

700 Front Street, VAR



AMENDMENT TO APPLICATION

SMITH / HAWKS
ATTORNEYS AT LAW

Barton W. Smith, Esq.
Anthony J. Davila, Esq.
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Email: Bart@SmithHawks.com
AJ@smithhawks.com

VIA E-MAIL

August 19, 2022

Katie Halloran, Planning Director
City of Key West Planning Department
1300 White Street
Key West, FL 33040

Re: **700 Front Street** (the "Property")

Dear Katie,

Please allow this letter to serve as an amendment to FOD Marina 1 LLC, Benicia Partners, LLC, and Smith Family Fund 1 LLC's (all together, the "Applicant") Application for a Variance originally submitted July 15, 2022. This amendment is to 1) amend and correct calculations related to the parking variance, as requested by the Planning Department, and 2) add a request for variance from 100-foot residential setback from mean high water found in Section 122-717 of the City of Key West Land Development Regulations ("LDRs").

Parking Variance

The original parking variance application submitted requested a variance of 350 spaces and Applicant hereby amends that request to a variance of 384 spaces. The increase in the requested variance is mostly due to revisions to parking calculations for the existing marina, which is not proposed to be altered. Of the 50 slips at the marina, 10 vessels are commercially licensed, and the parking calculation is different for commercially licensed vessels. Of the 10 commercially licensed vessels, nine have "Six-pack" licensing that allows the vessel to hold 6 guests. The remaining commercially licensed vessel, the FishMonster Max, is licensed for a capacity of 49 people. Section 108-572(6) of the LDRs requires that one parking space be provided for every three passengers allowed on commercially licensed vehicles. Therefore, 34.33 spaces are required for the commercially licensed vessels and 44.33 spaces for the entire existing marina, which is not proposed to be altered. This revision to the calculations of the existing marina accounts for 32 spaces of the 34-space increase in the variance application.

Marina:	50 wet slips		
	40 pleasure boats	40/4	10
	9 "6-pack" licensed	9x2	18
	FishMonster Max - 49	49/3	16.33
	Parking		<u>44.33 parking spaces</u>

The remaining two spaces in the increase in parking variance are related to 226 sf of gym proposed and 672 sf of restaurant storage proposed. The storage space and gym proposed are accessory to the other primary uses on the property and are not open to the public. As the uses and closed to the public, they should not require additional parking. However, the said proposed areas are included for the purposes of the calculation of this request for parking variance.

The restaurant storage space is calculated as warehousing requiring one space per 600 square feet ($672/600=1.12$ spaces). The gym is calculated as office space requiring one space per 300 square feet ($226/300=0.75$ spaces).

Regardless of the treatment of the gym and restaurant storage space, the proposed renovation decreases the total parking required for the Property compared to the current development:

CURRENTLY EXISTING

Total Parking per Code	
Restaurants	391.67
Marina	44.33
Retail	15.76
	<u>451.76</u>
	round up to 452 parking spaces

PROPOSED (gym and restaurant storage not open to public do require parking)

Total Parking per Code	
Restaurants	399.13
Marina	44.33
Retail	2.42
Residential	2
Gym (226 sf/300)	0.75
Rest. Storage (672 sf/600)	1.12
	<u>449.75</u>
	round up to 450 parking spaces

PROPOSED (gym and restaurant storage not open to public and accessory to other uses do not require parking)

Total Parking per Code

Restaurants	399.13
Marina	44.33
Retail	2.42
Residential	2
	<hr/>
	447.88
	round up to 448 parking spaces

As shown above, when using the most expansive interpretation, the parking required for the Property as proposed is improved by 2 parking spaces compared to the existing situation.¹

Residential Units Within 100-feet of Mean High Water

Section 122-717 of the LDRs places restrictions within 100-feet of the mean high-water line in the HRCC-2 zoning district. Applicant requests a variance to permit the conversion of the existing commercial space to two residential units 47-feet from mean high water (bedrooms 93-feet from mean high water). Please see attached site plan showing the measurement from mean high water. Please note that the residential units proposed are proposed in the exact location that the existing commercial area is and is no nearer to mean high water.² The Property has received two Building Permit Allocations pursuant to Resolution 2022-27.

Applicant respectfully requests that the variance be granted. Thank you for your consideration and assistance, and please do not hesitate to contact me with any questions.

Sincerely,


Anthony J. Davila

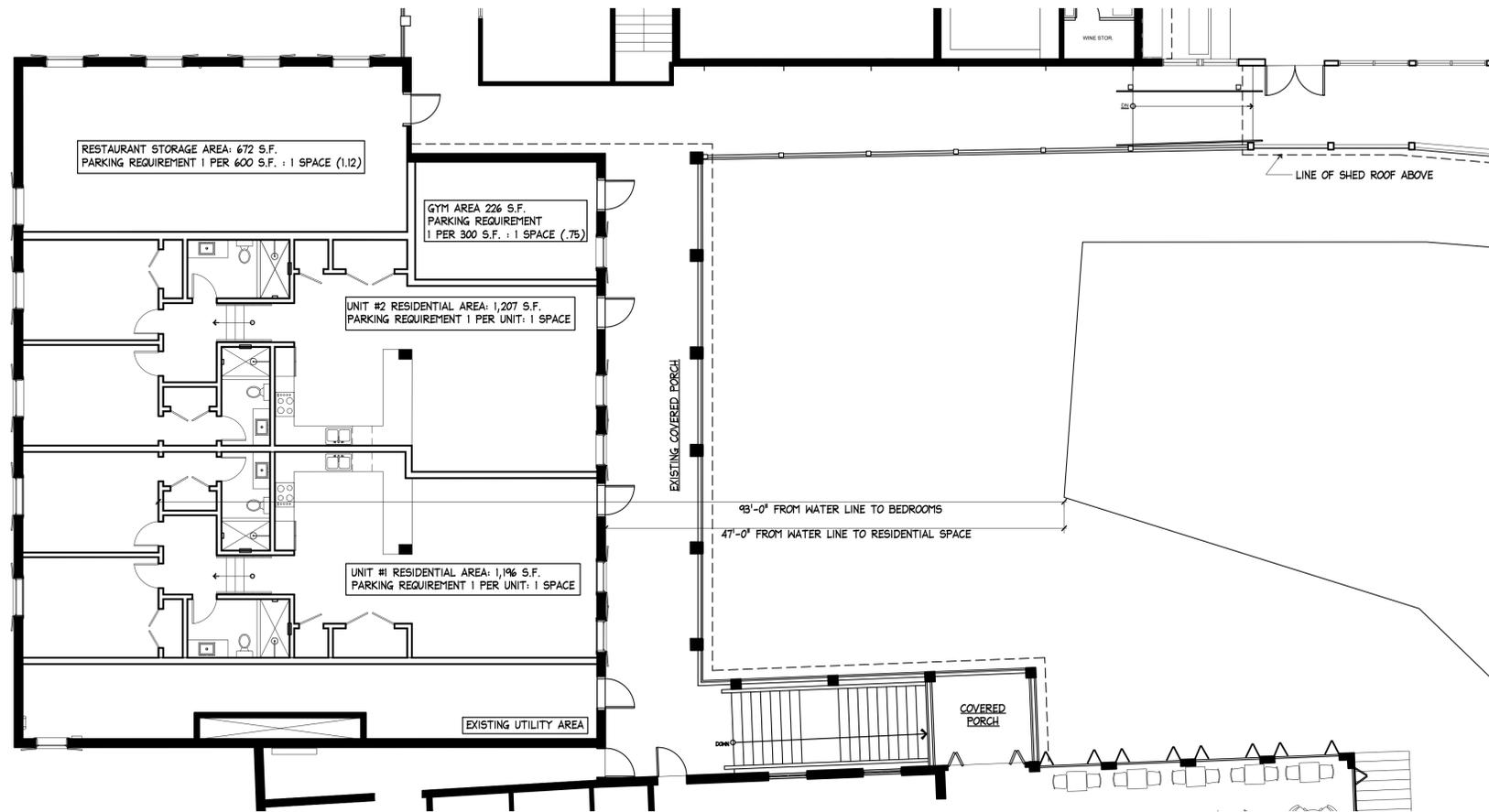
BWS/AJD/bg

Enclosures

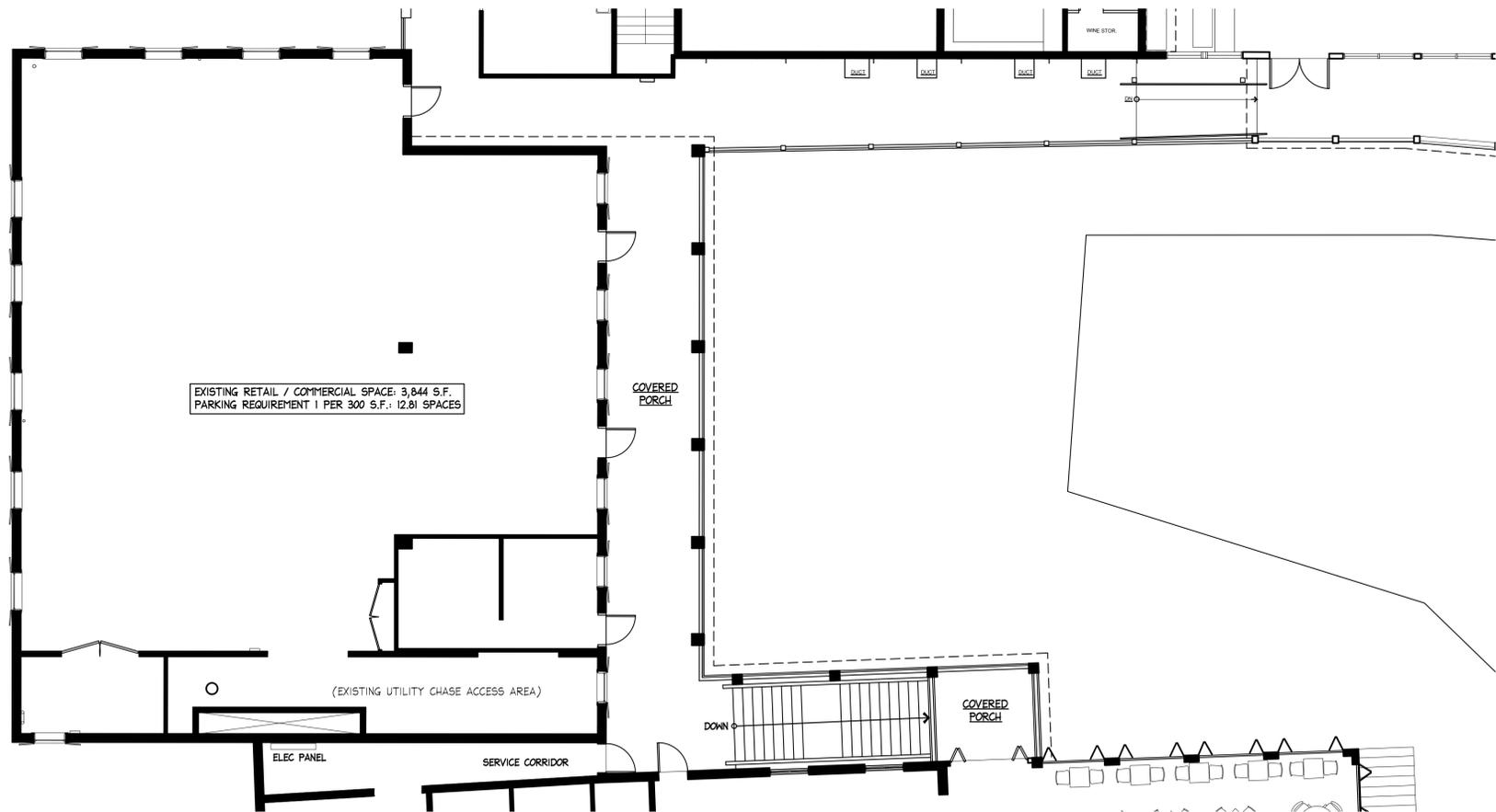
¹ The City Commission on August 16, 2022 approved an Ordinance amending the Land Development Regulations to clarify that no variance is needed when a nonconforming condition is improved. The proposed renovation improves the nonconforming parking at the Property and therefore will not require a variance once the Ordinance is effective.

² Applicant reserves the right to permit the proposed renovations under a change in nonconforming use (non-water-dependent commercial retail) to another (residential) where there is no increase in intensity pursuant to Section 122-32(e) of the LDRs.

700 FRONT STREET PARKING		
CURRENTLY		
TOTAL PARKING PER CODE		
RESTAURANTS	391.67	
MARINA	44.33	
RETAIL	15.76	
	451.76	ROUND UP TO 452 PARKING SPACES
PROPOSED (Gym and restaurant storage not open to public do require parking)		
TOTAL PARKING PER CODE		
RESTAURANTS	399.13	
MARINA	44.33	
RETAIL	2.42	
RESIDENTIAL	2.00	
GYM (226 S.F./300)	0.75	
REST. STORAGE	1.12	
	449.75	ROUND UP TO 450 PARKING SPACES
PROPOSED (Gym and restaurant storage not open to public and accessory to other uses do not require parking)		
TOTAL PARKING PER CODE		
RESTAURANTS	399.13	
MARINA	44.33	
RETAIL	2.42	
RESIDENTIAL	2.00	
	447.88	ROUND UP TO 448 PARKING SPACES



2 PROPOSED SITE PLAN OF A & B MARINA RESIDENCE
A1 SCALE: 1/8"=1'-0"



1 EXISTING SITE PLAN OF A & B MARINA RESIDENCE
A1 SCALE: 1/8"=1'-0"

A & B MARINA COMPLEX
KEY WEST, FLORIDA

410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License AAC002022

Bender & Associates
ARCHITECTS
p.a.

Project No: 2202
Date: 01/07/2022

A1

700 Front Street, VAR



APPLICATION

SMITH/HAWKS
ATTORNEYS AT LAW

RECEIVED BY: JORDAN MANNIX-LACHNER
ON: 7/15/2022

Barton W. Smith, Esq.
Anthony J. Davila, Esq.
Telephone: (305) 296-7227
Facsimile: (305) 296-8448
Email: Bart@smithhawks.com
AJ@smithhawks.com

VIA HAND DELIVERY

July 15, 2022

Katie Halloran, Planning Director
City of Key West Planning Department
1300 White Street
Key West, FL 33040

Re: 700 Front Street – Application for Parking Variance

Dear Katie,

Enclosed please find FOD Marina 1 LLC, Benicia Partners, LLC, and Smith Family Fund 1 LLC's (all together, the "Applicant") Application for a Variance as to off-street parking in connection with renovations proposed at 700 Front Street with Monroe County RE No. 00000210-000000 (the "Property"). The total parking variance requested is for 350 parking spaces. The renovations proposed and shown in the site plans enclosed ("Site Plans") include the removal of 4,000 square feet of existing retail floor area and repurposing the area as two residential dwelling units, an exercise room, and back of house restaurant storage related to the existing restaurants. The renovations proposed also include a 336 square foot increase in outdoor seating and/or consumption area within the footprint of an existing roof. Due to the proposed removal and repurposing of the 4,000 square feet of retail floor area, the renovation proposed will result in a four (4) parking space reduction in total parking spaces required by the land development regulations for the total development on the Property, as further explained below. No other non-conforming aspects of the Property are being altered in the proposed renovations.

Background and Current Development

A&B Lobster House has been operated as a seafood restaurant on the Property since 1947. Upon the establishment of zoning regulations, the structures and uses on the Property became significantly nonconforming and noncomplying with the HRCC-2 zoning district regulations.

The Property currently has five operating restaurants: A&B Lobster House, Alonzo's Oyster Bar, Bel Mare, White Tarpon, and Wahlburgers. Additionally, there is a 50 wet slip marina and 4,728 square feet of retail floor area.

Reduction in Nonconforming Parking

As shown in the tables below, the existing development on the Property requires four (4) more parking spaces than the Property with the proposed renovations, pursuant to the parking schedule in Section 108-572 of the Land Development regulations. The highlighted figures show the changes from existing to proposed and the basis for the reduction in the reduction in the nonconforming parking proposed.

700 Front Street <u>Existing</u> Parking Requirement per code				
Restaurants: 1 per 45 sf of seating/consumption area				
A&B				
	Berlin's	1200		
	Indoor	2514		
	Outdoor	1506		
	Total		5220 sf	
Alonzo's				
	Open Air	2,514		
	Outdoor	1727		
	Total		4241 sf	
Wahlbugers				
	Interior	933		
	Open Air	1513		
	Outdoor	1069		
	Total		3515 sf	
White Tarpon				
	Open Air	1376		
	Total		1376 sf	
Bel Mare				
	Indoor	3273		
	Total		3273 sf	
	Total All		17625 sf	
	Parking		17625/45	391.67 parking spaces
Marina: 1 per 4 wet slips				
50 wet slips				
	Parking		50/4	12.5 parking spaces
Retail: 1 per 300 sf of retail				

Treasure Shop	728				
Ship Shop	4000				
Total		4728 sf			
		4728/300	15.76 parking spaces		
Total Parking per Code					
	Restaurants		391.67		
	Marina		12.5		
	Retail		15.76		
	Total		419.93		
			round up to 420 parking spaces		

700 Front Street Proposed Parking Requirement per code					
Restaurants: 1 per 45 sf of seating/consumption area					
A&B					
	Berlin's	1200			
	Indoor	2514			
	Outdoor	1506			
	Total		5220 sf		
Alonzo's					
	Open Air	2,514			
	Outdoor	1727			
	Total		4241 sf		
Wahlbugers					
	Interior	933			
	Open Air	1513			
	Outdoor	1069			
	Total		3515 sf		
White Tarpon					
	Open Air	1376			
	Total		1376 sf		
Bel Mare					
	Indoor		3273		
	Proposed Outdoor		336		
	Total		3609 sf		
	Total All		17961 sf		

	Parking		17961/45	399.13 parking spaces		
Marina: 1 per 4 wet slips						
50 wet slips						
	Parking		50/4	12.5 parking spaces		
Retail: 1 per 300 sf of retail						
	Treasure Shop	728				
	Total		728 sf			
			728/300	2.42 parking spaces		
Residential: 1 per unit in Historic District						
	2 units			2 parking spaces		
Total Parking per Code						
		Restaurants		399.13		
		Marina		12.5		
		Retail		2.42		
		Residential		2		
				416.05		
				round down to 416 parking spaces		

As the nonconformity is being decreased and no other existing nonconformity is being increased, it is the Applicant’s position that a variance is not needed for the proposed renovations. Section 122-32(g) of the Land Development Regulations allows nonconforming structures to be improved “provided that the existing nonconformity is not further increased, nor any new conformity created.” As proved in the tables above, the parking nonconformity is being improved. This Application is not an admission that a variance is required for the renovations proposed in the Site Plans.

Standards for Considering Variances

The following is provided as written support of the standards for considering variances listed in the Application for variance:

- 1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.***

The historic development existing on the Property decades before the establishment of zoning regulations was made nonconforming by the imposition of the zoning regulations. The renovations proposed are entirely within the footprint of the current regulations and reduces noncomplying. However, total compliance as to parking is not possible given the magnitude of the noncompliance. Additionally, the Property is in the historic commercial pedestrian-oriented area where many people in the area of the Property are staying in hotels and homes near the Property and will access the Property on foot.

2. ***Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.***

The special conditions and circumstances explained above were not created by Applicant.

3. ***Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.***

Granting the variance requested will not confer Applicant special privileges denied to other properties in the same zoning district.

4. ***Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.***

The large nonconformity makes it such that alterations, repairs, and improvements require a variance even when contained entirely within the footprint of the existing development. This created a hardship in the operation and improvement of the Property.

5. ***Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.***

Only the minimum parking variance is requested to allow for the proposed renovations, which reduce the nonconformity.

6. ***Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.***

The granting of the variance will cause no harm to the public.

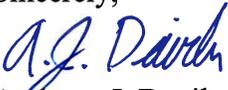
7. ***Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.***

No existing nonconforming uses of other properties shall be considered as a basis for the variance requested in this Application.

Conclusion

Applicant respectfully requests that the parking variance of 350 spaces be granted to allow the renovations that reduce the nonconformity to occur. Thank you for your consideration and assistance, and please do not hesitate to contact me with any questions.

Sincerely,



Anthony J. Davila

BWS/AJD
Enclosures

Variance Information sheet

City of Key West, Florida • Planning Department

1300 White Street • Key West, Florida 33040 • 305-809-3764 • www.cityofkeywest-fl.gov

Application Fee: \$2,625.25 / After-the-Fact: \$4,830.25

(includes \$310.00 advertising/noticing fee and \$110.25 fire review fee)

Please read the following carefully before filling out the application

This application and all required attachments should be submitted to the City Planning Department at 1300 White Street.

- Owners and applicants are notified of their scheduled Planning Board hearing date.
- Attendance at the formal public hearing is mandatory.
- Notice of Public Meeting is published in the newspaper.
- Owners of property within 300 feet of the subject property or parcels are notified by mail.
- Notice of public hearing will be posted on the property and must be left up until after the hearing.
- Variances are quasi-judicial hearings, and it is improper to speak to a Planning Board and/or Board of Adjustment member about the variance outside of the hearing.

Application Process

- Prior to submittal, the applicant will schedule a pre-application meeting with staff to review the application and suggest any modifications that may be necessary before submittal. A pre-application meeting is free of charge and should be the final step before submittal. To schedule a pre-application meeting, please call the Planning Department at (305) 809-3764.
- After submittal, the application will be reviewed by staff and additional modifications to the site plan may be necessary at that time. Any modifications within eight (8) days of the scheduled Planning Board meeting may result in the item being postponed till the following Planning Board meeting.
- The applicant will be responsible for submitting a landscape approval letter from the Urban Forestry Program Manager and a Stormwater approval letter from the Director of Engineering.
- **When the application is determined to be complete**, it will be brought forth to the Planning Board. If the application is approved, there is a 10-day appeal period.
- After the 10-day appeal period, the application will be sent to the Department of Environmental Opportunity (DEO) for rendering. The rendering period is 45 days.

Please include the following with this application:

1. A copy of the most recent warranty deed with the Book and Page numbers from the office of the Clerk of Circuit Court for Monroe County containing a legal description of the subject parcel. The application forms must be signed by all owners listed on the deed. For business/corporate ownership, please attach authorization for name of executive authorized to make the application.
2. An application fee is determined according to the attached fee schedule. Make the check payable to the City of Key West and include the site address on the memo portion of the check. Be advised that upon review by the Planning Department, additional or fewer variances may be required necessitating a different fee.
3. Sign and Sealed site plan(s) of the subject site, indicating the following:
 - a. **Existing and proposed** lot coverage including buildings, pools, spas, driveways and other walkways, patios, porches, covered areas, and decks.
 - b. Location and identification/names of existing trees of 3.5 inches diameter or greater on the property or extending over the proposed work (including access routes and stormwater areas). Please provide photos.
 - c. All proposed changes to what exist, including those which make the variance(s) necessary.
 - d. Lot dimensions on all drawings and the distance from all property lines of all existing and proposed structures.
 - e. Dimensions (**existing and proposed**) of all the items in (a) above, including the height and number of stories of the structure.
 - f. Parking spaces and dimensions (**existing and proposed**).
 - g. Easements or other encumbrances on the property.
4. A survey of the property no more than ten years old
5. Elevation drawings or proposed structures, indicating finished height above established grade as measured from crown of road
6. Floor Plans of existing and proposed development
7. Stormwater management plan
8. PDF version of application and all required materials submitted to the Planning Department

The attached Verification and Authorization Forms must be notarized. This can be done at City Hall or the Planning Department. Identification is required. An out-of-state notarization is acceptable, if necessary.

Make sure that the applicable application and authorization forms are signed by all people listed as owners on the recorded Warranty Deed.

Be advised that the City will not grant a variance unless the City Impact Fees of sewer and solid waste services are paid in full.

For assistance, please call the Planning Department at (305) 809-3764.

Application for Variance

City of Key West, Florida • Planning Department

1300 White Street • Key West, Florida 33040 • 305-809-3764 • www.cityofkeywest-fl.gov

Application Fee: \$2,625.25 / After-the-Fact: \$4,830.25

(includes \$310.00 advertising/noticing fee and \$110.25 fire review fee)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3764.

PROPERTY DESCRIPTION:

Site Address: 700 Front Street, Key West, Florida 33040

Zoning District: HRCC-2

Real Estate (RE) #: 00000210-000000

Property located within the Historic District? Yes No

APPLICANT: Owner Authorized Representative

Name: SMITH HAWKS, PL Mailing Address: 138 Simonton Street

City: Key West State: Florida Zip: 33040

Home/Mobile Phone: _____ Office: (305) 296-7227 Fax: _____

Email: Bart@SmithHawks.com; Brandi@SmithHawks.com; AJ@SmithHawks.com

PROPERTY OWNER: (if different than above)

Name: FOD Marina 1 LLC, Benicia Partners, LLC, and Smith Family Fund 1 LLC Mailing Address: 138 Simonton Street

City: Key West State: FL Zip: 33040

Home/Mobile Phone: c/o Agent Office: _____ Fax: _____

Email: c/o Agent

Description of Proposed Construction, Development, and Use:

Converting 4,000 sf of retail area to two (2) residential units and expanding outdoor deck 336 square feet in the footprint of existing roof.

List and describe the specific variance(s) being requested:

Parking Variance of 351 parking spaces

Because of the total consumption area of the restaurants being 17,625 sf, the 50-slip marina, and 4,728 sf of retail area, the property currently requires 420 parking spaces. The property currently has 66 parking spaces. The proposal will reduce the parking required on the property by 4 parking spaces, or 416 total.

Are there any easements, deed restrictions or other encumbrances attached to the property? Yes No

If yes, please describe and attach relevant documents: _____

Will any work be within the dripline (canopy) of any tree on or off the property?
 If yes, provide date of landscape approval, and attach a copy of such approval.

Yes No

Is this variance request for habitable space pursuant to Section 122-1078?

Yes No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. *provide square footages and percentages.*

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	HRCC-2			
Flood Zone	AE9			
Size of Site	53,552 sf			
Height				
Front Setback	10'	0		
Side Setback	7.5'	0		
Side Setback				
Street Side Setback				
Rear Setback	15'	4.2'		
F.A.R	0.5	0.68	0.63	
Building Coverage	26,776 sf (max 50%)	23,082 sf		
Impervious Surface	32,131 sf (max 60%)	45,399 sf		
Parking	420 (existing); 416 (proposed)	66	66	350
Handicap Parking	3	3		
Bicycle Parking	7	12		
Open Space/ Landscaping	10,710 (20%)%	6,960		
Number and type of units		0	2	
Consumption Area or Number of seats	N/A	17,625	17,961	

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at <http://www.municode.com/Library/FL/Key West> under Subpart B.

***Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.**

Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met: Please print your responses.

- 1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures, or buildings in the same zoning district.

Please see attached letter.

- 2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

Please see attached letter.

- 3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings, or structures in the same zoning district.

Please see attached letter.

- 4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

Please see attached letter.

- 5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

Please see attached letter.

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

Please see attached letter.

7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Please see attached letter.

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

REQUIRED SUBMITTALS: All of the materials listed below must be submitted in order to have a complete application. Applications will not be processed until all materials are provided. Please submit one (1) paper copy of the materials to the Planning Department and one (1) electronic version in PDF format.

- Correct application fee, made payable to "City of Key West."
- Pre-application meeting form **TAB 1**
- Notarized verification form signed by property owner or authorized representative. **TAB 2**
- Notarized authorization form signed by property owner, if applicant is not the owner. **TAB 3**
- Copy of recorded warranty deed **TAB 4**
- Monroe County Property record card **TAB 5**
- Signed and sealed survey (Survey must be within 10 years from submittal of this application) **TAB 6**
- Sign and sealed site plan (sign and sealed by an Engineer or Architect) **TAB 7**
- Floor plans **TAB 8**
- N/A** Any additional supplemental information necessary to render a determination related to the variance request

700 Front Street, VAR



AUTHORIZATION & VERIFICATION FORMS



**City of Key West
Planning Department**

Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, MATTHEW STRUNK as
Please Print Name of person with authority to execute documents on behalf of entity

AUTHORIZED PERSON of **FOD MARINA 1, LLC**
Name of office (President, Managing Member) *Name of owner from deed*
authorize SMITH HAWKS, PL / BARTON W. SMITH, ESQ.
ANTHONY J. DAVILA, ESQ.
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

Matthew Strunk
Signature of person with authority to execute documents on behalf of entity owner

Subscribed and sworn to (or affirmed) before me on this 4/23/21
Date

by Matthew Strunk
Name of person with authority to execute documents on behalf of entity owner

He She is personally known to me or has presented _____ as identification.

Marie Cerulli
Notary's Signature and Seal

Marie Cerulli
Name of Acknowledger typed, printed or stamped

MARIE CERULLI
NOTARY PUBLIC-STATE OF NEW YORK
No. 01CE5015137
Qualified in Suffolk County
My Commission Expires 07-12-2023

Commission Number, if any



**City of Key West
Planning Department**

Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Barton W. Smith as
Please Print Name of person with authority to execute documents on behalf of entity

Manager of Smith Family Fund 1, LLC
Name of office (President, Managing Member) Name of owner from deed

authorize Smith Hawks, PL
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]
Signature of person with authority to execute documents on behalf of entity owner

Subscribed and sworn to (or affirmed) before me on this 30th day of April, 2021
Date

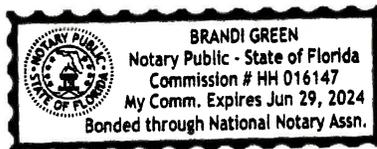
by Barton W. Smith
Name of person with authority to execute documents on behalf of entity owner

He/She is personally known to me or has presented _____ as identification.

Brandi Green
Notary's Signature and Seal

Brandi Green
Name of Acknowledger typed, printed or stamped

HH 016147
Commission Number, if any





**City of Key West
Planning Department
Verification Form**
(Where Applicant is an entity)

I, BARTON W. SMITH, in my capacity as MANAGING PARTNER
(print name) (print position; president, managing member)

of SMITH HAWKS, PL
(print name of entity)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

700 FRONT STREET, KEY WEST, FLORIDA 33040
Street address of subject property

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that I am the Authorized Representative of the property involved in this application; that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Signature of Applicant

Subscribed and sworn to (or affirmed) before me on this JULY 15, 2022 by

date

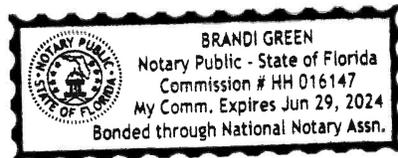
BARTON W. SMITH, as Managing Partner of SMITH HAWKS, PL

Name of Applicant

He/She is personally known to me or has presented _____ as identification.

Notary's Signature and Seal

Brandi Green
Name of Acknowledger typed, printed or stamped



HH 016147
Commission Number, if any

700 Front Street, VAR



BOUNDARY SURVEY

Line #	Length	Direction
L1	8.00'	MEAS N33°46'42"W
L2	1.71'	MEAS S68°59'08"W
L3	16.05'	MEAS N33°56'35"W
L4	11.87'	MEAS N8°40'23"W
L5	9.77'	MEAS N33°32'13"W
L6	16.46'	MEAS N55°11'23.0"W
L7	3.82'	MEAS S66°47'54"W
L8	8.00'	MEAS N68°14'15"W
L9	32.04'	MEAS N27°11'56"W
L10	5.25'	MEAS N56°24'25"W
L11	3.50'	MEAS N76°23'25"W
L12	5.60'	MEAS S78°35'42"W
L13	7.66'	MEAS S65°49'10"W
L14	23.34'	MEAS N85°11'00"W
L15	7.81'	MEAS S66°07'49"W
L16	3.10'	MEAS N12°27'49"E
L17	20.44'	MEAS N34°49'48"W
L18	4.87'	MEAS N18°55'53"W
L19	37.63'	MEAS N54°40'00"E
L20	26.20'	MEAS N61°47'47"E
L21	9.12'	MEAS N38°24'37"E
L22	4.21'	MEAS N35°53'1"E
L23	4.29'	MEAS N25°52'17"W
L24	55.74'	MEAS N33°59'20"W
L25	2.80'	MEAS S88°19'59"W
L26	3.39'	MEAS S73°40'41"W
L27	63.99'	MEAS S55°51'04"W

MAP OF ALTA / NSPS LAND TITLE SURVEY

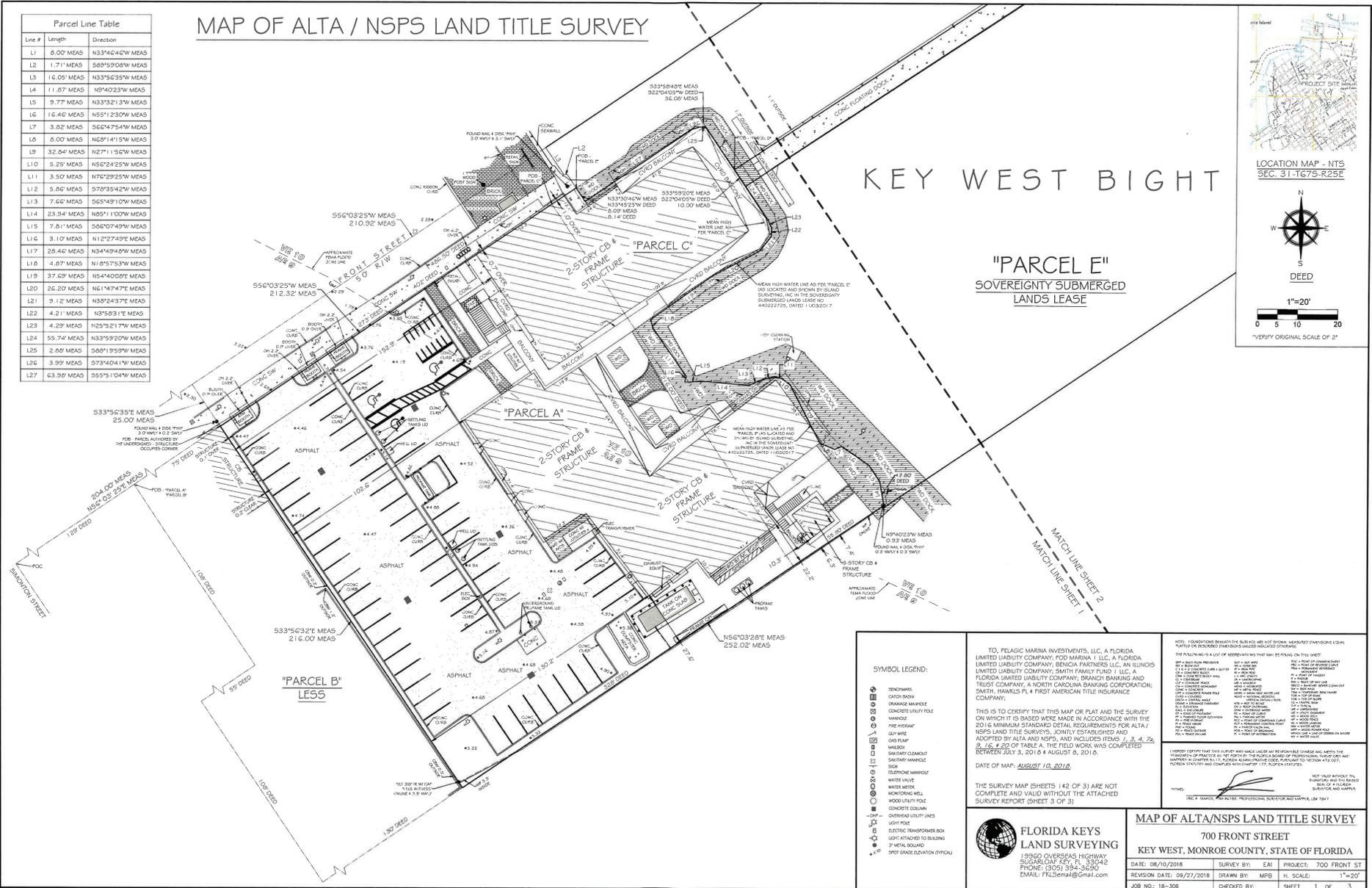
KEY WEST BIGHT

"PARCEL E" SOVEREIGNTY SUBMERGED LANDS LEASE

LOCATION MAP - NTS
SEC. 31-167S-R25E

DEED

1"=20'
*VERIFY ORIGINAL SCALE OF 2"



SYMBOL LEGEND:

- TENCHMARK
- CATCH BASIN
- ▭ STAINCE MANHOLE
- CONCRETE UTILITY POLE
- MANHOLE
- "FREE HOLE"
- 60" WIRE
- GAS TAP
- WELDER
- SECONDARY CLEANOUT
- STAINCE MANHOLE
- SIGN
- TELEPHONE MANHOLE
- WATER VALVE
- WATER METER
- MONITORING WELL
- WOOD UTILITY POLE
- CONCRETE COLUMN
- OVERHEAD UTILITY LINES
- JOINT POLE
- ELECTRIC TRANSFORMER BOX
- USE ATTACHED TO BUILDING
- 3" METAL BOUNDARY
- SPOT GRADE ELEVATION (MPLA)

TO, PELAGIC MARINA INVESTMENTS, LLC, A FLORIDA LIMITED LIABILITY COMPANY; FOD MARINA I, LLC, A FLORIDA LIMITED LIABILITY COMPANY; BENICIA PARTNERS LLC, AN ILLINOIS LIMITED LIABILITY COMPANY; SMITH FAMILY FUND I, LLC, A FLORIDA LIMITED LIABILITY COMPANY; BRANCH BANKING AND TRUST COMPANY, A NORTH CAROLINA BANKING CORPORATION; SMITH, HANKS, FL & FIRST AMERICAN TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 3, 4, 7a, 9, 16, & 20 OF TABLE A. THE FIELD WORK WAS COMPLETED BETWEEN JULY 3, 2018 & AUGUST 9, 2018.

DATE OF MAP: August 10, 2018

THE SURVEY MAP (SHEETS 1 & 2 OF 3) ARE NOT COMPLETE AND VALID WITHOUT THE ATTACHED SURVEY REPORT (SHEET 3 OF 3)

NOTE: FOUNDATIONS BENEATH THE BUILDING ARE NOT SURVEY MEASURED UNLESS INDICATED OTHERWISE.
THE FOLLOWING IS A LIST OF APPROXIMATIONS THAT MAY BE FOUND ON THIS SHEET:
 1. ALL POINTS MEASURED BY THE SURVEYOR ARE SHOWN AS MEASURED UNLESS OTHERWISE INDICATED.
 2. ALL POINTS MEASURED BY THE SURVEYOR ARE SHOWN AS MEASURED UNLESS OTHERWISE INDICATED.
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 10. ALL POINTS MEASURED BY THE SURVEYOR ARE SHOWN AS MEASURED UNLESS OTHERWISE INDICATED.

I HEREBY CERTIFY THAT THE SURVEY WAS MADE UNDER MY PERSONAL SUPERVISION AND WITH THE NECESSARY QUALITY CONTROL MEASURES TO INSURE ACCURACY AND THAT I AM A LICENSED SURVEYOR IN THE STATE OF FLORIDA AND THAT I AM THE SURVEYOR OF RECORD FOR THIS SURVEY.

