

Staff Report

8a New sexton's house, one and a half story. Demolition of sexton's house –
Passover Lane – City of Key West/ Michael Miller (H12-01-1366)

This staff report is for the review of a Certificate of Appropriateness for a request for the construction of a new one and a half story civic structure as a replacement of the existing sexton's house. The structure will be located next to the Cemetery's main entrance and in axis with Passover Lane. The building is modeled on a Georgian style with a centered front portico supported by Tuscan columns and a symmetric façade. This new building will house the sexton's office, family room for visitors, the cemetery archives, bathroom facilities, maintenance room and the attic will be used as a mechanical and storage room.

The building will have hip roofs that will not exceed 20'-6" on its highest point from grade. The new structure will have stucco finished walls, crowning molds on both the first and the half floors, metal casement impact windows. A wood paneled bay window is depicted on the south façade.

The plans also include the partial removal of the existing perimeter fence in order expose the new structure to the urban fabric. New metal gates are proposed. An old tree located adjacent to the cemetery's main entrance will be protected and preserved. The building will be located on an AE-6 flood zone and it will be elevated to meet the FEMA requirements. An ADA ramp is proposed on the front façade.

Staff understands that the guidelines for New Construction (pages 36-38a) are applicable for the review of the plans. Under page 38 of the Historic Architectural Guidelines, new construction criteria can be found:

1. **Siting** – *New construction must conform to all current city easement, setback and building requirements. No existing building shall be relocated and no new structure shall be placed closer to the sidewalk, street or visible alley, than the distance of pre-existing historic structures. Areas reserved for parks or open space must be retained.*

According to the submitted plans the proposed design will not conform to actual setbacks for this particular historic zone district HPS;

Front yard- 20 feet
Street Side- 10 feet
Side yard- 5 feet
Back yard- 20 feet
Maximum height- 25 feet

2. **Elevation of finished floor above grade** - Applications for buildings with the first finished floor above the minimum height necessary to comply with federal flood regulations will not be approved unless the applicant demonstrates that such elevation does not interfere with the essential form and integrity of properties in the neighborhood. In situations wherein parking is proposed below the first finished floor, HARC shall consider how visible the parking is from the public right-of-way; whether the parking area is enclosed or otherwise concealed by walls, louvers, lattice, landscaping or other features; and whether fill and/or berms are used to minimize the gap between the first finished floor and the crown of the nearest road.

The new design will meet FEMA requirements for new construction.

3. **Height** - must not exceed two and a half stories. There must be a sympathetic relationship of height between new buildings and existing adjacent structures of the neighborhood. New buildings must be compatible with historic floor elevations. The height of all new construction shall be based upon the height of existing structures within the vicinity.

The proposed new structure will be one and a half story.
The building will be 20'-6" high.

4. **Proportion, scale and mass** - massing, scale and proportion shall be similar to that of existing historical buildings in the historical zone. No new construction shall be enlarged so that its proportions are out of scale with its surroundings. No new construction shall be more than two and a half stories. No structure shall outsize the majority of structures in the streetscape or historic zone.

The proposed building has been designed with a scale, massing and proportions that are sympathetic to the adjacent historic structures, which are one and a half and one story height. The structure will not outsize any adjacent buildings.

5. **Compatibility** - Design must be compatible with Key West architectural characteristics in the historical zones. All new construction must be in keeping with the historic character in terms of size, scale, design, materials, color and texture.

The proposed plans depict a Georgian style new structure which is an appropriate architectural style for a civic building for such use, a cemetery main offices. The proposed scale, size, design and materials proposed are in

keeping with civilian structures found in the historic urban fabric.

6. ***Building Detail*** – All new buildings shall incorporate a level of detail that assures compatibility with the surrounding historic context. New construction shall not precisely mimic the details of historic buildings but should have features that are compatible with the lines of historic architecture.

The new design proposes building details that are compatible with civic buildings in Old Town.

It is staff's opinion that the proposed new design for the sexton's house is in keeping with the surrounding historic fabric. The new building will complete an urban façade; today's urban experience along the corner of Passover Lane and Margaret Street is a fenced lot in front of a building side with no architectural elements or quality. The proposed new design will create a building with a main entrance facing the street. It is staff's opinion that the proposed design complies with the guidelines, with the exception of setback requirements, and that the building will not have an effect on the historic urban context. This proposed design will require review and approval from the Planning Board.

Application



**CITY OF KEY WEST
BUILDING DEPARTMENT
CERTIFICATE OF APPROPRIATENESS**

APPLICATION # **112-01-1366**

OWNER'S NAME:

CITY OF KEY WEST

DATE:

8.16.12

OWNER'S ADDRESS:

3140 FLAGLER

PHONE #:

8093963

APPLICANT'S NAME:

MICHAEL MILLER

PHONE #:

294 7687

APPLICANT'S ADDRESS:

517 DUVAL ST #200 KEY WEST

ADDRESS OF CONSTRUCTION:

KEY WEST CEMETARY - PASSOVER LN

OF
UNITS

1

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT

DETAILED DESCRIPTION OF WORK:

**NEW SEXTON'S HOUSE - 1 1/2 STORIES
DEMOLITION OF OLD SEXTON'S HOUSE**

Chapter 837.06 F.S.-False Official Statements – Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or 775.083

Required Submittals

TWO SETS OF SCALED DRAWINGS
OF FLOOR PLAN, SITE PLAN AND
EXTERIOR ELEVATIONS
(for new buildings and additions)

TREE REMOVAL PERMIT (if applicable)

PHOTOGRAPHS OF EXISTING
BUILDING (repairs, rehabs, or expansions)

PHOTOGRAPHS OF ADJACENT
BUILDINGS
(new buildings and additions)

ILLUSTRATIONS OF MANUFACTURED
PRODUCTS TO BE USED SUCH AS
SHUTTERS, DOORS, WINDOWS, PAINT
COLOR CHIPS, AND AWNING FABRIC
SAMPLES

This application for Certificate of Appropriateness must precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval.

Date:

8/16/12

Applicant's Signature:

David Fernandez



Staff Use Only

Date: _____

Staff Approval: _____

Fee Due: \$ _____

HISTORIC ARCHITECTURAL REVIEW APPLICATION

HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

Approved _____

Denied _____

Deferred _____

Reason for Deferral or Denial:

HARC Comments:

Not historic

Ordinance for demolitions

Guidelines for new construction (pages 38-38a)

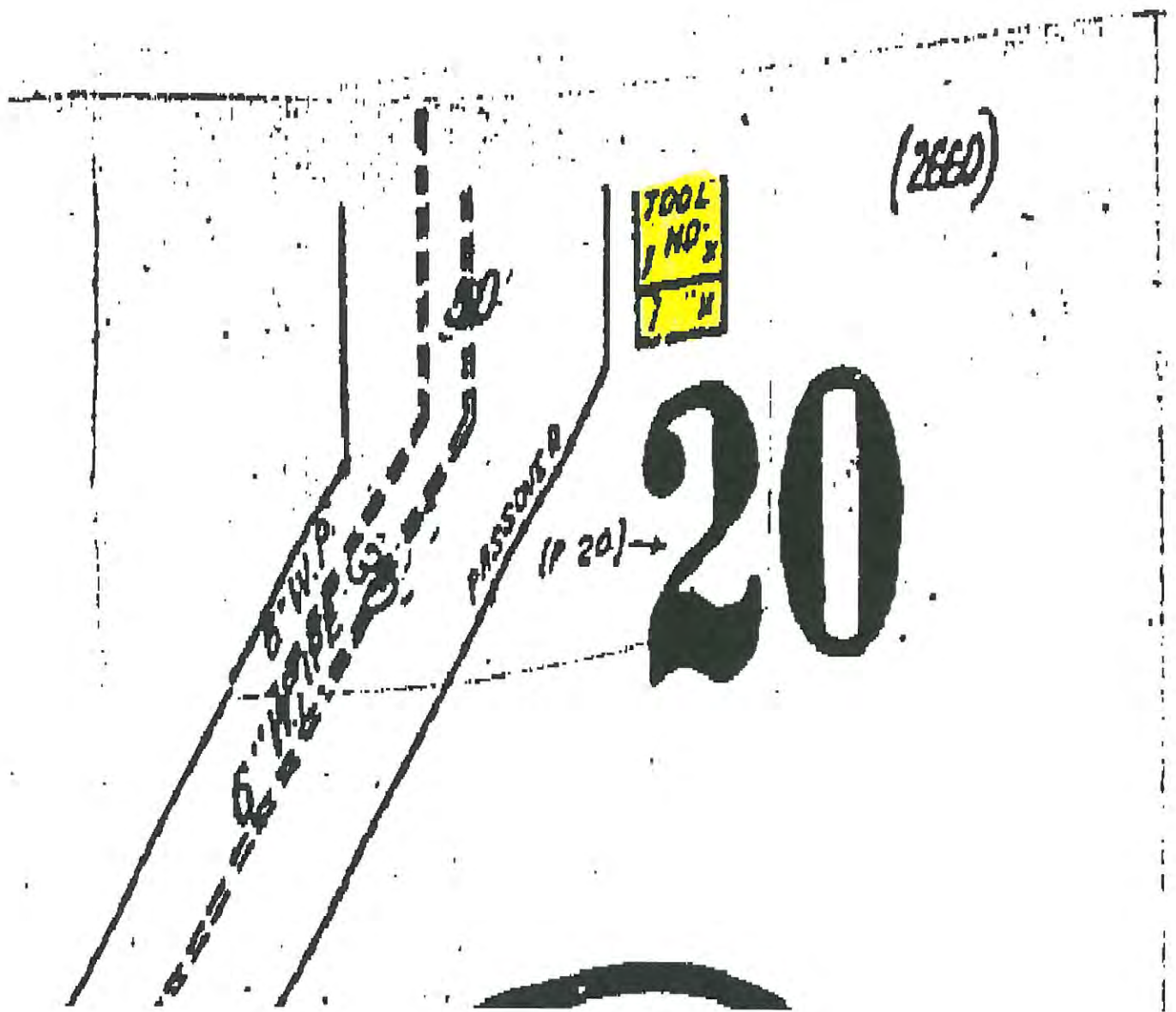
Limit of Work Approved, Conditions of Approval and/or Suggested
Changes:

Date: _____

Signature: _____

Historic Architectural
Review Commission

Sanborn Maps



Passover Lane Sexton's house Sanborn map 1962

Project Photos



Momentos en que la Legion Americana hacia su entrada en el Cementerio el dia 10 Octubre en Key West. Entering the Key West Cemetery on October 10, 1934 for the Grito de Yara service. From the DeWolfe and Wood Collection.

