

# **Application**

**SPOTTSWOOD, SPOTTSWOOD, SPOTTSWOOD & STERLING, PLLC**

ATTORNEYS AND COUNSELORS AT LAW  
500 FLEMING STREET  
KEY WEST, FLORIDA 33040

JOHN M. SPOTTSWOOD, JR.  
ERICA HUGHES STERLING  
WILLIAM B. SPOTTSWOOD, JR.  
RICHARD J. McCHESNEY

Telephone | 305-294-9556  
Facsimile | 305-504-2696

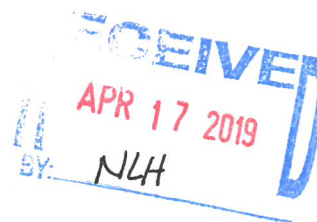
OF COUNSEL:

JOHN M. SPOTTSWOOD (1920 – 1975)  
ROBERT A. SPOTTSWOOD (of Counsel)  
WILLIAM B. SPOTTSWOOD (of Counsel)

April 17, 2019

DELIVERED IN-HAND

City of Key West  
Attention: Mr. Patrick Wright,  
Director of Planning  
1300 White Street  
Key West, FL 33040



Re: Application for Alcohol Sales Special Exception  
Bowline Hospitality I, LLC  
815 Duval Street, 512 Petronia Street and 814 Center Street  
Our File No. 686-18.00516 ED3D2

Dear Mr. Wright,

I represent Bowline Hospitality I, LLC regarding the above referenced matter. For this purpose, please find the following enclosed documents:

- Original Application for Alcohol Sales Special Exception
- Executed original Authorization Form (dated 04/17/19)
- Executed original Verification Form (dated 04/17/19)
- 300-Foot Radius Search for each parcel
- Check in the amount of \$2,000.00 payable to the City of Key West

After your review of the within application, kindly call me should you wish to discuss this matter in further detail. Thank you.

Sincerely,

Erica Hughes Sterling

EHS/ drc  
Enclosures



THE CITY OF KEY WEST  
Planning Department

**SPECIAL EXCEPTIONS ARE QUASI-JUDICIAL HEARINGS  
AND IT IS IMPROPER TO SPEAK TO PLANNING BOARD  
MEMBERS ABOUT THE REQUEST  
OUTSIDE OF THE HEARING**

***Alcohol Sales Special Exception  
Application***

Please print or type a response to the following:

1. Site Address 815 Duval Street, 512 Petronia Street and 814 Center Street.
2. Name of Applicant Spottswood, Spottswood, Spottswood & Sterling, PLLC
3. Applicant is: Owner  Authorized Representative   
*(please see the attached Verification & Authorization Forms)*
4. Address of Applicant 500 Fleming Street, Key West, FL 33040.
5. Phone # of Applicant (305)294-9556 Mobile# (305)797-6825 Fax# (305)504-2696
6. E-Mail Address Erica@SpottswoodLaw.com and DCraig@SpottswoodLaw.com
7. Name of Owner, if different than above Bowline Hospitality I, LLC
8. Address of Owner 500 Fleming Street, Key West, FL 33040
9. Phone Number of Owner \_\_\_\_\_ Fax# \_\_\_\_\_
10. Email Address Jeff@BowlineHospitality.com
11. Zoning District of Parcel HRCC-3 RE# AK #1016993 & AK#1017027
12. Description of Use and Exception Requested  
To allow the on-site sale and consumption of beer, wine and liquor. This is a  
historic hotel of less than 100 rooms so the license type is 5cop SH.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Please note that any special exception granted hereunder may be approved with conditions, which conditions shall be monitored in accordance with Section 18-610. The exception shall be to the applicant only, shall not be transferable and shall only be effective in conjunction with the use(s) specified in the application. The Planning Board recognizes public input and how the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the application, and by addressing the objections expressed by these neighbors. Further, the Planning Board can consider any other factors they determine relevant to the public's health, safety and welfare.

The Planning Board may only grant the requested alcohol sales special exception after considering the following criteria. Please provide a response as to how this proposed use and exception meet or fulfill these criteria:

13. Demonstrate compatibility with surrounding existing uses:  
The property is immediately adjacent to St. Peter's Episcopal Church which has no objections. Other guest houses in the immediate area also have similar licenses.  
The Duval House is surrounded by other businesses that serve liquor.
14. Demonstrate the extent of conflict between the proposed use and the hours of operation of the facilities:  
There is no conflict. The hours of operation will be consistent with state and local law.  

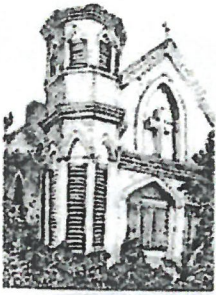
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15. What are the mitigative measures proposed to be implemented by the applicant:  
All sales will be on premises and monitored by trained staff.  

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**St. Peter's Episcopal Church**  
Fr. Lenworth Haughton, Priest-in-Charge  
Founded 1875

13 November 2018

To Whom It May Concern,

Recently we, St. Peter's Episcopal Church, were contacted by representatives of the Duval House and Bowline Hospitality Group I, LLC on Duval Street in Key West. The purpose for that contact was in the context of a new application for a beer and wine license.

With this letter I speak on behalf of St. Peter's and we do not object to this application. Our only request to the state, county, and/or municipal agencies involved with granting the beer and wine license is that the license be attached to the owners of the property and not the property itself.

We are happy to have the Duval House as a neighbor and wish ownership continued success in their business.

Thank you for your consideration.

Sincerely,

Rev. Lenworth Haughton

Priest in Charge

# **Warranty Deed**

Prepared by and return to:  
Erica Hughes Sterling

Spottswood, Spottswood, Spottswood & Sterling, PLLC  
500 Fleming Street  
Key West, FL 33040  
305-294-9556  
File Number: 686-17.00356 EC  
Consideration: \$10,000,000.00

[Space Above This Line For Recording Data]

## Special Warranty Deed

This Indenture made this 15<sup>th</sup> day of December, 2017 between Richard Kamradt, as to an undivided 1/2 interest, and Alva L. Crist, individually and as Successor Co-Trustee, and The Northern Trust Company as successor to Northern Trust, NA, as Successor Co-Trustee of the Walter Goldstein Charitable Lead Trust f/b/o Alva L. Crist, u/a/d January 11, 1993, as to one-sixth (1/6) interest; Alva L. Crist and The Northern Trust Company as successor to Northern Trust, NA, as Successor Co-Trustees of the Walter Goldstein Charitable Lead Trust f/b/o Sarah Goldstein u/a/d January 11, 1993, as to one-sixth (1/6) interest; and Pamela Grace Welsh, as to a one-twelfth (1/12) interest, and Donna Welsh, as to a one-twelfth (1/12) interest, whose post office address is c/o Alva Crist, 2685 NE 9th Avenue Unit 1, Wilton Manors, FL 33334 of the County of Broward, State of Florida, grantor\*, and Bowline Hospitality I, LLC, a Florida limited liability company whose post office address is c/o 500 Fleming Street, Key West, FL 33040 of the County of Monroe, State of Florida, grantee\*,

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Monroe County, Florida, to-wit:

### PARCEL 1:

ON THE ISLAND OF KEY WEST, KNOWN AS PART OF TRACT 4 ACCORDING TO THE MAP OR PLAN OF WM. A. WHITEHEAD DELINEATED IN FEBRUARY, A.D. 1829, BUT IS BETTER KNOWN AND DESCRIBED AS A PART OF LOT 2, SQUARE 5, OF TRACT 4 ACCORDING TO SIMONTON & WALL'S ADDITION TO THE CITY OF KEY WEST, FLORIDA.

COMMENCING AT A POINT ON THE NORTHEASTERLY SIDE OF DUVAL STREET 120 FEET, 8 INCHES FROM THE CORNER OF DUVAL AND PETRONIA STREETS AND RUNNING THENCE IN A SOUTHEASTERLY DIRECTION 35 FEET, 4 INCHES; THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION 113 FEET; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION 35 FEET, 4 INCHES; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION 113 FEET TO THE PLACE OF BEGINNING ON DUVAL STREET A/K/A 813 DUVAL STREET.

### PARCEL 2:

ON THE ISLAND OF KEY WEST KNOWN AS PART OF TRACT 4, ACCORDING TO THE MAP AND PLAN OF WILLIAM WHITEHEAD, DELINEATED IN FEBRUARY, A.D. 1829, BUT IS BETTER KNOWN AND DESCRIBED AS A PART OF LOT 2 OF SQUARE 5, OF TRACT 4, ACCORDING TO SIMONTON AND WALL'S ADDITION TO THE CITY OF KEY WEST, FLORIDA.

COMMENCING AT A POINT ON THE NORTHEAST SIDE OF DUVAL STREET 156 FEET FROM THE CORNER OF PETRONIA STREET AND RUNNING THENCE ALONG DUVAL STREET IN A SOUTHEASTERLY DIRECTION 35 FEET AND 4 INCHES; THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION 113 FEET; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION 35 FEET, 4 INCHES; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION 113 FEET TO THE POINT OF BEGINNING.

### PARCEL 3:

ON THE ISLAND OF KEY WEST AND KNOWN AS A PART OF LOT FOUR (4), IN SQUARE FIVE (5), OF SIMONTON AND WALL'S ADDITION OF TRACT FOUR (4) ACCORDING TO WILLIAM A. WHITEHEAD'S MAP OF SAID ISLAND, DELINEATED IN FEBRUARY, A.D. 1829.

COMMENCING AT A POINT ON THE NORTHEAST SIDE OF DUVAL STREET, DISTANT ONE HUNDRED AND FORTY-TWO (142) FEET FROM THE CORNER OF DUVAL AND OLIVIA STREETS AND RUNNING THENCE ALONG DUVAL STREET IN A NORTHWESTERLY DIRECTION, FORTY-SEVEN (47) FEET AND FOUR (4) INCHES; THENCE AT RIGHT ANGLES, IN A NORTHEASTERLY DIRECTION, ONE HUNDRED AND THIRTEEN (113) FEET ALONG THE LINE OF LOT TWO (2); THENCE SOUTHEASTERLY IN A LINE PARALLEL WITH DUVAL STREET FORTY-SEVEN (47) FEET AND FOUR (4)

INCHES; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION ONE HUNDRED AND THIRTEEN (113) FEET OUT TO DUVAL STREET AT THE POINT OF BEGINNING. BEING THE NORTHWEST HALF OF THE LOT OF LAND BOUGHT BY JOHN W. FROW FROM WM. A. PITCHER, SEPTEMBER 19TH, 1870, AND RECORDED IN BOOK I OF DEEDS ON PAGES 575 TO 577, OF MONROE COUNTY RECORDS.

**PARCEL 4:**

ON THE ISLAND OF KEY WEST AND KNOWN AS PART OF LOT 4 IN SQUARE 5 OF SIMONTON AND WALL'S ADDITION TO TRACT 4.

COMMENCING AT A POINT ON CENTER STREET DISTANT 167 FEET FROM THE CORNER OF CENTER AND OLIVIA STREETS, AND RUNS THENCE IN A NORTHWESTERLY DIRECTION 22 FEET AND 4 INCHES; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION 113 FEET; THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION 22 FEET AND 4 INCHES; THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION 113 FEET TO THE POINT OF BEGINNING.

**PARCEL 5:**

ON THE ISLAND OF KEY WEST AND IS PART OF TRACT FOUR (4) ACCORDING TO WM. A. WHITEHEAD'S MAP OF THE CITY OF KEY WEST DELINEATED IN FEBRUARY, A.D. 1829 BUT BETTER KNOWN AS PART OF LOT TWO (2) SQUARE FIVE (5) OF TRACT FOUR (4) OF SIMONTON AND WALL'S ADDITION.

COMMENCING AT A POINT IN CENTER STREET, DISTANT ONE HUNDRED THIRTEEN (113) FEET FROM PETRONIA STREET AND RUNNING THENCE IN A SOUTHWESTERLY DIRECTION SIXTY (60) FEET; THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION ELEVEN (11) FEET FOUR (4) INCHES; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION FIFTY-THREE (53) FEET; THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION SIXTY-FIVE (65) FEET; THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION ONE HUNDRED THIRTEEN (113) FEET TO A POINT ON CENTER STREET; THENCE ALONG CENTER STREET IN A NORTHWESTERLY DIRECTION SEVENTY-SIX (76) FEET FOUR (4) INCHES TO THE POINT OF BEGINNING.

**PARCEL 6:**

A PARCEL OF LAND ON THE ISLAND OF KEY WEST, MONROE COUNTY, FLORIDA AND KNOWN ON WILLIAM A. WHITEHEAD'S MAP OR PLAN OF SAID ISLAND DELINEATED IN FEBRUARY, A.D. 1829 AS PART OF TRACT 4, BUT BETTER KNOWN AS PART OF LOT 2, SQUARE 5, ACCORDING TO SIMONTON AND WALL'S ADDITION TO KEY WEST, RECORDED ON THE 22ND DAY OF APRIL, A.D. 1857 IN DEED BOOK "E" AT PAGE 245, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY BOUNDARY LINE OF DUVAL STREET WITH THE SOUTHERLY RIGHT OF WAY BOUNDARY LINE OF PETRONIA STREET AND RUN THENCE IN A NORTHEASTERLY DIRECTION ALONG THE SAID RIGHT OF WAY LINE OF PETRONIA STREET FOR A DISTANCE OF 147.41 FEET TO A POINT; THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION FOR A DISTANCE OF 67.66 FEET TO A POINT; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION FOR A DISTANCE OF 1.66 FEET; THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION FOR A DISTANCE OF 3.00 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN BEING DESCRIBED; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION FOR A DISTANCE OF 32.75 FEET TO A POINT; THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION FOR A DISTANCE OF 53.34 FEET TO A POINT; THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION FOR A DISTANCE OF 32.75 FEET TO A POINT; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION FOR A DISTANCE OF 53.34 FEET BACK TO THE POINT OF BEGINNING.

**TOGETHER WITH:**

**ONE-FOURTH (1/4) UNDIVIDED INTEREST IN AND TO THE FOLLOWING:**

A PARCEL OF LAND ON THE ISLAND OF KEY WEST, MONROE COUNTY, FLORIDA AND KNOWN ON WILLIAM A. WHITEHEAD'S MAP OR PLAN OF SAID ISLAND DELINEATED IN FEBRUARY, A.D. 1829 AS PART OF TRACT 4, BUT BETTER KNOWN AS PART OF LOT 2, SQUARE 5, ACCORDING TO SIMONTON AND WALL'S ADDITION TO KEY WEST, RECORDED ON THE 22ND DAY OF APRIL, A.D. 1857 IN DEED BOOK "E" AT PAGE 245, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY BOUNDARY LINE OF DUVAL STREET WITH THE SOUTHERLY RIGHT OF WAY BOUNDARY LINE OF PETRONIA STREET AND RUN THENCE IN A NORTHEASTERLY DIRECTION ALONG THE SAID RIGHT OF WAY OF PETRONIA STREET FOR A DISTANCE OF 152.41 FEET TO THE



POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN BEING DESCRIBED; THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION FOR A DISTANCE OF 72.66 FEET TO A POINT; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION FOR A DISTANCE OF 6.66 FEET TO A POINT; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION FOR A DISTANCE OF 5.00 FEET TO A POINT; THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION FOR A DISTANCE OF 1.66 FEET; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION FOR A DISTANCE OF 67.66 FEET TO A POINT ON THE RIGHT OF WAY LINE OF PETRONIA STREET; THENCE IN A NORTHEASTERLY DIRECTION ALONG THE SAID RIGHT OF WAY OF PETRONIA STREET FOR A DISTANCE OF 5.00 FEET BACK TO THE POINT OF BEGINNING.

**PARCEL 7:**

A PARCEL OF LAND ON THE ISLAND OF KEY WEST, MONROE COUNTY, FLORIDA AND KNOWN ON WILLIAM A. WHITEHEAD'S MAP OR PLAN OF SAID ISLAND DELINEATED IN FEBRUARY A.D. 1829 AS PART OF TRACT 4, BUT BETTER KNOWN AS PART OF LOT 2, SQUARE 5 IN SAID TRACT 4 ACCORDING TO SIMONTON & WALL'S ADDITION OF KEY WEST, RECORDED IN ON THE 22ND DAY OF APRIL, A.D. 1857 IN DEED BOOK "E" AT PAGE 245 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY BOUNDARY LINE OF DUVAL STREET WITH THE SOUTHERLY RIGHT OF WAY BOUNDARY LINE OF PETRONIA STREET AND RUN THENCE IN A NORTHEASTERLY DIRECTION ALONG THE SAID RIGHT OF WAY LINE OF PETRONIA STREET FOR A DISTANCE OF 175.50 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN BEING DESCRIBED; THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION FOR A DISTANCE OF 67.39 FEET TO A POINT; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION FOR A DISTANCE OF 23.09 FEET TO A POINT; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION FOR A DISTANCE OF 67.39 FEET TO A POINT ON THE SAID RIGHT OF WAY LINE OF PETRONIA STREET; THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION ALONG THE SAID RIGHT OF WAY LINE OF PETRONIA STREET FOR A DISTANCE OF 23.09 FEET BACK TO THE POINT OF BEGINNING.

