

**RESOLUTION NO. 2025-010**

**A RESOLUTION OF THE CITY OF KEY WEST PLANNING BOARD APPROVING A REQUEST FOR VARIANCES TO ALLOW INCREASES IN THE MAXIMUM IMPERVIOUS SURFACE RATIO FROM 70% TO 85.9%, DECREASE IN THE MINIMUM OPEN SPACE FROM 20% TO 13%, DECREASE IN THE MINIMUM FRONT SETBACK FROM 10' TO 0'-7", AND DECREASE IN THE MINIMUM SIDE SETBACK FROM 7.5' TO 5' TO PERMIT THE CONSTRUCTION OF A TWO-STORY MIXED-USE BUILDING WITH COMMERCIAL AND INSTITUTIONAL USES ON THE FIRST FLOOR AND FOUR AFFORDABLE WORKFORCE HOUSING UNITS ON THE SECOND FLOOR ON PROPERTY LOCATED WITHIN THE HISTORIC RESIDENTIAL COMMERCIAL CORE KEY WEST BIGHT (HRCC-2) ZONING DISTRICT PURSUANT TO SECTIONS 90-395, 122-720, AND 108-346 OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES OF THE CITY OF KEY WEST, FLORIDA.**

**WHEREAS**, the owner of real property at 907 Caroline Street (RE# 00072082-004505) proposes construction of a two-story mixed-use building with commercial and institutional uses on the first floor and four affordable workforce housing units on the second floor, requesting variance approvals for non-complying impervious surface ratio and open space; and

**WHEREAS**, Section 122-720 of the Land Development Regulations (the "LDRs") of the Code of Ordinances (the "Code") of the City of Key West, Florida (the "City") provide that the maximum impervious surface ratio is 70%, minimum open space is 20%, minimum front setback is 10 feet, and minimum side setback is 7.5 feet within the Historic Residential Commercial Core Key West Bight (HRCC-2) Zoning District; and

**WHEREAS**, the proposed impervious surface ratio is 85.9%, the proposed open space is 13%, the proposed front setback is 0 feet – 7 inches, and proposed east side setback is 5 feet; and

**WHEREAS**, the Key West Planning Board (the “Board”) finds that circumstances exist which are peculiar to the land, structure, or building involved and that special conditions which are not applicable to other land, structures, or buildings in the same district; and

**WHEREAS**, the Planning Board finds that the special conditions do not result from the action or negligence of the applicant; and

**WHEREAS**, the Board finds that granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings, or structures in the same zoning district; and

**WHEREAS**, the Board finds that literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant; and

**WHEREAS**, the Board finds that the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure; and

**WHEREAS**, the Board finds that the granting of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare; and

**WHEREAS**, the Board finds that no nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts are grounds for the issuance of the requested variances; and

**WHEREAS**, the Board finds that the applicant has satisfied the conditions of Section 90-

395 of the Code of Ordinances (the “Code”) of the City of Key West, Florida (the “City”) and likewise met the requirements established by Code Section 90-274; and

**NOW, THEREFORE BE IT RESOLVED** by the Planning Board of the City of Key West, Florida:

**Section 1.** That the above recitals are incorporated by reference as if fully set forth herein.

**Section 2.** An approval by Resolution of the Key West Planning Board for variances to maximum impervious surface ratio to 85.9%, open space to 13%, front setback to 0’-7”, and east side setback to 5’ for the property at 907 Caroline Street (RE# 00072082-004505) in the Historic Residential Commercial Core Key West Bight (HRCC-2) zoning district, pursuant to Section 90-395 and 122-720 of the Land Development Regulations of the Code of Ordinances of the City of Key West.

**Section 3.** It is a condition of this variance that full, complete and final application for all conditions of this approval for any use and occupancy for which this variance is wholly or partly necessary, shall be submitted in its entirety within two years after the date hereof.

**Section 4.** The failure to fully and completely apply the conditions of approval for permits for use and occupancy pursuant to these variances in accordance with the terms of the approval as described in Section 3 hereof, shall immediately operate to terminate these variances, which variances shall be of no force or effect.

**Section 5.** This variance does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

Chairman  
Planning Director

  
Chairman  
Planning Director

**Section 6.** This Resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Board.

**Section 7.** This Resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Commerce (DOC). Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DOC with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period, the DOC can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regular meeting held this 20th day of February, 2025.

Read and passed on first reading at a regular meeting held this 20<sup>th</sup> day of February, 2025.

Authenticated by the Chair of the Planning Board and the Planning Director.

  
Peter Batty, Planning Board Chairman

  
Date

**Attest:**

  Chairman  
Planning Director

  
\_\_\_\_\_

Katie Halloran, Planning Director

3/10/2025  
Date

**Filed with the Clerk:**

  
\_\_\_\_\_

Keri O'Brien, City Clerk

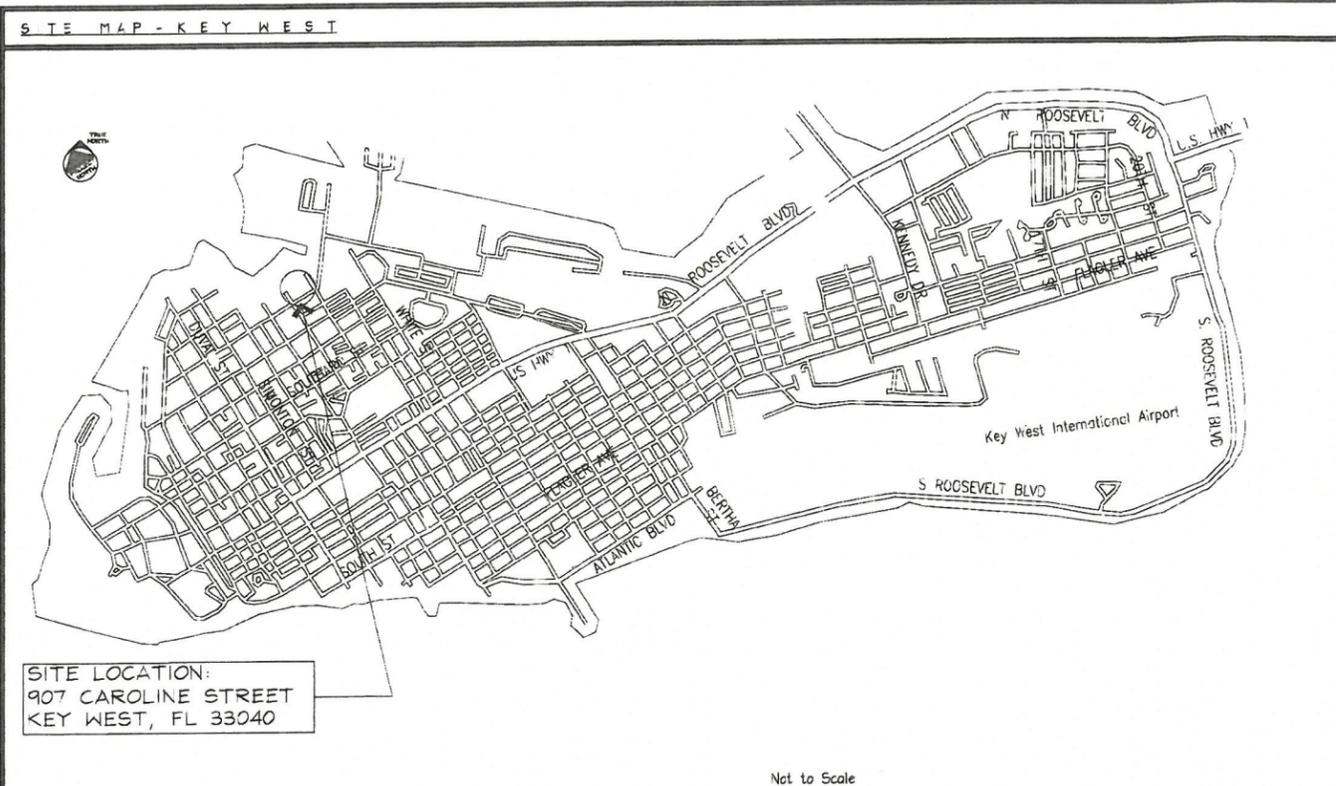
3/10/2025  
Date

  
\_\_\_\_\_ Chairman  
Planning Director

# 907 CAROLINE STREET

Key West Florida 33040

## DEVELOPMENT APPROVAL DOCUMENTS



Not to Scale

**PROJECT DIRECTORY**

PROJECT: 907 CAROLINE ST.  
 ARCHITECT'S PROJECT No: 2205

CONTACT: Steven McCarney  
 Address: 1800 White St.  
 Key West Florida, 33040

Tel: ---  
 Email: ---

ARCHITECT: BENDER & ASSOCIATES ARCHITECTS, P.A.  
 Address: 410 Angela Street, Key West, FL 33040  
 Tel: (305) 296-1347 Fax: (305) 296-2727  
 E-mail: info@benderarchitects.com  
 Architect: Haven Buncie  
 Designer Associate: Ana Carolina Alvarez

**DESCRIPTION OF WORK:**  
 NEW MIXED USE BUILDING, COMMERCIAL FIRST FLOOR & RESIDENTIAL SECOND FLOOR.

**GENERAL NOTES**

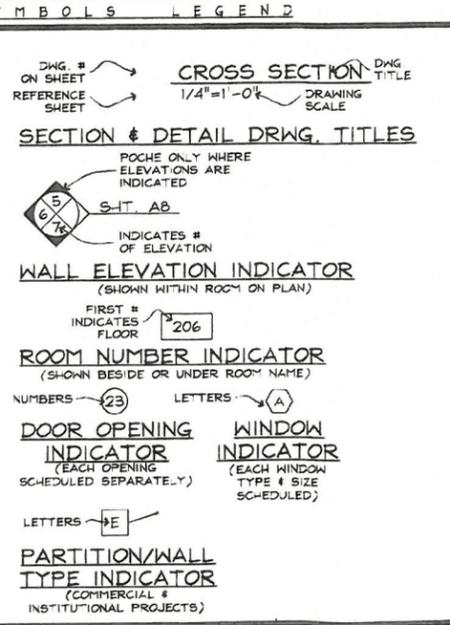
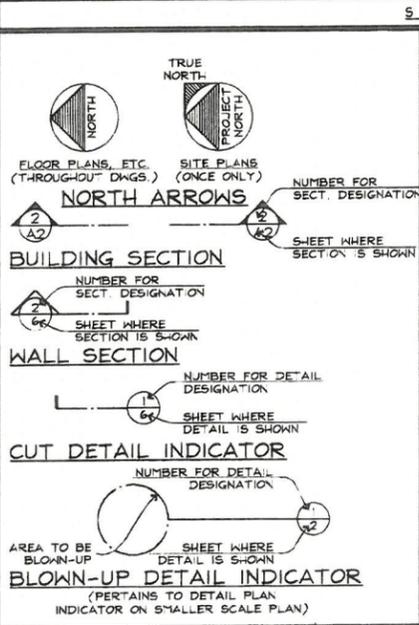
- All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:  
 FLORIDA BUILDING CODE - Building 2023 EDITION  
 FLORIDA BUILDING CODE - Existing 2023 EDITION  
 FLORIDA BUILDING CODE - Residential 2023 EDITION  
 FLORIDA BUILDING CODE - Plumbing 2023 EDITION  
 FLORIDA BUILDING CODE - Fuel Gas 2023 EDITION  
 FLORIDA BUILDING CODE - Mechanical 2023 EDITION  
 FLORIDA BUILDING CODE - Energy Conservation 2023 EDITION  
 NATIONAL ELECTRICAL CODE 2023 EDITION  
 NFPA 101 LIFE SAFETY CODE w/ Florida Modifications  
 8TH EDITION FLORIDA FIRE PREVENTION CODE 8TH EDITION  
 NFPA 1 2023 EDITION
- This project is designed in accordance with A.S.C.E. 7-22 to resist wind loads of 180 mph (3 second gusts) and in accordance with ASCE 24-14 Flood Resistant Design and Construction.
- Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.
- Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Roads and driveways will not be allowed.
- Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.
- Dimensions shall take precedence over scale.
- All new utilities shall be underground.
- Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.
- After completion of construction remove all debris and construction equipment. Restore site to original condition.
- Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.
- Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.
- Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.

