

RESOLUTION NUMBER 2016-37



A RESOLUTION OF THE CITY OF KEY WEST RECOMMENDING AN ORDINANCE TO THE CITY COMMISSION AMENDING CHAPTER 108 OF THE CODE OF ORDINANCES, ENTITLED PLANNING AND DEVELOPMENT BY AMENDING EXISTING SECTION 108-995 TO SET ASIDE ALL AVAILABLE BUILDING PERMIT ALLOCATIONS DURING THE JULY 1, 2016 - JUNE 30, 2017 PERIOD EXCLUSIVELY FOR AFFORDABLE HOUSING; PROVIDING FOR SEVERABILITY; PROVIDING FOR REPEAL OF INCONSISTENT PROVISIONS, PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, development of any housing is strictly controlled by virtue of the fact that the State of Florida has designated the City of Key West as a State area of Critical Concern; and

WHEREAS, this state regulation has resulted in a specified number of new building permits that may be granted each year under what is known as the Building Permit Allocation System (BPAS); and

WHEREAS, Chapter 108, Article 10 of the Key West Code of Ordinances specifies the manner and types of building permits allocated over a 10 year period; and



WHEREAS, Code of Ordinances section 108-995 specifies in pertinent part that during the July 1, 2016 - June 30, 2017 allocation period there shall be a "Minimum of 45 affordable units;" and


Chairman

Planning Director

WHEREAS, On April 5, 2016 the City Commission passed Resolution 2016-116 setting aside all building permit allocations during the next application period exclusively for affordable housing

WHEREAS, the planning board held a noticed public hearing on June 16, 2016, where based on the consideration of recommendations by the city planner, city attorney, building official and other information, the board recommended approval of the proposed amendments; and

WHEREAS, the planning board determined that the proposed amendments: are consistent with the Comprehensive Plan; in conformance with all applicable requirements of the Code of Ordinances; are stimulated by changed conditions after the effective date of the existing regulation; will promote land use compatibility; will not result in additional demand on public facilities; will have no impact on the natural environment; will not negatively impact property values or the general welfare; will result in more orderly and compatible land use patterns; and are in the public interest.

 Chairman
 Planning Director

NOW, THEREFORE, BE IT RESOLVED, BY THE PLANNING BOARD OF THE CITY OF KEY WEST, FLORIDA:


Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. That AN ORDINANCE TO THE CITY COMMISSION AMENDING CHAPTER 108 OF THE CODE OF ORDINANCES, ENTITLED PLANNING AND DEVELOPMENT BY AMENDING EXISTING SECTION 108-995 TO SET ASIDE ALL AVAILABLE BUILDING PERMIT ALLOCATIONS DURING THE JULY 1, 2016 - JUNE 30, 2017 PERIOD EXCLUSIVELY FOR AFFORDABLE HOUSING; PROVIDING FOR SEVERABILITY; PROVIDING FOR REPEAL OF INCONSISTENT PROVISIONS, PROVIDING FOR AN EFFECTIVE DATE.

is hereby recommended for approval; a copy of the draft ordinance is attached.

Section 3. This Resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the city clerk.

Read and passed on first reading at a regular meeting held this 16th day of June 2016.


Chairman

Planning Director

Authenticated by the Chairman of the Planning Board and the Planning Director.



Sam Holland Jr., Planning Board Chairman



Date

Attest:




Thaddeus Cohen, Planning Director

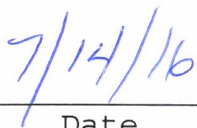


Date


Filed with the Clerk:




Cheryl Smith, City Clerk



Date



Chairman



Planning Director