DATE: 08/10/2018 SURVEY BY: EAJ PROJECT: 700 FRONT ST
 REVISION DATE: 09/27/2018 DRAWN BY: MPB H. SCALE: 1"=20'
 JOB NO.: 18-306 CHECKED BY: SHEET 1 OF 3

FLORIDA KEYS LAND SURVEYING
 18900 OVERSEAS HIGHWAY
 SUGAR CREEK KEY, FL 33042
 PHONE: (305) 394-3690
 EMAIL: FKL5mail@gmail.com

MAP OF ALTA/NSPS LAND TITLE SURVEY
 700 FRONT STREET
 KEY WEST, MONROE COUNTY, STATE OF FLORIDA

A & B MARINA COMPLEX

Key West Florida 33040
(PROPOSED RESIDENTIAL UNITS
& DECK MODIFICATION)

<p>SITE MAP - KEY WEST</p> <p>SITE LOCATION: A&B MARINA COMPLEX KEY WEST, FL 33040</p>	<p>PROJECT DIRECTORY</p> <p>PROJECT: A&B RESIDENTIAL UNITS ARCHITECT'S PROJECT No: ----</p> <p>CONTACT: Address: Tel: Fax:</p> <p>ARCHITECT: BENDER & ASSOCIATES ARCHITECTS, P.A. Address: 40 Angela Street, Key West, FL 33040 Tel: (305) 296-1847 Fax: (305) 296-2727 E-mail: Newark@benderarchitects.com Architect: Steven Barker</p>	<p>GENERAL NOTES</p> <ol style="list-style-type: none"> All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include: FLORIDA BUILDING CODE - Building 2005 EDITION FLORIDA BUILDING CODE - Energy 2005 EDITION FLORIDA BUILDING CODE - Healthcare 2005 EDITION FLORIDA BUILDING CODE - Parking 2005 EDITION FLORIDA BUILDING CODE - Fuel Use 2005 EDITION FLORIDA BUILDING CODE - Healthcare 2005 EDITION FLORIDA BUILDING CODE - Energy Conservation 2005 EDITION NATIONAL ELECTRICAL CODE 2005 EDITION NFPA 704 LIFE SAFETY CODE for Florida Publications FLORIDA FIRE PREVENTION CODE 2005 EDITION This project is designed in accordance with A.S.C.E. 7-10 to resist wind loads of 100 mph (3 second gust) and in accordance with ASCE 24-14 Flood Resistant Design and Construction. Prior to submitting a bid, verify all existing conditions and dimensions on the sheets, and also after survey, but prior to the start of construction. Conditions and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for grading. Rock and debris will not be allowed. Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement. Dimensions shall take precedence over notes. All new utilities shall be underground. Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interferences of work with related trades. After completion of construction remove all debris and construction equipment. Restore site to original condition. Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction. Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris. Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes. <p>FLORIDA ADMINISTRATIVE CODE</p> <p>602-18.003 Use of Seal: The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be retained to obligate the partner or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specification, drawing, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 602-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof. <small>Specific Authority: 48-205, 48-221 F.S. Law Implemented: 48-205, 48-228(1)(a), (b), (c), 48-228(1)(d), (e), (f), (g), (h), (i) F.S. History-New 12-23-'79, Formerly 21B-16.03, Amended 7-27-'89, Formerly 21B-16.05, Amended 11-21-'94, 4-16-00.</small></p>																																																																																																																																																	
<p>ABBREVIATIONS</p> <table border="0"> <tr><td>AB</td><td>ANCHOR BOLT</td><td>MIN</td><td>MINIMUM</td></tr> <tr><td>ABC</td><td>AGGREGATE BASE COURSE</td><td>NTS</td><td>NOT TO SCALE</td></tr> <tr><td>A/C</td><td>AIR CONDITIONING</td><td>OA</td><td>OVERALL</td></tr> <tr><td>B/LG</td><td>BLOCKING</td><td>OC</td><td>ON CENTER</td></tr> <tr><td>BUR</td><td>BUILT UP ROOF</td><td>OD</td><td>OUTSIDE DIAMETER</td></tr> <tr><td>CAB</td><td>CABINET</td><td>PCF</td><td>POUNDS PER CUBIC FOOT</td></tr> <tr><td>CR</td><td>CERAMIC</td><td>PL</td><td>PROPERTY LINE</td></tr> <tr><td>CL</td><td>CENTER LINE</td><td>PLAN</td><td>PLASTIC LAMINATE</td></tr> <tr><td>CLG</td><td>CEILING</td><td>PLF</td><td>POUNDS PER LINEAL FOOT</td></tr> <tr><td>CMU</td><td>CONCRETE MASONRY UNIT</td><td>PT</td><td>POINT</td></tr> <tr><td>COL</td><td>COLUMN</td><td>PT</td><td>CCA PRESSURE TREATED</td></tr> <tr><td>CONC</td><td>CONCRETE</td><td>PT</td><td>PANEL</td></tr> <tr><td>DBL</td><td>DOUBLE</td><td>PVC</td><td>POLYVINYLCHLORIDE</td></tr> <tr><td>DIAG</td><td>DIAGONAL</td><td>RADIS (OR) RISER</td><td>RADIUS (OR) RISER</td></tr> <tr><td>DN</td><td>DOWNPOUT</td><td>R/A</td><td>RETURN AIR</td></tr> <tr><td>DRL</td><td>DETAIL</td><td>REBAR</td><td>STEEL REINFORCING BAR</td></tr> <tr><td>DRW</td><td>DRAWER</td><td>REFR.</td><td>REFRIGERATOR</td></tr> <tr><td>EJ</td><td>EXPANSION JOINT</td><td>SF</td><td>SQUARE FOOT (FEET)</td></tr> <tr><td>EL</td><td>ELEVATION</td><td>SS</td><td>STAINLESS STEEL</td></tr> <tr><td>ELEC</td><td>ELECTRIC</td><td>SPEC</td><td>SPECIFICATION</td></tr> <tr><td>EQ</td><td>EQUAL</td><td>TYP</td><td>TYPICAL</td></tr> <tr><td>ESH</td><td>EXHAUST</td><td>UNT</td><td>UNLESS NOTED OTHERWISE</td></tr> <tr><td>FV</td><td>FIELD VERIFY</td><td>VCT</td><td>VINYL COMPOSITION TILE</td></tr> <tr><td>GALV</td><td>GALVANIZED</td><td>VERT</td><td>VERTICAL</td></tr> <tr><td>GN</td><td>GALVANIZED IRON</td><td>W</td><td>WOOD</td></tr> <tr><td>HRZ</td><td>HORIZONTAL</td><td>W/F</td><td>WELDED WIRE FABRIC</td></tr> <tr><td>HDN</td><td>HARDWARE</td><td>WH</td><td>WATER HEATER</td></tr> <tr><td>HVAC</td><td>HEATING VENTILATING & AIR CONDITIONING</td><td>W/O</td><td>WITHOUT</td></tr> <tr><td>FC</td><td>FACE OF CONCRETE</td><td></td><td></td></tr> <tr><td>FG</td><td>FACE OF STUD</td><td></td><td></td></tr> <tr><td>FIN</td><td>FINISH</td><td></td><td></td></tr> <tr><td>FE</td><td>FIRE EXTINGUISHER</td><td></td><td></td></tr> <tr><td>FND</td><td>FOUNDATION</td><td></td><td></td></tr> <tr><td>FTG</td><td>FOOTING</td><td></td><td></td></tr> <tr><td>ID</td><td>INSIDE DIAMETER</td><td></td><td></td></tr> <tr><td>MAX</td><td>MAXIMUM</td><td></td><td></td></tr> </table>	AB	ANCHOR BOLT	MIN	MINIMUM	ABC	AGGREGATE BASE COURSE	NTS	NOT TO SCALE	A/C	AIR CONDITIONING	OA	OVERALL	B/LG	BLOCKING	OC	ON CENTER	BUR	BUILT UP ROOF	OD	OUTSIDE DIAMETER	CAB	CABINET	PCF	POUNDS PER CUBIC FOOT	CR	CERAMIC	PL	PROPERTY LINE	CL	CENTER LINE	PLAN	PLASTIC LAMINATE	CLG	CEILING	PLF	POUNDS PER LINEAL FOOT	CMU	CONCRETE MASONRY UNIT	PT	POINT	COL	COLUMN	PT	CCA PRESSURE TREATED	CONC	CONCRETE	PT	PANEL	DBL	DOUBLE	PVC	POLYVINYLCHLORIDE	DIAG	DIAGONAL	RADIS (OR) RISER	RADIUS (OR) RISER	DN	DOWNPOUT	R/A	RETURN AIR	DRL	DETAIL	REBAR	STEEL REINFORCING BAR	DRW	DRAWER	REFR.	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TITLES</p> <p>NORTH ARROWS</p> <p>BUILDING SECTION</p> <p>WALL SECTION</p> <p>CUT DETAIL INDICATOR</p> <p>BLOWN-UP DETAIL INDICATOR (PERTAINS TO DETAIL PLAN INDICATOR ON SMALLER SCALE PLAN)</p> <p>ROOM NUMBER INDICATOR (SHOWN BESIDE OR UNDER ROOM NAME)</p> <p>DOOR OPENING INDICATOR (EACH OPENING SCHEDULED SEPARATELY)</p> <p>WINDOW INDICATOR (EACH WINDOW TYPE & SIZE SCHEDULED)</p> <p>PARTITION/WALL TYPE INDICATOR (COMMERCIAL & INSTITUTIONAL PROJECTS)</p>	<p>MATERIAL DESIGNATIONS</p> <p>CONCRETE MASONRY UNITS IN PLAN CONC., STUCCO, PLASTER IN ELEV./POURED CONC. IN PLAN METAL IN ELEVATION METAL IN SECTION FINISH WOOD IN ELEV. & IN SECTION DIMENSION LUMBER IN SECTION (CONTINUOUS) WOOD BLOCKING IN SECTION (DISCONTINUOUS) GYPSUM HALL BOARD IN SECTION (LARGE SCALE) EARTH, NATURAL SUBSTRATE GRAVEL, AGGREGATE BASE COURSE, FILL FIBERGLASS BATT INSULATION RIGID INSULATION</p> <p>PARTITIONS & WALLS</p> <p>CONCRETE MASONRY UNITS POURED CONCRETE WOOD FRAME METAL STUDS EXISTING CONSTRUCTION TO REMAIN EXISTING CONSTRUCTION TO BE DEMOLISHED</p>	<p>SHEET INDEX</p> <p>SHEET INDEX</p> <p>C COVER A&B MARINA RESIDENTIAL UNITS</p> <p>Q1 SURVEY AND PROJECT STATISTICS A1 SITE PLAN A&B MARINA COMPLEX A2 PROPOSED DEMOLITION PLAN A3 PROPOSED RESIDENTIAL UNIT FLOOR PLANS A4 INTERIOR ELEVATIONS UNIT #1 A5 INTERIOR ELEVATIONS UNIT #2 A6 FLOOR / CEILING DETAILS A7 FINISH SCHEDULES A8 PROPOSED MECHANICAL PLAN A9 PROPOSED PLUMBING PLAN A10 PROPOSED ELECTRICAL PLAN A11 ELECTRICAL, SCHEDULES, RISER DIAGRAM A12 LIFE SAFETY PLAN</p> <p>A&B MARINA DECK MODIFICATION (SEE PAGES)</p> <p>A11 SITE PLAN DECK MODIFICATION A21 PROPOSED PLANS AND SECTIONS A31 DECK DETAILS A41 GENERAL STRUCTURAL NOTES</p>
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A & B MARINA COMPLEX
KEY WEST, FLORIDA

410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1847
Facsimile (305) 296-2727
Florida License AKC0000622

Bender & Associates
ARCHITECTS
P.A.

Project No: 2202

Date: 03/17/2022

C

700 Front Street, VAR



WARRANTY DEED

PREPARED BY:
Keith A Ross, Esq.
Levenfeld Pearlstein, LLC
2 North LaSalle Street
Suite 1300
Chicago, Illinois 60602

Doc# 2188428 09/27/2018 3:09PM
Filed & Recorded in Official Records of
MONROE COUNTY KEVIN MADOK

09/27/2018 3:09PM
DEED DOC STAMP CL: Brit \$165,620.00

Doc# 2188428
Bk# 2929 Pg# 260

WHEN RECORDED RETURN TO:
Bryan Hawks, Esq.
Smith Hawks, PL
138 Simonton
Key West, FL 33040

25,660,000

(Above Space for Recorder's use only)

Parcel Identification Number: 00000210-000000

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED made effective the 17th day of SEPTEMBER, 2018, made by and between Bayhaven Enterprises, L.C., a Florida limited liability company, whose principal address is 700 Front Street, Key West, Florida 33040, hereinafter called the Grantor, to FOD Marina 1 LLC, a Florida limited liability company, as to an undivided 50% interest, Benicia Partners, LLC, an Illinois limited liability company, as to an undivided 21.5% interest and Smith Family Fund 1 LLC, a Florida limited liability company, as to an undivided 28.5% interest, whose principal addresses are respectively 7009 Shrimp Road, Suite 4, Key West, FL 33040, 10 LaSalle #2660, Chicago, IL 60603 and 10 LaSalle #2660, Chicago, IL 60603, hereinafter collectively called the Grantee:

WITNESSETH, That the Grantor, for and in consideration of the sum of Ten and no/100 Dollars (\$10.00), receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and conforms unto the Grantee, all that certain land situate in Monroe County, Florida and legally described on Exhibit A attached hereto and made a part hereof (the "Property"), subject to (i) all real estate taxes and assessments not yet due and payable; (ii) all easements, covenants, conditions, restrictions and other matters of record; (iii) all unrecorded leases; and (iv) all matters that are or would be shown on an accurate plat of survey of the real estate conveyed pursuant to this Special Warranty Deed.

The Grantor hereby covenants with the Grantee that it is lawfully seized of the Property in fee simple; that it has good right and lawful authority to sell and convey the Property; that it hereby fully warrants the title to the Property and will defend the same against the lawful claims of all persons claiming by, through or under said Grantor, but against none other.

[Signatures begin on next page]

IN WITNESS WHEREOF, Grantor has executed this Special Warranty Deed as of the date first set forth above.

WITNESS:

GRANTOR:

Signed, sealed and delivered in the presence of:

Bayhaven Enterprises, L.C.,
a Florida limited liability company

By: Cindy Church
Printed Name: CINDY CHURCH

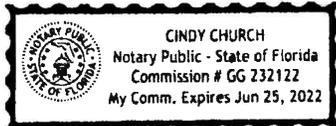
By: William Ashley Smith
William Ashley Smith, President

By: Alicia A. Griffith
Printed Name: ALICIA A. GRIFFITH

STATE OF FLORIDA)
) ss.
COUNT OF MONROE)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, do hereby certify that William Ashley Smith, President of Bayhaven Enterprises, L.C., a Florida limited liability company, who is personally known to me to be the same person whose name is subscribed to the foregoing instrument in as such capacity, appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his own free and voluntary act and as the free and voluntary act of said entity, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal, this 24 day of September 2018.



(Seal)

Cindy Church
NOTARY PUBLIC

My Commission Expires: 6/25/22

EXHIBIT A

LEGAL DESCRIPTION

PARCEL A: IN THE CITY OF KEY WEST, MONROE COUNTY, FLORIDA, AND BEING PART OF LOT 1, SQUARE 5, ACCORDING TO THE MAP OF SAID CITY OF KEY WEST, COMMENCING AT A POINT 129 FEET FROM THE CORNER OF FRONT AND SIMONTON STREETS AND RUNNING THENCE IN A NORTHEASTERLY DIRECTION 273 FEET TO THE WATERS AND HARBOR OF KEY WEST; THENCE ALONG THE WATERS OF SAID ISLAND IN A SOUTHEASTERLY DIRECTION 216 FEET; THENCE IN A SOUTHWESTERLY DIRECTION 328 FEET; THENCE IN A NORTHWESTERLY DIRECTION 108 FEET; THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION 55 FEET; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION 108 FEET TO THE POINT OF BEGINNING.

EXCEPTING:

PARCEL B:

COMMENCING AT A POINT ON FRONT STREET WHICH IS 129 FEET NORTHEASTERLY FROM THE SOUTHEASTERLY CORNER OF FRONT AND SIMONTON STREETS, AND RUNNING THENCE IN A NORTHEASTERLY DIRECTION 75 FEET; THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION AND PARALLEL WITH SIMONTON STREET 216 FEET; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION AND PARALLEL WITH FRONT STREET 130 FEET; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION AND PARALLEL WITH SIMONTON STREET 108 FEET; THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION AND PARALLEL WITH FRONT STREET 55 FEET; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION AND PARALLEL WITH SIMONTON STREET 108 FEET OUT TO THE POINT OR PLACE OF BEGINNING.

TOGETHER THE FOLLOWING DESCRIBED PROPERTY:

PARCEL C: A PARCEL OF FILLED SOVEREIGNTY SUBMERGED LANDS IN SECTION 31, TOWNSHIP 67 SOUTH, RANGE 25 EAST, CITY OF KEY WEST, MONROE COUNTY, FLORIDA, LYING IN KEY WEST BIGHT AND ADJOINING LOT 1, SQUARE 5, ACCORDING TO THE MAP OF SAID CITY OF KEY WEST AS RECORDED IN O.R. BOOK 524, PAGES 4 AND 5, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED BY "METES AND BOUNDS" AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF SOUTHEASTERLY RIGHT-OF-WAY LINE OF FRONT STREET WITH THE NORTHEASTERLY RIGHT-OF-WAY LINE OF SIMONTON STREET AS SHOWN ON SAID MAP; THENCE NORTH 56°03'25" EAST ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE OF FRONT STREET FOR 402.00 FEET TO THE MOST NORTHERLY CORNER OF SAID LOT 1, SQUARE 5, AND THE POINT OF BEGINNING OF THE HEREINAFTER DESCRIBED PARCEL; THENCE CONTINUE NORTH 56°03'25" EAST ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE FOR 13.00 FEET TO AN INTERSECTION WITH THE MEAN HIGH WATER LINE AS LOCATED BY POST, BUCKLEY, SCHUH & JERNIGAN, INC., ON NOVEMBER 1, 1983, SAID INTERSECTION BEING ON THE OUTSIDE FACE OF AN EXISTING STEEL/CONCRETE BULKHEAD; THENCE MEANDER SAID MEAN HIGH WATER LINE FOR THE FOLLOWING TWENTY-SEVEN (27) COURSES (THE FIRST 23 COURSES BEING COINCIDENT WITH THE OUTSIDE FACE OF SAID BULKHEAD):

(1) S 33° 53' 14" E FOR 9.29 FEET; (2) N 56° 52' 00" E FOR 19.11 FEET; (3) N 56° 36' 14" E FOR 21.80 FEET (4) N 57° 03' 46" E FOR 29.23 FEET; (5) S 34° 35' 53" E FOR 31.92 FEET; (6) S 31° 27' 12" E FOR 24.03 FEET; (7) S 26° 13' 19" E FOR 5.33 FEET, (8) S 25° 18' 04" W FOR 9.14 FEET (9) S 71° 03' 14" W FOR 4.63 FEET; (10) S 65° 46' 50" W FOR 9.83 FEET, (11) S 51° 19' 07" W FOR 6.00 FEET; (12) S 56° 41' 19" W FOR 26.10 FEET; (13) S 57° 24' 58" W FOR 15.03 FEET; (14) S 19° 44' 24" W FOR 4.79 FEET; (15) S 10° 19' 49" E FOR 4.10 FEET; (16) S 41° 48' 42" E FOR 13.18 FEET, (17) S 28° 56' 34" E FOR 18.75 FEET; (18) N 85° 55' 13" E FOR 13.60 FEET (19) S 85° 37' 56" E for 16.02 feet; (20) N 76° 23' 21" E FOR 7.11 FEET; (21) N 80° 15' 29" E FOR 9.45 FEET; (22) S 45° 32' 14" E FOR 9.88 FEET; (23) S 35° 41' 04" E FOR 20.35 FEET, (24) S 45° 54' 55" E FOR 16.83 FET; (25) S 55° 46' 47" E FOR 15.46 FEET; (26) S 33° 32' 13" E FOR 14 .14 FEET; (27) S09° 51' 47" E FOR 7.04 FEET TO AN INTERSECTION WITH THE NORTHEASTERLY PROLONGATION OF THE SOUTHEASTERLY LINE OF SAID LOT 1, SQUARE 5, SAID INTERSECTION BEING ALSO THE POINT OF TERMINATION OF SAID MEAN HIGH WATER LINE; THENCE S 56° 03' 25" W ALONG SAID NORTHEASTERLY PROLONGATION FOR 55.90 FEET TO THE MOST EASTERLY CORNER OF SAID LOT 1, THENCE N 33° 56' 33" W ALONG THE NORTHEASTERLY LINE OF SAID LOT 1 FOR 216.00 FEET TO THE POINT OF BEGINNING.

AND

PARCEL D: TOGETHER WITH THE FOLLOWING DESCRIBED PROPERTY DESCRIBED IN THAT CERTAIN DISCLAIMER RECORDED IN OFFICIAL RECORDS BOOK 2331, PAGE 862, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA:

A PARCEL OF SUBMERGED LAND LAYING IN THE KEY WEST BIGHT, MONROE COUNTY, FLORIDA AND BEING ADJACENT TO LOT 1, SQUARE 5, ACCORDING TO WILLIAM A. WHITEHEAD'S MAP OF THE CITY OF KEY WEST, DELINEATED IN FEBRUARY, 1829, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

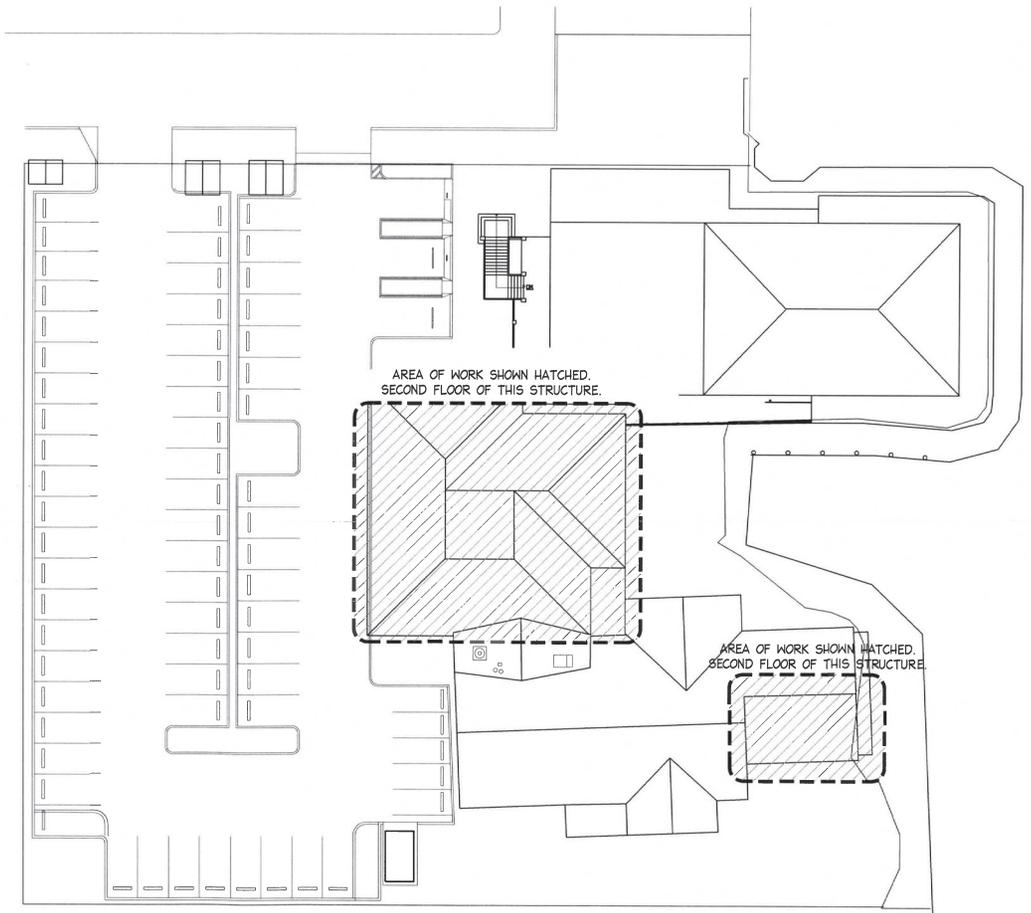
COMMENCE AT THE INTERSECTION OF THE NORTHEASTERLY RIGHT -OF-WAY LINE OF SIMONTON STREET AND THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF FRONT STREET; THENCE N 56° 03'25" E ALONG THE SAID SOUTHEASTERLY RIGHT -OF -WAY LINE OF FRONT STREET AND THE EXTENDED SOUTHEASTERLY RIGHT-OF-WAY LINE OF FRONT STREET FOR 486 .50 FEET; THENCE S 22°04'05" W ALONG AN EXTENDED PART OF A CONCRETE DOCK FOR A DISTANCE OF 36 .08 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S 22°04'05" W ALONG SAID DOCK FOR A DISTANCE OF 10.00 FEET; THENCE S 67°23'02" E ALONG THE SOUTHEAST SIDE OF A CONCRETE DOCK FOR A DISTANCE OF 362.78 FEET; THENCE N 22°36'58" E FOR A DISTANCE OF 10 .00 FEET; THENCE N 67°23'02" W ALONG THE NORTHWEST SIDE OF SAID DOCK FOR A DISTANCE OF 362.88 FEET BACK TO THE POINT OF BEGINNING.

MONROE COUNTY
OFFICIAL RECORDS

700 Front Street, VAR



SITE PLAN

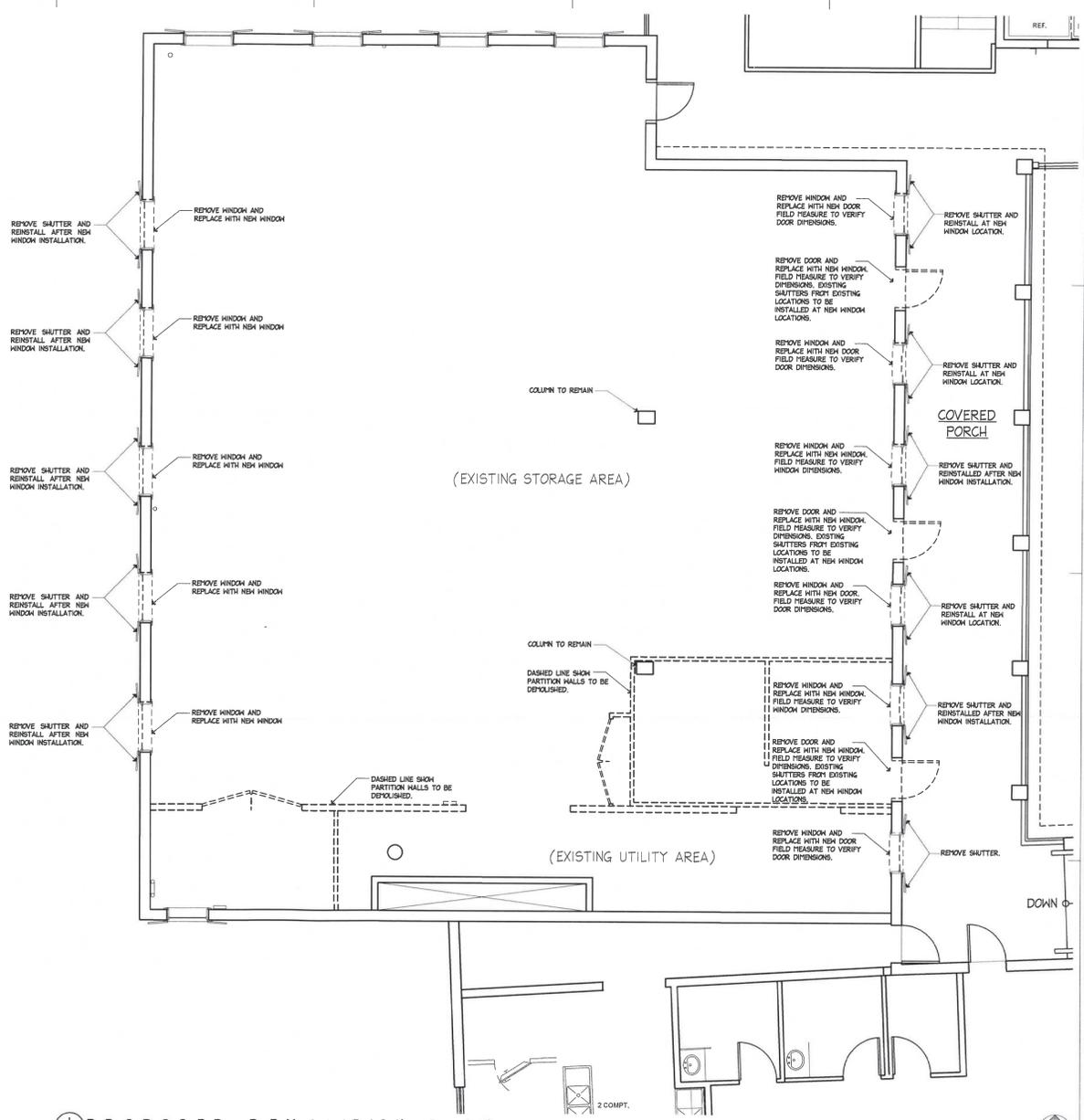


1 SITE PLAN OF A & B MARINA COMPLEX
A1 SCALE: 1/8" = 1'-0"



A & B MARINA COMPLEX KEY WEST, FLORIDA	
	<small>410 Angela Street Key West, Florida 33040 Telephone (305) 236-1347 Facsimile (305) 236-2727 Florida License AKC000282</small>
<i>Bender & Associates</i> ARCHITECTS <small>P.C.</small>	
Project No. 2202	
Date: 01/07/2022	
A1	

- DEMOLITION GENERAL NOTES**
1. PRIOR TO SUBMITTING A BID, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON THE JOBSITE, AND ALSO AFTERWARD, BUT PRIOR TO THE START OF CONSTRUCTION.
 2. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE, AND SHALL BE PROPERLY REMOVED FROM THE SITE. COMPLY WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
 3. ALL COSTS OF DEMOLITION INCLUDING PERMIT FEES, DISPOSAL FEES, ETC. ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF AND TO CONFORM WITH ALL APPLICABLE DEMOLITION AND DISPOSAL CODES, SAFETY REQUIREMENTS, AND ENVIRONMENTAL PROTECTION REGULATIONS OF ANY GOVERNMENTAL BODY HAVING JURISDICTION OVER THE WORK.
 5. PROVIDE SAFETY BARRIAGES AS REQUIRED TO PROTECT THE SAFETY OF THE GENERAL PUBLIC AND WORKERS CONNECTED WITH THE PROJECT.
 6. PROVIDE BRACING AND SHORING AS REQUIRED TO PROTECT THE SAFETY OF THE GENERAL PUBLIC AND WORKERS CONNECTED WITH THE PROJECT.



PROPOSED DEMOLITION PLAN
 A2 SCALE: 1/4" = 1'-0"

A & B MARINA COMPLEX
 KEY WEST, FLORIDA

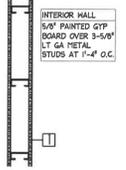
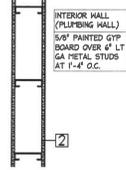
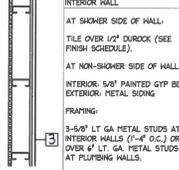
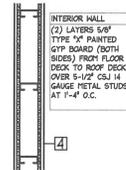
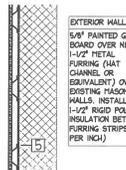
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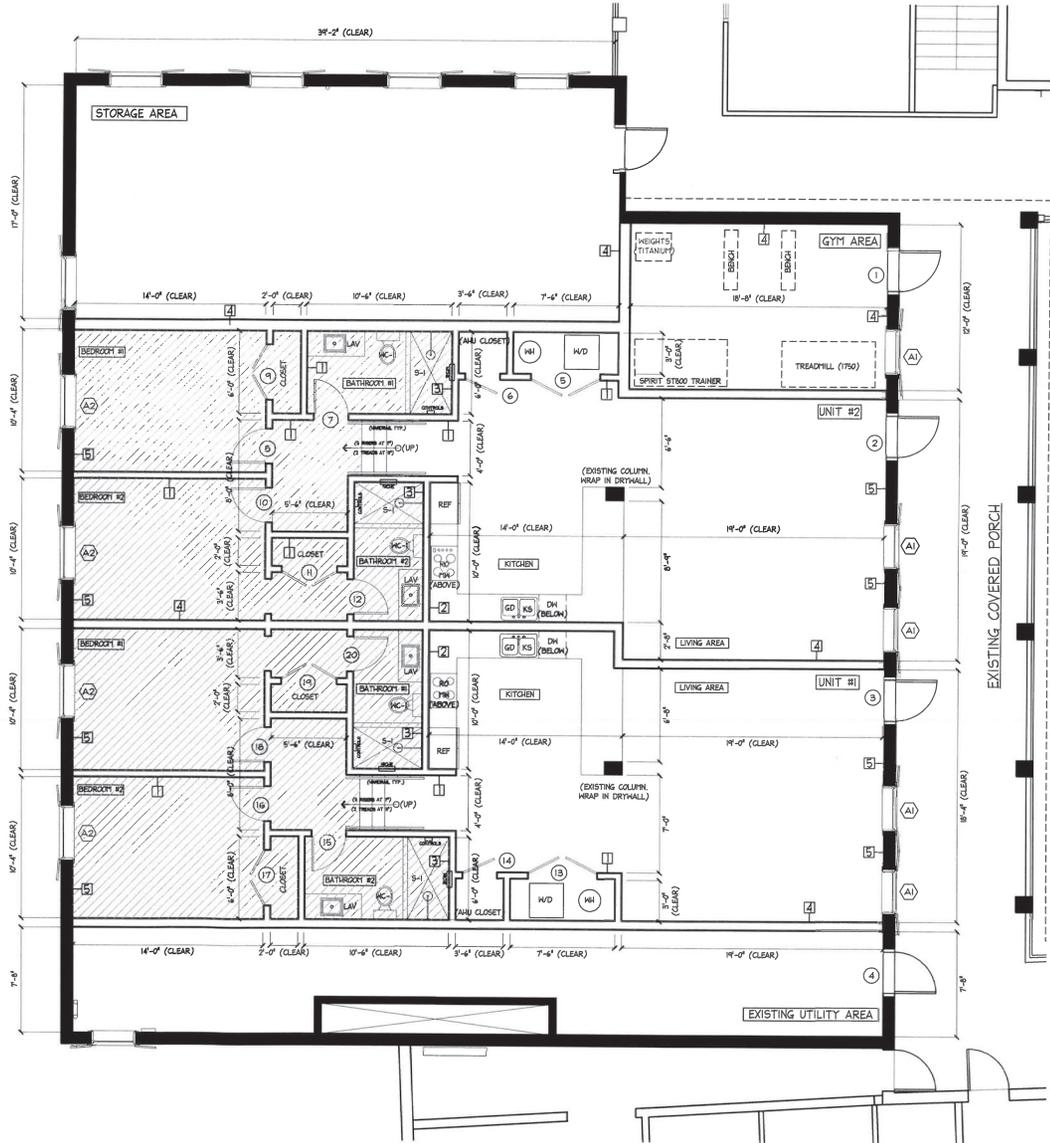
Project No: 2202
 Date: 04/07/2022

A2

WALL TYPE SCHEDULE

1	2	3
<p>INTERIOR HALL</p>  <p>INTERIOR HALL 5/8" PAINTED GYP BOARD OVER 3-5/8" LT GA METAL STUDS AT 1'-4" O.C.</p>	<p>PLUMBING HALL</p>  <p>INTERIOR HALL (PLUMBING HALL) 5/8" PAINTED GYP BOARD OVER 6" LT GA METAL STUDS AT 1'-4" O.C.</p>	<p>SHOWER HALL WITH TILE</p>  <p>INTERIOR HALL AT SHOWER SIDE OF HALL: TILE OVER 1/2" DUROCK (SEE FINISH SCHEDULE). AT NON-SHOWER SIDE OF HALL: INTERIOR 5/8" PAINTED GYP BD. EXTERIOR METAL SIDING FRAMING: 3-5/8" LT GA METAL STUDS AT INTERIOR WALLS (1'-4" O.C.) OR OVER 6" LT. GA. METAL STUDS AT PLUMBING HALLS.</p>
<p>INTERIOR 1 HOUR FIRE RATED WALL DETAIL FROM FLOOR DECK TO FLOOR / ROOF DECK</p>  <p>INTERIOR HALL (2) LAYERS 5/8" TYPE F PAINTED GYP BOARD (BOTH SIDES) FROM FLOOR DECK TO ROOF DECK. OVER 5-1/2" CSJ 14 GAUGE METAL STUDS AT 1'-4" O.C.</p>	<p>EXTERIOR HALL DETAIL</p>  <p>EXTERIOR HALL 5/8" PAINTED GYP BOARD OVER 1/2" METAL FURRING (W/ CHANNEL OR EQUIVALENT) OVER EXISTING MASONRY WALLS. INSTALL 1/2" RIGID POLYISO INSULATION BETWEEN FURRING STRIPS (RT PER INCH)</p>	<p>NOTES</p> <p>1. AT ALL AREA SEPARATION WALLS INSTALL 5/8" ACOUSTIC BOARD BOTH SIDES, QUIETROCK OR EQUIVALENT (PRIOR TO TYPE X DRYWALL), AND ROCKWOOL INSULATION FOR SOUND CONTROL.</p>

- GENERAL NOTES:**
1. HATCHED AREA INDICATES ELEVATED FLOOR TO ACCOMMODATE NEW WASTE PLUMBING.
 2. ELEVATE FLOOR WITH 18 GAUGE METAL FRAMING. SEE DETAILS SHEET A6.
 3. ALL FLOOR PENETRATIONS ARE TO BE FIRE CAULKED AND FINISHED TO MAINTAIN 2 HOUR FIRE SEPARATION FROM FIRST FLOOR SPACE.
 4. FINAL FINISHED FLOOR HEIGHT OF RAISED AREA TO BE COORDINATED WITH SANITARY PLUMBING REQUIREMENTS.
 5. INSTALL R30 BATT INSULATION AT CEILING LEVEL ABOVE RESIDENTIAL UNITS.
 6. SEE MECHANICAL PLAN FOR DROP CEILING LOCATIONS. AND SHEET A6 FOR DETAILS.



1 PROPOSED RESIDENTIAL UNIT FLOOR PLANS
A3 SCALE: 1/4"=1'-0"

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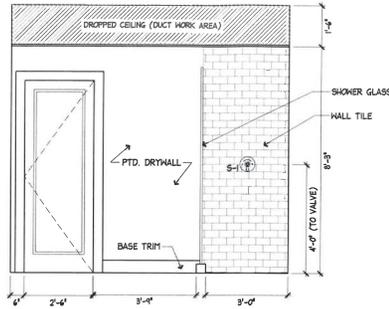
Project No. 2202

Date: 01/07/2022

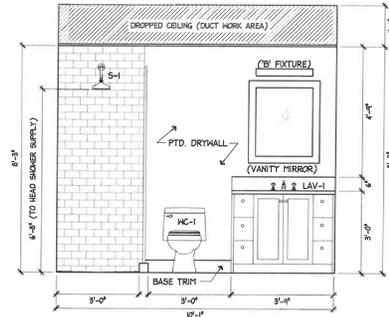
A3

GENERAL CASEWORK / CABINETRY NOTE:
 THE CONFIGURATION, STYLE, AND MANUFACTURER OF ALL KITCHEN CABINETS AND BATHROOM VANITIES ARE TO BE SELECTED BY OWNER. CONTRACTOR IS TO PROVIDE THE OWNER AND ARCHITECT WITH SHOP DRAWINGS FOR REVIEW AND APPROVAL. COORDINATE ALL CABINETRY WITH OWNER SUPPLIED APPLIANCES & PLUMBING FIXTURES. ALL COUNTERTOP AND BACKSPLASH MATERIAL IS TO BE SELECTED BY OWNER.

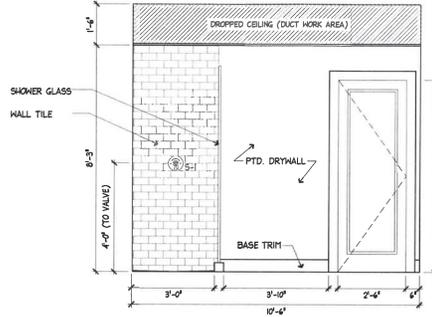
GLASS SHOWER ENCLOSURE NOTE:
 GLASS SHOWER ENCLOSURES ARE TO BE 3/8" CLEAR TEMPERED GLASS WITH FLAT POLISHED EDGES. HANDLES ARE TO BE 1" TUBULAR PULL HANDLES (B9780G) BY C.R. LAURISKE CO. HINGES ARE TO BE GENEVA HINGES (G044AC) BY C.R. LAURISKE CO. (4) FIXED PANEL CLIPS (S244) BY C.R. LAURISKE CO. ARE TO BE INSTALLED AT EACH FIXED PANEL. FIXED PANELS ARE TO EXTEND FROM SHOWER CURB TO CEILING. SHOWER DOOR IS TO STOP 4" SHORT OF CEILING. CONFIRM FINAL SELECTIONS WITH OWNER PRIOR TO ORDERING (DOOR SIZE, HARDWARE, AND FIXED PANEL SIZE).



