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**Historic Architectural Review Commission  
Staff Report for Item 13**

**To:** Chairman Bryan Green and Historic Architectural Review Commission Members

**From:** Enid Torregrosa, MSHP  
Historic Preservation Planner

**Meeting Date:** November 27, 2018

**Applicant:** Robert Steele, Architect

**Application Number:** H2018-0016

**Address:** #638 United Street

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**Description of Work:**

Major Development Plan- Demolition of existing one-story cbs structure.

**Site Facts:**

The current site has a one-story cbs structure that serves as offices. Originally, the structure was design for medical offices. A side addition containing a garage was added in 2000. The structure has been altered through time, including its original form, roof, front elevation, and fenestrations.

The site was granted with five BPAS unit allocations and the Planning Board approved the proposed Major Development Plan in their October meeting.

**Ordinance Cited on Review:**

- Section 102-217 (3), demolition for contributing and historic structures of the Land Development Regulations.

**Staff Analysis**

The Certificate of Appropriateness proposes the demolition of the existing one-story cbs commercial building. The historic building has lost character-defining features as the structure had undergone alterations through time. The existing building is structurally sound.

It is staff's opinion that the review of the demolition request be established by the criteria under Chapter 102 Section 218 of the LDR's. The criteria state the following:

*(a) The historic architectural review commission shall issue a certificate of appropriateness for an application for demolition:*

- (1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the criteria of section 102-125(1) through (9).*

The structure in question does not present any evidence that it is irrevocably compromised by extreme deterioration. Portions of the existing structure were built more than 50 years ago; therefore, it is a historic resource.

The following is the criteria of section 102-125:

- 1 Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction;*

Staff opines that the structures in question have no distinctive characteristics of a type or method of construction and are not significant to the overall historic character of the urban block, as its original character defining features are lost.

- 2 Is not specifically associated with events that have made a significant contribution to local, state, or national history;*

It is staff's understanding that no significant events have ever happened in the structure. The 1970's City Directory includes that Dr. Jaime Benavides and Dr. Robt Lazarus as the principal physicians on the practice. Dr. Benavides was a surgeon and Dr. Lazarus a family doctor.

- 3 Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past;*

The structure in question, at its current state, has no significant value as part of a development, heritage, or cultural record of the city.

- 4 *Is not the site of a historic event with a significant effect upon society;*

Staff was not able to find any significant historic event associated to the site. The building was built originally as a doctor's office

- 5 *Does not exemplify the cultural, political, economic, social, or historic heritage of the city;*

The structure in question is not an example of any social, cultural, or historic heritage of the city.

- 6 *Does not portray the environment in an era of history characterized by a distinctive architectural style;*

The structure in question has lost all character defining features that should have been made it an example of a distinctive mid-century architectural style.

- 7 *If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif;*

The structure in question is not part of a park or square, but it is located on a major street within the historic district.

- 8 *Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood; and*

Staff opines that the current lot size is unique to the area, which is uncommon to the urban patterns found in the immediate urban context.

- 9 *Has not yielded, and is not likely to yield, information important in history.*

The structure in question will not likely yield important information in history.

Although the proposed removal of the one-story meets the cited criteria for demolition, staff cannot recommend to the Commission the approval of such request, as we find the design for the proposed site inconsistent with many of the current guidelines for new construction.

If the Commission finds the design submitted as part of this requested demolition appropriate to the site, and finds the demolition in compliance with the LDR's regulations, this will be the first of two required readings.





Legend

Google Earth

© 2018 Google



90 ft





**Legend**  
📍 638 United St

📍 638 United St

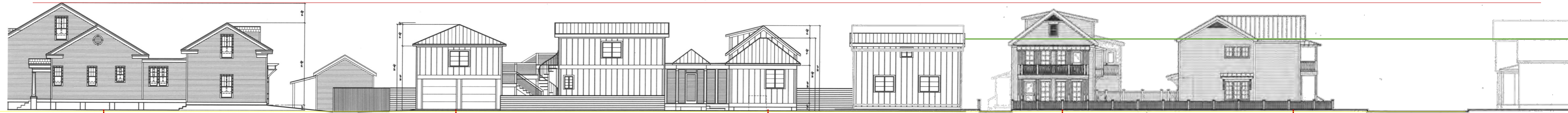
Google Earth

© 2018 Google

100 ft







Proposed Streetscape  
1/8" = 1' - 0"

# Villa Mill Alley West Side Elevation Maximum Heights

707 South Street 27'-9 1/2"

1316 Villa Mill Garage 22'-8 1/2"

1316 Villa Mill Structure 22'-6"

644 United Street 29'-8 1/2"

646 United Street 27'-9"

# APPLICATION

## HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$400 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE



**City of Key West**  
1300 WHITE STREET  
KEY WEST, FLORIDA 33040

HARC COA # <b># 2018-0016</b>	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

**A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL**

ADDRESS OF PROPOSED PROJECT:	638 United Street		
NAME ON DEED:	Land 10031, LLC	PHONE NUMBER	c/o 804-344-0060
OWNER'S MAILING ADDRESS:	c/o Uphoff Investments, LLC 4900 W. Hundred Rd Chester, VA 23831-1623	EMAIL	c/o bobsteele@bobarchitecture.net
APPLICANT NAME:	Robert Steele, FAIA	PHONE NUMBER	804-344-0060
APPLICANT'S ADDRESS:	Principal Architect 108 North First Street Richmond, VA 23219	EMAIL	bobsteele@bobarchitecture.net
APPLICANT'S SIGNATURE:	<i>[Signature]</i>		DATE 11.01.18

**ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.**

FLORIDA STATUTE 837.06. WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.081. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS  RELOCATION OF A STRUCTURE  ELEVATION OF A STRUCTURE   
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES  NO  INVOLVES A HISTORIC STRUCTURE: YES  NO   
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES  NO

**DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.**

**GENERAL:**

Redevelopment of site to construct five single family residences.

**MAIN BUILDING:**

Existing non-contributing, one-story, cbs office building is proposed to be demolished and replaced with five single family residential units. Proposed SFR's will be 1 1/2, 2 and 2 1/2 stories.

**DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):**

Demolition of non-contributing, one-story, cbs office building.

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE  
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS TO HARC@CITYOFKEYWEST-FLGOV

<b>ACCESSORY STRUCTURE(S):</b>	
No existing accessory structures. No accessory structures are proposed.	
<b>PAVERS:</b>	<b>FENCES:</b>
Pavers are proposed for drives and parking spaces per attached site plan.	Proposed fences as per attached site plan.
<b>DECKS:</b>	<b>PAINTING:</b>
Proposed decks are located around pool areas as per attached site plan.	Proposed exterior paint colors are provided with attached application.
<b>SITE (INCLUDING GRADING, FILL, TREES, ETC.):</b>	<b>POOLS (INCLUDING EQUIPMENT):</b>
Site will have existing asphalt removed and landscaped.	Pools are proposed for each residential unit as shown on site plan.
<b>ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC.):</b>	<b>OTHER:</b>
Proposed a/c units are roof mounted and out of public view.	

OFFICIAL USE ONLY:		HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION		INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION		INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION		INITIAL:
REASONS OR CONDITIONS:			
STAFF REVIEW COMMENTS:			
FIRST READING FOR DEMO:		SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:		HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.





CITY OF KEY WEST
CERTIFICATE OF APPROPRIATENESS
APENDIX FOR DEMOLITIONS
APPLICATION NUMBER H- - - - -

H 2018-0016

This document applies only to those properties located within the City of Key West Historic Zoning Districts, properties outside the historic zoning districts which are listed as contributing in the Historic Architectural Survey and or properties listed in the National Register of Historic Places.

Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitation and the Key West's Historic Architectural Guidelines. Once submitted, the application shall be reviewed by staff for completeness and scheduled for presentation to the Historic Architectural Review Commission for the next available meeting, unless the demolition request is for a bona fide Code Compliance case, in which case staff may review and approve the demolition request. The applicant must be present at this meeting. Any person that makes changes to an approved Certificate of Appropriateness must submit a new application with such modifications.

The filing of this application does not ensure approval as submitted. Applications that do not possess the required submittals or documentation will be considered incomplete and will not be reviewed for approval.

CRITERIA FOR DEMOLITIONS

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies);

- (1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:
(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

Four horizontal lines for handwritten notes.

OR THAT THE BUILDING OR STRUCTURE;

- (a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

This structure has neither an aesthetic or historic distinctive style.

- (b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.

Research revealed no significant contribution. Structure was previously a medical clinic before becoming the administrative office for Dion's Oil.

- (c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.

Research revealed no significant contribution to the city with regard to city, state, nation or person.

- (d) Is not the site of a historic event with a significant effect upon society.

Research revealed no historic event occurred on this property.

- (e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.

This structure does not exemplify the cultural, political, economic, social or historic heritage of the city.

- (f) Does not portray the environment in an era of history characterized by a distinctive architectural style.

The structure does not embody a distinctive architectural style.

- (g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.

The structure is not part of a square park or other distinctive area.

- (h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

The structure does not have a unique location or a singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city. Nor does it exemplify the best remaining architectural type in the neighborhood.

- (i) Has not yielded, and is not likely to yield, information important in history.

The structure has not yielded, and is not likely to yield, information important in history.





CITY OF KEY WEST  
CERTIFICATE OF APPROPRIATENESS  
APPENDIX FOR DEMOLITIONS

APPLICATION NUMBER H- - - -  
A-2018-0016

(2) For a contributing historic or noncontributing building or structure, a complete construction plan for the site is approved by the Historic Architectural Review Commission.

(a) A complete construction plan for the site is included in this application

Yes Number of pages and date on plans \_\_\_\_\_  
 No Reason Will provide after design approval

The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies);

(1) Removing buildings or structures that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.

The removal of the commercial cbs structure will not diminish the overall historic character of the district or neighborhood.

(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space; and

The removal of the commercial cbs will not destroy the historic relationship between buildings or structures and open space.

AND

(3) Removing an historic building or structure in a complex; or removing a building facade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

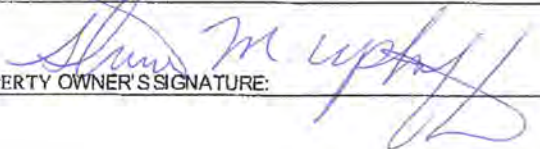
This is a request for the demolition of the whole structure of which has no defining historic character.

(4) Removing buildings or structures that would otherwise qualify as contributing.

The existing structure has been significantly altered and added to in the 1970's. However, neither the original 1960's structure nor the revisions would qualify as contributing.

**Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.**

*I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit, approval **PRIOR** to proceeding with the work outlined above and that there will be a final inspection required under this application. I also understand that any changes to an approved Certificate of Appropriateness must be submitted for review.*

 PROPERTY OWNER'S SIGNATURE:	10/25/18 Steven M. Uphoff DATE AND PRINT NAME:
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**OFFICE USE ONLY**

BUILDING DESCRIPTION:			
<input type="checkbox"/>	Contributing	Year built _____	Style _____ Listed in the NRHP _____ Year _____
<input type="checkbox"/>	Not listed	Year built _____	Comments _____

<input type="checkbox"/> Reviewed by Staff on _____ <input type="checkbox"/> Notice of hearing posted _____ First reading meeting date _____ Second Reading meeting date _____ <b>TWO YEAR EXPIRATION DATE</b> _____	Staff Comments
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**Historic Architectural Review Commission  
Staff Report for Item 10**

**To:** Chairman Bryan Green and Historic Architectural Review  
Commission Members

**From:** Enid Torregrosa, MSHP  
Historic Preservation Planner

**Meeting Date:** July 26, 2016

**Applicant:** Todd Kemp, Owner

**Application Number:** H16-03-0047

**Address:** #1316 Villa Mill Alley

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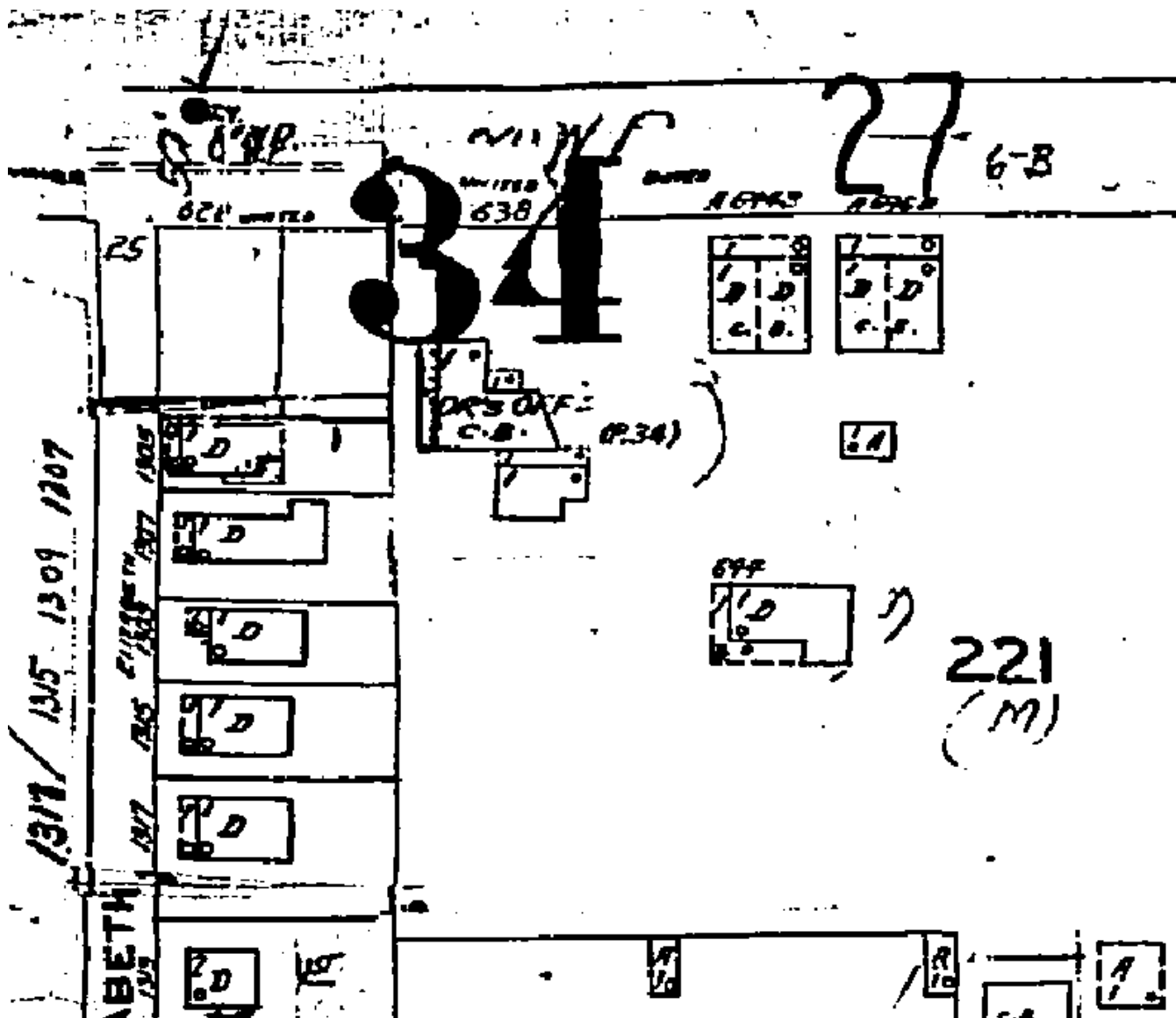
**Description of Work:**

New addition over existing garage. New staircases.

**Site Facts:**

The existing garage was built in 2014. The one-story frame structure has a hip roof covered with metal v-crimp panels. The principal structures in the residential complex are two-story. Villa Mill Alley was not plotted on the 1962 Sanborn map and aerial photos from 1972 depict a dead end alley with only one structure facing it. The alley was created in the mid 1970's. **The majority of the buildings in the adjacent context are two and a half and two-story structures and the alley is a dead end. Only a one-story historic structure is located on the alley, which was relocated from another parcel.**

# SANBORN MAPS



1962 Sanborn Map

# PROJECT PHOTOS





**638 United Street circa 1965. Monroe County Library.**

## 638 United Street Residential Development



638 United Street – Project site. Administrative office for Dion's



638 United Street – looking east



United Street looking down Villa Mill Alley





Corner of Villa Mill Alley and United Street



Conch homes across United Street



View west from subject site at corner of Villa Mill & United



United and Elizabeth Streets





1305 Elizabeth Street – 1,089 sq. ft.



1307 Elizabeth Street - 941 sq. ft.





1309 Elizabeth Street – 2,254 sq. ft. FLA



1306 Villa Mill – 3/2 2,309 sq. ft.





1306 Villa Mill – front entry showing encroachment by 638 United St.



1309 Villa Mill – 5 bd/4 baths, 3,529 sq. ft.



1309 Villa Mill





1311 Villa Mill – 4 bd/3.5 bath – 2,236 sq. ft.



1311 Villa Mill – Rear yard





1316 Villa Mill – 4 bd/4 bath - 4,055 sq. ft.



1316 Villa Mill

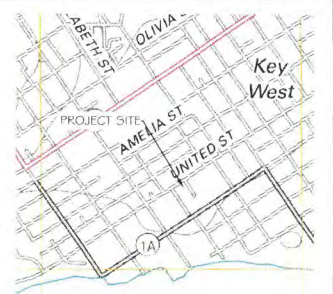




# SURVEY



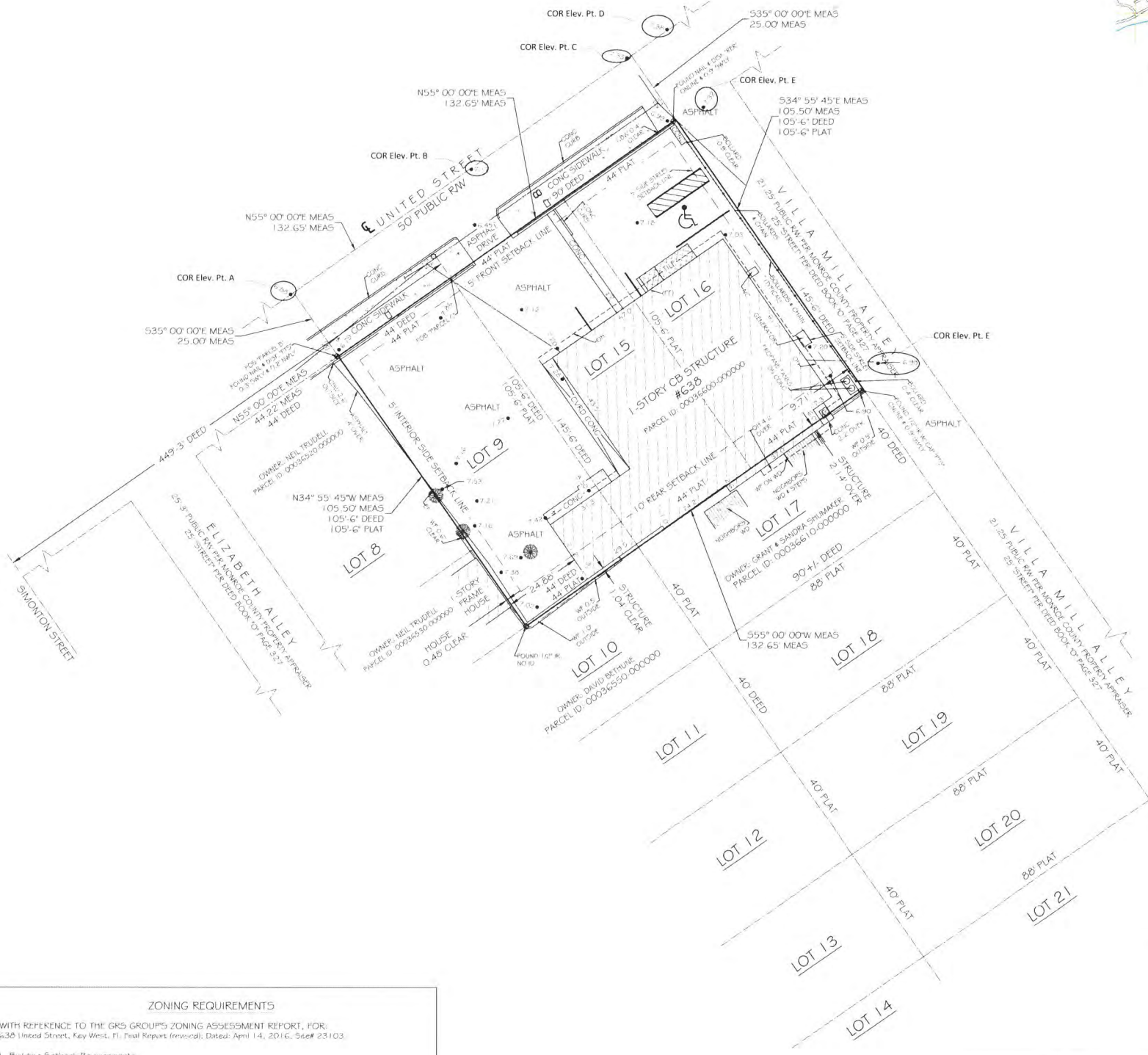
# ALTA / NSPS LAND TITLE SURVEY



LOCATION MAP - NTS SEC. 06-T685-R25E



ASSUMED



### ZONING REQUIREMENTS

WITH REFERENCE TO THE GRS GROUPS ZONING ASSESSMENT REPORT, FOR 638 United Street, Key West, FL. Final Report (revised), Dated: April 14, 2016. Sheet 231/03.

