



Staff Report for Item 12a

To: Chairman Bryan Green and Historic Architectural Review
Commission Members

From: Kelly Perkins
HARC Assistant Planner

Meeting Date: August 25, 2015

Applicant: Bender and Associates

Application Number: H15-01-1078

Address: #610-614 Dey Street

Description of Work:

Restoration of front porch and structural stabilization to historic eyebrow house.

Site Facts:

The eyebrow house is listed as a contributing resource in the survey and was constructed before 1889. The historic porch has been enclosed with a small covered entranceway added to the front. Behind the enclosed porch are the original windows and all the structural elements still remain.

Guidelines Cited in Review:

Entrances, Porches, and Doors (pages 32-33), specifically guidelines 3, 4, 5, and 7.

Staff Analysis

The Certificate of Appropriateness in review proposes restoring the front porch of the very historic house. The walls and awning windows will be removed and the existing siding will be patched and painted. The project will install new wood hurricane shutters and new metal shingles on the roof. The applicant also proposes to work on the foundations and beams of the house in order to stabilize the structure.

Consistency with Guidelines

1. The proposed plan will improve the structure and bring back its character defining features.

It is staff's opinion that the proposed plan is consistent with the guidelines pertaining to Entrances, Porches, and Doors section.

APPLICATION

Bldg / HARC

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE



City of Key West

3140 FLAGLER AVENUE
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

HARC PERMIT NUMBER 15-01-1078	BUILDING PERMIT NUMBER 15-2860	INITIAL & DATE MKP 8/1/15
FLOODPLAIN PERMIT		REVISION #
FLOOD ZONE	PANEL #	ELEV. L. FL.
		SUBSTANTIAL IMPROVEMENT <input type="checkbox"/> YES <input type="checkbox"/> NO _____ %

ADDRESS OF PROPOSED PROJECT:	610-614 Dey Street		# OF UNITS	1
RE # OR ALTERNATE KEY:				
NAME ON DEED:	Heldon Bay Limited Partnership	PHONE NUMBER	406-250-9529	
OWNER'S MAILING ADDRESS:	24889 Evening Star Lane	EMAIL	cas_still@hotmail.com	
	Bigfork, MT 59911			
CONTRACTOR COMPANY NAME:	Kellogg Builders	PHONE NUMBER	305-304-1111	
CONTRACTOR'S CONTACT PERSON:	Mike Kellog	EMAIL	rel0@aol.com	
ARCHITECT / ENGINEER'S NAME:	Bender & Assoc. Architects	PHONE NUMBER	305-296-1347	
ARCHITECT / ENGINEER'S ADDRESS:	410 Angela Street, Key West, FL	EMAIL	blbender@bellsouth.net	

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: YES NO (SEE PART C FOR HARC APPLICATION.)

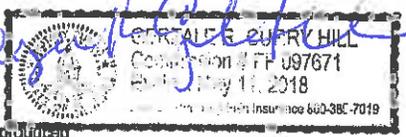
CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT: 55,000.-

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT TYPE:	<input checked="" type="checkbox"/> ONE OR TWO FAMILY	<input type="checkbox"/> MULTI-FAMILY	<input type="checkbox"/> COMMERCIAL	<input type="checkbox"/> NEW	<input checked="" type="checkbox"/> REMODEL
	<input type="checkbox"/> CHANGE OF USE / OCCUPANCY	<input type="checkbox"/> ADDITION	<input type="checkbox"/> SIGNAGE	<input checked="" type="checkbox"/> WITHIN FLOOD ZONE AEG	
	<input checked="" type="checkbox"/> DEMOLITION	<input checked="" type="checkbox"/> SITE WORK	<input checked="" type="checkbox"/> INTERIOR	<input checked="" type="checkbox"/> EXTERIOR	<input type="checkbox"/> AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC., Remove non-historic infill at front eyebrow porch. Provide interior foundations, structural stabilization of 1st & 2nd floor, address site drainage by installing new swales. INSTALL 1500 S.F ROOF SHEATHING

I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOVT AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT:	QUALIFIER PRINT NAME: MICHAEL KELLOGG
OWNER PRINT NAME: N/A	QUALIFIER SIGNATURE: [Signature]
OWNER SIGNATURE: [Signature]	Notary Signature as to qualifier: [Signature]
Notary Signature as to owner: [Signature]	STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS 10 DAY OF July, 2015.
STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS 15 DAY OF July, 2015.	STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS 10 DAY OF July, 2015.
Personally known or produced as identification.	Personally known or produced as identification.



1322016849 OK

PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS

PROPERTY STRUCTURES AFFECTED BY PROJECT: MAIN STRUCTURE ACCESSORY STRUCTURE SITE

ACCESSORY STRUCTURES: GARAGE / CARPORT DECK FENCE OUTBUILDING / SHED

FENCE STRUCTURES: 4 FT. 6 FT. SOLID 6 FT. / TOP 2 FT. 50% OPEN

POOLS: INGROUND ABOVE GROUND SPA / HOT TUB PRIVATE PUBLIC
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING: NEW ROOF-OVER TEAR-OFF REPAIR AWNING
 5 V METAL ASPLT. SHGLS. METAL SHGLS. BLT. UP TPO OTHER

FLORIDA ACCESSIBILITY CODE: 20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE: # OF SINGLE FACE # OF DOUBLE FACE REPLACE SKIN ONLY BOULEVARD ZONE
 POLE WALL PROJECTING AWNING HANGING WINDOW
 SQ. FT. OF EACH SIGN FACE:

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL: DUCTWORK COMMERCIAL EXH. HOOD INTAKE / EXH. FANS LPG TANKS
 A/C: COMPLETE SYSTEM AIR HANDLER CONDENSER MINI-SPLIT

ELECTRICAL: LIGHTING RECEPTACLES HOOK-UP EQUIPMENT LOW VOLTAGE
 SERVICE: OVERHEAD UNDERGROUND 1 PHASE 3 PHASE _____ AMPS

PLUMBING: ONE SEWER LATERAL PER BLDG. INGROUND GREASE INTCPTRS. LPG TANKS
 RESTROOMS: MEN'S WOMEN'S UNISEX ACCESSIBLE

PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100

PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.
 ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: harc@cityofkeywest-fl.gov
 INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS: GENERAL DEMOLITION SIGN PAINTING OTHER

ADDITIONAL INFORMATION: _____

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA

ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:
Eyebrow porch to be restored	wood	wood
Install Race Sheathing	1500 sqft	

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B) BUSINESS SIGN BRAND SIGN OTHER: _____

BUSINESS LICENSE # _____ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE _____

User: KEYWALD Type: BP Drawer: 1
 Date: 7/13/15 5:00 Receipt no: 20224
 2015 1001078 * BUILDING PERMITS-NEW
 Trans number: 1.00 \$50.00
 MULTIPLE TENDER 3056233
 Trans date: 7/13/15 Time: 16:03:29

SIGN SPECIFICATIONS		
SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY: INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.		

OFFICIAL USE ONLY:		HARC STAFF OR COMMISSION REVIEW	
<input type="checkbox"/> APPROVED	<input type="checkbox"/> NOT APPROVED	<input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	<input type="checkbox"/> Tabled for add'l. info. <input type="checkbox"/>
HARC MEETING DATE:	HARC MEETING DATE:	HARC MEETING DATE:	
REASONS OR CONDITIONS:			
STAFF REVIEW COMMENTS:			
HARC PLANNER SIGNATURE AND DATE:		HARC CHAIRPERSON SIGNATURE AND DATE:	

PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS

FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

FLORIDA STATUTE 469: ASBESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT AUTHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USEP ON STRUCTURES BUILT PRIOR TO 1978.

OFFICIAL USE ONLY BY PLANS EXAMINER OR CHIEF BUILDING OFFICIAL:				GBO OR PL. EXAM. APPROVAL:
HARC FEES:	BLDG. FEES:	FIRE MARSHAL FEE:	IMPACT FEES:	
				DATE:

PROPOSED DESIGN

STILL BACK THERE ART HOUSE

610 - 614 DEY STREET
KEY WEST FLORIDA

STILL BACK THERE ART HOUSE
610 - 614 DEY STREET
KEY WEST, FLORIDA

410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License AAC002022

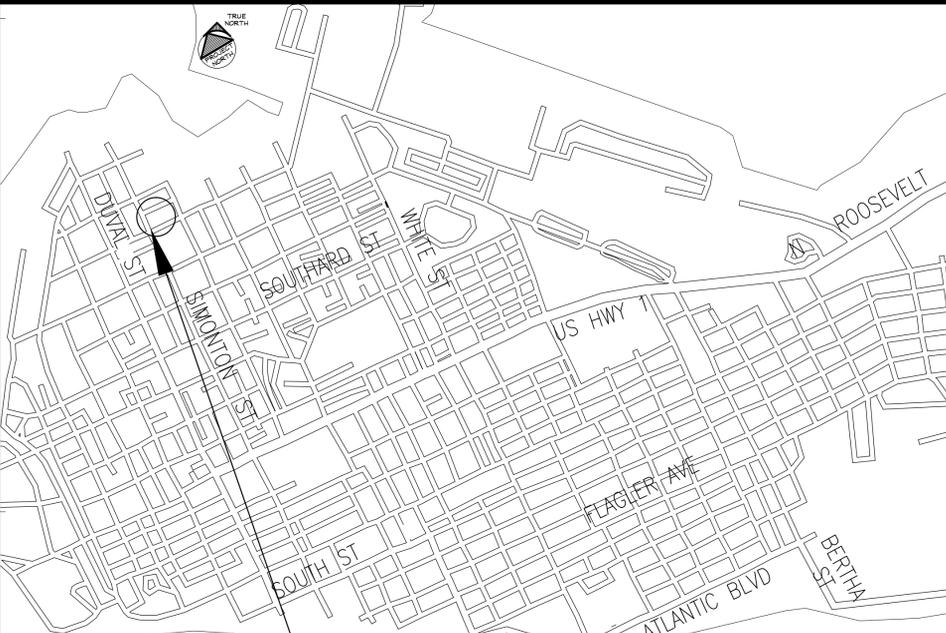
Bender & Associates
ARCHITECTS
p.a.

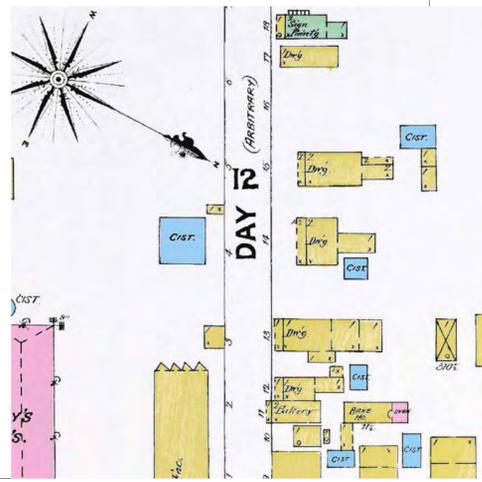
Project No: 1503
SITE MAP
PROJECT DIRECTORY
GENERAL NOTES
ABBREVIATIONS
SHEET INDEX
SYMBOL LEGEND

Date: 02/25/15

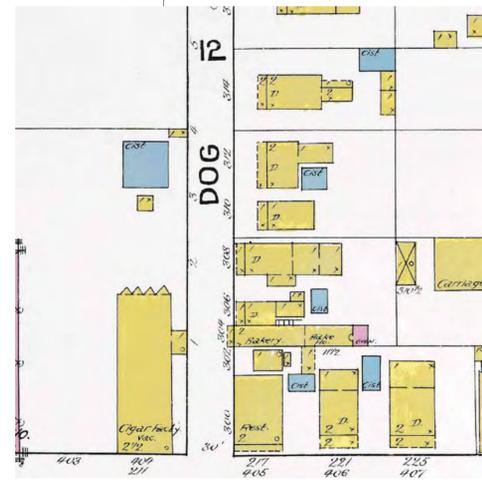
A.0

REVISIONS:

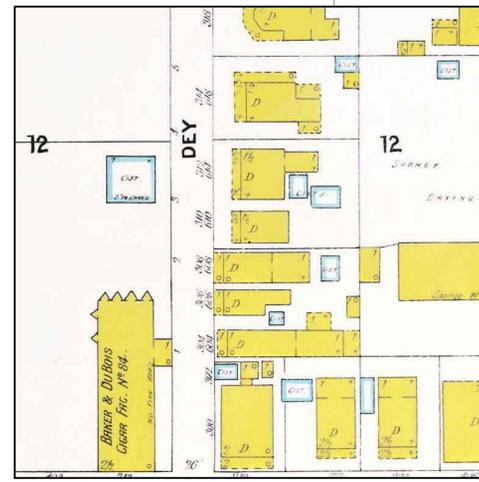
SITE MAP - KEY WEST	PROJECT DIRECTORY	GENERAL NOTES	SHEET INDEX																																																																																																																																																					
 <p data-bbox="183 1154 595 1277">SITE LOCATION 610-614 DEY STREET KEY WEST</p> <p data-bbox="1022 1246 1129 1277">Not to Scale</p>	<p data-bbox="1159 541 1419 562">PROJECT: STILL BACK THERE ART HOUSE</p> <p data-bbox="1159 572 1358 592">ARCHITECT'S PROJECT No.: 1503</p> <p data-bbox="1159 602 1358 674">OWNER: ANDY BAXTER Address: 610-614 DEY STREET KEY WEST, FL 33040 Tel: 305. 305. Representative:</p> <p data-bbox="1159 684 1495 776">ARCHITECT: BENDER & ASSOCIATES ARCHITECTS, P.A. Address: 410 Angela Street, Key West, FL 33040 Tel: (305) 296-1347 Fax: (305) 296-2727 E-mail: bbender@bellsouth.net Project Architect: Bert L. Bender (Principal-in-Charge) Project Manager:</p>	<p data-bbox="1587 511 2105 582">1. All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida in the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:</p> <p data-bbox="1693 572 1999 705">FLORIDA BUILDING CODE - Building 2010 EDITION FLORIDA BUILDING CODE - Existing 2010 EDITION FLORIDA BUILDING CODE - Residential 2010 EDITION FLORIDA BUILDING CODE - Plumbing 2010 FLORIDA BUILDING CODE - Fuel Gas 2010 EDITION FLORIDA BUILDING CODE - Mechanical 2010 EDITION NATIONAL ELECTRICAL CODE 2008 EDITION NFPA 101 LIFE SAFETY CODE w/ Florida Modifications 2006 EDITION FLORIDA FIRE PREVENTION CODE 2007 EDITION NFPA 1 2006 EDITION</p> <p data-bbox="1693 694 2029 725">This project is designed in accordance with A.S.C.E. 7-10 to resist wind loads of 180 mph (gusts).</p> <p data-bbox="1587 725 2105 1287">2. Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction. 3. Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed. 4. Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement. 5. Dimensions shall take precedence over scale. 6. All new utilities shall be underground. 7. Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades. 8. After completion of construction remove all debris and construction equipment. Restore site to original condition. 9. Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction. 10. Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris. 11. Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.</p> <p data-bbox="1587 1052 2105 1287">61G1-16.003 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be construed to obligate his partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 61G1-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof. Specific Authority 481.2055, 481.221 FS. Law Implemented 481.221, 481.225(1)(e), (g), (j), 481.225(1)(g), (h), (i) FS. History-New 12-23-74, Formerly 21B-16.03, Amended 7-27-84, Formerly 21B-16.003, Amended 11-21-94, 4-18-00.</p>	<p data-bbox="2151 521 2701 582">A.0 SITE LOCATION MAP, SHEET INDEX, GENERAL NOTES, FLORIDA ADMINISTRATIVE CODE, SYMBOLS LEGEND A.0.1 PHOTO DETAILS</p> <p data-bbox="2151 602 2472 705">ARCHITECTURAL: A1.1 SITE PLAN AND SURVEY A1.2 DEMOTION PLAN & PROPOSED FLOOR PLANS A1.3 FOUNDATION, FIRST & SECOND FLOOR FRAMING A2.0 EXTERIOR ELEVATION A8.0 DETAILS S1.0 SPECIFICATIONS</p>																																																																																																																																																					
<p data-bbox="244 1297 473 1318">ABBREVIATIONS</p> <table border="0"> <tr><td>AB</td><td>ANCHOR BOLT</td><td>MIN</td><td>MINIMUM</td></tr> <tr><td>ABC</td><td>AGGREGATE BASE COURSE</td><td>NTS</td><td>NOT TO SCALE</td></tr> <tr><td>A/C</td><td>AIR CONDITIONING</td><td>OA</td><td>OVERALL</td></tr> <tr><td>BLKG</td><td>BLOCKING</td><td>OC</td><td>ON CENTER</td></tr> <tr><td>BUR</td><td>BILT UP ROOF</td><td>OD</td><td>OUTSIDE DIAMETER</td></tr> <tr><td>CAB</td><td>CABINET</td><td>PCF</td><td>POUNDS PER CUBIC FOOT</td></tr> <tr><td>CER</td><td>CERAMIC</td><td>PL</td><td>PROPENTRY LINE</td></tr> <tr><td>CL</td><td>CENTER LINE</td><td>PLAM</td><td>PLASTIC LAMINATE</td></tr> <tr><td>CLG</td><td>CEILING</td><td>PLF</td><td>POUNDS PER LINEAL FOOT</td></tr> <tr><td>CNU</td><td>CONCRETE MASONRY UNIT</td><td>PNL</td><td>PANEL</td></tr> <tr><td>COL</td><td>COLUMN</td><td>PT</td><td>CCA PRESSURE TREATED</td></tr> <tr><td>CONC</td><td>CONCRETE</td><td>PT</td><td>POINT</td></tr> <tr><td>DBL</td><td>DOUBLE</td><td>PVC</td><td>POLYVINYLCHLORIDE</td></tr> <tr><td>DIAG</td><td>DIAGONAL</td><td>R</td><td>RADIUS (OR) RISER</td></tr> <tr><td>DS</td><td>DOWNSPOUT</td><td>R/A</td><td>RETURN AIR</td></tr> <tr><td>DTL</td><td>DETAIL</td><td>REBAR</td><td>STEEL REINF. BAR</td></tr> <tr><td>DNR</td><td>DRAWER</td><td>REFR.</td><td>REFRIGERATOR</td></tr> <tr><td>EJ</td><td>EXPANSION JOINT</td><td>SF</td><td>SQUARE FOOT (FEET)</td></tr> <tr><td>EL</td><td>ELEVATION</td><td>SS</td><td>STAINLESS STEEL</td></tr> <tr><td>ELEC</td><td>ELECTRIC</td><td>SPEC</td><td>SPECIFICATION</td></tr> <tr><td>EQ</td><td>EQUAL</td><td>T</td><td>TREAD(S)</td></tr> <tr><td>EXH</td><td>EXHAUST</td><td>TYP</td><td>TYPICAL</td></tr> <tr><td>FV</td><td>FIELD VERIFY</td><td>UNO</td><td>UNLESS NOTED OTHERWISE</td></tr> <tr><td>GALV</td><td>GALVANIZED</td><td>VCT</td><td>VINYL COMPOSITION TILE</td></tr> <tr><td>GI</td><td>GALVANIZED IRON</td><td>VERT</td><td>VERTICAL</td></tr> <tr><td>HORZ</td><td>HORIZONTAL</td><td>WD</td><td>WOOD</td></tr> <tr><td>HDW</td><td>HARDWARE</td><td>WHF</td><td>WELDED WIRE FABRIC</td></tr> <tr><td>HVAC</td><td>HEATING VENTILATING & AIR CONDITIONING</td><td>WH</td><td>WATER HEATER</td></tr> <tr><td></td><td></td><td>W/O</td><td>WITHOUT</td></tr> <tr><td>FOC</td><td>FACE OF CONCRETE</td><td></td><td></td></tr> <tr><td>FOS</td><td>FACE OF STUD</td><td></td><td></td></tr> <tr><td>FIN</td><td>FINISH</td><td></td><td></td></tr> <tr><td>FE</td><td>FIRE EXTINGUISHER</td><td></td><td></td></tr> <tr><td>FND</td><td>FOUNDATION</td><td></td><td></td></tr> <tr><td>FTG</td><td>FOOTING</td><td></td><td></td></tr> <tr><td>ID</td><td>INSIDE DIAMETER</td><td></td><td></td></tr> <tr><td>MAX</td><td>MAXIMUM</td><td></td><td></td></tr> </table>	AB	ANCHOR BOLT	MIN	MINIMUM	ABC	AGGREGATE BASE COURSE	NTS	NOT TO SCALE	A/C	AIR CONDITIONING	OA	OVERALL	BLKG	BLOCKING	OC	ON CENTER	BUR	BILT UP ROOF	OD	OUTSIDE DIAMETER	CAB	CABINET	PCF	POUNDS PER CUBIC FOOT	CER	CERAMIC	PL	PROPENTRY LINE	CL	CENTER LINE	PLAM	PLASTIC LAMINATE	CLG	CEILING	PLF	POUNDS PER LINEAL FOOT	CNU	CONCRETE MASONRY UNIT	PNL	PANEL	COL	COLUMN	PT	CCA PRESSURE TREATED	CONC	CONCRETE	PT	POINT	DBL	DOUBLE	PVC	POLYVINYLCHLORIDE	DIAG	DIAGONAL	R	RADIUS (OR) RISER	DS	DOWNSPOUT	R/A	RETURN AIR	DTL	DETAIL	REBAR	STEEL REINF. BAR	DNR	DRAWER	REFR.	REFRIGERATOR	EJ	EXPANSION JOINT	SF	SQUARE FOOT (FEET)	EL	ELEVATION	SS	STAINLESS STEEL	ELEC	ELECTRIC	SPEC	SPECIFICATION	EQ	EQUAL	T	TREAD(S)	EXH	EXHAUST	TYP	TYPICAL	FV	FIELD VERIFY	UNO	UNLESS NOTED OTHERWISE	GALV	GALVANIZED	VCT	VINYL COMPOSITION TILE	GI	GALVANIZED IRON	VERT	VERTICAL	HORZ	HORIZONTAL	WD	WOOD	HDW	HARDWARE	WHF	WELDED WIRE FABRIC	HVAC	HEATING VENTILATING & AIR CONDITIONING	WH	WATER HEATER			W/O	WITHOUT	FOC	FACE OF CONCRETE			FOS	FACE OF STUD			FIN	FINISH			FE	FIRE EXTINGUISHER			FND	FOUNDATION			FTG	FOOTING			ID	INSIDE DIAMETER			MAX	MAXIMUM			<p data-bbox="1113 1297 1510 1318">SYMBOLS LEGEND</p>  <p data-bbox="686 1461 1113 1502">NORTH ARROWS</p>  <p data-bbox="686 1563 1113 1604">BUILDING SECTION</p>  <p data-bbox="686 1665 1113 1706">WALL SECTION</p>  <p data-bbox="686 1768 1113 1808">CUT DETAIL INDICATOR</p>  <p data-bbox="686 1870 1113 1911">BLOWN-UP DETAIL INDICATOR</p>	<p data-bbox="1175 1359 1541 1420">DWG. # ON SHEET REFERENCE SHEET</p> <p data-bbox="1358 1359 1541 1420">CROSS SECTION DWG. TITLE 1/4"=1'-0" DRAWING SCALE</p> <p data-bbox="1175 1430 1541 1461">SECTION & DETAIL DRWG. TITLES</p> <p data-bbox="1175 1461 1541 1522">POCHE ONLY WHERE ELEVATIONS ARE INDICATED</p> <p data-bbox="1175 1522 1541 1584">SHT. A8 INDICATES # OF ELEVATION</p> <p data-bbox="1175 1584 1541 1624">WALL ELEVATION INDICATOR (SHOWN WITHIN ROOM ON PLAN)</p> <p data-bbox="1175 1624 1541 1686">FIRST # INDICATES FLOOR</p> <p data-bbox="1175 1686 1541 1727">ROOM NUMBER INDICATOR (SHOWN BESIDE OR UNDER ROOM NAME)</p> <p data-bbox="1175 1727 1541 1788">NUMBERS 23 LETTERS A</p> <p data-bbox="1175 1788 1541 1849">DOOR OPENING INDICATOR (EACH OPENING SCHEDULED SEPARATELY)</p> <p data-bbox="1175 1849 1541 1911">WINDOW INDICATOR (EACH WINDOW TYPE & SIZE SCHEDULED)</p> <p data-bbox="1175 1911 1541 1972">LETTERS E</p> <p data-bbox="1175 1972 1541 2033">PARTITION/WALL TYPE INDICATOR (COMMERCIAL & INSTITUTIONAL PROJECTS)</p>	<p data-bbox="1709 1328 2044 1359">MATERIAL DESIGNATIONS</p> <p data-bbox="1709 1369 2044 1400">CONCRETE MASONRY UNITS IN PLAN</p> <p data-bbox="1709 1400 2044 1430">CONC., STUCCO, PLASTER IN ELEV.;POURED CONC. IN PLAN</p> <p data-bbox="1709 1430 2044 1461">METAL IN ELEVATION</p> <p data-bbox="1709 1461 2044 1492">METAL IN SECTION</p> <p data-bbox="1709 1492 2044 1522">FINISH WOOD IN ELEV. & IN SECTION</p> <p data-bbox="1709 1522 2044 1553">DIMENSION LUMBER IN SECTION (CONTINUOUS)</p> <p data-bbox="1709 1553 2044 1584">WOOD BLOCKING IN SECTION (DISCONTINUOUS)</p> <p data-bbox="1709 1584 2044 1614">GYPSUM WALL BOARD IN SECTION (LARGE SCALE)</p> <p data-bbox="1709 1614 2044 1645">EARTH, NATURAL SUBSTRATE</p> <p data-bbox="1709 1645 2044 1676">GRAVEL, AGGREGATE BASE COURSE, FILL</p> <p data-bbox="1709 1676 2044 1706">FIBERGLASS BATT INSULATION</p> <p data-bbox="1709 1706 2044 1737">RIGID INSULATION</p> <p data-bbox="1709 1768 2044 1798">PARTITIONS & WALLS</p> <p data-bbox="1709 1798 2044 1829">CONCRETE MASONRY UNITS</p> <p data-bbox="1709 1829 2044 1860">POURED CONCRETE</p> <p data-bbox="1709 1860 2044 1890">WOOD FRAME</p> <p data-bbox="1709 1890 2044 1921">METAL STUDS</p> <p data-bbox="1709 1921 2044 1952">EXISTING CONSTRUCTION TO REMAIN</p> <p data-bbox="1709 1952 2044 1982">EXISTING CONSTRUCTION TO BE DEMOLISHED</p>	<p data-bbox="2151 1900 2746 1952">DESCRIPTION OF WORK: To restore the NorthWest facade back to historical open eyebrow porch. Add historical wall back in living room area, on the first floor.</p>
AB	ANCHOR BOLT	MIN	MINIMUM																																																																																																																																																					
ABC	AGGREGATE BASE COURSE	NTS	NOT TO SCALE																																																																																																																																																					
A/C	AIR CONDITIONING	OA	OVERALL																																																																																																																																																					
BLKG	BLOCKING	OC	ON CENTER																																																																																																																																																					
BUR	BILT UP ROOF	OD	OUTSIDE DIAMETER																																																																																																																																																					
CAB	CABINET	PCF	POUNDS PER CUBIC FOOT																																																																																																																																																					
CER	CERAMIC	PL	PROPENTRY LINE																																																																																																																																																					
CL	CENTER LINE	PLAM	PLASTIC LAMINATE																																																																																																																																																					
CLG	CEILING	PLF	POUNDS PER LINEAL FOOT																																																																																																																																																					
CNU	CONCRETE MASONRY UNIT	PNL	PANEL																																																																																																																																																					
COL	COLUMN	PT	CCA PRESSURE TREATED																																																																																																																																																					
CONC	CONCRETE	PT	POINT																																																																																																																																																					
DBL	DOUBLE	PVC	POLYVINYLCHLORIDE																																																																																																																																																					
DIAG	DIAGONAL	R	RADIUS (OR) RISER																																																																																																																																																					
DS	DOWNSPOUT	R/A	RETURN AIR																																																																																																																																																					
DTL	DETAIL	REBAR	STEEL REINF. BAR																																																																																																																																																					
DNR	DRAWER	REFR.	REFRIGERATOR																																																																																																																																																					
EJ	EXPANSION JOINT	SF	SQUARE FOOT (FEET)																																																																																																																																																					
EL	ELEVATION	SS	STAINLESS STEEL																																																																																																																																																					
ELEC	ELECTRIC	SPEC	SPECIFICATION																																																																																																																																																					
EQ	EQUAL	T	TREAD(S)																																																																																																																																																					
EXH	EXHAUST	TYP	TYPICAL																																																																																																																																																					
FV	FIELD VERIFY	UNO	UNLESS NOTED OTHERWISE																																																																																																																																																					
GALV	GALVANIZED	VCT	VINYL COMPOSITION TILE																																																																																																																																																					
GI	GALVANIZED IRON	VERT	VERTICAL																																																																																																																																																					
HORZ	HORIZONTAL	WD	WOOD																																																																																																																																																					
HDW	HARDWARE	WHF	WELDED WIRE FABRIC																																																																																																																																																					
HVAC	HEATING VENTILATING & AIR CONDITIONING	WH	WATER HEATER																																																																																																																																																					
		W/O	WITHOUT																																																																																																																																																					
FOC	FACE OF CONCRETE																																																																																																																																																							
FOS	FACE OF STUD																																																																																																																																																							
FIN	FINISH																																																																																																																																																							
FE	FIRE EXTINGUISHER																																																																																																																																																							
FND	FOUNDATION																																																																																																																																																							
FTG	FOOTING																																																																																																																																																							
ID	INSIDE DIAMETER																																																																																																																																																							
MAX	MAXIMUM																																																																																																																																																							