**FLORIDA ADMINISTRATIVE CODE**

§161-16.003 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be construed to obligate no partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specifications, notes sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not, after, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 61G1-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all requires renewal thereof.  
 Specific Authority: 48-2255, 48-1221 FS, Law Implemented 48-1221, 48-1225(1)(e), (g), (f), (j), 48-225(1)(g), (n), (1) FS, History-New 12-29-79, Formerly 2B-16.03, Amended 7-27-89, Formerly 2B-16.03, Amended 11-21-94, 4-18-00.

**ABBREVIATIONS**

AB	ANCHOR BOLT	MIN	MINIMUM
ABC	AGGREGATE BASE COURSE	NTS	NOT TO SCALE
A/C	AIR CONDITIONING	OA	OVERALL
BLKG	BLOCKING	OC	ON CENTER
BUR	BUILT UP ROOF	OD	OUTSIDE DIAMETER
CAB	CABINET	PCF	POUNDS PER CUBIC FOOT
CER	CERAMIC	PL	PROPERTY LINE
CL	CENTER LINE	PLAM	PLASTIC LAMINATE
CLG	CILING	P.L.F	POUNDS PER LINEAL FOOT
CMU	CONCRETE MASONRY UNIT	PNL	PANEL
COL	COLUMN	P.P.T	P.C.A. PRESSURE TREATED
CONC	CONCRETE	PT	POINT
DBL	DOUBLE	PVC	POLYVINYLCHLORIDE
DIAG	DIAGONAL	R	RADIUS (OR) RISER
DS	DOWNSPOUT	R/A	RETURN AIR
DTL	DETAIL	REBAR	STEEL REINF. BAR
DWR	DRAINER	REFR.	REFRIGERATOR
EJ	EXPANSION JOINT	SF	SQUARE FOOT (FEET)
EL	ELEVATION	SS	STAINLESS STEEL
ELEC	ELECTRIC	SPEC	SPECIFICATION
EQ	EQUAL	T	TYPICAL
EXH	EXHAUST	UNO	UNLESS NOTED OTHERWISE
FV	FIELD VERIFY	VCT	VINYL COMPOSITION TILE
GALV	GALVANIZED	VERT	VERTICAL
GI	GALVANIZED IRON	WD	WOOD
HORZ	HORIZONTAL	WNF	WELDED WIRE FABRIC
HDW	HARDWARE	WH	WATER HEATER
HVAC	HEATING VENTILATING & AIR CONDITIONING	W/O	WITHOUT
FOC	FACE OF CONCRETE		
FS	FACE OF STUD		
FIN	FINISH		
FE	FIRE EXTINGUISHER		
FND	FOUNDATION		
FTG	FOOTING		
ID	INSIDE DIAMETER		
MAX	MAXIMUM		



**MATERIAL DESIGNATIONS**

- CONCRETE MASONRY UNITS IN PLAN
- CONC., STUCCO, PLASTER IN ELEV.; POURED CONC. IN PLAN
- METAL IN ELEVATION
- METAL IN SECTION
- FINISH WOOD IN ELEV. & IN SECTION
- DIMENSION LUMBER IN SECTION (CONTINUOUS)
- WOOD BLOCKING IN SECTION (DISCONTINUOUS)
- GYPSPUM WALL BOARD IN SECTION (LARGE SCALE)
- EARTH, NATURAL SUBSTRATE
- GRAVEL, AGGREGATE BASE COURSE, FILL
- FIBERGLASS BATT INSULATION
- RIGID INSULATION

**PARTITIONS & WALLS**

- CONCRETE MASONRY UNITS
- POURED CONCRETE
- WOOD FRAME
- METAL STUDS
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED

**SHEET INDEX**

C	COVER
S	SURVEY
C-100	EROSION CONTROL PLAN
C-200	CONCEPTUAL GRADING AND DRAINAGE PLAN
A0	EXISTING & PROPOSED SITE PLAN
A1	PROPOSED FIRST FLOOR PLAN (COMMERCIAL SPACE)
A2	PROPOSED FIRST FLOOR PLAN (RESIDENTIAL SPACE)
A3	PROPOSED SOUTH & WEST ELEVATIONS
A4	PROPOSED NORTH & EAST ELEVATIONS
A5	PROPOSED CROSS & LONGITUDINAL SECTION
L5	LIFE SAFETY PLAN
L.R.0	LANDSCAPE REMOVAL
M1	FIRST FLOOR MECHANICAL PLAN-COMMERCIAL SPACE
M2	SECOND FLOOR MECHANICAL PLAN-RESIDENTIAL UNITS
M3	MECHANICAL ROOF PLAN
M4	MECHANICAL SCHEDULES, NOTES AND DETAILS
P1	FIRST FLOOR PLUMBING PLAN
P2	SECOND FLOOR PLUMBING PLAN-RESIDENTIAL UNITS
P3	PLUMBING SCHEDULES, NOTES AND DETAILS
E1	FIRST FLOOR ELECTRICAL PLAN
E2	SECOND FLOOR ELECTRICAL PLAN-RESIDENTIAL UNITS
E3	ELECTRICAL ROOF PLAN
E4	ELECTRICAL SCHEDULES, NOTES AND DETAILS
E5	ELECTRICAL SCHEDULES, NOTES AND DETAILS

907 CAROLINE STREET  
KEY WEST, FLORIDA

Bender & Associates ARCHITECTS P.A.

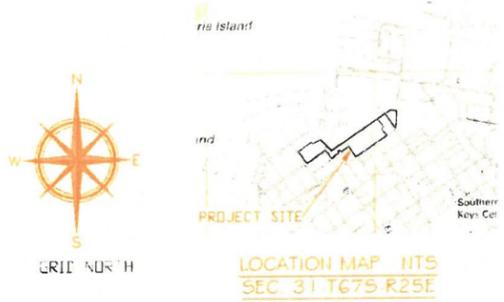
Project No: 2205

SITE MAP KEY WEST  
 PROJECT DIRECTORY  
 GENERAL NOTES  
 SYMBOLS LEGEND  
 SHEET INDEX

Date: 07/24/2024

C

*Handwritten:* KPA 3/6/2025



**SPECIFIC PURPOSE SURVEY DATA REPORT**

THIS IS NOT A BOUNDARY SURVEY. ANY BOUNDARY SURVEY RIGHT OF WAY LINES AND/OR DEED LINES SHOWN HEREON ARE FOR REFERENCE PURPOSES ONLY AND ARE A GRAPHICAL REPRESENTATION OF THE BOUNDARY BASED ON THE RECORD OF BOUNDARY INFORMATION. TO SPATIALLY DEFINE THE BOUNDARY LINES AS SHOWN, NO ATTEMPT WAS MADE TO RESOLVE CONFLICTS BETWEEN THE RECORD BOUNDARY INFORMATION AND THE OCCUPATIONAL LINES.

NO TITLE OPINION OR ABSTRACT TO THE SUBJECT PROPERTY HAS BEEN PROVIDED. IT IS POSSIBLE THAT THERE ARE DEEDS, EASEMENTS, OR OTHER INSTRUMENTS, RECORDED OR UNRECORDED, WHICH MAY AFFECT THE SUBJECT PROPERTY. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THE SURVEYOR.

HORIZONTAL COORDINATES AND BEARINGS SHOWN ARE REFERENCED TO GRID NORTH, BASED ON THE 2011 ADJUSTMENT OF THE NORTH AMERICAN DATUM 83 AND HAD BEING ON THE FLORIDA STATE PLANE COORDINATE SYSTEM TRANSVERSE MERIDIAN OR PROJECTIONS, EAST ZONE 1800N.

COORDINATES WERE ESTABLISHED BY A REAL TIME KINEMATIC (RTK) GNSS CONTROL SURVEY WHICH IS REFERRED TO AS A DEPARTMENT LEGAL SURVEY. RELATIVE TO THE NEAREST CONTROL POINT WITHIN THE NATIONAL GEODETIC SURVEYING SYSTEM CONTROL NETWORK (METHOD: WIDE AREA CONTINUOUSLY OPERATING GPS REFERENCE STATION NETWORK) (TRIMBLE R50) WITH THE NATIONAL GEODETIC SURVEY CONTROL NETWORK ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NATIONAL VEGETATION VERTICAL DATUM OF 1988 (NVD 88).

BENCHMARK DESCRIPTION: U.S. ARMY CORP OF ENGINEERS MONUMENT # 177, ELEVATION 50.10 (1988).

- THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=5'
- THIS MAP OR COPIES OF THIS MAP IS/ARE NEITHER FULL NOR COMPLETE WITHOUT THE SURVEY AND MAP REPORT, WHICH REPRESENTS THIS DIGITAL FILE.
- THIS REPORT OR COPIES OF THIS REPORT ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- ADDITIONS OR DELETIONS TO THIS MAP ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE.
- THE SIGNING PARTY IS NOT RESPONSIBLE FOR ADDITIONS, DELETIONS OR MANIPULATION OF THE DATA CONTAINED IN THIS DIGITAL FILE OR SURVEY AND MAP REPORT.

NO UNDERGROUND IMPROVEMENTS WERE LOCATED.

ALL LIMITS ARE SHOWN IN FEET SURVEY FEET.