Proposed Plans

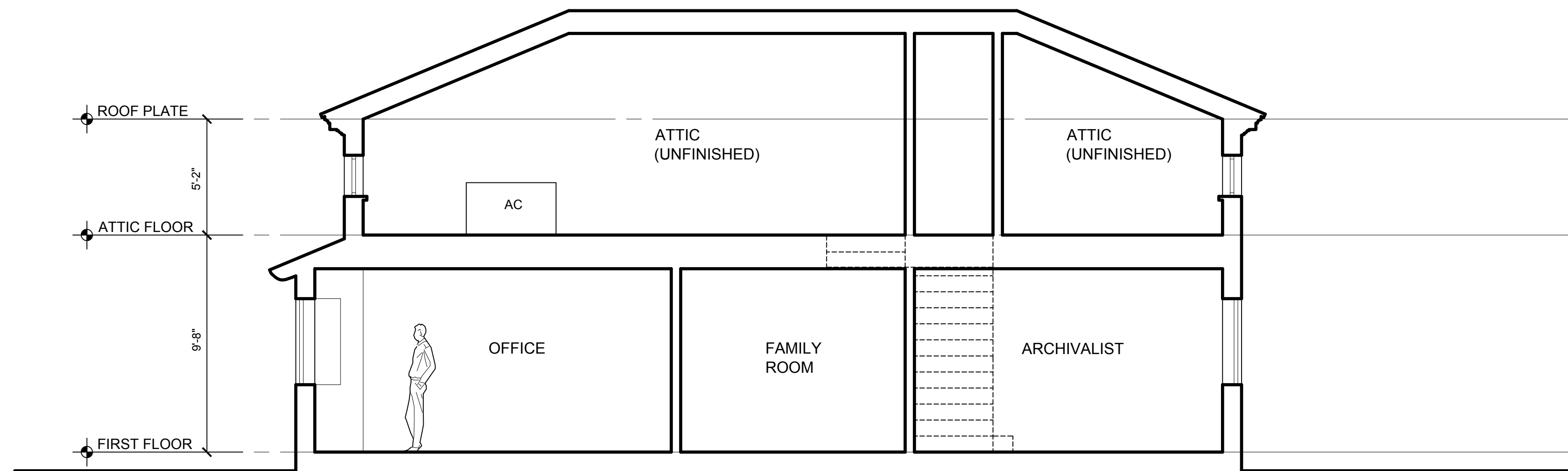


NEW SEXTON'S HOUSE

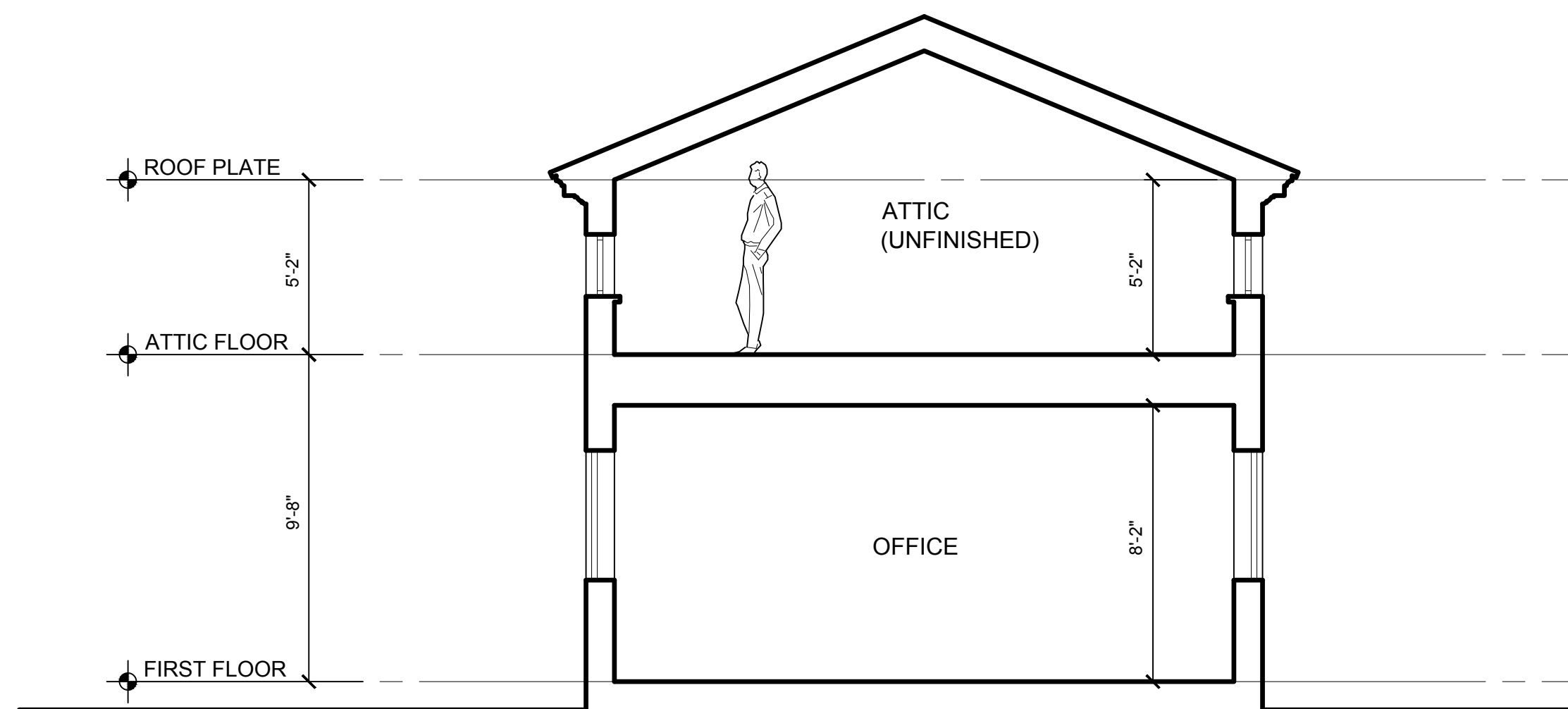
SCHEMATIC DESIGN

MICHAEL MILLER ARCHITECT

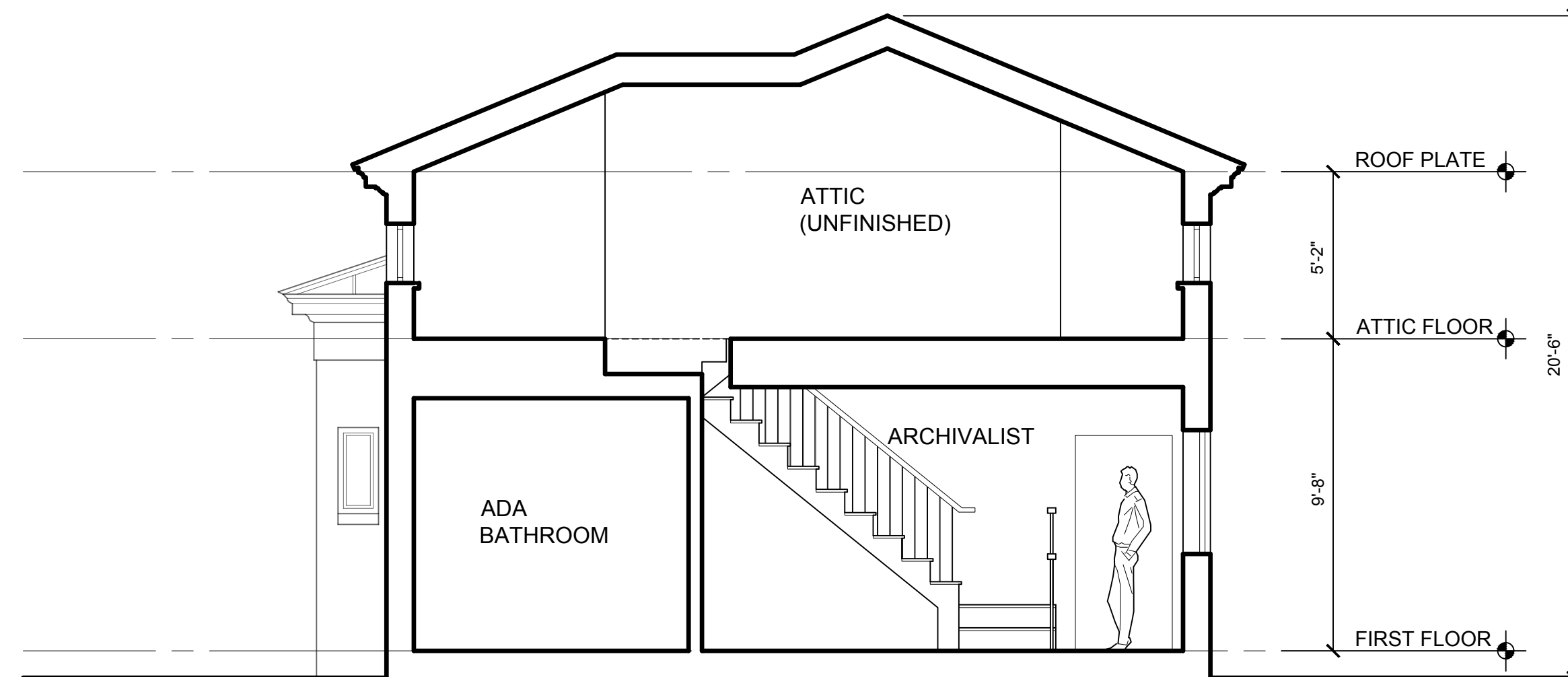
AUGUST 29, 2012



BUILDING SECTION A-A
SCALE: 1/4"=1'-0"