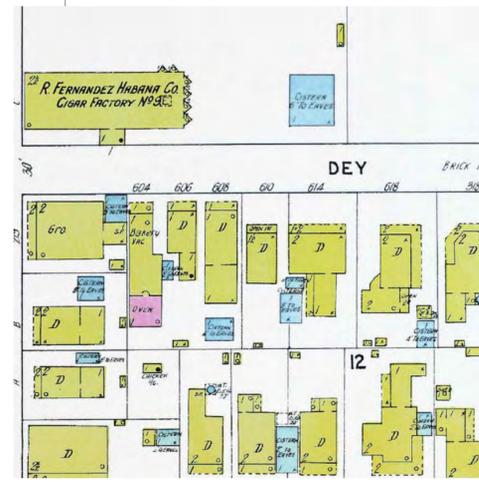
1 1889 SANBORN MAP
AO.1



2 1892 SANBORN MAP
AO.1



3 1899 SANBORN MAP
AO.1



4 1912 SANBORN MAP
AO.1



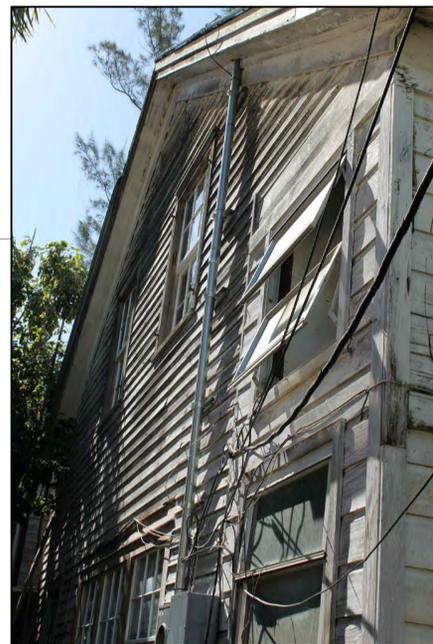
5 PHOTOGRAPH CIRCA 1965
AO.1



6 EXISTING 2ND FLOOR PORCH
AO.1



7 EXISTING 1ST FLOOR PORCH
AO.1



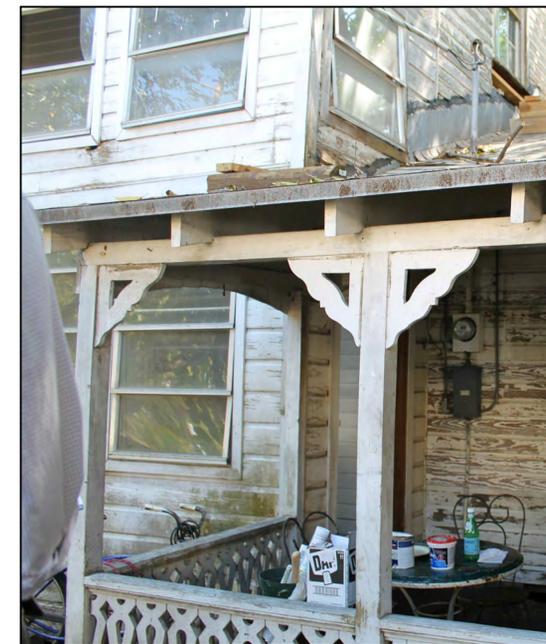
8 EXISTING EAST FACADE 2ND FLOOR
AO.1



9 EXISTING EAST FACADE 1ST FLOOR
AO.1

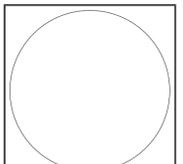


10 EXISTING WEST FACADE 2ND FLOOR
AO.1



11 EXISTING WEST FACADE 1ST FLOOR
AO.1

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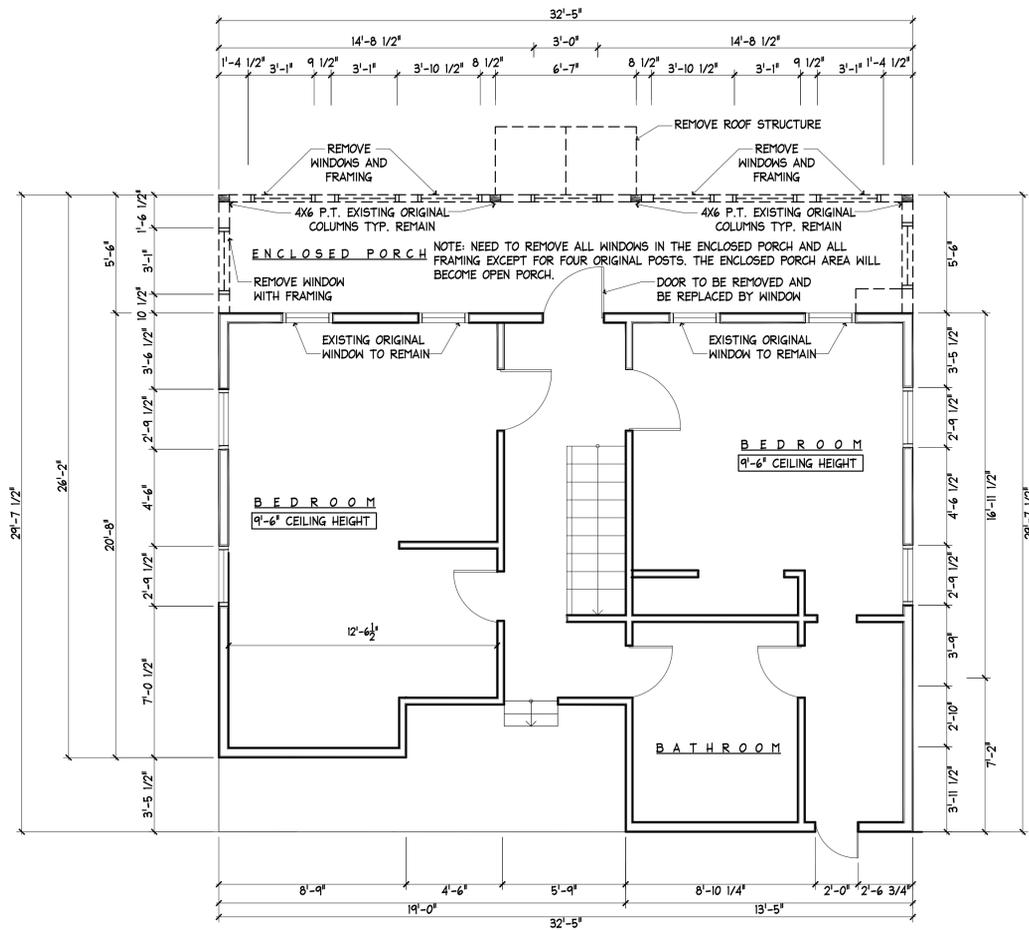


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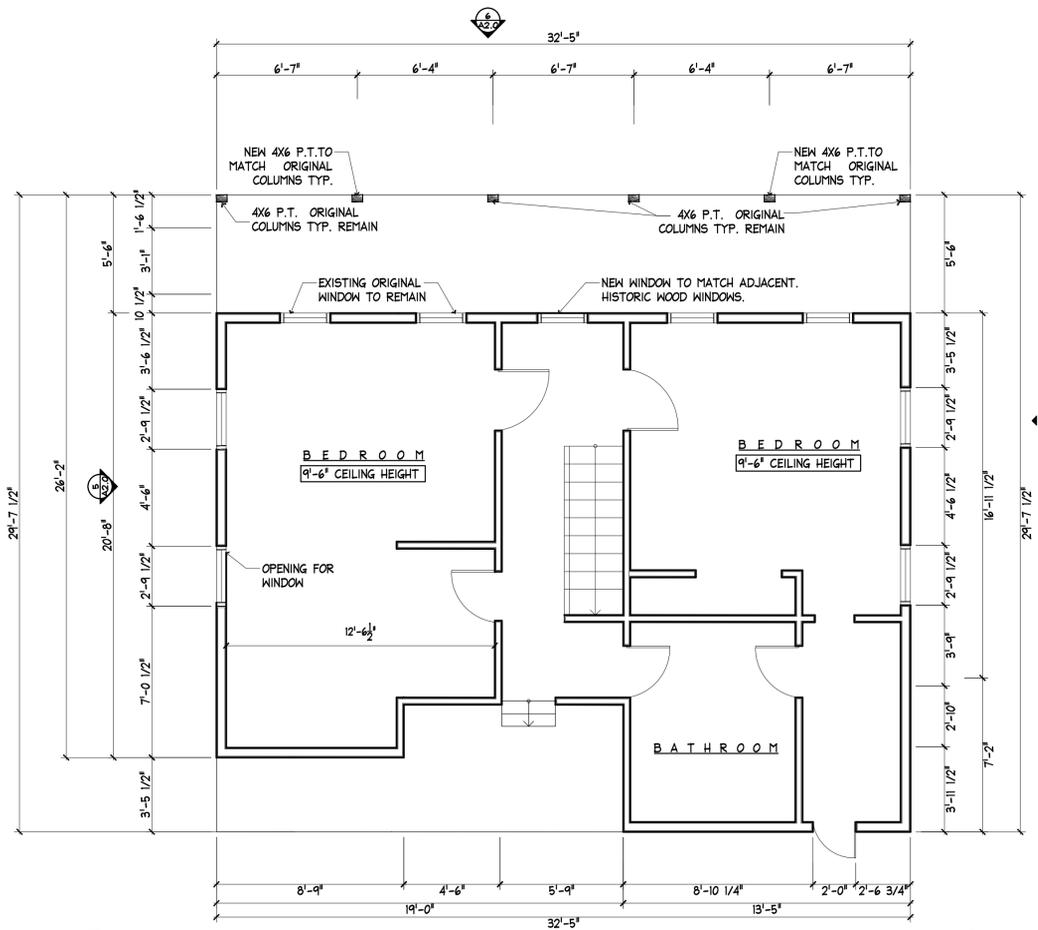
Project No. 1503
PHOTO
DETAILS
Date: 02/25/15

A.01
2 OF 8



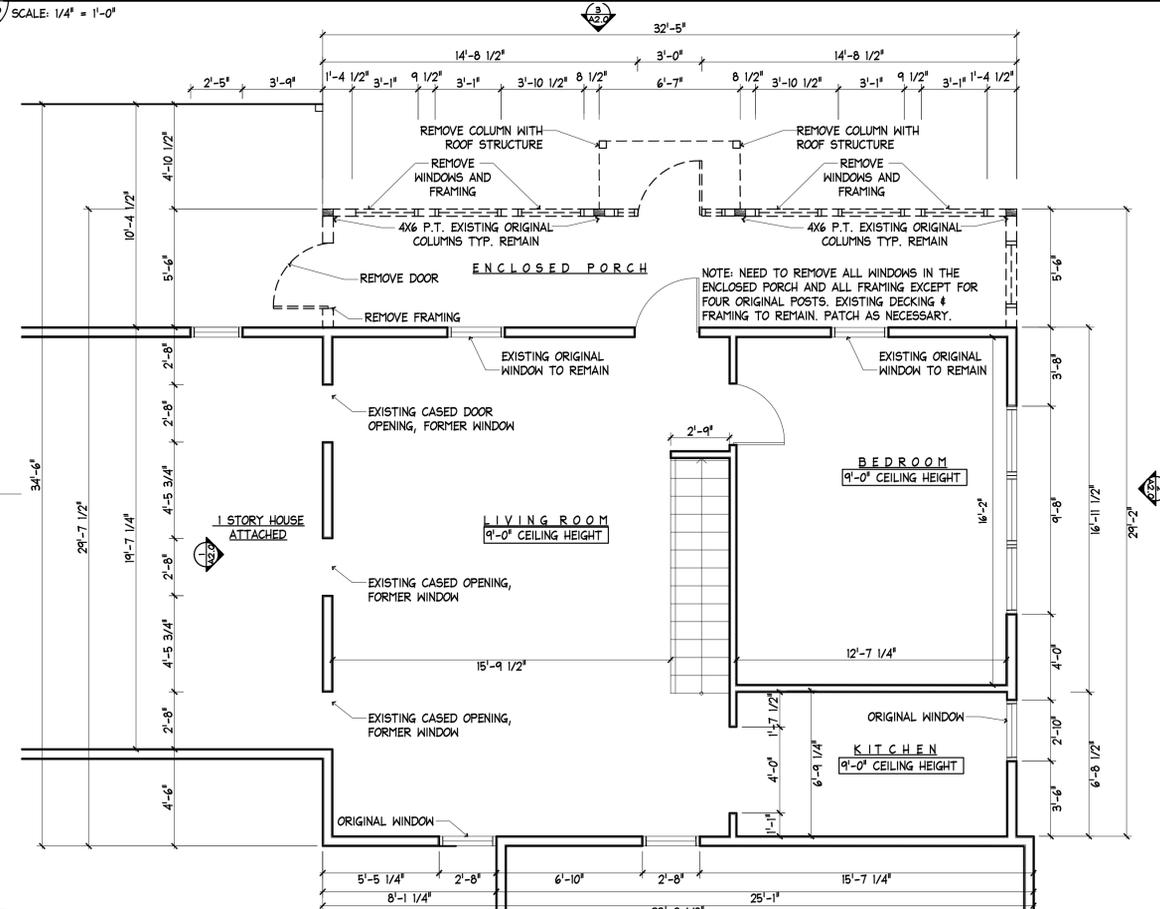
DEMOLITION NOTES

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6. Provide bracing and shoring as required to protect the safety of the general public and workers connected with the project.
7. Demolished material classified as clean fill may be distributed on site when specifically approved by the Architect in advance.