- Building Setback Requirements:**
  - Front/Side Street: 5 Feet
  - Rear: 5 Feet
  - Corner: 10 Feet
- Height Restrictions:**
  - Height: 30 Feet
- Area Requirements:**
  - Minimum Lot Area: 5,000 SF
  - Minimum Lot Width: 50 Feet
  - Minimum Lot Depth: 100 Feet
- Density Requirements:**
  - Maximum Floor Area Ratio: 1.0
  - Maximum Building Coverage: 50%
  - Maximum Impervious Coverage: 60%
- Parking Requirements:**
  - Parking Spaces Formula: 1 space per each 300 square feet of gross floor area (0.999/300 = 1/300)
  - Parking Spaces Required: 17 Total Parking Spaces
  - Existing Parking Spaces: 2 Total Parking Spaces

### TITLE REVIEW NOTES

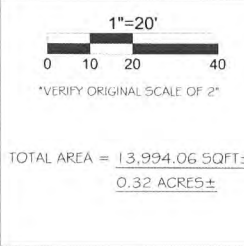
WITH REFERENCE TO THE FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE, CUSTOMER REFERENCE NO. 15-1283, FIRST AMERICAN FILE NO. 1056-3482606, EFFECTIVE DATE: DECEMBER 10, 2015 AT 8:00 AM, I HEREBY CERTIFY AS FOLLOWS:

**SCHEDULE BII - PART II:**

- Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date but prior to the date the proposed report is prepared for issue of record or interest or mortgage thereon covered by the Commitment. **NOT A SURVEY MATTER**
- Any rights, interests, or claims of parties in possession of the land not shown by the public records. **NOT A SURVEY MATTER**
- Any encroachment, easement, violation, variation or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the land. **DEPICTED ON SURVEY**
- Any lien, for services, labor, or materials in connection with improvements, repairs or renovations provided before, on, or after Date of Policy, not shown by the public records. **NOT A SURVEY MATTER**
- Any disputes as to the boundaries claimed by a change in the location of any water body within or adjacent to the land prior to Date of Policy, and any adverse claim to all or part of the land that is, at Date of Policy, or was previously under water. **NOT APPLICABLE TO SUBJECT PROPERTY**
- Taxes or special assessments not shown as liens in the public records or in the records of the local tax collecting authority, at Date of Policy. **NOT A SURVEY MATTER**
- Any minerals or mineral rights leased, granted or retained by current or prior owners, (without right of entry) (as to Parcels 12, 14 and 15). **NOT A SURVEY MATTER**
- Taxes and assessments for the year 2016, and subsequent years, which are not yet due and payable. **NOT A SURVEY MATTER**
- NOTES FOR STANDARD EXCEPTIONS:** Standard Exceptions for parties in possession, for mechanics liens, and for taxes or special assessments not shown as liens in the public records shall be deleted upon receipt of an acceptable Non-Lien and Possession Affidavit establishing who is in possession of the lands, that there are no liens or encumbrances upon the lands other than as set forth in the Commitment, that no improvements, to the lands have been made within the past 90 days or are contemplated to be made before closing that will not be paid in full, and that there are no unrecorded taxes or assessments that are not shown as existing liens in the public records. Any Policies issued hereunder may be subject to a Special Exception for matters disclosed by said affidavit. **NOT A SURVEY MATTER**
- Standard Exceptions for questions of survey may be deleted upon receipt and review of a properly certified Survey meeting the Florida Minimum Technical Standards for all land surveys dated no more than 90 days prior to closing or such other proof as may be acceptable to the Company. Any Policies issued hereunder may be subject to a Special Exception for matters disclosed by said survey or proof. **DEPICTED ON SURVEY**
- Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s). (as to Parcels 6, 8, 12, 14, 21, 24, 25 and 26). **NOT A SURVEY MATTER**
- Any claim that the title is subject to a trust or lien created under the Perishable Agricultural Commodities Act (7 U.S.C. §9499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §5181 et seq.) or under similar state laws. (As to Parcels 1, 2, 6, 7, 9, 10, 11, 12, 13, 14, 22, 23, 24, 25 and 26). **NOT A SURVEY MATTER**

### SURVEYOR NOTES

- BEARING BASE: ALL BEARINGS ARE BASED ON N55°00'00"E ASSUMED ALONG THE CENTERLINE OF UNITED STREET.
- ALL ANGLES DEPICTED ARE 90 DEGREES UNLESS OTHERWISE INDICATED.
- ALL UNITS ARE SHOWN IN SURVEY FEET.
- ADDRESS: 638 UNITED STREET, KEY WEST, FL 33040.
- FLOOD ZONE CLASSIFICATION: COMMUNITY NO. 1, 20168; MAP NO. 12087C-1516K; MAP DATE: 02-18-09; FIRM REVISION DATE: 06-05-15; FLOOD ZONE: X SHADDED; BASE ELEVATION: N/A.
- THE CURRENT ZONING CLASSIFICATION AND BUILDING SETBACK REQUIREMENTS, HEIGHT AND FLOOR SPACE AREA RESTRICTIONS AS SET FORTH IN THAT CLASSIFICATION, OF THE SUBJECT PROPERTY ARE INDICATED ON THE SURVEY, REFERENCING THE SAID REPORT BY THE GRS GROUP SUPPLIED TO FLORIDA KEYS SURVEYING BY THE CLIENT AND/OR THEIR AGENT.
- SQUARE FOOTAGE OF EXTERIOR FOOTPRINT OF BUILDINGS: 1-STORY CB STRUCTURE #638 = 5095.00 SQFT±. THE BUILDING HEIGHT IS 13.96 FEET ABOVE THE ADJACENT GRADE, MEASURED AT THE SOUTHWESTERN CORNER OF THE BUILDING.
- THERE ARE 1 DEDICATED STRIPED REGULAR PARKING SPACES AND 1 DEDICATED STRIPED HANDICAP PARKING SPACE.
- THE LOCATION OF UTILITIES EXISTING ON OR SERVING THE SUBJECT PROPERTY SHOWN ON THIS SURVEY WAS DETERMINED BY OBSERVED EVIDENCE ONLY, AS PER THE CLIENT'S REQUEST.
- THERE WAS NO OBSERVED EVIDENCE OF EARTH MOVING WORK AT THE TIME OF THE SURVEY.
- THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AT THE TIME OF THE SURVEY.
- THERE WAS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL AT THE TIME OF THE SURVEY.
- NO WETLAND AREAS WERE IDENTIFIED TO SURVEYOR AT THE TIME OF SURVEY, AND NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE FIELD BY THE SURVEYOR AT THE TIME OF SURVEY.
- ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929).
- FINISH FLOOR ELEVATION = 8.6' (TAKEN AT THE DOOR THRESHOLD LOCATION AS INDICATED ON THE SURVEY MAP AS (FF)). THE INTERIOR FLOOR LEVELS WERE NOT VERIFIED.
- BENCHMARK DESCRIPTION: NATIONAL GEODETIC SURVEY BENCHMARK '872 4580 TIDAL 25' (P.I.D. A0004A), ELEVATION = 9.11' (NGVD 1929).
- REVISION (1) - 06/05/2016 - REVISED SURVEYOR NOTES, TITLE REVIEW NOTES & ADDED ZONING REQUIREMENTS.
- REVISION (2) - 02/01/2018 - ADDED SPOT GRADE ELEVATIONS AND TREES AS MEASURED AND LOCATED IN THE FIELD ON 01/23/2018.



TOTAL AREA = 13,994.06 SQFT±  
0.32 ACRES±

[Symbol]	PERMITS
[Symbol]	WATCH BASIN
[Symbol]	IRRAWADDI DAM/PALE
[Symbol]	CONCRETE UTILITY POLE
[Symbol]	MANHOLE
[Symbol]	TREE HYDRANT
[Symbol]	WALL
[Symbol]	WATER PUMP
[Symbol]	MANHOLE
[Symbol]	SEWER CLEANOUT
[Symbol]	HANDICAP MANHOLE
[Symbol]	SEWER
[Symbol]	TELEPHONE MANHOLE
[Symbol]	WATER VALVE
[Symbol]	WATER METER
[Symbol]	MONITORING WELL
[Symbol]	WOOD UTILITY POLE
[Symbol]	METAL SUPPORT COLUMN
[Symbol]	OVERHEAD UTILITY LINES
[Symbol]	LIGHT POLE
[Symbol]	BELOW-GRADE UTILITY POLE
[Symbol]	SPOT GRADE ELEVATION (TYPICAL)
[Symbol]	TREE (LAWN SPECIES)

### LEGAL DESCRIPTION

"PARCEL 15" WITH REFERENCE TO THE FIRST AMERICAN TITLE INSURANCE COMPANY EXHIBIT A, CUSTOMER REFERENCE NO. 15-1283, FIRST AMERICAN FILE NO. 1056-3482606, EFFECTIVE DATE: DECEMBER 10, 2015 AT 8:00 AM:

Parcel A: On the Island of Key West and known on Wm. A. Whitehead's Map of said Island, delineated in February A.D. 1829, as a Part of Tract 17, but now better known and described as Lots 18, 19 and 20 according to D. T. Sweeney's Diagram of Part of Square 5, Tract 17, recorded in Book O, Page 327, Public Records of Monroe County, Florida.

Also:

Parcel B: On the Island of Key West and its Part of Tract 17, according to Whitehead's Map of 1829, but better known as Subdivision No. 9 according to D. T. Sweeney's Diagram of Part of Lot 5 in said Tract 17, recorded in Book O, Page 327, being described by metes and bounds as follows: Commencing at a point on United Street 44 feet from the corner of United Street and a 25 foot street and runs Northeastly on United Street 44 feet; thence runs Southeastly 105 feet; thence runs Northwestly 44 feet; thence runs Northwestly 105 feet, 6 inches out to United Street, the Point of Beginning.