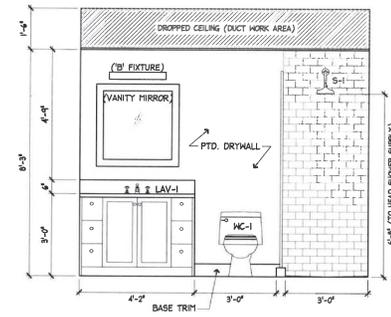
7 BATH #2 WEST INTERIOR ELEVATION - UNIT #1
 A.4 SCALE: 1/4"=1'-0"



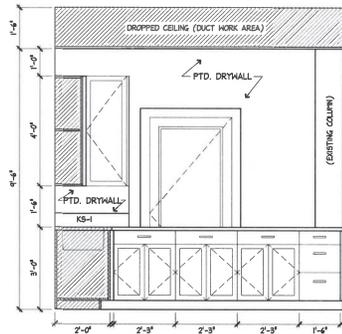
6 BATH #2 EAST INTERIOR ELEVATION - UNIT #1
 A.4 SCALE: 1/4"=1'-0"



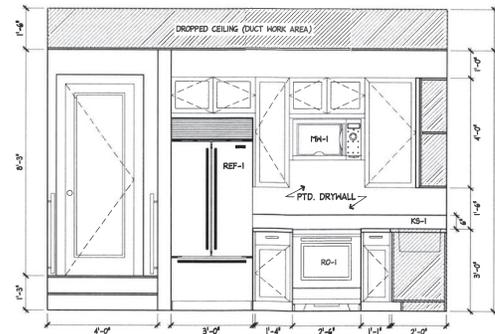
5 BATH #1 SOUTH INTERIOR ELEVATION - UNIT #1
 A.4 SCALE: 1/4"=1'-0"



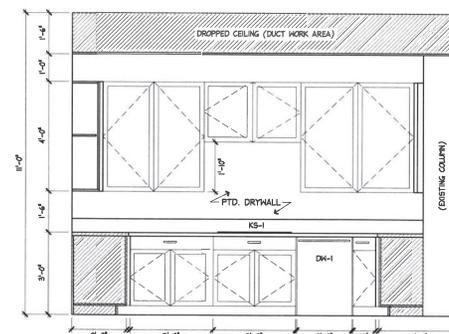
4 BATH #1 NORTH INTERIOR ELEVATION - UNIT #1
 A.4 SCALE: 1/4"=1'-0"



3 KITCHEN EAST INTERIOR ELEVATION - UNIT #1
 A.4 SCALE: 1/4"=1'-0"



2 KITCHEN WEST INTERIOR ELEVATION - UNIT #1
 A.4 SCALE: 1/4"=1'-0"



1 KITCHEN NORTH INTERIOR ELEVATION - UNIT #1
 A.4 SCALE: 1/4"=1'-0"

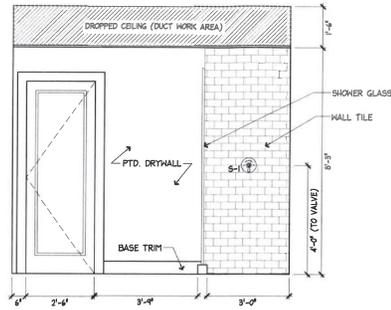
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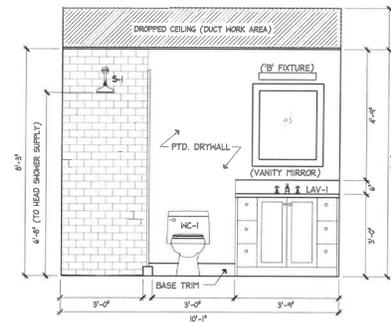
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Project No.: 2202
 Date: 01/01/2022

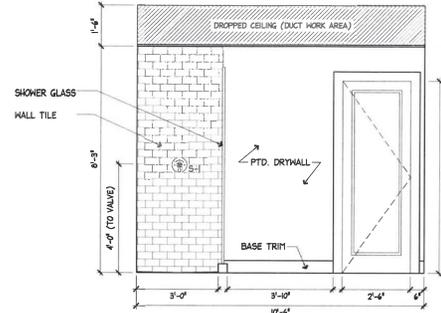
A4



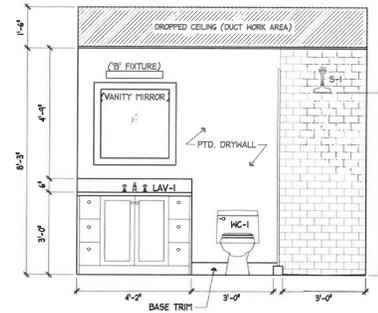
7 BATH #2 NORTH INTERIOR ELEVATION - UNIT #2
A5 SCALE: 1/4"=1'-0"



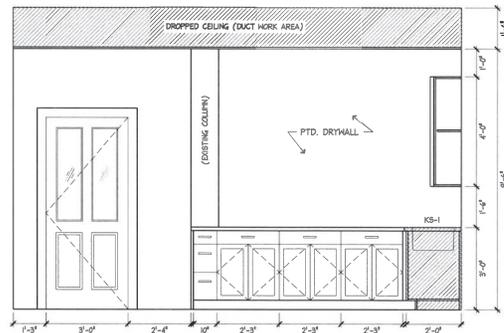
6 BATH #2 SOUTH INTERIOR ELEVATION - UNIT #2
A5 SCALE: 1/4"=1'-0"



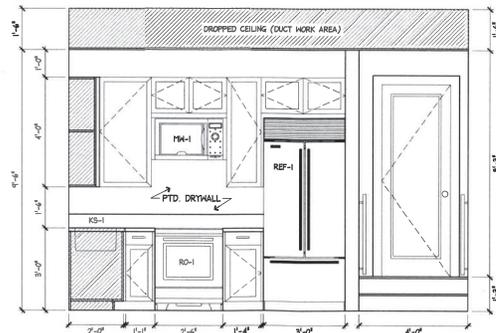
5 BATH #1 WEST INTERIOR ELEVATION - UNIT #2
A5 SCALE: 1/4"=1'-0"



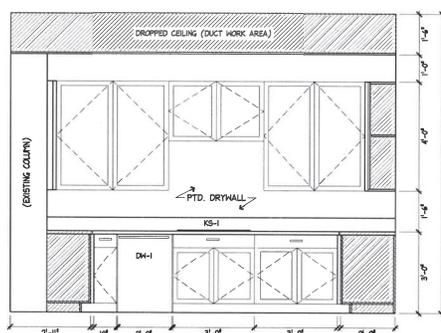
4 BATH #1 EAST INTERIOR ELEVATION - UNIT #2
A5 SCALE: 1/4"=1'-0"



3 KITCHEN EAST INTERIOR ELEVATION - UNIT #2
A5 SCALE: 1/4"=1'-0"



2 KITCHEN WEST INTERIOR ELEVATION - UNIT #2
A5 SCALE: 1/4"=1'-0"



1 KITCHEN SOUTH INTERIOR ELEVATION - UNIT #2
A5 SCALE: 1/4"=1'-0"

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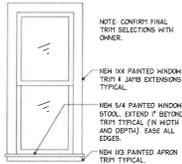
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P.C.

Project No. 2202

Date: 01/07/2022

A5

TYPICAL DOOR, BASE & WINDOW TRIM

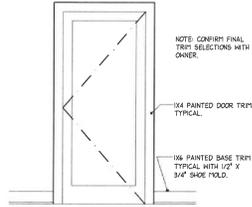


NOTE: CONFIRM FINAL TRIM SELECTIONS WITH OWNER.

NEW 1/4\"/>

NEW 1/4\"/>

NEW 1/2\"/>

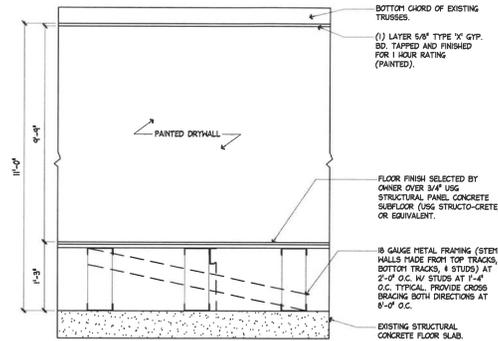


NOTE: CONFIRM FINAL TRIM SELECTIONS WITH OWNER.

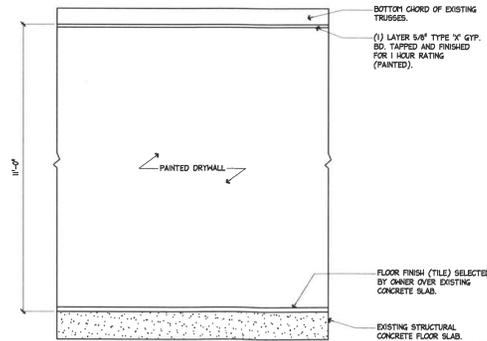
NEW 1/4\"/>

NEW 1/2\"/>

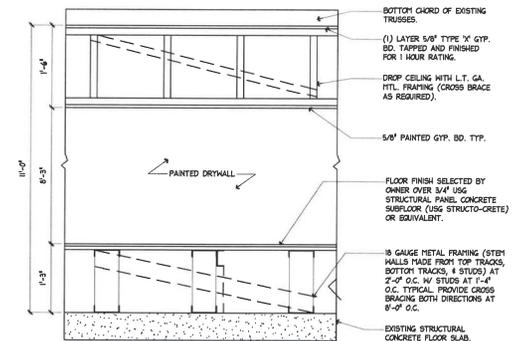
NOTE: AT EXTERIOR SIDE OF MAIN ENTRANCE DOORS AND WINDOWS THE EXISTING TRIM IS TO BE REUSED AND / OR REPLICATED TO MATCH EXISTING.



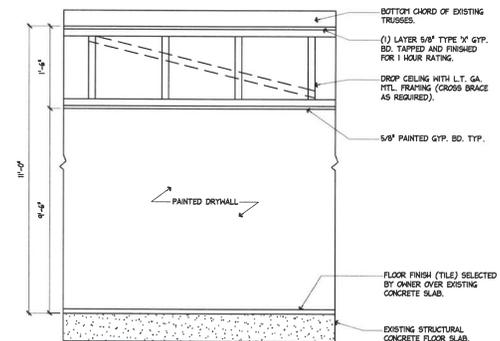
3 FLOOR / CEILING ASSEMBLY BEDROOM AREA (RAISED FLOOR ONLY)
A6 SCALE: 1/4\"/>



2 FLOOR / CEILING ASSEMBLY LIVING AREA
A6 SCALE: 1/4\"/>



4 FLOOR / CEILING ASSEMBLY AT BATHROOM AREA (DROP CEILING & RAISED FLOOR)
A6 SCALE: 1/4\"/>



1 FLOOR / CEILING ASSEMBLY AT KITCHEN AREA (DROP CEILING ONLY)
A6 SCALE: 1/4\"/>

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Project No: 2202

Date: 01/07/2022

A6

ROOM FINISH SCHEDULE (UNIT #1 & #2 SIMILAR)										
NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	CLG. HT.	REMARKS
				NORTH	EAST	SOUTH	WEST			
--	LIVING AREA	TILE	NOTE No. 2	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	PAINTED GYP. BD.	11'-0"	
--	KITCHEN	TILE	NOTE No. 2	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	PAINTED GYP. BD.	11'-0"	
--	LAUNDRY	TILE	NOTE No. 2	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	PAINTED GYP. BD.	11'-0"	
--	BEDROOM #1	TILE	NOTE No. 2	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	PAINTED GYP. BD.	9'-9"	
--	BATHROOM #1	TILE	NOTE No. 2	GYP. TILE	GYP. TILE	GYP. BD.	GYP. BD.	PAINTED GYP. BD.	8'-3"	SEE NOTE No. 3 & NOTE 4
--	CLOSET BEDROOM #1	TILE	NOTE No. 2	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	PAINTED GYP. BD.	8'-3"	
--	BEDROOM #2	TILE	NOTE No. 2	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	PAINTED GYP. BD.	9'-9"	
--	BATHROOM #2	TILE	NOTE No. 2	GYP. TILE	GYP. TILE	GYP. BD.	GYP. BD.	PAINTED GYP. BD.	8'-3"	SEE NOTE No. 3 & NOTE 4
--	CLOSET BEDROOM #2	TILE	NOTE No. 2	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	PAINTED GYP. BD.	8'-3"	
--	GTH	TILE	NOTE No. 2	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	PAINTED GYP. BD.	11'-0"	

ROOM FINISH NOTES									
1	FLOOR TILE MATERIAL SELECTED BY OWNER.								
2	ALL NEW DOOR TRIM, WINDOW TRIM, AND BASE TRIM AT FLOORS IS TO BE SELECTED BY THE OWNER.								
3	AT SHOWERS THE WALLS AND FLOORS ARE TO RECEIVE OWNER SELECTED TILE OVER 1/2" CEPHANTITIOUS BD. REDGUARD OR EQUIVALENT WATERPROOFING TO BE USED FOR SHOWER PAN CONSTRUCTION. SHOWER CURB FINISH MATERIAL TO BE SELECTED BY OWNER. ASSUME SOLID SURFACE MATERIAL. ASSUME SCAULTER TILE TERMINATIONS WHERE TILE TRANSITIONS TO OTHER FINISH MATERIAL. OWNER TO SELECT ALL TRANSITION MATERIALS.								
4	IN BATHROOMS ALL WALLS NOT FINISHED IN TILE (I.E. SHOWERS) ARE TO BE FINISHED WITH MOISTURE RESISTANT GYP. BD.								
5	OWNER TO SELECT ALL COUNTERTOP AND BACKSPLASH MATERIAL. ASSUME 4" BACKSPLASH.								

WINDOW SCHEDULE							
MARK	SIZE		MANUFACTURER	CATALOG NO.	MATERIAL	FINISH	REMARKS
	WIDTH	HEIGHT					
A1	3'-0"	6'-2"	MARVIN		WOOD		1. COMPLY WITH ALL FLORIDA PRODUCT APPROVAL AND HOA INSTALLATION SPECIFICATIONS. INSTALL WINDOW/DOOR WEAP AT ALL EXTERIOR OPENINGS PRIOR TO INSTALLATION. 2. CONFIRM ALL SELECTIONS WITH OWNER & ARCHITECT PRIOR TO ORDERING.
A2	3'-7"	4'-0"	MARVIN		WOOD		



MARK A1

"MARVIN" ULTIMATE WOOD DOUBLE HUNG WINDOW. PAINTED. FLORIDA PRODUCT APPROVAL #FL3172 RI. RATED DESIGN PRESSURE OF +55/-65



MARK A2

"MARVIN" ULTIMATE WOOD CABINET WINDOW. PAINTED. FLORIDA PRODUCT APPROVAL #FL3172 RI. RATED DESIGN PRESSURE OF +56/-65

APPLIANCE SCHEDULE (UNIT #1 & #2 SIMILAR)								
MARK	APPLIANCE	MANUFACTURER	MODEL	DIMENSIONS			COLOR	REMARKS
				H	W	D		
REF-1	REFRIGERATOR/FREEZER							SELECTED BY OWNER
RO-1	RANGE OVEN							SELECTED BY OWNER
DX-1	DISHWASHER							SELECTED BY OWNER
MW-1	MICROWAVE/FAN COPE							SELECTED BY OWNER / RECIRCULATING EXHAUST
GD-1	GARBAGE DISPOSAL							SELECTED BY OWNER
WD-1	WASHER & DRYER							SELECTED BY OWNER
MH-1	WATER HEATER							SELECTED BY OWNER

NOTES:
 1. CONTRACTOR TO INCLUDE INSTALLATION COSTS OF ALL APPLIANCES, INCLUDING COORDINATION WITH SUB- CONTRACTORS.
 2. REFER TO CUT SHEETS FOR ELECTRICAL, VENTILATION AND PLUMBING REQUIREMENTS.
 3. CONTRACTOR TO PROVIDE AND INSTALL ALL ELECTRICAL, VENTILATION AND PLUMBING CONNECTIONS AS REQUIRED FOR COMPLETE FUNCTIONAL SYSTEMS.
 4. ASSURE NOTING, IF YOU HAVE ANY QUESTIONS ABOUT OWNER PREFERENCES FOR THE STYLE, SIZE, COLOR, MATERIAL, ETC. ETC. OF ANY OF THESE APPLIANCES CONSULT WITH OWNER.
 5. CONFIRM ALL APPLIANCES WITH OWNER BEFORE PURCHASE.

DOOR SCHEDULE												
NO.	TYPE	SIZE			MATERIAL	FINISH	GLAZING	FRAMES		DETAILS	REMARKS	HARDWARE SHEETS
		W.	H.	T.				MATERIAL	FINISH			
1	A	3'-0"	6'-0"	-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	#
2	A	3'-0"	6'-0"	-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	#
3	A	3'-0"	6'-0"	-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	#
4	A	3'-0"	6'-0"	-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	#
5	B	3'-0"	7'-0"	-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	#
6	D	2'-6"	7'-0"	-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	#
7	C	2'-6"	7'-0"	-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	#
8	C	2'-6"	7'-0"	-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	#
9	B	4'-0"	7'-0"	-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	#
10	C	2'-6"	7'-0"	-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	#
11	B	4'-0"	7'-0"	-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	#
12	C	2'-6"	7'-0"	-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	#
13	B	3'-0"	7'-0"	-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	#
14	D	2'-6"	7'-0"	-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	#
15	C	2'-6"	7'-0"	-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	#
16	C	2'-6"	7'-0"	-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	#
17	B	4'-0"	7'-0"	-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	#
18	C	2'-6"	7'-0"	-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	#
19	B	4'-0"	7'-0"	-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	#
20	C	2'-6"	7'-0"	-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	#



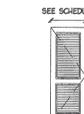
TYPE 'A1'
"EXCLUSIVE" (4) PANEL SOLID WOOD ENTRANCE DOOR. PAINTED. (2) GLAZED PANELS. HOA #B-0122.17 DESIGN PRESSURE RATING = +70/70



TYPE 'B1'
(2) (2) PANEL SOLID WOOD SWING DOOR. PAINTED.



TYPE 'C1'
(2) PANEL SOLID WOOD SWING DOOR. PAINTED.



TYPE 'D1'
WOOD LOUVER SWING DOOR. PAINTED FOR RETURN AIR.

NOTES:
 1. AT ALL INTERIOR DOORS USE AN ALLOWANCE OF \$360 FOR DOOR HARDWARE. (HARDWARE ONLY. INSTALLATION COST TO BE INCLUDED IN BASE PRICE)
 2. CONFIRM DOOR ORDER WITH OWNER AND ARCHITECT PRIOR TO ORDERING.
 3. ALL EXTERIOR DOORS TO BE ORDERED W/ 3 POINT LOCKING SYSTEM.
 4. COMPLY WITH ALL FLORIDA PRODUCT APPROVAL & MIAMI DADE N.O.A. SPECIFICATIONS. INSTALL WINDOW/DOOR WEAP AT ALL EXTERIOR OPENINGS PRIOR TO INSTALLATION.
 5. OWNER TO SELECT HARDWARE STYLE AND FINISH.
 6. WHERE DOORS REPLACE EXISTING WINDOWS REMOVE SILL AND WALL AREA BELOW WINDOW ASSEMBLY. AFTER SELECTIVE DEMOLITION NOTIFY ARCHITECT FOR INSPECTION TO DETERMINE IF ADDITIONAL REINFORCEMENT AT JAMBES IS REQUIRED.
 7. NEW DOORS TO BE INSTALLED AT EXISTING OPENINGS. FIELD MEASURE TO VERIFY DOOR DIMENSIONS. SEE FLOOR PLAN FOR LOCATION.

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A7

MECHANICAL GENERAL NOTES:

- EXISTING CONDITIONS INDICATED ARE TAKEN FROM EXISTING CONSTRUCTION DOCUMENTS, VARIOUS SURVEYS, AND FIELD INVESTIGATIONS. UNDESIRABLE CONDITIONS PREVIOUSLY EXIST AND WORK, NEW OR EXISTING, MAY NOT BE LOCATED EXACTLY AS SHOWN ON THE DRAWINGS. COORDINATE WITH FIELD CONDITIONS TO VERIFY EXACT LOCATIONS OF PIPING, DUCTS AND EQUIPMENT. COORDINATE THE WORK OF OTHER TRADES SO THAT INTERFERENCE BETWEEN PIPING, EQUIPMENT, STRUCTURAL, AND ELECTRICAL WORK WILL BE AVOIDED. FAILURE TO COORDINATE THE WORK WILL NOT BE CONSIDERED FOR EXTRA.
- CONTRACTOR SHALL VISIT AND CAREFULLY EXAMINE THOSE PORTIONS OF THE BUILDING AFFECTED BY THIS WORK BEFORE SUBMITTING PROPOSALS SO AS TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND DIFFICULTIES THAT WILL AFFECT EXECUTION OF WORK. SUPERVISION WILL BE CONTINUED AS EVIDENCE THAT SUCH EXAMINATION HAS BEEN MADE AND LATER CLAIMS FOR LABOR, EQUIPMENT OR MATERIALS REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WILL NOT BE RECOGNIZED.
- PROVIDE LABOR, MATERIALS, TOOLS, EQUIPMENT AND DEVICES NECESSARY TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DRAWINGS AND SPECIFICATION. FULLY TEST, BALANCE, CLEAN AND LEAVE SYSTEMS IN A COMPLETE AND OPERATIONAL STATUS.
- THESE DRAWINGS ARE DIAGNOSTIC ONLY AND DO NOT SHOW ALL OFFSETS, BENDS, ELBOWS, OR OTHER SPECIFIC ELEMENTS THAT MAY BE REQUIRED FOR PROPER INSTALLATION OF THE WORK. SUCH WORK SHALL BE FIELD VERIFIED AND CAREFULLY COORDINATED WITH ALL BUILDING TRADES AT THE SITE BY THE CONTRACTOR.
- PROTECT SURROUNDING UTILITIES, WALLS, FLOORS AND CEILING FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL BEAR ALL EXPENSE FOR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED DURING CONSTRUCTION.
- PROVIDE HOOD, GYP. BD. AND OTHER MATERIALS FOR HALL AND CEILING REPAIR AND OTHER GENERAL WORK AS REQUIRED FOR PROPER INSTALLATION OF MECHANICAL SYSTEMS. ALL REPAIRS SHALL MATCH EXISTING.
- ALL MATERIALS AND EQUIPMENT SHALL BE NEM AND SHALL BE U.L. LISTED WHERE APPLICABLE. INSTALL IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS WITH ADEQUATE ACCESS FOR MAINTENANCE. INSTALLATION OF NEM EQUIPMENT SHALL NOT INTERFERE WITH REQUIRED HOORING CLEARANCES FOR EXISTING EQUIPMENT.
- PROVIDE WORK IN ACCORDANCE WITH 2014 FLORIDA BUILDING CODE - MECHANICAL, AND OTHER LOCAL CODES AND STANDARDS AS ENFORCED. COORDINATE WITH LOCAL CODE AUTHORITIES TO DETERMINE EXACT REQUIREMENTS.
- PROVIDE ALL SUPPLEMENTARY STEEL STRAPS AND FOUNDATIONS FOR SUPPORTS AND BRACING OF ALL HVAC DUCT AND PIPING. EXTERIOR STEEL SHALL BE HOT DIPPED GALVANIZED.
- THIS CONTRACTOR SHALL ASSUME FOR AND PAY FOR NECESSARY PERMITS, INSPECTIONS, ETC. AS RELATED TO THE WORK SHOWN ON THESE DRAWINGS.
- TEST AND BALANCE SYSTEMS PER NEBB OR AABC. SUBMIT TEST AND BALANCE REPORT IN ACCORDANCE WITH NEBB OR AABC TO THE OWNER'S REPRESENTATIVE. ALL WORK SHALL COMPLY WITH ALL APPLICABLE LAWS, CODES ORDINANCES OF THE CITY, COUNTY AND STATE.
- THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ADEQUACY OF MECHANICAL SYSTEMS, EQUIPMENT. CALCULATIONS AND SIZING SHALL BE DONE IN ACCORDANCE WITH THE LATEST PUBLISHED LITERATURE OF: THE AMERICAN SOCIETY OF HEATING, VENTILATING AND AIR CONDITIONING ENGINEERS (ASHRAE) AND THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME).
- WHenever NECESSARY FOR THE PROPER FUNCTIONING OF MECHANICAL SYSTEMS, COORDINATE INSTALLATION OF TRANSFER GRILLS WITH THE GENERAL CONTRACTOR.
- COORDINATE INSTALLATION OF EQUIPMENT WITH ALL OTHER TRADES (i.e. PLUMBING AND ELECTRICAL) TO AVOID INTERFERENCE WITH OTHER EQUIPMENT AND SYSTEMS.

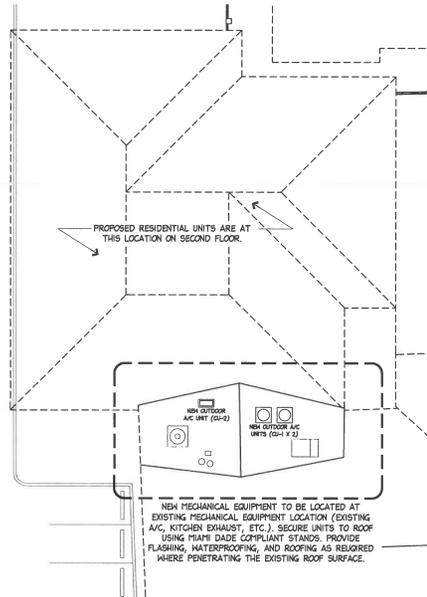
AIR CONDITIONING SYSTEM NOTE:

VERIFY ELECTRICAL REQUIREMENTS OF AIR CONDITIONING SYSTEM AHUS AND CONDENSERS AND PROVIDE ACCORDINGLY. PROVIDE DEDICATED CIRCUITS FOR EACH UNIT, AND CUTOFF SWITCHES AND CONDENSED OUTLETS PER CODE REQUIREMENTS.

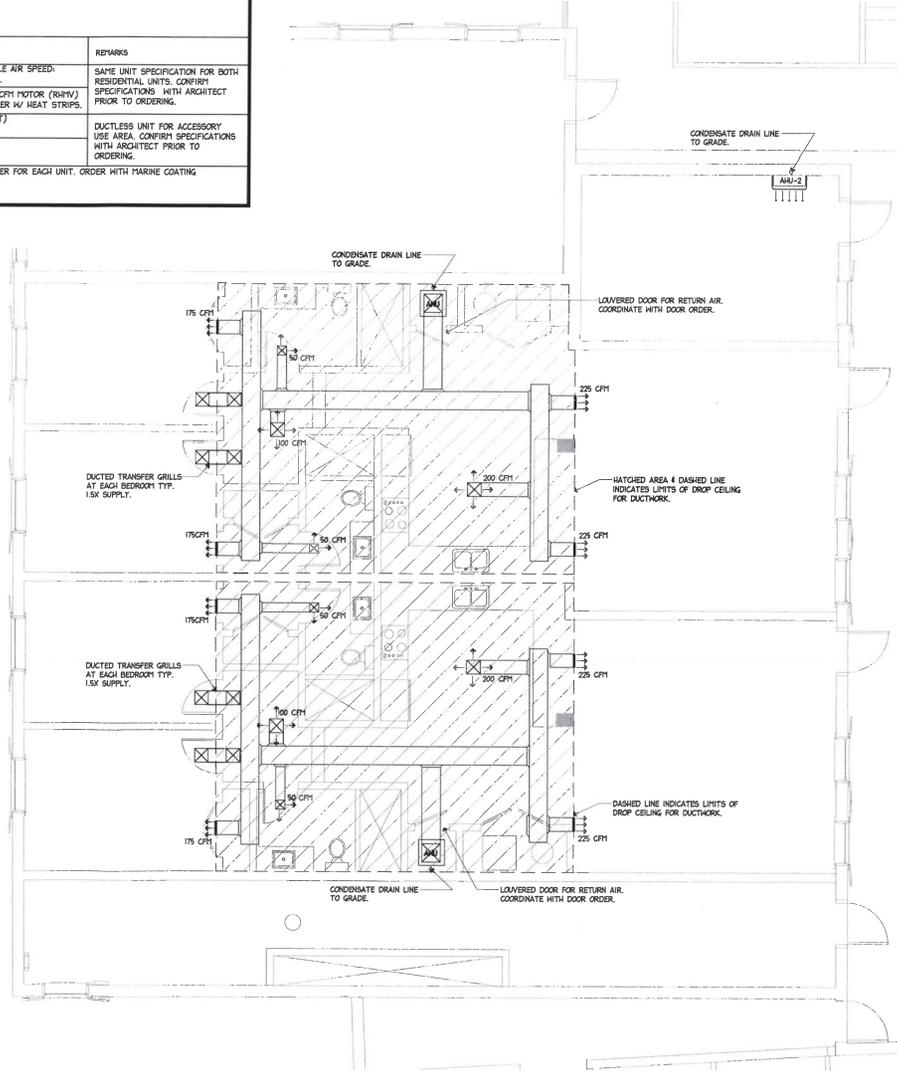
MECHANICAL SCHEDULE

PLAN MARK	MODEL	REMARKS
CU-1	3 TON RHEEM PRESTIGE SERIES VARIABLE AIR SPEED (RAD), MODEL HR2036AJC (20 SEER).	SAME UNIT SPECIFICATION FOR BOTH RESIDENTIAL UNITS. CONFIRM SPECIFICATIONS WITH ARCHITECT PRIOR TO ORDERING.
AHU-1	RHEEM HIGH EFFICIENCY MODULATING HVAC MOTOR (RHFM) MODEL RHFM3624EAC (20 SEER). ORDER W/ HEAT STRIPS.	
CU-2	mitsubishi FSZ-3C20RAJ (OUTDOOR UNIT)	DUCTLESS UNIT FOR ACCESSORY USE AREA. CONFIRM SPECIFICATIONS WITH ARCHITECT PRIOR TO ORDERING.
AHU-2	MITSUBISHI MSZ-GL08NA (INDOOR UNIT)	

NOTES: PROVIDE RHEEM 'ECONET' CONTROL CENTER FOR EACH UNIT. ORDER WITH MARINE COATING ON CONDENSER COILS.



2 PARTIAL ROOF PLAN
SCALE: 3/8"=1'-0"



1 PROPOSED MECHANICAL PLAN
SCALE: 1/4"=1'-0"

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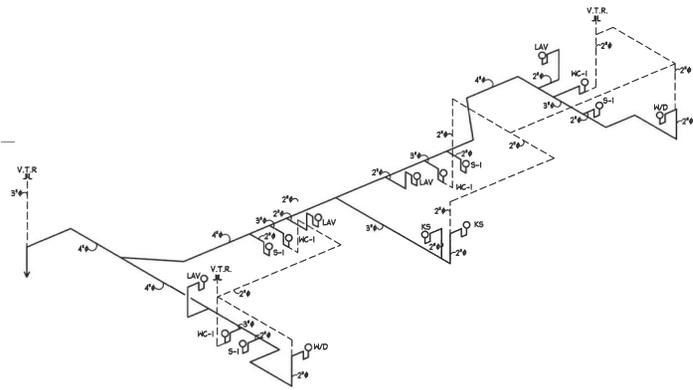
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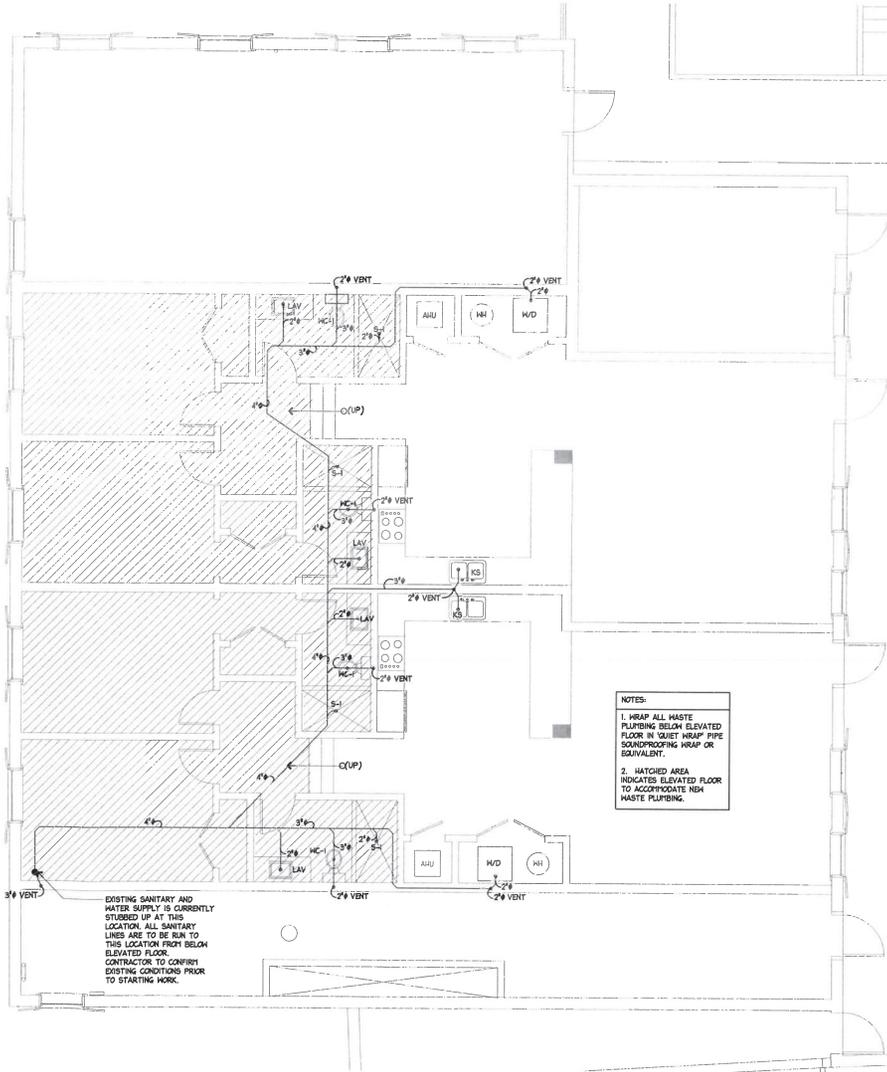
BATHROOM ACCESSORY SCHEDULE			
MARK	FIXTURE	MP/CATALOG NO.	REMARKS
FR	REFURB		OWNER SELECTED (ASB/PE 1 AT EACH BATHROOM LOCATION)
NO	NOSE HOOD		OWNER SELECTED (ASB/PE 1 AT EACH BATHROOM LOCATION)
TR	TOWEL BAR		OWNER SELECTED (ASB/PE 1 AT EACH BATHROOM LOCATION)
TP	TP HOLDER		OWNER SELECTED (ASB/PE 1 AT EACH BATHROOM LOCATION)

PLUMBING FIXTURE SCHEDULE			
MARK	FIXTURE	MP/CATALOG NO.	REMARKS
S-1 (24)	SHOWER TRAY		SHOWER TRAY AND FLOOR DRAIN STYLE SELECTED BY OWNER CONTRACTOR TO COORDINATE R-WALL VALVER.
LAV-1 (24)	SINK/FALCET		SELECTED BY OWNER
HC-1 (24)	WATER CLOSET		SELECTED BY OWNER
KS (24)	STOKE		SELECTED BY OWNER

- PLUMBING GENERAL NOTES**
- UTILITIES AND SERVICES INDICATED ARE TAKEN FROM VARIOUS OLD AND NEW SURVEYS, AS-BUILT RECORDS AND FIELD INVESTIGATIONS. UNFORESEEN CONDITIONS PROBABLY EXIST AND NEW WORK MAY NOT BE FIELD LOCATED EXACTLY AS SHOWN OR DRAWINGS. COOPERATION WITH OTHER TRADES IN ROUTING, AS DETERMINED DURING CONSTRUCTION WILL BE NECESSARY.
 - FIELD VERIFY EXISTING INSTALLATIONS. MODIFY EXISTING PLUMBING SYSTEMS, WHICH ARE TO REMAIN ACTIVE, TO FACILITATE RECONNECTION AND EXTENSION OF THE NEW WORK.
 - NOTIFY OWNER AT LEAST 24 HOURS PRIOR TO INTERRUPTING EXISTING SERVICE. SCHEDULE DISCONNECTION AND TIE-INS TO MINIMIZE DISRUPTION OF SERVICES. SERVICES ARE NOT TO BE LEFT DISRUPTED DURING NON-NORMAL CONTRACTOR WORKING HOURS.
 - PLANS ARE NOT COMPLETELY TO SCALE. PIPE ROUTING SHOWN IS SCHEMATIC AND IS NOT INTENDED TO INDICATE EXACT ROUTING AND ANY ADDITIONAL OFFSETS AND FITTINGS REQUIRED FOR PROPER INSTALLATION AND TO MAINTAIN CLEARANCES. VERIFY STRUCTURAL, MECHANICAL AND ELECTRICAL INSTALLATION AND OTHER POTENTIAL OBSTRUCTIONS AND ROUTE PIPING TO AVOID INTERFERENCE.
 - CONCEAL PIPING ABOVE CEILINGS, WITHIN WALLS OR CHASES EXCEPT AS SPECIFICALLY NOTED.
 - SLEEVE AND FIRE STOP PENETRATIONS OF RATED WALLS, FLOORS, CEILING AND ROOFS.
 - PROVIDE ACCESS PANELS TO ALL VALVES AND WATER HAMMER ARRESTERS THAT CAN BE TURNED BY HAND, LOCATED WITHIN CHASES OR NON-ACCESSIBLE CEILINGS. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPES.
 - ALL WATER PIPING INSIDE BUILDINGS SHALL BE TYPE "L" COPPER PIPE WITH SOLDERED (95/5) JOINTS, CPVC OR PEX.
 - SCHEDULE 40 PVC PIPE & FITTINGS- ASTM D2466-86. JOINTS- ASTM D2858-83, SOLVENT WELD.
 - ESCUTCHEONS SHALL BE PROVIDED FOR ALL PIPING THRU WALLS, FLOORS AND CEILINGS WHERE PIPE IS EXPOSED TO VIEW.
 - SEE ARCHITECTURAL DRAWINGS FOR FIXTURE LOCATIONS AND MOUNTING HEIGHTS.
 - PROVIDE AUTOMATIC TRAP PRIMERS FOR FLOOR DRAIN TRAP SEALS.
 - PROVIDE, WHEN REQUIRED BY CODE, AN AIR GAP SERVING INDIVIDUAL FIXTURES, DEVICES, APPLIANCES AND APPARATUS.
 - SIZE AND LOCATION OF ANY REQUIRED CLEANOUTS SHALL BE IN ACCORDANCE WITH THE UNIFORM BUILDING CODE (PLUMBING), CURRENT ADDITION, AND ALL JURISDICTIONAL REGULATIONS.
 - ALL WALL MOUNTED LAVATORIES AND HAND WASHING FACILITIES SHALL BE ATTACHED TO A FLOOR MOUNTED CARRIER DESIGNED TO WITHSTAND A VERTICAL LOAD OF 250 POUNDS ON THE FRONT OF THE FIXTURE.
 - PLUMBING CONTRACTOR SHALL PROVIDE SANITARY WASTE, VENT, COPPER WATER, ETC., ROUGH-IN AND MAKE FINAL CONNECTIONS (INCLUDING SUPPLYING AND/OR INSTALLING ALL NECESSARY RELATED STOPS, VALVES, TRAPS, ETC. AND MAKE READY FOR USE) TO ALL EQUIPMENT MATCHES FURNISHED BY THIS CONTRACTOR OR FURNISHED BY OTHERS.
 - INSULATE HOT WATER PIPING WITH FACTORY FORTED, FIBERGLASS PIPE INSULATION FACTORY JACKETED SYSTEM 1" THICK EQUAL TO OWENS-CORNING FIBERGLASS ZENOLITE.



2 RISER DIAGRAM
SCALE: 1/4"=1'-0"



1 PROPOSED WASTE PLUMBING PLAN
SCALE: 1/4"=1'-0"

- NOTES**
- WRAP ALL WASTE PLUMBING BELOW ELEVATED FLOOR IN SILENT WRAP PIPE SOUNDPROOFING WRAP OR EQUIVALENT.
 - HATCHED AREA INDICATES ELEVATED FLOOR TO ACCOMMODATE NEW WASTE PLUMBING.

EXISTING SANITARY AND WATER SUPPLY IS CURRENTLY STUBBED UP AT THIS LOCATION. ALL SANITARY LINES ARE TO BE RUN TO THIS LOCATION FROM BELOW ELEVATED FLOOR. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO STARTING WORK.