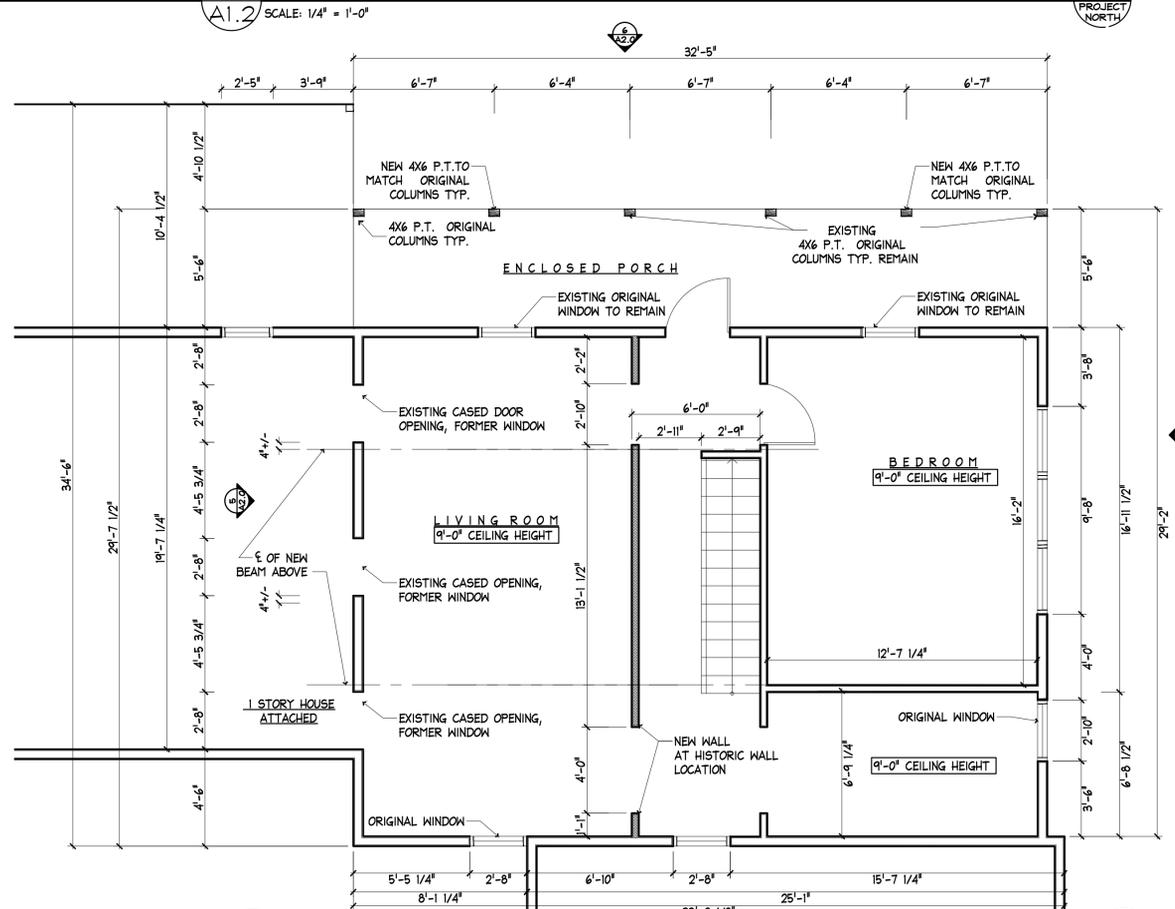


3 SECOND FLOOR DEMO PLAN
A1.2 SCALE: 1/4" = 1'-0"

4 PROPOSED SECOND FLOOR PLAN
A1.2 SCALE: 1/4" = 1'-0"

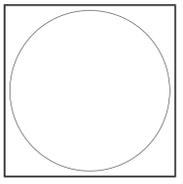


1 DEMO FIRST FLOOR PLAN
A1.2 SCALE: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR
A1.2 SCALE: 1/4" = 1'-0"

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Project No. 1503
DEMO AND PROPOSED
FLOOR PLAN
Date: 02/25/15

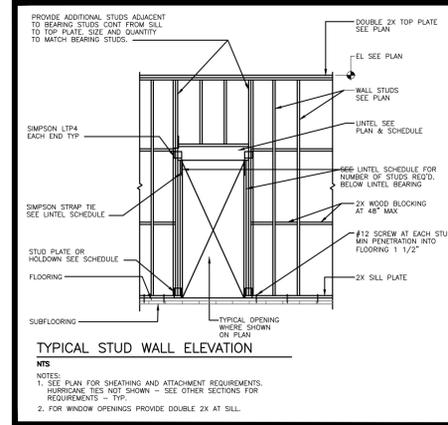
A1.2
4 OF 8

FOUNDATION & CONCRETE NOTES

- The Contractor shall have the option of substituting solid concrete piers and/or foundations for concrete filled masonry piers or foundation walls.
- Minimum concrete strength shall be 4000 p.s.i. unless otherwise specified in these documents.
- Comply with "General Structural Notes" included elsewhere in these documents.
- Concrete protection for reinforcement:
 - The reinforcement of footings and other principal structural members in which the concrete is deposited against the ground shall have not less than 3 in. of concrete between it and the ground contact surface. If concrete surfaces after removal of the forms are to be exposed to the weather or be in contact with the ground, the reinforcement shall be protected with not less than 2" of concrete for bars larger than # 5 and 1 1/2" for # 5 bars or smaller.
 - The concrete protective covering for any reinforcement at surfaces not exposed directly to the ground or weather shall be not less than 3/4" for slabs and walls and not less than 1 1/2" for beams and girders. In concrete joist floors in which the clear distance between joists is not more than 30 in., the protection of reinforcement shall be at least 3/4".
 - Column spirals or ties shall be protected everywhere by a covering of concrete cast monolithically with the core, for which the thickness shall be not less than 1 1/2", nor less than 1 1/2 times the maximum size of the coarse aggregate.
 - Concrete protection for reinforcement shall in all cases be at least equal to the diameter of bars, except for concrete slabs and joists in (b.).
 - In extremely corrosive atmospheres or other severe exposures, the amount of protection shall be suitably increased. In the Florida Keys, increase concrete coverage by 30% of specified tolerances and in no case less than 2 inches.

GENERAL FRAMING NOTES

- Comply with "General Structural Notes" included elsewhere in these documents.
- Where wood joists/beams etc. frame into other members, and ledgers are not provided, install Simpson LUP series joist hangers. When installing into ACP pressure treated lumber, Contractor has the option of providing EITHER stainless steel joist hangers and stainless steel fasteners, OR Simpson ZMAX (ZMS) galvanized joist hangers with hot-dip galvanized fasteners. Contractor shall not mix stainless steel with hot dip galvanized.
- Provide hot dip (ZMAX) galvanized hurricane clips at all rafters at bearing locations. Provide 2 x 4 minimum collar ties between rafters at ridges in attic spaces, tight to ridge. Nail to each rafter with (3) 16d nails.
- Provide solid blocking at midspan of all joists and rafters for spans of 8' and over. Use 3 runs of blocking where spans exceed 16 feet.
- Firestopping shall be provided in all walls and partitions to cut off all concealed draft openings both horizontal and vertical and to form a fire barrier between floors and between the upper floor and the roof space.
- Firestopping shall be installed in wood frame construction in the following locations:
 - In concealed spaces of stud walls and partitions including furred spaces at ceiling and floor levels.
 - At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings, cone ceilings, etc.
 - In concealed spaces between stair stringers at the top and bottom of the run.
 - In concealed spaces created by an assembly of floor joists, firestopping shall be provided for the full depth of the joists at the ends and over the supports.
- Firestopping shall consist of two (2) inch nominal lumber, or two (2) thicknesses of one (1) inch nominal lumber with broken lap joints, or one (1) thickness of three-fourths (3/4) inch plywood, with joints backed by three-fourths (3/4) inch plywood, or other approved materials.
- Install all plywood wall sheathing to lap joints at floors. Use 3/4" minimum thickness P.T. plywood nailed with 6d galvanized nails, 4" o.c. along sills, beams top and bottom, and 8' o.c. in the field. At shear walls, use 16d nails @ 4" o.c. along panel edges and 8' o.c. at intermediate supports.
- All framing lumber and plywood shall be pressure treated.
- All pressure treated wood used on residential projects must be free of arsenic and chromium after June 2003. Use ACP or other EPA approved treated lumber on residential projects. On commercial projects, CCI treated lumber is acceptable in concealed spaces.
- ACP arsenic free lumber has been found to corrode standard electroplated galvanized nails and screws. Any metal fasteners (framing or finish) used on ACP pressure treated lumber shall be stainless steel, grade 304 or greater, or hot dip galvanized, conforming to ASTM A-153 / ASTM Standard A663 (Class G-105). Stainless steel and hot dip galvanized metals SHALL NOT come in contact with each other.
- All structural lumber, i.e. joists, girders, beams, rafters, etc., shall be southern yellow pine no. 1 dense, with a minimum Fb of 1300 psi, before pressure treatment. (Pressure treatment reduces fiber stress by 15% to 1100 P.S.I.)

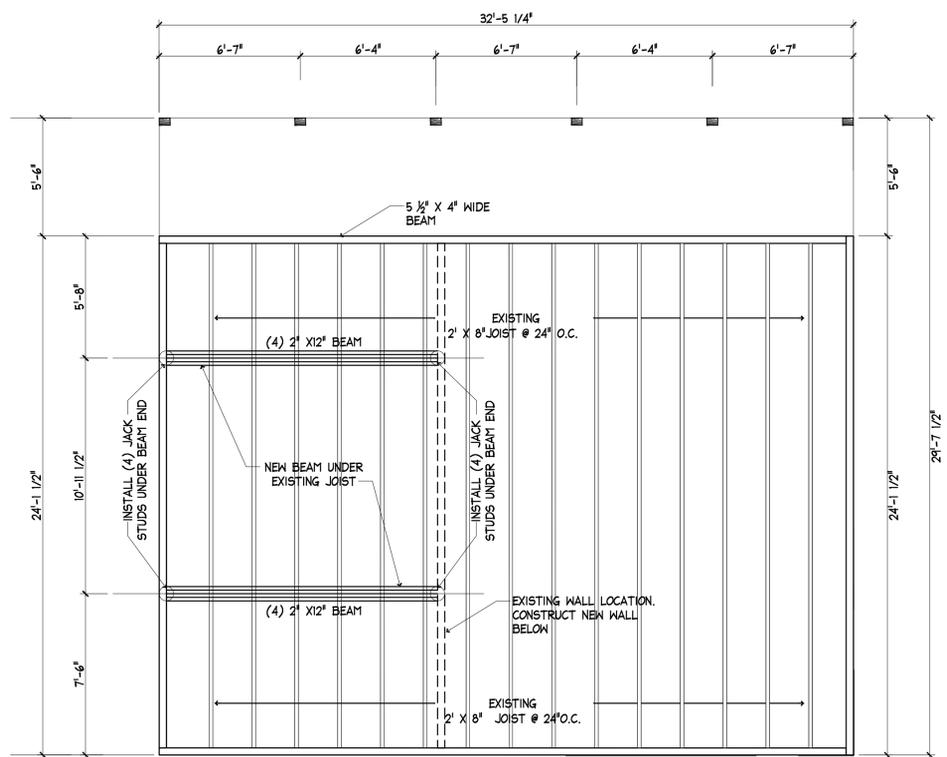
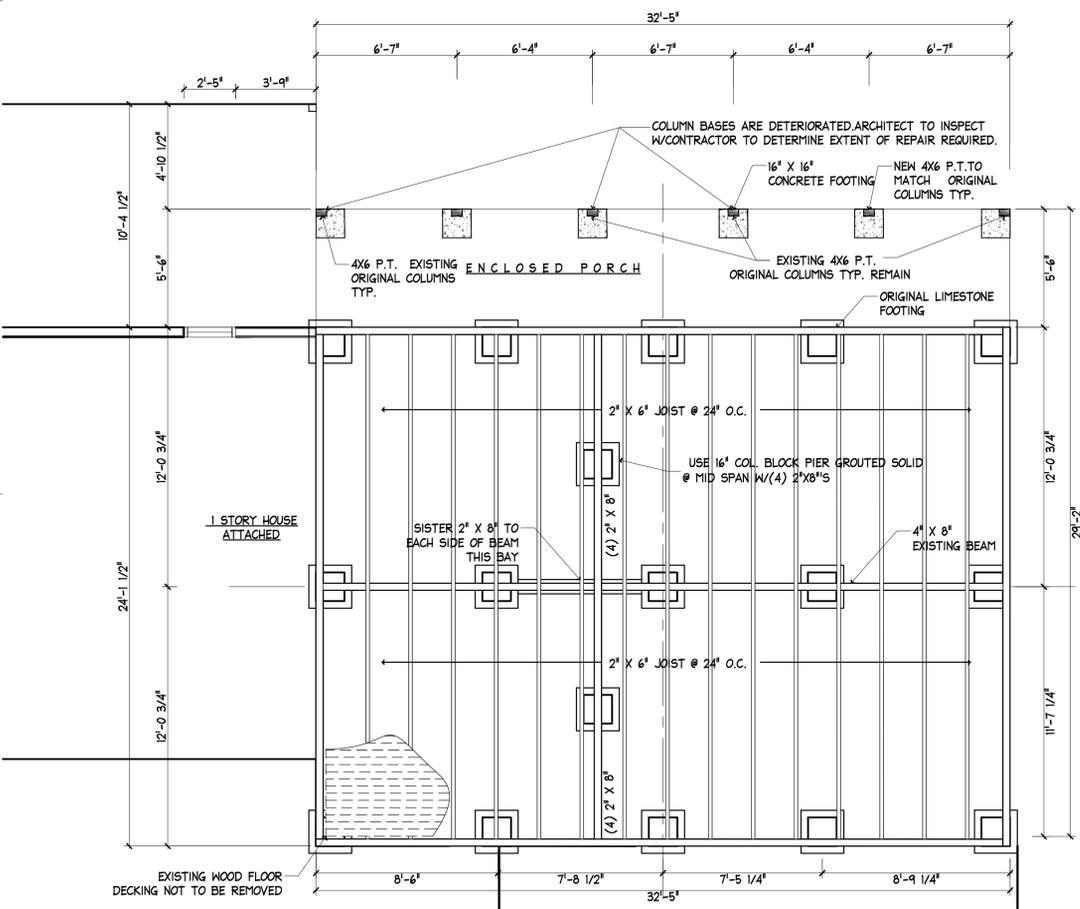


WOOD LINTEL SCHEDULE (2X4 WALL)

SPAN	LINTEL	BEARING STUDS	FULL HEIGHT STUDS	STUD PLATE
0'-0" <math>\leq L \leq 4'-8"	2-2X6	2-2X4	2-2X4	LTP4
4'-8" <math>\leq L \leq 6'-0"	2-2X6	2-2X4	2-2X4	LTP4
6'-0" <math>\leq L \leq 7'-4"	2-2X10	2-2X4	2-2X4	LTP4
7'-4" <math>\leq L \leq 8'-8"	2-2X12	2-2X4	2-2X4	LTP4
8'-8" <math>\leq L \leq 10'-0"	2-1-1/2 <math>\times 11-1/4	2-2X4	3-2X4	HD2A

WOOD LINTEL SCHEDULE (2X6 WALL)

SPAN	LINTEL	BEARING STUDS	FULL HEIGHT STUDS	STUD PLATE
0'-0" <math>\leq L \leq 4'-8"	2-2X6	2-2X6	2-2X6	LTP4
4'-8" <math>\leq L \leq 6'-0"	2-2X6	2-2X6	2-2X6	LTP4
6'-0" <math>\leq L \leq 7'-4"	2-2X10	2-2X6	2-2X6	LTP4
7'-4" <math>\leq L \leq 8'-8"	2-2X12	2-2X6	3-2X6	LTP4
8'-8" <math>\leq L \leq 10'-0"	2-1-1/2 <math>\times 11-1/4	2-2X6	3-2X6	HD2A



1 FIRST FLOOR AND FOUNDATION FRAMING PLAN
 A1.3 SCALE: 1/4" = 1'-0"

2 SECOND FLOOR FRAMING PLAN
 A1.3 SCALE: 1/4" = 1'-0"



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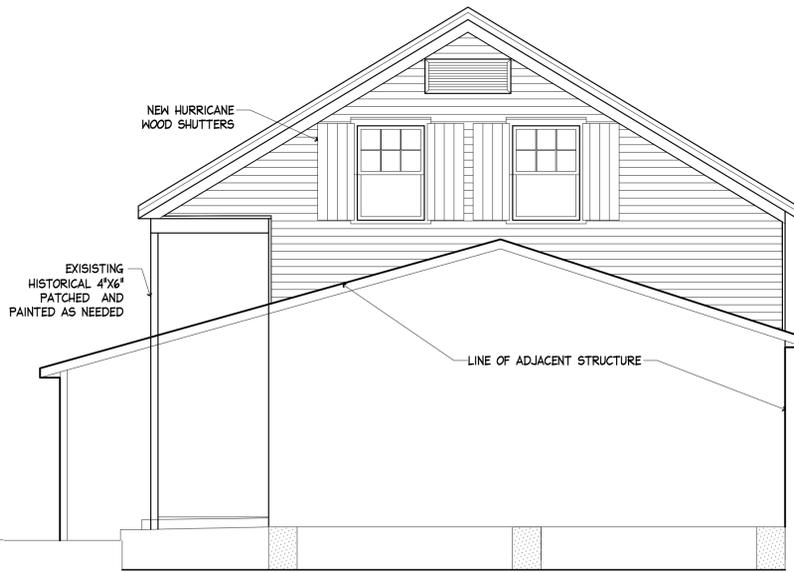
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 p.c.