ALSO

**ONE-FOURTH (1/4) UNDIVIDED INTEREST IN AND TO THE FOLLOWING:**

A PARCEL OF LAND ON THE ISLAND OF KEY WEST, MONROE COUNTY, FLORIDA AND KNOWN ON WILLIAM A. WHITEHEAD'S MAP OR PLAN OF SAID ISLAND DELINEATED IN FEBRUARY, A.D. 1829 AS PART OF TRACT 4, BUT BETTER KNOWN AS PART OF LOT 2, SQUARE 5, ACCORDING TO SIMONTON AND WALL'S ADDITION TO KEY WEST, RECORDED ON THE 22ND DAY OF APRIL, A.D. 1857 IN DEED BOOK "E" AT PAGE 245, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY BOUNDARY LINE OF DUVAL STREET WITH THE SOUTHERLY RIGHT OF WAY BOUNDARY LINE OF PETRONIA STREET AND RUN THENCE IN A NORTHEASTERLY DIRECTION ALONG THE SAID RIGHT OF WAY OF PETRONIA STREET FOR A DISTANCE OF 152.41 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN BEING DESCRIBED; THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION FOR A DISTANCE OF 72.66 FEET TO A POINT; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION FOR A DISTANCE OF 6.66 FEET TO A POINT; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION FOR A DISTANCE OF 5.00 FEET TO A POINT; THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION FOR A DISTANCE OF 1.66 FEET; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION FOR A DISTANCE OF 67.66 FEET TO A POINT ON THE RIGHT OF WAY LINE OF PETRONIA STREET; THENCE IN A NORTHEASTERLY DIRECTION ALONG THE SAID RIGHT OF WAY OF PETRONIA STREET FOR A DISTANCE OF 5.00 FEET BACK TO THE POINT OF BEGINNING.

Subject to taxes for 2018 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Grantors warrant that at the time of this conveyance, the subject property is not the homestead on any Grantor within the meaning set forth in the constitution of the state of Florida, nor is it contiguous to or a part of homestead property.

and said grantor does hereby specially warrant the title to said land, and will defend the same against lawful claims of all persons claiming by, through, or under the Grantor, but none other.

\* "Grantor" and "Grantee" are used for singular or plural, as context requires.

**In Witness Whereof**, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]  
Signature of Witness

John E. McNeice  
Printed Name of Witness

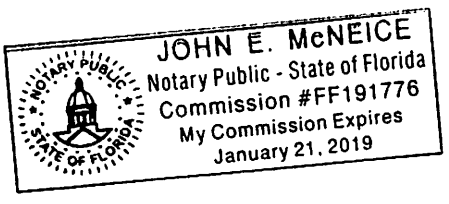
[Signature]  
Signature of Witness

Beverly M. Clark  
Printed Name of Witness

[Signature]  
RICHARD KAMRADT

STATE OF Florida  
COUNTY OF Broward

The foregoing instrument was acknowledged before me this 12 day of December, 2017 by RICHARD KAMRADT. He is personally known to me or has produced Florida Drivers License as identification.

(Notary Seal) 

[Signature]  
Notary Public

Printed Name: John E. McNeice

My Commission Expires: January 21, 2019

WALTER GOLDSTEIN CHARITABLE LEAD TRUST F/B/O  
ALVA L. CRIST, U/A/D JANUARY 11, 1993

By: NORTHERN TRUST COMPANY, as Successor to  
NORTHERN TRUST, NA, as Successor Co-Trustee

By: Thomas M. Mendelson  
Thomas M. Mendelson, Senior Vice President

B. Beckinridge  
Signature of Witness  
B. Beckinridge  
Printed Name of Witness  
Siglan Nalbandyan  
Signature of Witness  
Siglan Nalbandyan  
Printed Name of Witness

STATE OF \_\_\_\_\_:  
COUNTY OF \_\_\_\_\_:

The foregoing instrument was acknowledged before me this \_\_\_\_ day of December, 2017 by WALTER GOLDSTEIN CHARITABLE LEAD TRUST F/B/O ALVA L. CRIST, U/A/D JANUARY 11, 1993, by and through its Successor Co-Trustee, NORTHERN TRUST COMPANY as Successor to NORTHERN TRUST, NA, by and through its Senior Vice President, THOMAS M. MENDELSON. He \_\_\_\_ is personally known to me or has produced \_\_\_\_\_ as identification.

(Notary Seal)

\_\_\_\_\_  
Notary Public

Printed Name: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

see attached



**CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT**

**CIVIL CODE § 1189**

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California )  
County of Los Angeles )

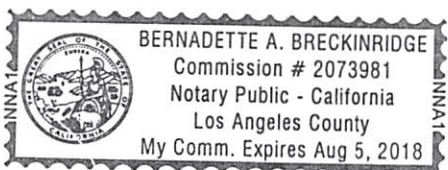
On 12/8/17 before me, Bernadette A. Breckinridge, Notary Public  
Date Here Insert Name and Title of the Officer

personally appeared Thomas M. Mendelson  
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) ~~(s) are~~ subscribed to the within instrument and acknowledged to me that ~~he/she/they~~ executed the same in ~~his/her/their~~ authorized capacity(ies), and that by ~~his/her/their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature Bernadette A. Breckinridge  
Signature of Notary Public

Place Notary Seal Above

**OPTIONAL**

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

**Description of Attached Document**

Title or Type of Document: \_\_\_\_\_ Document Date: \_\_\_\_\_  
Number of Pages: \_\_\_\_\_ Signer(s) Other Than Named Above: \_\_\_\_\_

**Capacity(ies) Claimed by Signer(s)**

Signer's Name: \_\_\_\_\_  
 Corporate Officer — Title(s): \_\_\_\_\_  
 Partner —  Limited  General  
 Individual  Attorney in Fact  
 Trustee  Guardian or Conservator  
 Other: \_\_\_\_\_  
Signer Is Representing: \_\_\_\_\_

Signer's Name: \_\_\_\_\_  
 Corporate Officer — Title(s): \_\_\_\_\_  
 Partner —  Limited  General  
 Individual  Attorney in Fact  
 Trustee  Guardian or Conservator  
 Other: \_\_\_\_\_  
Signer Is Representing: \_\_\_\_\_

WALTER GOLDSTEIN CHARITABLE LEAD TRUST F/B/O  
ALVA L. CRIST, U/A/D JANUARY 11, 1993

[Signature]  
Signature of Witness

Erica H. Sterling  
Printed Name of Witness

[Signature]  
Signature of Witness

**Cindy Sawyer**

Printed Name of Witness

By: Alva L. Crist  
Alva L. Crist, Individually and as Successor Co-Trustee

STATE OF FLORIDA :  
COUNTY OF MONROE :

The foregoing instrument was acknowledged before me this 7<sup>th</sup> day of December, 2017 by WALTER GOLDSTEIN CHARITABLE LEAD TRUST F/B/O ALVA L. CRIST, U/A/D JANUARY 11, 1993, by and through its Successor Co-Trustee, ALVA L. CRIST, and ALVA L. CRIST, Individually. He FL DL is personally known to me or has produced FL DL as identification.

(Notary Seal)



[Signature]  
Notary Public

Printed Name: Cindy Sawyer

My Commission Expires: \_\_\_\_\_

WALTER GOLDSTEIN CHARITABLE LEAD TRUST F/B/O SARAH GOLDSTEIN, U/A/D JANUARY 11, 1993

By: NORTHERN TRUST COMPANY, as Successor to NORTHERN TRUST, NA, as Successor Co-Trustee

By: Thomas M. Mendelson  
Thomas M. Mendelson, Senior Vice President

B. Breckinridge  
Signature of Witness  
B. Breckinridge  
Printed Name of Witness

Tigra Nalbandyan  
Signature of Witness  
Tigra Nalbandyan  
Printed Name of Witness

STATE OF \_\_\_\_\_:  
COUNTY OF \_\_\_\_\_:

The foregoing instrument was acknowledged before me this \_\_\_\_ day of December, 2017 by WALTER GOLDSTEIN CHARITABLE LEAD TRUST F/B/O SARAH GOLDSTEIN, U/A/D JANUARY 11, 1993, by and through its Successor Co-Trustee, NORTHERN TRUST COMPANY as Successor to NORTHERN TRUST, NA, by and through its Senior Vice President, THOMAS M. MENDELSON. He \_\_\_\_ is personally known to me or has produced \_\_\_\_\_ as identification.

(Notary Seal)

\_\_\_\_\_  
Notary Public

Printed Name: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

see attached



**CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT**

**CIVIL CODE § 1189**

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California )  
County of Los Angeles )

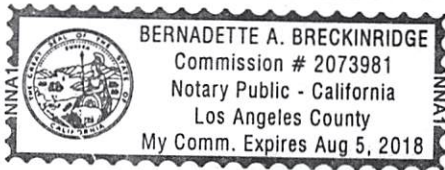
On 12/8/17 before me, Bernadette A. Breckinridge, Notary Public  
Date Here Insert Name and Title of the Officer

personally appeared Thomas M. Mendelson  
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature Bernadette A. Breckinridge  
Signature of Notary Public

Place Notary Seal Above

**OPTIONAL**

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

**Description of Attached Document**

Title or Type of Document: \_\_\_\_\_ Document Date: \_\_\_\_\_

Number of Pages: \_\_\_\_\_ Signer(s) Other Than Named Above: \_\_\_\_\_

**Capacity(ies) Claimed by Signer(s)**

Signer's Name: \_\_\_\_\_

Corporate Officer — Title(s): \_\_\_\_\_

Partner —  Limited  General

Individual  Attorney in Fact

Trustee  Guardian or Conservator

Other: \_\_\_\_\_

Signer Is Representing: \_\_\_\_\_

Signer's Name: \_\_\_\_\_

Corporate Officer — Title(s): \_\_\_\_\_

Partner —  Limited  General

Individual  Attorney in Fact

Trustee  Guardian or Conservator

Other: \_\_\_\_\_

Signer Is Representing: \_\_\_\_\_

WALTER GOLDSTEIN CHARITABLE LEAD TRUST F/B/O SARAH GOLDSTEIN, U/A/D JANUARY 11, 1993

[Signature]  
Signature of Witness

Inca H. Sterling  
Printed Name of Witness

[Signature]  
Signature of Witness  
**Cindy Sawyer**

Printed Name of Witness

By: Alva L. Crist  
Alva L. Crist, Successor Co-Trustee

STATE OF FLORIDA :  
COUNTY OF MONROE :

The foregoing instrument was acknowledged before me this 7<sup>th</sup> day of December, 2017 by WALTER GOLDSTEIN CHARITABLE LEAD TRUST F/B/O SARAH GOLDSTEIN, U/A/D JANUARY 11, 1993, by and through its Successor Co-Trustee, ALVA L. CRIST. He \_\_\_\_\_ is personally known to me or has produced FL PL as identification.

(Notary Seal)



[Signature]  
Notary Public

Printed Name: Cindy Sawyer

My Commission Expires: \_\_\_\_\_

Gayla King  
Signature of Witness

Gayla S. King  
Printed Name of Witness

Shelby Fuller  
Signature of Witness

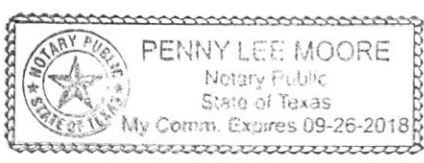
Shelby Fuller  
Printed Name of Witness

Pamela Grace Welsh  
PAMELA GRACE WELSH

STATE OF Texas :  
COUNTY OF marion :

The foregoing instrument was acknowledged before me this 13 day of December, 2017 by PAMELA GRACE WELSH. She  is personally known to me or has produced \_\_\_\_\_ as identification.

(Notary Seal)



Penny Lee Moore  
Notary Public

Printed Name: Penny Lee Moore

My Commission Expires: 9-26-18

[Signature]

Signature of Witness

Erica H. Sterling

Printed Name of Witness

[Signature]  
**Cindy Sawyer**

Signature of Witness

Printed Name of Witness

[Signature]

DONNA WELSH

STATE OF FLORIDA :  
COUNTY OF MONROE :

The foregoing instrument was acknowledged before me this 7<sup>th</sup> day of December, 2017 by DONNA WELSH. She \_\_\_\_\_ is personally known to me or has produced US Passport Card as identification.

(Notary Seal)



[Signature]

Notary Public

Printed Name: Cindy Sawyer

My Commission Expires: \_\_\_\_\_



# **Verification Form**

City of Key West  
Planning Department



Verification Form

(Where Authorized Representative is an entity)

I, Richard McChesney, in my capacity as Associate Attorney  
*(print name)* *(print position; president, managing member)*

of Spottswood, Spottswood, Spottswood & Sterling PLLC  
*(print name of entity serving as Authorized Representative)*

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

815 Duval Street, 512 Petronia Street, and 814 Center Street

*Street Address of subject property*

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

*Richard McChesney*  
*Signature of Authorized Representative*

Subscribed and sworn to (or affirmed) before me on this June 18 2019 by  
*date*

Richard McChesney  
*Name of Authorized Representative*

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

*Monica Hornyak*  
*Notary's Signature and Seal*

\_\_\_\_\_  
*Name of Acknowledger typed, printed or stamped*

\_\_\_\_\_  
*Commission Number, if any*



# **Authorization Form**

City of Key West  
Planning Department



Authorization Form  
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, John Flynn as  
*Please Print Name of person with authority to execute documents on behalf of entity*

Manager of Bowline Hospitality I, LLC  
*Name of office (President, Managing Member)* *Name of owner from deed*

authorize Erica Hughes Sterling, Donald L. Craig and Spottswood, Spottswood, Spottswood & Sterling, PLLC  
*Please Print Name of Representative*

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]  
*Signature of person with authority to execute documents on behalf on entity owner*

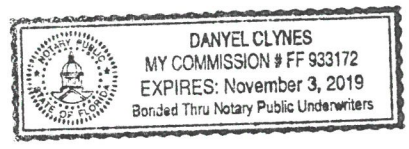
Subscribed and sworn to (or affirmed) before me on this 4/17/19  
*Date*

by John Flynn  
*Name of person with authority to execute documents on behalf on entity owner*

He/She is personally known to me or has presented pl drivers license as identification.

[Signature]  
*Notary's Signature and Seal*

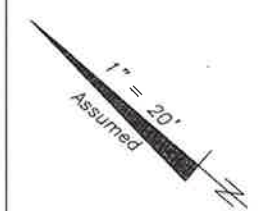
Danyel Clynes  
*Name of Acknowledger typed, printed or stamped*



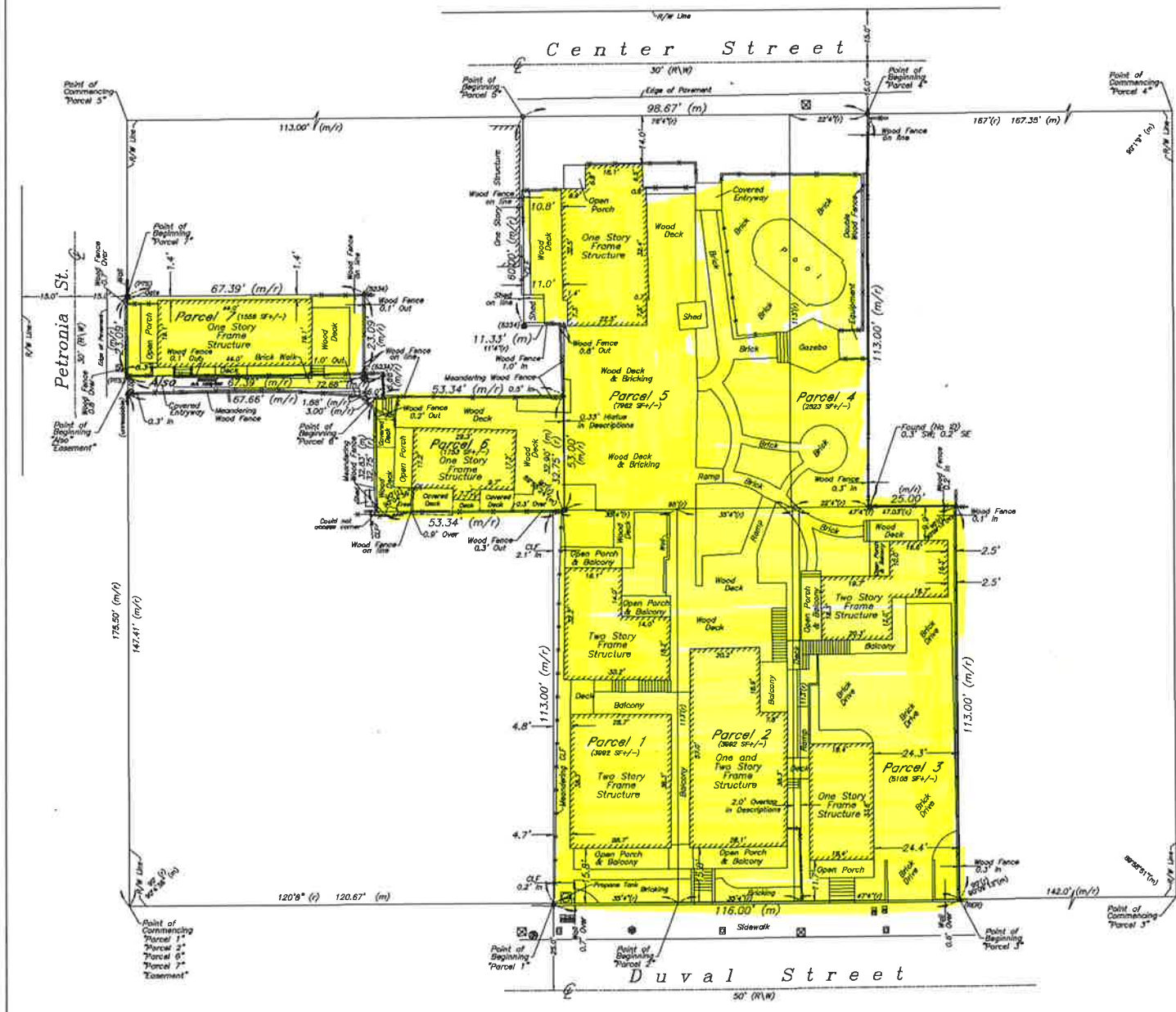
# FF 933172  
*Commission Number, if any*

# Site Plans





- LEGEND**
- Found 1" Iron Pipe (No ID)
  - Sat 3/4" Iron Pipe w/cap (6298)
  - Found 1/2" Iron Rod (As noted)
  - ▲ Found Nail & Dec (5234)(RER)
  - ▲ Sat Nail & Dec (6298)
  - (C) Calculated
  - (M) Measured
  - (R) Record
  - (M/R) Measured & Record
  - C.B.S. Concrete Block Structure
  - R/W Right of Way
  - CL Chain Link Fence
  - SF Square Feet
  - ⊙ Centerline
  - ⊙ Wood Utility Pole
  - ⊙ Concrete Utility Pole
  - P- Overhead Utility Lines
  - ⊙ Light Post
  - ⊙ Sewer Cleanout
  - ⊙ Water Meter



- NOTES:**
1. The legal description shown hereon was furnished by the client or their agent.
  2. This survey does not determine or imply ownership.
  3. Underground foundations and utilities were not located.
  4. All angles are 90° (Measured & Record) unless otherwise noted.
  5. Street address: 815 Duval Street, 512 Petronia Street & 814 Center Street, Key West, FL.
  6. This survey is not valid without the signature and the original raised seal of a Florida Licensed surveyor and mapper.
  7. Labels showing boundaries were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
  8. North Arrow is assumed and based on the legal description.
  9. Date of field work: October 10, 2017
  10. Ownership of fences is undeterminable, unless otherwise noted.
  11. Adjoiners are not furnished.

