONS |
| B95-2484 | 8/1/1995 | 10/1/1995 | \$1,000 | Commercial | REPAIR STORAGE SHED |
| B95-1789 | 6/1/1995 | 10/1/1995 | \$200 | Commercial | 10 4X4 POLES W/CHAIN BETW |
| B95-1297 | 4/1/1995 | 10/1/1995 | \$200 | Commercial | 10 4X4 POLES W/CHAIN BETW |
| B95-0680 | 3/1/1995 | 10/1/1995 | \$600 | Commercial | 92 SF ASPHALT |
| B94-1187 | 4/1/1994 | 7/1/1994 | \$6,000 | Commercial | RESURFACE PARKING LOT |
| | 1/1/1900 | | \$0 | | |

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



TRIM Notice

[2023 TRIM Notice \(PDF\)](#)

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

[User Privacy Policy](#) | [GDPR Privacy Notice](#)
 Last Data Upload: 1/8/2024, 4:05:21 AM

Contact Us