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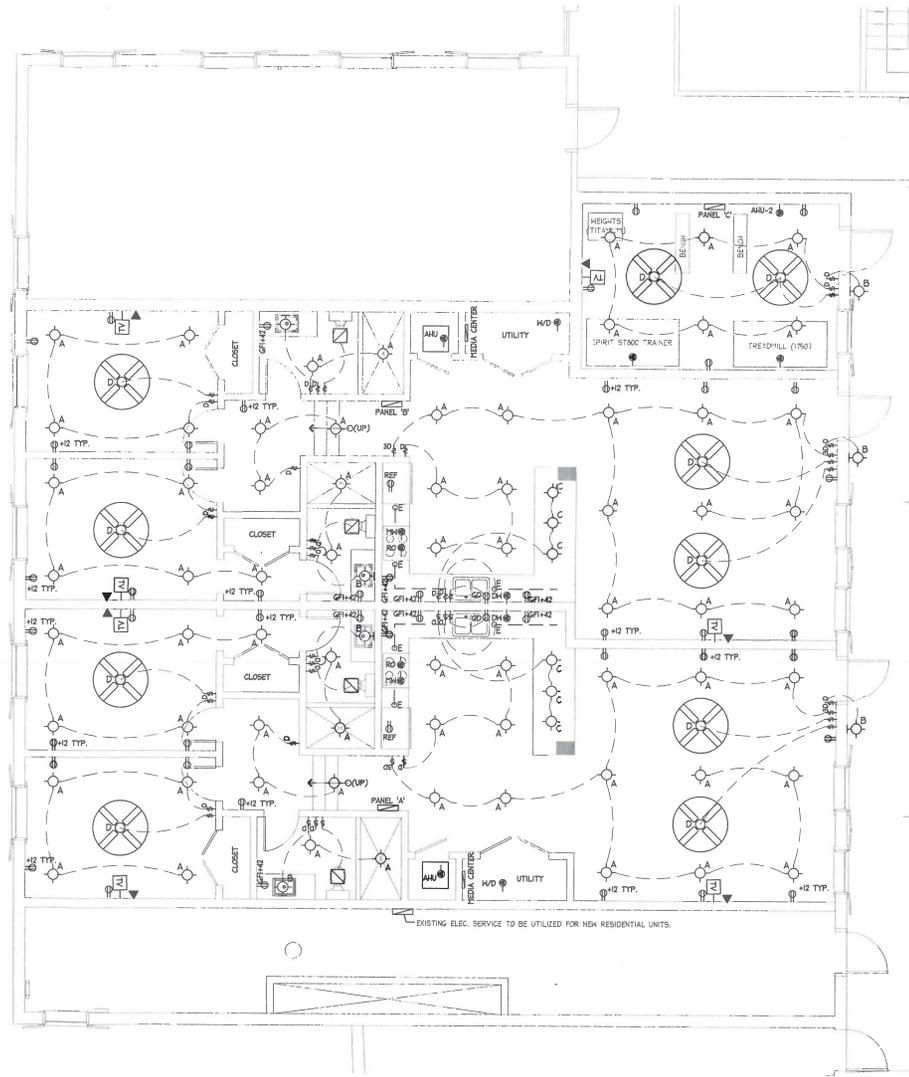
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Project # 202

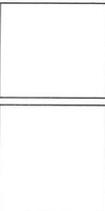
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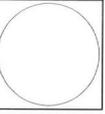
- GENERAL POWER NOTES:**
1. ALL DATA & CABLE RUNS ARE TO BE BUNDLED CABLE WITH (2) RG6 COAX & (2) CAT5. RUN PRIMARY FEED INTO 'MEDIA CENTER' DISTRIBUTION BOX AND THEN DISTRIBUTE WHERE INDICATED.
 2. ALL RECEPTACLES ARE TO BE LUTRON 'DESIGNER STYLE' RECEPTACLES (WHITE). CABLE AND DATA WALL PLATES TO MATCH. A SELECT NUMBER OF RECEPTACLES ARE TO BE LUTRON DUAL USB RECEPTACLES. COORDINATE LOCATIONS WITH OWNER (ASSUME (5) TOTAL FOR PRICING PURPOSES).
 3. ALL WALL PLATES ARE TO BE LUTRON 'DESIGNER STYLE' (COLOR-SHOWN) SCRIBBLELESS.
 4. CONFIRM FINAL PRODUCT SELECTIONS WITH OWNER PRIOR TO ORDERING.
 5. AT T.V. LOCATIONS PROVIDE TERMINATIONS AT BOTH 12" AND 54" ABOVE FINISHED FLOOR.
 6. ELECTRICAL SERVICE WILL BE 120/208V. ALL EQUIPMENT IS TO BE ORDERED ACCORDINGLY.



PROPOSED POWER & LIGHTING PLAN
 SCALE: 1/4"=1'-0"



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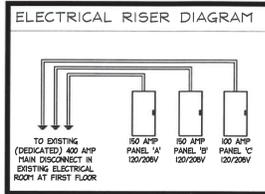
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p.c.

Project No. 202

Date: 01/07/2022

E1

ELECT. LOAD CALCS PANEL		
2,625 S.F. LIVING SPACE @ 3 VA/S.F.		7,875 VA
(3) AHU-1 HV HEAT STRIPS		14,400
(3) EXTERIOR A/C UNIT (C-1)		14,400
(2) REFRIGERATOR		3,600
(2) DISHWASHER		2,800
(2) RANGE OVEN		14,400
(2) MICROWAVE		4,000
(2) WATER HEATER		4,000
(6) APPLIANCE CIRCUITS @ 1500 VA		12,000
(2) WASHING MACHINE		1,500
(2) DRYER		4,800
TOTAL CALC. LOAD		141,750 VA
FIRST 10 KW @ 100%		10,000
A/C @ 100%		28,800
55,375 VA @ 40%		22,150
TOTAL LOAD PER N.E.C. 220-31		60,950 VA
MAX. DEMAND = 60,950VA / 208V *		293 AMPS
PROVIDE DEDICATED 400 AMP SERVICE		



LIGHTING FIXTURE SCHEDULE				CONFIRM SELECTIONS WITH OWNER / ARCHITECT PRIOR TO ORDERING.
TYPE	DESCRIPTION	MANUFACTURER AND CATALOG NUMBER	LAMPS	REMARKS
A	RECESSED LED	OWNER SELECTED		THAT OPTIONS SELECTED BY OWNER. UL LISTED TRIM REQUIRED AT 4'-8" HIGHS. USE 1800 ALLOWANCE FOR FUTURE.
B	BATHROOM HALL MOUNTED	OWNER SELECTED		USE A 1800 ALLOWANCE FOR FUTURE. ALLOWANCE IS FOR FUTURE ONLY. INCLUDE INSTALLATION COST IN ADDITION TO FUTURE ALLOWANCE IN BASE PRICE.
C	PENDANT LIGHT	OWNER SELECTED		USE A 1800 ALLOWANCE FOR FUTURE. ALLOWANCE IS FOR FUTURE ONLY. INCLUDE INSTALLATION COST IN ADDITION TO FUTURE ALLOWANCE IN BASE PRICE.
D	CEILING FAN (INTERIOR)	OWNER SELECTED		
E	UNDER CABINET LIGHT	OWNER SELECTED		
EH	EXHAUST FAN	OWNER SELECTED		

PANEL 'C' SCHEDULE								* LIGHTING LOADS ARE TO BE AVERAGED @ 3 VA PER 5.7.	
100 AMP PANEL 120 / 208V - 1Ø - 3Ø MAIN LUG				LOAD MATTS (VA)					
CRCT	DESCRIPTION	BRKR	POLE	LOAD MATTS (VA)	CRCT	DESCRIPTION	BRKR	POLE	LOAD MATTS (VA)
1	LIGHTING 4 FAN 4 RECEPTACLES	20	1	1500	2	EQUIPMENT RECEPTACLE	20	1	1500
3	EXTERIOR A/C UNIT (C-1)	20	4	4800	4	EQUIPMENT RECEPTACLE	20	1	1500
5	SPACE		2		6	AIR HANDLING UNIT (AHU-1)	20	1	4800
7	SPACE				8	SPACE		2	
9	SPACE				10	SPACE			
11	SPACE				12	SPACE			
13	SPACE				14	SPACE			
15	SPACE				16	SPACE			
17	SPACE				18	SPACE			
19	SPACE				20	SPACE			
21	SPACE				22	SPACE			

NOTE: VERIFY ALL LOADS AND BREAKER REQUIREMENTS WITH APPLIANCE MANUFACTURERS SPECIFICATIONS.

PANEL 'B' SCHEDULE										* LIGHTING LOADS ARE TO BE AVERAGED @ 3 VA PER 5.7.
150 AMP PANEL 120 / 208V - 1Ø - 3Ø MAIN LUG					LOAD MATTS (VA)					
CRCT	DESCRIPTION	BRKR	POLE	LOAD MATTS (VA)	CRCT	DESCRIPTION	BRKR	POLE	LOAD MATTS (VA)	
1	MASTER BEDROOM / BATHROOM LIGHTING 4 REC.	20	1	1500	2	GUEST BEDROOM / BATHROOM LIGHTING 4 REC.	20	1	1500	
3	LIVING ROOM LIGHTING 4 RECEPTACLES	20	1	1500	4	DINING LIGHTING 4 RECEPTACLES	20	1	1500	
5	KITCHEN LIGHTING 4 RECEPTACLES	20	1	1500	6	APPLIANCE RECEPTACLE	20	1	1500	
7	APPLIANCE RECEPTACLE	20	1	1500	8	APPLIANCE RECEPTACLE	20	1	1500	
9	WATER HEATER (TANK)	20	4	4800	10	REFRIGERATOR	20	1	1800	
11	WASHING MACHINE	20	2	2000	12	DISHWASHER	20	1	1200	
13	EXTERIOR A/C UNIT (C-1)	20	4	4800	14	DRYER	20	1	4800	
15	SPACE		2		16	AIR HANDLING UNIT (AHU-1)	20	1	4800	
17	MICROWAVE / HOOD	20	2	2000	18	SPACE		2		
19	SPACE		2		22	RANGE OVEN	30	1	7200	
23	SPACE				24	SPACE		2		
25	SPACE				26	SPACE				
27	SPACE				28	SPACE				
29	SPACE				30	SPACE				
31	SPACE				32	SPACE				
33	SPACE				34	SPACE				
35	SPACE				36	SPACE				
37	SPACE				38	SPACE				
39	SPACE				40	SPACE				
41	SPACE				42	SPACE				

NOTE: VERIFY ALL LOADS AND BREAKER REQUIREMENTS WITH APPLIANCE MANUFACTURERS SPECIFICATIONS.

PANEL 'A' SCHEDULE										* LIGHTING LOADS ARE TO BE AVERAGED @ 3 VA PER 5.7.
150 AMP PANEL 120 / 208V - 1Ø - 3Ø MAIN LUG					LOAD MATTS (VA)					
CRCT	DESCRIPTION	BRKR	POLE	LOAD MATTS (VA)	CRCT	DESCRIPTION	BRKR	POLE	LOAD MATTS (VA)	
1	MASTER BEDROOM / BATHROOM LIGHTING 4 REC.	20	1	1500	2	GUEST BEDROOM / BATHROOM LIGHTING 4 REC.	20	1	1500	
3	LIVING ROOM LIGHTING 4 RECEPTACLES	20	1	1500	4	DINING LIGHTING 4 RECEPTACLES	20	1	1500	
5	KITCHEN LIGHTING 4 RECEPTACLES	20	1	1500	6	APPLIANCE RECEPTACLE	20	1	1500	
7	APPLIANCE RECEPTACLE	20	1	1500	8	APPLIANCE RECEPTACLE	20	1	1500	
9	WATER HEATER (TANK)	20	4	4800	10	REFRIGERATOR	20	1	1800	
11	WASHING MACHINE	20	2	2000	12	DISHWASHER	20	1	1200	
13	EXTERIOR A/C UNIT (C-1)	20	4	4800	14	DRYER	20	1	4800	
15	SPACE		2		16	AIR HANDLING UNIT (AHU-1)	20	1	4800	
17	MICROWAVE / HOOD	20	2	2000	18	SPACE		2		
19	SPACE		2		22	RANGE OVEN	30	1	7200	
23	SPACE				24	SPACE		2		
25	SPACE				26	SPACE				
27	SPACE				28	SPACE				
29	SPACE				30	SPACE				
31	SPACE				32	SPACE				
33	SPACE				34	SPACE				
35	SPACE				36	SPACE				
37	SPACE				38	SPACE				
39	SPACE				40	SPACE				
41	SPACE				42	SPACE				

NOTE: VERIFY ALL LOADS AND BREAKER REQUIREMENTS WITH APPLIANCE MANUFACTURERS SPECIFICATIONS.

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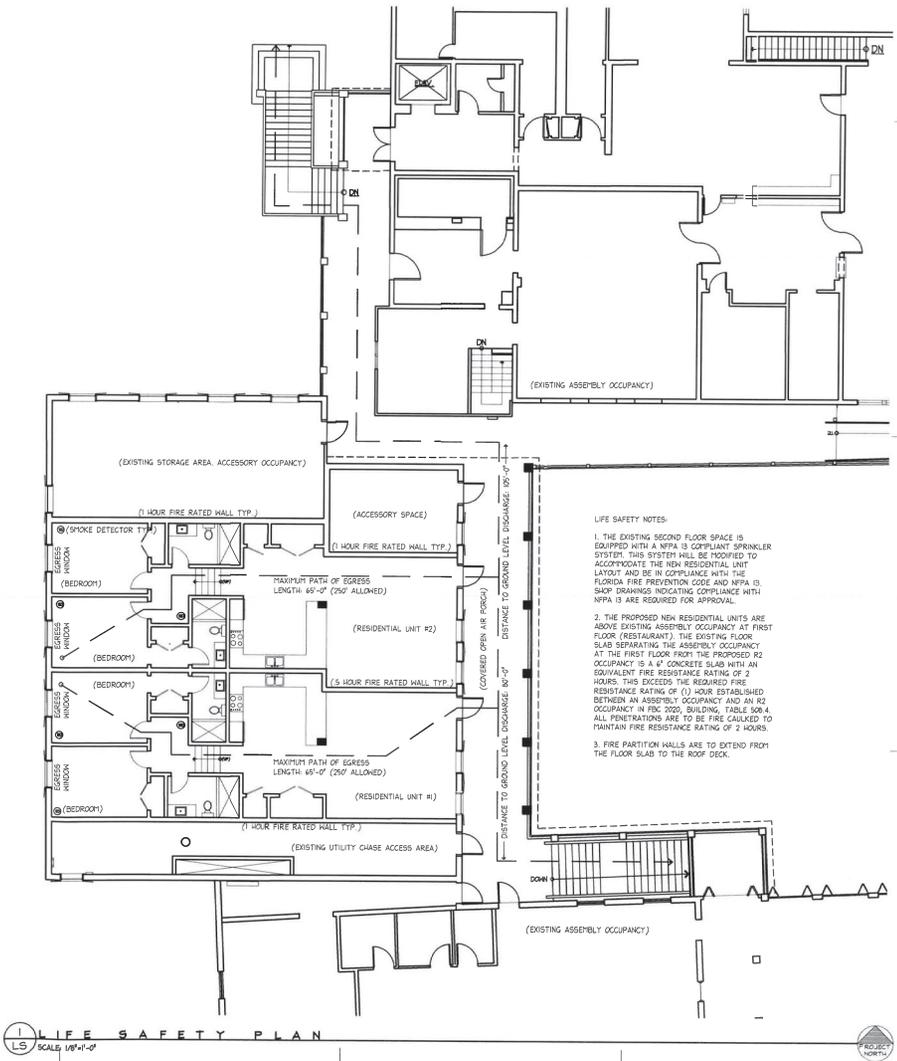
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A&B RESIDENTIAL UNITS (AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT) LIFE SAFETY CODE CALCULATIONS: FLORIDA BUILDING CODE 2020, BUILDING	
Chapter 3	
Section 310	<u>Occupancy Classification:</u> Residential Group R2
Chapter 5	
Table 508.4	<u>Fire Separation:</u> 1 Hour Fire Partition Required Between Residential Units and Existing Assembly Occupancy. Both Occupancies are equipped with automatic fire sprinklers.
Chapter 7	
Section 708	<u>Fire Partitions:</u> 1/2 Hour Fire Partition Required Between Units Per 708.3 Exception #2.
Chapter 9	
Section 903	Proposed buildings are to be designed with an NFPA 13R sprinkler system.
Chapter 10	
Table 1004.5	<u>Occupancy Loads:</u> Residential (R-2): 1,200 s.f. / 200 gross = 6 persons (per unit)
Sec. 1006 / Table 1006.2.1 Sec. 1006.3.3 (5)	<u>Number of Exits Required:</u> 1 Exit Required. 3 Exits to be provided at each unit. 1 Main exit (door) and 2 emergency egress windows, one at each bedroom space.
Table 1017.2	<u>Maximum Path of Egress:</u> 250' (sprinklered)
Section 1030	<u>Emergency Escape & Rescue:</u> Each Bedroom is to be provided with an emergency escape window per FBC Section 1030 meeting minimum size requirements per FBC Section 1030.2, complying with location requirements per FBC Section 1030.3, and operational constraints per FBC Section 1030.4.



LIFE SAFETY NOTES:

1. THE EXISTING SECOND FLOOR SPACE IS EQUIPPED WITH A NFPA 13R COMPLIANT SPRINKLER SYSTEM. THIS SYSTEM WILL BE MODIFIED TO ACCOMMODATE THE NEW RESIDENTIAL UNIT LAYOUT AND BE IN COMPLIANCE WITH THE FLORIDA FIRE PREVENTION CODE AND NFPA 13. SHOP DRAWINGS INDICATING COMPLIANCE WITH NFPA 13 ARE REQUIRED FOR APPROVAL.
2. THE PROPOSED NEW RESIDENTIAL UNITS ARE ABOVE EXISTING ASSEMBLY OCCUPANCY AT FIRST FLOOR (RESTAURANT). THE EXISTING FLOOR SLAB SEPARATING THE ASSEMBLY OCCUPANCY AT THE FIRST FLOOR FROM THE PROPOSED R2 OCCUPANCY IS A 4" CONCRETE SLAB WITH AN EQUIVALENT FIRE RESISTANCE RATING OF 2 HOURS. THIS EXCEEDS THE REQUIRED FIRE RESISTANCE RATING OF (1) HOUR ESTABLISHED BETWEEN AN ASSEMBLY OCCUPANCY AND AN R2 OCCUPANCY IN FBC 2020, BUILDING, TABLE 508.4. ALL PENETRATIONS ARE TO BE FIRE CALKED TO MAINTAIN FIRE RESISTANCE RATING OF 2 HOURS.
3. FIRE PARTITION WALLS ARE TO EXTEND FROM THE FLOOR SLAB TO THE ROOF DECK.

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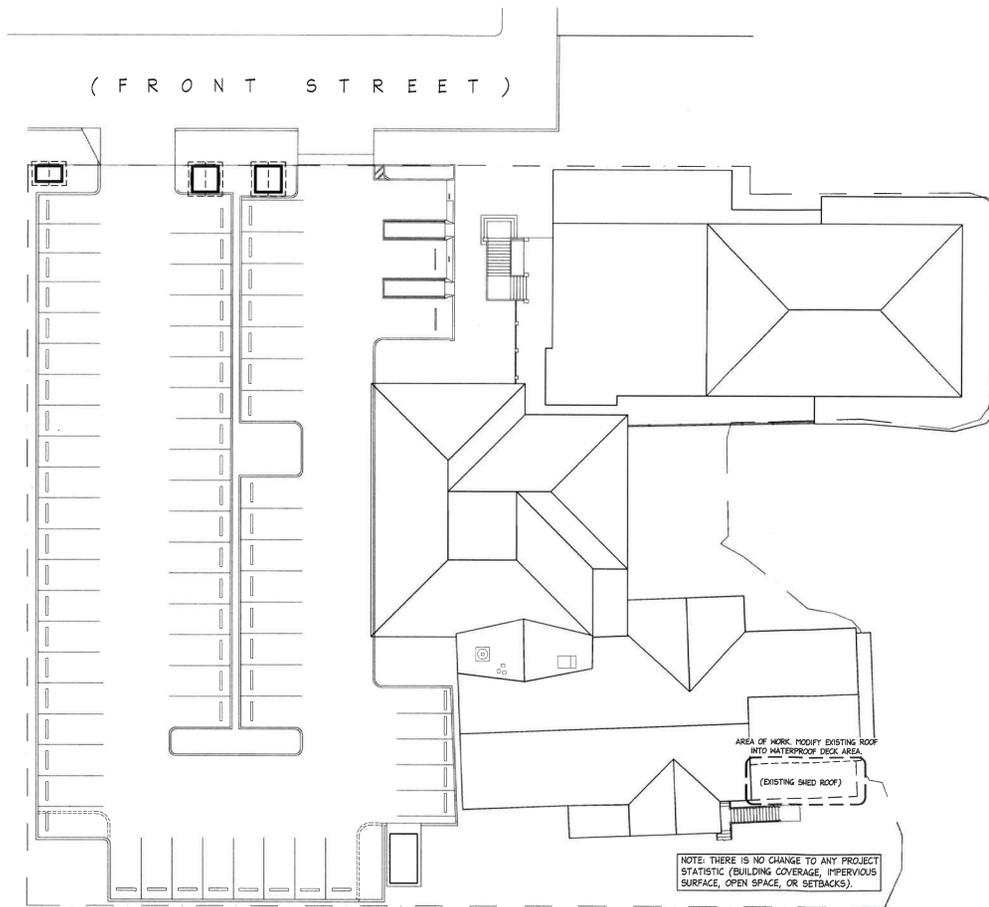
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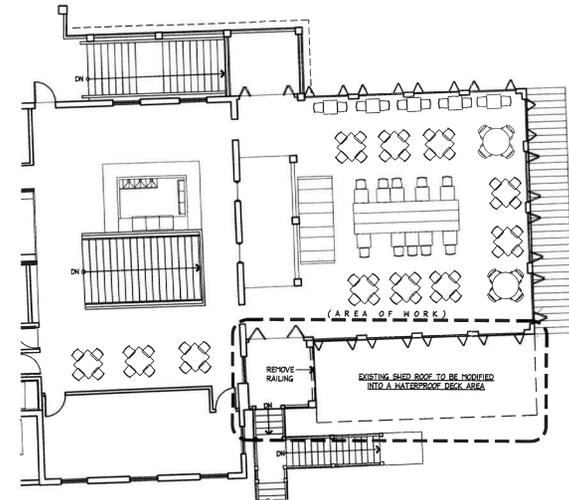
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2 SITE PLAN SHOWING AREA OF WORK
A1.1 SCALE: 1/8"=1'-0"



3 PHOTO OF WORK AREA
A1 SCALE: N.T.S.



1 AREA OF WORK DETAIL
A1.1 SCALE: 1/8"=1'-0"

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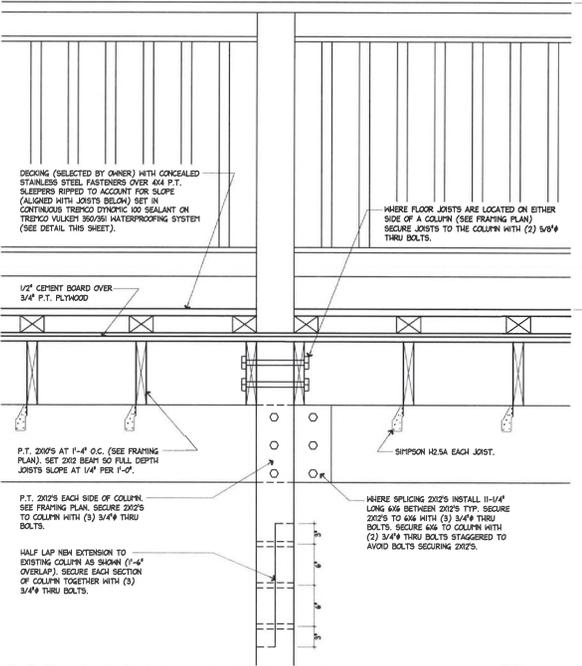
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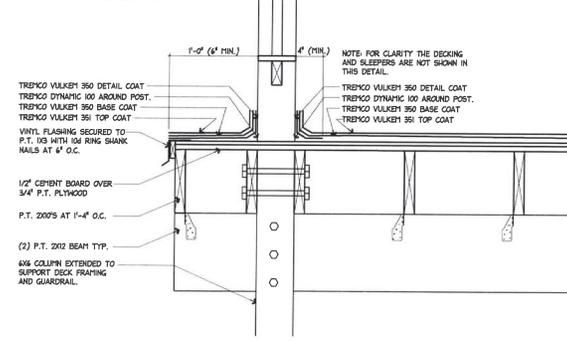
A1.1

GUARDRAIL TO BE CONSTRUCTED TO MATCH THE EXISTING GUARDRAILS WITHIN THE A&B COMPLEX COMPLIANCE WITH FEC BUILDING (2020) SECTION 015.



2 DECK DETAIL (PARTIAL LONGITUDINAL SECTION)
A3.1 SCALE: 1-1/2"=1'-0"

GUARDRAIL TO BE CONSTRUCTED TO MATCH THE EXISTING GUARDRAILS WITHIN THE A&B COMPLEX COMPLIANCE WITH FEC BUILDING (2020) SECTION 015.



1 DECK DETAIL (WATERPROOFING DETAIL)
A3.1 SCALE: 1/2"=1'-0"

EXISTING #6 COLUMN EXTENDED TO ACCOMMODATE GUARDRAIL CONSTRUCTION.

GUARDRAIL TO BE CONSTRUCTED TO MATCH THE EXISTING GUARDRAILS WITHIN THE A&B COMPLEX COMPLIANCE WITH FEC BUILDING (2020) SECTION 015.

DECKING (GAPPED) SELECTED BY OWNER. OVER #4 SLEEPERS. OVER VULKER WATER PROOFING. OVER 1/2" CONCRETE SD. OVER 3/4" P.T. PLYWOOD SHEATHING.

SEE DETAIL THIS SHEET FOR WATERPROOFING AROUND POST LOCATION.

COMPOSITE TRIM (HELD SHORT OF DECK A MIN OF 1" FOR WATER DRAINAGE).

VINYL FLASHING SECURED TO P.T. IXS WITH 100 RING SHANK NAILS AT 4" O.C.

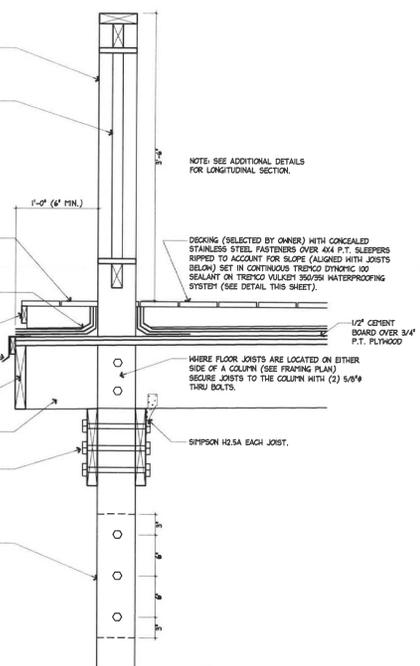
P.T. 2X FASCIA BOARD TYP.

P.T. 2X05'S AT 1'-4" O.C. (SEE FRAMING PLAN). SET 2X02 BEAM 90 FULL DEPTH JOISTS SLOPE AT 1/4" PER 1'-0".

P.T. 2X02'S EACH SIDE OF COLUMN. SEE FRAMING PLAN. SECURE 2X02'S TO COLUMN WITH (3) 3/4" THRU BOLTS.

NOTE: ALL BOLTS TO BE STAINLESS STEEL.

HALF LAP NHA EXTENSION TO EXISTING COLUMN AS SHOWN (1'-4" OVERLAP). SECURE EACH SECTION OF COLUMN TOGETHER WITH (3) 3/4" THRU BOLTS.



1 DECK DETAIL (CROSS SECTION)
A3.1 SCALE: 1/2"=1'-0"

EXISTING DOOR. DOOR TO BE RETROFIT TO ALIGN BOTTOM OF WATERPROOFING BELOW DOOR THRESHOLD. THRESHOLD (WHEN REINSTALLED) IS TO BE SET INTO A CONTINUOUS BEAD OF SEALANT.

TREKO DYNAMIC 100.
TREKO VULKER 360 DETAIL COAT.
TREKO VULKER 360 BASE COAT.
TREKO VULKER 360 DETAIL COAT.

SIMPSON JOIST HANGER TYPICAL AT EACH JOIST.

(2) P.T. 2X0 1/2" 3/4" ADHESIVE ANCHORS @ 1'-4" O.C. W/ 4-3/4" EMBEDMENT. CONFORMATION OF CONCRETE SUB STRUCTURE REQUIRED. NOTIFY ARCHITECT AFTER SELECTIVE DEMOLITION FOR INSPECTION.

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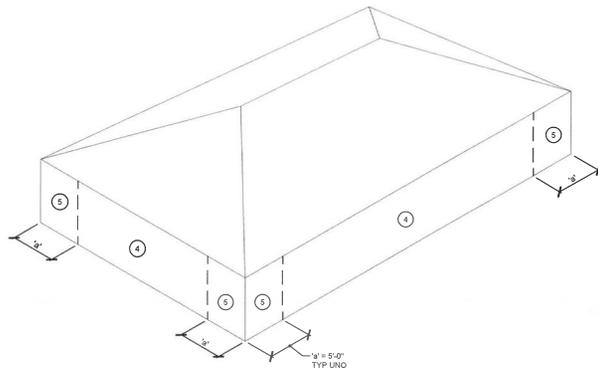
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A3.1



WALL ZONES

TRIBUTARY AREA (SF)	COMPONENT AND CLADDING WIND PRESSURES			
	ROOF ZONE		WALL ZONE	
	1	2	4	5
10	-	-	+78/-85	+78/-105
20	-	-	+75/-82	+75/-98
50	-	-	+71/-77	+71/-89
100	-	-	+67/-74	+67/-82

NOTES:

- ALL LOADS ARE IN POUNDS PER SQUARE FOOT (PSF).
- (+) DENOTES PRESSURE, (-) DENOTES SUCTIONS.
- 'a' SHALL BE 10% OF LEAST HORIZ DIMENSION OR 3'-0", WHICHEVER IS SMALLER, BUT NOT LESS THAN 4% OF LEAST HORIZ DIMENSION OR 3'-0".
- PRESSURES MAY BE CONVERTED TO ALLOWABLE VALUES BY MULTIPLYING BY 0.6.

GENERAL NOTES

- DESIGN CRITERIA
 - DESIGN BUILDING CODE:
 - FLORIDA BUILDING CODE, SEVENTH EDITION (2020)
 - DESIGN LOADS:
 - LIVE LOAD

EXTERIOR DECK	100 PSF
2000 LB	
GROUND FLOOR	100 PSF
2000 LB	
 - HANDRAIL AND GUARD LOAD

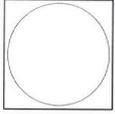
UNIFORM LOAD (ANY DIRECTION)	50 PLF
CONCENTRATED LOAD (ANY DIRECTION)	200 LB
 - WIND LOAD (ASCE/SEI 7-16)

ULTIMATE DESIGN WIND SPEED (Vult)	180 MPH
NOMINAL DESIGN WIND SPEED (Vnom)	139 MPH
RISK CATEGORY	II
EXPOSURE CATEGORY	C
ENCLOSURE CLASSIFICATION	ENCLOSED
INTERNAL PRESSURE COEFFICIENT (Cpni)	+/- 0.18
10 SF +79 PSF, -105 PSF; 20 PSF +75 PSF, -98 PSF; 50 SF +71 PSF, -89 PSF; 100 SF +66 PSF, -82 PSF.	
- GENERAL
 - THE STRUCTURAL DRAWINGS SHALL GOVERN THE WORK FOR ALL STRUCTURAL FEATURES, UNLESS NOTED OTHERWISE. THE ARCHITECTURAL DRAWINGS SHALL GOVERN THE WORK FOR ALL DIMENSIONS.
 - DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS. ONLY DIMENSIONS INDICATED ON DRAWINGS MAY BE USED TO ESTABLISH THE LOCATION AND EXTENT OF STRUCTURAL WORK. IF A REQUIRED DIMENSION IS NOT FURNISHED ON DRAWINGS, THE CONTRACTOR SHALL SUBMIT A REQUEST FOR INFORMATION TO OBTAIN THE DIMENSION.
 - UNLESS OTHERWISE INDICATED, PROVIDE EQUAL SPACING OF STRUCTURAL COMPONENTS BETWEEN OVERALL DIMENSIONS INDICATED ON DRAWINGS.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ETC., AND SHALL NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES, ADDITIONAL INFORMATION, ETC., BEFORE BEGINNING THE WORK.
 - THE CONTRACTOR SHALL USE EXTREME CAUTION IN THE DEMOLITION OF EXISTING STRUCTURES. SUCH DEMOLITION SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE STRUCTURAL INTEGRITY OF ALL EXISTING STRUCTURES TO REMAIN. PROVIDE SHORINGS AS REQUIRED.
 - STRUCTURAL WORK SHALL BE INSPECTED IN ACCORDANCE WITH ALL LOCAL ORDINANCES. THE CONTRACTOR SHALL ENGAGE AN EXPERIENCED QUALIFIED INSPECTION AGENCY, SUBJECT TO THE REVIEW OF THE ARCHITECT, TO PERFORM ALL INSPECTION WORK, AS REQUIRED.
- SHOP DRAWINGS AND DELEGATED DESIGN SUBMITTALS
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY KEISTER WEBB STRUCTURAL ENGINEERS LLC AND THE PROJECT ARCHITECT. SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL STRUCTURAL COMPONENTS INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
 - CONCRETE AND/OR MASONRY POST-INSTALLED ANCHORS
 - PREFABRICATED WOOD TRUSSES INCLUDING COLD FORMED STEEL FABRICATIONS UTILIZED IN TRUSS-TO-FRAME CONNECTIONS.
 - SHOP DRAWINGS TO BE SUBMITTED SHALL PROVIDE COMPLETE INFORMATION FOR THE PRODUCTS OR COMPONENTS TO BE SUPPLIED. SUBMITTAL INFORMATION SHALL INCLUDE, BUT NOT BE LIMITED TO: MEMBER SIZES AND DIMENSIONS; GRADES OF MATERIAL; FINISHES; MATERIAL PREPARATION REQUIRED; MATERIAL FINISH AND MATERIAL COATINGS TO BE FURNISHED; INFORMATION REGARDING CUTS, COPIES, AND HOLES REQUIRED FOR OTHER TRADES; END CONNECTIONS; CAMBER AND OTHER DEVIATION FROM LINE; SPECIAL ERECTION AND/OR INSTALLATION PROCEDURES, INCLUDING REQUIREMENTS FOR TEMPORARY STABILIZATION.
 - ALL SHOP DRAWING RESUBMITTALS AND RECORD COPY SUBMITTALS SHALL HAVE ALL REVISIONS SUBSEQUENT TO THE PREVIOUS SUBMISSION CIRCLED OR OTHERWISE IDENTIFIED ON THE RESUBMITTED SHEETS. RESUBMITTALS AND RECORD COPY SUBMITTALS WITHOUT IDENTIFICATION OF REVISIONS WILL BE REJECTED WITHOUT REVIEW.
 - THE CONTRACTOR SHALL SUBMIT ELECTRONIC OR PRINTED COPIES OF SHOP DRAWINGS (ELECTRONIC COPIES ARE PREFERRED). COPIES SHALL BE SUBMITTED TO KEISTER WEBB STRUCTURAL ENGINEERS LLC IN PDF FILE FORMAT (ISO 32000-1), WITH ONE (1) ELECTRONIC FILE PER SUBMISSION. KEISTER WEBB STRUCTURAL ENGINEERS LLC WILL REVIEW, ANNOTATE, AND RETURN ONE (1) FILE TO THE ARCHITECT FOR THEIR REVIEW AND DISTRIBUTION TO THE CONTRACTOR.
 - THE REVIEW OF SHOP DRAWINGS AND OTHER SUBMITTALS FOR THIS PROJECT IS FOR CONFORMANCE WITH THE DESIGN CONTRACT AND FOR GENERAL COMPLIANCE WITH THE INFORMATION CONTAINED IN THE CONTRACT DOCUMENTS. COMMENTS REGARDING THESE SUBMITTALS DO NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING HIS WORK IN A SAFE AND SATISFACTORY MANNER.
- CONCRETE/MASONRY ANCHORS
 - ALL ADHESIVE FOR ANCHORING TO CONCRETE SHALL BE "HILTI HIT-HY 200 ADHESIVE ANCHORS" AS MANUFACTURED BY HILTI FASTENING SYSTEMS, INC. (OR APPROVED EQUIVALENT).
 - THE "HAS-E" THREADED ROD SHALL CONFORM TO ISO 898 CLASS 5.8 WITH A MINIMUM TENSILE STRENGTH OF 72.5 KSI. THE NUT SHALL CONFORM TO SAE J999 GRADE 5.
 - THE SPACING AND MINIMUM EMBEDMENT OF POST-INSTALLED ANCHORS SHALL BE AS INDICATED ON DRAWINGS. THE INSTALLATION OF THE ANCHORS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED PROCEDURES.

- STRUCTURAL LUMBER
 - ALL STRUCTURAL LUMBER WORK SHALL BE IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (NDS - LATEST EDITION) PUBLISHED BY THE AMERICAN WOOD COUNCIL.
 - ALL STRUCTURAL LUMBER SHALL BE AS A MINIMUM NO. 2 GRADE SOUTHERN PINE AND SHALL HAVE AT LEAST THE FOLLOWING MINIMUM ALLOWABLE DESIGN STRESSES (NOT INCORPORATING THE SIZE ADJUSTMENT FACTOR (CF)) AND MODULUS OF ELASTICITY AT A MAXIMUM MOISTURE CONTENT OF 19%:

A. Fb (BENDING)	750 PSI
B. Fv (SHEAR)	175 PSI
C. Fc (COMPRESSION)	1,250 PSI
D. Ft (TENSION)	450 PSI
E. E	1,400,000 PSI
 - ALL LUMBER SHALL COMPLY WITH PS 20 "AMERICAN SOFTWOOD LUMBER STANDARD" AND WITH THE APPLICABLE RULES OF INSPECTION AGENCIES CERTIFIED BY AMERICAN LUMBER STANDARD. FACTORY-MARK EACH PIECE OF LUMBER WITH GRADE STAMP OF INSPECTION AGENCY EVIDENCING COMPLIANCE WITH GRADING RULE REQUIREMENTS.
 - STRUCTURAL STEEL PLATES, ANGLES, ETC., SHALL BE ASTM A36 HOT DIPPED GALVANIZED. CONTRACTOR TO SUBMIT SHOP DRAWINGS ON ALL MISCELLANEOUS METALS FOR REVIEW BY STRUCTURAL ENGINEER.
 - ALL BOLTS SHALL BE 3/4" DIAMETER ASTM A307 HOT DIPPED GALVANIZED UNLESS NOTED OTHERWISE WITH 2 WASHERS PER BOLT UNLESS OTHERWISE NOTED.
 - NO CUTS, HOLES, OR COPES REQUIRED FOR OTHER TRADES IN STRUCTURAL WOOD FRAMING WILL BE PERMITTED WITHOUT PRIOR REVIEW AND APPROVAL OF ENGINEER AND ARCHITECT.
 - ONE ROW OF BRIDGING SHALL BE PROVIDED AT CENTER LINE OF JOIST SPAN OR AS INDICATED ON THE DRAWINGS.
 - PRESSURE TREAT WITH WATER-BORNE PRESERVATIVES ALL LUMBER FOR SILL PLATES AND OTHER WOOD WHICH MAY BE EXPOSED TO WEATHER OR EARTH. PRESERVATIVE TREATMENT SHALL COMPLY WITH REQUIREMENTS OF AWPA STANDARDS C2 AND LP-22.
 - PROVIDE NAILING PATTERN IN COMPLIANCE WITH THE DESIGN BUILDING CODE'S RECOMMENDED FASTENING SCHEDULE WHEN JOINING TWO OR MORE FRAMING MEMBERS.
 - ALL WOOD JOISTS BEARING ENDS SHALL BE ANCHORED TO SUPPORT IN WOOD FRAMING WITH A STAINLESS STEEL TYPE A36 FRAMING ANCHOR OR AS SHOWN ON PLAN AND SECTIONS, AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC.
 - ALL WOOD JOIST OR HEADERS ENDS WHICH FRAME INTO BEAMS SHALL BE HUNG WITH THE FOLLOWING STAINLESS STEEL JOIST HANGERS, AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC., OR WITH APPROVED SUBSTITUTES WITH THE FOLLOWING WORKING LOAD CAPACITIES:

JOIST SIZE	SIMPSON HANGER	LOAD CAPACITY
2x6	U26	705 LBS.
2x8	U26	705 LBS.
2x10	U210	1,175 LBS.
2x12	U210	1,175 LBS.
2-2x8	HU26-2	990 LBS.
2-2x8	HU28-2	1,300 LBS.
2-2x10	HU210-2	1,666 LBS.
2-2x12	HU212-2	2,016 LBS.
 - ALTERNATE CONNECTION DETAILS MAY BE USED IF SUCH DETAILS ARE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. HOWEVER, THE ENGINEER SHALL BE THE SOLE JUDGE OF ACCEPTANCE AND THE CONTRACTOR'S BID SHALL ANTICIPATE THE USE OF THOSE SPECIFIED DETAILS SHOWN ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF SUCH ALTERNATE DETAILS WHICH HE PROPOSES.
- STRUCTURAL WOOD PANELS/WOOD SHEATHING
 - FURNISH PANELS THAT ARE EACH FACTORY MARKED WITH A CERTIFICATION STAMP EVIDENCING COMPLIANCE WITH GRADE AND SPAN RATING REQUIREMENTS. THE CENTER-TO-CENTER SPACING IN INCHES SHALL NOT EXCEED THE SPAN RATING STAMPED ON THE PANELS. INSTALLATION OF THE PANELS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE APA.
 - FLOORING:
 - MIN. THICKNESS = 3/4"
 - BOND CLASSIFICATION = EXTERIOR
 - GRADE = APA RATED SHEATHING STRUCTURAL I
 - SPAN RATING = AS REQUIRED TO SUIT JOIST/TRUSS SPACING
 - PANELS SHALL COMPLY WITH USDOC PS-1 OR PS-2 AND APA PRP-108 AND SHALL MEET THE FOLLOWING REQUIREMENTS:
- ALL PANELS WHICH HAVE ANY EDGE OR FACE PERMANENTLY EXPOSED TO THE WEATHER SHALL BE CLASSIFIED EXTERIOR, EXCEPT OPEN SOFFITS OR ROOF SHEATHING EXPOSED ON THE UNDERSIDE MAY BE CLASSIFIED EXPOSURE 1.
- ALL FLOOR PANELS SHALL HAVE THE END JOINTS LOCATED OVER SUPPORTS AND SHALL HAVE THE ROWS STAGGERED ONE HALF PANEL LENGTH FROM ADJACENT PANELS. PROVIDE 1/8" SPACE AT PANEL ENDS AND EDGES.
- ALL PANELS INSTALLED IN FLOORS SHALL HAVE TONGUE-AND-GROOVE EDGES.
- THE USE OF ORIENTED STRAND BOARD STRUCTURAL PANELS IN FLOOR CONSTRUCTION IS PROHIBITED UNLESS APPROVED BY THE ARCHITECT.
- ALL FLOOR STRUCTURAL PANELS SHALL BE NAILED WITH 100 RING SHANK STAINLESS STEEL NAILS AT 6" ON CENTER AT ALL ENDS AND EDGES AND AT 6" ON CENTER AT ALL INTERMEDIATE SUPPORTS.
- ALL PLYWOOD PANELS SHALL COMPLY WITH THE WIND UPLIFT REQUIREMENTS OF NMS19 NMS20 FOR FULLY-WIND-RESISTIVE ROOF ASSEMBLIES COMPLYING WITH UL CLASS 90 CLASSIFICATION.