Project No: 1503
 FOUNDATION AND FRAMING PLANS
 Date: 02/25/15

A1.3



4 PROPOSED EAST ELEVATION
A2.0 SCALE: 1/4" = 1'-0"



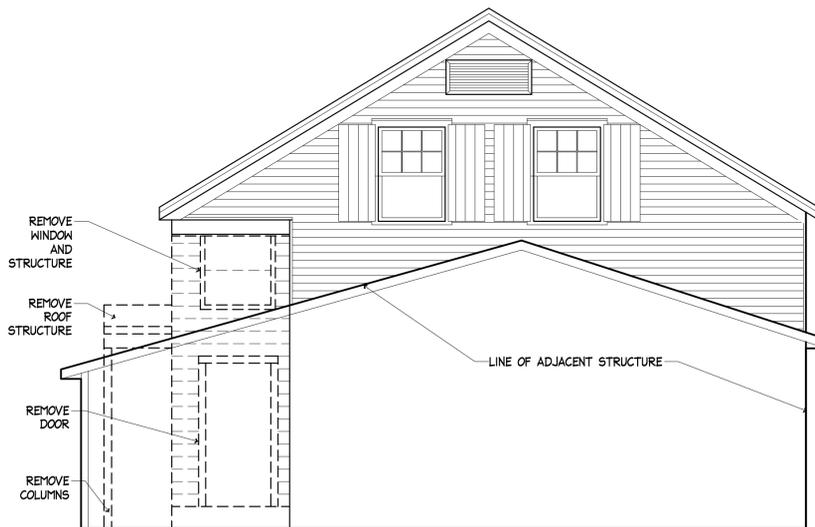
5 PROPOSED WEST ELEVATION
A2.0 SCALE: 1/4" = 1'-0"



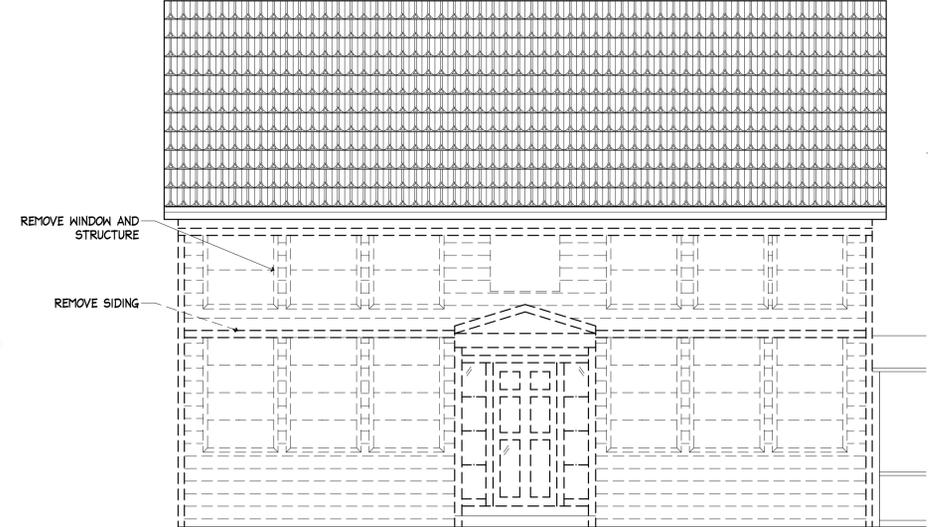
6 PROPOSED NORTH ELEVATION
A2.2 SCALE: 1/4" = 1'-0"



1 DEMO EAST ELEVATION
A2.0 SCALE: 1/4" = 1'-0"



2 DEMO WEST ELEVATION
A2.0 SCALE: 1/4" = 1'-0"



3 DEMO NORTH ELEVATION
A2.0 SCALE: 1/4" = 1'-0"

DEMOLITION NOTES

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STILL BACK THERE ART HOUSE
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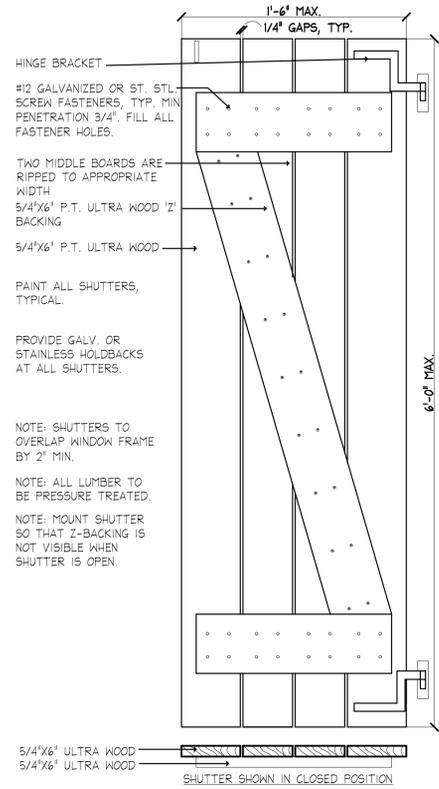
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Project No: 1509
EXTERIOR ELEVATIONS

Date: 02/25/15

A2.0



HINGE BRACKET

#12 GALVANIZED OR ST. STL. SCREW FASTENERS, TYP. MIN. PENETRATION 3/4". FILL ALL FASTENER HOLES.

TWO MIDDLE BOARDS ARE RIPPED TO APPROPRIATE WIDTH

5/4"x6" P.T. ULTRA WOOD 2" BACKING

5/4"x6" P.T. ULTRA WOOD

PAINT ALL SHUTTERS, TYPICAL.

PROVIDE GALV. OR STAINLESS HOLDBACKS AT ALL SHUTTERS.

NOTE: SHUTTERS TO OVERLAP WINDOW FRAME BY 2" MIN.

NOTE: ALL LUMBER TO BE PRESSURE TREATED.

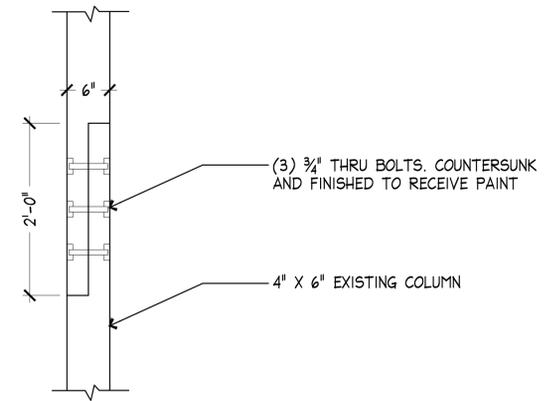
NOTE: MOUNT SHUTTER SO THAT Z-BACKING IS NOT VISIBLE WHEN SHUTTER IS OPEN.

5/4"x6" ULTRA WOOD

5/4"x6" ULTRA WOOD

SHUTTER SHOWN IN CLOSED POSITION

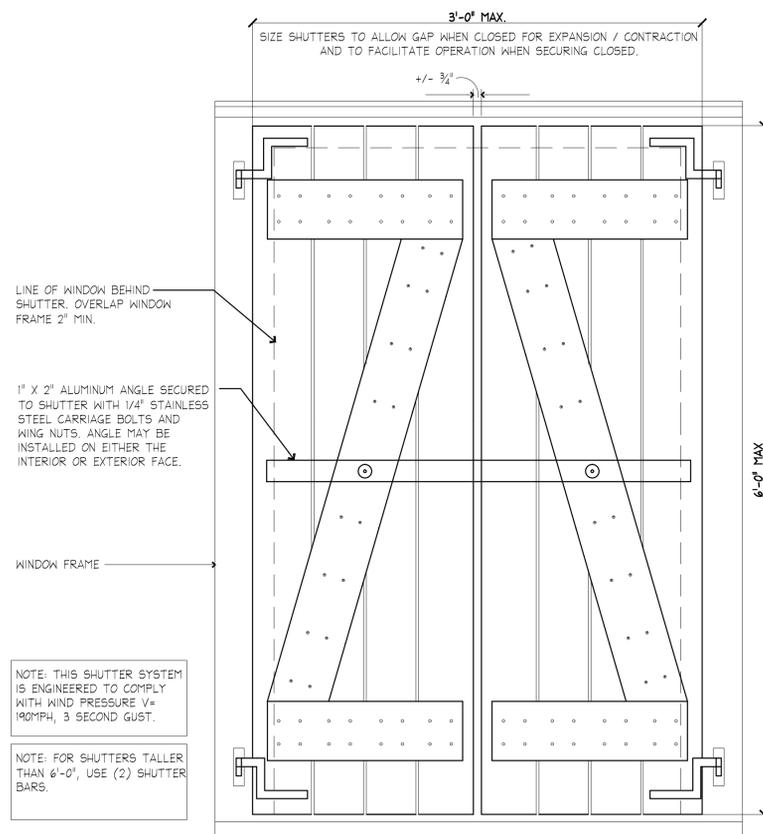
2 SHUTTER DETAIL
A8.0 SCALE: 1/2" = 1'-0"



(3) 3/4" THRU BOLTS. COUNTERSUNK AND FINISHED TO RECEIVE PAINT

4" X 6" EXISTING COLUMN

4 TYPICAL COLUMN JOINT
A8.0 SCALE: 1" = 1'-0"



LINE OF WINDOW BEHIND SHUTTER. OVERLAP WINDOW FRAME 2" MIN.

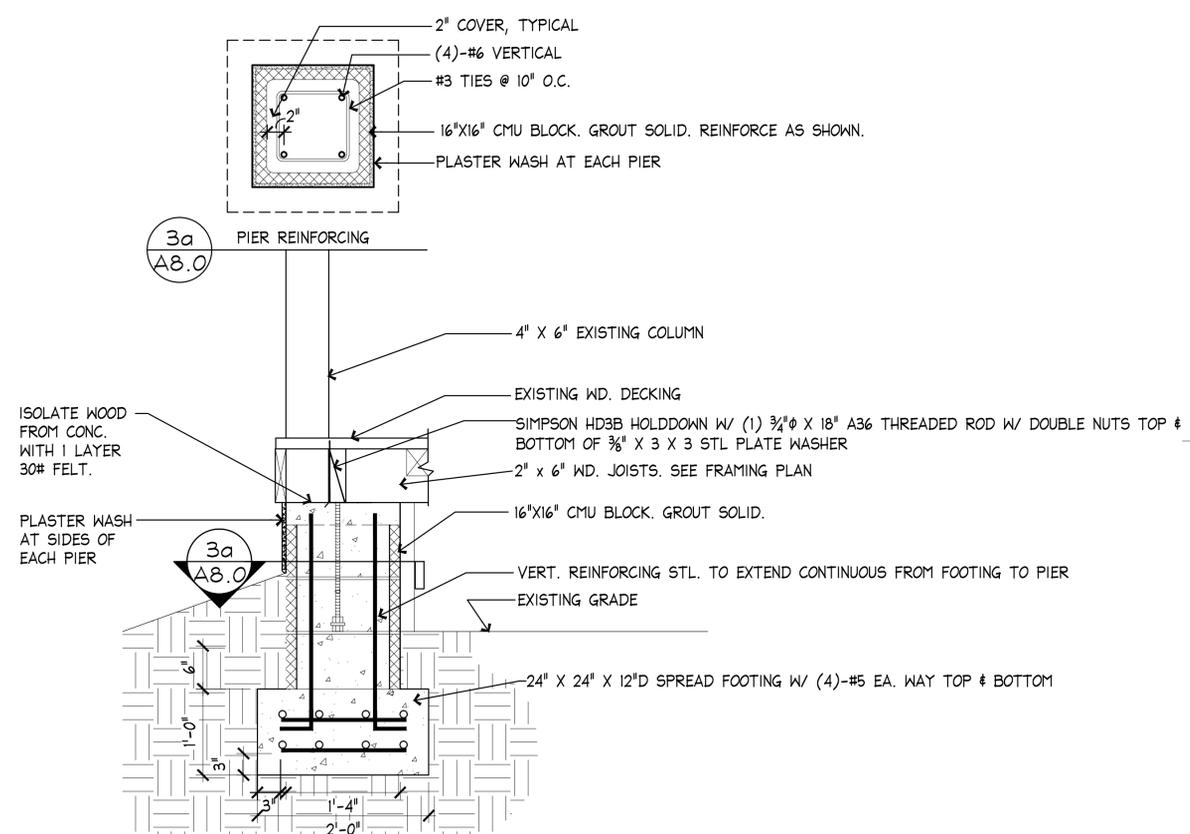
1" X 2" ALUMINUM ANGLE SECURED TO SHUTTER WITH 1/4" STAINLESS STEEL CARRIAGE BOLTS AND WING NUTS. ANGLE MAY BE INSTALLED ON EITHER THE INTERIOR OR EXTERIOR FACE.

WINDOW FRAME

NOTE: THIS SHUTTER SYSTEM IS ENGINEERED TO COMPLY WITH WIND PRESSURE V=140MPH, 3 SECOND GUST.

NOTE: FOR SHUTTERS TALLER THAN 6'-0", USE (2) SHUTTER BARS.

1 SHUTTER CLOSER DETAIL
A8.0 SCALE: 1/2" = 1'-0"



2" COVER, TYPICAL

(4)-#6 VERTICAL

#3 TIES @ 10" O.C.

16"x16" CMU BLOCK. GROUT SOLID. REINFORCE AS SHOWN.

PLASTER WASH AT EACH PIER

PIER REINFORCING

4" X 6" EXISTING COLUMN

EXISTING WD. DECKING

SIMPSON HD3B HOLDDOWN W/ (1) 3/4" X 18" A36 THREADED ROD W/ DOUBLE NUTS TOP & BOTTOM OF 3/8" X 3 X 3 STL PLATE WASHER

2" X 6" WD. JOISTS. SEE FRAMING PLAN

16"x16" CMU BLOCK. GROUT SOLID.