BUILDING SECTION B-B
SCALE: 1/4"=1'-0"



BUILDING SECTION C-C
SCALE: 1/4"=1'-0"

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**CITY SEXTON'S HOUSE
KEY WEST CEMETERY**

701 PASSOVER LANE
KEY WEST, FLORIDA

DATE: AUGUST 29, 2012

SCALE: AS NOTED

DRAWN BY: AA

CHECKED BY: MM

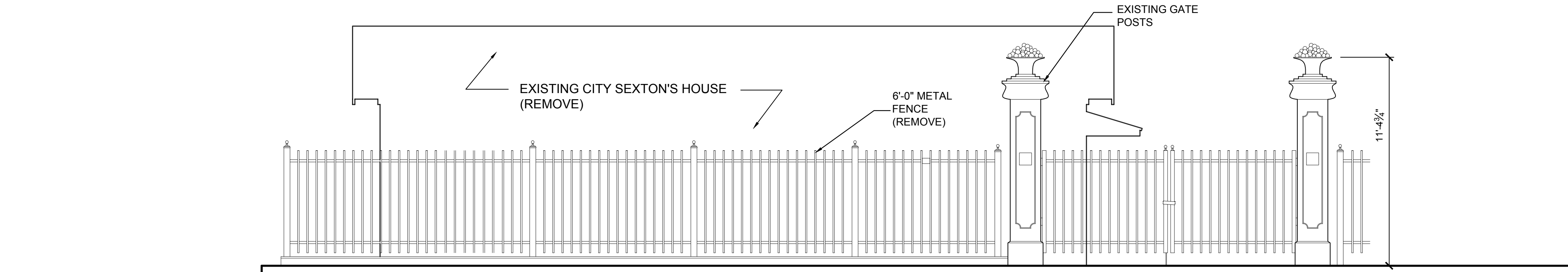
PROJECT NO: 1203

BUILDING SECTIONS

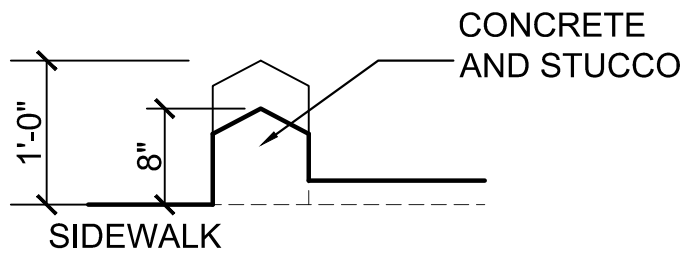
FOR HARC
PRESENTATION

A6

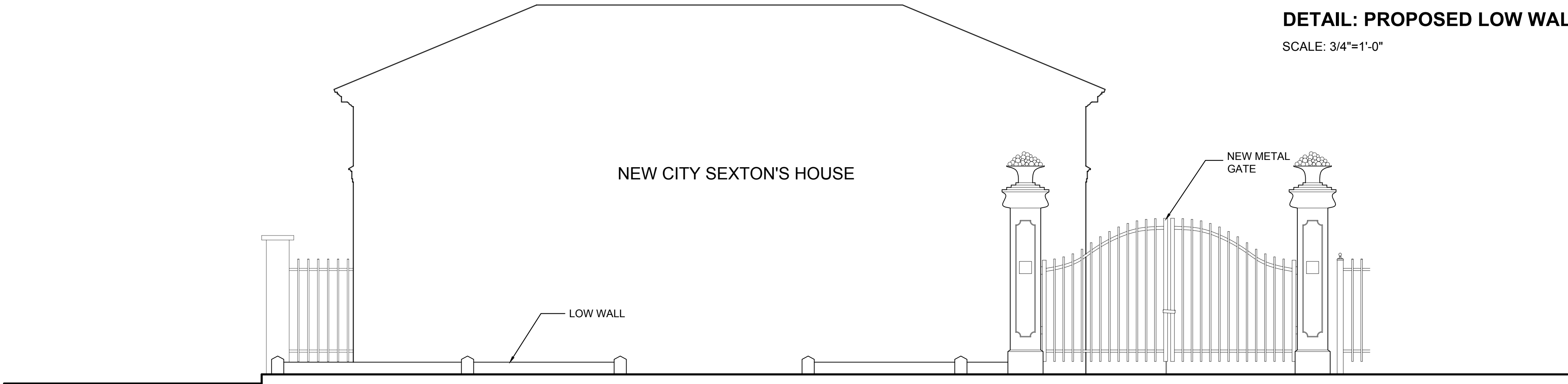
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EXISTING GATE AND FENCE
SCALE: 1/4"=1'-0"



DETAIL: PROPOSED LOW WALL
SCALE: 3/4"=1'-0"



PROPOSED LOW WALL AND ENTRANCE GATE
SCALE: 1/4"=1'-0"

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DATE: AUGUST 29, 2012

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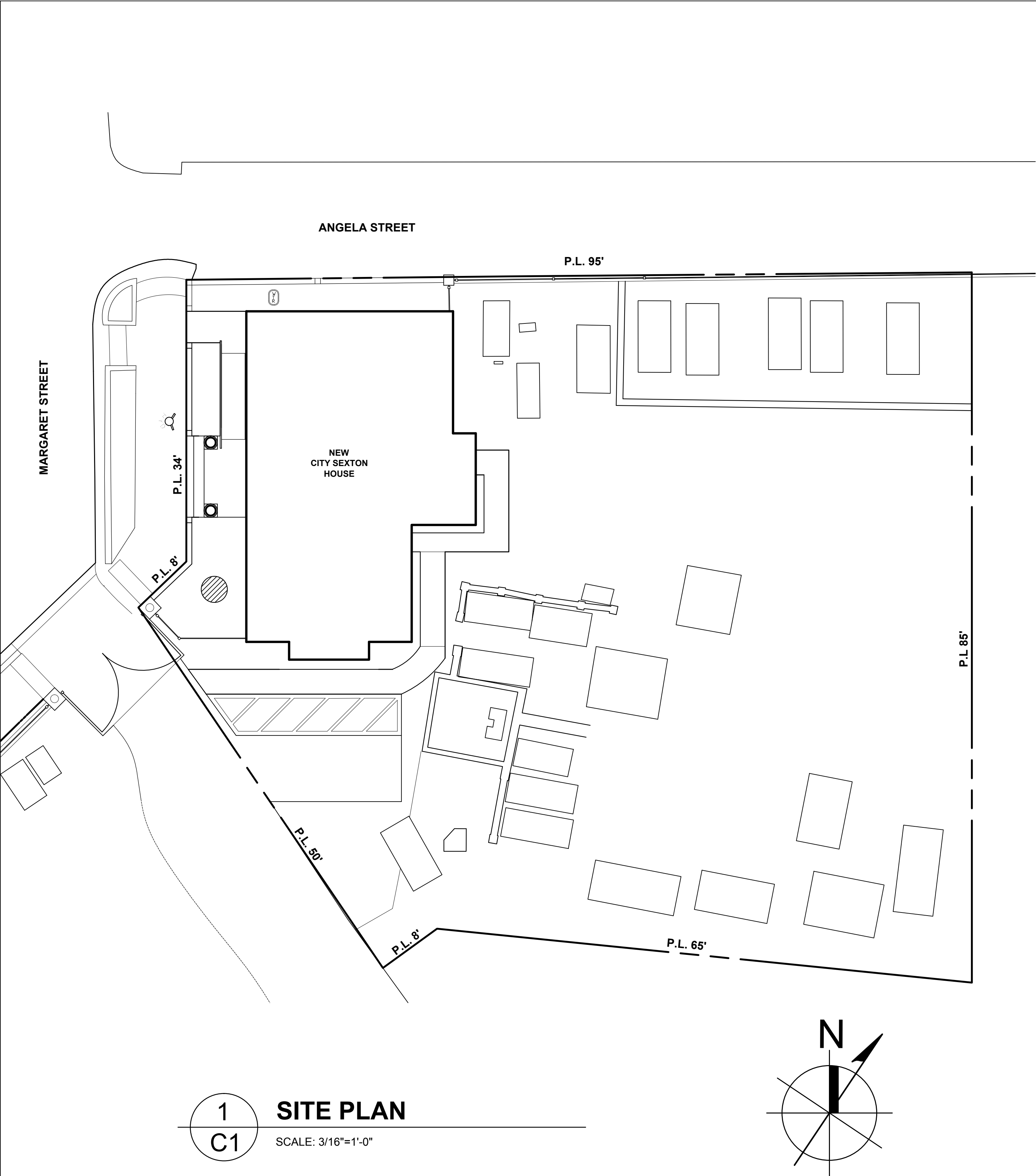
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**GATE
COMPARISON**

FOR HARC
PRESENTATION

A7

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SITE DATA:		STORMWATER DATA	
LOT		LOT SIZE	7,419.6 SF
ZONING		ALLOWABLE IMPERVIOUS SURFACE	50 %
ZONE	HPS	PROPOSED IMPERVIOUS SURFACE	3,356.3 SF
CITY MIN SETBACKS		PERCENT PROPOSED IMPERVIOUS SURFACE	46.6%
FRONT	20 FT		
SIDE	15 FT		
REAR	15 FT		
STREET SIDE	10 FT		
PROPOSED MIN SETBACKS			
FRONT			
SIDE	0 FT		
REAR	3.9 FT		
STREET SIDE	0 FT		
LOTSIZE	7,419.6 SF		
ALLOWABLE PERCENT LOT COVERAGE	40 %		
PROPOSED LOT COVERAGE	1,042 SF		
PERCENT PROPOSED LOT COVERAGE	14%		
MAX HEIGHT	25 FT		
PROPOSED HEIGHT	21 FT		