Also:

Parcel C: On the Island of Key West and being known as Part of Tract 17, according to Wm. A. Whitehead's Map of the Island of Key West, delineated in February A.D. 1829, but better known as Lots 15, 16 and 17, of Sweeney's Subdivision of Part of Tract 17, described by metes and bounds as follows: Commencing at a point on the Southeastly side of United Street, distant 449 feet, 3 inches Northeastly from the corner of the intersection of Simonton and United Streets; thence at right angles and in a Southeastly direction a distance of 145 feet, 6 inches; thence at right angles in a Northeastly direction 90 feet, more or less, to an alley; thence at right angles in a Northwestly direction 145 feet, 6 inches out to United Street; thence at right angles and along the Southeastly side of United Street, in a Southeastly direction a distance of 90 feet, more or less, to the Point of Beginning.

Less and except from Parcels A, B and C above the following described property:

On the Island of Key West and known on Wm. A. Whitehead's Map of said Island, delineated in February A.D., 1829, as a Part of Tract 17, but now is better known and described as Lots 17, 18, 19 and 20, according to D. T. Sweeney's Diagram of Part of Square 5, Tract 17, recorded in Book O, Page 327, Public Records of Monroe County, Florida.

TO: LAND 10031, LLC as to a 11.077% interest; LAND 2709, LLC as to a 4.451% interest; LAND 113, LLC as to a 13.353% interest; LAND 1701, LLC as to a 11.077% interest; LAND 5621, LLC as to a 22.67% interest; LAND 7029, LLC as to a 11.644% interest; LAND 2421, LLC as to a 9.611% interest; LAND 4027, LLC as to a 13.410% interest; and LAND 6351, LLC as to a 15.1% interest, in common among all of the abovesaid LLCs, Capital One National Association, its successors and/or assigns as their interests may appear, and First American Title Insurance Company.

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20 OF TABLE A. THE FIELD WORK WAS COMPLETED ON MARCH 3, 2016.

DATE OF MAP: APRIL 1, 2016.

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR THEIR REPRESENTATIVE JUROR. SURVEYOR HAS NOT BEEN PREPARED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAS SURVEYOR BEEN REQUIRED TO DO SO. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT REQUIRED FROM THE SURVEYOR SHALL BE THE SURVEYOR'S RESPONSIBILITY. THE BOUNDARY SHOWN HEREON REPRESENTS THE SURVEYOR'S OPINION OF THE BOUNDARY LINE. THE MEAN HIGHER WATER LINE WAS NOT DETERMINED FOR THIS SURVEY. THE HAPPING MEAN HIGHER WATER LINE IS SHOWN FOR REFERENCE ONLY.

WRITTEN CERTIFICATE OF SURVEYOR'S QUALIFICATIONS AND STATEMENT OF STANDARDS OF PRACTICE AS SET FORTH IN THE FLORIDA STATUTES ON PROFESSIONAL SURVEYING AND MAPPING CHAPTER 471, FLORIDA STATUTES, PART 471.01, CHAPTER 471.02, FLORIDA STATUTES AND CHAPTER 177, FLORIDA STATUTES.

NOTE: I HAVE WITHIN MY POSSESSION AND CONTROL ALL ORIGINAL SURVEY DATA AND RECORDS OF THIS SURVEY.

DATE: 02/01/2018

BY: [Signature]

FLORIDA KEYS LAND SURVEYING  
13860 OVERSEAS HIGHWAY  
SUGARLOAF KEY, FL 33042  
PHONE: (305) 394-3690  
EMAIL: FLKSL@aol.com  
WWW.FLORIDAKEYSLANDSURVEYING.NET

SCALE: 1"=20'  
TERRITORY DATE: 03/03/2016  
REVISION DATE: 02/01/2018  
SHEET: 1 OF 1  
DRAWN BY: MFB  
CHECKED BY: EAL  
JOB NO.: 16-106

# PROPOSED DESIGN



**ABBREVIATIONS**

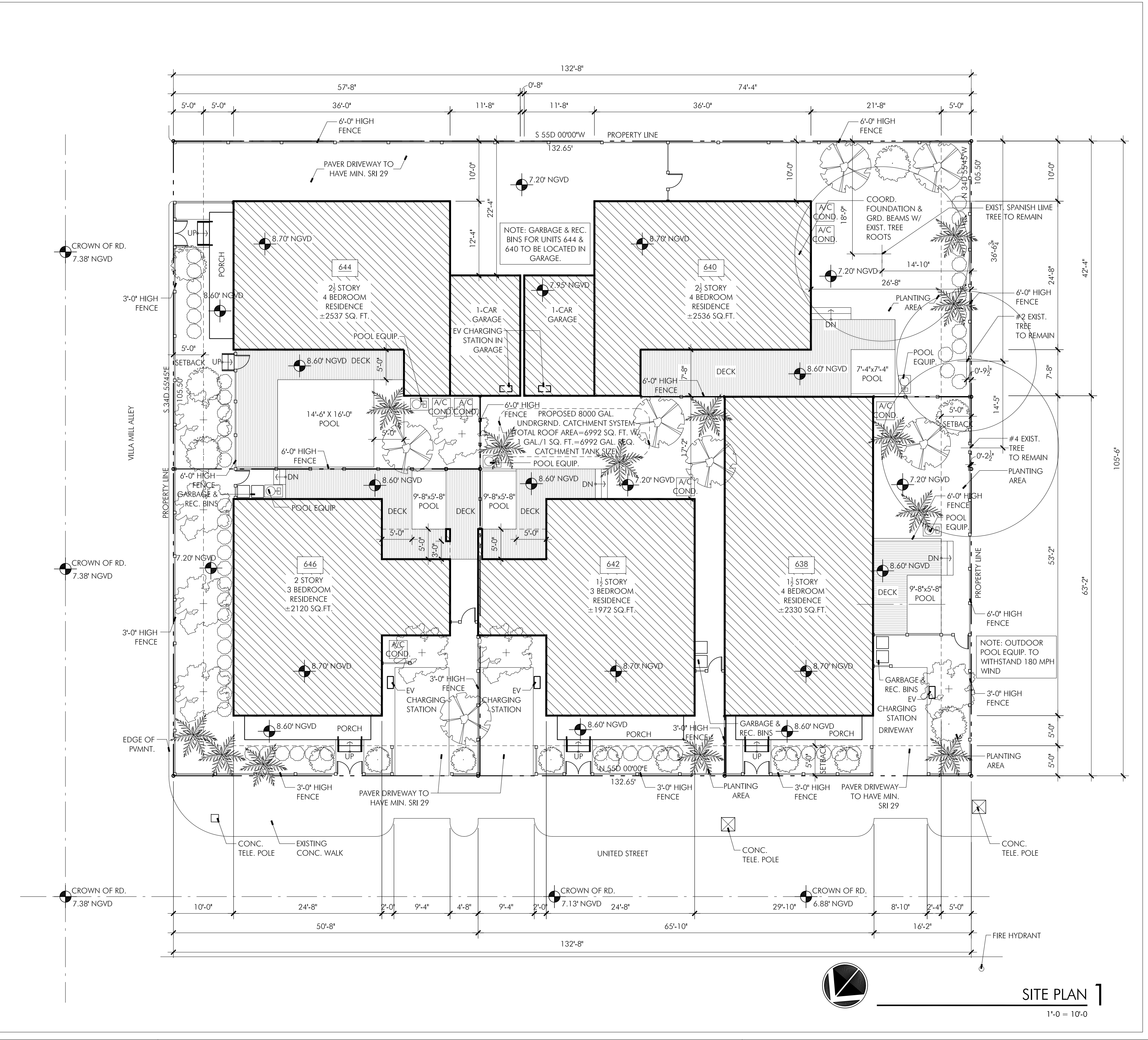
A.B. ANCHOR BOLT	MECH. MECHANICAL
ACC. ACCESSORY	MTL. METAL
A.C.T. ACUSTICAL CEILING TILE	MFR. MANUFACTURER
A.D. AREA DRAIN/ACCESS DOOR	MIN. MINIMUM
ADJ. ADJACENT	MISC. MISCELLANEOUS
A.F.F. ABOVE FINISH FLOOR	M.O. MASONRY OPENING
AL. ALUMINUM	MOD. MODULE, (AR)
ALT. ALTERNATE	MUL. MULLION
APPROX. APPROXIMATE	N. NORTH
ARCH. ARCHITECTURAL	N.I.C. NOT IN CONTRACT
AUTO. AUTOMATIC/AUTOMOBILE	No. NUMBER
	N.T.S. NOT TO SCALE
BD. BOARD	O.C. ON CENTER
BLDG. BUILDING	O.D. OUTSIDE DIAMETER
BM. BEAM	OFF. OFFICE
BOT. BOTTOM	OH. OVERHEAD
BRK. BRICK	OPG. OPENING
BDRM. BEDROOM	PERP. PERPENDICULAR
BRG. BEARING	PL. PLATE
BSMT. BASEMENT	PLAM. PLASTIC LAMINATE
	PLAS. PLASTER/PLASTIC
CAB. CABINET	PLBG. PLUMBING
C.C. CENTER TO CENTER	PLYWD. PLYWOOD
CLG. CEILING	PNT. PAINT
CEM. CEMENT	PTD. PARTITION
CER. CERAMIC	PTM. PARTITION
C.F. CUBIC FEET	PREFAB. PREFABRICATED
C.F.M. CUBIC FEET PER MINUTE	PROJ. PROJECT
C.Y. CUBIC YARD	P.S.F. POUNDS PER SQUARE
C.I. CAST IRON	FOOT FOOT
C.J. CONTROL JOINT	POINT POINT
C.L. CENTER LINE	P.S.I. POUNDS PER SQUARE INCH
C.M.U. CONCRETE MASONRY UNIT	P.T.D. PAPER TOWEL DISPENSER
COL. COLUMN	Q.T. QUARRY TILE
CONC. CONCRETE	QTR. QUARTER
CONT. CONTINUOUS	R. RADIUS/RISER
CORR. CORRIDOR	R.D. ROOF DRAIN
C.T. CERAMIC TILE	REF. REFERENCE
CTR. CENTER	REFR. REFRIGERATOR
	REIN. REINFORCE
DBL. DOUBLE	REQD. REQUIRED
D.F. DRINKING FOUNTAIN	RES. RESILIENT
DIA. DIAMETER	REV. REVISED/REVERSE
DIAG. DIAGONAL	RM. ROOM
DIM. DIMENSION	R.O. ROUGH OPENING
DN. DOWN	R.O.W. RIGHT OF WAY
DR. DOOR	S.C. SOLID CORE
DS. DOWNSPOUT	SCH. SCHEDULE(D)
DTL. DETAIL	SEAL. SEALANT
DWG. DRAWING	SECT. SECTION
	S.A. SOAP DISPENSER
EA. EACH	S.F. SQUARE FEET
E.J. EXPANSION JOINT	SHT. SHELF
EL. ELEVATION	S&R SHELF & ROD
ELEV. ELEVATOR	SHT. SHEET
ELEC. ELECTRICAL	SIM. SIMILAR
ENGR. ENGINEER	S.M. SHEET METAL
EQ. EQUAL	SPEC. SPECIFICATION
EQUIP. EQUIPMENT	SQ. SQUARE
EXH. EXHAUST	S.S. STAINLESS STEEL
EXIST. EXISTING	STD. STANDARD
	STL. STEEL
EXP. EXPANSION	STO. STORAGE
EXT. EXTERIOR	SUP. SUPPLY
	SUSP. SUSPENDED
F.B.O. FINISHED BY OWNER	SW. SWITCH
F.D. FLOOR DRAIN	SYM. SYMMETRICAL
FENL. FOUNDATION	SYS. SYSTEM
F.A. FIRE EXTINGUISHER	T. TREAD
F.A.C. FIRE EXTINGUISHER CABINET	T&B TOP & BOTTOM
FIN. FINISH	TONGUE & GROOVE
FLT. FIXTURE	T.B. TOP OF FOOTING
FLR. FLOOR	T.C. TOP OF CURB
FLUOR. FLUORESCENT	TEL. TELEPHONE
F.P.M. FEET PER MINUTE	TEMP. TEMPERED
FR. FRAME	THK. THICKNESS
FT. FOOT/FEET	T.O.B. TOP OF BLOCK
FTG. FOOTING	T.O.F. TOP OF FOOTING
FUR. FURRING	T.O.S. TOP OF SLAB
FURN. FURNITURE	T.O.W. TOP OF WALL
	TYP. TYPICAL
GA. GAUGE	U.H. UNIT HEAT
GAL. GALLON	UL. UNDERWRITERS
GALV. GALVANIZED	LABORATORIES
G.A. GRAB BAR	V. VOLT/VINYL
G.B. GENERAL CONTRACTOR	VAR. VARNISH/VARIES
GEN. GENERAL	V.C.T. VINYL COMPOSITION TILE
GL. GLASS	VERT. VERTICAL
GR. GRADE	VEST. VESTIBULE
GYP. GYPSUM	V.S. VENT STACK
	W/ WITH
H. HANDICAP	W/O WITHOUT
H.B. HOSE BIB	W.C. WATER CLOSET
HD.BD. HARD BOARD	WD. WOOD
HDWR. HARDWARE	WDW. WINDOW
H.M. HOLLOW METAL	W.H. WATER HEATER
HOR. HORIZONTAL	W.W.F. WELDED WIRE FABRIC
H.P. HIGH POINT	YD. YARD
HT. HEIGHT	@ AT
HTR. HEATER	# NUMBER
H.W. HOT WATER	/ PER
	KIT. KITCHEN
I.D. INSIDE DIAMETER	LAM. LAMINATE(D)
IN. INCH	LAV. LAVATORY
INC. INCLUDE, (ING)	LB. POUND
INST. INSTALLED	LOC. LOCATION
INSUL. INSULATE, (ING), (ION)	LT. LIGHT
INT. INTERIOR	L.W. LIGHT WEIGHT
	MIR. MIRROR
J.C. JANITOR CLOSET	MAS. MASONRY
JT. JOINT	MAT. MATERIAL
JST. JOIST	MAX. MAXIMUM