STREET ADDRESSES: AN AREA RUNNING ALONG THE NORTHERLY SIDE OF CAROLINE STREET FROM TRAVIS ROAD, CRIVELLO STREET, MARGARET STREET AND WILLIAM STREET, ALONG WITH A PORTION OF PROPERTY ON BOTH SIDES OF A ADJACENT ROAD (FROM AS LAIN WAY LANE FROM WILLIAM STREET TO ELIZABETH STREET AND THE EASTERLY SIDE OF ELIZABETH STREET NORTHERLY OF LAZY WAY LANE TO AND ALONG THE NORTHERLY SIDE OF GREEN STREET TO A POINT OF TERMINUS FOR SIX (6) KEY WEST PROPERTIES, ALSO KNOWN AS THE WEST BEACH.

ALL FIELD DATA WAS OBTAINED FROM CHORUS GPS TECHNOLOGIES.

THIS DIGITAL DATA CONTAINS THE PREVIOUSLY SURVEYED KEY WEST BEACH SUBMERGED LAND LEASE AREA, FIELD WORK DATE: 06/05/2022.

SYMBOL LEGEND		NOTE: CALCULATIONS BEHIND THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DERIVED DIMENSIONS UNLESS INDICATED OTHERWISE. THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS REPORT.
	ROUND CONCRETE UTILITY POLE	CU = CONCRETE UTILITY
	CATCH BASIN	CB = CATCH BASIN
	DRAINAGE MANHOLE	DM = DRAINAGE MANHOLE
	CONCRETE UTILITY POLE	CU = CONCRETE UTILITY
	ELECTRIC MANHOLE	EM = ELECTRIC MANHOLE
	FIRE HYDRANT	FH = FIRE HYDRANT
	GUY WIRE	GW = GUY WIRE
	IRRIGATION CONTROL VALVE	ICV = IRRIGATION CONTROL VALVE
	MAIL BOX	MB = MAIL BOX
	SANITARY CLEANOUT	SC = SANITARY CLEANOUT
	SANITARY MANHOLE	SM = SANITARY MANHOLE
	SIGN	S = SIGN
	TELEPHONE MANHOLE	TM = TELEPHONE MANHOLE
	WATER VALVE	WV = WATER VALVE
	WATER METER	WM = WATER METER
	MONITORING WELL	MW = MONITORING WELL
	WOOD UTILITY POLE	WUP = WOOD UTILITY POLE
	SEWER VALVE	SV = SEWER VALVE
	OVERHEAD UTILITY LINES	OL = OVERHEAD UTILITY LINES
	LIGHT POLE	LP = LIGHT POLE
	ELECTRIC TRANSFORMER BOX	ETB = ELECTRIC TRANSFORMER BOX
	LIGHT ATTACHED TO BUILDING	LATB = LIGHT ATTACHED TO BUILDING
	BOLLARD	B = BOLLARD
	SPOT GRADE ELEVATION (TYPICAL)	SGE = SPOT GRADE ELEVATION (TYPICAL)

NO LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS REPRESENTATIVE. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY. THE DASH LINE SHOWN HEREON REPRESENTS THE CURVE OR CURVES OF THE DEED LINES. THE MEAN HIGH WATER LINE WAS NOT DETERMINED FOR THIS SURVEY; THE MEAN HIGH WATER LINE IS SHOWN FOR REFERENCE ONLY.

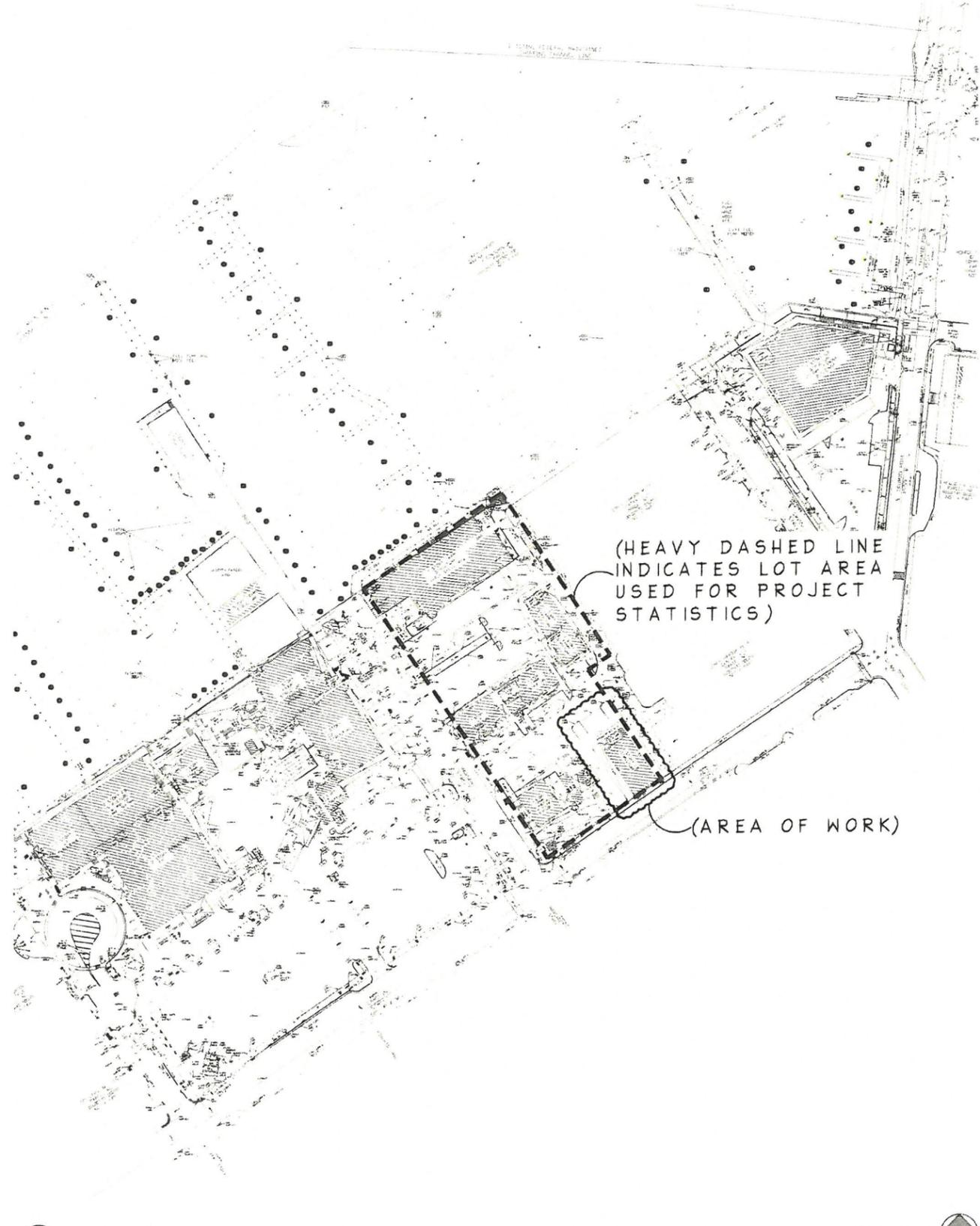
I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH IN THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, CHAPTER 31, FLORIDA ADMINISTRATIVE CODE, PARTICULAR TO SECTION 31.02(7), FLORIDA STATUTES AND COMPLIES WITH CHAPTER 31, FLORIDA STATUTES.

DIGITALLY SIGNED  
DATE: 09/16/2022  
EPAI (ISSUED: 09/16/2022), PROFESSIONAL SURVEYOR AND MAPPER, JIM TROTTER

**FLORIDA KEYS LAND SURVEYING**  
21400 OVERSEAS HIGHWAY, BOX 18  
CUTLER KEY, FL 33042  
PHONE: (305) 894-5690  
EMAIL: FLKLS@aol.com

**SPECIFIC PURPOSE SURVEY**  
A PORTION OF THE  
KEY WEST SEAPORT PROPERTY  
KEY WEST, MIDNIGHT COUNTY, STATE OF FLORIDA

DATE: 09/16/2022	SURVEY BY: EPAI	PROJECT: KW SEAPORT
CKW PO#: 075826	DRAWN BY: MPB	H. SCALE: 1"=5'
BOOK:	CHECKED BY:	DIGITAL ONLY



1 SURVEY  
5 SCALE: N.T.S.

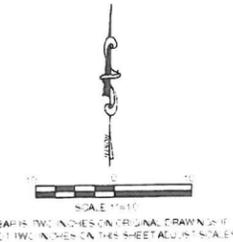
907 CAROLINE STREET  
KEY WEST, FLORIDA

410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1347  
Facsimile (305) 296-2727  
Florida License A10042022

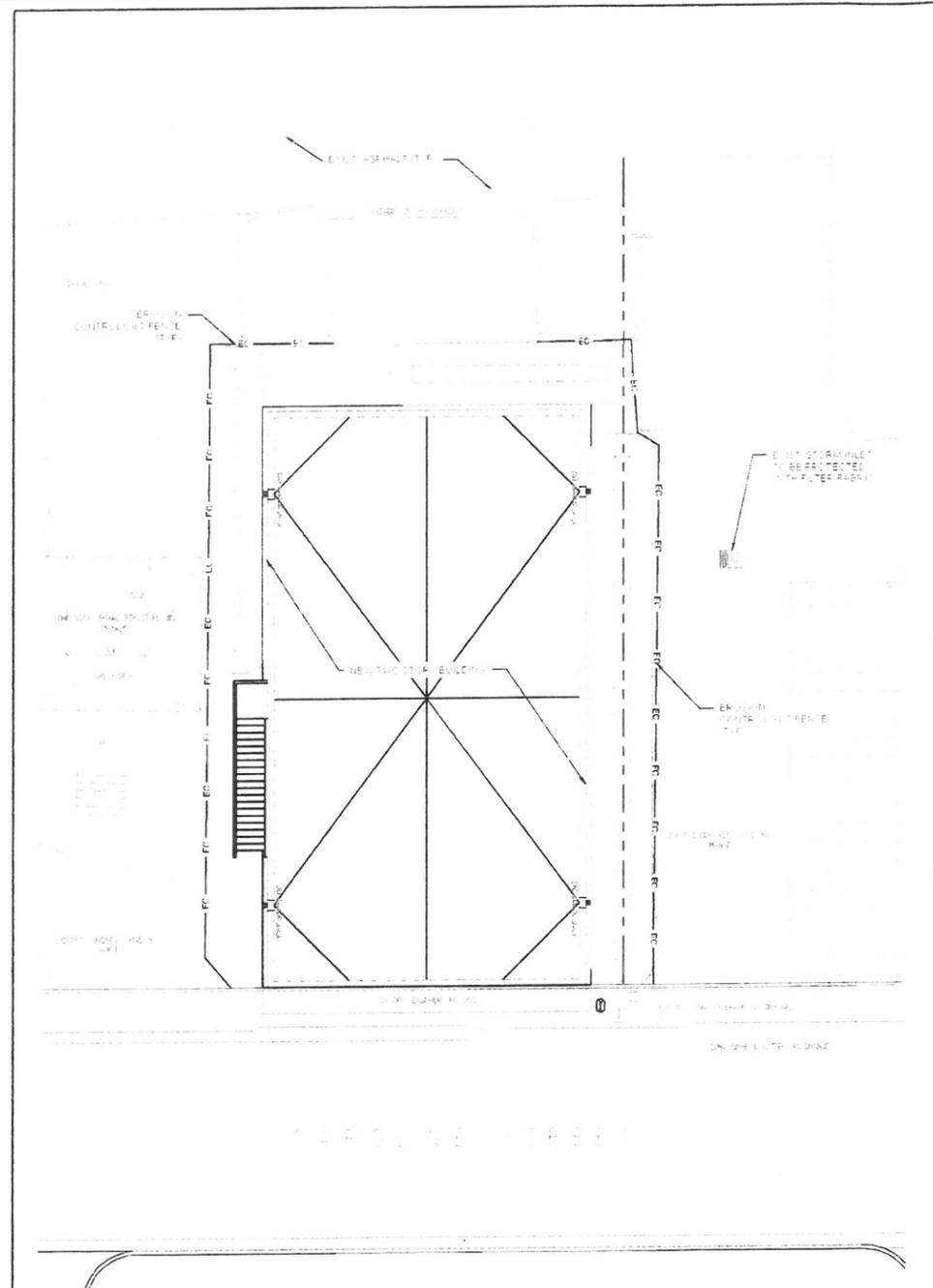
Bender & Associates  
ARCHITECTS  
P.C.