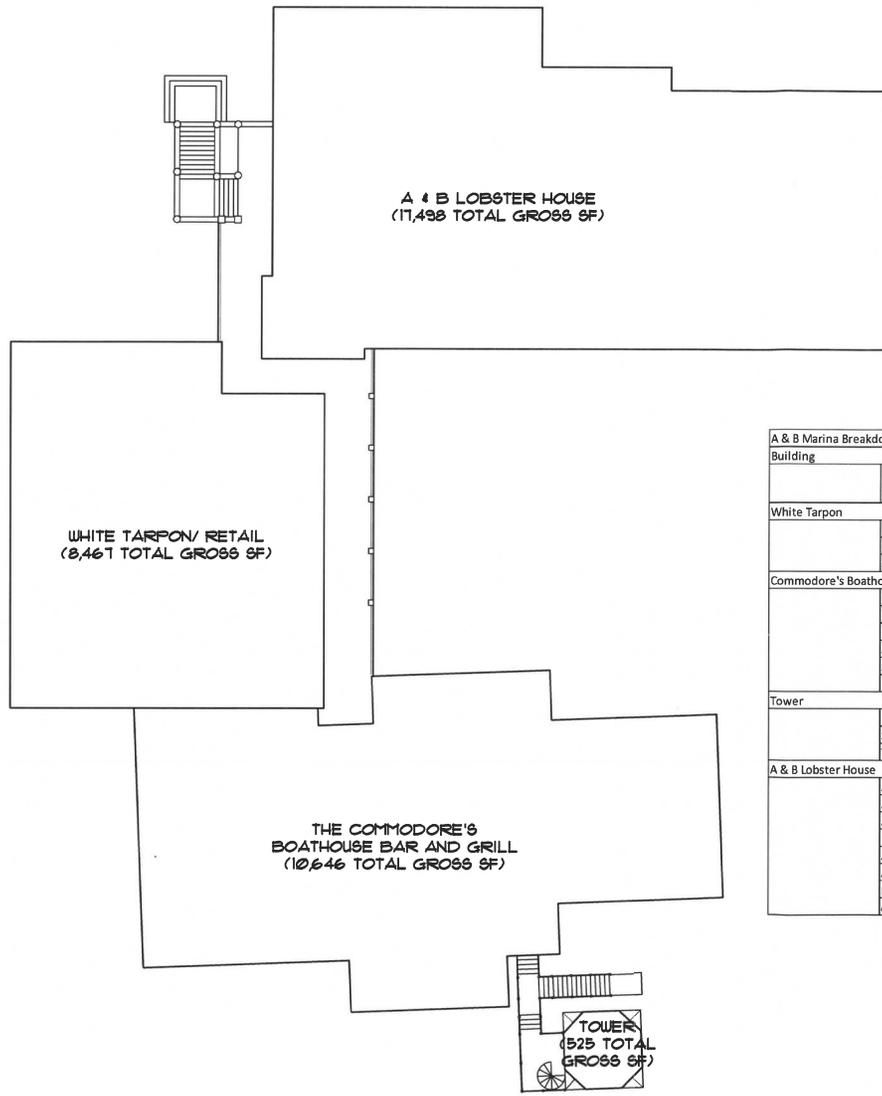
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Date: 01/07/2022

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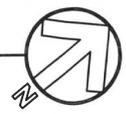
A & B MARINA COMPLEX
KEY WEST, FLORIDA



A & B Marina Breakdown			
Building		Area (SF)	
	Space	Gross Area	Total Building Gross Area (Enclosed and Open Air)
White Tarpon			8,467
	First Level Bar (Enclosed)	2,540	
	First Level Patio (Open Air)	1,991	
	Second Level Retail (Enclosed)	4,000	
Commodore's Boathouse Bar and Grill			10,646
	First Level Bar (Enclosed Open Air)	1,376	
	First Level Back of House (Enclosed)	1,899	
	First Level Retail Tenant (Enclosed)	755	
	Second Level Dining (Enclosed)	3,273	
	Second Level Back of House (Enclosed)	1,751	
	Marina Showers, Laundry (Enclosed)	863	
Tower			525
	First Floor	187	
	Second Floor	169	
	Third Floor	169	
A & B Lobster House			17,498
	Alonzo's Enclosed Dining	2,514	
	Alonzo's Outside Dining	1,727	
	Alonzo's (First Floor) Back of House (Enclosed)	3,156	
	Key West Treasure (Retail Enclosed)	728	
	A&B Enclosed Dining	2,514	
	A&B Outdoor Dining	1,506	
	Berlin's (Second Floor Enclosed)	1,200	
	estimated A&B (Second Floor) Back of House (Enclosed)	2,780	

Key Plan

1" = 30' - 0"

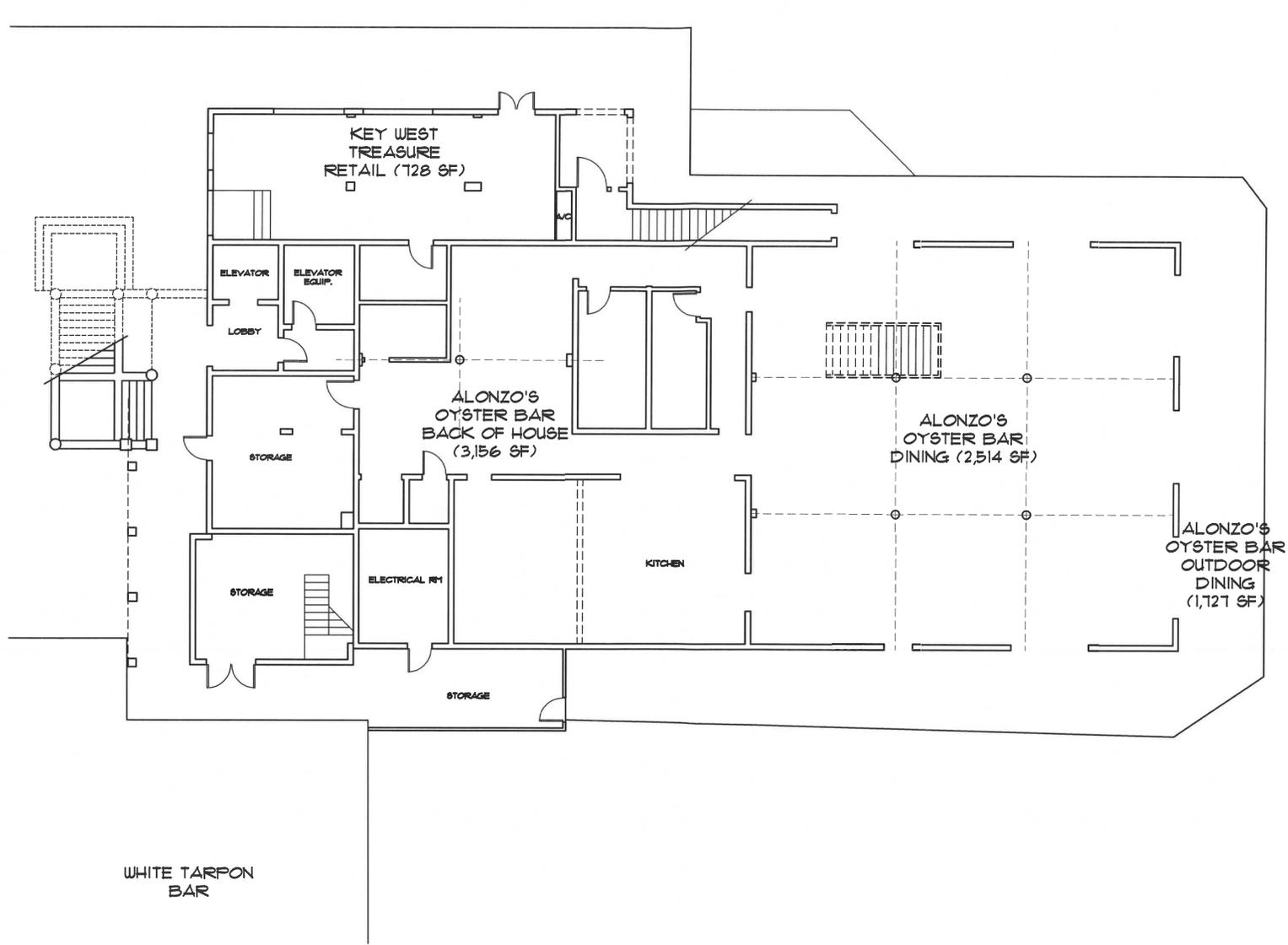


A & B Marina
700 Front Street Key West, FL

THOMAS E. POPE, P.A.
POPE-SCARBROUGH-ARCHITECTS
(305) 296 3611 610 White St., Key West FL

date:
revision:

sheet:
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A & B Marina
700 Front Street Key West, FL

THOMAS E. POPE, P.A.
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610 White St., Key West FL
(905) 298 3611

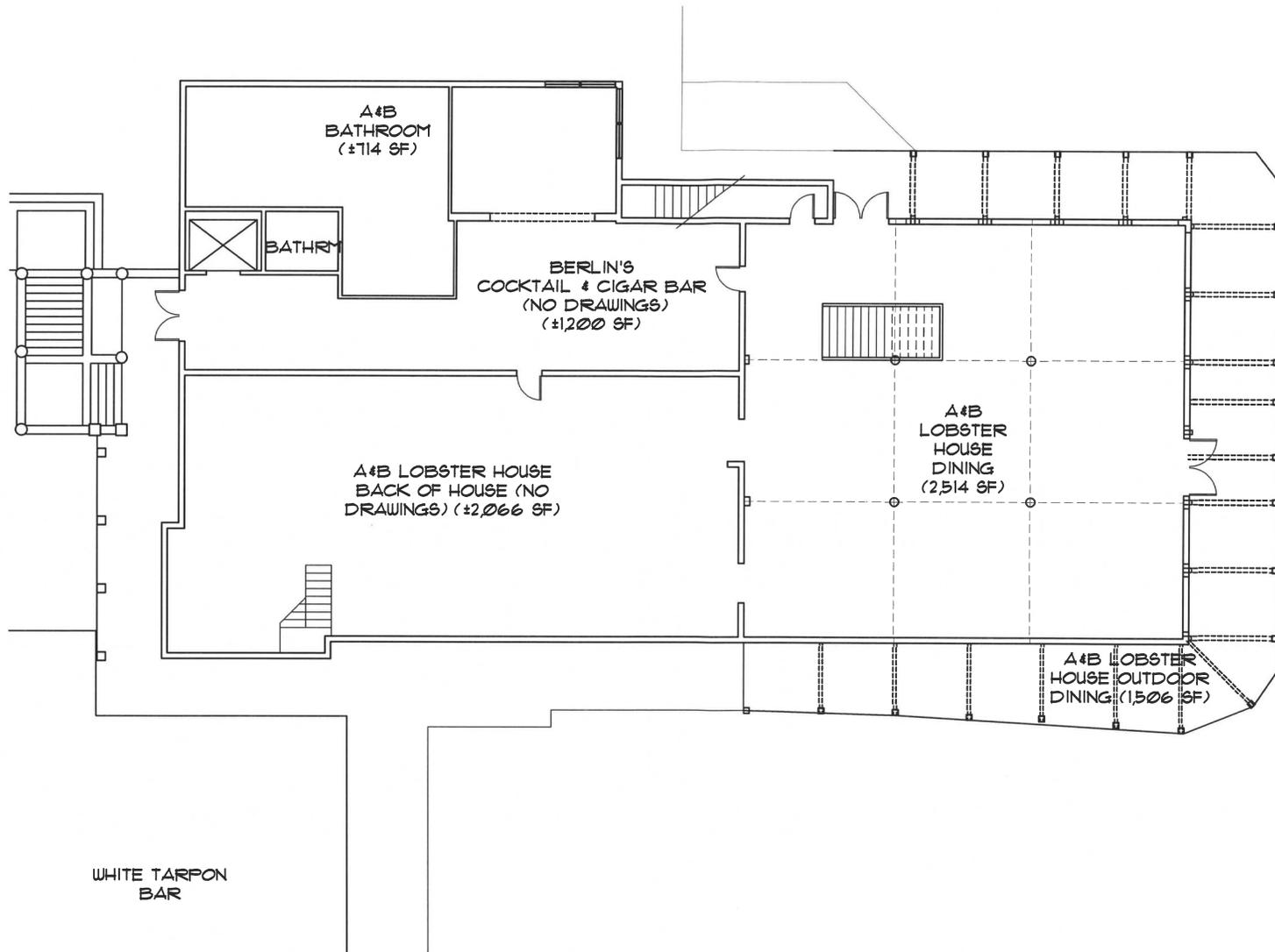
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A & B Lobster House
First Floor Plan

1/16" = 1' - 0"





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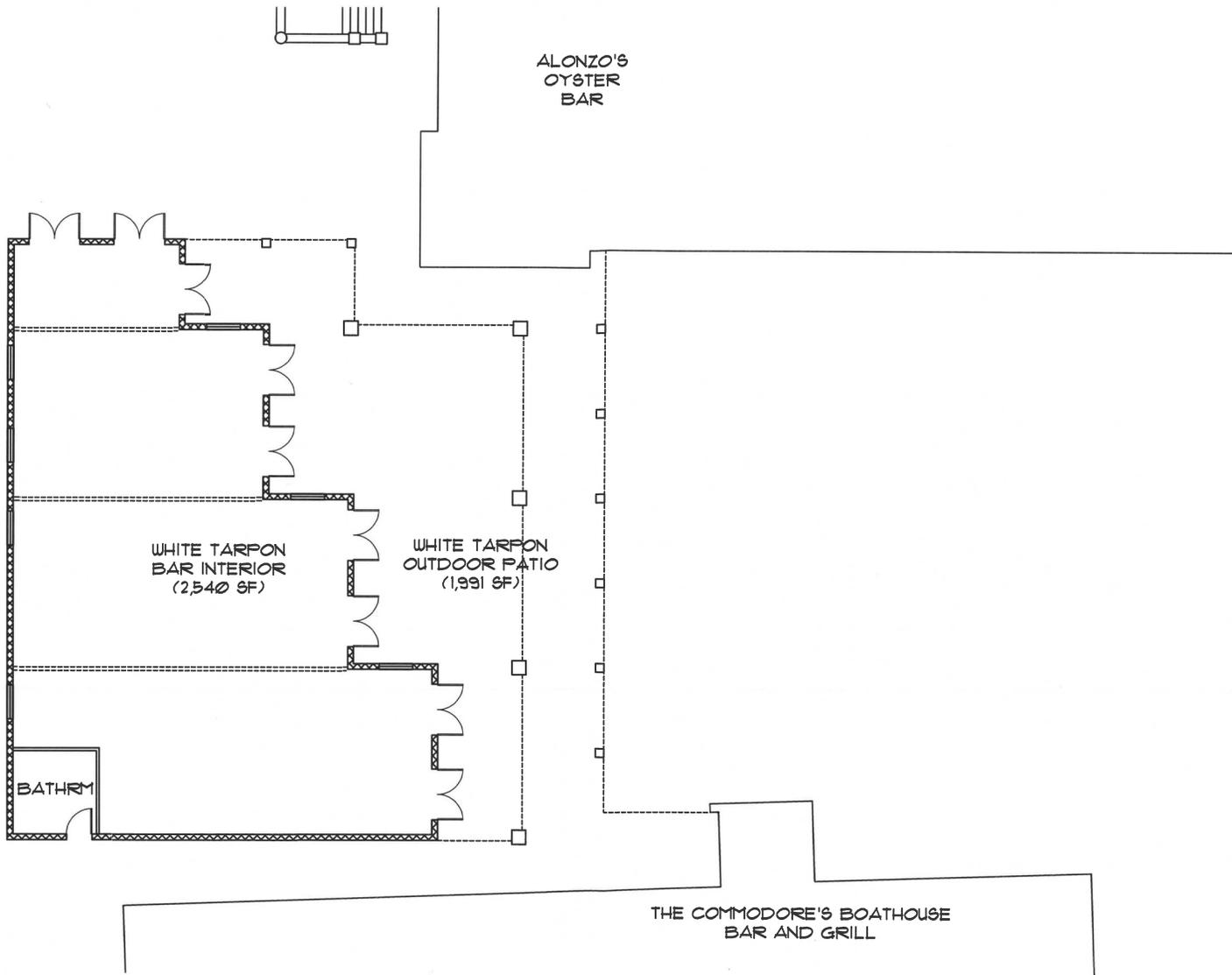
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**A & B Lobster House
Second Floor Plan**

1/16" = 1' - 0"





**White Tarpon
First Floor Plan**

1/16" = 1' - 0"

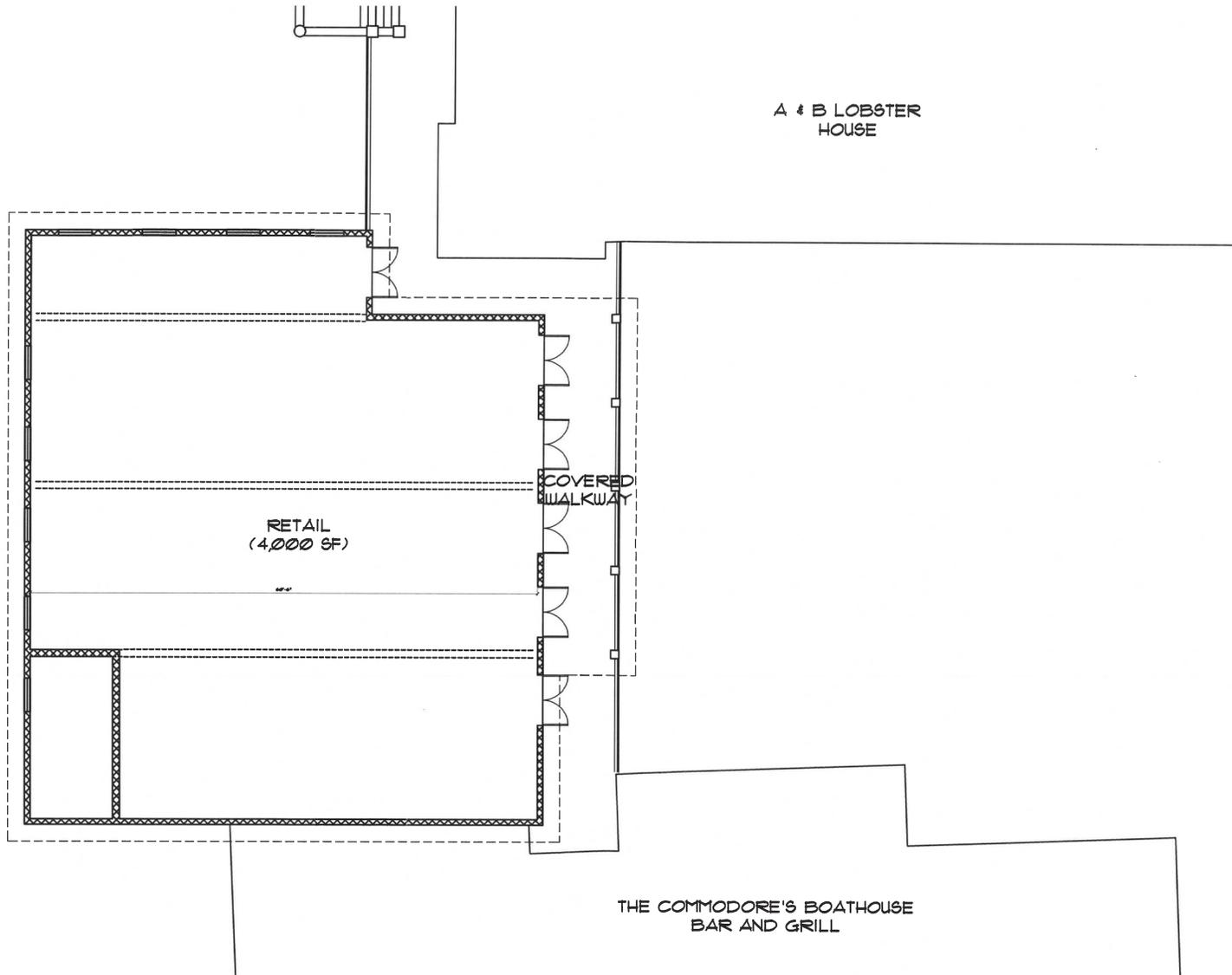


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(305) 296 9611
610 White St. Key West FL

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A.1.1



White Tarpon
Second Floor Plan

1/16" = 1' - 0"

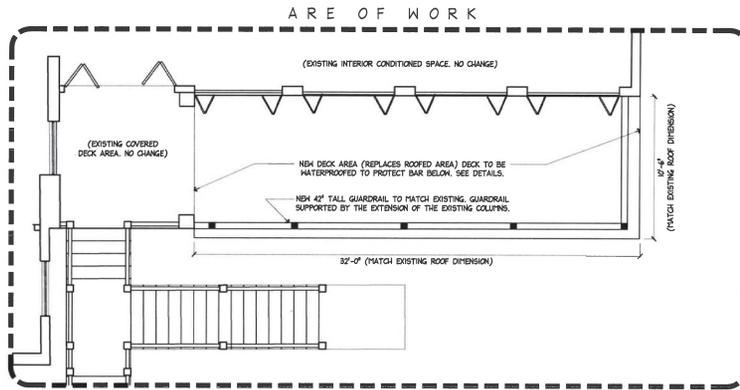


A & B Marina
700 Front Street
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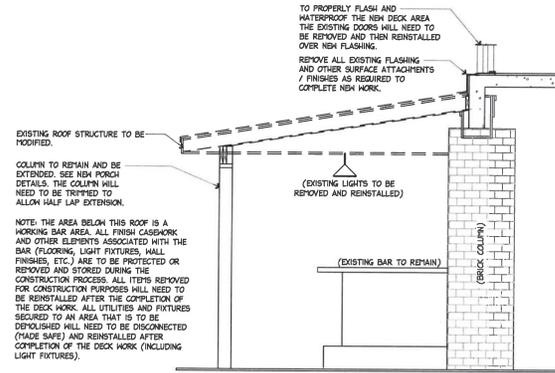
THOMAS E. POPE P.A.
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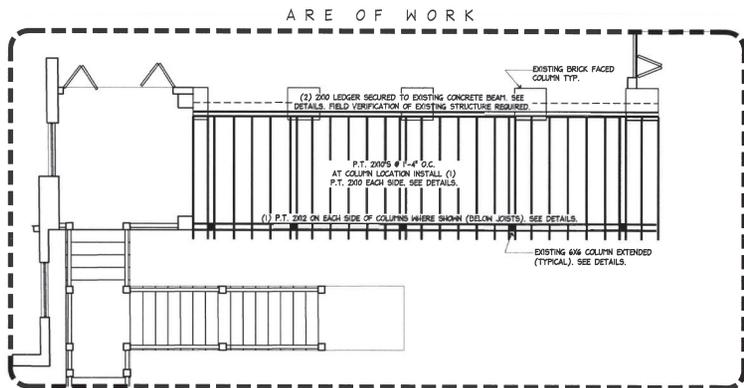
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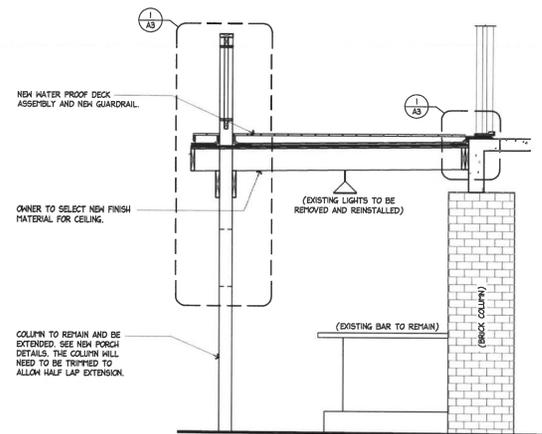
4 PROPOSED PLAN
A2.1 SCALE: 1/4"=1'-0"



3 EXISTING SECTION
A2.1 SCALE: 1/2"=1'-0"



2 FRAMING PLAN
A2.1 SCALE: 1/4"=1'-0"



1 PROPOSED SECTION
A2.1 SCALE: 1/2"=1'-0"

A & B MARINA COMPLEX
KEY WEST, FLORIDA

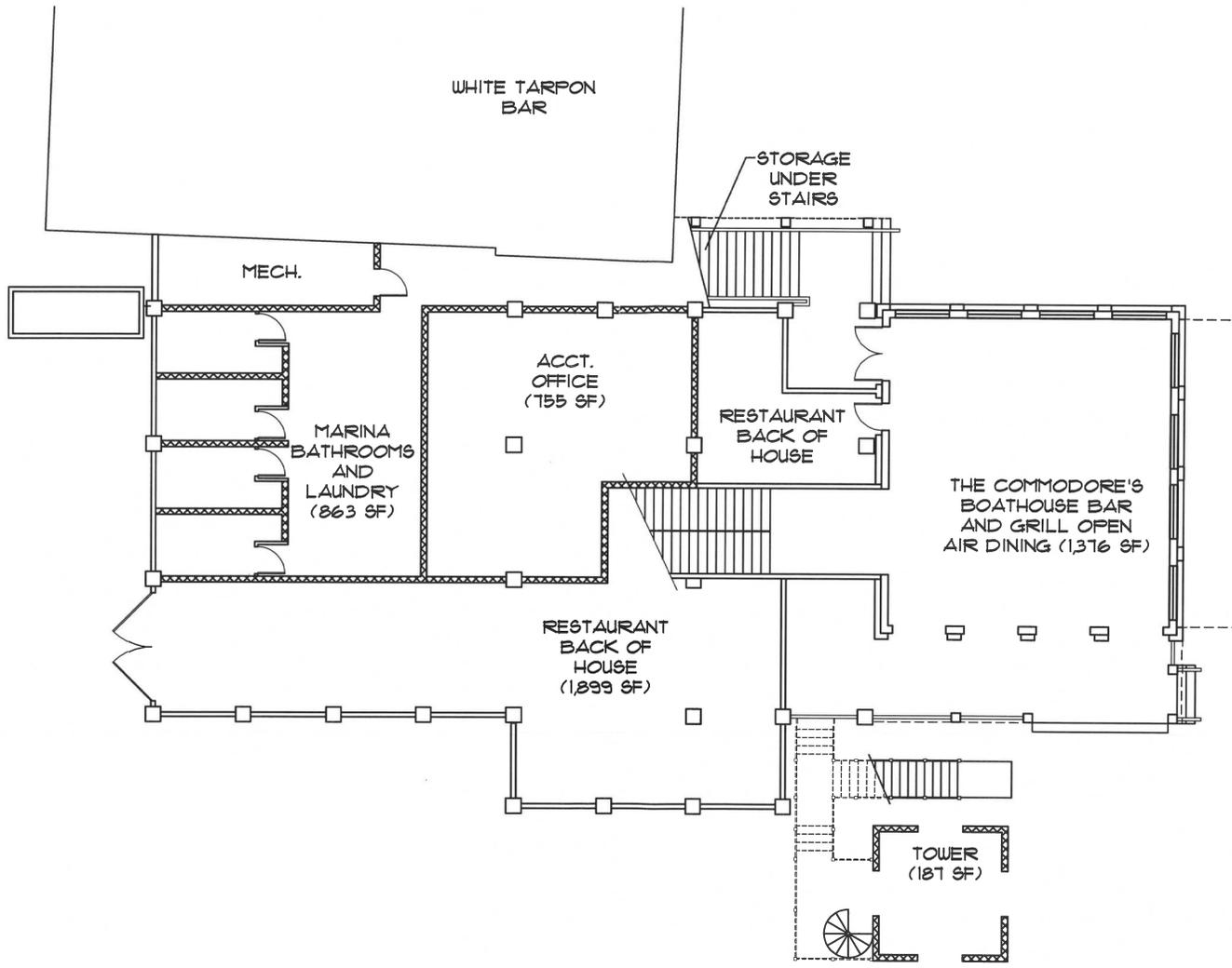
410 Angela Street
Key West, Florida 33040
Telephone (305) 236-1347
Facsimile (305) 236-2727
Florida License AIC000022

Bender & Associates
ARCHITECTS
P.C.

Project No. 2202

Date 01/07/2022

A2.1



A & B Marina
 700 Front Street
 Key West, FL

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 POPE-SCARROUGH-ARCHITECTS
 (305) 296 9611
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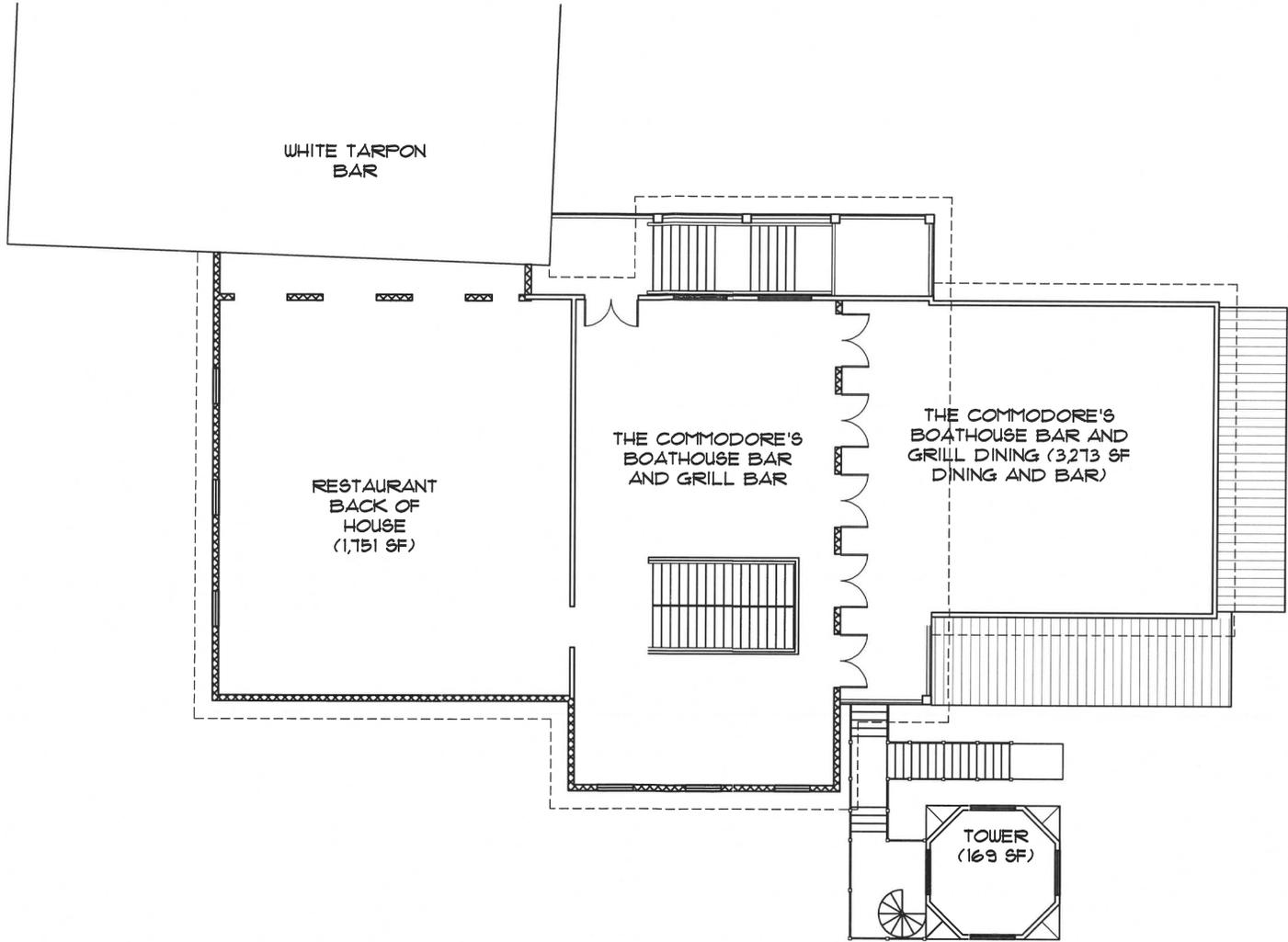
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**Commodore's Boathouse
First Floor Plan**

1/16" = 1' - 0"





A & B Marina
700 Front Street
Key West, FL

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POPE-SCARBROUGH-ARCHITECTS
610 White St, Key West, FL
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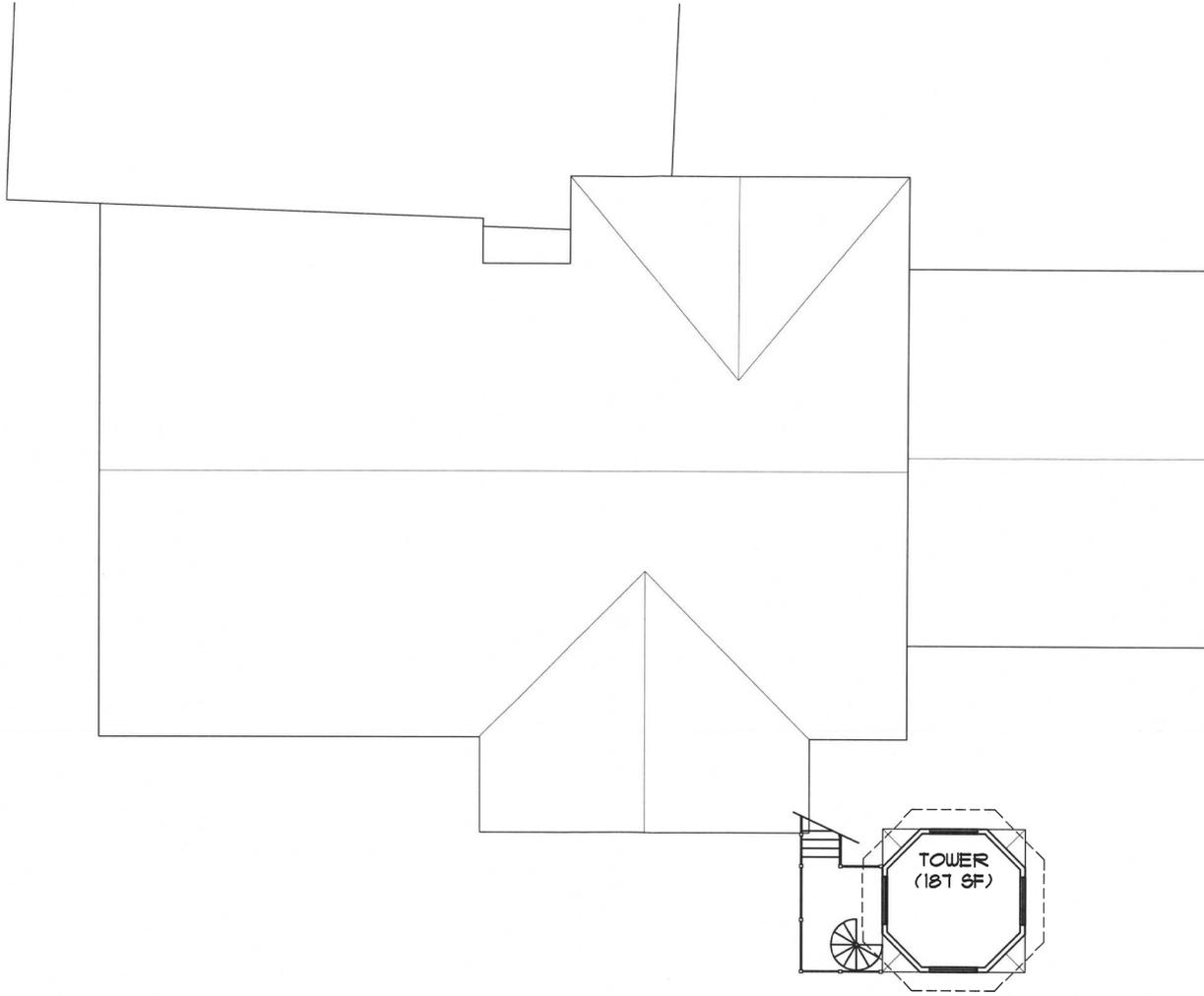
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Commodore's Boathouse
Second Floor Plan

1/16" = 1' - 0"





**Tower
Third Floor Plan**

1/16" = 1' - 0"