**SYMBOLS**

	DETAIL MARK
	WALL SECTION MARK
	BUILDING ELEVATION MARK
	INTERIOR ELEVATION MARK
	ROOM IDENTIFICATION MARK
	DOOR IDENTIFICATION MARK
	WINDOW IDENTIFICATION MARK
	ELEVATION HEIGHT DATUM
	PARTITION/WALL MARK
	GRID IDENTIFICATION MARK & CENTERLINE

**MATERIALS**

	EARTH
	GRAVEL
	CONCRETE
	C.M.U.
	BRICK
	SAND, MORTAR OR GYPSUM
	STEEL
	ALUMINUM
	RIGID INSULATION
	PLYWOOD
	FINISH WOOD
	CONTINUOUS WOOD BLOCKING
	INTERMITTENT WOOD BLOCKING
	GLASS (ENLARGED)
	BATT INSULATION



**SITE PLAN**  
1"=10'-0"

SITE DATA	PERMITTED	EXISTING	PROPOSED	COMPLIANCE
ZONING	HRO	HRO	HRO	COMPLIES
MIN. LOT SIZE	> 5,000 SF	13,996 SF	NO CHANGE	COMPLIES
COMMERCIAL FAR	1.0 (13,926 SQ. FT.)	0.34 (4,745 SQ. FT.)	0.0 (0 SQ. FT.)	COMPLIES
MR. DENSITY	5.1 @ 16/ ACRE	1 UNITS	5 UNITS	COMPLIES
AH - COMPACT INFILL BONUS	1 MR, 3 AH UNITS	0 UNITS	0 UNITS	COMPLIES
TOTAL RESIDENTIAL UNITS	5	0 UNITS	5	COMPLIES
MAX HEIGHT	30'	<20'	29' 10-1/2"	COMPLIES
OPEN SPACE RATIO	35% (4,899 SQ. FT.)	< 5%	35.83% (5,015 S.F.)	COMPLIES
LANDSCAPE	20% (2,799 SQ. FT.)	< 5%	32.23% (4,511 SQ. FT.)	COMPLIES
BUILDING COVERAGE	50% (6,998 SQ. FT.)	34% (4,745 SQ. FT.)	46.0% (6,445 SQ.FT.)	COMPLIES
IMPERVIOUS SURFACE RATIO	0.60 (8,398 SQ. FT.)	- 98%	0.60 (8,444 SQ. FT.)	COMPLIES
SETBACK:				
FRONT	5 FT.	33 FT.	5 FT.	COMPLIES
SIDE	5 FT.	50 FT.	5 FT.	COMPLIES
STREET SIDE	5 FT.	10 FT.	5 FT.	COMPLIES
REAR	10 FT.	11 FT.	10 FT.	COMPLIES

**GENERAL NOTES**

- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED. ELEVATIONS ARE TO SUB FLR. AND TOP OF INTERIOR FRAMING UNLESS OTHERWISE NOTED. CEILING HEIGHT DIMENSIONS ARE TO BE TO FRAMING SURFACES UNLESS NOTED OTHERWISE.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE PROCEEDING WITH THE INSTALLATION OF ANY MECHANICAL, PLUMBING AND ELECTRICAL WORK. ANY DISCREPANCY BETWEEN THE ARCHITECTS AND CONSULTING ENGINEERS DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER OR ARCHITECT.
- DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.
- ALL FRAMING MEMBERS SHALL BE SO ARRANGED AND SPACED AS TO PERMIT INSTALLATION OF PIPE, CONDUITS AND DUCTWORK WITH A MINIMUM OF CUTTING. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACES, BACK-UP PLATES AND SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL AND MISCELLANEOUS EQUIPMENT.
- ELECTRICAL CONTRACTOR TO VERIFY EXISTING ELECTRICAL CAPACITY PRIOR TO SUBMITTING BID, AND TO FURNISH NECESSARY DRAWINGS TO BUILDING DEPARTMENT AND PAY FOR ALL NECESSARY INCOMING SERVICE AND PAY FOR ANY RELATED FEES NECESSARY FOR HOOK-UP. ALL ELECTRICAL WORK IS TO CONFORM WITH FIRE UNDERWRITERS CODES AND ALL LOCAL CODES IN JURISDICTION.

**DRAWING INDEX**

A101	PROJECT DATA, SITE PLAN & NOTES
A201	FIRST FLOOR PLAN - UNIT 638
A202	2ND FLOOR & ROOF PLANS - UNIT 638
A301	EXTERIOR ELEVATIONS - UNIT 638
A201	FIRST FLOOR PLAN - UNIT 640
A202	SECOND FLOOR PLAN - UNIT 640
A303	3RD FLOOR & ROOF PLANS - UNIT 640
A201	EXTERIOR ELEVATIONS - UNIT 640
A201	FIRST FLOOR PLAN - UNIT 642
A202	2ND FLOOR & ROOF PLANS - UNIT 642
A301	EXTERIOR ELEVATIONS - UNIT 642
A201	FIRST FLOOR PLAN - UNIT 644
A202	SECOND FLOOR PLAN - UNIT 644
A303	3RD FLOOR & ROOF PLANS - UNIT 644
A301	EXTERIOR ELEVATIONS - UNIT 644
A201	FIRST FLOOR PLAN - UNIT 646
A202	2ND FLOOR & ROOF PLANS - UNIT 646
A301	EXTERIOR ELEVATIONS - UNIT 646
A302	UNITED ST. & VILLA MILL ALLEY ELEVATIONS