**BOUNDARY SURVEY OF:**

**PARCEL 1:**  
ON THE ISLAND OF KEY WEST, KNOWN AS PART OF TRACT 4 ACCORDING TO THE MAP OR PLAN OF WM. A. WHITEHEAD DELINEATED IN FEBRUARY, A.D. 1869, BUT IS BETTER KNOWN AND DESCRIBED AS A PART OF LOT 2, SQUARE 5, OF TRACT 4 ACCORDING TO SEMONTON & WALL'S ADDITION TO THE CITY OF KEY WEST, FLORIDA, COMMENCING AT A POINT ON THE NORTHWESTERLY SIDE OF DUVAL STREET 120 FEET, 8 INCHES FROM THE CORNER OF DUVAL AND PETRONIA STREETS AND RUNNING THENCE IN A SOUTHEASTERLY DIRECTION 35 FEET, 4 INCHES THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION 113 FEET, THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION 35 FEET, 4 INCHES; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION 113 FEET TO THE PLACE OF BEGINNING ON DUVAL STREET A/K/A HIS DUVAL STREET.

**PARCEL 2:**  
ON THE ISLAND OF KEY WEST KNOWN AS PART OF TRACT 4, ACCORDING TO THE MAP AND PLAN OF WILLIAM WHITEHEAD, DELINEATED IN FEBRUARY, A.D. 1869, BUT IS BETTER KNOWN AND DESCRIBED AS A PART OF LOT 2 OF SQUARE 5, OF TRACT 4, ACCORDING TO SEMONTON & WALL'S ADDITION TO THE CITY OF KEY WEST, FLORIDA, COMMENCING AT A POINT ON THE NORTHWEST SIDE OF DUVAL STREET, DISTANT ONE HUNDRED AND FORTY-TWO (142) FEET FROM THE CORNER OF DUVAL AND OLIVIA STREETS AND RUNNING THENCE IN A SOUTHEASTERLY DIRECTION 35 FEET AND 4 INCHES THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION 113 FEET, THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION 35 FEET, 4 INCHES; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION 113 FEET TO THE POINT OF BEGINNING.

**PARCEL 3:**  
ON THE ISLAND OF KEY WEST KNOWN AS PART OF LOT FOUR (4), IN SQUARE FIVE (5), OF SEMONTON AND WALL'S ADDITION OF TRACT FOUR (4) ACCORDING TO WILLIAM A. WHITEHEAD'S MAP OF SAID ISLAND, DELINEATED IN FEBRUARY, A.D. 1869, BUT BETTER KNOWN AND DESCRIBED AS A PART OF LOT 2 OF SQUARE 5, OF TRACT 4, ACCORDING TO SEMONTON & WALL'S ADDITION TO THE CITY OF KEY WEST, FLORIDA, COMMENCING AT A POINT ON THE NORTHWEST SIDE OF DUVAL STREET, DISTANT ONE HUNDRED AND FORTY-TWO (142) FEET FROM THE CORNER OF DUVAL AND OLIVIA STREETS AND RUNNING THENCE IN A SOUTHEASTERLY DIRECTION 35 FEET AND 4 INCHES THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION 113 FEET, THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION 35 FEET, 4 INCHES; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION 113 FEET TO THE POINT OF BEGINNING.

**PARCEL 4:**  
ON THE ISLAND OF KEY WEST KNOWN AS PART OF LOT 4 IN SQUARE 5 (5), OF SEMONTON AND WALL'S ADDITION TO TRACT 4, COMMENCING AT A POINT ON THE NORTHWEST SIDE OF DUVAL STREET, DISTANT ONE HUNDRED AND FORTY-TWO (142) FEET FROM THE CORNER OF DUVAL AND OLIVIA STREETS AND RUNNING THENCE IN A SOUTHEASTERLY DIRECTION 35 FEET AND 4 INCHES THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION 113 FEET, THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION 35 FEET AND 4 INCHES; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION 113 FEET TO THE POINT OF BEGINNING.

**PARCEL 5:**  
ON THE ISLAND OF KEY WEST AND IS PART OF TRACT FOUR (4) ACCORDING TO WM. A. WHITEHEAD'S MAP OF THE CITY OF KEY WEST DELINEATED IN FEBRUARY, A.D. 1869 BUT BETTER KNOWN AS PART OF LOT TWO (2) SQUARE FIVE (5) OF TRACT FOUR (4) ACCORDING TO SEMONTON AND WALL'S ADDITION.

**PARCEL 6:**  
A PARCEL OF LAND ON THE ISLAND OF KEY WEST, MONROE COUNTY, FLORIDA AND KNOWN ON WILLIAM A. WHITEHEAD'S MAP OR PLAN OF SAID ISLAND DELINEATED IN FEBRUARY, A.D. 1869 AS PART OF TRACT 4, BUT BETTER KNOWN AS PART OF LOT 2, SQUARE 5, ACCORDING TO SEMONTON AND WALL'S ADDITION TO KEY WEST, RECORDED ON THE 22ND DAY OF APRIL, A.D. 1867 IN DEED BOOK "B" AT PAGE 245, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY BOUNDARY LINE OF DUVAL STREET WITH THE SOUTHERLY RIGHT OF WAY BOUNDARY LINE OF PETRONIA STREET AND RUN THENCE IN A NORTHWESTERLY DIRECTION ALONG THE SAID RIGHT OF WAY BOUNDARY LINE OF DUVAL STREET FOR A DISTANCE OF 147.41 FEET TO A POINT, THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION FOR A DISTANCE OF 0.66 FEET TO A POINT, THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION FOR A DISTANCE OF 29.06 FEET TO A POINT, THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION FOR A DISTANCE OF 2.00 FEET TO A POINT, THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION FOR A DISTANCE OF 1.68 FEET TO A POINT, THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION FOR A DISTANCE OF 28.94 FEET TO A POINT, THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION FOR A DISTANCE OF 1.68 FEET TO A POINT, THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION FOR A DISTANCE OF 28.94 FEET TO A POINT, THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION FOR A DISTANCE OF 53.34 FEET BACK TO THE POINT OF BEGINNING.

**PARCEL 7:**  
A PARCEL OF LAND ON THE ISLAND OF KEY WEST, MONROE COUNTY, FLORIDA AND KNOWN ON WILLIAM A. WHITEHEAD'S MAP OR PLAN OF SAID ISLAND DELINEATED IN FEBRUARY, A.D. 1869 AS PART OF TRACT 4, BUT BETTER KNOWN AS PART OF LOT 2, SQUARE 5 IN SAID TRACT 4 ACCORDING TO SEMONTON & WALL'S ADDITION TO KEY WEST, RECORDED IN ON THE 22ND DAY OF APRIL, A.D. 1867 IN DEED BOOK "B" AT PAGE 245 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY BOUNDARY LINE OF DUVAL STREET WITH THE SOUTHERLY RIGHT OF WAY BOUNDARY LINE OF PETRONIA STREET AND RUN THENCE IN A NORTHWESTERLY DIRECTION ALONG THE SAID RIGHT OF WAY BOUNDARY LINE OF DUVAL STREET FOR A DISTANCE OF 158.41 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREBY BEING DESCRIBED; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION FOR A DISTANCE OF 29.06 FEET TO A POINT, THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION FOR A DISTANCE OF 2.00 FEET TO A POINT, THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION FOR A DISTANCE OF 1.68 FEET TO A POINT, THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION FOR A DISTANCE OF 28.94 FEET TO A POINT, THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION FOR A DISTANCE OF 1.68 FEET TO A POINT, THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION FOR A DISTANCE OF 28.94 FEET TO A POINT, THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION FOR A DISTANCE OF 53.34 FEET BACK TO THE POINT OF BEGINNING.

**BOUNDARY SURVEY FOR:** Bowline Hospitality I, LLC;  
Jeffrey Bloom, John Flynn, and Gregory Holste;  
Richard Kamrad, as to a 1/2 interest, and (a) Alva L. Crist and The Northern Trust Company as successor to Northern Trust, NA, as Successor Co-Trustees of the Walter Goldstein Charitable Lead Trust f/b/o Alva L. Crist, u/a/d January 11, 1993, as to one-sixth (1/6) interest; (b) Alva L. Crist and The Northern Trust Company as successor to Northern Trust, NA, as Successor Co-Trustees of the Walter Goldstein Charitable Lead Trust f/b/o Sarah Goldstein u/a/d January 11, 1993, as to one-sixth (1/6) interest; and Pamela Grace Welsh, as to a one-twelfth (1/12) interest and Dorene Welsh, as to a one-twelfth (1/12) interest; and Pamela Grace Welsh, as to a one-twelfth (1/12) interest; and Dorene Welsh, as to a one-twelfth (1/12) interest; and Chicago Title Insurance Company;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.037, Florida Statutes.

J. LYNN O'FLYNN, INC.  
J. Lynn O'Flynn, PSM  
Florida Reg. #6298

THIS SURVEY IS NOT ASSIGNABLE

October 23, 2017

SHEET: 1  
OF: 1

DATE: 1/19/17

REVISIONS:  
1. Revised  
2.  
3.  
4.  
5.  
6.

DRAWN BY: JLO  
CHECKED BY: DD  
DATE: 10-19-17

Boundary Survey of:  
Duval House  
Key West, FL

J. LYNN O'FLYNN, Inc.  
Professional Surveyor & Mapper  
PSM #6298  
3430 Duck Ave., Key West, FL 33040  
(305) 286-7422

Not valid without the original raised seal of a Florida Licensed Surveyor and Mapper.

**Site Visit**



815 Duval Street, 512 Petronia Street, 814 Center Street, Key West, Florida 33040  
SITE VISIT





815 Duval Street, 512 Petronia Street, 814 Center Street, Key West, Florida 33040  
SITE VISIT





815 Duval Street, 512 Petronia Street, 814 Center Street, Key West, Florida 33040  
SITE VISIT





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SITE VISIT





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SITE VISIT





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SITE VISIT





815 Duval Street, 512 Petronia Street, 814 Center Street, Key West, Florida 33040  
SITE VISIT



# **Additional Information**



### Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

### Summary

**Parcel ID** 00016620-000000  
**Account#** 1017027  
**Property ID** 1017027  
**Millage Group** 10KW  
**Location** 815 DUVAL St, KEY WEST  
**Address**  
**Legal** KW PT LOT 2 AND PT LOT 4 SQR 5 TR 4 AND 1/4 INT IN PARCELE J2-18 G43-24/25  
**Description** OR777-1352 OR783-1572/73(DADE) OR785-1143/44 OR823-153/154 OR811-1724/1725 OR823-153/154 OR870-2401/2402 OR941-2208/2209R/S OR941-2210D/C OR941-2213/2214 OR945-1074/1075R/S G8-425 G11-340 OR294-317/318 OR856-890 E1-537 OR140-598 OR782-722D/C OR785-1143/1144 G12-572 OR575-208/211L/E PROBATE NO 75-206-CP-12 OR980-1134R/S OR1003-2123/2126R/S OR1003-2127R/S OR1032-2028D/C OR1049-1121/22WILL OR1125-1219/1221 OR1125-1222/1224 OR1160-1845/1847 OR1301-787/89 OR2661-451/57 OR2724-82/89 OR2724-90/97 OR2883-1003/11 OR2883-1062/73  
*(Note: Not to be used on legal documents.)*  
**Neighborhood** 32050  
**Property Class** HOTEL/MOTEL (3900)  
**Subdivision**  
**Sec/Twp/Rng** 06/68/25  
**Affordable** No  
**Housing**



### Owner

**BOWLINE HOSPITALITY I LLC**  
 500 Fleming St  
 Key West FL 33040

### Valuation

	2018	2017	2016	2015
+ Market Improvement Value	\$2,223,070	\$2,006,817	\$0	\$0
+ Market Misc Value	\$247,008	\$222,980	\$0	\$0
+ Market Land Value	\$2,470,077	\$2,229,796	\$4,149,959	\$3,964,100
= <b>Just Market Value</b>	<b>\$4,940,155</b>	<b>\$4,459,593</b>	<b>\$4,149,959</b>	<b>\$3,964,100</b>
= <b>Total Assessed Value</b>	<b>\$4,940,155</b>	<b>\$4,459,593</b>	<b>\$4,149,959</b>	<b>\$3,964,100</b>
- School Exempt Value	\$0	\$0	\$0	\$0
= <b>School Taxable Value</b>	<b>\$4,940,155</b>	<b>\$4,459,593</b>	<b>\$4,149,959</b>	<b>\$3,964,100</b>

### Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	27,983.00	Square Foot	0	0

### Commercial Buildings

**Style** HOTELS/MOTEL A / 39A  
**Gross Sq Ft** 4,761  
**Finished Sq Ft** 3,544  
**Perimeter** 948  
**Stories** 2  
**Interior Walls**  
**Exterior Walls** AB AVE WOOD SIDING  
**Quality** 450 ()  
**Roof Type**  
**Roof Material**  
**Exterior Wall1** AB AVE WOOD SIDING  
**Exterior Wall2**  
**Foundation**  
**Interior Finish**  
**Ground Floor Area**  
**Floor Cover**  
**Full Bathrooms** 7  
**Half Bathrooms** 0

Heating Type  
 Year Built 1924  
 Year Remodeled 0  
 Effective Year Built 1993  
 Condition EXCELLENT

Code	Description	Sketch Area	Finished Area	Perimeter
APT	APARTMENT	1,036	1,036	230
OPX	EXC OPEN PORCH	168	0	68
FLA	FLOOR LIV AREA	2,508	2,508	302
OOU	OP PR UNFIN UL	198	0	78
OPF	OP PRCH FIN LL	220	0	98
OUF	OP PRCH FIN UL	631	0	172
<b>TOTAL</b>		<b>4,761</b>	<b>3,544</b>	<b>948</b>

Style HOTELS/MOTEL A / 39A  
 Gross Sq Ft 2,878  
 Finished Sq Ft 2,204  
 Perimeter 556  
 Stories 2  
 Interior Walls  
 Exterior Walls AB AVE WOOD SIDING  
 Quality 450 ()  
 Roof Type  
 Roof Material  
 Exterior Wall1 AB AVE WOOD SIDING  
 Exterior Wall2  
 Foundation  
 Interior Finish  
 Ground Floor Area  
 Floor Cover  
 Full Bathrooms 0  
 Half Bathrooms 0  
 Heating Type  
 Year Built 1928  
 Year Remodeled  
 Effective Year Built 1993  
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	336	0	136
FLA	FLOOR LIV AREA	2,204	2,204	268
OOU	OP PR UNFIN UL	164	0	70
OPF	OP PRCH FIN LL	138	0	58
PTO	PATIO	36	0	24
<b>TOTAL</b>		<b>2,878</b>	<b>2,204</b>	<b>556</b>

Style HOTELS/MOTEL A / 39A  
 Gross Sq Ft 2,114  
 Finished Sq Ft 1,643  
 Perimeter 566  
 Stories 2  
 Interior Walls  
 Exterior Walls AB AVE WOOD SIDING  
 Quality 450 ()  
 Roof Type  
 Roof Material  
 Exterior Wall1 AB AVE WOOD SIDING  
 Exterior Wall2  
 Foundation  
 Interior Finish  
 Ground Floor Area  
 Floor Cover  
 Full Bathrooms 0  
 Half Bathrooms 0  
 Heating Type  
 Year Built 1986  
 Year Remodeled  
 Effective Year Built 1993  
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
APT	APARTMENT	180	180	84
FLA	FLOOR LIV AREA	1,463	1,463	248
OPF	OP PRCH FIN LL	300	0	152
OUF	OP PRCH FIN UL	65	0	36
PTO	PATIO	106	0	46
<b>TOTAL</b>		<b>2,114</b>	<b>1,643</b>	<b>566</b>