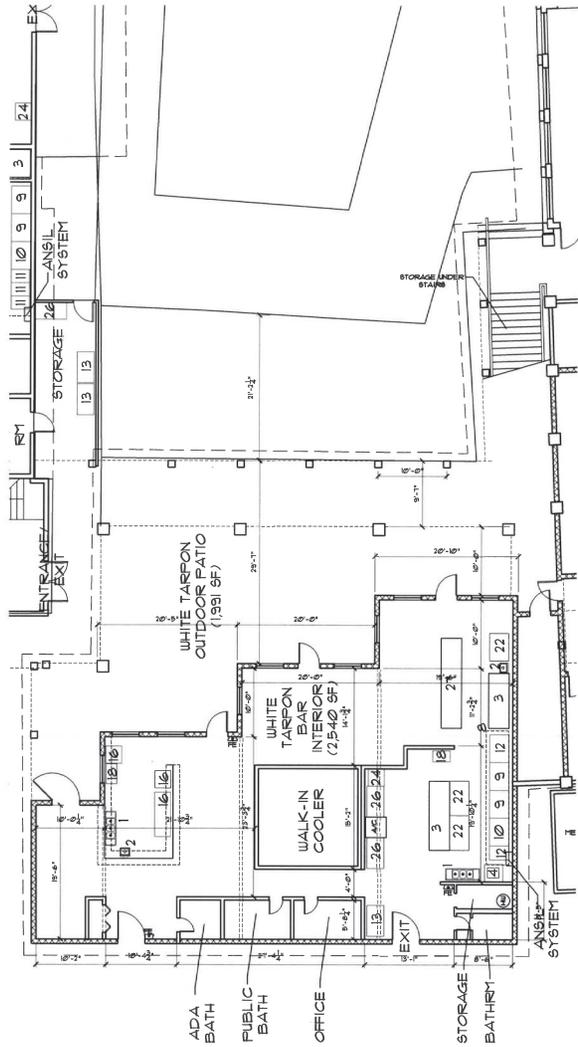


A & B Marina
700 Front Street Key West, FL

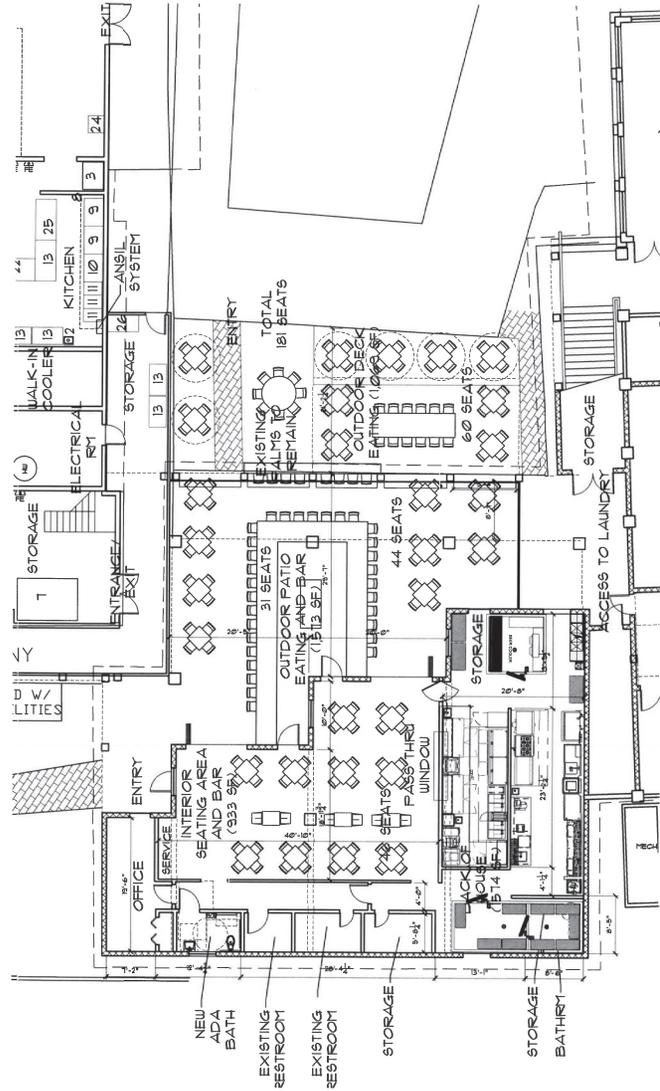
THOMAS E. POPE, P.A.
POPE-SCARBROUGH-ARCHITECTS
(305) 296 9611 610 White St, Key West FL

date:
revision:

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A1.1



Existing Floor Plan



Proposed Floor Plan

sheet:
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(305) 286 3611 610 White St., Key West FL

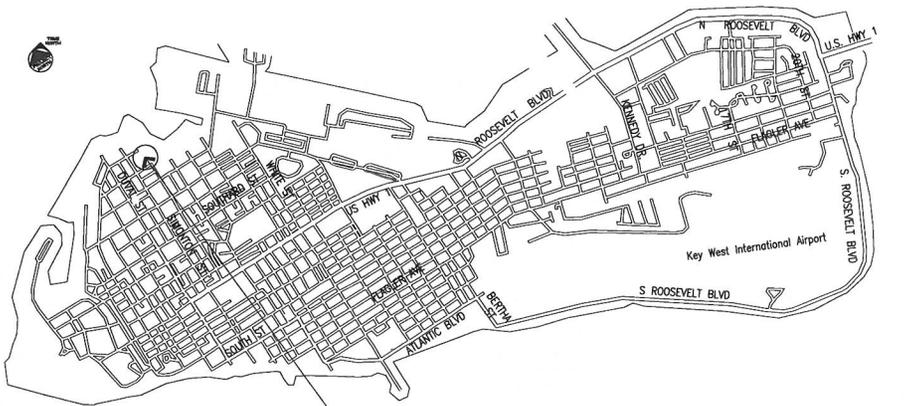
Project Address
Project Title

Key West, FL

date:
6/25/15
revision:

A & B MARINA COMPLEX

Key West Florida 33040
(PROPOSED RESIDENTIAL UNITS)

SITE MAP - KEY WEST	PROJECT DIRECTORY	GENERAL NOTES																																																																																																					
 <p>SITE LOCATION: A & B MARINA COMPLEX KEY WEST, FL 33040</p>	<p>PROJECT: A&B RESIDENTIAL UNITS ARCHITECT'S PROJECT No.: ----</p> <p>CONTACT: Address: 401 Angela Street, Key West, FL 33040 Tel: (305) 296-1847 Fax: (305) 296-2771 E-mail: henry@benderandassociates.com Architect: Henry Barker</p> <p>ARCHITECT: BENDER & ASSOCIATES ARCHITECTS, P.A. Address: 401 Angela Street, Key West, FL 33040 Tel: (305) 296-1847 Fax: (305) 296-2771 E-mail: henry@benderandassociates.com Architect: Henry Barker</p> <p>DESCRIPTION OF WORK: INTERIOR BUILD-OUT OF PROPOSED RESIDENTIAL UNITS.</p>	<p>GENERAL NOTES</p> <ol style="list-style-type: none"> All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of the design and compliance requirements for the Contractor include: FLORIDA BUILDING CODE - Building 2000 EDITION FLORIDA BUILDING CODE - Mechanical 2000 EDITION FLORIDA BUILDING CODE - Fuel Gas 2000 EDITION FLORIDA BUILDING CODE - Plumbing 2000 EDITION FLORIDA BUILDING CODE - Energy Conservation 2000 EDITION NATIONAL ELECTRICAL CODE 2000 EDITION NFPA 70 LIFE SAFETY CODES for Florida HealthCare FLORIDA FIRE PREVENTION CODE 2000 EDITION NFPA 1300 EDITION The project is designed in accordance with A.S.C.E. 7-10 to resist wind loads of 80 mph (3 second gust) and in accordance with ASCE 7-4 Flood Resistant Design and Construction. Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction. Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed. Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement. Dimensions shall take precedence over scale. All new utilities shall be underground. Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades. After completion of construction remove all debris and construction equipment. Restore site to original condition. Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction. Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris. Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes. <p>FLORIDA ADMINISTRATIVE CODE</p> <p>602-16.009 Use of Seal: The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be retained to obligate his partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official under drawings (not tracings, etc.) shall be as signed. The signing and sealing of the specification record documents shall be considered adequate. All drawing sheets and pages shall be as signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 602-20, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereon. Specific Authority: 481.205, 481.221, 481.226(1)(a), (b), (c), (d), 481.226(1)(4), (5), (6), (7), (8), (9), (10) FS, History-New 12-25-74, Formerly 28-16.05, Amended 7-27-94, Formerly 28-16.05, Amended 11-01-94, 4-8-00.</p>																																																																																																					
<p>ABBREVIATIONS</p> <table border="0"> <tr> <td>AB ANCHOR BOLT</td> <td>FIN FINISH</td> <td>FRM FRAMING</td> </tr> <tr> <td>ABC AGGREGATE BASE COURSE</td> <td>HTS NOT TO SCALE</td> <td>NTS NOT TO SCALE</td> </tr> <tr> <td>A/C AIR CONDITIONING</td> <td>CA OVERALL</td> <td>OC OVERALL</td> </tr> <tr> <td>B/LG BLOCCING</td> <td>CC ON CENTER</td> <td>CC ON CENTER</td> </tr> <tr> <td>BAR BUILT UP ROOF</td> <td>OD OUTSIDE DIAMETER</td> <td>OD OUTSIDE DIAMETER</td> </tr> <tr> <td>CAB CABINET</td> <td>PCF POUNDS PER CUBIC FOOT</td> <td>PCF POUNDS PER CUBIC FOOT</td> </tr> <tr> <td>CLR CERAMIC</td> <td>PL PLASTER</td> <td>PL PLASTER</td> </tr> <tr> <td>CL CENTER LINE</td> <td>PLM PLASTIC LAMINATE</td> <td>PLM PLASTIC LAMINATE</td> </tr> <tr> <td>CLG CEILING</td> <td>PLF POUNDS PER LINEAL FOOT</td> <td>PLF POUNDS PER LINEAL FOOT</td> </tr> <tr> <td>CMU CONCRETE MASONRY UNIT</td> <td>PT PANEL</td> <td>PT PANEL</td> </tr> <tr> <td>COL COLUMN</td> <td>PTC POLYETHYLENE TEREPHTHALATE</td> <td>PTC POLYETHYLENE TEREPHTHALATE</td> </tr> <tr> <td>CONC CONCRETE</td> <td>R RADIUS (OR) RISER</td> <td>R RADIUS (OR) RISER</td> </tr> <tr> <td>DBL DOUBLE</td> <td>R/A RETURN AIR</td> <td>R/A RETURN AIR</td> </tr> <tr> <td>DIAG DIAGONAL</td> <td>R/R STEEL REINFORCING BAR</td> <td>R/R STEEL REINFORCING BAR</td> </tr> <tr> <td>DS DOWNSPOUT</td> <td>REFR REFRIGERATOR</td> <td>REFR REFRIGERATOR</td> </tr> <tr> <td>DTL DETAIL</td> <td>RF SQUARE FOOT (FEET)</td> <td>RF SQUARE FOOT (FEET)</td> </tr> <tr> <td>DWR DRAINER</td> <td>SB STAINLESS STEEL</td> <td>SB STAINLESS STEEL</td> </tr> <tr> <td>EJ EXPANSION JOINT</td> <td>SPFC SPECIFICATION</td> <td>SPFC SPECIFICATION</td> </tr> <tr> <td>EL ELEVATION</td> <td>T TYPICAL</td> <td>T TYPICAL</td> </tr> <tr> <td>ELEC ELECTRIC</td> <td>UNO UNLESS NOTED OTHERWISE</td> <td>UNO UNLESS NOTED OTHERWISE</td> </tr> <tr> <td>EQ EQUAL</td> <td>VCT VINYL COMPOSITION TILE</td> <td>VCT VINYL COMPOSITION TILE</td> </tr> <tr> <td>EQI EQUALIZER</td> <td>VERT VERTICAL</td> <td>VERT VERTICAL</td> </tr> <tr> <td>FV FIELD VERIFY</td> <td>HD HOOD</td> <td>HD HOOD</td> </tr> <tr> <td>GALV GALVANIZED</td> <td>HWF HEAVY WIRE FABRIC</td> <td>HWF HEAVY WIRE FABRIC</td> </tr> <tr> <td>GR GALVANIZED IRON</td> <td>HWI WATER HEATER</td> <td>HWI WATER HEATER</td> </tr> <tr> <td>HORZ HORIZONTAL</td> <td>W/O WITHOUT</td> <td>W/O WITHOUT</td> </tr> <tr> <td>HWI HEATING VENTILATING & AIR CONDITIONING</td> <td></td> <td></td> </tr> <tr> <td>FACE OF CONCRETE</td> <td></td> <td></td> </tr> <tr> <td>FIN FINISH</td> <td></td> <td></td> </tr> <tr> <td>FE FIRE EXTINGUISHER</td> <td></td> <td></td> </tr> <tr> <td>FTG FOOTING</td> <td></td> <td></td> </tr> <tr> <td>ID INSIDE DIAMETER</td> <td></td> <td></td> </tr> <tr> <td>MAX MAXIMUM</td> <td></td> <td></td> </tr> </table>	AB ANCHOR BOLT	FIN FINISH	FRM FRAMING	ABC AGGREGATE BASE COURSE	HTS NOT TO SCALE	NTS NOT TO SCALE	A/C AIR CONDITIONING	CA OVERALL	OC OVERALL	B/LG BLOCCING	CC ON CENTER	CC ON CENTER	BAR BUILT UP ROOF	OD OUTSIDE DIAMETER	OD OUTSIDE DIAMETER	CAB CABINET	PCF POUNDS PER CUBIC FOOT	PCF POUNDS PER CUBIC FOOT	CLR CERAMIC	PL PLASTER	PL PLASTER	CL CENTER LINE	PLM PLASTIC LAMINATE	PLM PLASTIC LAMINATE	CLG CEILING	PLF POUNDS PER LINEAL FOOT	PLF POUNDS PER LINEAL FOOT	CMU CONCRETE MASONRY UNIT	PT PANEL	PT PANEL	COL COLUMN	PTC POLYETHYLENE TEREPHTHALATE	PTC POLYETHYLENE TEREPHTHALATE	CONC CONCRETE	R RADIUS (OR) RISER	R RADIUS (OR) RISER	DBL DOUBLE	R/A RETURN AIR	R/A RETURN AIR	DIAG DIAGONAL	R/R STEEL REINFORCING BAR	R/R STEEL REINFORCING BAR	DS DOWNSPOUT	REFR REFRIGERATOR	REFR REFRIGERATOR	DTL DETAIL	RF SQUARE FOOT (FEET)	RF SQUARE FOOT (FEET)	DWR DRAINER	SB STAINLESS STEEL	SB STAINLESS STEEL	EJ EXPANSION JOINT	SPFC SPECIFICATION	SPFC SPECIFICATION	EL ELEVATION	T TYPICAL	T TYPICAL	ELEC ELECTRIC	UNO UNLESS NOTED OTHERWISE	UNO UNLESS NOTED OTHERWISE	EQ EQUAL	VCT VINYL COMPOSITION TILE	VCT VINYL COMPOSITION TILE	EQI EQUALIZER	VERT VERTICAL	VERT VERTICAL	FV FIELD VERIFY	HD HOOD	HD HOOD	GALV GALVANIZED	HWF HEAVY WIRE FABRIC	HWF HEAVY WIRE FABRIC	GR GALVANIZED IRON	HWI WATER HEATER	HWI WATER HEATER	HORZ HORIZONTAL	W/O WITHOUT	W/O WITHOUT	HWI HEATING VENTILATING & AIR CONDITIONING			FACE OF CONCRETE			FIN FINISH			FE FIRE EXTINGUISHER			FTG FOOTING			ID INSIDE DIAMETER			MAX MAXIMUM			<p>SYMBOLS LEGEND</p> <p>TRUE NORTH</p> <p>FLOOR PLANS, ETC. (THROUGHOUT DWGS.)</p> <p>SITE PLANS (ONCE ONLY)</p> <p>NORTH ARROWS</p> <p>NUMBER FOR SECT. DESIGNATION</p> <p>SHEET WHERE SECTION IS SHOWN</p> <p>BUILDING SECTION</p> <p>NUMBER FOR SECT. DESIGNATION</p> <p>SHEET WHERE SECTION IS SHOWN</p> <p>WALL SECTION</p> <p>NUMBER FOR SECT. DESIGNATION</p> <p>SHEET WHERE SECTION IS SHOWN</p> <p>CUT DETAIL INDICATOR</p> <p>NUMBER FOR DETAIL DESIGNATION</p> <p>SHEET WHERE DETAIL IS SHOWN</p> <p>BLOWN-UP DETAIL INDICATOR</p> <p>AREA TO BE BLOWN-UP</p> <p>NUMBER FOR DETAIL DESIGNATION</p> <p>SHEET WHERE DETAIL IS SHOWN</p> <p>(PERTAINS TO DETAIL PLAN INDICATOR ON SMALLER SCALE PLAN)</p>	<p>CROSS SECTION DWG. TITLE</p> <p>1/4"=1'-0" DRAWING SCALE</p> <p>SECTION & DETAIL DRWG. TITLES</p> <p>POUCH ONLY WHERE ELEVATIONS ARE INDICATED</p> <p>WALL ELEVATION INDICATOR</p> <p>(SHOWN WITHIN ROOM ON PLAN)</p> <p>ROOM NUMBER INDICATOR</p> <p>(SHOWN BESIDE OR UNDER ROOM NAME)</p> <p>NUMBERS (203) LETTERS (A)</p> <p>DOOR OPENING INDICATOR</p> <p>(EACH OPENING SCHEDULED SEPARATELY)</p> <p>LETTERS (BE)</p> <p>WINDOW INDICATOR</p> <p>(EACH WINDOW TYPE & SIZE SCHEDULED)</p> <p>PARTITION/WALL TYPE INDICATOR</p> <p>(CONCRETE/BRICK/STUCCO)</p> <p>INSTITUTIONAL PROJECTS</p>	<p>MATERIAL DESIGNATIONS</p> <p>CONCRETE MASONRY UNITS IN PLAN</p> <p>CONC. STUCCO, PLASTER IN ELEV./POURED CONC. IN PLAN</p> <p>METAL IN ELEVATION</p> <p>METAL IN SECTION</p> <p>FINISH WOOD IN ELEV. & IN SECTION</p> <p>DIMENSION LUMBER IN SECTION (CONTINUOUS)</p> <p>WOOD BLOCCING IN SECTION (DISCONTINUOUS)</p> <p>GYPSONUM WALL BOARD IN SECTION (LARGE SCALE)</p> <p>EARTH, NATURAL SUBSTRATE</p> <p>GRAVEL, AGGREGATE BASE COURSE, FILL</p> <p>FIBERGLASS BATT INSULATION</p> <p>RIGID INSULATION</p> <p>PARTITIONS & WALLS</p> <p>CONCRETE MASONRY UNITS</p> <p>POURED CONCRETE</p> <p>WOOD FRAME</p> <p>METAL STUDS</p> <p>EXISTING CONSTRUCTION TO REMAIN</p> <p>EXISTING CONSTRUCTION TO BE DEMOLISHED</p>	<p>SHEET INDEX</p> <p>C COVER</p> <p>A0 SITE PLAN A&B MARINA COMPLEX</p> <p>A1 DEMOLITION PLAN</p> <p>A2 PROPOSED RESIDENTIAL UNIT FLOOR PLANS</p> <p>A3 FINISH SCHEDULES</p> <p>A4 INTERIOR ELEVATIONS UNIT 11</p> <p>A5 INTERIOR ELEVATIONS UNIT 12</p> <p>A6 DETAILS</p> <p>M1 PROPOSED MECHANICAL PLAN</p> <p>P1 PROPOSED PLUMBING PLAN</p> <p>D1 PROPOSED ELECTRICAL PLAN</p> <p>E1 ELECTRICAL SCHEDULES, RISER DIAGRAM</p> <p>L1 LIFE SAFETY PLAN</p>
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FV FIELD VERIFY	HD HOOD	HD HOOD																																																																																																					
GALV GALVANIZED	HWF HEAVY WIRE FABRIC	HWF HEAVY WIRE FABRIC																																																																																																					
GR GALVANIZED IRON	HWI WATER HEATER	HWI WATER HEATER																																																																																																					
HORZ HORIZONTAL	W/O WITHOUT	W/O WITHOUT																																																																																																					
HWI HEATING VENTILATING & AIR CONDITIONING																																																																																																							
FACE OF CONCRETE																																																																																																							
FIN FINISH																																																																																																							
FE FIRE EXTINGUISHER																																																																																																							
FTG FOOTING																																																																																																							
ID INSIDE DIAMETER																																																																																																							
MAX MAXIMUM																																																																																																							

A & B MARINA COMPLEX
KEY WEST, FLORIDA

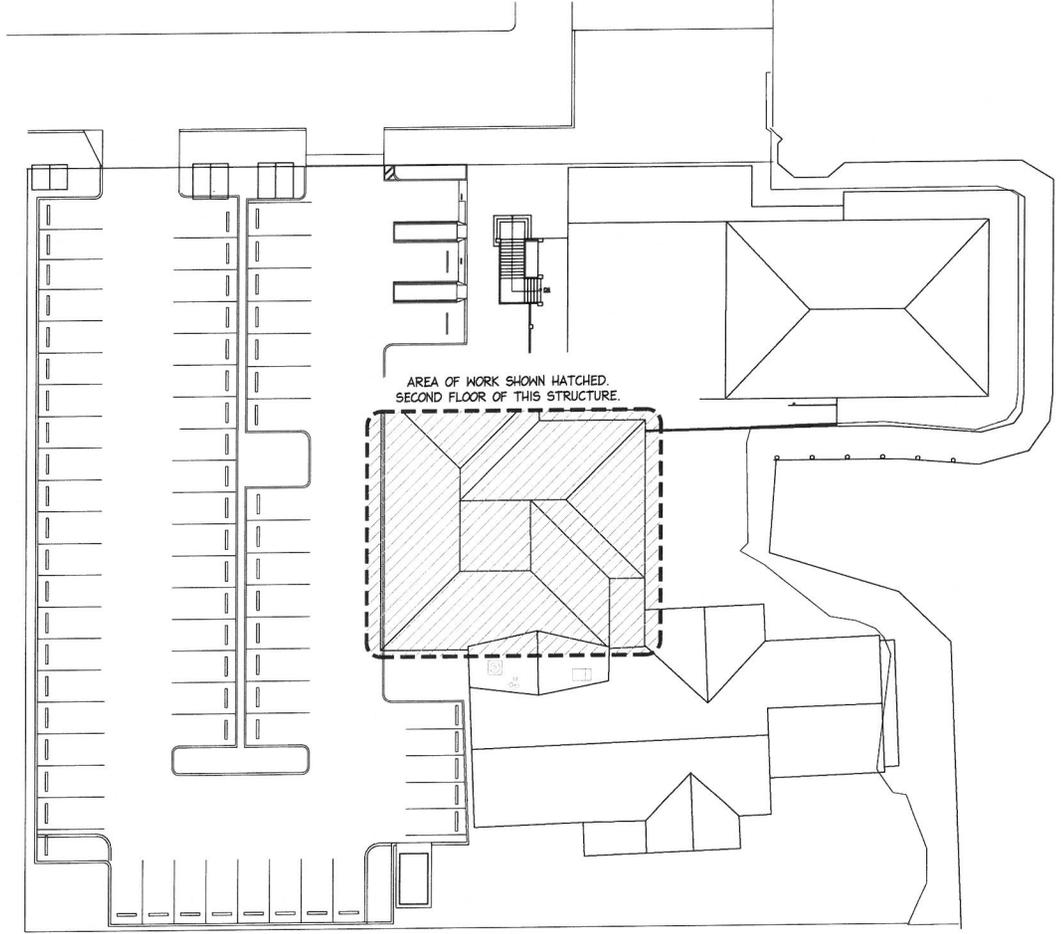
410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1847
Facsimile (305) 296-2772
Florida License AIC092922

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ARCHITECTS
P.L.L.C.

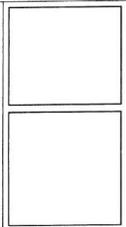
Project No.:

Date: 06/05/00

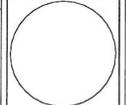
C



1 SITE PLAN OF A & B MARINA COMPLEX
 A0 SCALE: 1/8"=1'-0"



A & B MARINA COMPLEX
 KEY WEST, FLORIDA



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 Facsimile (305) 296-2727
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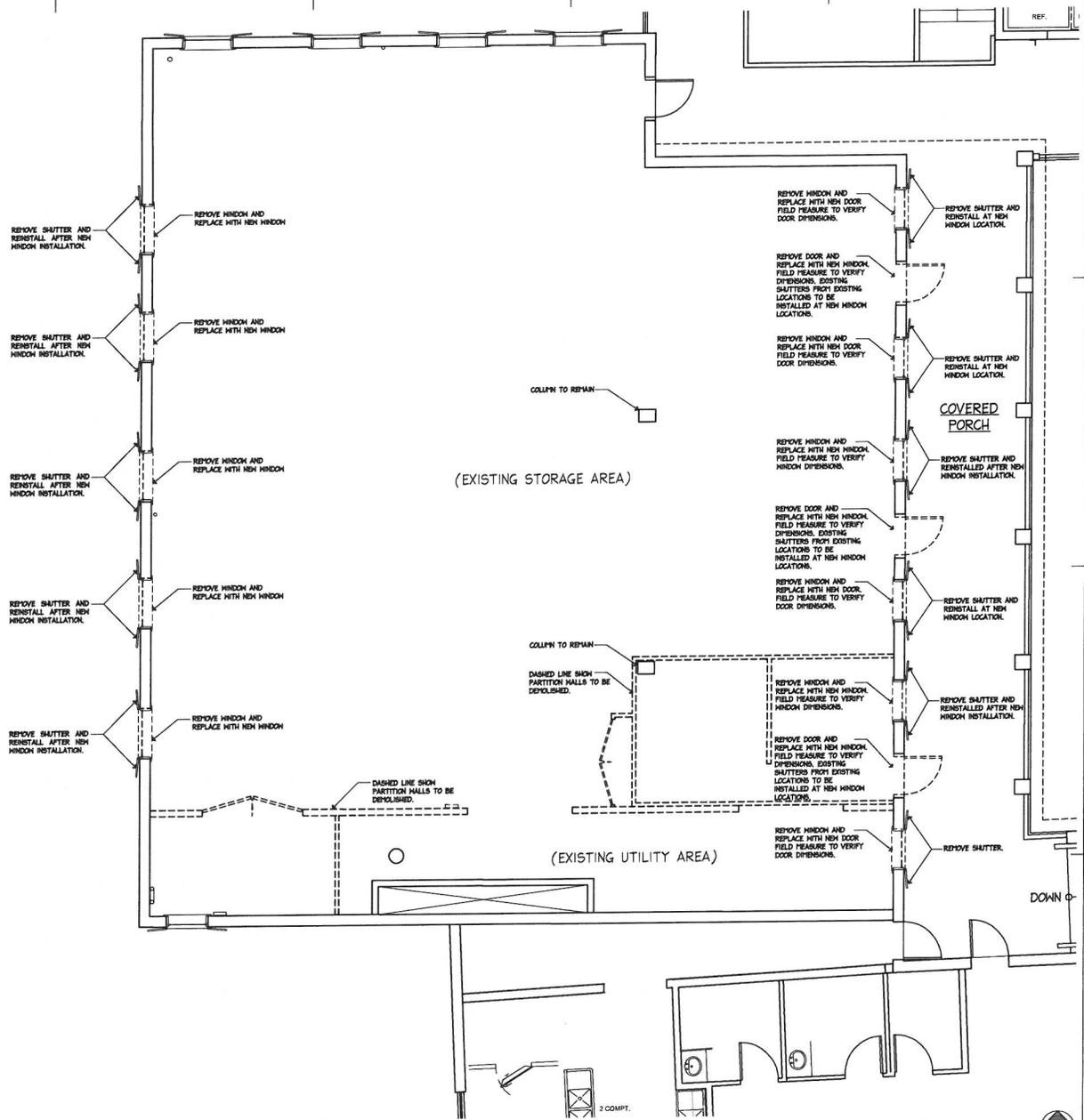
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ARCHITECTS
 P.A.

Project #

 Date: 04/03/2022

A0

- DEMOLITION GENERAL NOTES**
1. PRIOR TO SUBMITTING A BID, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON THE JOBSITE, AND ALSO AFTERWARD, BUT PRIOR TO THE START OF CONSTRUCTION.
 2. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE, AND SHALL BE PROPERLY REMOVED FROM THE SITE. COMPLY WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
 3. ALL COSTS OF DEMOLITION INCLUDING PERMIT FEES, DISPOSAL FEES, ETC. ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF AND TO CONFORM WITH ALL APPLICABLE DEMOLITION AND DISPOSAL CODES, SAFETY REQUIREMENTS, AND ENVIRONMENTAL PROTECTION REGULATIONS OF ANY GOVERNMENTAL BODY HAVING JURISDICTION OVER THE WORK.
 5. PROVIDE SAFETY BARICADES AS REQUIRED TO PROTECT THE SAFETY OF THE GENERAL PUBLIC AND WORKERS CONNECTED WITH THE PROJECT.
 6. PROVIDE BRACING AND SHORING AS REQUIRED TO PROTECT THE SAFETY OF THE GENERAL PUBLIC AND WORKERS CONNECTED WITH THE PROJECT.



PROPOSED DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

A & B MARINA COMPLEX
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Project No. _____
Date: 04/03/2011

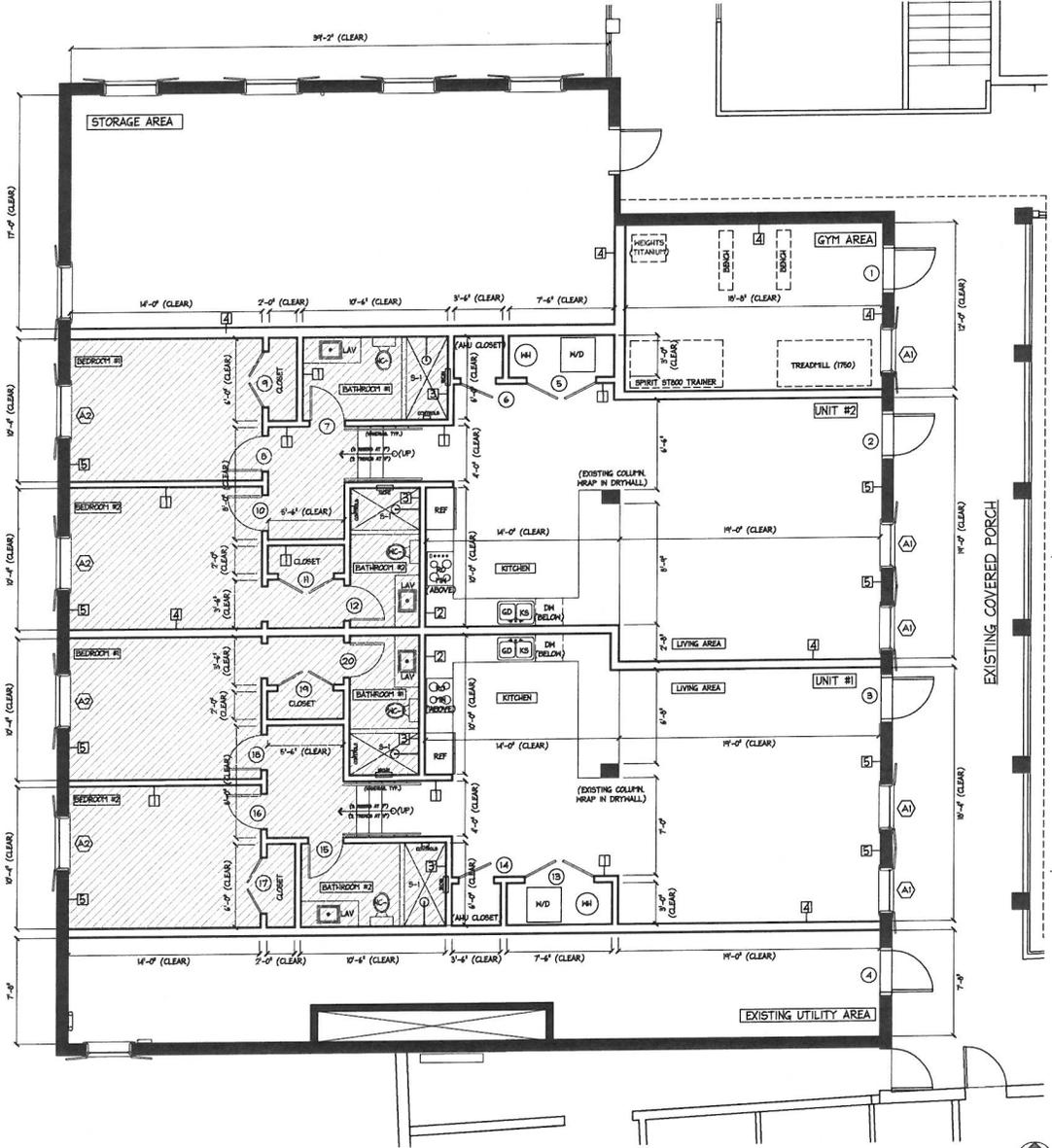
A1



WALL TYPE SCHEDULE

1	INTERIOR MALL	2	PLUMBING MALL	3	SHOWER MALL WITH TILE
	<p>INTERIOR MALL 5/8" PAINTED GYP BOARD OVER 3-5/8" LT GA METAL STUDS AT 1'-4" O.C.</p>	<p>INTERIOR MALL (PLUMBING MALL) 5/8" PAINTED GYP BOARD OVER 1" LT GA METAL STUDS AT 1'-4" O.C.</p>	<p>INTERIOR MALL AT SHOWER SIDE OF MALL - TILE OVER 1/2" DUROCK (SEE FINISH SCHEDULE). AT NON-SHOWER SIDE OF MALL - INTERIOR 5/8" PAINTED GYP BD. EXTERIOR METAL SIDING FRAMING. 3-5/8" LT GA METAL STUDS AT INTERIOR WALLS (1'-4" O.C.) OR OVER 1" LT. GA. METAL STUDS AT PLUMBING WALLS.</p>		
4	<p>INTERIOR MALL (2) LAYERS 5/8" TYPE "X" PAINTED GYP BOARD (BOTH SIDES) FROM FLOOR DECK TO ROOF DECK OVER 3-1/2" CSI 14 GAUGE METAL STUDS AT 1'-4" O.C.</p>	<p>EXTERIOR MALL 5/8" PAINTED GYP BOARD OVER 1" LT GA METAL STUDS AT 1'-4" O.C. WITH EXISTING MASONRY WALLS. INSTALL 1-1/2" RIGID POLYISO INSULATION BETWEEN PURSING STRIPS (7/8" PER INCH).</p>	<p>NOTES</p> <p>1. AT ALL AREA SEPARATION WALLS INSTALL 5/8" ACOUSTIC BOARD BOTH SIDES, QUATROCK OR EQUIVALENT (PRIOR TO TILE & TREADMILL), AND ROCKWOOL INSULATION FOR SOUND CONTROL.</p>		

- GENERAL NOTES:
1. HATCHED AREA INDICATES ELEVATED FLOOR TO ACCOMMODATE HIGH WASTE PIPING.
 2. ELEVATE FLOOR WITH 1/2" GAUGE METAL FRAMING. SEE DETAILS SHEET A6.
 3. ALL FLOOR PENETRATIONS ARE TO BE FIRE CALKED AND FINISHED TO MAINTAIN 2 HOUR FIRE SEPARATION FROM FIRST FLOOR SPACE.
 4. FINAL FINISHED FLOOR HEIGHT OF RAISED AREA TO BE COORDINATED WITH SANITARY PIPING REQUIREMENTS.
 5. INSTALL R20 BATT INSULATION AT CEILING LEVEL ABOVE RESIDENTIAL UNITS.
 6. SEE MECHANICAL PLAN FOR DROP CEILING LOCATIONS. AND SHEET A4 FOR DETAILS.



1 PROPOSED RESIDENTIAL UNIT FLOOR PLANS
A2 SCALE: 1/4"=1'-0"

A & B MARINA COMPLEX
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Project No. _____
Date: 04/03/2021

A2

ROOM FINISH SCHEDULE (UNIT #1 & #2 SIMILAR)											
NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	CLG. HT.	REMARKS	
				NORTH	EAST	SOUTH	WEST				
--	LIVING AREA		TILE	NOTE No. 2	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	PAINTED GYP. BD.	11'-0"	
--	KITCHEN		TILE	NOTE No. 2	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	PAINTED GYP. BD.	11'-0"	
--	LAUNDRY		TILE	NOTE No. 2	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	PAINTED GYP. BD.	11'-0"	
--	BEDROOM #1		TILE	NOTE No. 2	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	PAINTED GYP. BD.	9'-4"	
--	BATHROOM #1		TILE	NOTE No. 2	GYP/TILE	TILE	GYP/TILE	GYP. BD.	PAINTED GYP. BD.	8'-3"	SEE NOTE No. 3 & NOTE 4
--	CLOSET BEDROOM #1		TILE	NOTE No. 2	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	PAINTED GYP. BD.	8'-3"	
--	BEDROOM #2		TILE	NOTE No. 2	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	PAINTED GYP. BD.	9'-4"	
--	BATHROOM #2		TILE	NOTE No. 2	GYP/TILE	TILE	GYP/TILE	GYP. BD.	PAINTED GYP. BD.	8'-3"	SEE NOTE No. 3 & NOTE 4
--	CLOSET BEDROOM #2		TILE	NOTE No. 2	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	PAINTED GYP. BD.	8'-3"	
--	GYM		TILE	NOTE No. 2	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	PAINTED GYP. BD.	11'-0"	

ROOM FINISH NOTES	
1	FLOOR TILE MATERIAL SELECTED BY OWNER.
2	ALL NEW DOOR TRIM, WINDOW TRIM, AND BASE TRIM AT FLOORS IS TO BE SELECTED BY THE OWNER.
3	AT SHIMERS THE WALLS AND FLOORS ARE TO RECEIVE OWNER SELECTED TILE OVER 1/2" CONCRETE OR EQUIVALENT WATERPROOFING TO BE USED FOR SHOWER PAN CONSTRUCTION. SHOWER CURB FINISH MATERIAL TO BE SELECTED BY OWNER. ASSUME SOLID SURFACE MATERIAL. ASSUME SLOTTED TILE TERMINATIONS WHERE TILE TRANSITIONS TO OTHER FINISH MATERIAL. OWNER TO SELECT ALL TRANSITION MATERIALS.
4	IN BATHROOMS ALL WALLS NOT FINISHED IN TILE (I.E. SHIMERS) ARE TO BE FINISHED WITH MOISTURE RESISTANT GYP. BD.
5	OWNER TO SELECT ALL COUNTERTOP AND BACKSPLASH MATERIAL. ASSUME #4 BACKSPLASH.

WINDOW SCHEDULE							
MARK	SIZE		MANUFACTURER	CATALOG NO.	MATERIAL	FINISH	REMARKS
	WIDTH	HEIGHT					
A1	3'-0"	6'-2"	MARVIN		WOOD		1. COMPLY WITH ALL FLORIDA PRODUCT APPROVAL AND N.O.A. INSTALLATION SPECIFICATIONS. INSTALL WINDOW/DOOR WRAP AT ALL EXTERIOR OPENINGS PRIOR TO INSTALLATION. 2. CONFIRM ALL SELECTIONS WITH OWNER & ARCHITECT PRIOR TO ORDERING.
A2	3'-7"	4'-0"	MARVIN		WOOD		



SEE SCHEDULE

MARK A1

"MARVIN" ULTIMATE WOOD DOUBLE HUNG WINDOW. PAINTED. FLORIDA PRODUCT APPROVAL #FL3718A RI. RATED DESIGN PRESSURE OF +36/-45



SEE SCHEDULE

MARK A2

"MARVIN" ULTIMATE WOOD CASERMENT WINDOW. PAINTED. FLORIDA PRODUCT APPROVAL #FL31272 RI. RATED DESIGN PRESSURE OF +36/-45

NOTES-

1. REPLACEMENT WINDOWS TO BE INSTALLED AT EXISTING OPENINGS. FIELD MEASURE TO VERIFY WINDOW DIMENSIONS. SEE FLOOR PLAN FOR LOCATIONS.

2. AT WINDOWS REPLACING EXISTING DOORS REPLICATE EXISTING SILL CONDITION / ROUGH OPENING AS CURRENTLY CONSTRUCTED AT EXISTING WINDOWS.

APPLIANCE SCHEDULE (UNIT #1 & #2 SIMILAR)								
MARK	APPLIANCE	MANUFACTURER	MODEL	DIMENSIONS			COLOR	REMARKS
				H	W	D		
REF-1	REFRIGERATOR / FREEZER							SELECTED BY OWNER
RO-1	RANGE OVEN							SELECTED BY OWNER
DW-1	DISHWASHER							SELECTED BY OWNER
MH-1	MICROWAVE/FAN COPEL							SELECTED BY OWNER / RECIRCULATING EXHAUST
GD-1	GARBAGE DISPOSAL							SELECTED BY OWNER
MVD-1	MASHER & DRYER							SELECTED BY OWNER
MH-1	WATER HEATER							SELECTED BY OWNER

NOTE: CONTRACTOR TO INCLUDE INSTALLATION COSTS OF ALL APPLIANCES, INCLUDING COORDINATION WITH SUB- CONTRACTORS.