VERT. REINFORCING STL. TO EXTEND CONTINUOUS FROM FOOTING TO PIER

EXISTING GRADE

ISOLATE WOOD FROM CONC. WITH 1 LAYER 30# FELT.

PLASTER WASH AT SIDES OF EACH PIER

24" X 24" X 12"D SPREAD FOOTING W/ (4)-#5 EA. WAY TOP & BOTTOM

3 PROPOSED COLUMN DETAIL
A8.0 SCALE: 1" = 1'-0"

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Project No: 1503
DETAILS
Date: 02/25/15

A8.0
7 OF 8



DIVISION 1 - GENERAL REQUIREMENTS

1. The general conditions of the Contract for Construction, AIA Document A201, are a part of this project. Contractors who are not familiar with this document may obtain copies from the Architect, or the office of the American Institute of Architects, Miami, Florida.

2. All work shall be in strict conformity with the Florida Building Code, latest edition, and with all applicable laws, codes, and ordinances of the City, County, State, utility companies and any other governing agencies.

3. The Contractor work includes all material, equipment, tools, labor and services necessary for the completion of the project. The Owner has the right to, and expects all work to be completed as expeditiously as quality workmanship shall allow.

4. The Contractor shall procure and pay for all necessary building permits and for inspection services of local authorities where required by law. Meter and impact fees will be paid by the Owner.

5. Notify all utility companies prior to excavation for location of underground utilities, and/or protection or removal of overhead power lines and poles.

6. Provide safety barricades, signals, fences, etc., as required for the safe execution of the work and compliance with local laws.

7. The observation of the Contract work shall be done by the person listed in the Contract agreement as the Architect. In the case that no observation by the Architect is provided in the Contract, the functions of the Architect, wherever called for in the Specifications, shall be exercised by the Owner.

8. The Contractor shall provide a temporary installation of electric service if such service is not available on site. Water service shall be provided for during construction by the Owner, when existing meters are to be used.

9. Materials and Labor
9.1 Submit samples to the Architect for approval of color where required.
9.2 All work shall be performed in the best and most professional manner by mechanics skilled in their respective trades.
9.3 Where brand names or manufacturers names appear, they are used to establish a quality of material and/or process. Substitutions will be approved by the Architect if, in his judgment, they constitute an equal material or process.
9.4 All trades shall guarantee all work to be free of defects in materials or workmanship for a period of one (1) year from the date of final acceptance.

9.5 Apply, install, connect, erect, clean, condition, and use all manufactured articles in accordance with the manufacturer's instructions and as shown on the drawings. Provide Owner with all guarantees and maintenance manuals for all appliances and pieces of equipment installed as a part of the work.

10. Performance
10.1 By submitting a bid, the bidder agrees and warrants that he has examined the drawings and specifications and found that they are adequate for the proper completion of the project.
10.2 No claims for any extra charges will be allowed because of alleged impossibilities due to inadequate drawings or specifications.
10.3 The Contractor shall be responsible for verifying field measurements before ordering materials and prefabricated items. Any necessary adjustments between field measurements and drawings shall be made as per the decision of the Architect.

11. Payments
11.1 Immediately after execution of the Contract, the Contractor shall submit for approval a breakdown of the Contract sum.
11.2 Unless explicitly stipulated differently in the Contract Agreement, the Contractor shall receive payments monthly, based on the work completed and the evaluation in accordance with the approved breakdown.

12. Insurance
12.1 The Contractor shall carry Workmen's Compensation Insurance to the extent required by law and shall maintain such insurance in full force during the entire time of this contract.
12.2 The Contractor shall carry comprehensive General and Automotive Liability Insurance of \$100,000 to \$300,000 (minimum) and Property Damage Insurance of \$50,000 (minimum).

13. Completion
13.1 All work shall be substantially completed at a time stipulated in the Contract Agreement or in time extended for justifiable delays, if any.
13.2 A building or any other work shall be considered substantially completed when ninety-five percent (95%) of the work is done and the building is ready for occupancy or the premises for use.

DIVISION 2 - SITE WORK

1. Scope: Demolition, excavation, filling and back filling, base course for building slabs and sidewalks, finish grading, and plantings.

2. Related Work Specified Elsewhere: Concrete, masonry, moisture protection.

3. Demolition:
3.1 Demolition will be as indicated on the drawings.
3.2 Removal and replacement of power poles and/or equipment will be by the appropriate utility companies. Notify utility company at the start of construction of need to remove or relocate.

4. Excavation:
4.1 Excavate for footings, slabs, etc. as indicated on the drawings and as required for completion of the project.
4.2 All work shall be done in a safe and cautious manner in order to avoid accidents and property damage. The Contractor shall repair or replace property damaged during this or any other phase of the work.

5. Filling and Backfilling:
5.1 Fill all areas as indicated on the drawings or as necessitated in the normal course of the work.
5.2 Backfill against foundations and slab edges with native soils free of organic material or debris. Core shall be taken and all drainage waterproofing membranes, insulation, foundation, etc.
5.3 Utility trenches shall be proper width for laying pipe. Avoid sharp breaks or changes in direction. Unstable soil shall be removed and replaced with approved material.
5.4 Compact all backfill to 95% of existing maximum density in 12" lifts.
5.5 Excavated material not suitable or required for back filling shall be redistributed on site or removed, as directed by the Architect.

6. Backfilling for Slabs and Walks:
6.1 Aggregate base material of 1" or less in size uniformly distributed with coarse and fines. Aggregate base shall conform to the following requirements:

Table with 3 columns: Sieve Size (square openings), % passing by weight, and values for 1 inch, 3/4 inch, 1/4 inch, and no. 200.

6.2 All aggregate base courses shall be 4" minimum thickness unless otherwise specified.

6.3 Provide 4" aggregate base course under all concrete slabs on grade.

7. Finish Grading:
7.1 Slope all grades away from the buildings.
7.2 All graded areas to be graded in uniform slopes, free from ridges and mounds.
8. Asphalt concrete paving.
8.1 Type S-3 asphalt per D.O.T. specifications.
8.2 Provide compacted base as appropriate to site and local conditions; Lime Rock or other D.O.T. acceptable material compacted to 95% of ASTM D-1557.

DIVISION 3 - CONCRETE

1. Scope: Complete installation of plain and reinforced concrete work of the entire project including foundations, walks, slabs on grade, precast floor joists, and other concrete work to complete the project as shown on drawings and called for in these specifications. Furnishing and installing all reinforcing steel, welded wire fabric, dowels, ties, anchors, etc. as indicated on drawings and otherwise required by the work. Installing items built into concrete but furnished by others. Installing items necessary to fasten and hold reinforcement in place.

2. Related Work Specified Elsewhere: Furnishing attachments for other work placed in concrete, waterproofing.

3. Description: Concrete shall consist of Portland cement, fine and coarse aggregate, proportioned and mixed, reinforced, placed and finished as indicated and specified. Concrete strength = 4,000 P.S.I. @ 28 days. Max. slump = 5" footings and 6" for slabs on grade. Maximum slump for structural columns, beams and slabs shall be 4". Transit mixed concrete per ASTM C-94.

4. Materials:
4.1 Portland cement - ASTM C-150
4.2 Reinforcing steel - ASTM A-15
4.3 Welded wire fabric - ASTM A-185
4.4 Coarse aggregate shall be clean crushed stone or natural gravel conforming to ASTM C-33, and not larger than 3/4" for slabs or 1 1/2" for foundations. Maximum size for reinforcing steel or between reinforcing and forms.

3/4" for slabs or 1 1/2" for foundations. Maximum size for reinforcing steel or between reinforcing and forms.
4.5 Fine aggregate shall be washed natural sand, without clay content, of strong sharp particles.
4.6 Water shall be potable.
4.7 Accessories shall be hot dipped galvanized bar supports, etc. manufactured for use in concrete.
4.8 Filler shall be pre-molded expansion joint filler, 1/2" thick, unless otherwise stated on the drawings, asphalt impregnated fibers conforming to ASTM D-994.

5. General Requirements:
5.1 Material and workmanship shall conform to "Building Code Requirements for Reinforced Concrete" (ACI 318).
5.2 Do not use deterioration or damaged material for concrete materials.
5.3 No admixtures shall be used without prior approval of the Architect.
5.4 Mechanically vibrate all concrete in place with experienced workmen.

5.5 Cure slabs with an approved liquid curing compound and sealing agent, applied in accordance with the manufacturer's recommendations.
5.6 Concrete pours shall be so scheduled and completed so that no unsafe structural conditions or unsightly finish will result. Scheduling and location of pours shall be brought to the attention of the Architect, at least 24 hours prior to placing concrete. Inspection of reinforcing in place, forms, compacted base, etc., will be made by the Architect prior to any concrete pour. No concrete shall be poured without the Architect's inspection and approval.
5.7 Concrete shall be delivered to the place of pouring by trucks or carts and poured through troughs or chutes. Any fall segregating the coarse aggregate from the mix shall be avoided.

5.8 Furnishing and placement of reinforcing steel shall comply with current ACI standards. Reinforcing steel shall be accurately placed in accordance with related drawings and securely tied in its precise position at all points where the bars cross so as to preclude shifting during the placing of concrete. Bars shall be deformed in accordance with ASTM A-305.

5.10 Where so indicated on the drawings, provide a moisture barrier consisting of:
a. Four inches of clean dry sand, evenly spread as a cushion.
b. "Visqueen" or equal 6 mil thick plastic sheathing, with all joints taped and sealed.
c. Two inches of clean dry sand, evenly spread on top of the installed plastic sheathing.

6. Concrete Finishes:
6.1 Finished floor slab surfaces shall be plane surfaces as shown on the drawings. Where drains occur slope floor evenly to drains.
6.2 Interior slabs shall be screeded with a straight edge, floated to the required level, and steel troweled to a smooth hard finish. Exterior slabs shall be broom finished.
6.3 Concrete floors shall be checked for trueness with an 8 foot straight edge. Any deviation from the line of the straight edge by more than 1/4" shall be repaired in a manner satisfactory to the Architect.

7. After construction is completed, thoroughly clean all exposed floors with soap and water.

8. Control joints shall be formed as indicated on drawings, or formed with metal keyway to remain in the slab.

9. Precast, prestressed floor joists

DIVISION 4 - MASONRY

1. Scope: Furnish and install all labor, materials, equipment and service necessary to complete all masonry work as indicated or specified.

2. Related Work Specified Elsewhere: Masonry wall insulating fill, face caulking of control joints.

3. Materials: Concrete masonry units shall conform to ASTM C-90, Grade U-1, F' m = 1950 P.S.I.
3.1 Masonry units shall be 8" x 8" x 16" hollow unit masonry, 16" x 8" x 16" column block, and as shown on the drawings.
3.2 Trussed or ladder type horizontal joint reinforcement equal to Dur-O-Wall.
3.3 Mortar shall be type S, 1800 P.S.I. minimum compressive strength.

4. Construction and Workmanship:
4.1 The work shall be done by experienced mechanics, skilled in their trade, in a first class manner.
4.2 The Contractor shall be responsible for quality of workmanship and for compliance with the design and specifications. He shall correct all errors and deviations as requested by the Architect.
4.3 Transport and handle all masonry units in such manner as to prevent chipping and breakage. Protect all masonry from inclement weather effects and heavy and unnecessary traffic.
4.4 Do not lay chipped, cracked or otherwise defective units in the wall where exposed to view. Remove and replace defective units, whether defective, chipped, or broken before or after setting.
4.5 All joints shall be as indicated on drawings, straight, true, and uniform in thickness to course vertically to 8".
4.6 All masonry shall be running bond unless indicated otherwise.
4.7 Provide all openings in masonry walls where required or indicated. Build in all items as required for a complete job, including (but not limited to) reinforcing steel, bolts, anchors, conduits and piping.
4.8 Clean all finished masonry walls for a neat, clean and finished appearance, if exposed to view.
4.9 Install horizontal joint reinforcement in wall joints at 16" on center vertically.

DIVISION 5 - STRUCTURAL AND MISCELLANEOUS STEEL

1. Scope: Furnish and install all steel lintels, clip angles, anchor bolts and other steel items as indicated on drawings or otherwise specified.

2. Related Work Specified Elsewhere: Reinforcing Steel

3. General Requirements:
3.1 Structural Steel - ASTM A-36
3.2 Structural Bolt - ASTM A-325
3.3 Anchor Bolts - ASTM A-307
3.4 Any welding shall be performed by certified welders.
3.5 All steel items shall be hot dip galvanized, prior to delivery to the site, or stainless steel.
3.6 All work shall be properly aligned, plumb, level and true, and shall be in the precise location as indicated on the drawings.

DIVISION 6 - CARPENTRY AND MILLWORK

1. Scope: All rough and finish carpentry work and millwork as indicated on drawings and specified. The installation of all rough and finish hardware and trim, and all material necessary to complete all the framing and finish work as shown. Install all blocking, firestops, backing, bridging, etc., for the proper installation of all applied items.

2. Related Work Specified Elsewhere: Toilet room accessories, specialties, finishes.

3. Materials:
3.0 Protection against decay and termites: All wood in this section shall be a naturally durable species resistant to termites or pressure treated. Even when not specifically indicated on the drawings, all framing lumber, sheathing, fascia, casing, and any other lumber used on the exterior of the building shall be pressure treated or naturally decay resistant. Lumber used for framing, plates, etc. on the interior shall also meet this requirement.
3.1 Air dry all dimension and board lumber to maximum 19% moisture content. All lumber to bear association mark, grade, and mill mark per MCLB rules.
3.2 All joists, rafters, ledgers and beams to be pressure treated Southern yellow pine #1 dense. All repetitive framing members and joists shall be minimum 1200 P.S.I. stress graded lumber, after pressure treating. Min roof rafters and beams where shown shall be microlam as manufactured by Truss-Joist Miamilan. Microlam members to be pressure treated.
3.3 Studs, blocking and plates: Southern yellow pine #1 Standard or better, dense, pressure treated.
3.4 Floor sheathing: 3/4" T&G P.T. plywood, unless otherwise noted.
3.5 Wall sheathing: 3/4" C-DX P.T. (Under standard siding), 3/4" CDX P.T. (Under stucco)
3.6 Roof sheathing: 3/4" C-DX exterior APA P.T. plywood.
3.7 Siding: #2 pine 1/2" x 6", pressure treated and kiln dried.
3.8 Exterior trim: 5/4" P.T. Southern Yellow Pine, unless otherwise noted.
3.9 Interior trim: clear fir or as called for on the drawings.
3.10 Shelving may be 3/4" plywood with a 1/8" x 3/4" hardwood glued and nailed to ends and edges exposed to view with all ends and edges sanded and finished.
3.11 Built-in cabinets shall be plastic laminate and/or wood as shown and detailed on drawings. Plastic laminate shall be Formica, Wilsonart, Plante, or equal.
3.12 Connectors, supports, joist hangers, etc., shall be Simpson, of types as indicated on drawings, all items galvanized.