- SHEET NOTES:**
1. Drawings and specifications are to be used together. Contractors and workers shall consult both when questions concerning the letter and/or intent of the design arise.
 2. No changes to the drawings or to the design may be made without the written approval of the architect.
 3. All work shall be done in accordance with all applicable local, state, and national building and life safety codes. The Contractor and all Subcontractors shall be familiar with these codes and shall build accordingly.
 4. When a conflict or ambiguity exists between a Contractor's understanding of a code and the drawings and specifications, it is the Contractor's responsibility to cease work on the item in question and notify the architect in a manner that will allow a timely resolution. Work undertaken as instructed by the building inspector without the Architect's permission will be removed at the Contractor's expense.
 5. When a conflict or ambiguity exists between the drawings or within the specifications, or if the contractor cannot find information he needs on the drawings or in the specifications it is the responsibility of the Contractor to cease work on the item in question and notify the architect in a manner that will allow timely resolution.
 6. In general, interior dimensions are taken from the face of stud or furring strip. Nominal dimensions are noted for standard lumber sizes but actual sizes are given where lumber is to be milled to a non-standard dimension. Exterior dimension lines are taken from face of concrete (e.g. not from the face of the stucco finish).
 7. Drawings shall not be scaled without permission of the Architect. Where errors or inconsistencies exist regarding dimensions on the drawings, the Contractor shall notify the Architect for a resolution before proceeding.
 8. "V.I.F." means "Verify in Field" and it is the Contractor's responsibility to measure or otherwise confirm a site condition that cannot be accurately determined before construction begins, and to notify the Architect if it differs from what is on the drawings before proceeding with the affected work.
 9. The Drawings, Specifications, and other documents prepared by the Architect, are instruments of the Architect's service and are Copyright © 2012 by Michael, Miller, Architects INC. All Rights Reserved.
 10. The site and floor plans are laid out according to the survey provided by the owner. The Contractor shall verify any inconsistencies between the drawings and field conditions before proceeding with the affected work.

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CITY SEXTON'S HOUSE KEY WEST CEMETERY

701 PASSOVER LANE
KEY WEST, FLORIDA

DATE: AUGUST 29, 2012

SCALE: AS NOTED

DRAWN BY: AA

CHECKED BY: MM

PROJECT NO: 1207

SITE PLAN, SITE DATA AND SITE DETAILS

FOR HARC
PRESENTATION

C1



SITE FOR NEW SEXTON'S HOUSE; EXISTING SEXTON'S HOUSE AND CEMETARYENTANCEAT ANGELA AND MARGARET STREET

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CITY SEXTON'S HOUSE
KEY WEST CEMETERY

701 PASSEOVER LANE
KEY WEST, FLORIDA

DATE: AUGUST 29, 2012
SCALE: AS NOTED
DRAWN BY: MM
CHECKED BY: MM
PROJECT NO: 1203

PHOTOGRAPH OF
SITE WITH EXISTING
SEXTON'S HOUSE

FOR HARC
PRESENTATION

PH1



MARGARET STREET LOOKING NORTH AT FRONT OF PROPOSED NEW SEXTON'S HOUSE



NORTH SIDE OF EXISTING SEXTON'S HOUSE LOOKING UP ANGELA STREET



HOUSES ACROSS ANGELA STREET FROM PROPOSED NEW SEXTON'S HOUSE



LOOKING WEST DIRECTLY ACROSS THE STREET FROM THE PROPOSED NEW SEXTON'S HOUSE

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CITY SEXTON'S HOUSE
KEY WEST CEMETERY

701 PASSOVER LANE
KEY WEST, FLORIDA

DATE: AUGUST 29, 2012
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SOUTH SIDE OF EXISTING SEXTON'S HOUSE



EAST SIDE OF EXISTING SEXTON'S HOUSE



NORTH SIDE OF EXISTING SEXTON'S HOUSE



WEST SIDE OF EXISTING SEXTON'S HOUSE AND MAIN ENTRANCE TO THE CEMETARY

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CITY SEXTON'S HOUSE
KEY WEST CEMETERY

701 PASSOVER LANE
KEY WEST, FLORIDA

DATE: AUGUST 29, 2012
SCALE: AS NOTED
DRAWN BY: MM
CHECKED BY: MM
PROJECT NO: 1203

PHOTOGRAPHS
OF EXISTING
SEXTON'S HOUSE

FOR HARC
PRESENTATION PH3



SEXTON'S OFFICE AND FAMILY MEETING ROOM



STOREROOM



ARCHIVIST'S OFFICE AND STORAGE



ARCHIVES AND MISCELLANEOUS STORAGE

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CITY SEXTON'S HOUSE
KEY WEST CEMETERY

701 PASSEOVER LANE
KEY WEST, FLORIDA

DATE: AUGUST 29, 2012
SCALE: AS NOTED
DRAWN BY: MM
CHECKED BY: MM
PROJECT NO: 1203

PHOTOGRAPHS OF
INTERIOR OF EXISTING
SEXTON'S HOUSE

FOR HARC
PRESENTATION PH4



GOOGLE VIEW INTO CEMETARYAT MAIN GATE



GLADYS



TAYLORMAUSOLEUM



BRICK TOMBS



WILLIAM VON PHISTER

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CITY SEXTON'S HOUSE
KEY WEST CEMETERY

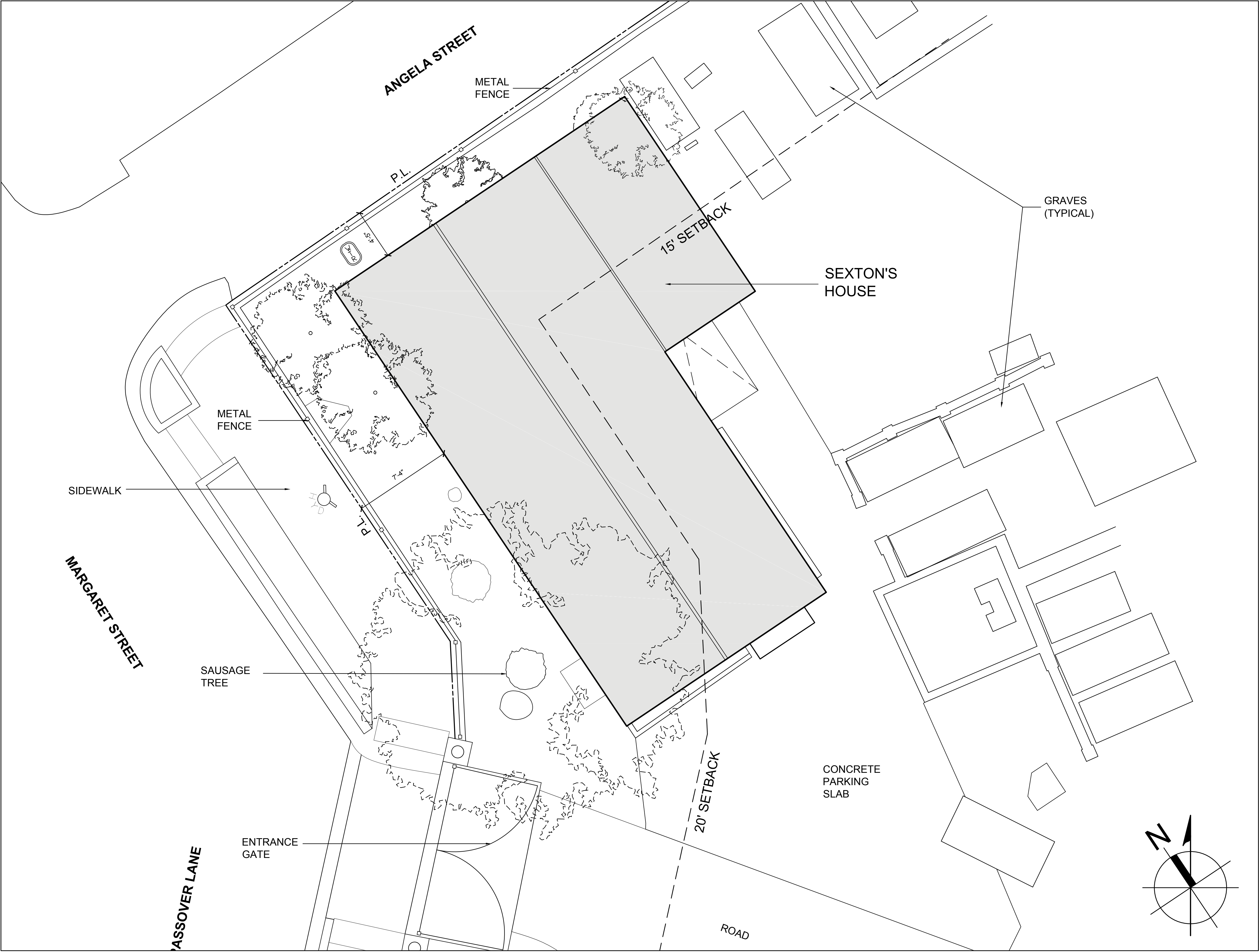
701 PASSEOVER LANE
KEY WEST, FLORIDA

DATE: AUGUST 29, 2012
SCALE: AS NOTED
DRAWN BY: MM
CHECKED BY: MM
PROJECT NO: 1203

PHOTOGRAPHS OF
KEY WEST CEMETERY

FOR HARC
PRESENTATION

PH5



EXISTING SITE PLAN

SCALE: 1/4"=1'-0"

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**CITY SEXTON'S HOUSE
KEY WEST CEMETERY**