NOTES:

- REFER TO CUT SHEETS FOR ELECTRICAL, VENTILATION AND PLUMBING REQUIREMENTS.
- CONTRACTOR TO PROVIDE AND INSTALL ALL ELECTRICAL, VENTILATION AND PLUMBING CONNECTIONS AS REQUIRED FOR COMPLETE FUNCTIONAL SYSTEMS.
- ASSURE NOTHING IS TO HAVE ANY QUESTIONS ABOUT OWNER PREFERENCES FOR THE STYLE, SIZE, COLOR, MITS, ETC. ETC. OF ANY OF THESE APPLIANCES CONSULT WITH OWNER.
- CONFIRM ALL APPLIANCES WITH OWNER BEFORE PURCHASE.

DOOR SCHEDULE												
NO.	TYPE	SIZE			MATERIAL	FINISH	GLAZING	FRAMES		DETAILS	REMARKS	LOCK/HW/ SW/ST
		W.	H.	T.				MATERIAL	FINISH			
1	A	3'-0"	6'-0"	1'-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	*
2	A	3'-0"	6'-0"	1'-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	*
3	A	3'-0"	6'-0"	1'-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	*
4	A	3'-0"	6'-0"	1'-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	*
5	B	5'-0"	7'-0"	1'-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	*
6	D	2'-6"	7'-0"	1'-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	*
7	C	2'-6"	7'-0"	1'-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	*
8	C	2'-6"	7'-0"	1'-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	*
9	B	4'-0"	7'-0"	1'-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	*
10	C	2'-6"	7'-0"	1'-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	*
11	B	4'-0"	7'-0"	1'-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	*
12	C	2'-6"	7'-0"	1'-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	*
13	B	5'-0"	7'-0"	1'-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	*
14	D	2'-6"	7'-0"	1'-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	*
15	C	2'-6"	7'-0"	1'-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	*
16	C	2'-6"	7'-0"	1'-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	*
17	B	4'-0"	7'-0"	1'-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	*
18	C	2'-6"	7'-0"	1'-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	*
19	B	4'-0"	7'-0"	1'-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	*
20	C	2'-6"	7'-0"	1'-3/4"	WOOD	PAINTED	NONE	WOOD	PAINTED	--	--	*



SEE SCHEDULE

TYPE 'A1'

EXCLUSIVE (4) PANEL SOLID WOOD ENTRANCE DOOR PAINTED.

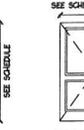
(2) GLAZED PANELS. N.O.A. #18-022.17 DESIGN PRESSURE RATING = +70/70



SEE SCHEDULE

TYPE 'B1'

(2)(2) PANEL SOLID WOOD SHING DOOR PAINTED.



SEE SCHEDULE

TYPE 'C1'

(2) PANEL SOLID WOOD SHING DOOR PAINTED.



SEE SCHEDULE

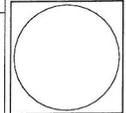
TYPE 'D1'

WOOD LOUVER SHING DOOR PAINTED FOR RETURN AIR.

NOTES:

- AT ALL INTERIOR DOORS USE AN ALLOWANCE OF \$850 FOR DOOR HARDWARE (HARDWARE ONLY, INSTALLATION COST TO BE INCLUDED IN BASE PRICE).
- CONFIRM DOOR ORDER WITH OWNER AND ARCHITECT PRIOR TO ORDERING.
- ALL EXTERIOR DOORS TO BE ORDERED W/ 3 POINT LOCKING SYSTEM.
- COMPLY WITH ALL FLORIDA PRODUCT APPROVAL & N.O.A. DADE N.O.A. SPECIFICATIONS. INSTALL WINDOW/DOOR WRAP AT ALL EXTERIOR OPENINGS PRIOR TO INSTALLATION.
- OWNER TO SELECT HARDWARE STYLE AND FINISH.
- WHERE DOORS REPLACE EXISTING WINDOWS REMOVE SILL AND WALL AREA BELOW WINDOW ASSEMBLY. AFTER SELECTIVE DEMOLITION NOTIFY ARCHITECT FOR INSPECTION TO DETERMINE IF ADDITIONAL REINFORCEMENT AT JAMBES IS REQUIRED.
- NEW DOORS TO BE INSTALLED AT EXISTING OPENINGS. FIELD MEASURE TO VERIFY DOOR DIMENSIONS. SEE FLOOR PLAN FOR LOCATION.

A & B MARINA COMPLEX
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Flemingville (305) 298-0772
Florida License AJC002022

Bender & Associates
ARCHITECTS

Project #1: _____
Date: 04/05/2021

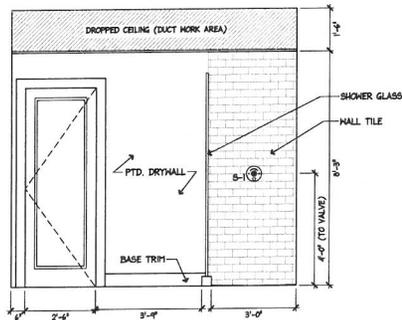
A3

GENERAL CASEWORK / CABINETRY NOTE:

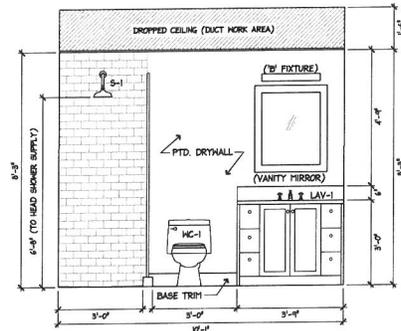
THE CONFIGURATION, STYLE, AND MANUFACTURER OF ALL KITCHEN CABINETS AND BATHROOM VANITIES ARE TO BE SELECTED BY OWNER. CONTRACTOR IS TO PROVIDE THE OWNER AND ARCHITECT WITH SHOP DRAWINGS FOR REVIEW AND APPROVAL. COORDINATE ALL CABINETRY WITH OWNER SUPPLIED APPLIANCES & PLUMBING FIXTURES. ALL COUNTERTOP AND BACKSPLASH MATERIAL IS TO BE SELECTED BY OWNER.

GLASS SHOWER ENCLOSURE NOTE:

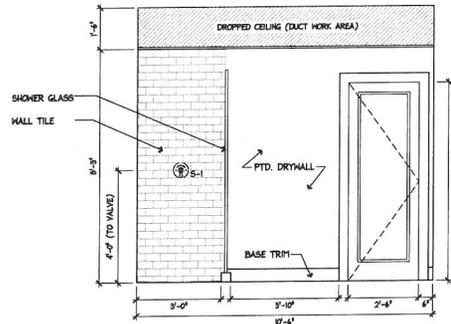
GLASS SHOWER ENCLOSURES ARE TO BE 5/8" CLEAR TEMPERED GLASS WITH FLAT POLISHED EDGES. HANDLES ARE TO BE 1" TUBULAR PULL HANDLES (SIBBORG) BY C.R. LAURENCE CO., HINGES ARE TO BE GENOVA HINGES (G8044G) BY C.R. LAURENCE CO., (4) FIXED PANEL CLIPS (SCALCH) BY C.R. LAURENCE CO. ARE TO BE INSTALLED AT EACH FIXED PANEL. FIXED PANELS ARE TO EXTEND FROM SHOWER CURB TO CEILING. SHOWER DOOR IS TO STOP 6" SHORT OF CEILING. CONFIRM FINAL SELECTIONS WITH OWNER PRIOR TO ORDERING (DOOR SIZE, HARDWARE, AND FIXED PANEL SIZE).



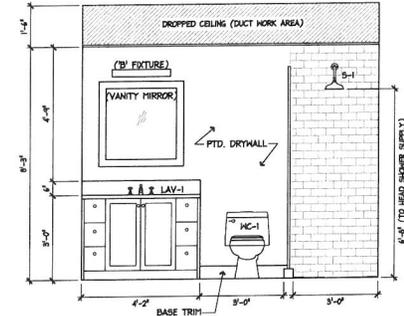
7 BATH #2 WEST INTERIOR ELEVATION - UNIT #1
A4 SCALE: 1/4"=1'-0"



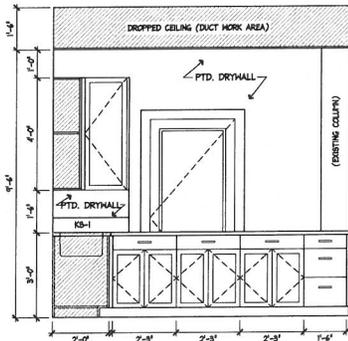
6 BATH #2 EAST INTERIOR ELEVATION - UNIT #1
A4 SCALE: 1/4"=1'-0"



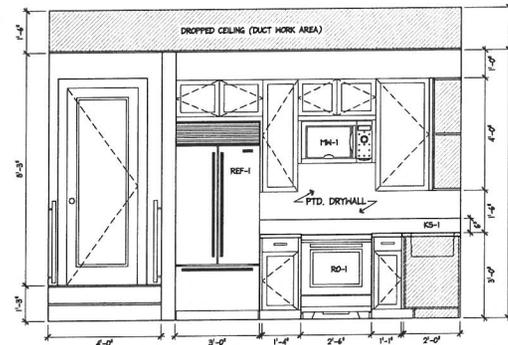
5 BATH #1 SOUTH INTERIOR ELEVATION - UNIT #1
A4 SCALE: 1/4"=1'-0"



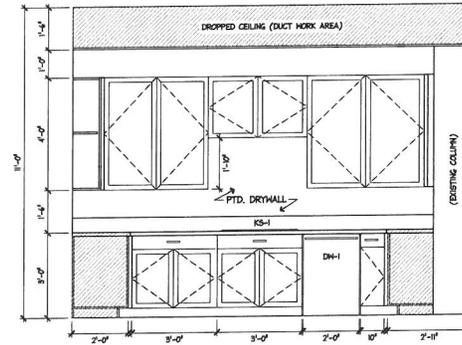
4 BATH #1 NORTH INTERIOR ELEVATION - UNIT #1
A4 SCALE: 1/4"=1'-0"



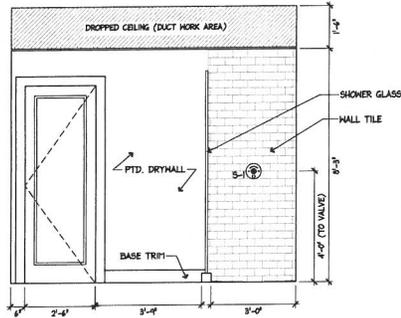
3 KITCHEN EAST INTERIOR ELEVATION - UNIT #1
A4 SCALE: 1/4"=1'-0"



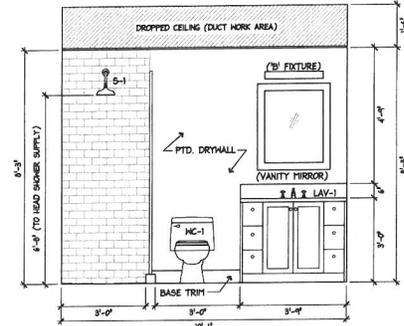
2 KITCHEN WEST INTERIOR ELEVATION - UNIT #1
A4 SCALE: 1/4"=1'-0"



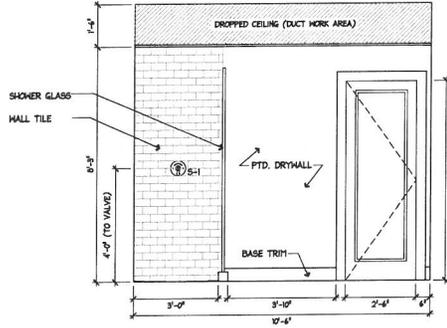
1 KITCHEN NORTH INTERIOR ELEVATION - UNIT #1
A4 SCALE: 1/4"=1'-0"



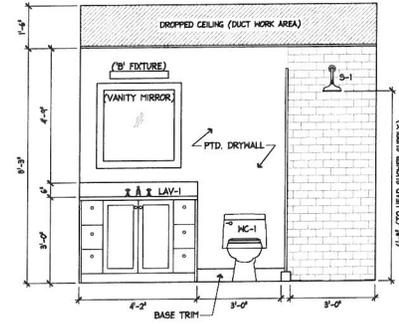
7 BATH #2 NORTH INTERIOR ELEVATION - UNIT #2
A5 SCALE: 1/4"=1'-0"



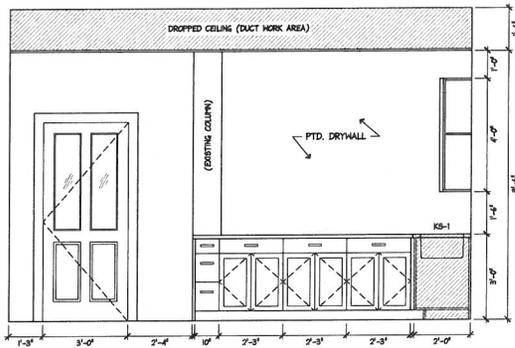
6 BATH #2 SOUTH INTERIOR ELEVATION - UNIT #2
A5 SCALE: 1/4"=1'-0"



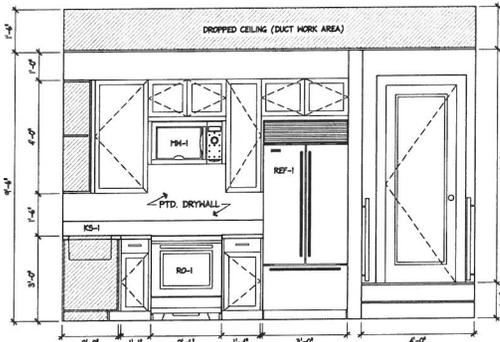
5 BATH #1 WEST INTERIOR ELEVATION - UNIT #2
A5 SCALE: 1/4"=1'-0"



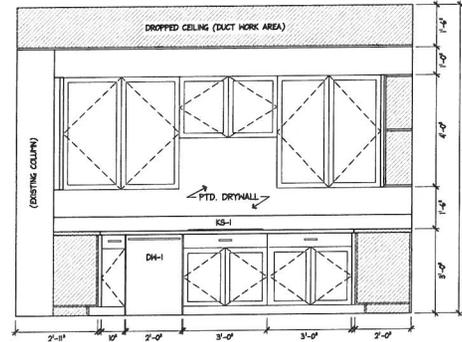
4 BATH #1 EAST INTERIOR ELEVATION - UNIT #2
A5 SCALE: 1/4"=1'-0"



3 KITCHEN EAST INTERIOR ELEVATION - UNIT #2
A5 SCALE: 1/4"=1'-0"

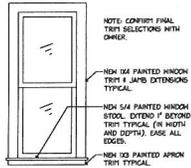


2 KITCHEN WEST INTERIOR ELEVATION - UNIT #2
A5 SCALE: 1/4"=1'-0"

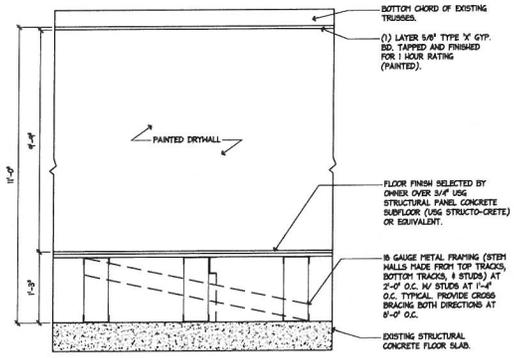
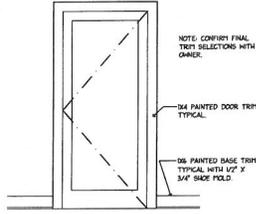


1 KITCHEN SOUTH INTERIOR ELEVATION - UNIT #2
A5 SCALE: 1/4"=1'-0"

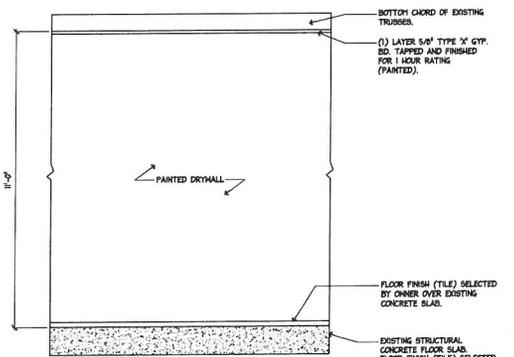
TYPICAL DOOR, BASE & WINDOW TRIM



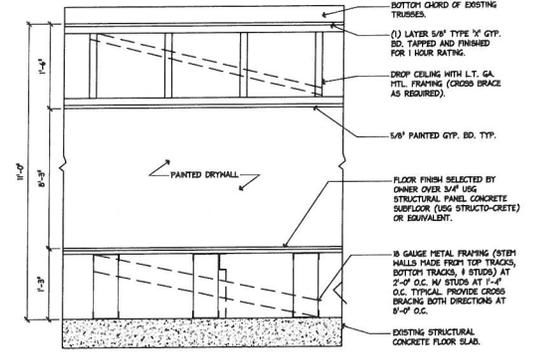
NOTE: AT EXTERIOR SIDE OF MAIN ENTRANCE DOORS AND WINDOWS THE EXISTING TRIM IS TO BE REUSED AND / OR REPLICATED TO MATCH EXISTING.



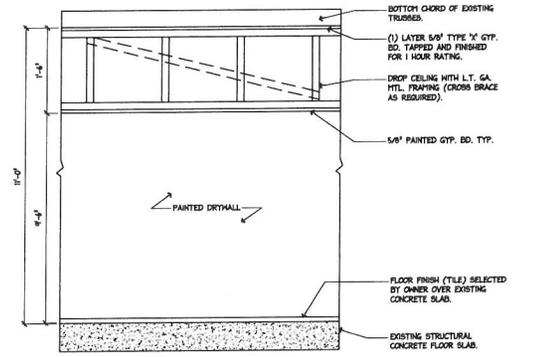
3 FLOOR / CEILING ASSEMBLY BEDROOM AREA (RAISED FLOOR ONLY)
A6 / SCALE: 1/4"=1'-0"



2 FLOOR / CEILING ASSEMBLY LIVING AREA
A6 / SCALE: 1/4"=1'-0"



4 FLOOR / CEILING ASSEMBLY AT BATHROOM AREA (DROP CEILING & RAISED FLOOR)
A6 / SCALE: 1/4"=1'-0"



1 FLOOR / CEILING ASSEMBLY AT KITCHEN AREA (DROP CEILING ONLY)
A6 / SCALE: 1/4"=1'-0"

A & B MARINA COMPLEX
KEY WEST, FLORIDA

ARCHITECTS

Bender & Associates
ARCHITECTS

Project No. _____
Date: 04/03/22

A6

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Key West, Florida 33540
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Florida License ALC0092822

MECHANICAL GENERAL NOTES:

- EXISTING CONDITIONS INDICATED ARE TAKEN FROM EXISTING CONSTRUCTION DOCUMENTS, VARIOUS SURVEYS, AND FIELD INVESTIGATIONS. UNDESIRABLE CONDITIONS PROBABLY EXIST AND WORK, NEW OR EXISTING, MAY NOT BE LOCATED EXACTLY AS SHOWN ON THE DRAWINGS. COORDINATE WITH FIELD CONDITIONS TO VERIFY EXACT LOCATIONS OF PIPING, DUCTS AND EQUIPMENT. COORDINATE THE WORK OF OTHER TRADES SO THAT INTERFERENCE BETWEEN PIPING, EQUIPMENT, STRUCTURAL, AND ELECTRICAL WORK WILL BE AVOIDED. FAILURE TO COORDINATE THE WORK WILL NOT BE CONSIDERED FOR EXTRA.
- CONTRACTOR SHALL VISIT AND CAREFULLY EXAMINE THOSE PORTIONS OF THE BUILDING AFFECTED BY THIS WORK BEFORE SUBMITTING PROPOSALS SO AS TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND DIFFICULTIES THAT WILL AFFECT EXECUTION OF WORK. SUBMISSION OF A PROPOSAL WILL BE CONSIDERED AS EVIDENCE THAT SUCH EXAMINATION HAS BEEN MADE AND LATER CLAIMS FOR LABOR, EQUIPMENT OR MATERIALS REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WILL NOT BE RECOGNIZED.
- PROVIDE LABOR, MATERIALS, TOOLS, EQUIPMENT AND DEVICES NECESSARY TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DRAWINGS AND SPECIFICATION. FULLY TEST, BALANCE, CLEAN AND LEAVE SYSTEMS IN A COMPLETE AND OPERATIONAL STATUS.
- THESE DRAWINGS ARE DIAGNOSTIC ONLY AND DO NOT SHOW ALL OFFSETS, BENDS, ELBOWS, OR OTHER SPECIFIC ELEMENTS THAT MAY BE REQUIRED FOR PROPER INSTALLATION OF THE WORK. SUCH WORK SHALL BE FIELD VERIFIED AND CAREFULLY COORDINATED WITH ALL BUILDING TRADES AT THE SITE BY THE CONTRACTOR.
- PROTECT SURROUNDING UTILITIES, WALLS, FLOORS AND CEILINGS FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL BEAR ALL EXPENSE FOR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED DURING CONSTRUCTION.
- PROVIDE HOOD, GYI, ISD, AND OTHER MATERIALS FOR HALL AND CEILING REPAIR AND OTHER GENERAL WORK AS REQUIRED FOR PROPER INSTALLATION OF MECHANICAL SYSTEMS. ALL REPAIRS SHALL MATCH EXISTING.
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND SHALL BE U.L. LISTED WHERE APPLICABLE. INSTALL IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS WITH ADEQUATE ACCESS FOR MAINTENANCE. INSTALLATION OF NEW EQUIPMENT SHALL NOT INTERFERE WITH REQUIRED WORKING CLEARANCES FOR EXISTING EQUIPMENT.
- PROVIDE WORK IN ACCORDANCE WITH 2004 FLORIDA BUILDING CODE - MECHANICAL, AND OTHER LOCAL CODES AND STANDARDS AS ENFORCED. COORDINATE WITH LOCAL CODE AUTHORITIES TO DETERMINE EXACT REQUIREMENTS.
- PROVIDE ALL SUPPLEMENTARY STEEL STRAPS AND FOUNDATIONS FOR SUPPORTS AND BRACING OF ALL HVAC DUCT AND PIPING. EXTERIOR STEEL SHALL BE HOT DIPPED GALVANIZED.
- THIS CONTRACTOR SHALL ARRANGE FOR AND PAY FOR NECESSARY PERMITS, INSPECTIONS, ETC. AS RELATED TO THE WORK SHOWN ON THESE DRAWINGS.
- TEST AND BALANCE SYSTEMS PER NEBS OR AISC. SUBMIT TEST AND BALANCE REPORT IN ACCORDANCE WITH NEBS OR AISC TO THE OWNER'S REPRESENTATIVE. ALL WORK SHALL COMPLY WITH ALL APPLICABLE LAWS, CODES OR ORDINANCES OF THE CITY, COUNTY AND STATE.
- THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ADEQUACY OF MECHANICAL SYSTEMS, EQUIPMENT, CALCULATIONS AND SIZING SHALL BE DONE IN ACCORDANCE WITH THE LATEST PUBLISHED LITERATURE OF THE AMERICAN SOCIETY OF HEATING, VENTILATING AND AIR CONDITIONING ENGINEERS (ASHRAE) AND THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME).
- WHenever NECESSARY FOR THE PROPER FUNCTIONING OF MECHANICAL SYSTEMS, COORDINATE INSTALLATION OF TRANSFER GRILLS WITH THE GENERAL CONTRACTOR.
- COORDINATE INSTALLATION OF EQUIPMENT WITH ALL OTHER TRADES (i.e. PLUMBING AND ELECTRICAL) TO AVOID INTERFERENCE WITH OTHER EQUIPMENT AND SYSTEMS.

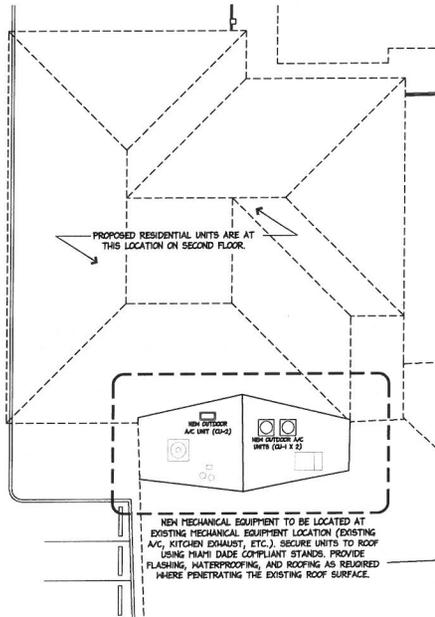
AIR CONDITIONING SYSTEM NOTE

VERIFY ELECTRICAL REQUIREMENTS OF AIR CONDITIONING SYSTEM AHU'S AND CONDENSERS AND PROVIDE ACCORDINGLY. PROVIDE DEDICATED CIRCUITS FOR EACH UNIT, AND CUTOFF SWITCHES AND CONVENIENCE OUTLETS PER CODE REQUIREMENTS.

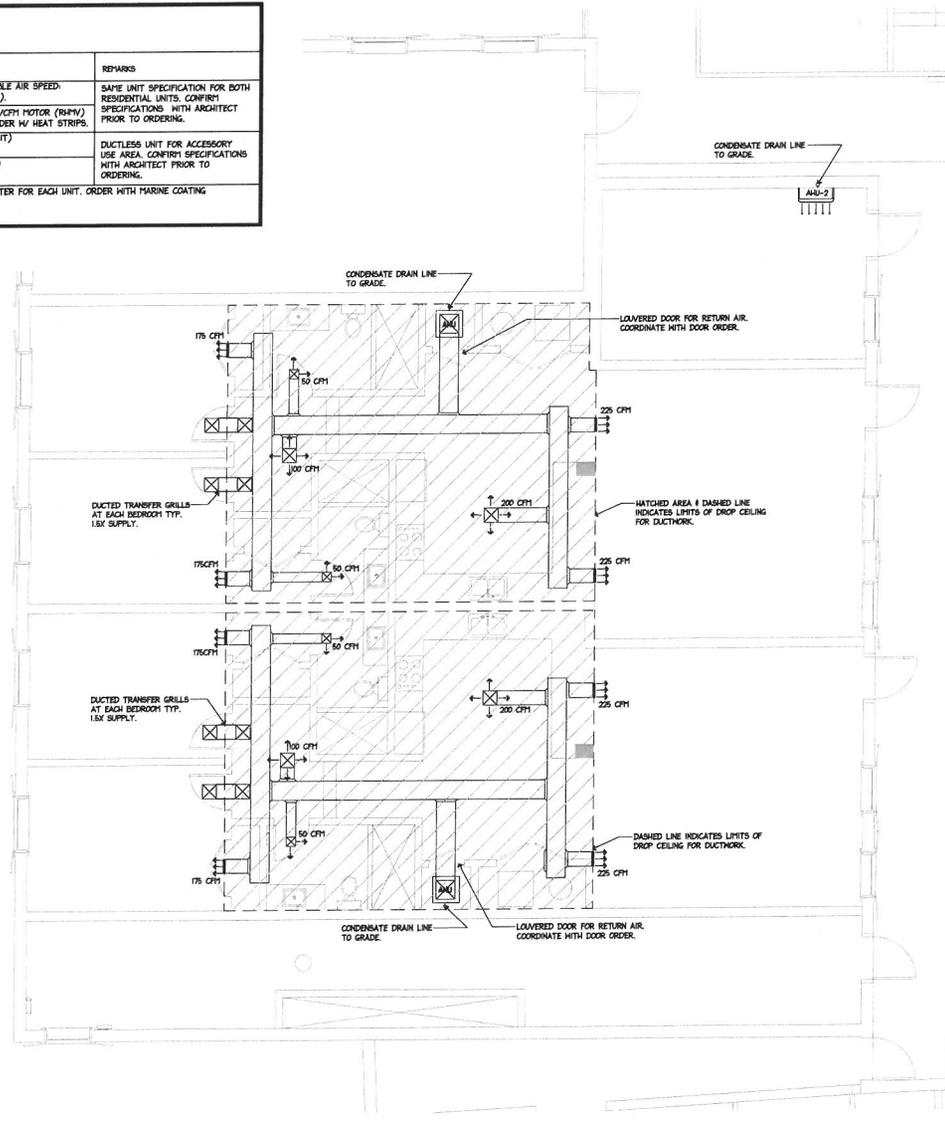
MECHANICAL SCHEDULE

PLAN MARK	MODEL	REMARKS
CU-1	3 TON RHEEM PRESTIGE SERIES VARIABLE AIR SPEED (RA30) MODEL #RA2056A.VC (20 SEER)	SAME UNIT SPECIFICATION FOR BOTH RESIDENTIAL UNITS. CONFIRM SPECIFICATIONS WITH ARCHITECT PRIOR TO ORDERING.
AHU-1	RHEEM HIGH EFFICIENCY MODULATING 1/2CFM MOTOR (RHMY) MODEL #RHMY624HEAC (20 SEER). ORDER W/ HEAT STRIPS.	
CU-2	MITSUBISHI TMSZ-2520NAQ (OUTDOOR UNIT)	DUCTLESS UNIT FOR ACCESSORY USE AREA. CONFIRM SPECIFICATIONS WITH ARCHITECT PRIOR TO ORDERING.
AHU-2	MITSUBISHI TMSZ-GL03NA (INDOOR UNIT)	

NOTES: PROVIDE RHEEM 'ECONET' CONTROL CENTER FOR EACH UNIT. ORDER WITH MARINE COATING ON CONDENSER COILS.



2 PARTIAL ROOF PLAN
M1 SCALE: 3/8"=1'-0"



1 PROPOSED MECHANICAL PLAN
M1 SCALE: 1/4"=1'-0"

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ARCHITECTS
P.A.

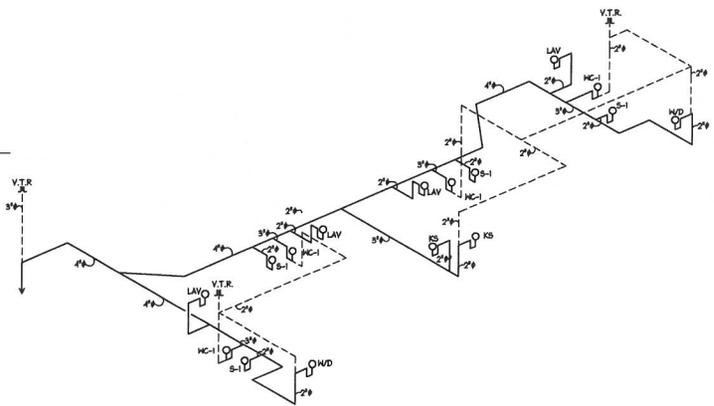
Project No. _____
Date: 04/02/20

M1

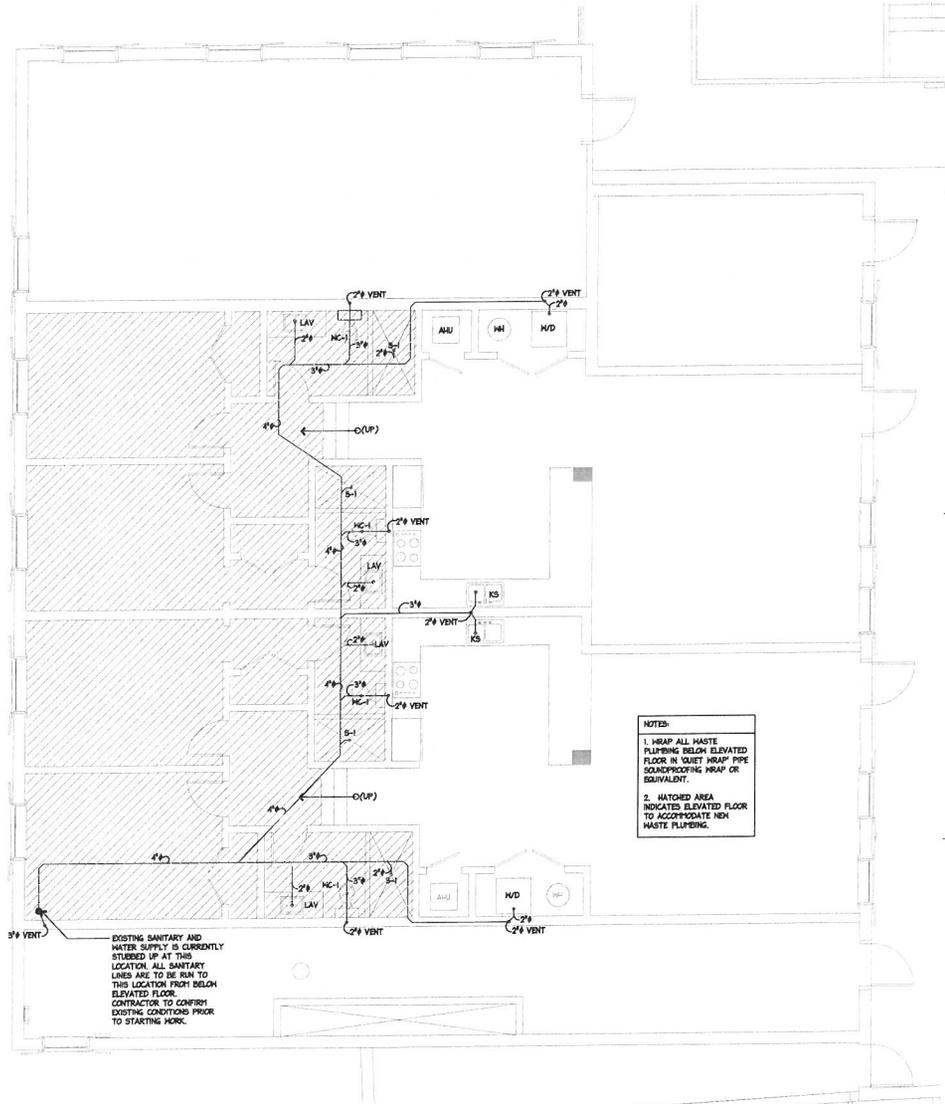
BATHROOM ACCESSORY SCHEDULE			
SYMBOL	FIXTURE	PIPE/CATALOG NO.	REMARKS
TR	TRENCH		OWNER SELECTED (ASSUMED 1 AT EACH BATHROOM LOCATION)
SH	SHOWER HOOD		OWNER SELECTED (ASSUMED 1 AT EACH BATHROOM LOCATION)
TS	TOWEL BAR		OWNER SELECTED (ASSUMED 1 AT EACH BATHROOM LOCATION)
TH	TOILET HOLDER		OWNER SELECTED (ASSUMED 1 AT EACH BATHROOM LOCATION)

PLUMBING FIXTURE SCHEDULE			
MARK	FIXTURE	PIPE/CATALOG NO.	REMARKS
S-1 (2X)	SHOWER TRAY		SHOWER TRAY AND FLOOR DRAIN BOTTLE SELECTED BY OWNER. CONTRACTOR TO COORDINATE IN-HALL VALVES.
LAV-1 (2X)	WINK/FACET		SELECTED BY OWNER
MC-1 (2X)	WATER CLOSET		SELECTED BY OWNER
KS (2X)	WINK/FACET		SELECTED BY OWNER

- PLUMBING GENERAL NOTES**
- UTILITIES AND SERVICES INDICATED ARE TAKEN FROM VARIOUS OLD AND NEW SURVEYS, AS-BUILT RECORDS AND FIELD INVESTIGATIONS. UNFORESEEN CONDITIONS PROBABLY EXIST AND NEW WORK MAY NOT BE FIELD LOCATED EXACTLY AS SHOWN ON DRAWINGS. COOPERATION WITH OTHER TRADES IN ROUTING, AS DETERMINED DURING CONSTRUCTION WILL BE NECESSARY.
 - FIELD VERIFY EXISTING INSTALLATIONS. IDENTIFY EXISTING PLUMBING SYSTEMS, WHICH ARE TO REMAIN ACTIVE, TO FACILITATE RECONNECTION AND EXTENSION OF THE NEW WORK.
 - NOTIFY OWNER AT LEAST 24 HOURS PRIOR TO INTERRUPTING EXISTING SERVICES. SCHEDULE DISCONNECTION AND TIE-INs TO MINIMIZE DISRUPTION OF SERVICES. SERVICES ARE NOT TO BE LEFT DISRUPTED DURING NON-HOURS. CONTRACTOR WORKING HOURS.
 - PLUMBING IS NOT COMPLETELY TO SCALE. PIPE ROUTING SCHEMATIC AND IS NOT INTENDED TO INDICATE EXACT ROUTING AND ANY ADDITIONAL OFFSETS AND FITTINGS REQUIRED FOR PROPER INSTALLATION AND TO MAINTAIN CLEARANCES. VERIFY STRUCTURAL, MECHANICAL AND ELECTRICAL INSTALLATION AND OTHER POTENTIAL OBSTRUCTIONS AND ROUTE PIPING TO AVOID INTERFERENCE.
 - CONCEAL PIPING ABOVE CEILING, WITHIN WALLS OR CHASES EXCEPT AS SPECIFICALLY NOTED.
 - SLEEVE AND FIRE STOP PENETRATIONS OF RATED WALLS, FLOORS, CEILING AND ROOFS.
 - PROVIDE ACCESS PANELS TO ALL VALVES AND WATER METER ASSEMBLIES THAT CAN BE TURNED BY HAND, LOCATED WITHIN CHASES OR NON-ACCESSIBLE CEILING. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPES.
 - ALL WATER PIPING INSIDE BUILDINGS SHALL BE TYPE "L" COPPER PIPE WITH SOLDERED (8/4) JOINTS, CPVC OR PEX.
 - SCHEDULE 40 PVC PIPE & FITTINGS. ASTM D2466-86. JOINTS: ASTM D2858-88, SOLVENT WELD.
 - EXCITATIONS SHALL BE PROVIDED FOR ALL PIPING THRU WALLS, FLOORS AND CEILING WHERE PIPE IS EXPOSED TO VIEW.
 - SEE ARCHITECTURAL DRAWINGS FOR FIXTURE LOCATIONS AND FINISHING HEIGHTS.
 - PROVIDE AUTOMATIC TRAP PRIMERS FOR FLOOR DRAIN TRAP SEALS.
 - PROVIDE, WHEN REQUIRED BY CODE, AN AIR GAP SERVING INDIVIDUAL FIXTURES, DEVICES, APPLIANCES AND APPARATUS.
 - SIZE AND LOCATION OF ANY REQUIRED CLEANOUTS SHALL BE IN ACCORDANCE WITH THE UNIFORM BUILDING CODE (PLUMBING), CURRENT ADDITION, AND ALL JURISDICTIONAL REGULATIONS.
 - ALL WALL MOUNTED LAVATORIES AND HAND WASHING FACILITIES SHALL BE ATTACHED TO A FLOOR MOUNTED CARRIER DESIGNED TO WITHSTAND A VERTICAL LOAD OF 350 POUNDS ON THE FRONT OF THE FIXTURE.
 - PLUMBING CONTRACTOR SHALL PROVIDE SANITARY WASTE, VENT, DOMESTIC WATER, ETC., REIGH-IN AND MAKE FINAL CONNECTIONS (INCLUDING SUPPLYING AND/OR INSTALLING ALL NECESSARY RELATED STOPS, VALVES, TRAPS, ETC. AND MAKE READY FOR USE) TO ALL EQUIPMENT WHETHER FURNISHED BY THIS CONTRACTOR OR FURNISHED BY OTHERS.
 - INSTALL HOT WATER PIPING WITH FACTORY FORMED, FIBERGLASS PIPE INSULATION FACTORY JACKETED SYSTEM 1" THICK EQUAL TO CHASE-CORNER FIBERGLASS 250/45/100L.