4. Construction and Workmanship:
4.1 All work shall be braced, plumbed and leveled. All joints shall be true and tight. A sufficient number of nails, screws, and bolts shall be used to insure the rigidity of the construction.
4.2 All millwork shall be carefully erected with tight fitting joints, carefully cut and secured. Exposed nails shall be set and puttied. All work shall be thoroughly cleaned and sanded to receive finish.
4.3 All carpentry work shall conform to Chapter 17 of the Standard Building Code, latest edition.
4.4 Provide ground, stripping, furring, etc., to receive finish materials as required.
4.5 Provide x-bracing or solid blocking at center line of all framing members over eight feet in length.
4.6 Install all plywood with edges over framing members. Nail plywood siding at 6" O.C. at edges and 12" O.C. at intermediate framing members. Stagger plywood joints.

DIVISION 7 - MOISTURE PROTECTION

1. Scope: Roofing, sheet metal, caulking, insulation.

2. Related Work Specified Elsewhere: Concrete, masonry, filling and backfilling, doors and windows.

3. Materials:
3.1 The Contractor shall submit samples of materials for approval to the Architect as called for.
3.2 All materials shall be delivered bearing the manufacturer's name and brand.
3.3 All single ply membrane roofing shall be of the same manufacturer. Single ply roof shall be as manufactured by Fibertite, or equal single-ply membrane, with a minimum 10 year warranty.
3.4 All flashing, counter-flashing, reglets, etc., shall be galvalume with factory applied paint, or stainless steel where shown on drawings. All flashing, drips, etc., as detailed.
3.5 Subgrade waterproofing shall be black asphaltic emulsion painted onto walls, two coats minimum, as shown on drawings.
3.6 Caulking or sealant shall be DAP Gold Label Butyl-Flex caulking compound or equal. All caulking shall contain no VOC's (Volatile Organic Compounds). In no case shall caulking or sealant be less than 1/2 inch thick. Submit manufacturer's data to the Architect when requested. Colors to match adjacent construction.
3.7 Batt insulation shall be minimum R-19 (or as called for in the drawings) at ceilings and R-11 at walls or vertical planes (except as shown on Drawings). Batt insulation shall be rock wool or similar NATURAL material. Masonry fill insulation, when required, shall be Vermiculite, Perlite, or equal; Min. R-5. All Batt insulations shall have a vapor barrier on one side, applied to the room side of walls or ceilings. Rigid insulation shall be equal to Celotex Brand Polystyreneurethane closed cell foam insul with aluminum foil facing on one side. Thickness as called for on drawings.

3.8 All 1/4" crimp metal roofing shall be 26" wide panels for placement 24" O.C., with "galvalume" coating, 26 gauge steel with a 5-V profile. Place roofing over a membrane complying with ASTM D 2626, Type 1, 30 lb. Provide all accessories: galvanized clips, anchors and other materials required for a complete and weathertight installation. Where Metal roofing is shown on the drawings "to match existing", furnish a sample of the proposed product to the Architect for approval.
3.9 Where metal shingle roofing is called for, provide "Galvalume" shingles, 30 gauge minimum with patterns as selected by the Architect.
3.10 Where modified bituminous or "built-up" roofing is called for or otherwise required, use siplast 2030 CBH system or approved equal.
4. Roofing:
4.1 The roofing Contractor shall inspect the roof deck for compatibility with specified roofing systems and materials, and for any defects of the deck, and state his findings to the Architect.
4.2 All work shall be done in strict accordance with the manufacturer's recommendations.
4.3 Pipes and ducts extending through the roof shall be flashed with one piece of sheet metal forming a flange which extends at least 6" on all sides.
4.4 Provide a written guarantee stating that any leaks or other defects in the roofing or flashing will be repaired to the Owner's satisfaction for a period of two (2) years.
4.5 All roofing shall be performed in accordance with applicable codes and ordinances, and in accordance with commonly accepted practices for quality roofs in the roofing industry.

5. General Requirements:
5.1 Furnish and install all work for this section as indicated.
5.2 Furnish and install flashing wherever indicated on drawings and wherever required to maintain the integrity of the roof.
5.3 Furnish and install caulking wherever indicated and as required for weather tight seal.
5.4 After completing the roofing installation, the roofing and sheet metal contractor shall remove all excess materials and all trash and debris caused by his work.
5.5 The roofing subcontractor shall inspect all work in place for compatibility with specified roofing systems and materials, and for any defects of the deck, and state his findings to the Architect.
5.6 Roofing systems shall use the products of the same manufacturer unless specifically allowed by the roofing manufacturer in writing.

DIVISION 8 - DOORS, WINDOWS AND GLAZING, HARDWARE

1. Scope: Furnish and install all doors, windows, glass and glazing, hardware, frames and miscellaneous items as required for a complete project, as indicated on drawings, specified or otherwise necessitated by the work.

2. Related Work Specified elsewhere: Caulking

3. Doors and Frames:
3.1 Wood doors shall be hollow core, or solid core, or panel, as indicated on drawings, of sizes and types as indicated.
3.2 Wood frames shall be pine or Douglas fir, appearance grade, as detailed.
3.3 Hollow metal doors and frames shall be the product of one manufacturer, or gauges sufficient for its intended use with all components hot dip galvanized.

4. Windows:
4.1 All windows in exterior walls to be as shown on the window schedule. All windows to be wood units, manufactured by Marvin Windows and Doors, types as shown.
4.1.1 Finish: All windows to have factory applied primer on exterior and interior. Paint as per Division 9- Finishes.
4.1.2 Provide all windows with factory-installed fiberglass screens in aluminum frame with white finish.
4.1.3 Glazing: All windows, except as shown, shall be furnished with clear single glazing. Windows 1' or to be furnished with clear impact resistant glazing.
5. Glass and Glazing:
5.1 All fixed glass frames shall be as detailed.
5.2 All fixed glass in exterior walls shall be as indicated on drawings, 1/4" min., to withstand impact and wind loads shown on the drawings, but in no case less than required by code.
5.3 Chapter 24 of the Florida Building Code, 2001 edition, shall be the minimum requirement for glass and glazing. Where discrepancies between drawings, specifications, or the code appear, the Contractor shall adhere to the most stringent requirement.
5.4 Chapter 16 of the Florida Building Code, 2001 edition, shall be the governing standard for wind and impact loading of glass, glazing and all related components. Where discrepancies between drawings, specifications, or the code appear, the contractor shall adhere to the most stringent requirement.
5.5 Impact resistant glazing may be laminated glass or lexan, unless specifically detailed or otherwise required by other provisions or the documents.
6. Finish Hardware:
6.1 Provide hardware in all cases adequate for the service to which it will be subjected in the course of normal usage. Unless otherwise noted herein, all locks shall be keyed as directed by the Owner.
6.2 Submit samples of hardware finishes to the Architect for selection when requested in the drawings.
6.3 In the absence of a hardware schedule, the Contractor shall include a bid allowance for the purchase of hardware items for all openings.
6.4 Install all hardware and related items required for a complete and functioning system.
6.5 For each of the required items of finish hardware, provide from the specified manufacturer or from one of the indicated acceptable substitutes.

Table with 3 columns: Item, Acceptable Manufacturer, Substitute. Lists items like Butts, Locks, Closers, Floor Closers, Panic Bolts, Thresholds, Miscellaneous Builders Brass, etc.

Provide other materials, not specifically described but required for a complete and proper installation, as selected by the Contractor subject to the approval of the Architect.

7. General Requirements:
7.1 Provide P.T. wood thresholds for exterior doors, as detailed, or premanufactured units when hardware schedules do not specify thresholds.
7.2 Furnish and install weatherstripping at all exterior doors for weathertight seal.
7.3 Leave all labels on glass in place until inspected. After inspection remove all labels and thoroughly clean all glass.
7.4 Protect all aluminum frames and glass from damage. The general Contractor shall be responsible for the removal of protective materials and cleaning with water, or water with soap or household detergent. The general Contractor shall be held responsible for damage resulting from use of other cleaning materials.

8. Finish Hardware Schedule:
A. Finish the hardware groups in the amounts indicated on the drawings.

DIVISION 9 - FINISHES

1. Scope: Furnish and install all gypsum drywall at partitions and ceilings, painting and ceramic tile as indicated on drawings or specified.

2. Related Work Specified Elsewhere: Carpentry, Plastic Laminate

3. Materials, Construction and Workmanship:

3.1 Gypsum Board:
3.1.1 Gypsum board shall be 5/8" type "x" taped and finished. Gypsum board shall have finish facing to receive paint.
3.1.2 Use water resistant gypsum board at toilet rooms and as called for on drawings.
3.1.3 Drywall shall be screw fastened to framing. Drywall screws shall be self-tapping flathead, shouldered and designed for use with power driven tools; not less than 1" long.
3.1.4 Furnish and install all gypsum board corner beads, edge guards, trim and metal accessories as required for a complete job of types as indicated on drawings.
3.1.5 Apply board with edges over framing member.
3.1.6 Soffits and ceilings to be smooth finish or other texture as approved by the Architect. All walls to be light smooth finish or other texture as directed by the Architect.
3.2 Ceramic tile:
3.2.1 Ceramic tile shall be manufacturer's standard glazed tile, unless noted otherwise, with all base, trim, etc., for a complete job. Sizes shall be as called for on the drawings.
3.2.2 Tile shall be as selected by the Architect, and as manufactured by American Olean, Florida Tile, Dallas Ceramic Company, Intertape Corporation or equivalent. Submit samples for approval when requested by the Architect.
3.2.3 Grout shall be white, unless otherwise noted, conforming to the standard at the highest quality industry standards.
3.2.4 Ceramic tile shall be thin set, mastic applied or mud set, at the Contractor's option.
3.2.5 Clean tile before final inspection.
3.2.6 All ceramic tile substrate shall be cementitious backer board, Wonderboard or equal.
3.3 Painting:
3.3.1 Work covered in this section includes:
a. Painting all interior surfaces as called for in the finish schedule.
b. Painting all exterior cladding, trim and soffits.
c. Painting all doors, windows and trim.
d. Finishing wood flooring with urethane finish.
e. Painting exterior gutters and downspouts and any other exposed metal surfaces.
f. Painting all interior millwork.
g. Painting and finishing any other work requiring finishing, but left unfinished by other people.
3.3.2 Painting materials as manufactured by Benjamin Moore, Sherwin Williams, Dunn-Edwards, Deer-O, or Pittsburg Paints. Stains as manufactured by Olympic, U.S. Plywood and Woodlute.
3.3.3 Mask as required, lay drop cloths, and generally protect all adjacent surfaces. Properly protect or remove light fixtures, hardware, etc., during painting.
3.3.4 Finish tops, bottoms and edges of doors the same as door faces.
3.3.5 Materials for painting and finishing are based on products of the Benjamin Moore Co., unless noted otherwise.

Exterior wood trim, doors and windows (to be painted):
Primer (1) Coat Fresh Start 100% Acrylic Primer (0023) - 49 g/l VOC.
Topcoats (2) Coats MoorGlo Acrylic House 4 Trim (Soft Glass) (N096) - 149 g/l VOC.

Exterior wood siding (to be painted):
Primer (1) Coat Fresh Start 100% Acrylic Primer (0023) - 49 g/l VOC.
Topcoats (2) Coats MoorGard Low Lustre Acrylic House Paint (N103) - 48 g/l VOC.

Exterior wood siding to be stained:
(2) Coats Premium Exterior Stain Acrylic Solid Color (N089) - 78 g/l VOC.

Interior Drywall and Wood T&G (to be painted):
Topcoat (2) Coats. Walls - Regal Premium Interior Latex Pearl Finish (N310) - 142 g/l VOC.
Ceilings - Regal Matte Finish (N221) - 97 g/l VOC.

Interior Wood Trim # Millwork (to be painted):
Primer (1) Coat Fresh Start 100% Acrylic Primer (0023) - 49 g/l VOC.
Topcoat (2) Coats. Regal Latex Semi-Gloss Finish (N333) - 145 g/l VOC.

Interior Wood flooring:
Stain (1-2) Coats. SAFEACOT Durastain - 56 g/l VOC
(3) Coats SAFEACOT Polyureseal BP Satin Finish - 110 g/l VOC

3.3.6 Undercoats and Thinners:
1. Provide undercoat paint produced by the same manufacturer and use only as the finish paint.
2. Use only the thinners recommended by the paint manufacturer and use only the recommended limits.
3. Insofar as practicable, use undercoat, finish coat and thinner materials as parts of a unified system of paint finish.

3.3.7 Acceptance of bases: The Painting Contractor shall be responsible for the finish of his work and shall not start painting until the surfaces are in proper condition to receive paint. If the Contractor considers any surface unsuitable to a degree that they cannot be corrected by scraping or sanding, he shall report this to the Architect or the Owner before applying any materials to same. Starting his own work shall be considered an acceptance of the surfaces.

3.3.8 Preparation of surfaces: Prepare wood surfaces by sealing all knots with GD 30 knot sealer. Putty nailholes, cracks, and blemishes and sand rough areas before applying second coat of paint. Clean oily or greasy surfaces. Remove rust by scraping or sanding.
3.3.9 All surfaces to be painted must be free of dirt and dust before painting.
3.3.10 All workmanship shall be of a professional quality with paint spread evenly without runs. Colors shall be as selected by the Architect or the Owner, and shall conform to the approved sample.
3.3.11 Nailholes and imperfections shall be neatly puttied after the first coat. Putty shall be colored to match the color of the surface to which it is applied.
3.3.12 Enamels, varnishes and exterior oil paints shall be allowed to dry at least 48 hours between coats. Interior paints shall be allowed to dry at least 24 hours between coats.
3.3.13 Paint shall be applied in the following number of coats:
(See schedule above)
3.3.14 Urethane shall be applied in the following manner:
Wood flooring - Stain (color to be approved by Owner) Sealer and three coats of urethane

3.4.3 All tile shall be installed in accordance with the manufacturer's recommendations, using an adhesive recommended for the particular floor condition.
3.4.4 After the floor is laid and prior to final acceptance, the floor shall be cleaned, waxed and machine buffed.
3.5 Carpet:
3.5.1 Owners to select the carpet where shown on the Room Finish Schedule.
3.5.2 Include a Unit Price Allowance in the Contract of \$28/ square yard.

DIVISION 15 - MECHANICAL AND PLUMBING

1. Scope: Furnish all labor, materials, tools, transportation, services, etc., as required for complete installation of all mechanical and plumbing work as indicated on drawings, specified or otherwise necessitated by the work, for the completion of the project.