701 PASSOVER LANE
KEY WEST, FLORIDA

DATE: AUGUST 29, 2012

SCALE: AS NOTED

DRAWN BY: AA

CHECKED BY: MM

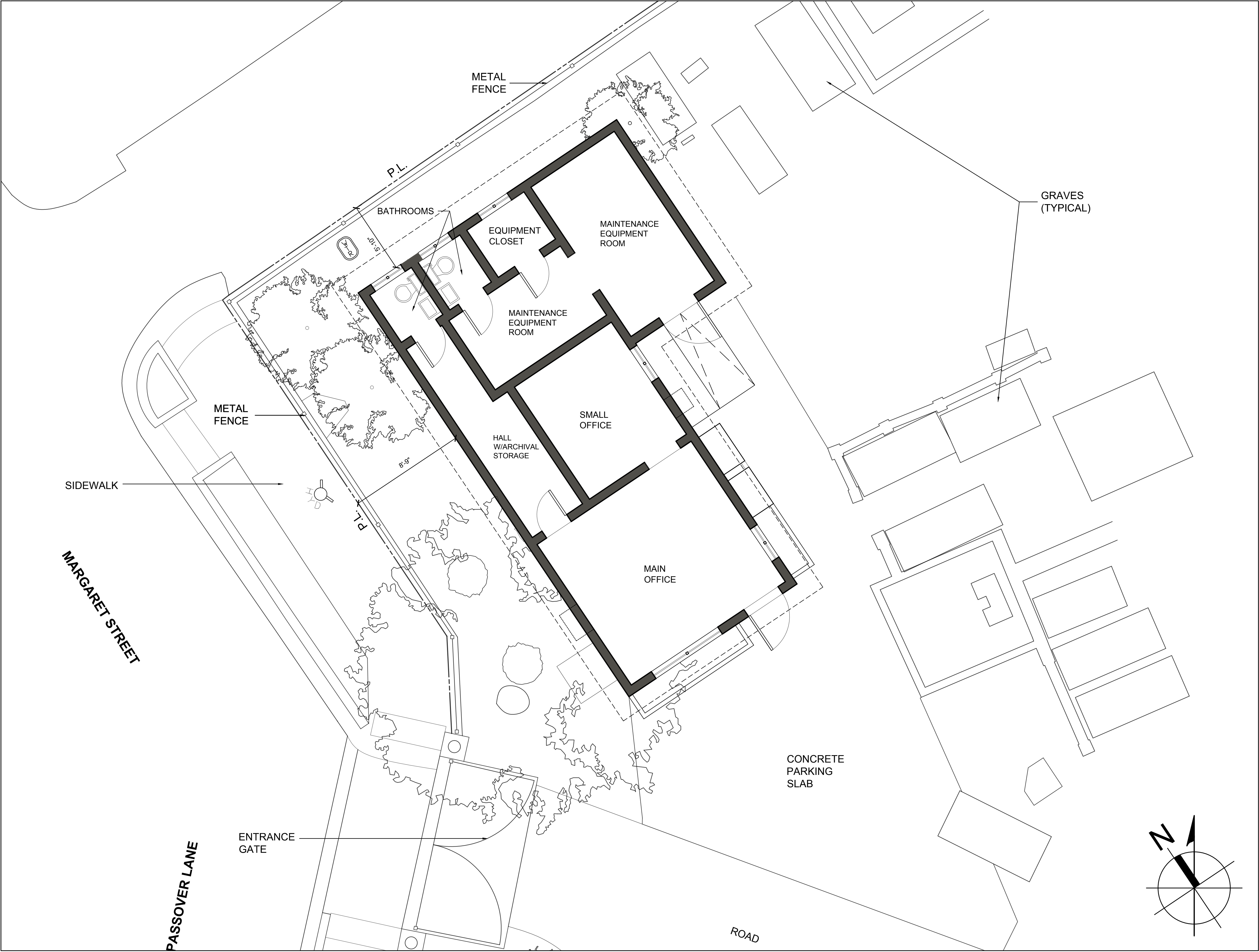
PROJECT NO: 1203

EXISTING SITE PLAN

FOR HARC
PRESENTATION

EX1

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EXISTING GROUND FLOOR PLAN

SCALE: 1/4"=1'-0"

AREA SUMMARY

MAIN OFFICE:	197 SQFT
SMALL OFFICE:	99 SQFT
HALL:	76 SQFT
BATHROOMS:	18 SQFT (2)
MAINTENANCE ROOM:	184 SQFT
MAINTENANCE CLOSET:	25 SQFT
TOTAL:	599 SQFT

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CITY SEXTON'S HOUSE
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701 PASSOVER LANE
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DATE: AUGUST 29, 2012

SCALE: AS NOTED

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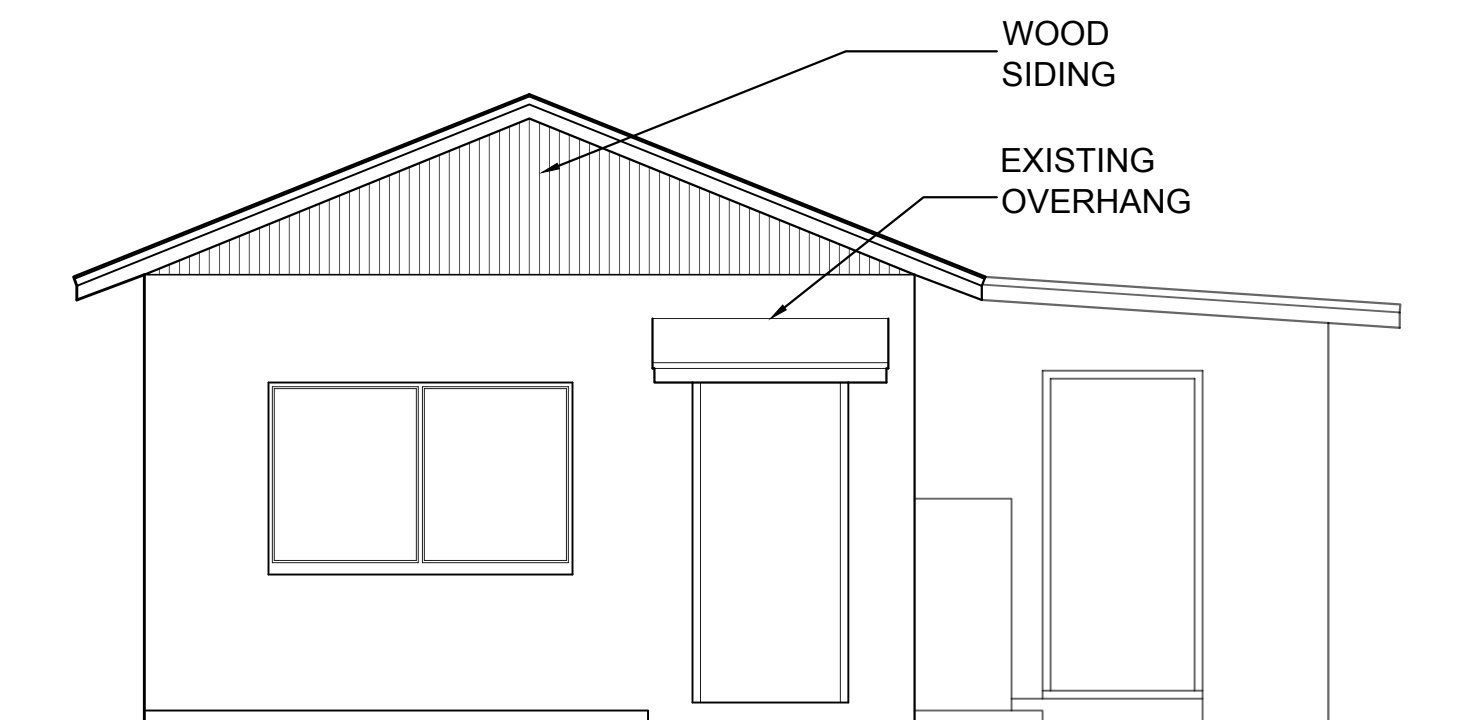
PROJECT NO: 1203