Project No: 2205  
Date: 07/24/2024





**PEREZ ENGINEERING & DEVELOPMENT, INC.**  
 Committed To Your Success  
 Civil Engineering, Regulatory Permitting, Construction Administration  
 1010 Kennedy Drive, Suite 202  
 Key West, Florida 33040  
 Tel: 305.293.9440  
 Fax: 305.296.0243  
 Email: aperez@perezeng.com  
 www.perezeng.com



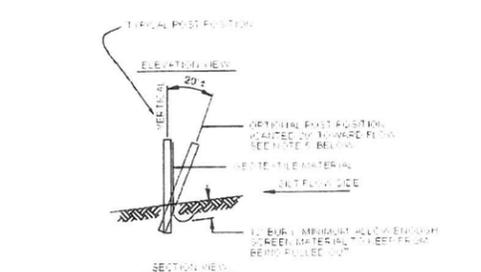
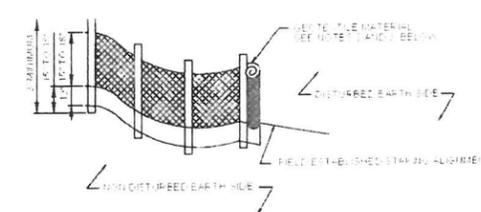
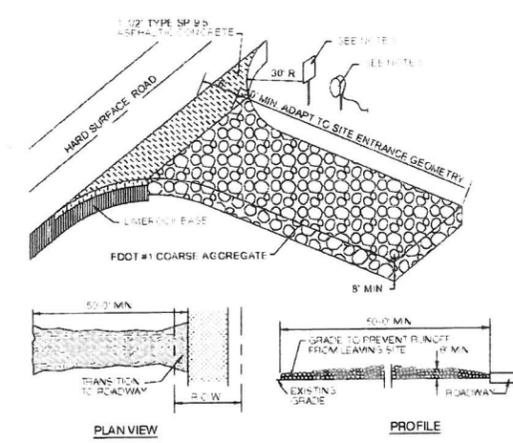
### EROSION CONTROL PLAN

### EROSION CONTROL NOTES

- EROSION, SEDIMENT AND TURBIDITY CONTROL MEASURES SHALL BE PROVIDED THROUGHOUT CONSTRUCTION TO CONTROL THE RESPONSIBILITY FOR MAINTAINING AND REPAIRING ALL SLOPES AND SURFACES TO THE POINT OF STABILIZATION AND INTO A STABLE SURFACE. (CONSTRUCTION NOTES) THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AS MUCH AS PRACTICAL.
- FILTER FABRIC SILT FENCE SHALL BE TO CONFORM WITH FC07 STANDARD.
- CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH APPLICABLE PERMITS. EROSION CONTROL SHALL BE MAINTAINED UNTIL A PERMANENT STAND OF GRASS IS PLANTED OR SET.
- BALED STRAW BARRIERS SHALL BE CONSTRUCTED AND MAINTAINED TO CONFORM WITH FC07 STANDARD.
- SILT FENCE LOCATIONS SHOWN HERE ON ARE FOR CLARITY ONLY AND SHOULD BE CONSTRUCTED WITHIN 5 FEET TO LINES.
- PROVIDE EROSION CONTROL MEASURES CONSISTING OF STAKED STRIPES AND FILTER SILT FENCE ALONG THE PROPOSED LIMITS OF CONSTRUCTION AS INDICATED ON THE DRAWINGS. PROVIDE ADDITIONAL MEASURES AS NECESSARY TO AVOID ADVERSE IMPACTS TO JURISDICTIONAL AREAS (WETLANDS OR WATER BODIES) AND OFF-SITE LANDS AND WATERBODIES. MAINTAIN THESE MEASURES DAILY UNTIL CONSTRUCTION AND DEFERENCE BY THE OWNER AND THEIR REMOVE AND LEVELLY DISPOSE OF SAME MEASURED.
- EROSION CONTROL SHALL MAINTAINED WITHIN CONSTRUCTION AREA BY QUICKLY STABILIZING DISTURBED AREA TO PREVENT THE RELEASE OF SEDIMENT. THIS SHALL BE ACCOMPLISHED USING GRASS COVER, FILTER SOCK AND OTHER MEANS AS ACCEPTABLE TO OWNER, ENGINEER AND REGULATORY AGENCIES.
- DURING CONSTRUCTION THE CONTRACTOR SHALL AT THE REQUEST OF THE OWNER OR AS NECESSARY MOONLY RELOCATE THE SILT FENCE AND/OR SILT FENCE TO ALLOW FOR ACTIVITIES AND TO COMPLETE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ADEQUATE EROSION CONTROL AT ALL TIMES.

### SWPPP GENERAL NOTES

- ALL AREAS WITHIN THE PROJECT LIMITS WILL BE SUBJECTED TO SOIL DISTURBANCE.
- THE ATTACHED BEST MANAGEMENT PRACTICES (BMP'S) DETAILS AND SPECIFICATIONS ARE ONLY A SUGGESTED APPROACH DEVELOPED FOR USE BY THE OWNER/CONTRACTOR TO ASSIST THEM IN IMPLEMENTING APPROPRIATE POLLUTION PREVENTION TECHNIQUES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING THE SWPPP.
- THE CONTRACTOR SHALL SUBMIT A "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES, DEP FORM 62-621-3004(B)" ALSO KNOWN AS NOTICE OF INTENT OR NOI TO THE DEPARTMENT, AND SUBMIT THE PERMIT FEE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE BEST MANAGEMENT PRACTICES AS OUTLINED IN THE CIVIL DOCUMENTS, THE STORMWATER POLLUTION PREVENTION PLAN AND SPECIFICATION.
- THE CONTRACTOR SHALL SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN FOR APPROVAL PRIOR TO STARTING CONSTRUCTION.



- NOTES:**
- POST: 2X4 WOOD POST OR 2-1/2" DIA STEEL AT 7' CENTER, MAXIMUM.
  - TEXTILE: GRAB TENSILE AT 200 LBS. TRAPEZOIDAL TEAR AT 16 LBS. MILLER BURST AT 18 LBS.
  - TEXTILE MATERIAL SHALL BE BURIED IN THE GROUND A MINIMUM OF 12" AND BACK FILLED.
  - ALSO SEE SECTION FOR THE TEXTILE OR TYPICAL EROSION CONTROL.
  - OPTIONAL POST POSITION REQUIRED WHEN SLOPE IS GREATER THAN 1:1.

- NOTES:**
- STONE SIZE: 3 TO 5 INCH OPEN SPACED ROCK.
  - LENGTH AS EFFICIENT, BUT NOT LESS THAN 5 FEET.
  - THICKNESS: NOT LESS THAN 8 INCHES.
  - WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
  - WASHING OF ALL VEHICLE UNDERARRANGE, WHEEL WELLS AND WHEELS IS MANDATORY TO REMOVE SEDIMENT PRIOR TO ENTRANCE ON TO PUBLIC ROADWAY WHEN WASHING IS REQUIRED. IT SHALL BE DONE ON AN AREA STABILIZED WITH POLISHED STONE WHICH DRAINS INTO AN APPROVED STRIP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATER SOURCE USING APPROPRIATE METHODS.
  - MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A LOCATION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ON TO PUBLIC ROADWAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SOILES, DRIFTED, WASHED OR TRACKED ON TO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
  - DRAINAGE ENTRANCE MUST BE PROVIDED IN GRACEE OR IN CORNER AT RAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
  - PROVIDE WATER SUPPLY AND MINIMUM 100 FT LONG HOSE AND SP 50 AT EACH DESIGNATED CONSTRUCTION EXIT.
  - PROVIDE SIGNAGE AT EACH DESIGNATED EXIT REQUIRING WASHING OF ALL VEHICLES LEAVING SITE.
  - ENTRANCE LOCATIONS FOR SCHEMATIC PURPOSES ONLY AND ARE APPROXIMATE. CONTRACTOR TO COORDINATE ACTUAL LOCATIONS AS ACCORDS TO PHASING PLANS.