**BUILDING DATA**

**LOCATION**  
638 - 646 UNITED STREET  
KEY WEST, FLORIDA  
**BUILDING CODE**  
2014 FLORIDA BUILDING CODE

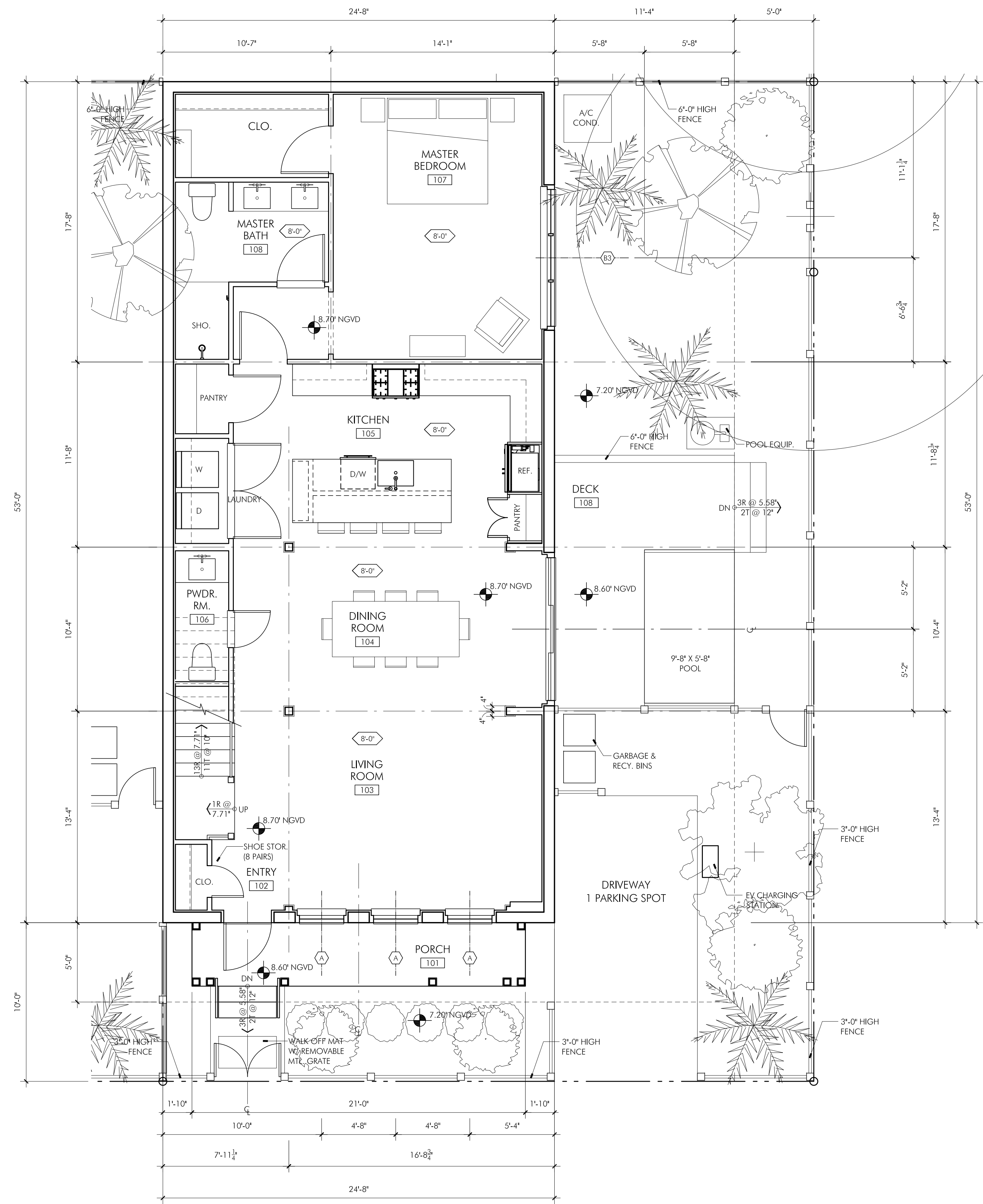
**ZONING**  
KEY WEST  
HRO (Historical Residential Office)  
**SETBACK REQUIREMENTS:**  
FRONT 5'  
SIDE 5'-2"  
STREET SIDE 5'-2"  
REAR YARD 10'

**SQUARE FOOTAGE:**

638		
1ST FLR.	1,307 SQ. FT.	
2ND FLR.	1,023 SQ. FT.	
TOTAL:	2,330 SQ. FT.	
PORCH:	84 SQ. FT.	
DECK:	174 SQ. FT.	
640		
1ST FLR.	855 SQ. FT.	
2ND FLR.	1,154 SQ. FT.	
3RD FLR.	527 SQ. FT.	
TOTAL:	2,536 SQ. FT.	
GARAGE:	234 SQ. FT.	
PORCH:	89 SQ. FT.	
DECK:	449 SQ. FT.	
642		
1ST FLR.	1,032 SQ. FT.	
2ND FLR.	940 SQ. FT.	
TOTAL:	1,972 SQ. FT.	
PORCH:	84 SQ. FT.	
DECK:	294 SQ. FT.	
644		
1ST FLR.	947 SQ. FT.	
2ND FLR.	1,154 SQ. FT.	
3RD FLR.	436 SQ. FT.	
TOTAL:	2,537 SQ. FT.	
GARAGE:	234 SQ. FT.	
1ST FLR. DECK:	550 SQ. FT.	
1ST FLR. PORCH:	84 SQ. FT.	
2ND FLR. PORCH:	138 SQ. FT.	
646		
1ST FLR.	1,032 SQ. FT.	
2ND FLR.	1,088 SQ. FT.	
TOTAL:	2,120 SQ. FT.	
1ST FLR. DECK:	316 SQ. FT.	
1ST FLR. PORCH:	84 SQ. FT.	
2ND FLR. PORCH:	84 SQ. FT.	

UNITED STREET RESIDENCES  
 KEY WEST, FLORIDA  
 F O N 8 0 4 . 3 4 4 . 0 0 6 0  
 email: bebstudio@bebarchitecture.net  
**ORDINARY ARCHITECTURE**  
 108 NORTH FIRST STREET  
 RICHMOND, VIRGINIA 23219  
 NO. DATE REVISIONS  
 △ --- ---  
 △ --- ---  
 △ --- ---  
 △ --- ---  
 △ --- ---  
 △ --- ---  
 JOB NO: 16.012  
 DATE: 11.13.18  
**PROJECT DATA**  
**SITE PLAN**  
**NOTES**  
**A101**





UNITED STREET RESIDENCES  
 KEY WEST, FLORIDA

108 NORTH FIRST STREET  
 RICHMOND, VIRGINIA 23219  
 Fon 804.344.0060  
 email: bobstudio@bobarchitecture.net

ORDINARY

ARCHITECTURE

NO.	DATE	REVISIONS
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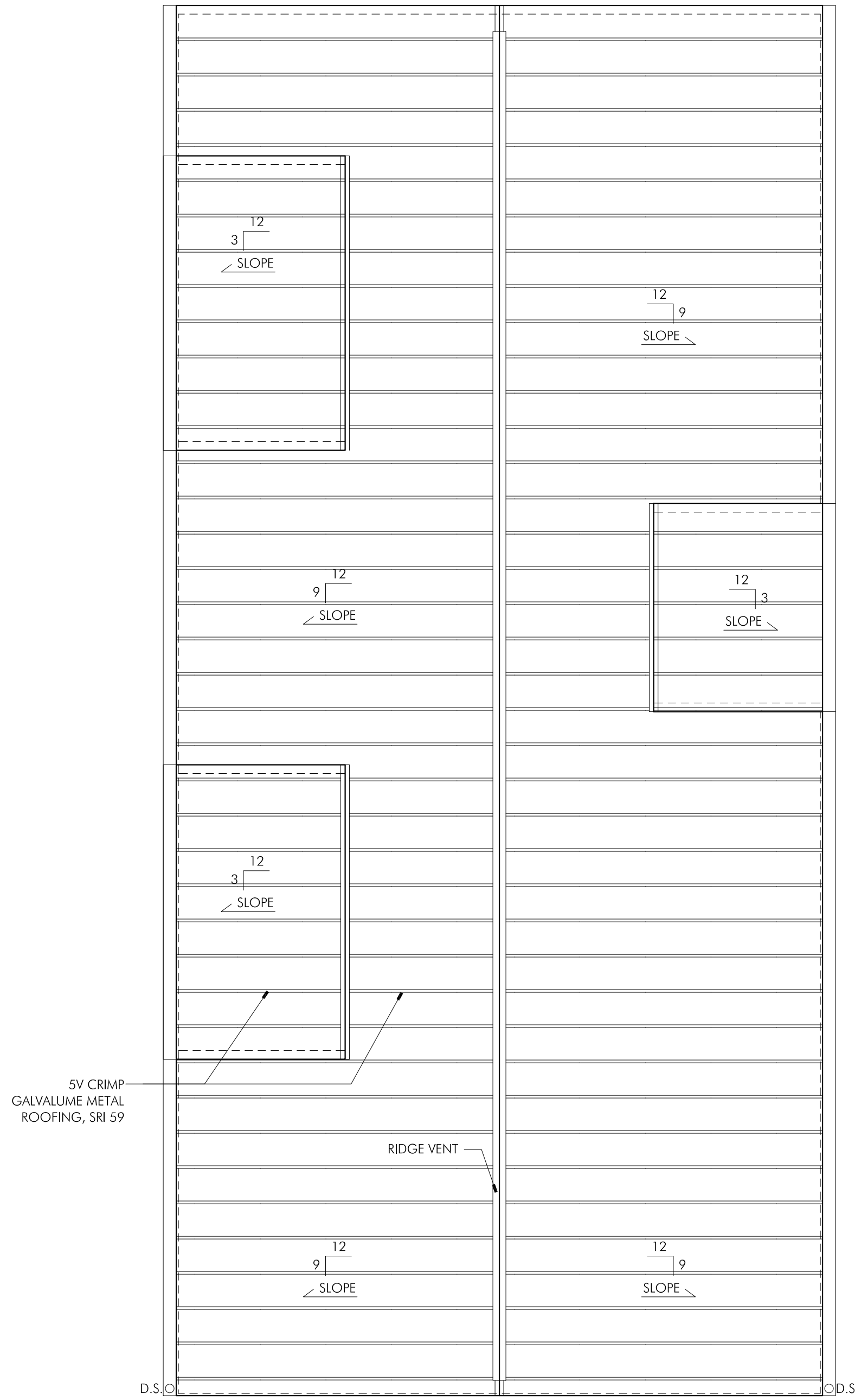
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FIRST FLOOR PLAN -  
 UNIT 638