Style HOTELS/MOTEL A / 39A  
 Gross Sq Ft 1,166  
 Finished Sq Ft 523  
 Perimeter 370  
 Stories 2  
 Interior Walls  
 Exterior Walls AB AVE WOOD SIDING  
 Quality 400 ()  
 Roof Type  
 Roof Material  
 Exterior Wall1 AB AVE WOOD SIDING  
 Exterior Wall2  
 Foundation  
 Interior Finish  
 Ground Floor Area  
 Floor Cover  
 Full Bathrooms 0  
 Half Bathrooms 0  
 Heating Type  
 Year Built 1924  
 Year Remodeled  
 Effective Year Built 1993  
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	60	0	32
FAT	FINISHED ATTIC	81	0	36
FLA	FLOOR LIV AREA	523	523	118
OPU	OP PR UNFIN LL	417	0	140
SBF	UTIL FIN BLK	85	0	44
<b>TOTAL</b>		<b>1,166</b>	<b>523</b>	<b>370</b>

Style HOTELS/MOTEL A / 39A  
 Gross Sq Ft 4,461  
 Finished Sq Ft 1,073  
 Perimeter 718  
 Stories 1  
 Interior Walls  
 Exterior Walls AB AVE WOOD SIDING with 4% MIN WOOD SIDING  
 Quality 400 ()  
 Roof Type  
 Roof Material  
 Exterior Wall1 AB AVE WOOD SIDING  
 Exterior Wall2 MIN WOOD SIDING  
 Foundation  
 Interior Finish  
 Ground Floor Area  
 Floor Cover  
 Full Bathrooms 4  
 Half Bathrooms 0  
 Heating Type  
 Year Built 1924  
 Year Remodeled  
 Effective Year Built 1993  
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	216	0	76
FLA	FLOOR LIV AREA	1,073	1,073	142
PTO	PATIO	3,124	0	472
SBF	UTIL FIN BLK	48	0	28
<b>TOTAL</b>		<b>4,461</b>	<b>1,073</b>	<b>718</b>

Style HOTELS/MOTEL A / 39A  
 Gross Sq Ft 1,764  
 Finished Sq Ft 1,232  
 Perimeter 520  
 Stories 2  
 Interior Walls  
 Exterior Walls REIN CONCRETE with 43% AB AVE WOOD SIDING  
 Quality 450 ()  
 Roof Type  
 Roof Material  
 Exterior Wall1 REIN CONCRETE  
 Exterior Wall2 AB AVE WOOD SIDING  
 Foundation  
 Interior Finish  
 Ground Floor Area  
 Floor Cover  
 Full Bathrooms 8  
 Half Bathrooms 0

Heating Type  
 Year Built 1987  
 Year Remodeled  
 Effective Year Built 1993  
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	108	0	48
FLA	FLOOR LIV AREA	1,232	1,232	256
OPU	OP PR UNFIN LL	84	0	40
OPF	OP PRCH FIN LL	168	0	80
OUF	OP PRCH FIN UL	172	0	96
<b>TOTAL</b>		<b>1,764</b>	<b>1,232</b>	<b>520</b>

Style 1 STY STORE-A / 11A  
 Gross Sq Ft 720  
 Finished Sq Ft 612  
 Perimeter 168  
 Stories 1  
 Interior Walls  
 Exterior Walls AB AVE WOOD SIDING  
 Quality 400 ()  
 Roof Type  
 Roof Material  
 Exterior Wall1 AB AVE WOOD SIDING  
 Exterior Wall2  
 Foundation  
 Interior Finish  
 Ground Floor Area  
 Floor Cover  
 Full Bathrooms 0  
 Half Bathrooms 0  
 Heating Type  
 Year Built 1918  
 Year Remodeled  
 Effective Year Built 1993  
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	612	612	104
OPF	OP PRCH FIN LL	108	0	64
<b>TOTAL</b>		<b>720</b>	<b>612</b>	<b>168</b>

**Yard Items**

Description	Year Built	Roll Year	Quantity	Units	Grade
BRICK PATIO	1977	1978	1	116 SF	2
BRICK PATIO	1977	1978	1	180 SF	2
FENCES	1981	1982	1	175 SF	5
FENCES	1982	1983	1	330 SF	2
FENCES	1983	1984	1	252 SF	2
FENCES	1983	1984	1	306 SF	2
WALL AIR COND	1984	1985	1	1 UT	1
FENCES	1987	1988	1	1504 SF	2
FENCES	1987	1988	1	215 SF	5
BRICK PATIO	1987	1988	1	248 SF	2
FENCES	1988	1989	1	696 SF	2
WALL AIR COND	1985	1986	1	10 UT	2
COMM POOL	2008	2013	1	800 SF	2
BRICK PATIO	2008	2013	1	1230 SF	2
FENCES	1983	Roll Year	1	942 SF	2

**Sales**

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
12/13/2017	\$10,000,000	Warranty Deed	2147735	2883	1062	05 - Qualified	Improved
12/13/2017	\$0	Warranty Deed	2147732	2883	1003	11 - Unqualified	Improved
8/6/2014	\$0	Warranty Deed		2724	82	11 - Unqualified	Improved
8/6/2014	\$0	Warranty Deed		2724	90	11 - Unqualified	Improved
11/27/2013	\$100	Warranty Deed		2661	451	11 - Unqualified	Improved
3/1/1990	\$2,000,000	Warranty Deed		1125	1219	M - Unqualified	Improved
12/1/1980	\$200,000	Warranty Deed		823	153	M - Unqualified	Improved
11/1/1978	\$65,000	Conversion Code		777	1352	Q - Qualified	Improved

**Permits**



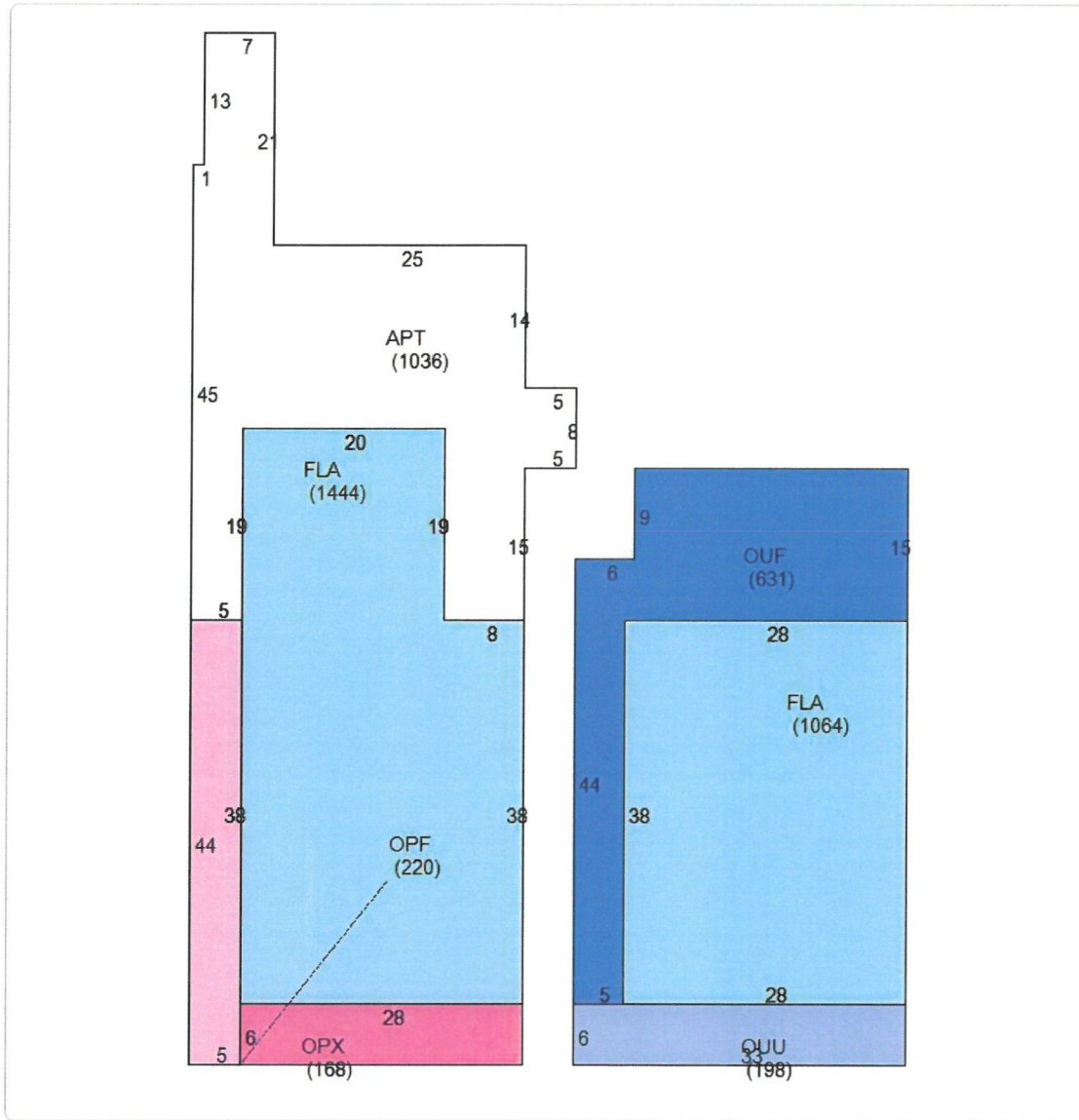
Number	Date Issued	Date Completed	Amount	Permit Type	Notes
BLD2019-0765	3/25/2019		\$731	Commercial	24" x 30" Double sided wood hanging sign with raised letters and logo, replacing existing sign, same as before, hanging in the exact same spot on existing pole and bracket.
17-00000313	1/28/2017		\$6,300	Commercial	MAINTENANCE AND PAINT THE V-CRIMP METAL ROOF SYSTEM. NOC. REQUIRED. HARC INSPECTION REQUIRED. GH
16-00003131	8/9/2016		\$2,950	Commercial	INSTALL 200 SQ/FT 2 SQS OF 24G VICTORIAN METAL SHINGLES OM UPPER FRONT PORCH ROOF INSTALL A LAYER OF 1/2 PLYWOOD COSTS \$600 IN ABOVE AMOUNT. N.O.C REQUIRED HARC INSPECTION REQUIRED. GH
16-0239	1/29/2016		\$5,000	Commercial	DEMO 6X8 SECTION OF CONCRETE PORCH. INSTALL NEW.
13-3554	9/4/2013		\$4,500	Commercial	REMOVE AND REPALCE 300SF OF R X G DECKING BOARDS.
13-2828	7/24/2013		\$6,750	Commercial	REPLACE SHOWER TILE AND INSTALL WAINSCOTING IN 4 BATHROOMS.
12-1771	5/22/2012		\$2,480	Commercial	REPLACE LOWER PORTIONS OF 6 POSTS.
12-1577	5/8/2012		\$1,500	Commercial	INSTALL RAMP
10-4012	12/28/2010		\$2,800	Commercial	REPLACE EXISTING STAIRCASE TREADS 7 RUNNERS APPROX 24FT. REUSE P/T 2X6 FOR TREADS TO MATCH EXISTING. REPLACE ON 4X4 POSTS.
10-2643	8/10/2010		\$4,900	Commercial	DEMO EXISTING KITCHEN CABINETS AND REPLACE 13 CABINETS AND 20LF OF COUNTERTOP. REPLACE DECK STAIR TREADS AND REPAIR ONE POST.
10-2569	8/3/2010		\$2,250	Commercial	REPAIR 24 FT OF GINGERBREAD AND HAINDRAILS
9-1869	6/30/2009	10/14/2009	\$4,000	Commercial	REPLACE 280 SF OF DECKING. RE-ENFORCE FOUNDATION AS NECESSARY
9-1591	5/29/2009	10/15/2009	\$2,000	Commercial	REMOVE AND REPLACE 320 SF OF V-CRIMP, CHANGE VALLEY AREA AND PAINT
09-1168	4/24/2009		\$2,750	Commercial	REMOVE AND REPLACE 42" STAIR TREADS
9-1168	4/24/2009	10/15/2009	\$2,750	Commercial	REPLACE STAIR TREADS, 1 STAIR POST AND DECK BOARDS
09-0590	3/2/2009		\$100	Commercial	LOWER EXISTING FENCE FROM 6FT TO 4 FT OPEN PICKET FENCING FACING PETRONIA ST.
8-3796	10/13/2008	12/14/2008	\$10,000	Commercial	REBUILD 325 SF OF WOOD DECKING AND FRAMING. REBUILD 65 SF BREEZEWAY WITH DECKING AND FRAMING. 20 LF OF ADA RAMP WITH FRAMING AND RAILING.
8-2802	8/12/2008	8/16/2008	\$4,000	Commercial	INSTALL BRICK PAVERS IN AREA WHERE POOL WAS FILLED
8-2755	8/2/2008	8/16/2008	\$1,000	Commercial	CAP OFF LINES TO DEMOLISH EXISTING SWIMMING POOL
8-2740	7/30/2008	8/2/2008	\$8,000	Commercial	DEMOLITION OF POOL & FILL TO GRADE
8-2754	7/30/2008	8/16/2008	\$2,000	Commercial	ELECTRICAL CONNECTION FOR DEMOLITION OF POOL
08-0197	1/28/2008		\$718	Commercial	REPAIR 47 LF 8' HIGH AT REAR OF THE PROPERTY
08-0160	1/23/2008		\$1,800	Commercial	PUT UP ALUMINUM FENCE W/GATE
08-0160	1/23/2008		\$1,800	Commercial	PUT UP ALUMINUM FRNCE WITH GATE 48" HIGH 50" WIDE.
08-0161	1/23/2008		\$1,030	Commercial	REPLACE 6' PRESSURE TREATED WOOD FENCE
08-0008	1/3/2008		\$9,000	Commercial	INSTALL 1230 SF BRICK PAVERS SAND SET POOL DECK & REPAIR FRONT STEPS
08-0008	1/3/2008		\$9,000	Commercial	INSTALL 1230SF BRICK PAVERS SAND SET POOL DECK AND REPAIR FRONT STEPS.
07-5335	12/13/2007		\$5,000	Commercial	INSTALL DRY WELL, TIE BACK WASH DRAIN INTO SEWER
07-4870	11/29/2007	11/5/2007	\$200	Commercial	RUN WIRE AND INSTALL DISC.
07-4805	10/23/2007		\$1,500	Commercial	INSTALL 75 LF OF 6" WHITE SEAMLESS GUTTER
07-4805	10/23/2007		\$1,500	Commercial	INSTALL 75LF OF 6" WHITE SEAMLESS GUTTER WITH DOWNSPOUT ON E AND W SIDE OF BUILDING.
7-4704	10/15/2007	11/15/2007	\$3,000	Commercial	RUN WATER TO OUTSIDE SHOWER AND TO POOL PUMP EQUIPMENT
7-4370	9/17/2007	10/25/2007	\$2,350	Commercial	UPGRADE ELECTRICAL SERVICE TO 200 AMP SERVICE
07-3472	7/23/2007		\$125,000	Commercial	BUILD NEW POOL 20'x40' (POOL NOT TO USD AT NIGHT.
7-3472	7/23/2007	9/19/2007	\$125,000	Commercial	CONSTRUCT NEW SWIMMING POOL
04-3754	12/9/2004	12/30/2004	\$3,500	Commercial	METAL ROOF
03-2055	6/10/2003	10/3/2003	\$10,132	Commercial	HANDICAP RAMP
03-1437	5/29/2003	10/3/2003	\$6,000	Commercial	INTERIOR WORK
01-1108	3/8/2001	11/16/2001	\$7,000	Commercial	15 SQS METAL ROOF
9901351	5/10/1999	12/7/1999	\$1,800		REPL PLANKING ON PORCH
99-1363	5/10/1999	12/7/1999	\$1,800	Commercial	REPL PORCH FLOOR
96-1834	5/1/1996	8/1/1996	\$4,813	Commercial	ROOF
E95-3254	9/1/1995	8/1/1996	\$5,100	Commercial	ELECTRICAL
E95-2174	7/1/1995	8/1/1995	\$2,000	Commercial	UPGRADE 225 AMP SERVICE