2 GRAVEL CONSTRUCTION ENTRANCE  
 NTS

1 Staked Silt Barrier Detail  
 NTS

Allen E. Perez, P.E.  
 FL P.E. NO. 51468

907 CAROLINE STREET  
 907 Caroline Street, Key West, Florida  
 NEW COMMERCIAL BUILDING

Consultants

Submissions

Job # 241019  
 Drawn By AEP  
 Checked By AEP

EROSION CONTROL PLAN

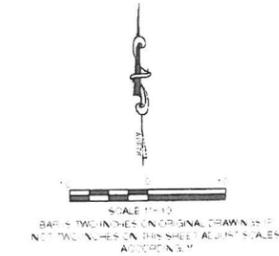
Sheet Number  
 C-100

Date: May 29, 2024

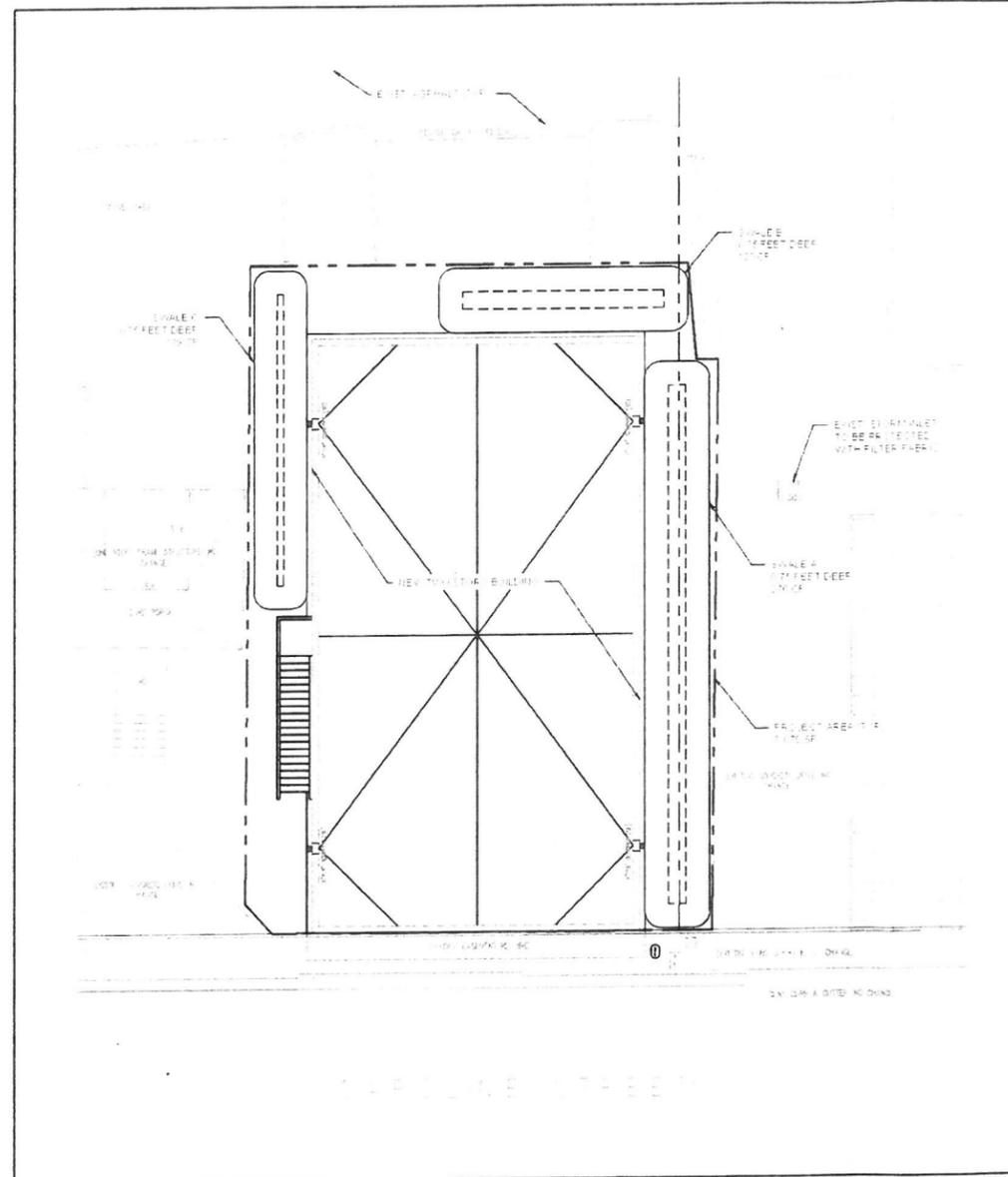
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**CONCEPTUAL DRAINAGE PLAN**

**DRAINAGE CALCULATIONS**

Water Quality Calculations				
<i>Water Quality</i>				
Project Area	0.116	ac	5.070	sf
Surface Water	0.000	ac	0	sf
Roof Area	0.076	ac	3.308	sf
Pavement Walkways	0.000	ac	0	sf
Pervious area	0.040	ac	1.748	sf
Impervious area for Water Quality	0.000	ac	0	sf
(Site area for Water Quality - Pervious area)	0.000	ac	0	sf
% Impervious for Water Quality	0%			
A) One inch of runoff from project area	0.116	ac-in		
B) 2.5 inches times percent impervious (2.5 x percent impervious x site area - surface water)	0.000	ac-in		
Total Treatment Volume Required	0.116	ac-in	420	cf
Swale Volume Provided	0.142	ac-in	515	cf
Exfiltration Volume Provided	0.000	ac-in	0	cf
Total Volume Provided	0.142	ac-in	515	cf

**UTILITY NOTES**

- THE LOCATION, SIZE, AND ELEVATION OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER TO OBTAIN ANY AVAILABLE RECORD DRAWINGS AND SHALL DETERMINE THE EXACT LOCATION AND ELEVATION IN THE FIELD. THE CONTRACTOR SHALL VERIFY THAT SWIMMING AND EXCAVATION METHODS, LIGHT EQUIPMENT, AND HAND METHODS WILL BE NECESSARY IN AREAS NEAR EXISTING UTILITIES AND STRUCTURES TO AVOID DAMAGE TO THESE UTILITIES. THE CONTRACTOR SHALL CONTACT BELOW WITH THE LOCAL TELEPHONE COMPANY AND CONTACT THE LOCAL CABLE PROVIDER TO VERIFY THE LOCATION OF BURIED TELEPHONE AND CABLE UTILITIES. (NOTE: HAVE BEEN INDICATED ON THE DRAWINGS CALL INDICATING BEFORE DIGGING OR TRENCHING OPERATIONS BEGIN)
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION IN THE FIELD PRIOR TO PROCEEDING WITH ANY WORK THAT COULD BE DAMAGING TO EXISTING UTILITY SYSTEMS. LOCATIONS OF NEW UTILITIES SHALL BE ADJUSTED IN A MANNER APPROVED BY THE ENGINEER TO AVOID CONFLICTS. DAMAGE TO UTILITIES RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT HIS/HER OWN COST TO THE CLIENT.
- ALL SEWER WORK SHALL BE IN ACCORDANCE WITH THE CITY OF KEY WEST'S STANDARDS AND SPECIFICATIONS.
- ALL WATER WORK SHALL BE IN ACCORDANCE WITH THE FWS'S LATEST STANDARDS AND SPECIFICATIONS.

Seal  
**ALLEN E. PEREZ, P.E.**  
FL P.E. NO. 51468  
THIS SEAL HAS BEEN DIGITALLY  
DRAWN AND SIGNED BY ALLEN E.  
PEREZ ON THE DATE INDICATED  
HEREIN.  
PROJECT LOCATION OR THIS  
SEALMENT MAY BE SUPERSEDED  
OR REVOKED. THE SEALING AND  
THE SEALING MUST BE VERIFIED BY  
ANY CUSTODIAN BEFORE  
**907 CAROLINE STREET**  
907 Caroline Street, Key West, Florida  
**NEW COMMERCIAL BUILDING**

Consultants  
Submissions

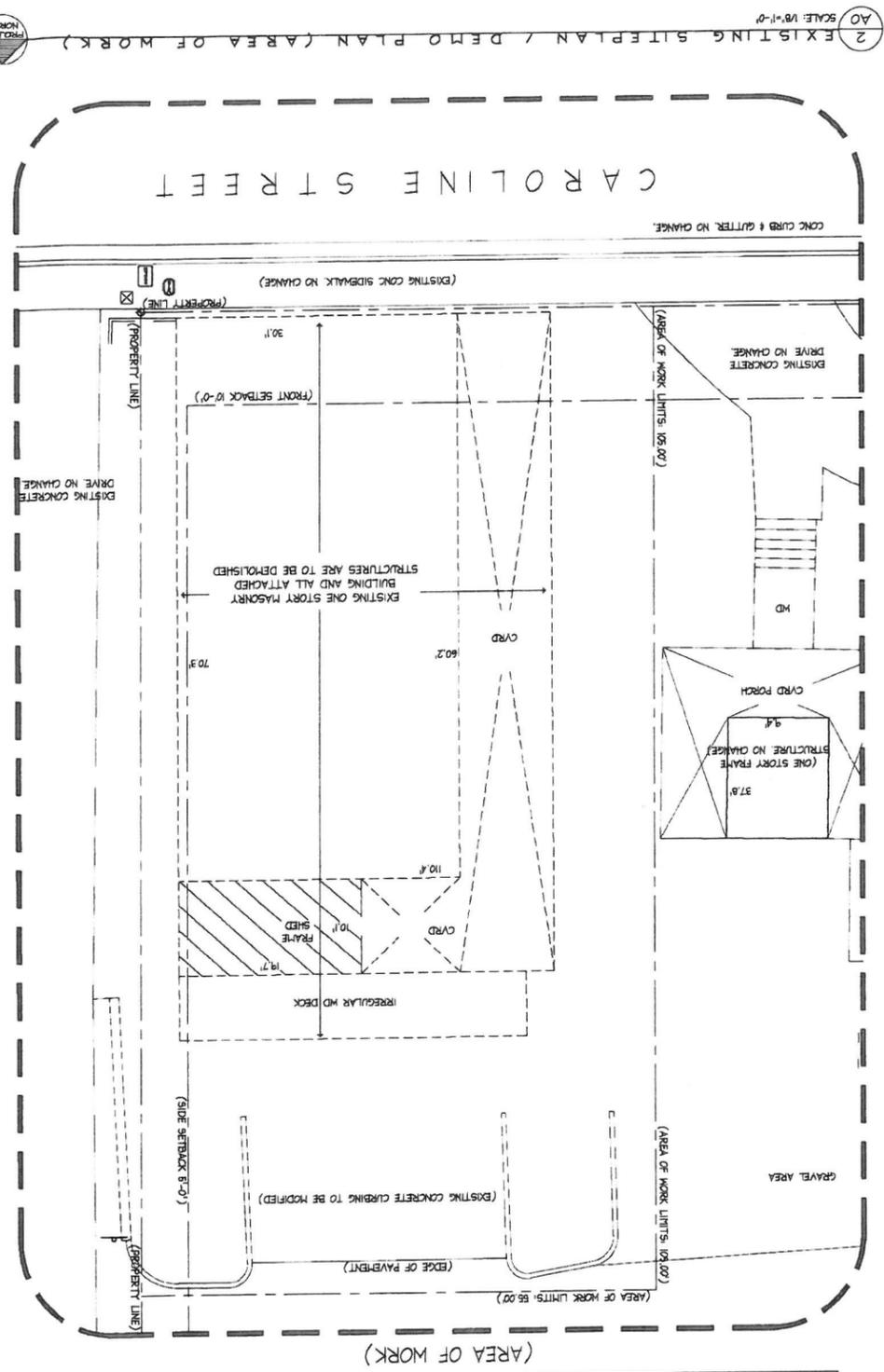
Job #: 241019  
Drawn By: AEP  
Checked By: AEP