EXISTING GROUND
FLOOR PLAN

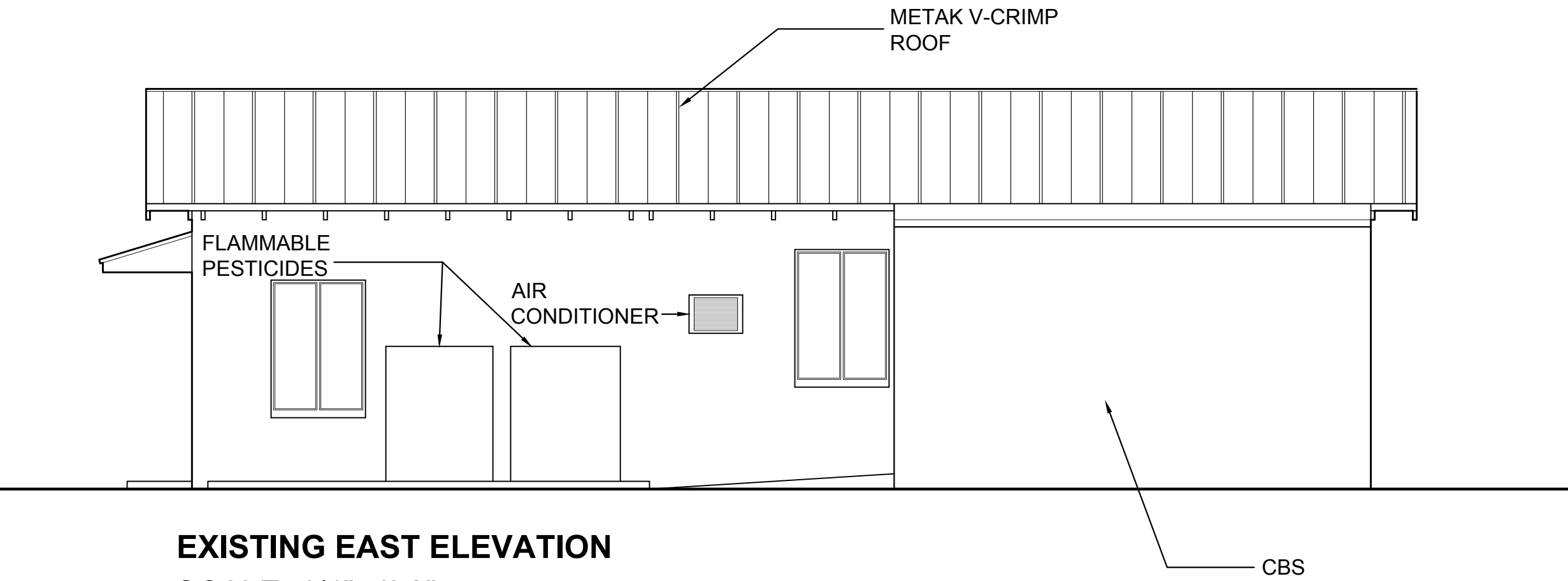
FOR HARC
PRESENTATION

EX2

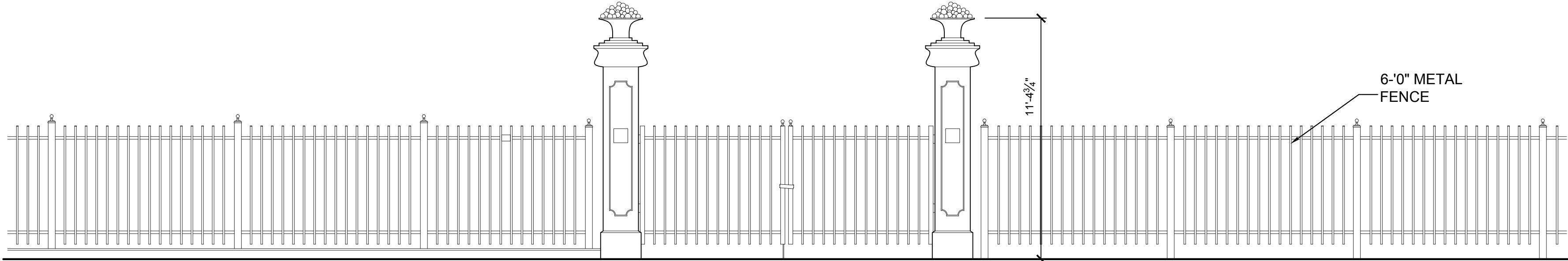
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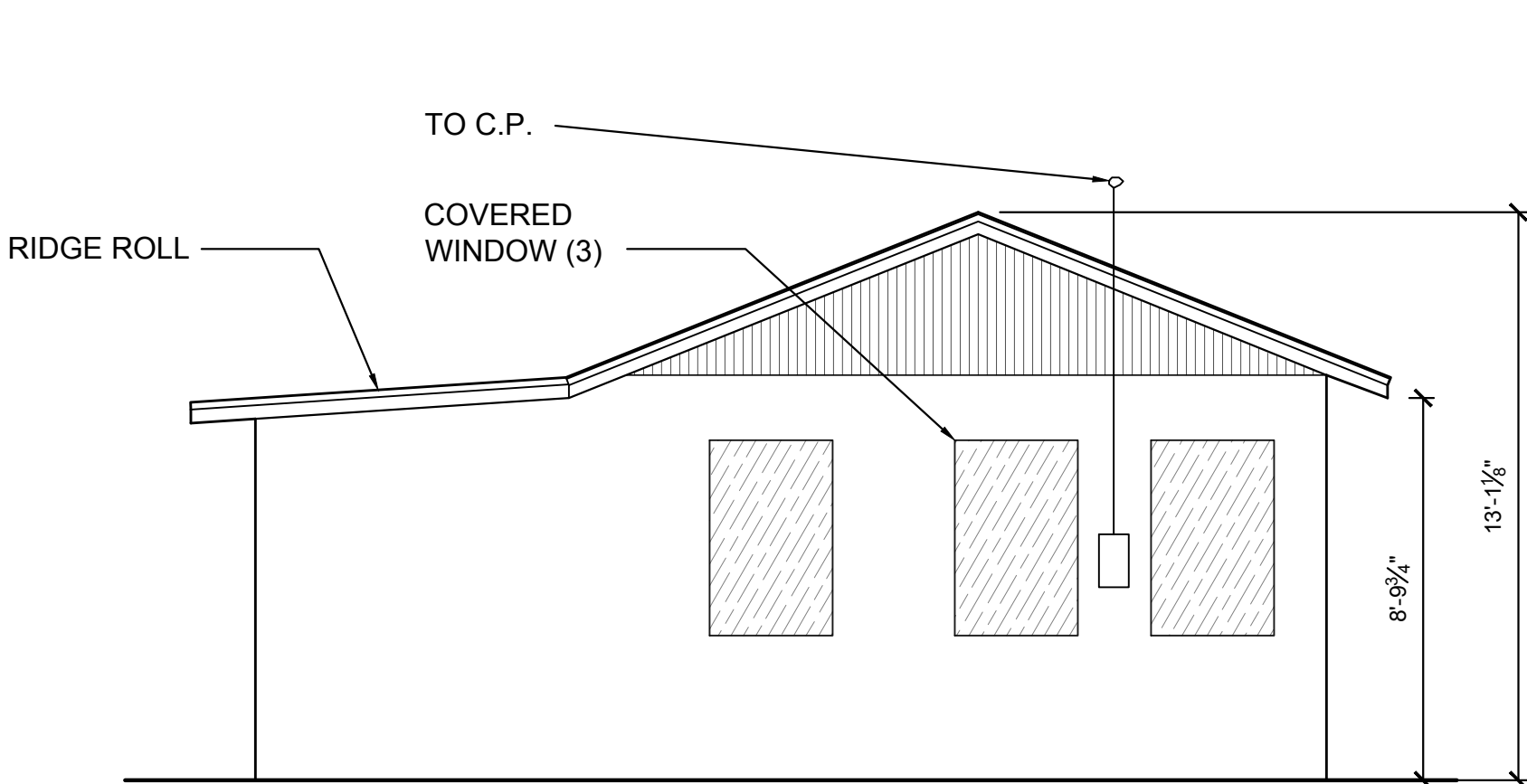
EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0"



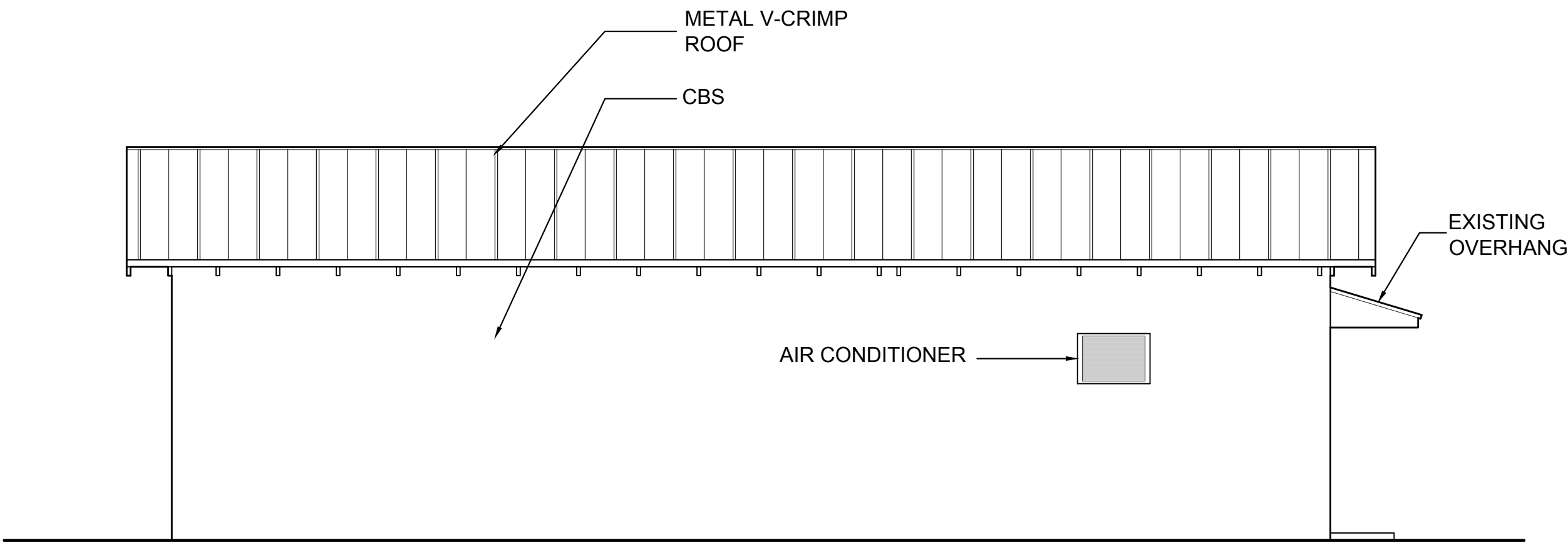
EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"



EXISTING MAIN ENTRANCE GATE
SCALE: 1/4"=1'-0"



EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0"



EXISTING WEST ELEVATION
SCALE: 1/4"=1'-0"

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CITY SEXTON'S HOUSE
KEY WEST CEMETERY