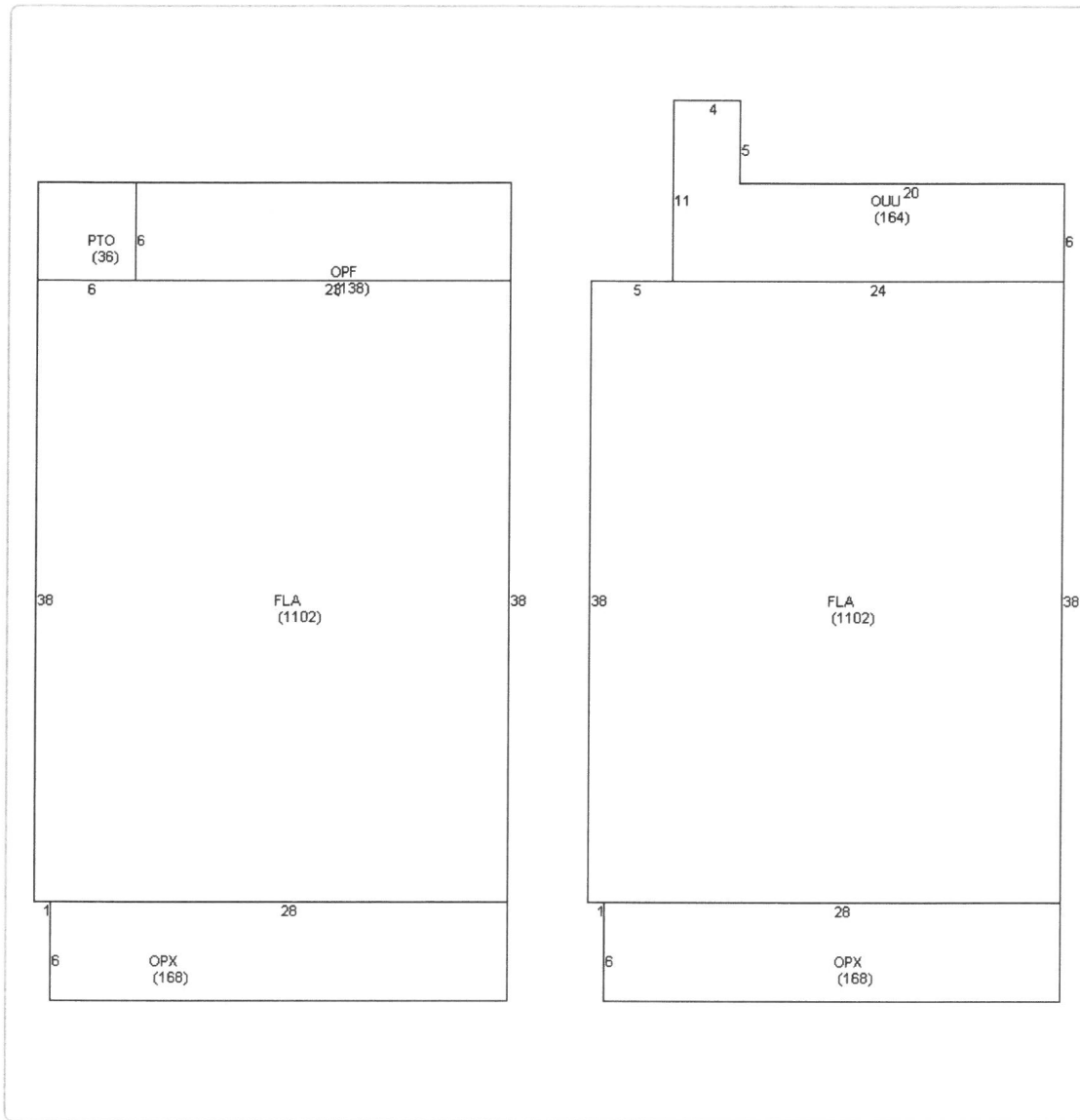
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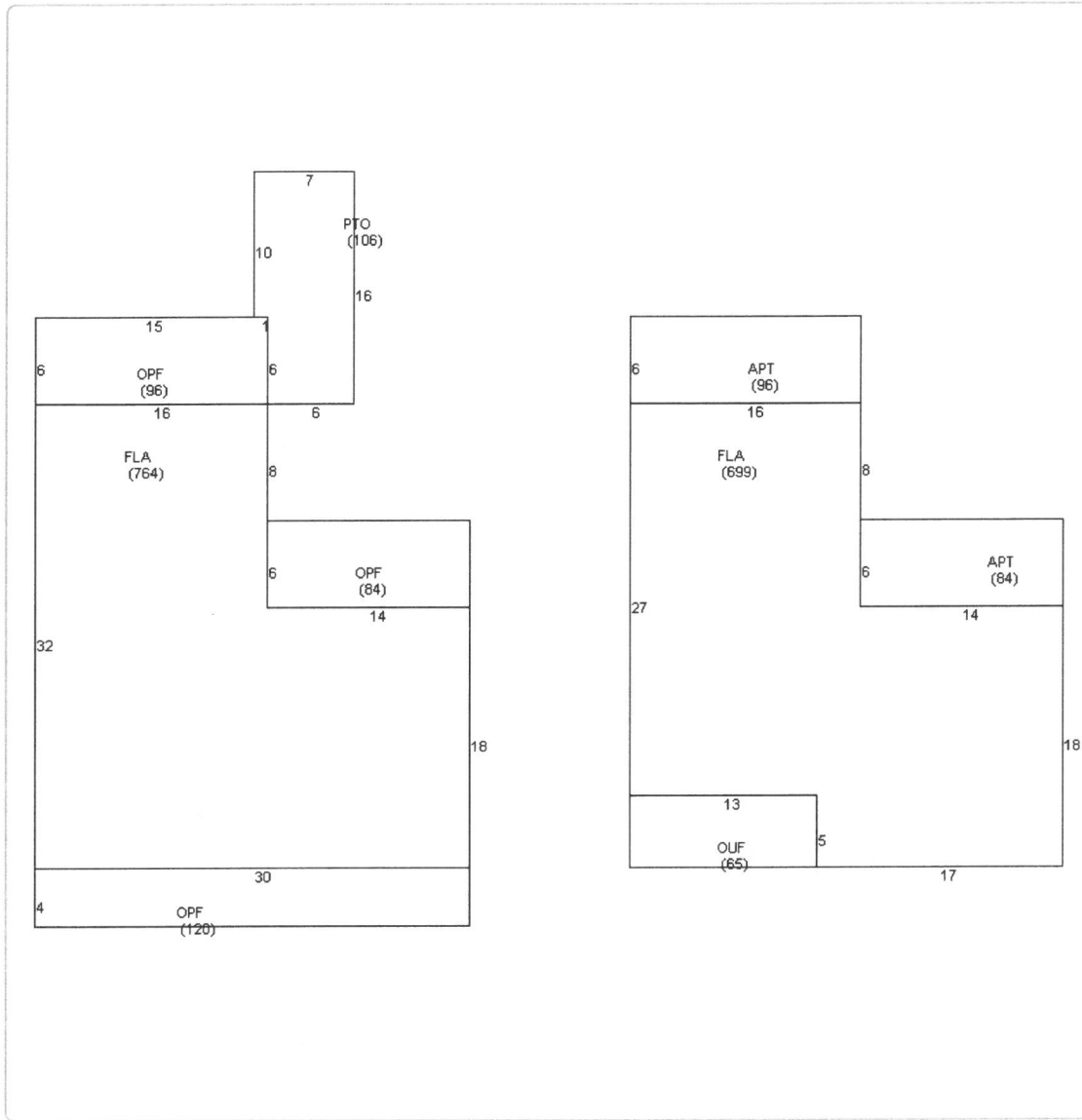
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Sketches (click to enlarge)