Title  
**CONCEPTUAL  
GRADING AND  
DRAINAGE PLAN**

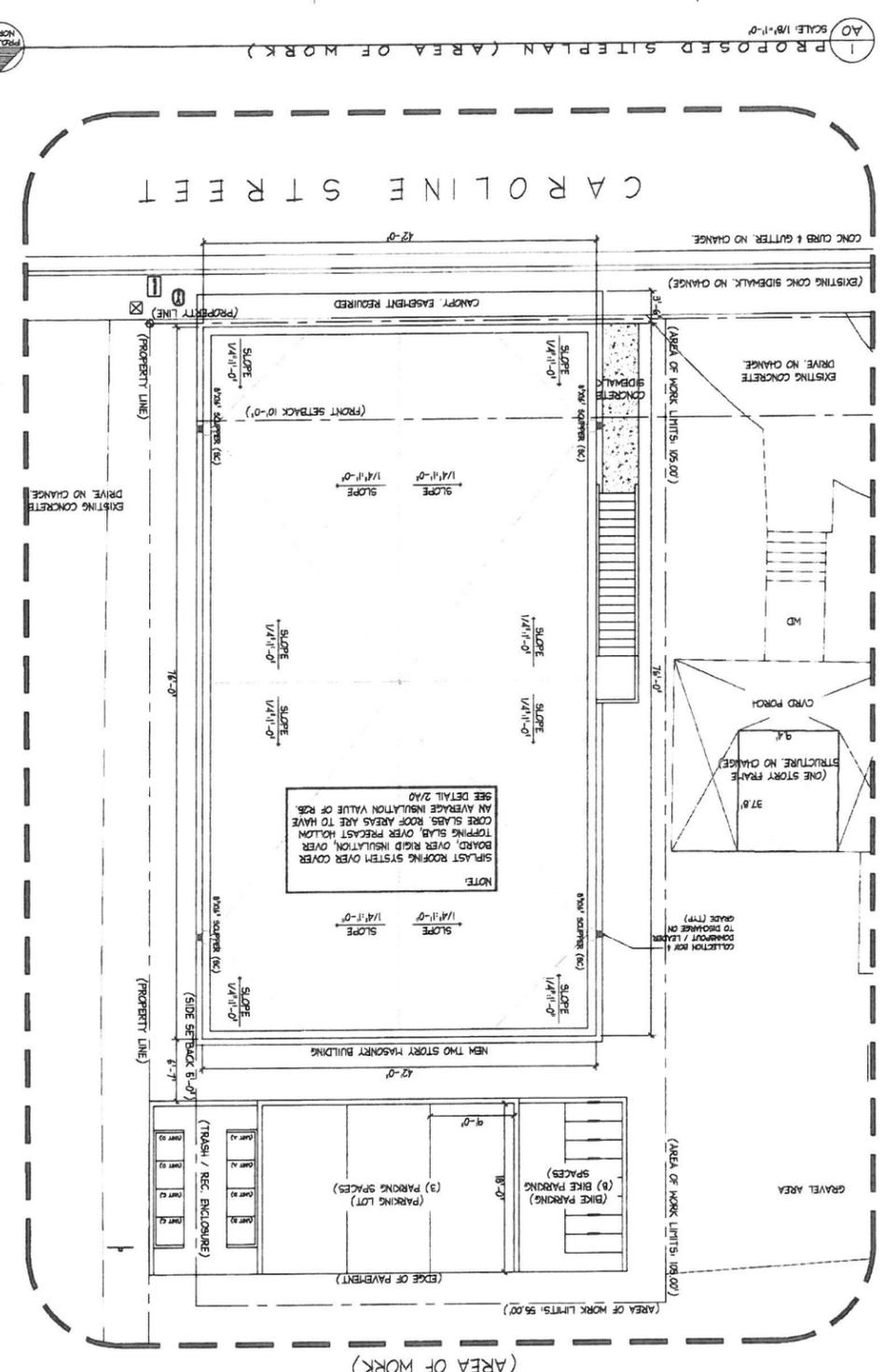
Sheet Number  
**C-200**  
Date: May 29, 2024

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PROJECT STATISTICS		
PERMITTED	EXISTING	PROPOSED
ZONING DESIGNATION		
LOT SIZE		
OCCUPANCY		
BUILDING COVERAGE		
54,761 S.F. X 50%	35,067 S.F. MAX.	50.067 S.F.
54,761 S.F. X 40%		
FRONT SETBACK (CARLINE)	10'-0" MIN.	0'-0" (NO CHANGE)
FRONT SETBACK (WEST)	5'-0" MIN.	N/A
FRONT SETBACK (EAST)	5'-0" MIN.	4'-0"
REAR SETBACK (NORTH)	15'-0" MIN.	N/A
REAR SETBACK (SOUTH)	15'-0" MIN.	22'-0"
MAXIMUM HEIGHT	35'-0" MAX.	12'-0"
OPEN SPACE (20%)	11,952 S.F. MIN.	9,194 S.F.
OPEN SPACE (20%)	22,578 S.F. MAX.	22,500 S.F.
F.A.R. (5)		



2 EXISTING SITEPLAN / DEMO PLAN (AREA OF WORK)  
SCALE: 1/8"=1'-0"



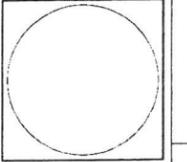
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SCALE: 1/8"=1'-0"

**A0**

Project No. 2205  
Date: 07/24/2024

**Bender & Associates**  
**ARCHITECTS**  
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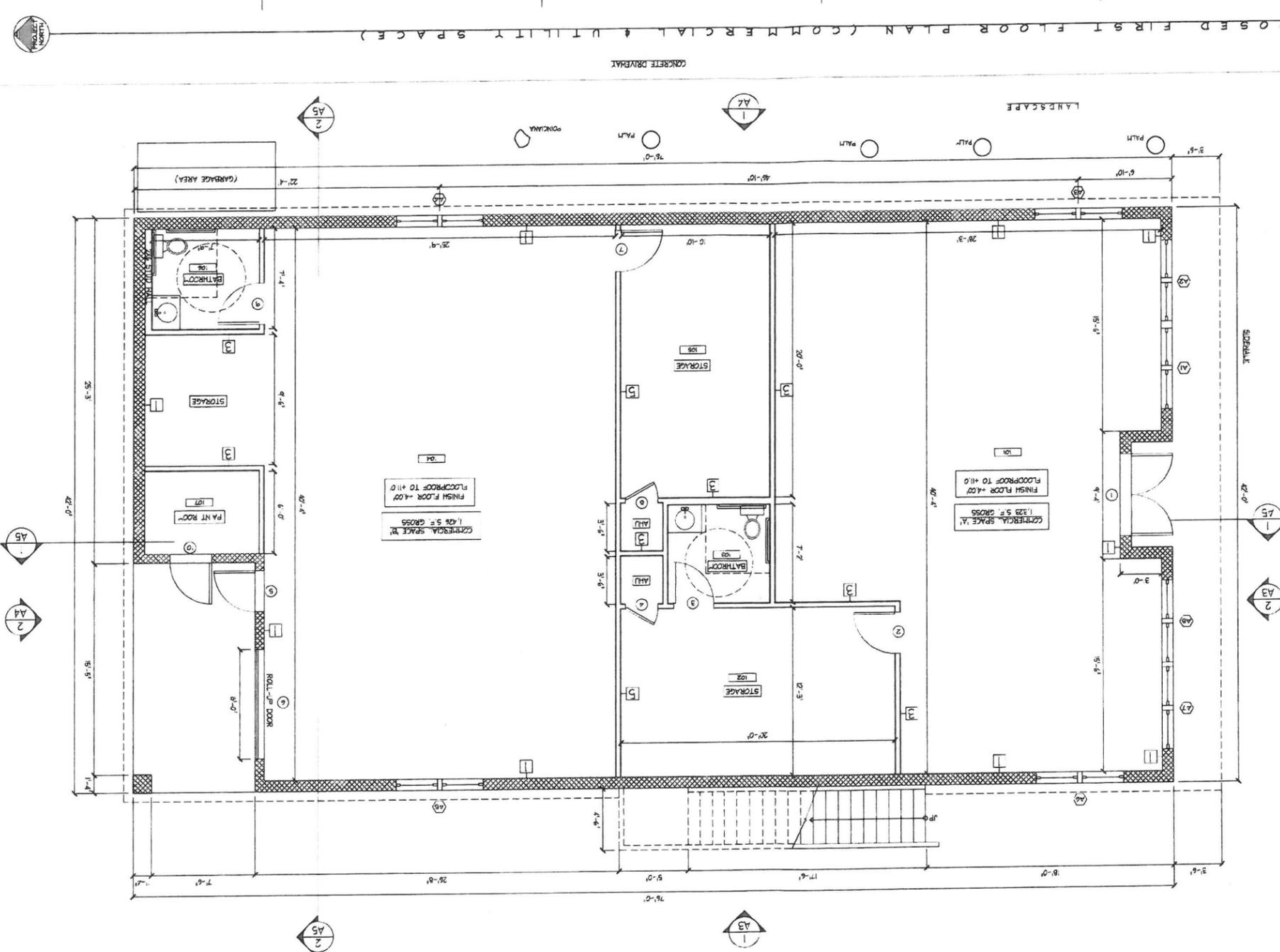


**907 CAROLINE STREET**  
KEY WEST, FLORIDA

CONC. UTILITY POLE

CAROLINE STREET

PROPOSED FIRST FLOOR PLAN (COMMERCIAL & UTILITY SPACE)  
SCALE: 1/4" = 1'-0"



**WALL TYPE SCHEDULE**  
 NOTES: INSTALL ROCKWOOL INSULATION AT ALL INTERIOR FRAMED WALLS. FURRING ON INTERIOR MASONRY WALLS TO BE P.T. 3/4" MATERIAL.