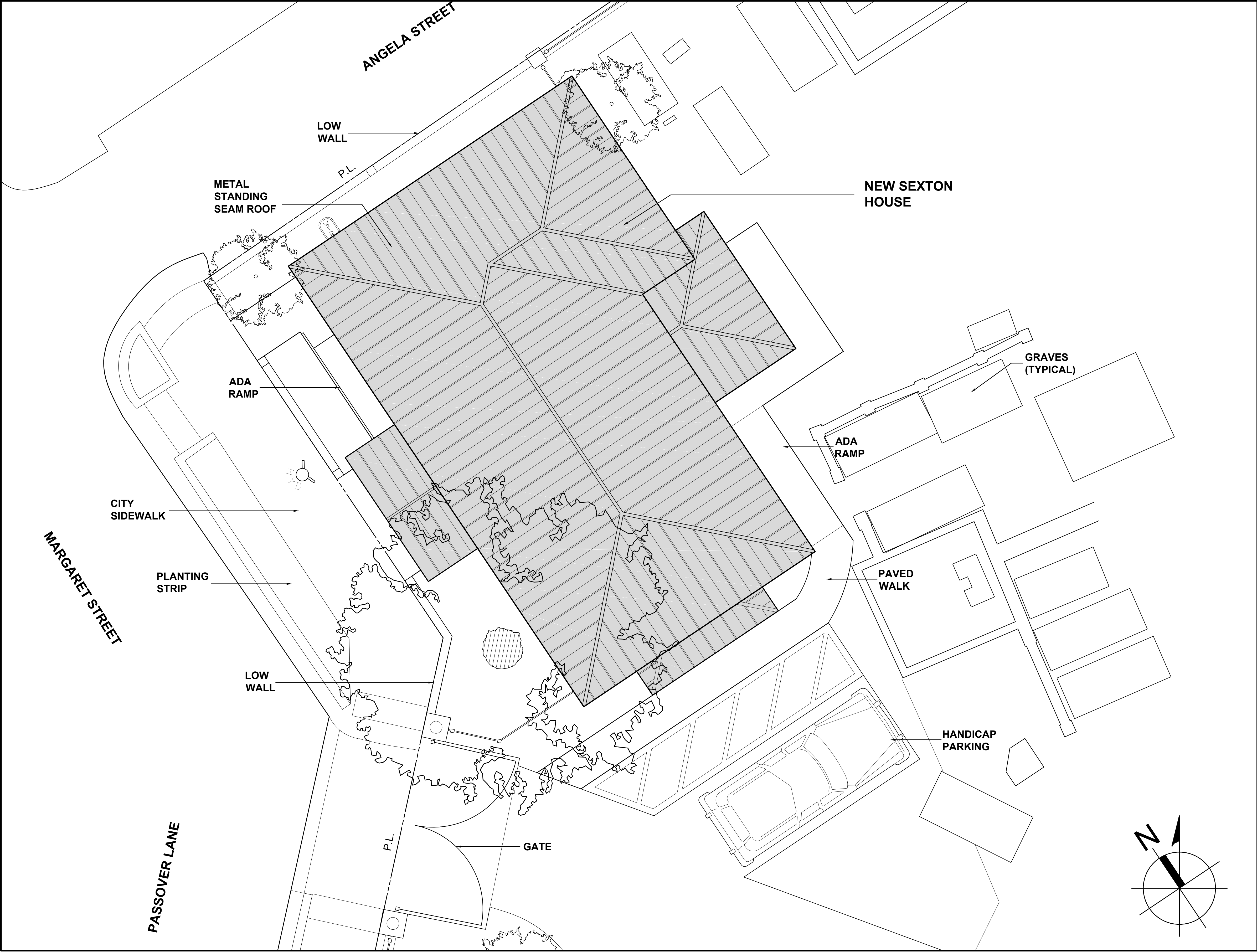
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KEY WEST, FLORIDA

DATE: AUGUST 29, 2012
SCALE: AS NOTED
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EXISTING ELEVATIONS

FOR HARC
PRESENTATION **EX3**

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**CITY SEXTON'S HOUSE
KEY WEST CEMETERY**

701 PASSOVER LANE
KEY WEST, FLORIDA

DATE: AUGUST 29, 2012

SCALE: AS NOTED

DRAWN BY: AA

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PROJECT NO: 1203

SITE PLAN

SITE PLAN

SCALE: 1/4"=1'-0"

FOR HARC
PRESENTATION

A1

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WEST ELEVATION
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"

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CITY SEXTON'S HOUSE
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SCALE: AS NOTED

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PROJECT NO: 1203

**WEST & SOUTH
ELEVATION**

FOR HARC
PRESENTATION

A2

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EAST ELEVATION
SCALE: 1/4"=1'-0"



NORTH ELEVATION
SCALE: 1/4"=1'-0"

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SCALE: AS NOTED

DRAWN BY: AA

CHECKED BY: MM

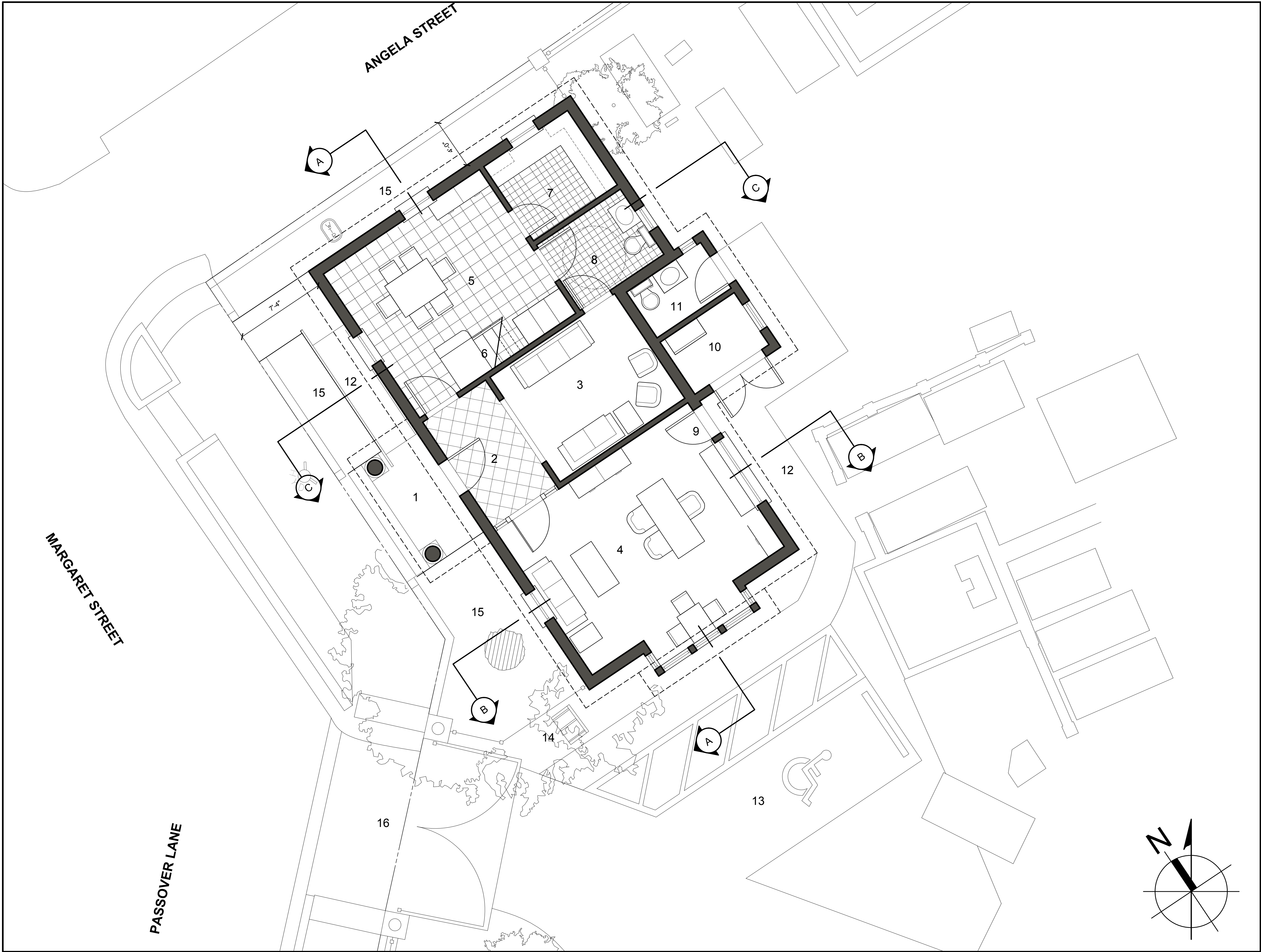
PROJECT NO: 1203

**EAST & NORTH
ELEVATION**

FOR HARC
PRESENTATION

A3

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- LEGEND**
- 1 PUBLIC ENTRANCE PORCH
 - 2 ENTRY VESTIBULE
 - 3 FAMILY ROOM
 - 4 SEXTON'S OFFICE
 - 5 ARCHIVIST'S OFFICE
 - 6 STAIR TO ATTIC
 - 7 STOREROOM/COFFEE
 - 8 ADA BATHROOM
 - 9 SEXTON'S PRIVATE ENTRANCE (ACCESSIBLE)
 - 10 MAINTENANCE STOREROOM
 - 11 EMPLOYEE BATHROOM
 - 12 ADA RAMP
 - 13 ADA PARKING
 - 14 BICYCLE PARKING
 - 15 LANDSCAPING
 - 16 ENTRANCE TO CEMETERY