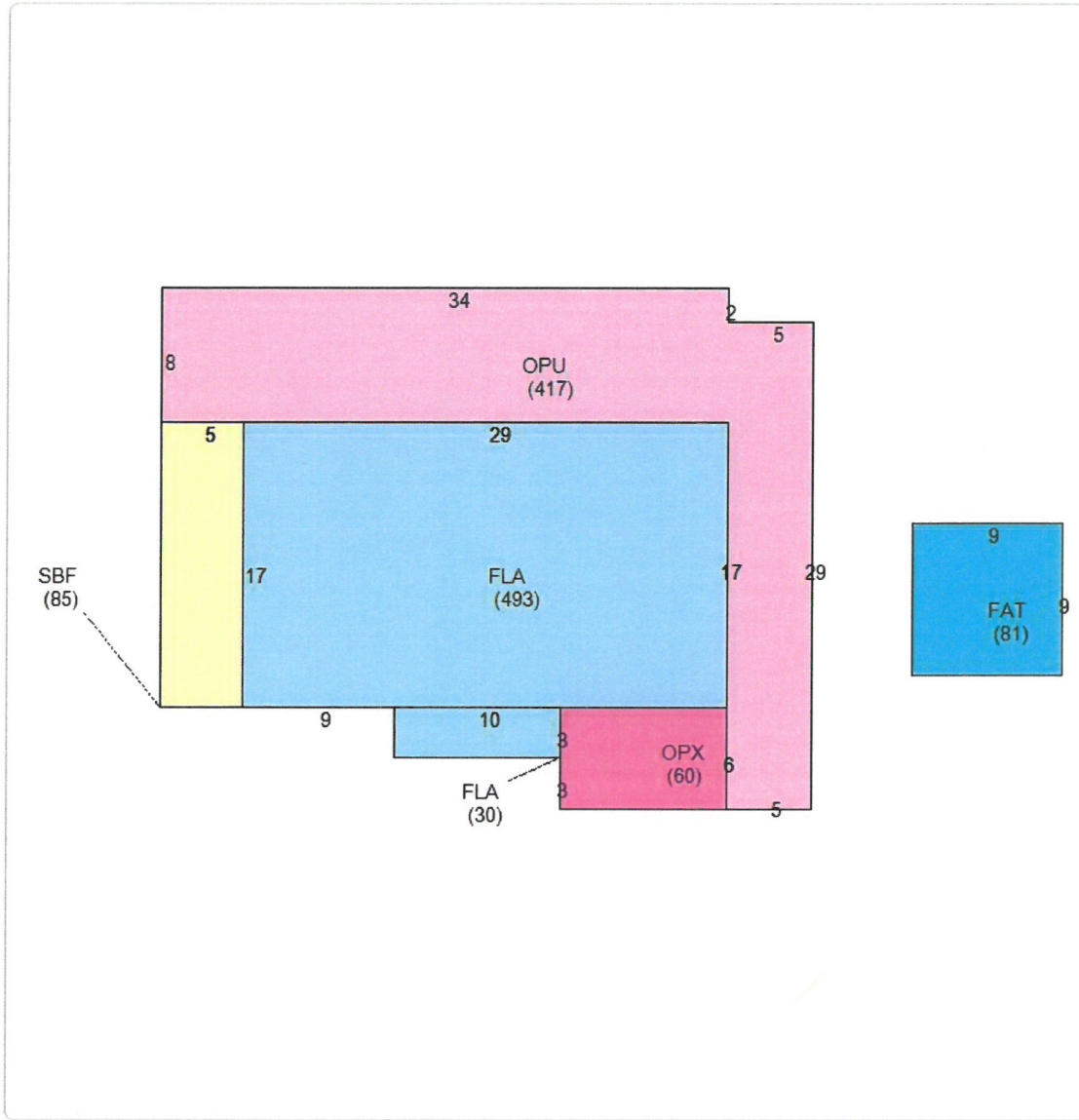


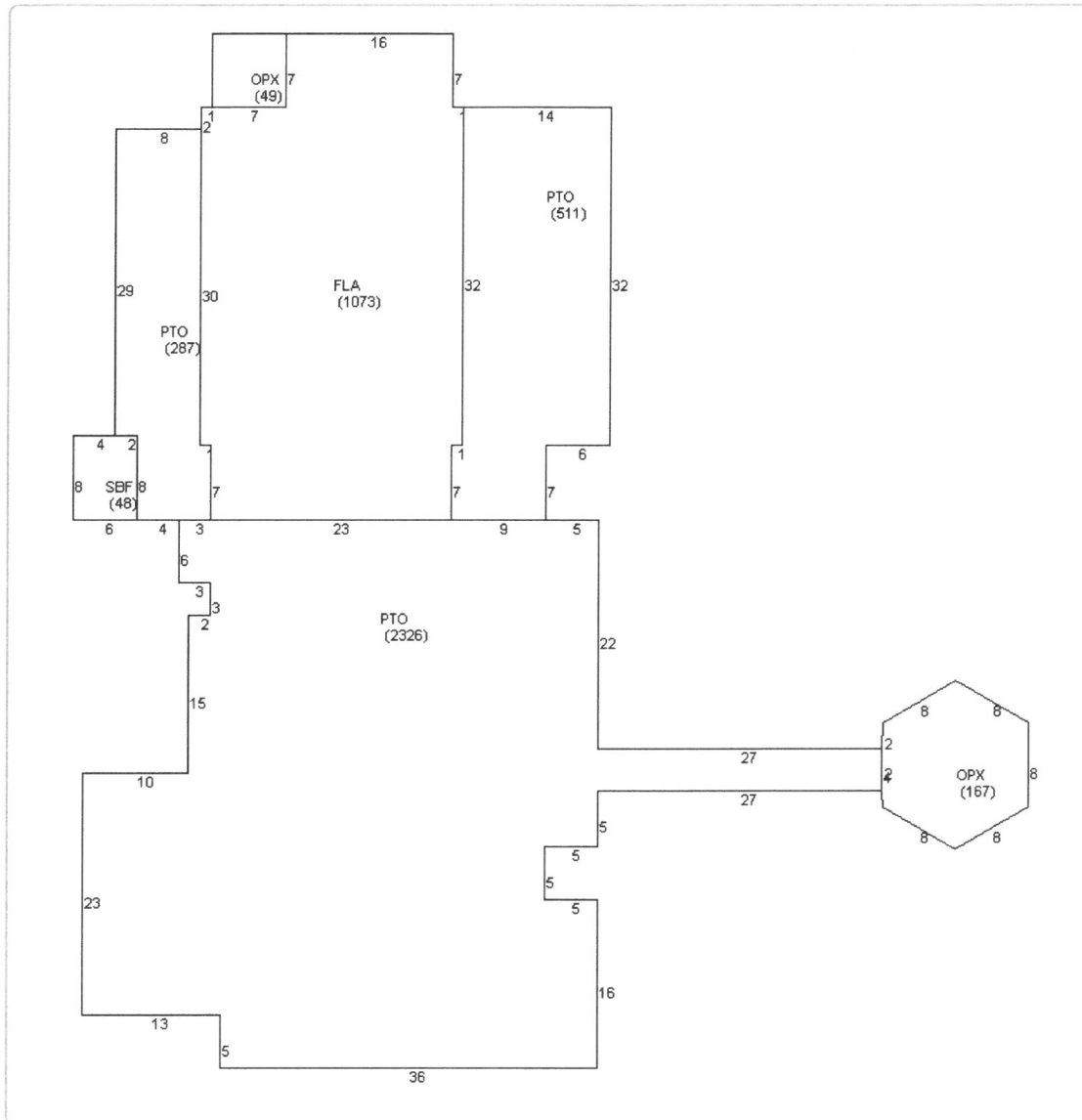


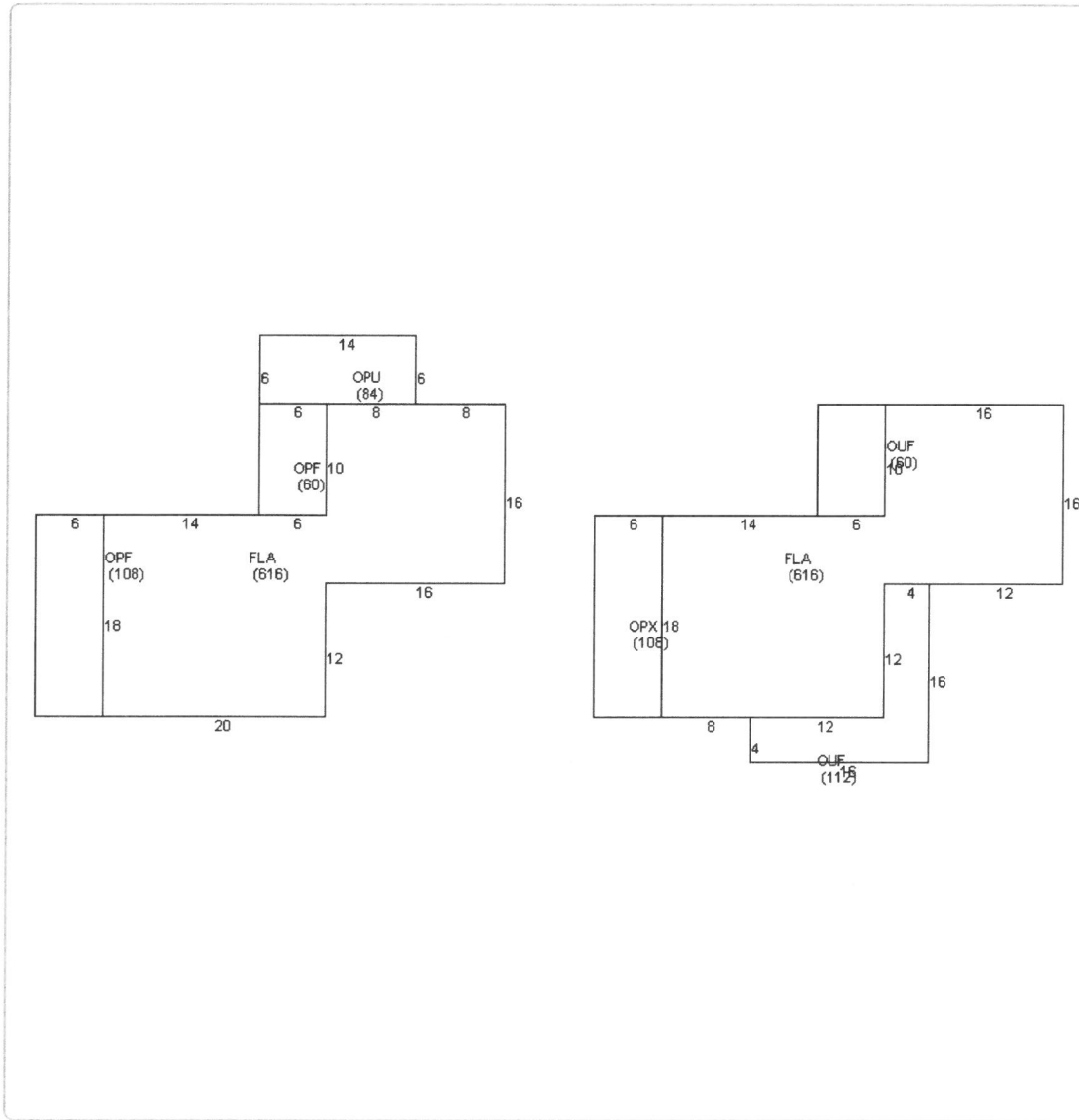




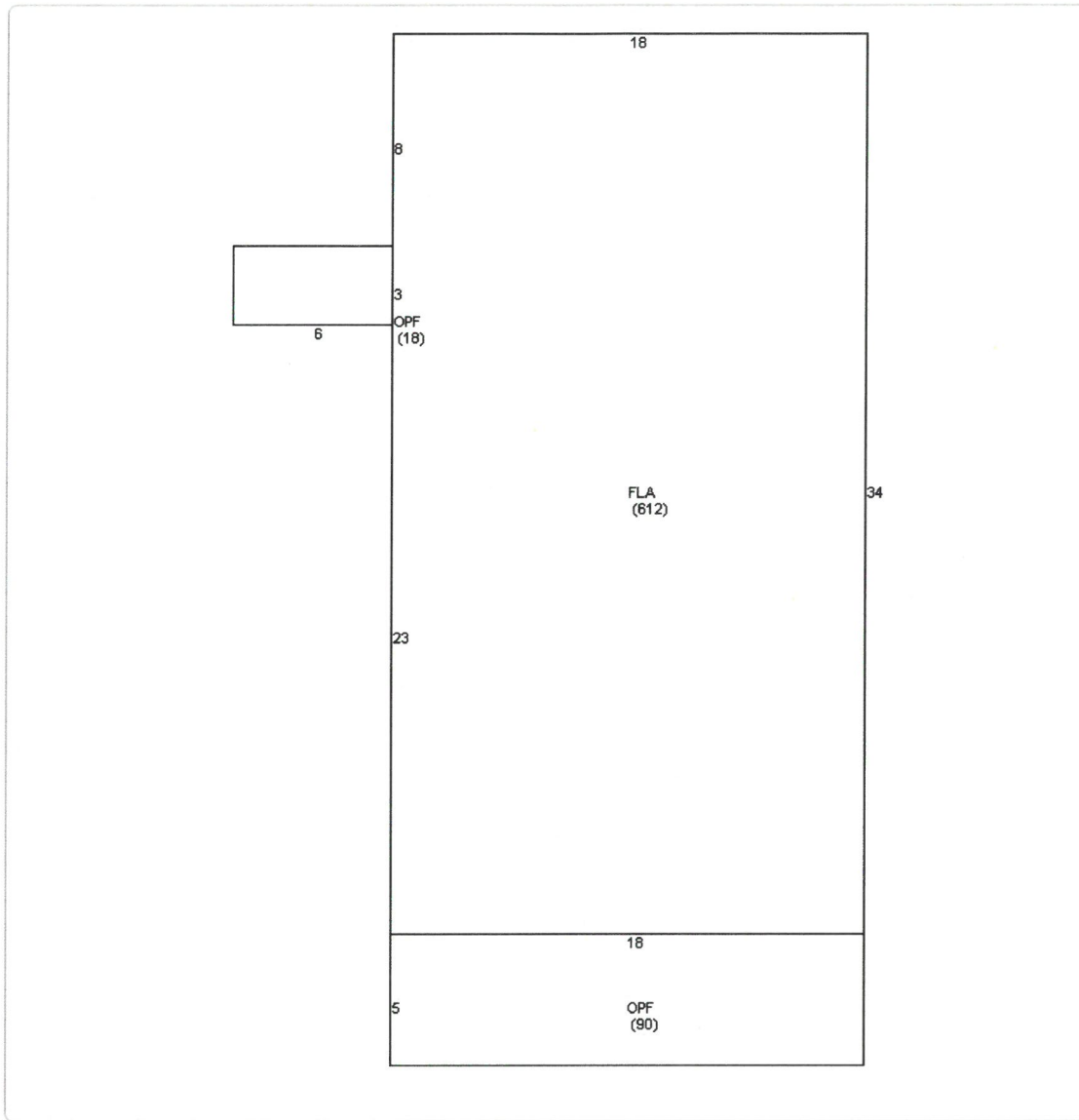












Photos

1017027-20180628



Map



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### Summary

**Parcel ID** 00016590-000000  
**Account#** 1016993  
**Property ID** 1016993  
**Millage Group** 10KW  
**Location** 512 PETRONIA St, KEY WEST  
**Address**  
**Legal Description** KW PT LOT 2 SQR 5 TR 4 AND 1/4 INT IN PARCEL E H1-522 B OF WILLS C-402/405 OR738-726 OR811-1728/29 OR739-241 OR739-229 OR741-175 OR759-1033/1034 OR759-1786 CO JUDGE DOCKET 77-249 OR803-270/271 OR812-1728/29 OR985-1675/76 OR992-829/30R/S OR1086-1032 OR1132-41/42 OR1160-1843/1844 OR1301-783/784C OR2661-451/57 OR2724-82/89 OR2724-90/97 OR2883-1003/11 OR2883-1062/73  
*(Note: Not to be used on legal documents.)*  
**Neighborhood** 32050  
**Property Class** HOTEL/MOTEL (3900)  
**Subdivision**  
**Sec/Twp/Rng** 06/68/25  
**Affordable** No  
**Housing**



### Owner

**BOWLINE HOSPITALITY I LLC**  
 500 Fleming St  
 Key West FL 33040

### Valuation

	2018	2017	2016	2015
+ Market Improvement Value	\$309,682	\$309,682	\$0	\$0
+ Market Misc Value	\$34,409	\$34,409	\$0	\$0
+ Market Land Value	\$344,091	\$344,091	\$617,669	\$611,321
= Just Market Value	\$688,182	\$688,182	\$617,669	\$611,321
= Total Assessed Value	\$688,182	\$679,436	\$617,669	\$349,918
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$688,182	\$688,182	\$617,669	\$611,321

### Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	1,556.00	Square Foot	0	0

### Commercial Buildings

**Style** S.F.R. - R1 / R1  
**Gross Sq Ft** 1,384  
**Finished Sq Ft** 836  
**Perimeter** 0  
**Stories** 1  
**Interior Walls** WALL BD/WD WAL  
**Exterior Walls** ABOVE AVERAGE WOOD  
**Quality** 500 ()  
**Roof Type** GABLE/HIP  
**Roof Material** METAL  
**Exterior Wall1** ABOVE AVERAGE WOOD  
**Exterior Wall2**  
**Foundation** WD CONC PADS  
**Interior Finish** WALL BD/WD WAL  
**Ground Floor Area**  
**Floor Cover** CONC S/B GRND  
**Full Bathrooms** 2  
**Half Bathrooms** 0  
**Heating Type** NONE with 0% NONE  
**Year Built** 1929  
**Year Remodeled**



Effective Year Built 1997  
Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FAT	FINISHED ATTIC	247	0	0
FLA	FLOOR LIV AREA	836	836	0
OPU	OP PR UNFIN LL	216	0	0
OPF	OP PRCH FIN LL	85	0	0
<b>TOTAL</b>		<b>1,384</b>	<b>836</b>	<b>0</b>

**Yard Items**

Description	Year Built	Roll Year	Quantity	Units	Grade
FENCES	1980	1981	1	815 SF	2
WALL AIR COND	1984	1985	1	2 UT	2

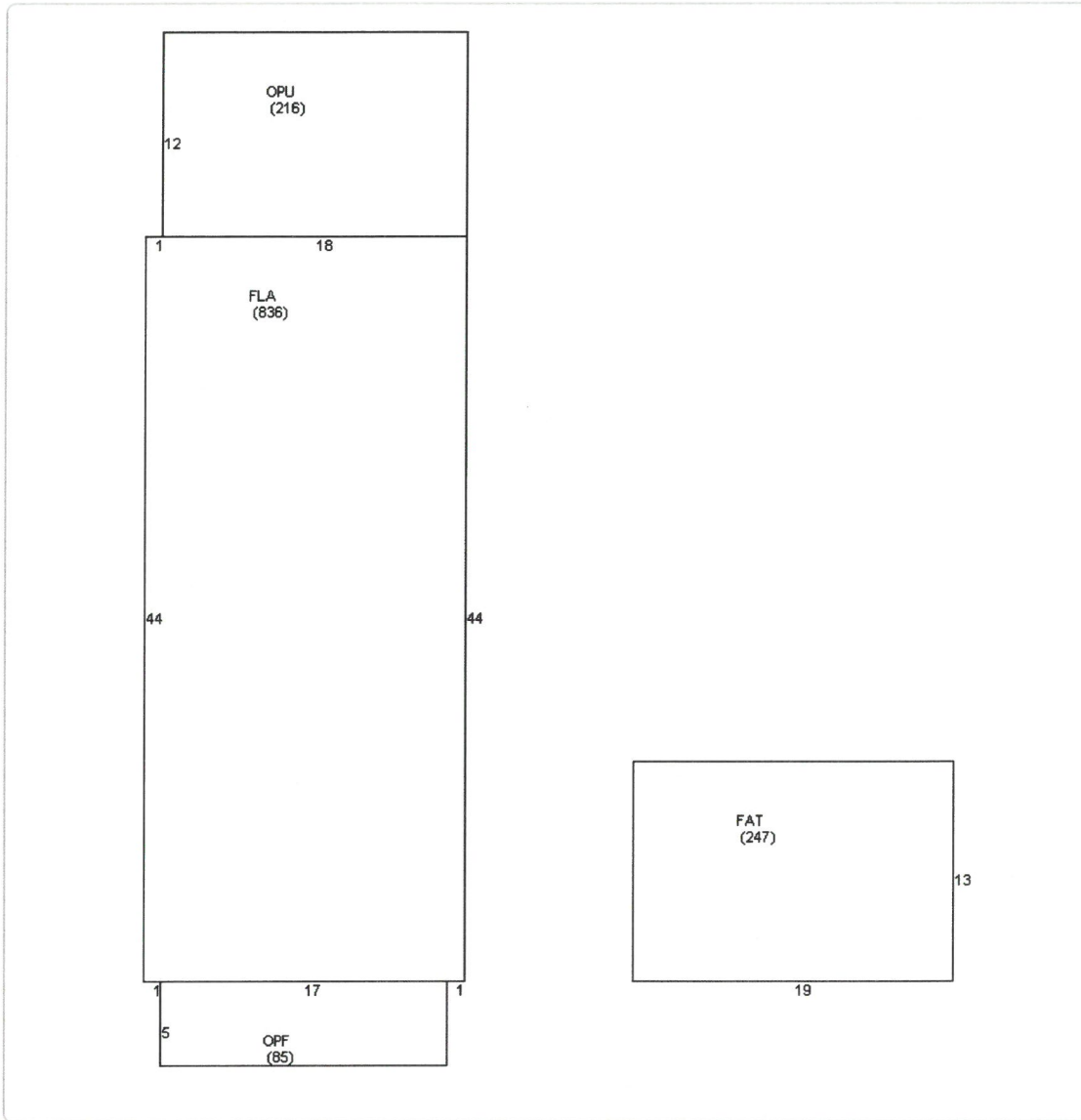
**Sales**

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
12/13/2017	\$10,000,000	Warranty Deed	2147735	2883	1062	05 - Qualified	Improved
12/13/2017	\$0	Warranty Deed	2147732	2883	1003	11 - Unqualified	Improved
8/6/2014	\$0	Warranty Deed		2724	90	11 - Unqualified	Improved
8/6/2014	\$0	Warranty Deed		2724	82	11 - Unqualified	Improved
11/27/2013	\$100	Warranty Deed		2661	451	11 - Unqualified	Improved
5/1/1990	\$154,750	Warranty Deed		1132	41	Q - Qualified	Improved
3/1/1989	\$140,000	Warranty Deed		1086	1032	Q - Qualified	Improved
10/1/1986	\$88,000	Warranty Deed		992	829	U - Unqualified	Improved
1/1/1984	\$41,000	Warranty Deed		985	1675	U - Unqualified	Improved
5/1/1980	\$39,500	Warranty Deed		811	1728	Q - Qualified	Improved

**Permits**

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
07-5514	12/27/2007	1/24/2008	\$3,000	Commercial	UPGRADE SERVICE TO 125 AMP X 2

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Photos



Map



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### Disclaimer

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### Summary

**Parcel ID** 00016620-000000  
**Account#** 1017027  
**Property ID** 1017027  
**Millage Group** 10KW  
**Location** 815 DUVAL St, KEY WEST  
**Address**  
**Legal Description** KW PT LOT 2 AND PT LOT 4 SQR 5 TR 4 AND 1/4 INT IN PARCELE J2-18 G43-24/25 OR777-1352 OR783-1572/73(DADE) OR785-1143/44 OR823-153/154 OR811-1724/1725 OR823-153/154 OR870-2401/2402 OR941-2208/2209R/S OR941-2210D/C OR941-2213/2214 OR945-1074/1075R/S G8-425 G11-340 OR294-317/318 OR856-890 E1-537 OR140-598 OR782-722D/C OR785-1143/1144 G12-572 OR575-208/211L/E PROBATE NO 75-206-CP-12 OR980-1134R/S OR1003-2123/2126R/S OR1003-2127R/S OR1032-2028D/C OR1049-1121/22WILL OR1125-1219/1221 OR1125-1222/1224 OR1160-1845/1847 OR1301-787/89 OR2661-451/57 OR2724-82/89 OR2724-90/97 OR2883-1003/11 OR2883-1062/73  
*(Note: Not to be used on legal documents.)*  
**Neighborhood** 32050  
**Property Class** HOTEL/MOTEL (3900)  
**Subdivision**  
**Sec/Twp/Rng** 06/68/25  
**Affordable** No  
**Housing**

1017027-20180628



### Owner

**BOWLINE HOSPITALITY I LLC**  
 500 Fleming St  
 Key West FL 33040

### Valuation

	2018	2017	2016	2015
+ Market Improvement Value	\$2,223,070	\$2,006,817	\$0	\$0
+ Market Misc Value	\$247,008	\$222,980	\$0	\$0
+ Market Land Value	\$2,470,077	\$2,229,796	\$4,149,959	\$3,964,100
= Just Market Value	\$4,940,155	\$4,459,593	\$4,149,959	\$3,964,100
= Total Assessed Value	\$4,940,155	\$4,459,593	\$4,149,959	\$3,964,100
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$4,940,155	\$4,459,593	\$4,149,959	\$3,964,100

### Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	27,983.00	Square Foot	0	0

### Commercial Buildings

**Style** HOTELS/MOTEL A / 39A  
**Gross Sq Ft** 4,761  
**Finished Sq Ft** 3,544  
**Perimeter** 948  
**Stories** 2  
**Interior Walls**  
**Exterior Walls** AB AVE WOOD SIDING  
**Quality** 450 ( )  
**Roof Type**  
**Roof Material**  
**Exterior Wall1** AB AVE WOOD SIDING  
**Exterior Wall2**  
**Foundation**  
**Interior Finish**  
**Ground Floor Area**  
**Floor Cover**  
**Full Bathrooms** 7  
**Half Bathrooms** 0

Heating Type  
 Year Built 1924  
 Year Remodeled 0  
 Effective Year Built 1993  
 Condition EXCELLENT

Code	Description	Sketch Area	Finished Area	Perimeter
APT	APARTMENT	1,036	1,036	230
OPX	EXC OPEN PORCH	168	0	68
FLA	FLOOR LIV AREA	2,508	2,508	302
OOU	OP PR UNFIN UL	198	0	78
OPF	OP PRCH FIN LL	220	0	98
OUF	OP PRCH FIN UL	631	0	172
<b>TOTAL</b>		<b>4,761</b>	<b>3,544</b>	<b>948</b>

Style HOTELS/MOTEL A / 39A  
 Gross Sq Ft 2,878  
 Finished Sq Ft 2,204  
 Perimeter 556  
 Stories 2  
 Interior Walls  
 Exterior Walls AB AVE WOOD SIDING  
 Quality 450 ()  
 Roof Type  
 Roof Material  
 Exterior Wall1 AB AVE WOOD SIDING  
 Exterior Wall2  
 Foundation  
 Interior Finish  
 Ground Floor Area  
 Floor Cover  
 Full Bathrooms 0  
 Half Bathrooms 0  
 Heating Type  
 Year Built 1928  
 Year Remodeled  
 Effective Year Built 1993  
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	336	0	136
FLA	FLOOR LIV AREA	2,204	2,204	268
OOU	OP PR UNFIN UL	164	0	70
OPF	OP PRCH FIN LL	138	0	58
PTO	PATIO	36	0	24
<b>TOTAL</b>		<b>2,878</b>	<b>2,204</b>	<b>556</b>

Style HOTELS/MOTEL A / 39A  
 Gross Sq Ft 2,114  
 Finished Sq Ft 1,643  
 Perimeter 566  
 Stories 2  
 Interior Walls  
 Exterior Walls AB AVE WOOD SIDING  
 Quality 450 ()  
 Roof Type  
 Roof Material  
 Exterior Wall1 AB AVE WOOD SIDING  
 Exterior Wall2  
 Foundation  
 Interior Finish  
 Ground Floor Area  
 Floor Cover  
 Full Bathrooms 0  
 Half Bathrooms 0  
 Heating Type  
 Year Built 1986  
 Year Remodeled  
 Effective Year Built 1993  
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
APT	APARTMENT	180	180	84
FLA	FLOOR LIV AREA	1,463	1,463	248
OPF	OP PRCH FIN LL	300	0	152
OUF	OP PRCH FIN UL	65	0	36
PTO	PATIO	106	0	46
<b>TOTAL</b>		<b>2,114</b>	<b>1,643</b>	<b>566</b>