1	NEW EXTERIOR WALL	EXTERIOR MASONRY BLOCK EXTERIOR STUCCO AT 1/2" RIGID POLYISO. INSULATION AND 5/8" PAINT FINISH STUCCO. INTERIOR STUCCO AT 1/2" RIGID POLYISO. INSULATION AND 5/8" PAINT FINISH STUCCO. NOTE ALL EXTERIOR PARAMETERS WALLS AND COLUMNS ARE TO BE FINISHED WITH (3) COAT EXTERIOR STUCCO.
2	SHOWER WALL W/ TILE	INTERIOR TILED WALL AT BATHROOM SIDE OF MALL. TILE OVER 1/2" THICK CERAMTIQUES BOARD (SEE ALSO FINISH SCHEDULE) OPPOSITE SIDE 5/8" PAINTED DRYWALL FRAMING 2X6 STUDS AT 1'-4" O.C. WALLS, MASONRY AT LOAD BEARING WALL)
3	INTERIOR FRAMED WALL	INTERIOR PARTITION WALL 5/8" PAINTED DRYWALL OVER 2X4 STUDS AT 1'-4" O.C. AT PLUMBING WALLS.
4	EXTERIOR FRAMED WALL	EXTERIOR FRAMED WALL STUCCO OVER FINISH BUILDING WRAP, OVER 3/4" INTERIOR INSTALL 5/8" 1" PLYWOOD INTERIOR PARTITION WALL
5	DWELLING WALL	DWELLING WALL (2) 5/8" PAINTED TYPE X G-BOARD OVER 1/2" PLYWOOD, OVER 2X4 STUDS AT 1'-4" O.C. EACH SIDE OF 5-1/2" WIDTH WALL

**A1**

Date: 07/24/2024

Project No: 2205

**Bender & Associates**  
**ARCHITECTS**  
 p.c.

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**907 CAROLINE STREET**  
 KEY WEST, FLORIDA

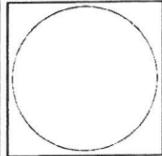




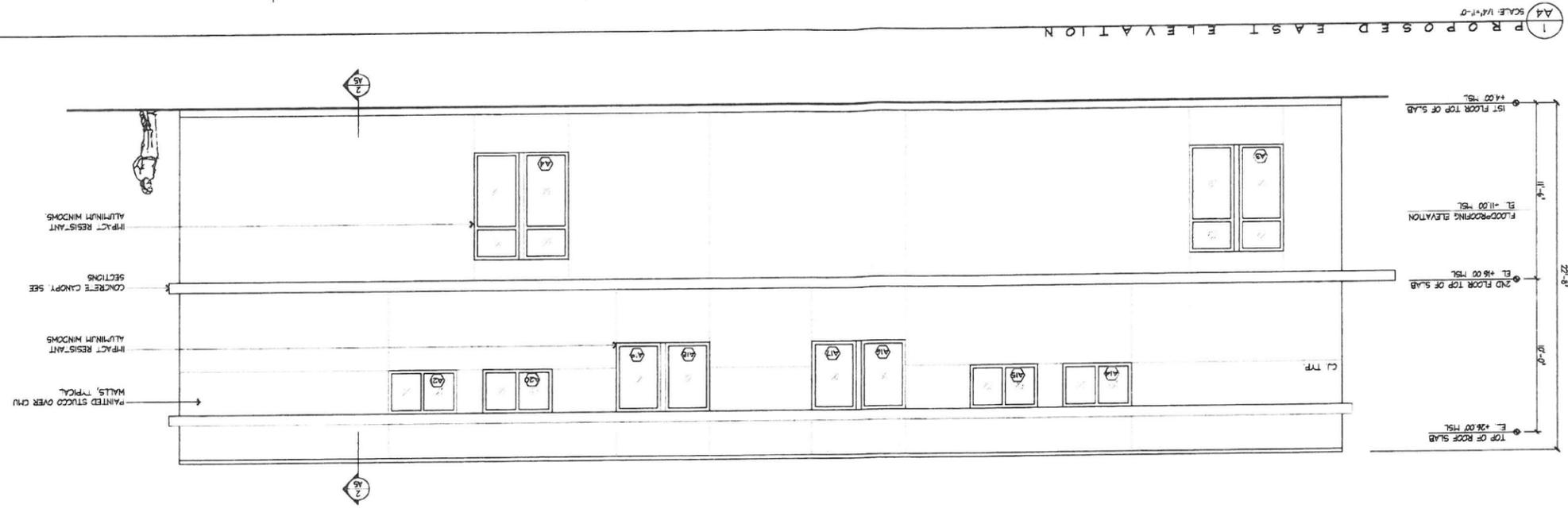
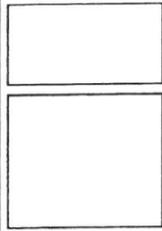
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Project No: 2205

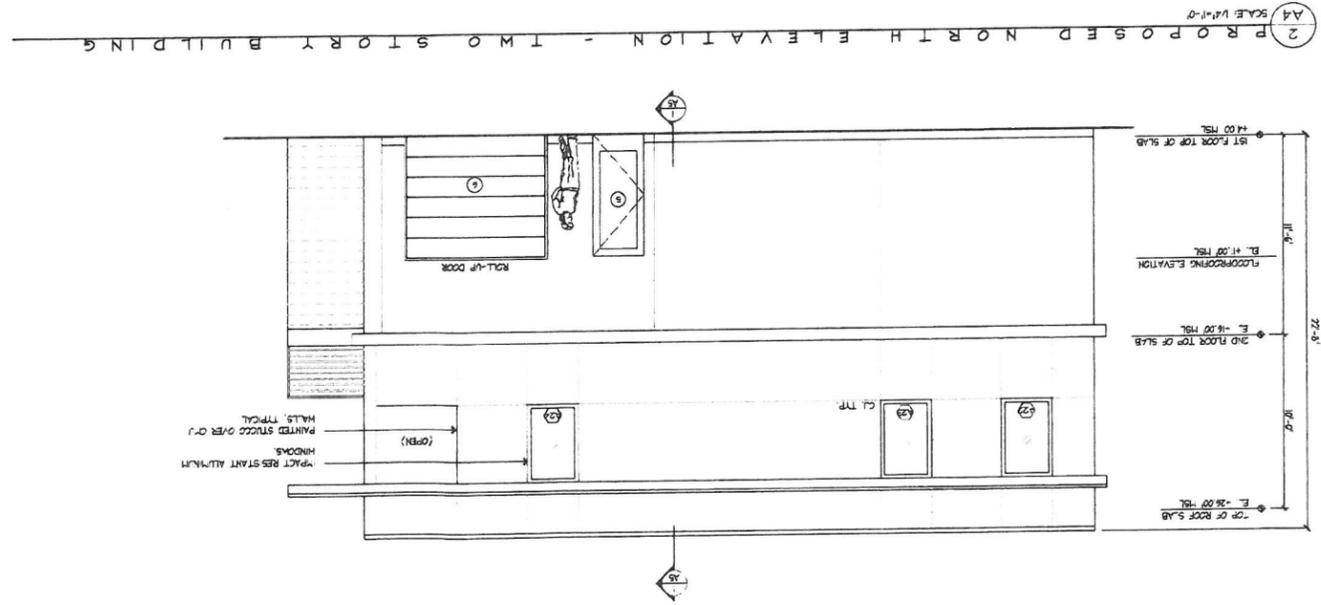
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907 CAROLINE STREET  
KEY WEST, FLORIDA



1 PROPOSED EAST ELEVATION  
SCALE: 1/4"=1'-0"



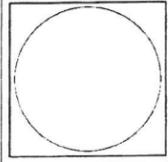
2 PROPOSED NORTH ELEVATION - TWO STORY BUILDING  
SCALE: 1/4"=1'-0"

A5

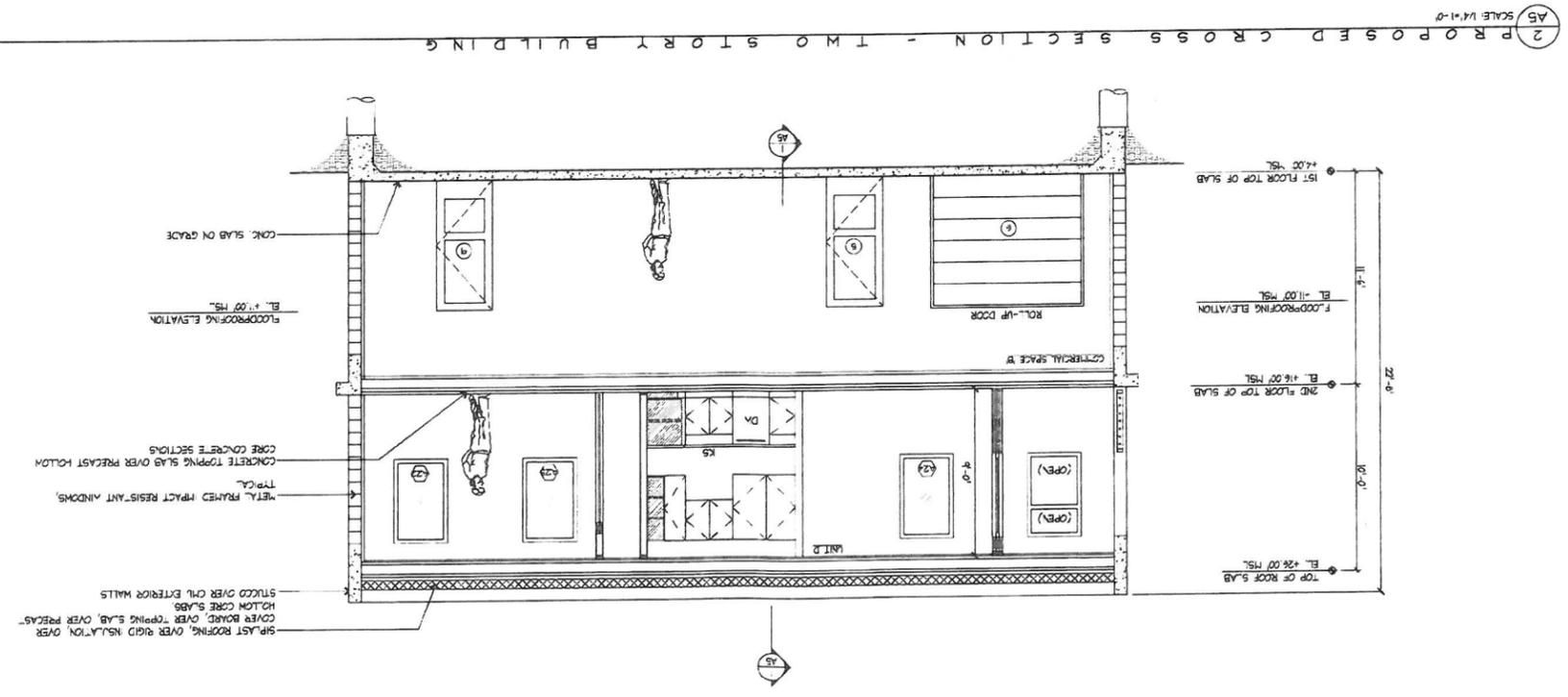
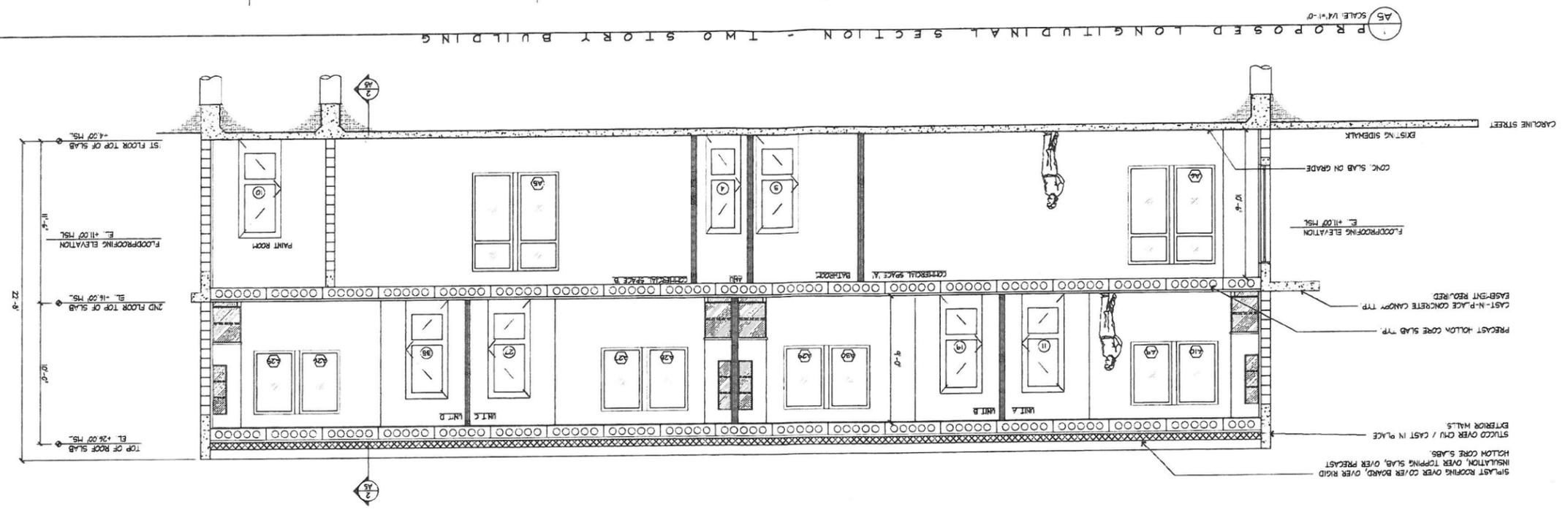
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Project No: 2206