2 RISER DIAGRAM
SCALE: 1/4"=1'-0"



1 PROPOSED WASTE PLUMBING PLAN
SCALE: 1/4"=1'-0"

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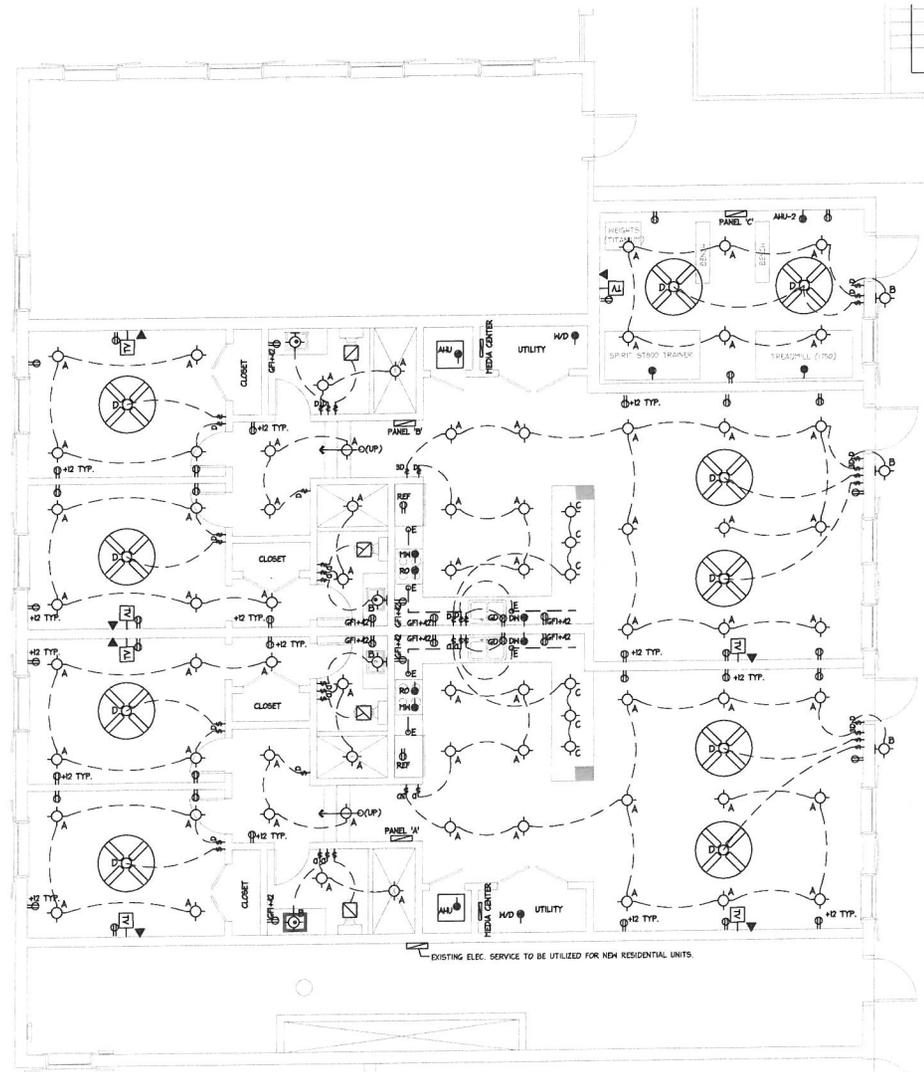
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Project No. _____
Date: 04/0/2021

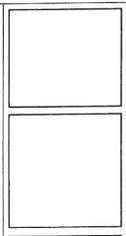
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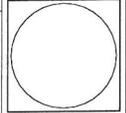
- GENERAL POWER NOTES:**
1. ALL DATA & CABLE RUNS ARE TO BE BUNDLED CABLE WITH (2) RG6 COAX & (2) CAT5. RUN PRIMARY FEED INTO MEDIA CENTER DISTRIBUTION BOX AND THEN DISTRIBUTE WHERE INDICATED.
 2. ALL RECEPTACLES ARE TO BE LUTRON 'DESIGNER STYLE' RECEPTACLES (WHITE), CABLE AND DATA WALL PLATES TO MATCH. A SELECT NUMBER OF RECEPTACLES ARE TO BE LUTRON DUAL USB RECEPTACLES. COORDINATE LOCATIONS WITH OWNER (ASSUME (5) TOTAL FOR PRICING PURPOSES).
 3. ALL WALL PLATES ARE TO BE LUTRON 'DESIGNER STYLE' (COLOR:SNOW) SCREENLESS.
 4. CONFIRM FINAL PRODUCT SELECTIONS WITH OWNER PRIOR TO ORDERING.
 5. AT T.V. LOCATIONS PROVIDE TERMINATIONS AT BOTH 12" AND 54" ABOVE FINISHED FLOOR.
 6. ELECTRICAL SERVICE WILL BE 120/208V. ALL EQUIPMENT IS TO BE ORDERED ACCORDINGLY.



1 PROPOSED POWER & LIGHTING PLAN
 E1 SCALE 1/4"=1'-0"



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 ARCHITECTS
 P.L.L.C.

Project #:
 Date: 04/02/2021

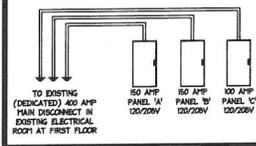
E1



ELECT. LOAD CALCS PANEL

2,425 S.F. LIVING SPACE @ 3 VA/S.F.	7,875 VA
(3) AHU-1 HF HEAT STRIPS	14,400
(3) EXTERIOR A/C UNIT (C-1)	14,400
(2) REFRIGERATOR	3,600
(2) DISHWASHER	2,800
(2) RANGE OVEN	14,400
(3) MICROWAVE	4,200
(2) WATER HEATER	9,600
(8) APPLIANCE CIRCUITS @ 1500 VA	12,000
(2) WASHING MACHINE	1,500
(2) DRYER	9,600
TOTAL CALC. LOAD	94,175 VA
FIRST 10 KW @ 100%	10,000
A/C @ 100%	28,800
55,375 VA @ 40%	22,150
TOTAL LOAD PER N.E.C. 220-31	60,950 VA
MAX. DEMAND = 60,950VA / 208V =	293 AMPS
PROVIDE DEDICATED 400 AMP SERVICE	

ELECTRICAL RISER DIAGRAM



PANEL 'B' SCHEDULE

* LIGHTING LOADS ARE TO BE AVERAGED @ 3 VA PER S.F.
150 AMP PANEL 120 / 208V - 1P - 3M MAIN LUG

CRCT	DESCRIPTION	BRKR	POLE	LOAD WATTS (VA)	CRCT	DESCRIPTION	BRKR	POLE	LOAD WATTS (VA)
1	MASTER BEDROOM / BATHROOM LIGHTING & REC.	20 (APC)	1	*	2	GUEST BEDROOM / BATHROOM LIGHTING & REC.	20 (APC)	1	*
3	LIVING ROOM LIGHTING & RECEPTACLES	20 (APC)	1	*	4	DINING LIGHTING & RECEPTACLES	20 (APC)	1	*
5	KITCHEN LIGHTING & RECEPTACLES	20 (APC)	1	*	6	APPLIANCE RECEPTACLE	20	1	1500
7	APPLIANCE RECEPTACLE	20	1	1500	8	APPLIANCE RECEPTACLE	20	1	1500
9	WATER HEATER (TANK)	20	4000		10	REFRIGERATOR	20 (CPG)	1	800
11		2			12	DISHWASHER	20	1	1000
13	WASHING MACHINE	20 (CPG)	1	750	14	DRYER	20	2	4000
15	EXTERIOR A/C UNIT (CU-1)	20	4000		16		2		
17		2			18	AIR HANDLING UNIT (AHU-1)	20	2	4000
19	MICROWAVE / HOOD	20	2000		20		2		
21		2			22	RANGE OVEN	30	2	7200
23	SPACE				24	SPACE			
25	SPACE				26	SPACE			
27	SPACE				28	SPACE			
29	SPACE				30	SPACE			
31	SPACE				32	SPACE			
33	SPACE				34	SPACE			
35	SPACE				36	SPACE			
37	SPACE				38	SPACE			
39	SPACE				40	SPACE			
41	SPACE				42	SPACE			

NOTE: VERIFY ALL LOADS AND BREAKER REQUIREMENTS WITH APPLIANCE MANUFACTURERS SPECIFICATIONS.

LIGHTING FIXTURE SCHEDULE

CONFIRM SELECTIONS WITH OWNER / ARCHITECT PRIOR TO ORDERING.

TYPE	DESCRIPTION	MANUFACTURER AND CATALOG NUMBER	LAMP	REMARKS
A	RECESSED LED	OWNER SELECTED		THIS OPTION SELECTED BY OWNER. ALL NOT LISTED THERE REQUIRED AT BUSINESS. USE ALSO ALLOWANCE FOR FIXTURE.
B	BATHROOM HALL MOUNTED	OWNER SELECTED		USE A 800 ALLOWANCE FOR FIXTURE. ALLOWANCE IS FOR FIXTURE ONLY. INCLUDE INSTALLATION COST. IN ADDITION TO FIXTURE ALLOWANCE. IN SAME PRICE.
C	PENDANT LIGHT	OWNER SELECTED		USE A 800 ALLOWANCE FOR FIXTURE. ALLOWANCE IS FOR FIXTURE ONLY. INCLUDE INSTALLATION COST. IN ADDITION TO FIXTURE ALLOWANCE. IN SAME PRICE.
D	CEILING FAN (INTERIOR)	OWNER SELECTED		
E	UNDER CABINET LIGHT	OWNER SELECTED		
EH	EXHAUST FAN	OWNER SELECTED		

PANEL 'C' SCHEDULE

* LIGHTING LOADS ARE TO BE AVERAGED @ 3 VA PER S.F.
100 AMP PANEL 120 / 208V - 1P - 3M MAIN LUG

CRCT	DESCRIPTION	BRKR	POLE	LOAD WATTS (VA)	CRCT	DESCRIPTION	BRKR	POLE	LOAD WATTS (VA)
1	LIGHTING & FANS & RECEPTACLES	20 (APC)	1	*	2	EQUIPMENT RECEPTACLE	20	1	1500
3	EXTERIOR A/C UNIT (CU-1)	20	4000		4	EQUIPMENT RECEPTACLE	20	1	1500
5	SPACE	2			6	AIR HANDLING UNIT (AHU-1)	20	2	4000
7	SPACE				8	SPACE			
9	SPACE				10	SPACE			
11	SPACE				12	SPACE			
13	SPACE				14	SPACE			
15	SPACE				16	SPACE			
17	SPACE				18	SPACE			
19	SPACE				20	SPACE			
21	SPACE				22	SPACE			

NOTE: VERIFY ALL LOADS AND BREAKER REQUIREMENTS WITH APPLIANCE MANUFACTURERS SPECIFICATIONS.

PANEL 'A' SCHEDULE

* LIGHTING LOADS ARE TO BE AVERAGED @ 3 VA PER S.F.
150 AMP PANEL 120 / 208V - 1P - 3M MAIN LUG

CRCT	DESCRIPTION	BRKR	POLE	LOAD WATTS (VA)	CRCT	DESCRIPTION	BRKR	POLE	LOAD WATTS (VA)
1	MASTER BEDROOM / BATHROOM LIGHTING & REC.	20 (APC)	1	*	2	GUEST BEDROOM / BATHROOM LIGHTING & REC.	20 (APC)	1	*
3	LIVING ROOM LIGHTING & RECEPTACLES	20 (APC)	1	*	4	DINING LIGHTING & RECEPTACLES	20 (APC)	1	*
5	KITCHEN LIGHTING & RECEPTACLES	20 (APC)	1	*	6	APPLIANCE RECEPTACLE	20	1	1500
7	APPLIANCE RECEPTACLE	20	1	1500	8	APPLIANCE RECEPTACLE	20	1	1500
9	WATER HEATER (TANK)	20	4000		10	REFRIGERATOR	20 (CPG)	1	800
11		2			12	DISHWASHER	20	1	1000
13	WASHING MACHINE	20 (CPG)	1	750	14	DRYER	20	2	4000
15	EXTERIOR A/C UNIT (CU-1)	20	4000		16		2		
17		2			18	AIR HANDLING UNIT (AHU-1)	20	2	4000
19	MICROWAVE / HOOD	20	2000		20		2		
21		2			22	RANGE OVEN	30	2	7200
23	SPACE				24	SPACE			
25	SPACE				26	SPACE			
27	SPACE				28	SPACE			
29	SPACE				30	SPACE			
31	SPACE				32	SPACE			
33	SPACE				34	SPACE			
35	SPACE				36	SPACE			
37	SPACE				38	SPACE			
39	SPACE				40	SPACE			
41	SPACE				42	SPACE			

NOTE: VERIFY ALL LOADS AND BREAKER REQUIREMENTS WITH APPLIANCE MANUFACTURERS SPECIFICATIONS.

A & B MARINA COMPLEX
KEY WEST, FLORIDA

Bender & Associates
ARCHITECTS P.A.

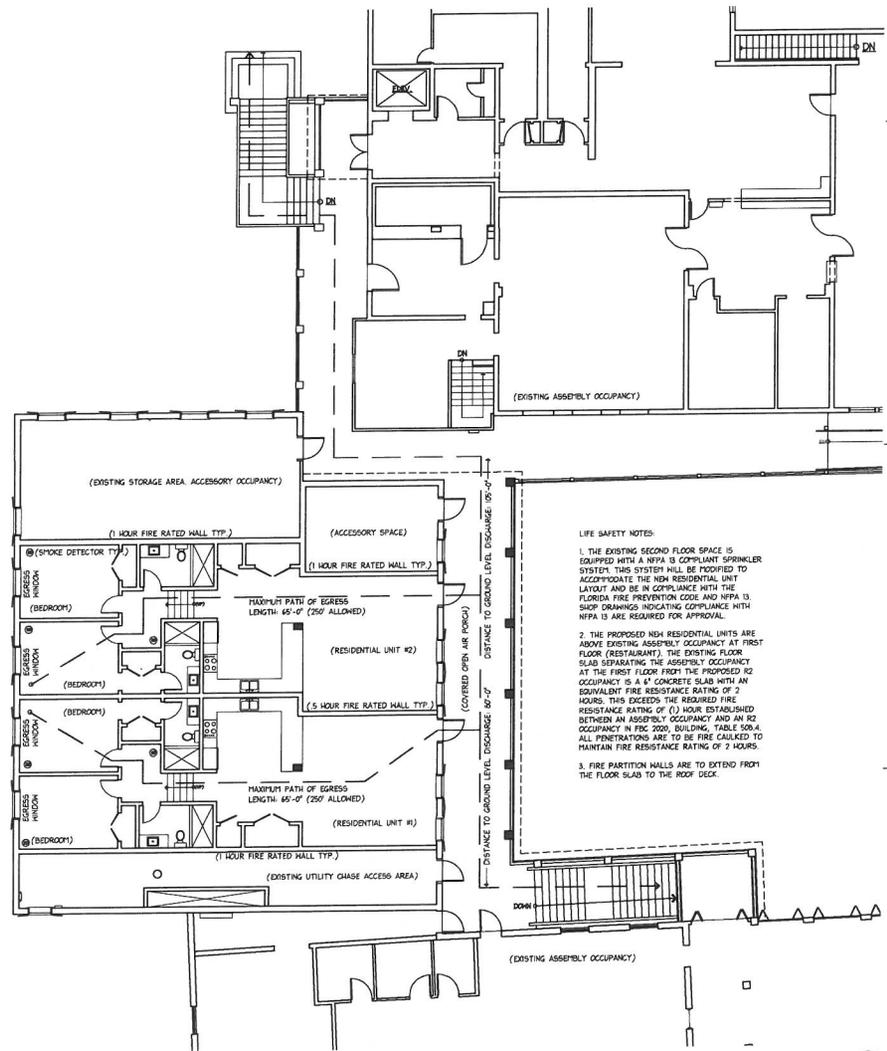
Product No. _____

Date: 04/01/2011

E2

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A#B RESIDENTIAL UNITS (AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT) LIFE SAFETY CODE CALCULATIONS: FLORIDA BUILDING CODE 2020, BUILDING	
Chapter 3	
Section 310	Occupancy Classification: Residential Group R2
Chapter 5	
Table 508.4	Fire Separation: 1 Hour Fire Partition Required Between Residential Units and Existing Assembly Occupancy. Both Occupancies are equipped with automatic fire sprinklers.
Chapter 7	
Section 708	Fire Partitions: 1/2 Hour Fire Partition Required Between Units Per 708.3 Exception #2.
Chapter 9	
Section 903	Proposed buildings are to be designed with an NFPA 13R sprinkler system.
Chapter 10	
Table 1004.5	Occupancy Loads: Residential (R-2): 1,200 s.f. / 200 gross = 6 persons (per unit)
Sec. 1006 / Table 1006.2.1 Sec. 1006.3.3 (5)	Number of Exits Required: 1 Exit Required, 3 Exits to be provided at each unit. 1 Main exit (door) and 2 emergency egress windows, one at each bedroom space.
Table 1017.2	Maximum Path of Egress: 250' (sprinklered)
Section 1030	Emergency Escape & Rescue: Each Bedroom is to be provided with an emergency escape window per FBC Section 1030 meeting minimum size requirements per FBC Section 1030.2, complying with location requirements per FBC Section 1030.3, and operational constraints per FBC Section 1030.4.



1 LIFE SAFETY PLAN
SCALE: 1/8"=1'-0"



A & B MARINA COMPLEX KEY WEST, FLORIDA
Bender & Associates ARCHITECTS P.L.L.C.
Project No. _____ Date: 04/02/2021
LS

700 Front Street, VAR



PROPERTY RECORD CARD

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00000210-000000
 Account# 1000205
 Property ID 1000205
 Millage Group 12KW
 Location 700 FRONT St, KEY WEST
 Address
 Legal KW PT LOT 1 SQR 5 & .24 ACRES OF FILLED BAY BOTTOM G22/107 OR524-4 OR910-
 Description 852/53 OR1363-459/60 OR1363-461/62 OR1373-48/52 OR1450-915/16 OR1450-
 917/19 OR2331-862/63 OR2339-1923/41 OR2929-0260
 (Note: Not to be used on legal documents.)
 Neighborhood 32020
 Property Class RESTAURANT (2100)
 Subdivision
 Sec/Twp/Rng 31/67/25
 Affordable No
 Housing



Owner

FOD MARINA 1 LLC
 7009 Shrimp Rd
 Ste 4
 Key West FL 33040

BENICIA PARTNERS LLC
 10 S La Salle St
 Ste 2660
 Chicago IL 60603

SMITH FAMILY FUND 1 LLC
 10 S La Salle St
 Ste 2660
 Chicago IL 60603

Valuation

	2020	2019	2018	2017
+ Market Improvement Value	\$5,188,024	\$5,272,794	\$4,128,043	\$4,240,676
+ Market Misc Value	\$270,999	\$272,096	\$225,204	\$226,246
+ Market Land Value	\$14,412,384	\$14,412,384	\$13,071,594	\$13,071,594
= Just Market Value	\$19,871,407	\$19,957,274	\$17,424,841	\$17,538,516
= Total Assessed Value	\$19,871,407	\$19,957,274	\$17,424,841	\$17,538,516
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$19,871,407	\$19,957,274	\$17,424,841	\$17,538,516

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL WATERFRON (100W)	57,192.00	Square Foot	0	0

Commercial Buildings

Style REST/CAFET-A- / 21A
 Gross Sq Ft 19,275
 Finished Sq Ft 13,810
 Perimeter 0
 Stories 2
 Interior Walls
 Exterior Walls CUSTOM with 1% MIN WOOD SIDING
 Quality 450 ()
 Roof Type
 Roof Material
 Exterior Wall1 CUSTOM
 Exterior Wall2 MIN WOOD SIDING
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 7
 Half Bathrooms 1
 Heating Type
 Year Built 1953
 Year Remodeled

Effective Year Built 1999

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	120	0	0
FLA	FLOOR LIV AREA	13,810	13,810	0
OOU	OP PR UNFIN UL	299	0	0
OPF	OP PRCH FIN LL	807	0	0
OUF	OP PRCH FIN UL	77	0	0
PDO	PATIO DIN OPEN	660	0	0
PDE	PTO DIN ENCL	3,200	0	0
SBF	UTIL FIN BLK	302	0	0
TOTAL		19,275	13,810	0

Style REST/CAFET-A- / 21A
 Gross Sq Ft 22,618
 Finished Sq Ft 18,981
 Perimeter 0
 Stories 6
 Interior Walls
 Exterior Walls CUSTOM
 Quality 450 ()
 Roof Type
 Roof Material
 Exterior Wall1 CUSTOM
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 8
 Heating Type
 Year Built 1999
 Year Remodeled
 Effective Year Built 2001
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	2,984	0	0
FLA	FLOOR LIV AREA	18,981	18,981	0
OOU	OP PR UNFIN UL	273	0	0
SBF	UTIL FIN BLK	380	0	0
TOTAL		22,618	18,981	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
CONC PATIO	1952	1953	1	235 SF	2
UTILITY BLDG	1959	1960	1	722 SF	5
CONC PATIO	1994	1995	1	420 SF	2
CONC PATIO	1996	1997	1	733 SF	2
UTILITY BLDG	1997	1998	1	48 SF	3
ASPHALT PAVING	1999	2000	1	24038 SF	2
SEAWALL	1986	1987	1	420 SF	4
WOOD DOCKS	1986	1987	1	4923 SF	5

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
9/24/2018	\$23,660,000	Warranty Deed	2188428	2929	0260	37 - Unqualified	Improved
3/1/1997	\$5,100,000	Warranty Deed		1450	0917	Q - Qualified	Improved

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
BLD2019-3898	1/9/2020		\$337,500	Commercial	RENOVATION INTERIOR- DEMO OF EXISTING INTERIOR PARTITIONS, FIXTURES & FINISHES & KITCHEN EQUIPMENT. NEW PARTITIONS, KITCHENS EQUIPMENT ADA BATHROOMS, INTERIOR DOORS.
BLD2019-3899	1/9/2020		\$180,000	Commercial	RENOVATION EXTERIOR
BLD2019-3901	11/14/2019		\$82,000	Commercial	New lighting in new office & ADA bathroom
BLD2019-3766	11/4/2019	12/10/2019	\$1,836	Commercial	FIRE SUPPRESSION.

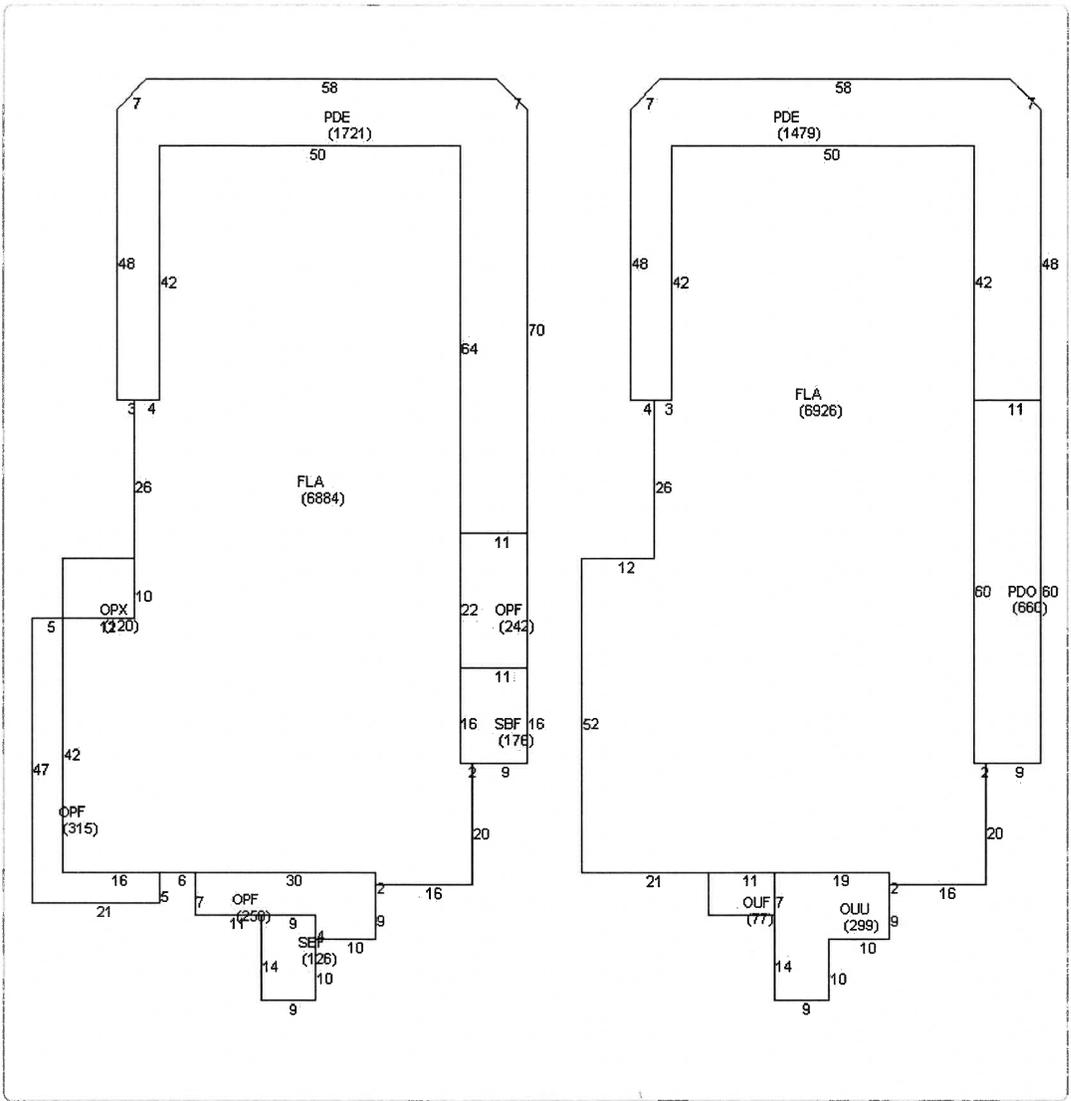
BLD2019-2127	8/27/2019	9/30/2019	\$23,735	Commercial	New floor sinks to replace existing floor sinks. Tie into existing sanitary waste system. New bar plumbing (waste & supply).
BLD2019-2816	8/27/2019	12/12/2019	\$32,000	Commercial	Installation of 1-15 Ton package unit. 2 Fresh Air Fans and One walk-in cooler condenser all installed on existing curbs and on roof meeting set backs.
BLD2019-2349	7/3/2019	10/1/2019	\$29,750	Commercial	Remove and replace 7 square 5V-Crimp Metal. Install 35 squares of HydroStop.
BLD2019-2086	6/7/2019	6/14/2019	\$800	Commercial	Electrical permit to go with Fuel Permit #BLD2019-1380. Disconnect existing fuel panel and reconnect new fuel pump 5HP
BLD2019-1380	5/28/2019	6/14/2019	\$62,280	Commercial	R/R existing 10,000 above ground storage tank with a new UL2085 5,000 fuel storage tank on existing concrete slab.
BLD2019-1016	4/10/2019		\$2,900	Commercial	Fire sprinklers for new office space and laundry room
BLD2019-1019	4/9/2019	3/26/2019	\$16,000	Commercial	Electrical installation plans dated
BLD2019-1020	4/9/2019	3/26/2019	\$2,400	Commercial	Removal of existing plumbing fixtures, capping off rough-in below finish surfaces. Installation of service to washer and dryers and sink
18-1633	4/24/2018	8/11/2018	\$1,435	Commercial	Build a 10'6" x 3'6" x 10' slab, set and secure (3)-420# tanks(100 gallons each) and run an underground line to existing system. *****n.o.c exempt*****harc inspection required*****
17-2153	6/19/2017	8/11/2018	\$140,000	Commercial	REMOVE EXISTING DECK BOARDS INSPECT AND REPAIR DECK FRAMING AS NEEDED REPLACE DECK BOARD WITH 1 X 6 IPE
16-2219	7/7/2016	8/11/2018	\$4,500	Commercial	RECONFIGURE OUTSIDE BAR, ADD APPROXIMATELY 25 LF OF BAR TOP.
14-3191	7/1/2014	8/11/2018	\$75,000	Commercial	Repair existing concrete floor where needed due to spalding approximately 900SF (Interior). **NOC received**
13-3617	9/2/2013	4/22/2017	\$2,400	Commercial	IN ALONZOS RESTAURANT, ELECTRICAL WORK IN SUPPORT OF BATHROOM RENOVATIONS TO INCLUDE: 1- RELOCATION OF 14 RECESSED CAN LIGHTS. 2- ADDITION OF 10 RECESSED CAN LIGHTS. 3- REPLACEMENT OF 2 EMERGENCY LIGHTS. 4- RECESS WIRING FOR 4 EXISTING ELECTRICAL HAND DRYERS.
13-2027	5/19/2013		\$1,975	Commercial	TWO FIRE SPRINKLER HEADS TO ALLOW FOR PROPER COVERAGE.
12-1351	4/13/2012		\$0	Commercial	IMPACT FEE PAYMENT FOR 32 EXTERIOR SEATS FOR WHITE TARPON.
11-3878	10/24/2011		\$500	Commercial	INSTALL OWNER PROVIDED SINKS AS PER PLANS. 1-ICE BIN, 1-HAND SINK.
11-3773	10/14/2011		\$2,250	Commercial	INSTALL 2 GFI RECEPTACLES AND 2 LIGHTS CONTROLLED BY A SINGLE POLE SWITCH IN NEW OUTSIDE BAR AREA. BEING CONSTRUCTED ON PERMIT #11-3416. INSTALL 10 LED ACCENT DOWN LIGHTS ON BRICK COLUMNS IN SAME AREA.
11-3416	9/16/2011		\$3,000	Commercial	BUILD NEW TIKI BAR UNDER 2ND FLOOR IN BREEZEWAY. ADD THATCH ROOF APPROX. 50 SQUARES.
10-2684	8/18/2010	7/8/2011	\$32,500	Commercial	REMODEL EXISTING RESTAURANT, BUILD NEW BAR, REPLACE WINDOWS AND DOORS, BUILD DECK AS PER PLANS.
10-2739	8/17/2010		\$3,800	Commercial	DOWNSTAIRS BAR NEW BAR COUNTER BEING INSTALLED; EXTEND EXISTING CIRCUIT POUR UNDERCOUNTER REC. & LIGHTS.
03-2368	7/2/2004	9/30/2004	\$24,000	Commercial	R&R FUEL LINE
04-1465	6/4/2004	9/30/2004	\$11,000	Commercial	DISHWASH HOODS
04-0928	3/26/2004	9/30/2004	\$4,350	Commercial	ROOF
04-0779	3/16/2004	9/30/2004	\$2,000	Commercial	3-PHASE 200 AMP
03-4322	1/9/2004	9/30/2004	\$58,975	Commercial	XTEND OBS DECK
02-3329	12/17/2002	10/7/2003	\$7,500	Commercial	REFURBISH EXISTING SIGN
02-3139	11/15/2002	10/7/2003	\$1	Commercial	14 BARS SEATS
02-2977	11/8/2002	10/7/2003	\$25,000	Commercial	INTERIOR REPAIRS
02-2794	10/10/2002	10/7/2003	\$2,000	Commercial	ELECTRICAL-DEMO FANS
0001896	7/10/2000	7/22/2000	\$1,000	Commercial	ELECTRICAL
9903676	4/12/2000	7/22/2000	\$2,500	Commercial	AWNINGS
0000063	2/4/2000	7/22/2000	\$1,525	Commercial	INSTALL SECURITY ALARM
9901511	1/26/2000	7/22/2000	\$350,000	Commercial	PLUMBING
0000203	1/25/2000	7/22/2000	\$3,500	Commercial	INSTALL AC
9903301	12/17/1999	7/22/2000	\$23,700	Commercial	7 SQS COPPER
9904029	12/13/1999	7/22/2000	\$1,800	Commercial	FIRE SUPPRESSION SYSTEM
9903701	11/30/1999	12/20/1999	\$5,000	Commercial	SIGNS
9903301	10/7/1999	12/20/1999	\$16,000	Commercial	ADD WOOD AWNINGS
9902517	7/19/1999	12/31/1999	\$25,000	Commercial	6 A/C'S, 20 DROPS
9902403	7/9/1999	12/31/1999	\$9,500	Commercial	PLUMBING
9902294	7/1/1999	12/31/1999	\$3,500	Commercial	EGRESS PLANS 2ND FLOOR
9902279	6/30/1999	12/31/1999	\$2,000	Commercial	STAIRS REPAIRS
9803933	6/15/1999	12/31/1999	\$102,000	Commercial	ROOF
9901414	6/10/1999	12/31/1999	\$161,000	Commercial	FRAMING AND DECKING
9901414	6/10/1999	12/31/1999	\$161,000	Commercial	WOOD FRAMING & DECKING
9901872	6/3/1999	12/31/1999	\$6,000	Commercial	DEMOLITION
9901667	5/14/1999	12/31/1999	\$15,000	Commercial	ELECTRICAL
9901630	5/12/1999	12/31/1999	\$6,400	Commercial	A/C DUCT WORK
9901511	5/3/1999	6/4/1999	\$350,000	Commercial	ADDITION "WHITE TARPON"
9900981	3/19/1999	12/31/1999	\$35,000	Commercial	FIRE PUMP
9900824	3/8/1999	12/31/1999	\$112,000	Commercial	ELECTRICAL

9900621	2/23/1999	12/31/1999	\$55,000	Commercial	SPRINKLERS & SINKS
9900331	1/27/1999	12/31/1999	\$2,500	Commercial	PLUMBING
9803985	12/13/1998	12/31/1999	\$8,000	Commercial	PLUMBING
9800964	7/20/1998	12/31/1998	\$375,000	Commercial	2 NEW COMM. BLDGS
9802100	7/7/1998	12/31/1999	\$800	Commercial	ELECTRICAL
9801605	6/5/1998	12/31/1999	\$57,290	Commercial	DOCKS AND PIERS
9801530	5/14/1998	6/1/1999	\$200,000	Commercial	ELECTRICAL + ALARMS
9801433	5/6/1998	12/31/1999	\$50,000	Commercial	FOUNDATION
9801118	5/4/1998	12/31/1998	\$150,000		STORM DAMAGE
9801371	5/4/1998	12/31/1999	\$5,200	Commercial	ROOF
9800808	3/12/1998	4/20/1998	\$38,000		ELECTRIC
9704327	2/10/1998	8/5/1998	\$1		REMODEL 4 BOOTHS
9800382	2/4/1998	8/5/1998	\$1,000		ROOFING
9800256	1/26/1998	8/5/1998	\$10,000		PLUMBING
9800242	1/22/1998	8/5/1998	\$2,500		ELECTRIC
9702728	12/1/1997	12/1/1997	\$14,000		SIGNS
9703330	10/1/1997	12/1/1997	\$1,000		SEWER CONNECTION
9703386	10/1/1997	12/1/1997	\$11,073		ROOFING
9703499	10/1/1997	12/1/1997	\$3,500		PLUMBING/ELECT FOR BAR
9703587	10/1/1997	12/1/1997	\$2,900		FIRE SUPPRESSION SYSTEM
9702719	8/1/1997	12/1/1997	\$1,200		ELECTRICAL 2-200 AMP SYST
9702731	8/1/1997	12/1/1997	\$1,100		SECURITY ALARM
9702758	8/1/1997	12/1/1997	\$7,500		DEMO/REPL ICE HOUSE
9702762	8/1/1997	12/1/1997	\$5,000		TRANSFORMER PAD/UNDERGROU
9702912	8/1/1997	12/1/1997	\$4,000		ALTERATIONS/UPGRADE SUBFE
9702066	7/1/1997	12/1/1997	\$28,000		RENOVATE KITCHEN
9702152	7/1/1997	12/1/1997	\$8,000		ELECTRICAL
9702395	7/1/1997	12/1/1997	\$12,000		INSTALL HOOD/ANSUL SYSTEM
9702526	7/1/1997	12/1/1997	\$1,000		SIGN
9701660	6/1/1997	12/1/1997	\$7,500		NEW WINDOWS
9701768	6/1/1997	12/1/1997	\$5,000		ELECTRICAL
9701934	6/1/1997	12/1/1997	\$60,000		NEW EXTERIOR FACADE
9701409	5/1/1997	12/1/1997	\$3,000		PLUMBING
9701535	5/1/1997	12/1/1997	\$23,000		AC/COOLERS/ETC
9701644	5/1/1997	12/1/1997	\$3,500		3.5 TON AC
9701130	4/1/1997	12/1/1997	\$3,500	Commercial	INTERIOR RENOVATIONS
9701189	4/1/1997	12/1/1997	\$5,250	Commercial	ELECTRICAL
9700878	3/1/1997	12/1/1997	\$1	Commercial	INTERIOR RENOVATIONS
9604433	11/1/1996	12/1/1996	\$5,000	Commercial	REMODELING/REPAIR
95-4196	11/1/1995	12/1/1995	\$35,000	Commercial	FUEL TANK CONCRETE SLAB
B954024	11/1/1995	12/1/1995	\$90,000	Commercial	FLOATING DOCKS
A951310	4/1/1995	10/1/1995	\$400	Commercial	ADD PAINTED LETTERS TO WA
M943597	11/1/1994	12/1/1994	\$1,000	Commercial	INSTALL 1 TON AC
B943213	10/1/1994	12/1/1994	\$80,000	Commercial	ADD ROOF 2ND FL/REP EXIST
B933532	12/1/1993	12/1/1994	\$1,000	Commercial	INSTALL 3 WINDOWS

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Sketches (click to enlarge)



Map



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No data available for the following modules: Buildings, Mobile Home Buildings, Exemptions.

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Detail by Entity Name

Florida Limited Liability Company
SMITH HAWKS, PL

Filing Information

Document Number	L07000082882
FEI/EIN Number	26-0733782
Date Filed	08/13/2007
Effective Date	08/13/2007
State	FL
Status	ACTIVE
Last Event	LC AMENDMENT AND NAME CHANGE
Event Date Filed	03/03/2017
Event Effective Date	04/01/2017

Principal Address

138 SIMONTON STREET
KEY WEST, FL 33040

Changed: 03/03/2013

Mailing Address

138 SIMONTON STREET
KEY WEST, FL 33040

Changed: 03/03/2013

Registered Agent Name & Address

SMITH, BARTON W
138 Simonton Street

KEY WEST, FL 33040

Address Changed: 04/10/2018

Authorized Person(s) Detail**Name & Address**

Title AMBR

SMITH, BARTON W
 138 SIMONTON STREET
 KEY WEST, FL 33040

Title AMBR

HAWKS, BRYAN
 138-142 SIMONTON STREET
 KEY WEST, FL 33040

Annual Reports

Report Year	Filed Date
2020	05/11/2020
2021	01/27/2021
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Detail by Entity Name

Florida Limited Liability Company

FOD MARINA 1 LLC

Filing Information

Document Number L18000093564

FEI/EIN Number 83-1196702

Date Filed 04/13/2018

State FL

Status ACTIVE

Principal Address

7009 SHRIMP RD STE 4

KEY WEST, FL 33040

Mailing Address

7009 SHRIMP RD STE 4

KEY WEST, FL 33040

Registered Agent Name & Address

RAYMOND, MICHAEL

7009 SHRIMP RD STE 4

KEY WEST, FL 33040

Authorized Person(s) Detail

Name & Address

Title AMBR

FOD CAPITAL LLC

7009 SHRIMP RD STE 4

KEY WEST, FL 33040

Title President

RAYMOND, MICHAEL

7009 SHRIMP RD STE 4

KEY WEST 33040 UN

Title Treasurer

STRUNK, MATTHEW
7009 SHRIMP RD STE 4
KEY WEST 33040 UN

Annual Reports

Report Year	Filed Date
2020	06/04/2020
2021	04/29/2021
2022	04/28/2022

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Detail by Entity Name

Florida Limited Liability Company
 BENICIA PARTNERS, LLC

Filing Information

Document Number	L20000346827
FEI/EIN Number	20-1338469
Date Filed	10/27/2020
Effective Date	06/24/2004
State	FL
Status	ACTIVE
Last Event	CONVERSION
Event Date Filed	10/27/2020
Event Effective Date	NONE

Principal Address

6450 COLLEGE ROAD
 KEY WEST, FL 33040

Mailing Address

6450 COLLEGE ROAD
 KEY WEST, FL 33040

Registered Agent Name & Address

JOHNSON, LESLIE
 6450 COLLEGE ROAD
 KEY WEST, FL 33040

Authorized Person(s) Detail

Name & Address

Title MGR

SMITH, WILLIAM L
 6450 COLLEGE ROAD
 KEY WEST, FL 33040

Title VP

Johnson, Leslie
5555 College Road
Key West, FL 33040

Annual Reports

Report Year	Filed Date
2021	03/15/2021
2022	03/03/2022

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Detail by Entity Name

Florida Limited Liability Company
SMITH FAMILY FUND 1 LLC

Filing Information

Document Number	L18000155829
FEI/EIN Number	N/A
Date Filed	06/26/2018
Effective Date	06/25/2018
State	FL
Status	ACTIVE
Last Event	REINSTATEMENT
Event Date Filed	10/21/2019

Principal Address

138 SIMONTON STREET
KEY WEST, FL 33040

Mailing Address

138 SIMONTON STREET
KEY WEST, FL 33040

Registered Agent Name & Address

Smith, Barton W
138 SIMONTON STREET
KEY WEST, FL 33040

Name Changed: 10/21/2019

Authorized Person(s) Detail

Name & Address

Title MGR

SMITH, BARTON W
138 SIMONTON STREET
KEY WEST, FL 33040

Annual Reports

Report Year	Filed Date
2020	01/17/2020
2021	01/27/2021
2022	04/13/2022

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