Style HOTELS/MOTEL A / 39A  
 Gross Sq Ft 1,166  
 Finished Sq Ft 523  
 Perimeter 370  
 Stories 2  
 Interior Walls  
 Exterior Walls AB AVE WOOD SIDING  
 Quality 400 ()  
 Roof Type  
 Roof Material  
 Exterior Wall1 AB AVE WOOD SIDING  
 Exterior Wall2  
 Foundation  
 Interior Finish  
 Ground Floor Area  
 Floor Cover  
 Full Bathrooms 0  
 Half Bathrooms 0  
 Heating Type  
 Year Built 1924  
 Year Remodeled  
 Effective Year Built 1993  
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	60	0	32
FAT	FINISHED ATTIC	81	0	36
FLA	FLOOR LIV AREA	523	523	118
OPU	OP PR UNFIN LL	417	0	140
SBF	UTIL FIN BLK	85	0	44
<b>TOTAL</b>		<b>1,166</b>	<b>523</b>	<b>370</b>

Style HOTELS/MOTEL A / 39A  
 Gross Sq Ft 4,461  
 Finished Sq Ft 1,073  
 Perimeter 718  
 Stories 1  
 Interior Walls  
 Exterior Walls AB AVE WOOD SIDING with 4% MIN WOOD SIDING  
 Quality 400 ()  
 Roof Type  
 Roof Material  
 Exterior Wall1 AB AVE WOOD SIDING  
 Exterior Wall2 MIN WOOD SIDING  
 Foundation  
 Interior Finish  
 Ground Floor Area  
 Floor Cover  
 Full Bathrooms 4  
 Half Bathrooms 0  
 Heating Type  
 Year Built 1924  
 Year Remodeled  
 Effective Year Built 1993  
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	216	0	76
FLA	FLOOR LIV AREA	1,073	1,073	142
PTO	PATIO	3,124	0	472
SBF	UTIL FIN BLK	48	0	28
<b>TOTAL</b>		<b>4,461</b>	<b>1,073</b>	<b>718</b>

Style HOTELS/MOTEL A / 39A  
 Gross Sq Ft 1,764  
 Finished Sq Ft 1,232  
 Perimeter 520  
 Stories 2  
 Interior Walls  
 Exterior Walls REIN CONCRETE with 43% AB AVE WOOD SIDING  
 Quality 450 ()  
 Roof Type  
 Roof Material  
 Exterior Wall1 REIN CONCRETE  
 Exterior Wall2 AB AVE WOOD SIDING  
 Foundation  
 Interior Finish  
 Ground Floor Area  
 Floor Cover  
 Full Bathrooms 8  
 Half Bathrooms 0



Heating Type  
 Year Built 1987  
 Year Remodeled  
 Effective Year Built 1993  
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	108	0	48
FLA	FLOOR LIV AREA	1,232	1,232	256
OPU	OP PR UNFIN LL	84	0	40
OPF	OP PRCH FIN LL	168	0	80
OUF	OP PRCH FIN UL	172	0	96
<b>TOTAL</b>		<b>1,764</b>	<b>1,232</b>	<b>520</b>

Style 1 STY STORE-A/ 11A  
 Gross Sq Ft 720  
 Finished Sq Ft 612  
 Perimeter 168  
 Stories 1  
 Interior Walls  
 Exterior Walls AB AVE WOOD SIDING  
 Quality 400 ()  
 Roof Type  
 Roof Material  
 Exterior Wall1 AB AVE WOOD SIDING  
 Exterior Wall2  
 Foundation  
 Interior Finish  
 Ground Floor Area  
 Floor Cover  
 Full Bathrooms 0  
 Half Bathrooms 0  
 Heating Type  
 Year Built 1918  
 Year Remodeled  
 Effective Year Built 1993  
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	612	612	104
OPF	OP PRCH FIN LL	108	0	64
<b>TOTAL</b>		<b>720</b>	<b>612</b>	<b>168</b>

### Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
BRICK PATIO	1977	1978	1	116 SF	2
BRICK PATIO	1977	1978	1	180 SF	2
FENCES	1981	1982	1	175 SF	5
FENCES	1982	1983	1	330 SF	2
FENCES	1983	1984	1	252 SF	2
FENCES	1983	1984	1	306 SF	2
WALL AIR COND	1984	1985	1	1 UT	1
FENCES	1987	1988	1	1504 SF	2
FENCES	1987	1988	1	215 SF	5
BRICK PATIO	1987	1988	1	248 SF	2
FENCES	1988	1989	1	696 SF	2
WALL AIR COND	1985	1986	1	10 UT	2
COMM POOL	2008	2013	1	800 SF	2
BRICK PATIO	2008	2013	1	1230 SF	2
FENCES	1983	Roll Year	1	942 SF	2

### Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
12/13/2017	\$10,000,000	Warranty Deed	2147735	2883	1062	05 - Qualified	Improved
12/13/2017	\$0	Warranty Deed	2147732	2883	1003	11 - Unqualified	Improved
8/6/2014	\$0	Warranty Deed		2724	82	11 - Unqualified	Improved
8/6/2014	\$0	Warranty Deed		2724	90	11 - Unqualified	Improved
11/27/2013	\$100	Warranty Deed		2661	451	11 - Unqualified	Improved
3/1/1990	\$2,000,000	Warranty Deed		1125	1219	M - Unqualified	Improved
12/1/1980	\$200,000	Warranty Deed		823	153	M - Unqualified	Improved
11/1/1978	\$65,000	Conversion Code		777	1352	Q - Qualified	Improved

### Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
BLD2019-0765	3/25/2019		\$731	Commercial	24" x 30" Double sided wood hanging sign with raised letters and logo, replacing existing sign, same as before, hanging in the exact same spot on existing pole and bracket.
17-00000313	1/28/2017		\$6,300	Commercial	MAINTENANCE AND PAINT THE V-CRIMP METAL ROOF SYSTEM. NOC. REQUIRED. HARC INSPECTION REQUIRED. GH
16-00003131	8/9/2016		\$2,950	Commercial	INSTALL 200 SQ/FT 2 SQS OF 24G VICTORIAN METAL SHINGLES OM UPPER FRONT PORCH ROOF INSTALL A LAYER OF 1/2 PLYWOOD COSTS \$600 IN ABOVE AMOUNT. N.O.C REQUIRED HARC INSPECTION REQUIRED. GH
16-0239	1/29/2016		\$5,000	Commercial	DEMO 6X8 SECTION OF CONCRETE PORCH. INSTALL NEW.
13-3554	9/4/2013		\$4,500	Commercial	REMOVE AND REPALCE 300SF OF R X G DECKING BOARDS.
13-2828	7/24/2013		\$6,750	Commercial	REPLACE SHOWER TILE AND INSTALL WAINSCOATING IN 4 BATHROOMS.
12-1771	5/22/2012		\$2,480	Commercial	REPLACE LOWER PORTIONS OF 6 POSTS.
12-1577	5/8/2012		\$1,500	Commercial	INSTALL RAMP
10-4012	12/28/2010		\$2,800	Commercial	REPLACE EXISTING STAIRCASE TREADS 7 RUNNERS APPROX 24FT. REUSE P/T 2X6 FOR TREADS TO MATCH EXISTING. REPLACE ON 4X4 POSTS.
10-2643	8/10/2010		\$4,900	Commercial	DEMO EXISTING KITCHEN CABINETS AND REPLACE 13 CABINETS AND 20LF OF COUNTERTOP. REPLACE DECK STAIR TREADS AND REPAIR ONE POST.
10-2569	8/3/2010		\$2,250	Commercial	REPAIR 24 FT OF GINGERBREAD AND HAINDRAILS
9-1869	6/30/2009	10/14/2009	\$4,000	Commercial	REPLACE 280 SF OF DECKING. RE-ENFORCE FOUNDATION AS NECESSARY
9-1591	5/29/2009	10/15/2009	\$2,000	Commercial	REMOVE AND REPLACE 320 SF OF V-CRIMP, CHANGE VALLEY AREA AND PAINT
09-1168	4/24/2009		\$2,750	Commercial	REMOVE AND REPLACE 42" STAIR TREADS
9-1168	4/24/2009	10/15/2009	\$2,750	Commercial	REPLACE STAIR TREADS, 1 STAIR POST AND DECK BOARDS
09-0590	3/2/2009		\$100	Commercial	LOWER EXISTING FENCE FROM 6FT TO 4 FT OPEN PICKET FENCING FACING PETRONIA ST.
8-3796	10/13/2008	12/14/2008	\$10,000	Commercial	REBUILD 325 SF OF WOOD DECKING AND FRAMING. REBUILD 65 SF BREEZEWAY WITH DECKING AND FRAMING. 20 LF OF ADA RAMP WITH FRAMING AND RAILING.
8-2802	8/12/2008	8/16/2008	\$4,000	Commercial	INSTALL BRICK PAVERS IN AREA WHERE POOL WAS FILLED
8-2755	8/2/2008	8/16/2008	\$1,000	Commercial	CAP OFF LINES TO DEMOLISH EXISTING SWIMMING POOL
8-2740	7/30/2008	8/2/2008	\$8,000	Commercial	DEMOLITION OF POOL & FILL TO GRADE
8-2754	7/30/2008	8/16/2008	\$2,000	Commercial	ELECTRICAL CONNECTION FOR DEMOLITION OF POOL
08-0197	1/28/2008		\$718	Commercial	REPAIR 47 LF 8' HIGH AT REAR OF THE PROPERTY
08-0160	1/23/2008		\$1,800	Commercial	PUT UP ALUMINUM FENCE W/GATE
08-0160	1/23/2008		\$1,800	Commercial	PUT UP ALUMINUM FRNCE WITH GATE 48" HIGH 50" WIDE.
08-0161	1/23/2008		\$1,030	Commercial	REPLACE 6' PRESSURE TREATED WOOD FENCE
08-0008	1/3/2008		\$9,000	Commercial	INSTALL 1230 SF BRICK PAVERS SAND SET POOL DECK & REPAIR FRONT STEPS
08-0008	1/3/2008		\$9,000	Commercial	INSTALL 1230SF BRICK PAVERS SAND SET POOL DECK AND REPAIR FRONT STEPS.
07-5335	12/13/2007		\$5,000	Commercial	INSTALL DRY WELL, TIE BACK WASH DRAIN INTO SEWER
07-4870	11/29/2007	11/5/2007	\$200	Commercial	RUN WIRE AND INSTALL DISC.
07-4805	10/23/2007		\$1,500	Commercial	INSTALL 75 LF OF 6" WHITE SEAMLESS GUTTER
07-4805	10/23/2007		\$1,500	Commercial	INSTALL 75LF OF 6" WHITE SEAMLESS GUTTER WITH DOWNSPOUT ON E AND W SIDE OF BUILDING.
7-4704	10/15/2007	11/15/2007	\$3,000	Commercial	RUN WATER TO OUTSIDE SHOWER AND TO POOL PUMP EQUIPMENT
7-4370	9/17/2007	10/25/2007	\$2,350	Commercial	UPGRADE ELECTRICAL SERVICE TO 200 AMP SERVICE
07-3472	7/23/2007		\$125,000	Commercial	BUILD NEW POOL 20'x40' (POOL NOT TO USD AT NIGHT.
7-3472	7/23/2007	9/19/2007	\$125,000	Commercial	CONSTRUCT NEW SWIMMING POOL
04-3754	12/9/2004	12/30/2004	\$3,500	Commercial	METAL ROOF
03-2055	6/10/2003	10/3/2003	\$10,132	Commercial	HANDICAP RAMP
03-1437	5/29/2003	10/3/2003	\$6,000	Commercial	INTERIOR WORK
01-1108	3/8/2001	11/16/2001	\$7,000	Commercial	15 SQS METAL ROOF
9901351	5/10/1999	12/7/1999	\$1,800		REPL PLANKING ON PORCH
99-1363	5/10/1999	12/7/1999	\$1,800	Commercial	REPL PORCH FLOOR
96-1834	5/1/1996	8/1/1996	\$4,813	Commercial	ROOF
E95-3254	9/1/1995	8/1/1996	\$5,100	Commercial	ELECTRICAL
E95-2174	7/1/1995	8/1/1995	\$2,000	Commercial	UPGRADE 225 AMP SERVICE