AREA SUMMARY

AC SPACE:	726 SQFT
NON-AC SPACE:	65 SQFT
TOTAL SPACE:	827 SQFT

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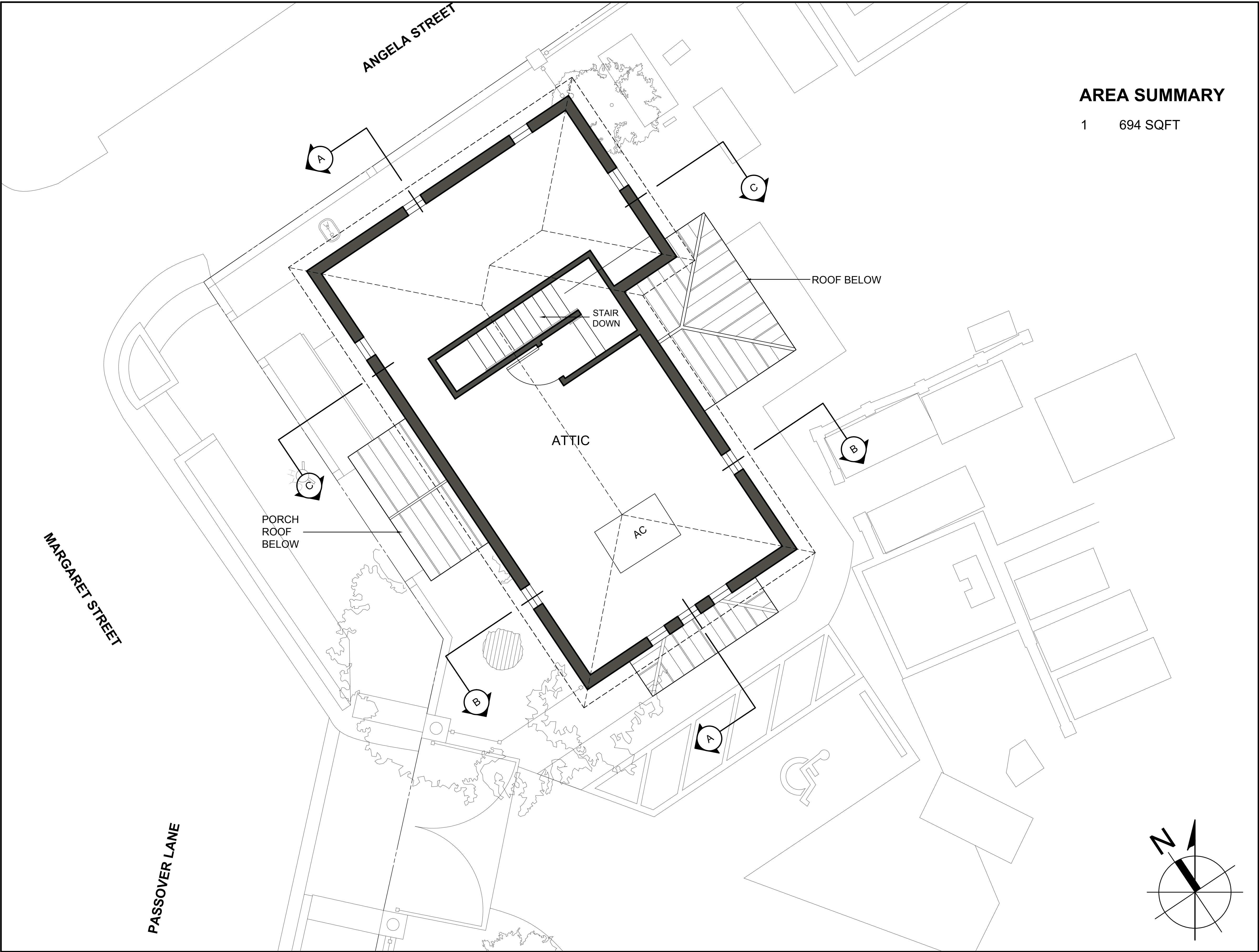
**CITY SEXTON'S HOUSE
KEY WEST CEMETERY**

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KEY WEST, FLORIDA

DATE:	AUGUST 29, 2012
SCALE:	AS NOTED
DRAWN BY:	AA
CHECKED BY:	MM
PROJECT NO:	1203

**GROUND
FLOOR PLAN**

GROUND FLOOR PLAN
SCALE: 1/4"=1'-0"



AREA SUMMARY
1 694 SQFT

ATTIC PLAN
SCALE: 1/4"=1'-0"

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mllrarch@bellsouth.net

CITY SEXTON'S HOUSE
KEY WEST CEMETERY

701 PASSOVER LANE
KEY WEST, FLORIDA

DATE: AUGUST 29, 2012
SCALE: AS NOTED
DRAWN BY: AA
CHECKED BY: MM
PROJECT NO: 1203

ATTIC PLAN

FOR HARC
PRESENTATION

A5

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Noticing

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., August 28, 2012 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

NEW SEXTON'S HOUSE. DEMOLITION OF EXISTING SEXTON'S HOUSE

PASSOVER LANE

Applicant- CITY OF KEY WEST/ MICHAEL MILLER -

Application Number H12-01-1366

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3973 or visit our website at www.keywestcity.com .

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

Property Appraiser Information

Karl D. Borglum
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

**Property Record Card -
Map portion under construction.**

Website tested on IE8,
IE9, & Firefox.
Requires Adobe Flash
10.3 or higher

Alternate Key: 1021351 Parcel ID: 00020620-000000

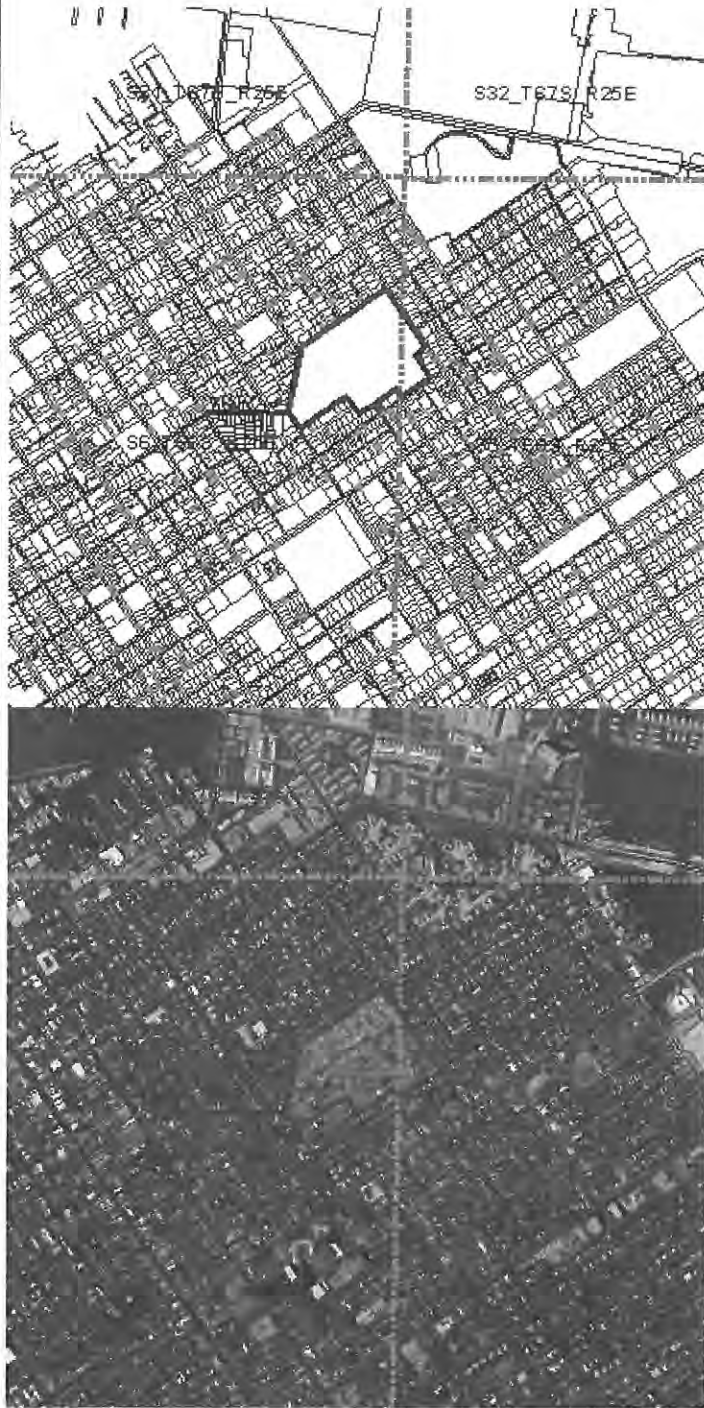
Ownership Details

Mailing Address:

CITY OF KEY WEST CEMETERY
PO BOX 1409
KEY WEST, FL 33041

Property Details

PC Code: 76 - MORTUARIES, CEMETERY
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 06-68-25
Property Location: 701 MARGARET ST KEY WEST CEMETERY KEY WEST
Legal Description: KW PT TR 5 AND PT TR 6 (A/K/A KEY WEST CEMETERY) 16.89AC OR1721-2373/76(REST) OR2394-2475/2477(AGREE) OR2394-2478/2480(AGREE) OR2402-1192/1194(AGREE) OR2405-2387/2388 OR2406-704/706(AGREE) OR2448-609/10



Show Parcel Map that can launch map - Must have Adobe Flash Player 10.3 or higher

Exemptions

Exemption	Amount
13 - CEMETERY	19,511,517.00

Land Details

Land Use Code	Frontage	Depth	Land Area
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100E - COMMERCIAL EXEMPT

0

0

735,728.40 SF

Appraiser Notes

PORTIONS OF THE CEMETERY ARE REFERRED TO IN THE FOLLOWING PLAT BOOK AND PAGES: PB 1-16 PB 1-17 PB 1-19

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2012	0	0	19,511,517	19,511,517	19,511,517	19,511,517	0
2011	0	0	33,624,848	33,624,848	33,624,848	33,624,848	0
2010	0	0	95,092,896	95,092,896	95,092,896	95,092,896	0
2009	0	0	95,092,896	95,092,896	95,092,896	95,092,896	0
2008	0	0	110,359,260	110,359,260	110,359,260	110,359,260	0
2007	0	0	110,359,260	110,359,260	110,359,260	110,359,260	0
2006	0	0	69,894,198	69,894,198	69,894,198	69,894,198	0
2005	0	0	55,179,630	55,179,630	55,179,630	55,179,630	0
2004	0	0	44,143,704	44,143,704	44,143,704	44,143,704	0
2003	0	0	17,657,482	17,657,482	17,657,482	17,657,482	0
2002	0	0	17,657,482	17,657,482	17,657,482	17,657,482	0

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
3/26/2009	2406 / 704	800	CA	13
3/26/2009	2405 / 2387	5,000	BILL	13
2/27/2009	2402 / 1192	800	CA	13
1/7/2009	2394 / 2478	2,600	CA	13
1/7/2009	2394 / 2475	1,100	CA	13
5/1/1980	2448 / 609	100	QC	J

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Monroe County Property Appraiser
Karl D. Borglum
P.O. Box 1176
Key West, FL 33041-1176