A201

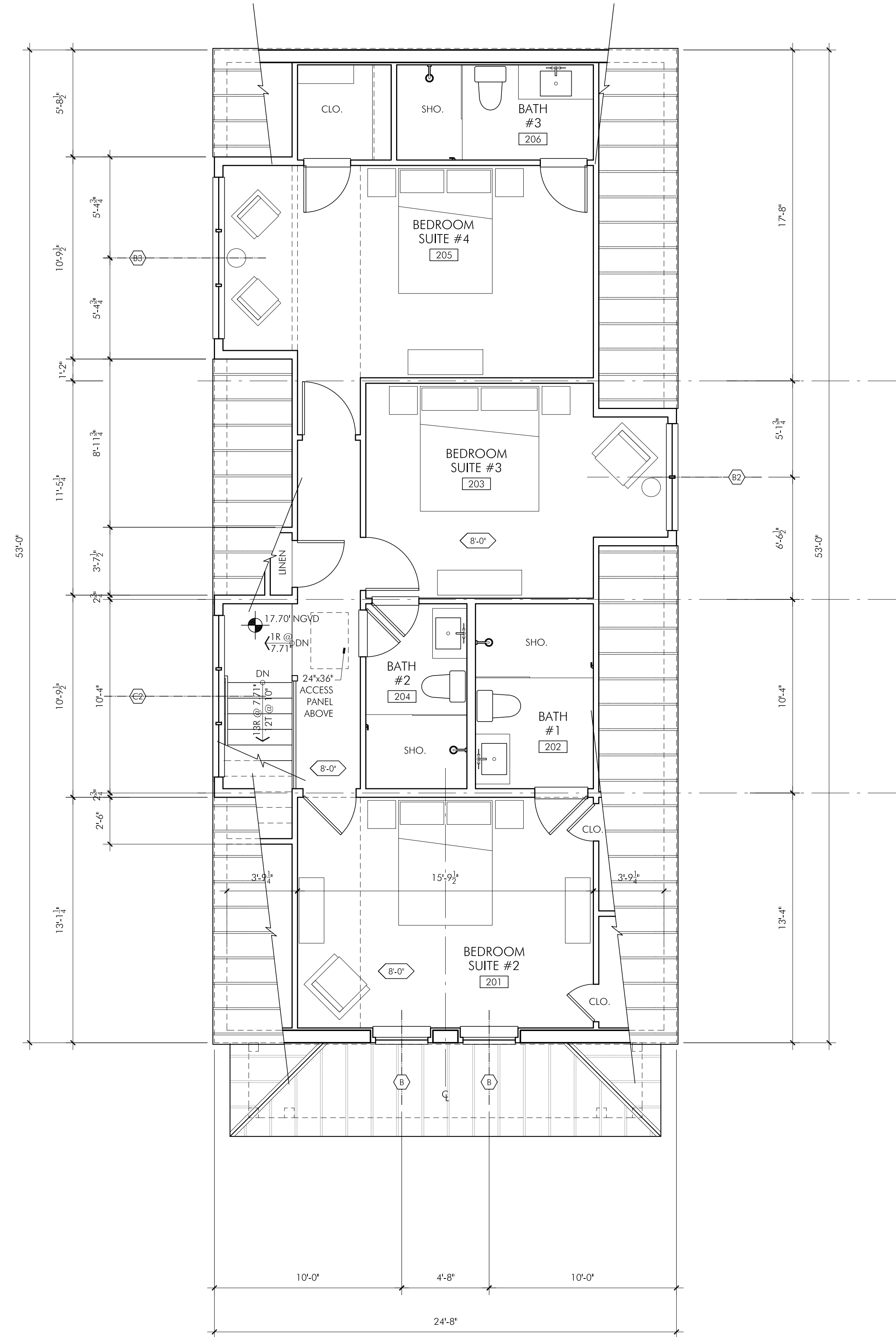
**638**     1ST FLOOR PLAN 1  
1/4"=1'-0"

1ST FLR.: 1307 S.F.  
 PORCH: 84 S.F.  
 DECK: 174 S.F.



638

ROOF PLAN 2  
1/4"=1'-0"



638

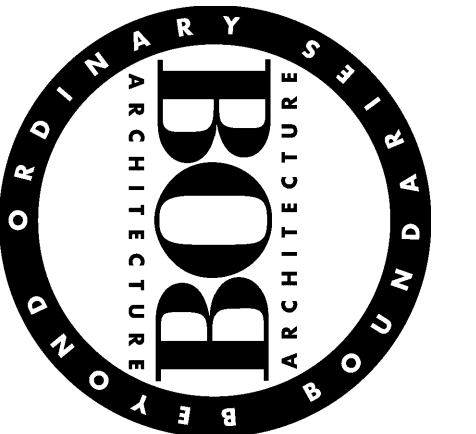
2ND FLOOR PLAN 1  
2ND FIR.: 1023 S.F. 1/4"=1'-0"

NO.	DATE	REVISIONS
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JOB NO: 16.012  
DATE: 11.13.18

2ND FLOOR &  
ROOF PLANS -  
UNIT 638

A202



108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219  
Fon 804.344.0060  
email: bobstudio@bobarchitecture.net

UNITED STREET RESIDENCES

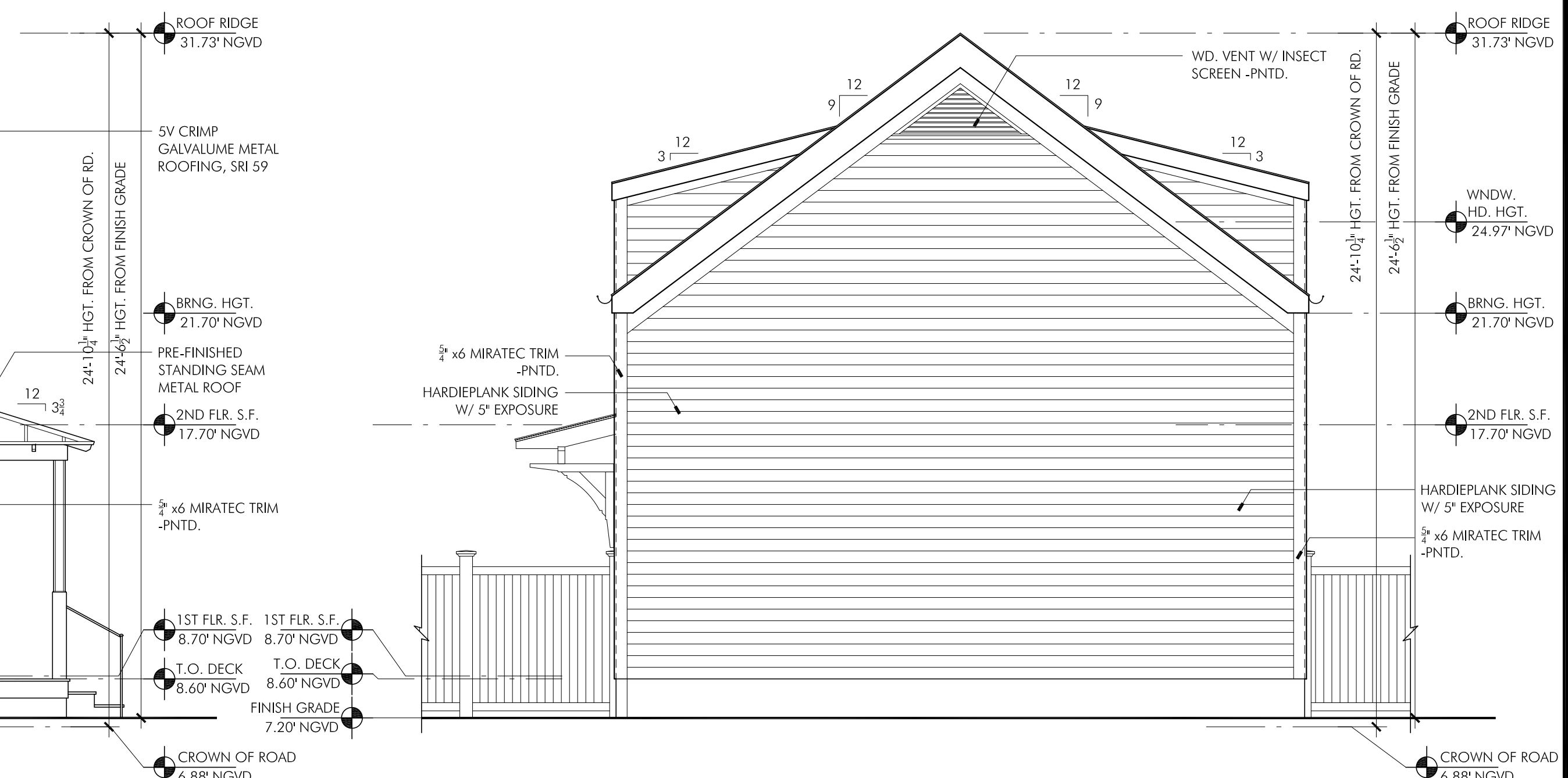
KEY WEST, FLORIDA

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

A | B | C | D | E | F | G | H | I | J | K | L | M | N | O



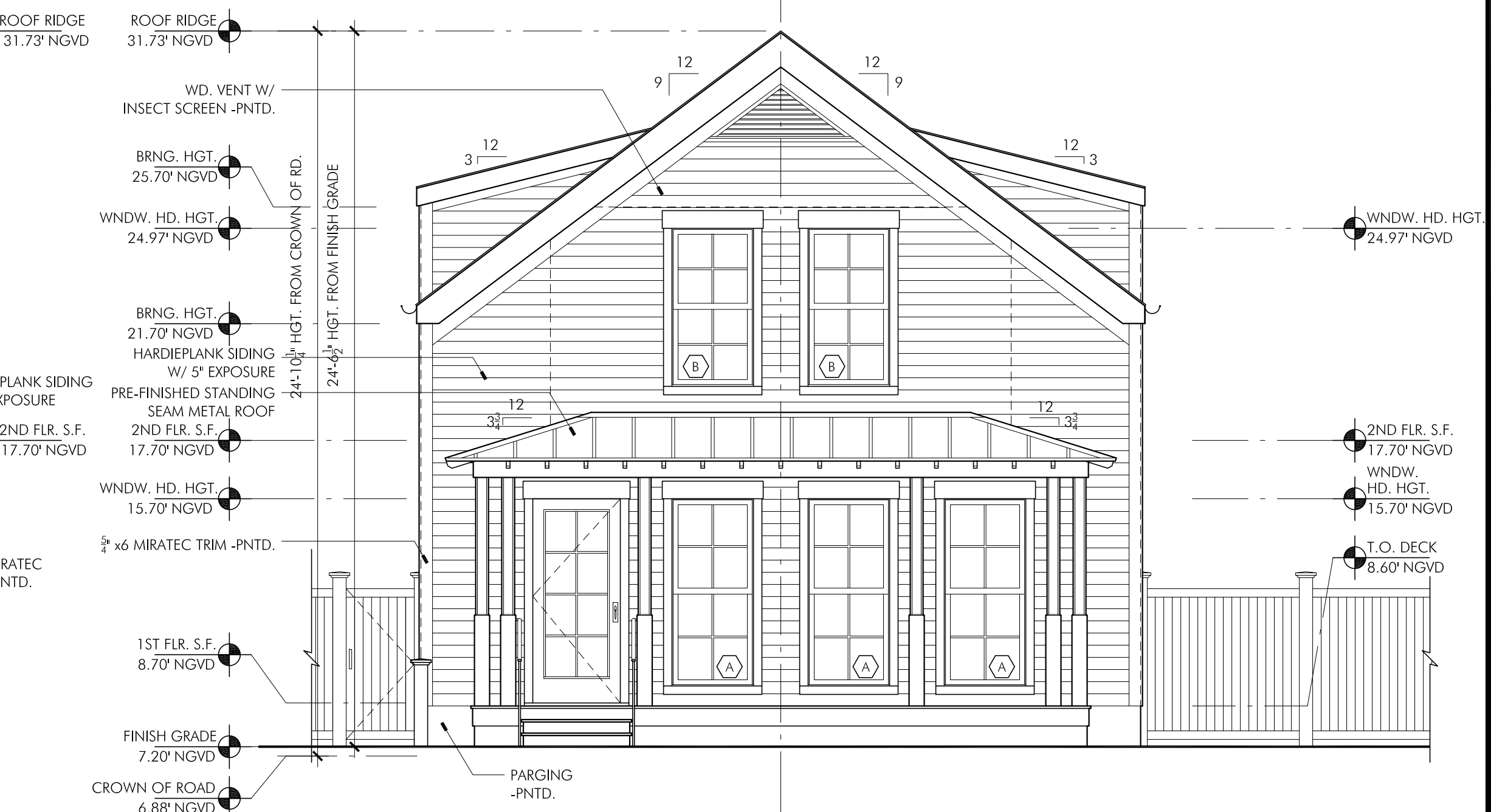
SIDE ELEVATION - UNIT 638 4  
1/4" = 1'-0"