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907 CAROLINE STREET  
KEY WEST, FLORIDA



**907 CAROLINE ST LIFE SAFETY CODE CALCULATIONS:**  
**FLORIDA BUILDING CODE 2023, BUILDING**

Section 304 **Occupancy Classification:**  
 BUSINESS: Group B (1st floor)  
 RESIDENTIAL: Group R-2 Residential (2nd floor)  
**Building Area:**  
 1st Floor: 2,826 s.f.  
 2nd Floor: 2,497 s.f.  
 Total: 5,323 s.f.

Table 60 **Construction Type:** Type V-B construction, sprinklers.  
 Primary structural frame: 0 hours.  
 Exterior / Interior Bearing walls: 0 hours.  
 Exterior Non-bearing walls: 0 hours.  
 Interior Non-bearing walls: 0 hours.  
 Floor construction / Secondary members: 0 hours.  
 Roof construction / secondary members: 0 hours.

Table 503 **Allowable Building Heights & Areas (Type V-B sprinklers):**

Group	# Stories Allowed	Area Allowed	Build. Height
B	3	27,000 sf/floor	60'
R-2	3	21,000 sf/floor	60'

Table 1004.1.2 **Occupancy Loads:**

1st Floor: B	2,826 s.f. / 150 gross	= 19 persons
2nd Floor: R-2	2,497 s.f. / 200 gross	= 12 persons
<b>TOTAL</b>		<b>31 persons</b>

Section 707 & 708 **Fire Resistant Separations:**

Group	Separation:
B	Separation between B & R-2 occupancy to be 1-hour.
R-2	1/2-hour fire resistance rating between units.

Table 1006.2.1 **Number of Exits (sprinklers):**

1st floor: BUSINESS OCCUPANCY = 1 Exit required per space  
 Maximum travel distance (100' sprinklered)  
 1 Exit provided (each space) 78' travel distance (worst case)

2nd floor: RESIDENTIAL OCCUPANCY = 1 Exit required per space  
 Maximum travel distance (25' sprinklered)  
 1 Exit provided (each space) 96' travel distance (worst case)

Table 1006.3.3(2) **Number of Exits Required:**

1st floor: BUSINESS OCCUPANCY = 1 Exit required per story  
 Maximum travel distance (100' sprinklered)  
 2 Exits provided, 78' travel distance (worst case)

Table 1006.3.3(1) **Number of Exits Required:**

2nd floor: RESIDENTIAL OCCUPANCY = 1 Exit required per story  
 Maximum travel distance (25' sprinklered)  
 1 Exit provided, 96' travel distance (worst case)

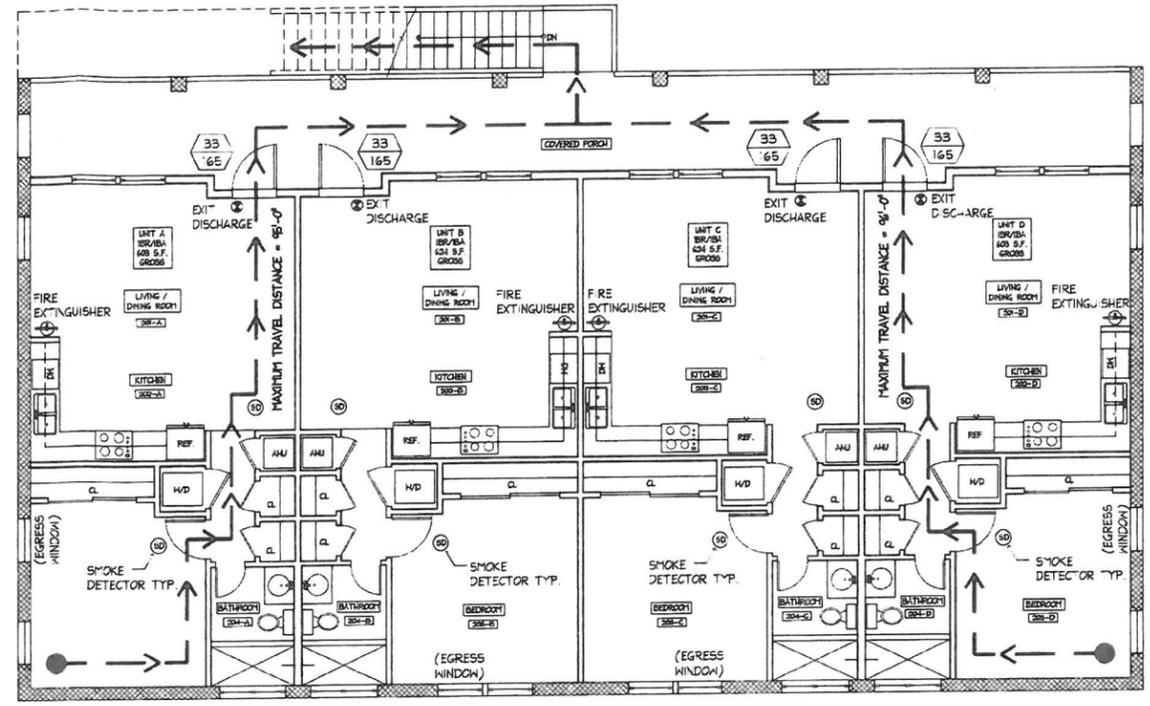
Section 1005.1 **Egress Width:**

1st Floor: 19 persons x 2' = 4' (33' provided)  
 2nd Floor: 12 persons x 2' = 2' (33' provided)

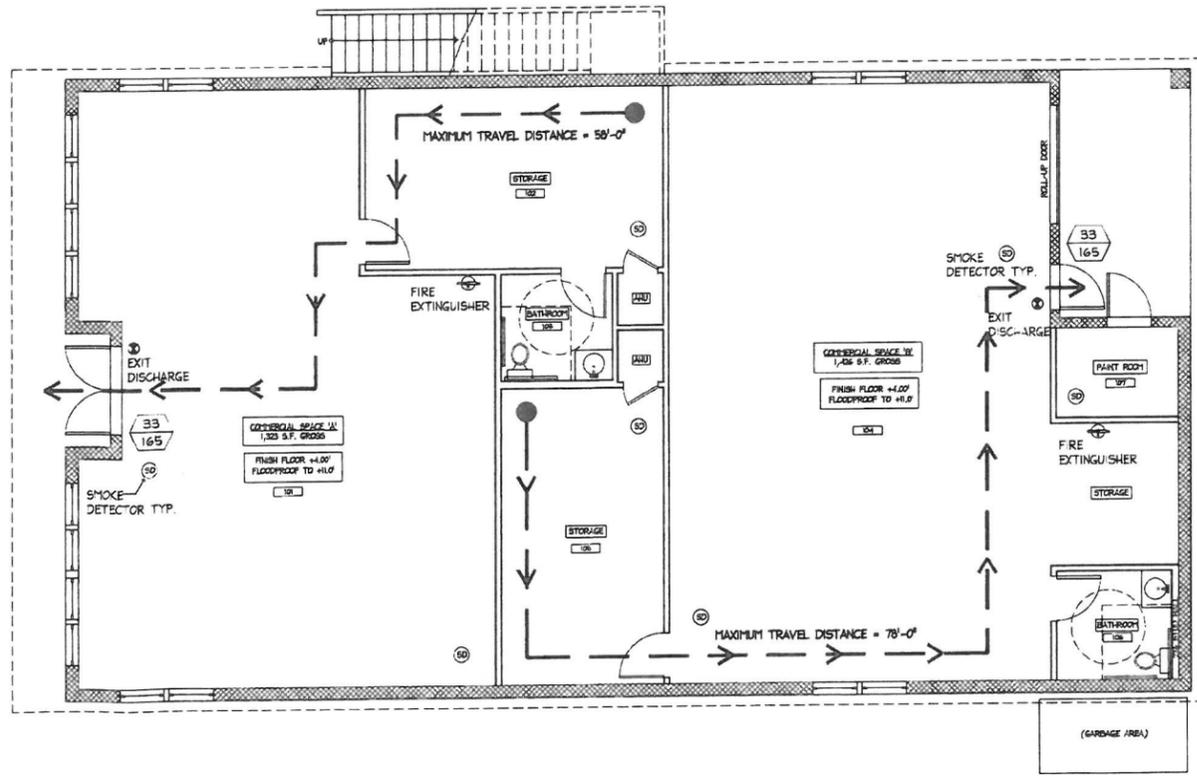
Section 1011 **Minimum Stair Width:** 36' required (Exception 1) 44 provided.

**LIFE SAFETY SYMBOL LEGEND**

SYMBOL	DESCRIPTION
Ⓢ	EMERGENCY EXIT SIGN
33 ←	C.L.R. EGRESS WIDTH (INCHES)
165 ←	EGRESS CAPACITY (# OF PERSONS)
Ⓢ	FIRE EXTINGUISHER (LARGEST TYPE-A OR B.C.U.)
→ →	PATH OF EXIT ACCESS



2 PROPOSED LIFE SAFETY SECOND FLOOR PLAN (RESIDENTIAL UNITS)  
 LS SCALE: 3/16"=1'-0"



1 PROPOSED LIFE SAFETY FIRST FLOOR PLAN (COMMERCIAL & UTILITY SPACE)  
 LS SCALE: 3/16"=1'-0"

**907 CAROLINE STREET**  
 KEY WEST, FLORIDA

---

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**Bender & Associates**  
 ARCHITECTS p.a.

---

Project No: 2205

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Date: 07/24/2024

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**LS**