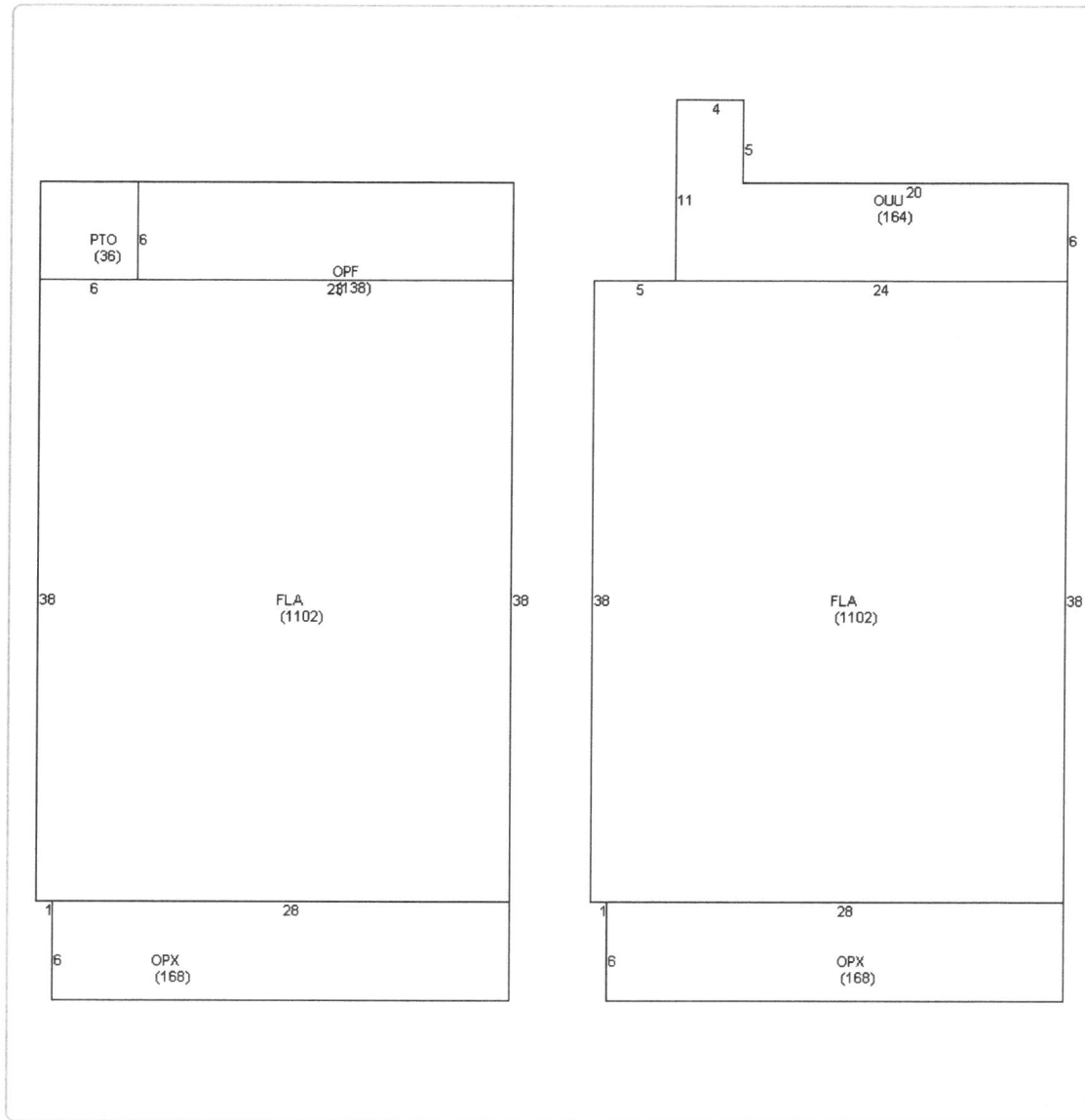
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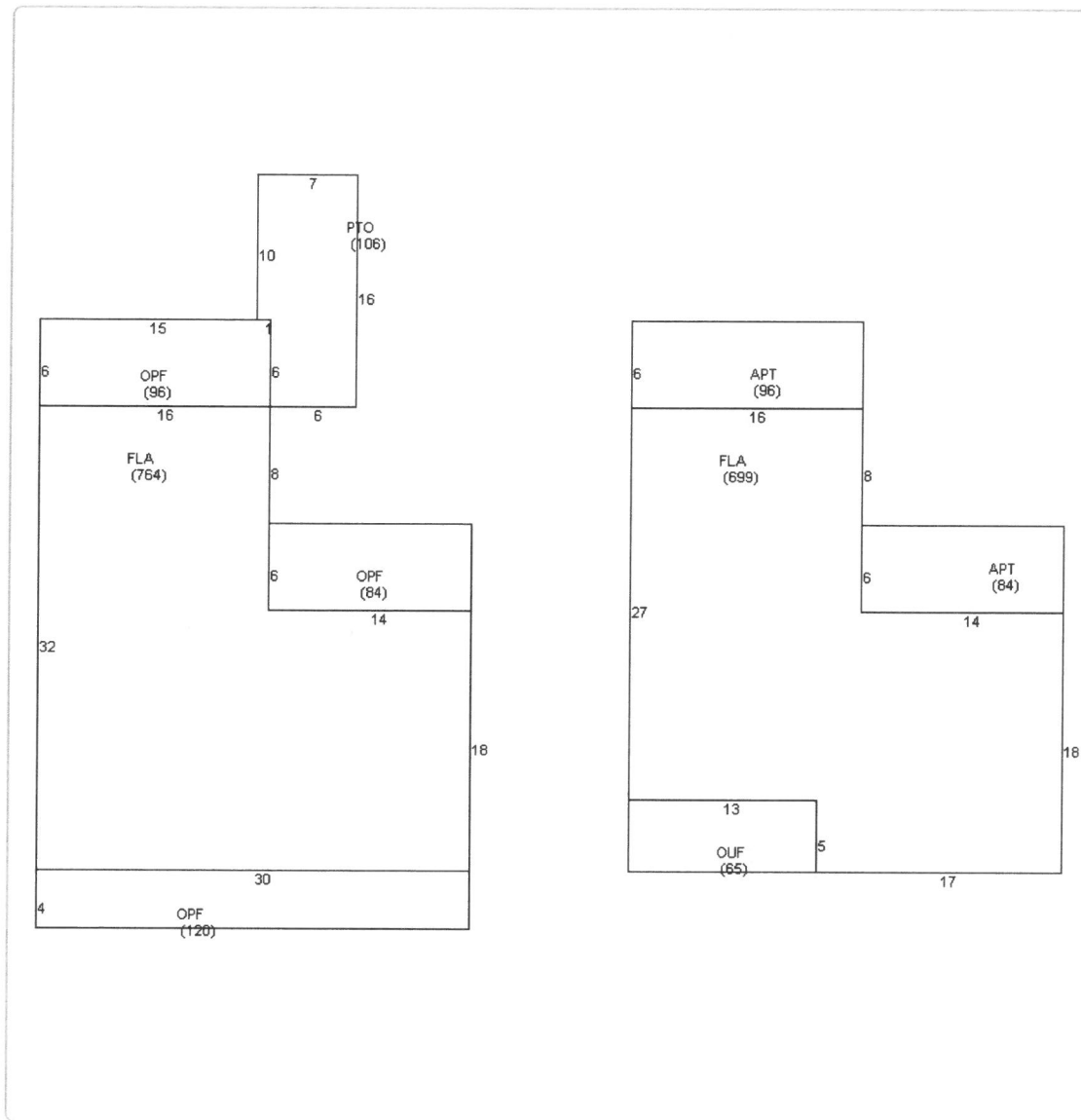
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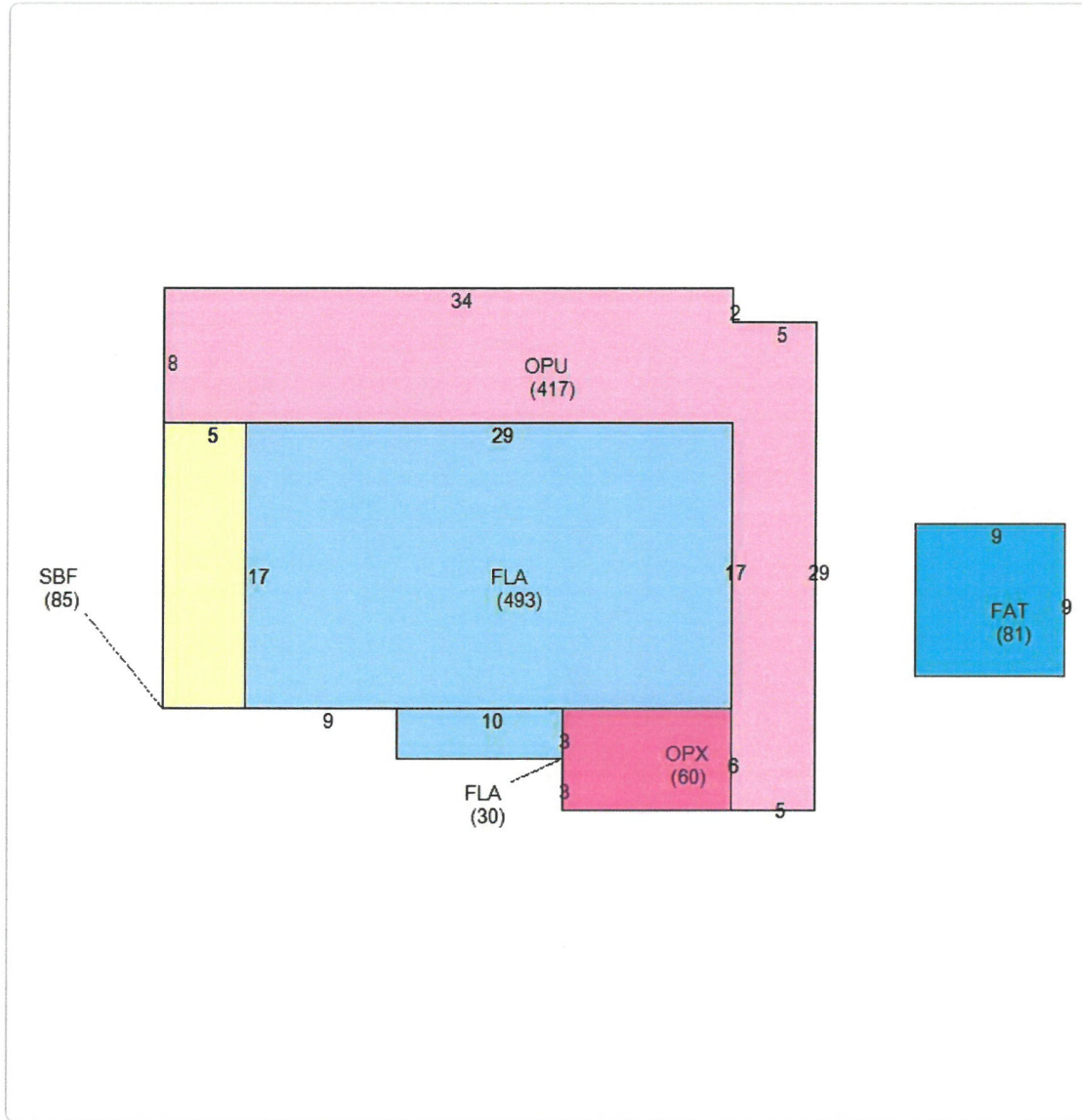
## Sketches (click to enlarge)



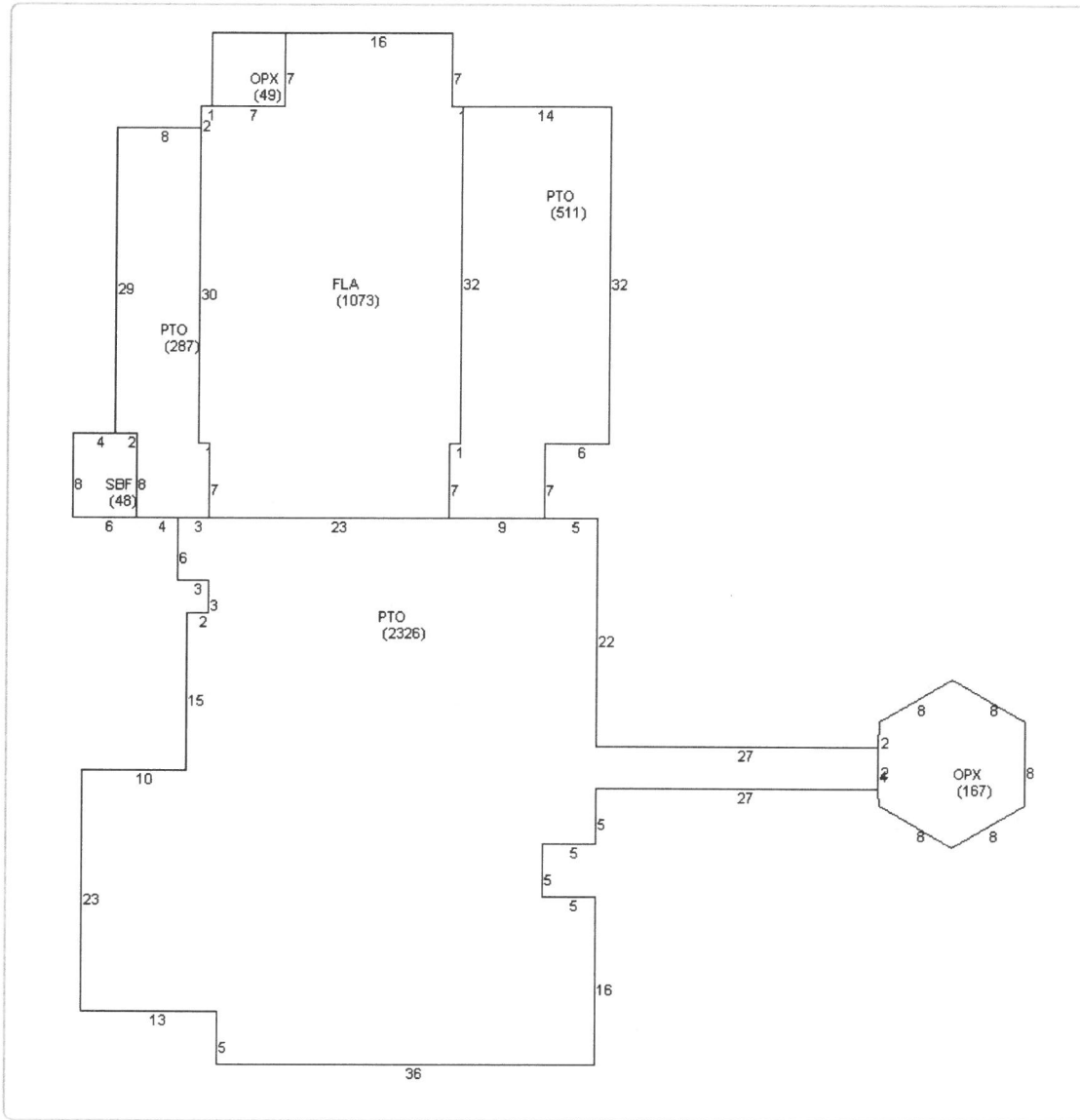


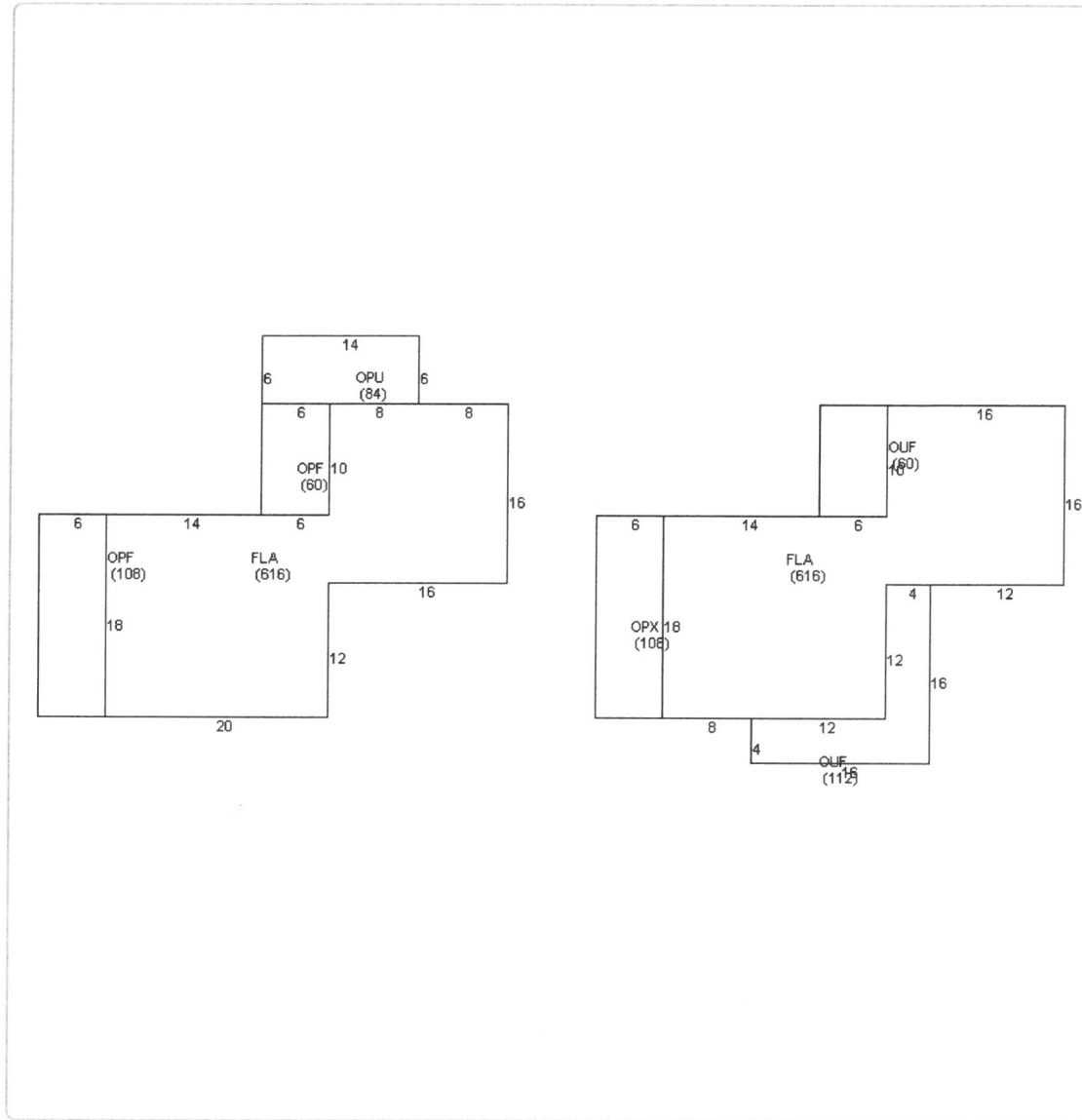


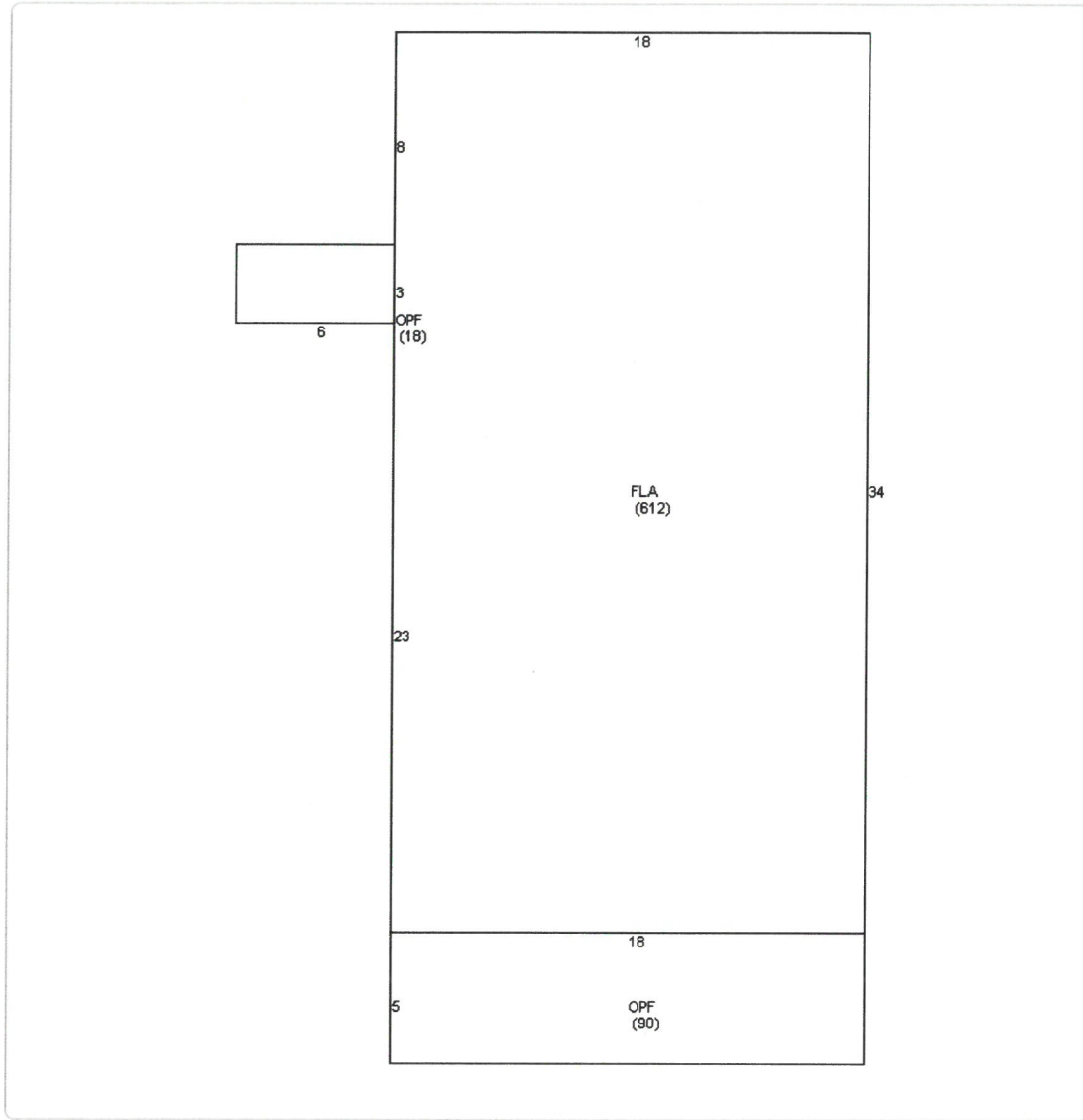












Photos

1017027-20180628





### Map



### TRIM Notice

Trim Notice

2018 Notices Only

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