2. Related Work Specified Elsewhere: Excavation, filling and backfilling, moisture protection.
3. Mechanical - Materials General Requirements:
3.1 All work shall be done by experienced workmen, in accordance with the highest industry standards.
3.2 Register: Equal to Krueger.
3.3 All square corner turns in ductwork to have turning vanes.
3.4 Insulate concealed ductwork with 1/2" thick, 3/4" P.C.F. density fiberglass blanket.
3.5 Test all equipment and repair, replace, or adjust as required. Adjust and balance all registers and diffusers to furnish necessary air quantities.
4. Plumbing - Materials and General Requirements:
4.1 All materials furnished under this contract shall be new and free from defects of any character. All materials shall comply with the Underwriters Laboratories Standards for each and shall so be labeled.
4.2 Plumbing fixtures, equipment and materials shall be as indicated on the drawings.
4.3 The work shall conform to current codes, ordinances and requirements of all governing agencies.
4.4 Plumbing work includes, but is not necessarily limited to:
a. Soil, waste and vent piping
b. Storm water conductors to cistern
c. Hot, cold water
d. Roof flashing for vent piping
e. Installation of all plumbing fixtures and accessories
f. Excavation and backfill for plumbing lines
g. Cistern pump, pressure tank, piping & hose bibbs.
h. Solar hot water heating system with photovoltaic panel & associated equipment for a complete system as shown on the Drawings. System to be as manufactured by American Energy Technologies or equal.
4.5 Flushing shall be: Soil, waste, vent stack and storm conductors - PVC high impact rigid plastic with solvent cemented joints. All pipes shall be inside walls and floors, and otherwise concealed from view.
Hot and cold water - Type L copper tubing with sweat soldered wrought fittings within building. Schedule 40 PVC outside building and below grade.

DIVISION 16 - ELECTRICAL

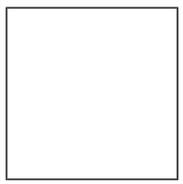
1. Scope: Furnish, install and connect complete electrical systems as shown on the drawings, specified or otherwise necessitated by the work, including, but not necessarily limited to: electrical service entrance and metering, complete electric distribution system for lighting and power, wiring and related work for: mechanical systems, motors, pumps, telephones, cable t.v., rough in, and equipment.

2. Related Work Specified Elsewhere: Excavation, filling and backfilling, mechanical and plumbing.
3. Construction and Workmanship: All work and materials shall comply with the following as minimum standards.
a. The National Electric Code, latest edition
b. The National Electrical Manufacturers Association Standards
c. The National Electrical Safety Code
d. The Insulated Power Cable Engineers Association Standards
e. Underwriters Laboratories Incorporated Standards

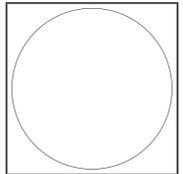
4. General Requirements:
4.1 All outlets shall be grounded
4.2 All work shall be concealed
4.3 All grounding shall be in accordance with the National Electric Code.
4.4 Lighting fixtures, equipment, etc., shall be as scheduled or otherwise indicated on the drawings.
4.5 The Contractor shall guarantee the entire installation (except lamps) for a period of one (1) year from the date of final acceptance.

4.6 Materials and equipment shall comply with the applicable current standards of Underwriters Laboratories Inc. Panels: Square 12" or equal panels with rain light enclosure when used outdoors.
Romer 12-2 with ground and plastic fiberglass boxes are permitted, unless otherwise specified on the drawings.
Feeders to be (2) 1/0 THN W/ (1) THN in 2" conduit.
Conduit to be P.V.C. provide stub only.

4.7 Contractor shall furnish lighting fixtures and fans in Contract, as called for on the fixture schedule shown on the Drawings. In the absence of a fixture schedule, fixtures will be as selected by the Owner and paid by the Owner as a negotiated extra to the Contract. The Owner reserves the right to furnish fixtures shown for installation in lieu of purchasing them through the Contractor.
4.8 Contractor shall furnish and install approved hard-wired smoke detectors in accordance with the requirements of the building department and fire department having jurisdiction over the project.



STILL BACK THERE ART HOUSE
6 1 0 - 6 1 4 D E Y S T R E E T
KEY WEST, FLORIDA



410 Angela Street
Key West, Florida 33040
Telephone (305) 236-1347
Facsimile (305) 296-2727
Florida License AC0002022

Bender & Associates
ARCHITECTS
P.A.

Project No: 1503
SPECIFICATIONS

Date: 02/25/15

SP1
6 OF 8

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., August 25, 2015 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

RESTORATION OF FRONT PORCH AND STRUCTURAL STABILIZATION TO HISTORIC EYEBROW HOUSE. DEMOLITION OF ATTACHED STRUCTURE TO THE FRONT PORCH AND REMOVAL OF NON-HISTORIC ENCLOSURE OF FRONT PORCH.

FOR- #614 DEY STREET

Applicant – Bender and Associates

Application #H15-01-1078

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.



NO
TRESPASSING

Public
Meeting
Notice

Public Meeting Notice

The following information applies to the proposed project located at 1422 E. 1st St., Suite 201, St. Paul, MN 55102.

PROJECT: RESTORATION OF EAST PORCH AND STRUCTURAL STABILIZATION OF 1422 E. 1ST ST. HOUSE, DEMOLITION OF ATTACHED PORCH, FORMER TO THE EAST PORCH AND REMOVAL OF NON-RENTAL ENCLAVES OF 1422 E. 1ST ST. HOUSE.

DATE: 10/15/2014

APPLICANT: RESTORATION GROUP

REGISTRATION: 10/15/2014

PROJECT LOCATION: 1422 E. 1ST ST., SUITE 201, ST. PAUL, MN 55102

PROJECT DESCRIPTION: RESTORATION OF EAST PORCH AND STRUCTURAL STABILIZATION OF 1422 E. 1ST ST. HOUSE, DEMOLITION OF ATTACHED PORCH, FORMER TO THE EAST PORCH AND REMOVAL OF NON-RENTAL ENCLAVES OF 1422 E. 1ST ST. HOUSE.

PROJECT CONTACT: 651-224-1234

PROJECT WEBSITE: www.restorationgroup.com

PROJECT CONTACT: 651-224-1234

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Public Meeting Notice

PRIVATE PROPERTY NO TRESPASSING

014

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared BERT BENDER, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:
612-614 DEY STREET, KEY WEST, FL. on the 18TH day of AUGUST, 2015.

This legal notice(s) contained an area of at least 8.5"x11".
TWO WERE POSTED

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on AUGUST 25, 2015, 2015.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H15-01-1078

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

B. Bender
Date: 18-AUGUST 2015
Address: 410 ANGELA SP
City: KEY WEST
State, Zip: FL, 33040

The forgoing instrument was acknowledged before me on this 18th day of August, 2015.

By (Print name of Affiant) Bert Bender who is personally known to me or has produced _____ as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: Daina D. Katubi
Print Name: Daina D. Katubi

Notary Public - State of Florida (seal)
My Commission Expires: _____



PROPERTY APPRAISER INFORMATION



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record Card -

Maps are now launching the new map application version.

Alternate Key: 1001023 Parcel ID: 00001000-000000

Ownership Details

Mailing Address:

HELDON BAY LIMITED PARTNERSHIP
24889 EVENING STAR LN
BIGFORK, MT 59911-8292

Property Details

PC Code: 01 - SINGLE FAMILY

Millage Group: 12KW

Affordable Housing: No

Section-Township-Range: 06-68-25

Property Location: 610 DEY ST KEY WEST
614 DEY ST KEY WEST

Legal Description: KW PT LOT 4 SQR 12 OR126-222/23 OR264-285/286 OR559-287 OR1834-2288/89L/E OR2152-1711/20F/J
OR2532-2452D/C OR2697-111D/C OR2699-664/68

Click Map Image to open interactive viewer



Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	0	0	11,635.00 SF

Building Summary

Number of Buildings: 1
Number of Commercial Buildings: 0
Total Living Area: 4410
Year Built: 1943

Building 1 Details

Building Type R1
Effective Age 34
Year Built 1943
Functional Obs 0

Condition P
Perimeter 624
Special Arch 0
Economic Obs 0

Quality Grade 550
Depreciation % 36
Grnd Floor Area 4,410

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type GABLE/HIP
Heat 1 NONE
Heat Src 1 NONE

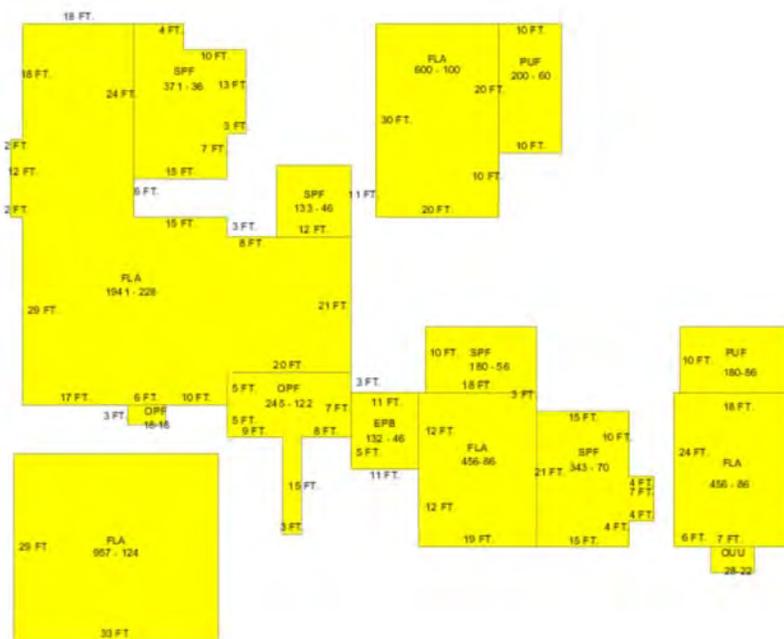
Roof Cover METAL
Heat 2 NONE
Heat Src 2 NONE

Foundation NONE
Bedrooms 3

Extra Features:

2 Fix Bath 0
3 Fix Bath 1
4 Fix Bath 0
5 Fix Bath 0
6 Fix Bath 0
7 Fix Bath 0
Extra Fix 0

Vacuum 0
Garbage Disposal 0
Compactor 0
Security 0
Intercom 0
Fireplaces 0
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
0	FLA	1:WD FRAME	1	1991					456
0	FLA	1:WD FRAME	1	1991					456
0	PUF	1:WD FRAME	1	1991					200
0	FLA	1:WD FRAME	1	1991					957
0	EPB	1:WD FRAME	1	1991					132
0	SPF		1	1991					133
0	SPF		1	1991					343
0	SPF		1	1991					180

0	<u>PUF</u>		1	1991					180
0	<u>OUU</u>		1	2000					28
1	<u>FLA</u>	1:WD FRAME	1	1991	N	N	0.00	0.00	1,941
2	<u>OPF</u>	1:WD FRAME	1	1991	N	N	0.00	0.00	245
4	<u>SPF</u>	1:WD FRAME	1	1991	N	N	0.00	0.00	371
5	<u>FLA</u>	1:WD FRAME	1	1991	N	N	0.00	0.00	600
8	<u>OPF</u>		1	1991	N	N	0.00	0.00	18

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
0	FN2:FENCES	260 SF	65	4	1991	1992	4	30
0	FN2:FENCES	120 SF	20	6	1992	1992	2	30
0	UB2:UTILITY BLDG	1,406 SF	0	0	1990	1991	3	50
1	CL2:CH LINK FENCE	344 SF	0	0	1964	1965	1	30
2	FN2:FENCES	280 SF	0	0	1975	1976	3	30

Appraiser Notes

FOR THE 2005 TAX ROLL RE 101 AK 1001031 HAS BEEN COMBINED WITH THIS PARCEL PER OWNER'S REQUEST. SINCE THIS LAND HAS ALWAYS BEEN PART OF HOMESTEAD PROPERTY I HAVE TAKEN THE 1994 VALUE AND INCREASED EACH YEAR BY THE APPROPRIATE CPI % TO BRING IN FOR THE 2005 VALUE. LG

RCN-MI= \$622 UNIT COST-MI= \$2.59 RCN-MI= \$400 UNIT COST-MI= \$5.97 NOPY WALL QG=350 QG=350 QG=200 QG=200
2000-02-23 - DOR AUDIT PARCEL

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
14-5225	11/25/2014		1,500	REPLACE 350 LF OF SIDING 300 LF CORNER BOARDS EXTERIOR TRIM AT DOORS AND WINDOWS	
14-5338	11/20/2014		2,200		
14-0538	02/09/2015		2,200	REVISION: REPLACE 2 PANELS WITH 100 AMP PANELS ADD SMOKE DETECTORS AND GFI OUTLETS	
B940077	01/01/1994	11/01/1994	2,000		REPLACE 100 AMP SERVICE

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2015	378,745	18,547	811,437	1,208,729	1,208,729	0	1,208,729
2014	299,443	2,237	742,512	1,044,192	1,013,641	25,000	991,340
2013	304,122	2,237	639,246	945,605	945,605	25,000	920,605

2012	304,122	2,237	503,166	809,525	809,525	0	809,525
2011	299,443	2,237	471,346	773,026	647,087	25,000	622,087
2010	275,611	2,250	592,572	870,433	637,524	25,000	612,524
2009	307,528	2,340	1,195,371	1,505,239	620,763	25,000	595,763
2008	283,807	2,452	1,569,649	1,855,908	620,143	25,000	595,143
2007	476,761	2,513	1,778,559	2,257,833	602,081	25,000	577,081
2006	432,503	2,603	1,072,782	1,507,888	587,396	25,000	562,396
2005	407,526	2,715	959,857	1,370,098	570,287	25,000	545,287
2004	204,426	1,055	403,340	608,821	338,437	25,000	313,437
2003	263,133	1,055	201,670	465,858	332,127	25,000	307,127
2002	228,995	1,055	201,670	431,720	324,343	25,000	299,343
2001	221,208	1,055	201,670	423,933	319,236	25,000	294,236
2000	282,609	1,288	115,240	399,136	309,938	25,000	284,938
1999	226,757	1,033	115,240	343,030	285,825	25,000	260,825
1998	206,651	1,757	115,240	323,648	276,430	25,000	251,430
1997	201,065	1,710	103,716	306,491	267,698	25,000	242,698
1996	137,395	1,169	103,716	242,279	240,552	25,000	215,552
1995	137,395	1,169	103,716	242,279	236,754	25,000	211,754
1994	122,873	1,045	103,716	227,634	227,634	25,000	202,634
1993	122,873	1,045	103,716	227,634	227,634	25,000	202,634
1992	122,873	1,045	103,716	227,634	227,634	25,000	202,634
1991	111,894	1,045	103,716	216,655	216,655	25,000	191,655
1990	129,398	1,045	86,430	216,874	216,874	25,000	191,874
1989	116,923	950	84,990	202,863	202,863	25,000	177,863
1988	100,411	950	77,787	179,148	179,148	25,000	154,148
1987	87,752	950	52,938	141,640	141,640	25,000	116,640
1986	88,140	950	51,858	140,948	140,948	25,000	115,948
1985	85,941	950	25,814	112,705	112,705	25,000	87,705
1984	81,036	950	25,814	107,800	107,800	25,000	82,800
1983	81,036	950	25,814	107,800	107,800	25,000	82,800
1982	82,393	950	25,814	109,157	109,157	25,000	84,157

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed.

Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
8/15/2014	2699 / 664	2,000,000	WD	30

This page has been visited 247,019 times.

Monroe County Property Appraiser
Scott P. Russell, CFA

P.O. Box 1176 Key West, FL 33041-1176