REAR ELEVATION - UNIT 638 3  
1/4" = 1'-0"



SIDE ELEVATION - UNIT 638 2  
1/4" = 1'-0"



FRONT ELEVATION - UNIT 638 1  
1/4" = 1'-0"

UNITED STREET RESIDENCES  
KEY WEST, FLORIDA

108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219  
Fon 804.344.0060  
email: bobstudio@bobarchitecture.net



NO.	DATE	REVISIONS
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JOB NO: 16.012  
DATE: 11.13.18

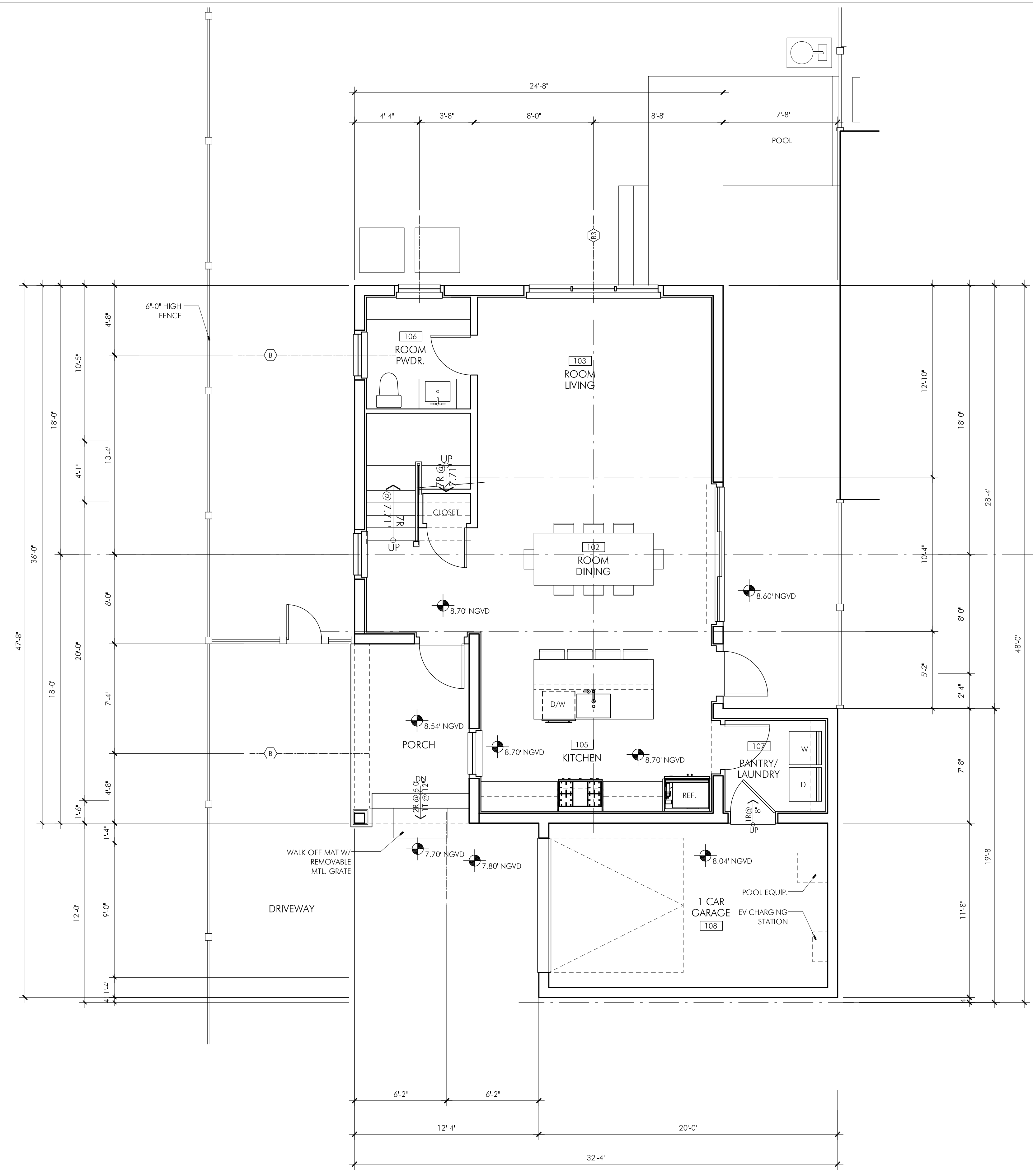
EXTERIOR ELEVATIONS - UNIT 638

A301



1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

A  
B  
C  
D  
E  
F  
G  
H  
I  
J  
K  
L  
M  
N  
O



UNITED STREET RESIDENCES  
KEY WEST, FLORIDA

Fon 804.344.0060  
email: bobstudio@bobarchitecture.net

108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219

NO.	DATE	REVISIONS
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JOB NO: 16.012  
DATE: 11.13.18

FIRST FLOOR PLAN -  
UNIT 640

640 1ST FLOOR PLAN 1  
1ST FLR.: 855 S.F. 1/4"=1'-0"  
GARAGE: 234 S.F.  
PORCH: 89 S.F.

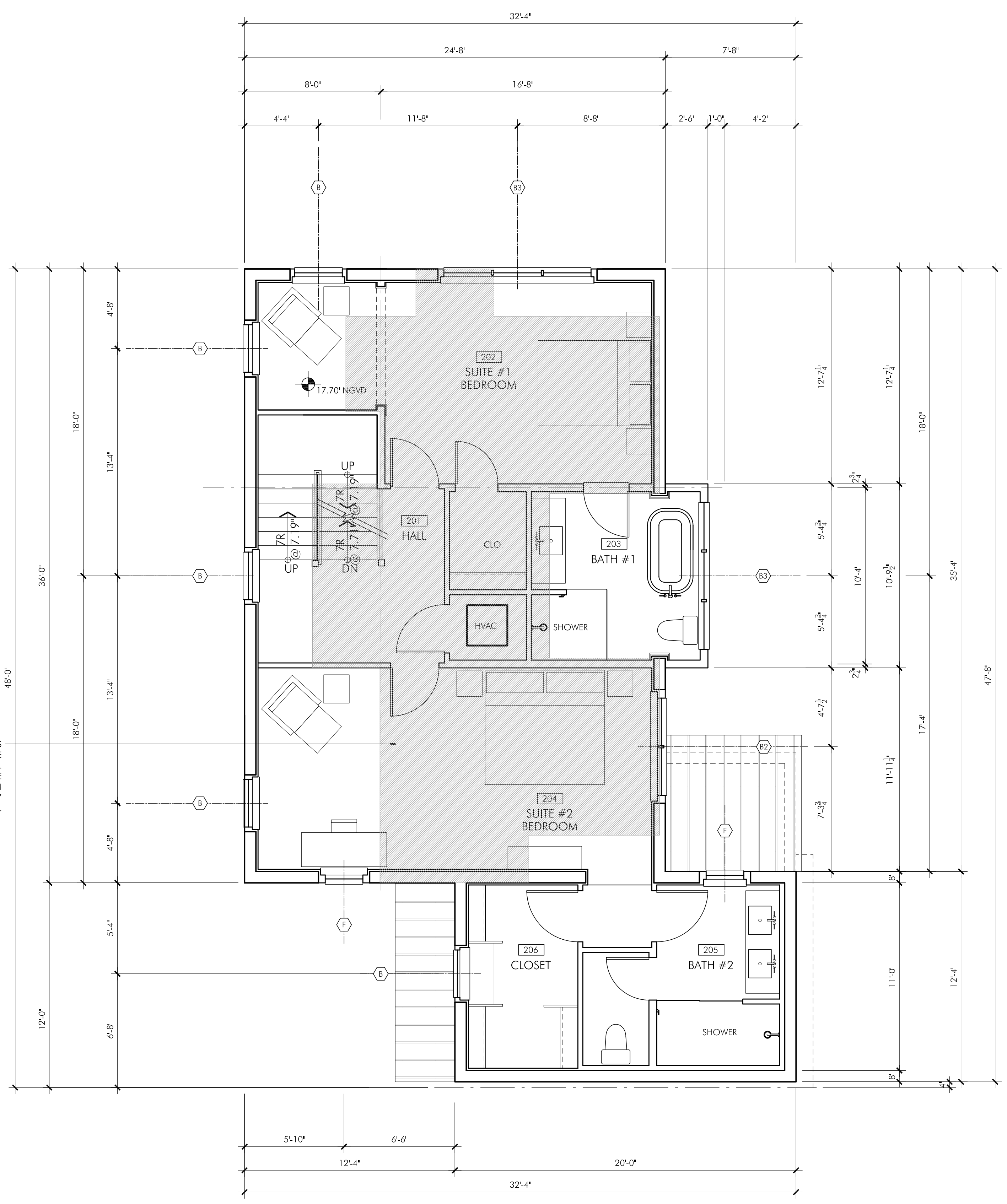
A201

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

A | B | C | D | E | F | G | H | I | J | K | L | M | N | O

HATCHED AREA DENOTES  
 3RD FLOOR SQUARE  
 FOOTAGE = 527 SQ. FT.  
 2ND FLOOR SQUARE  
 FOOTAGE = 1154  
 SQ. FT. - 1154/2 = 577  
 577 > 527 SQ. FT.



UNITED STREET RESIDENCES  
 KEY WEST, FLORIDA

108 NORTH FIRST STREET  
 RICHMOND, VIRGINIA 23219  
 FOn 804.344.0060  
 email: bobstudio@bobarchitecture.net

NO.	DATE	REVISIONS
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JOB NO: 16.012  
 DATE: 11.13.18

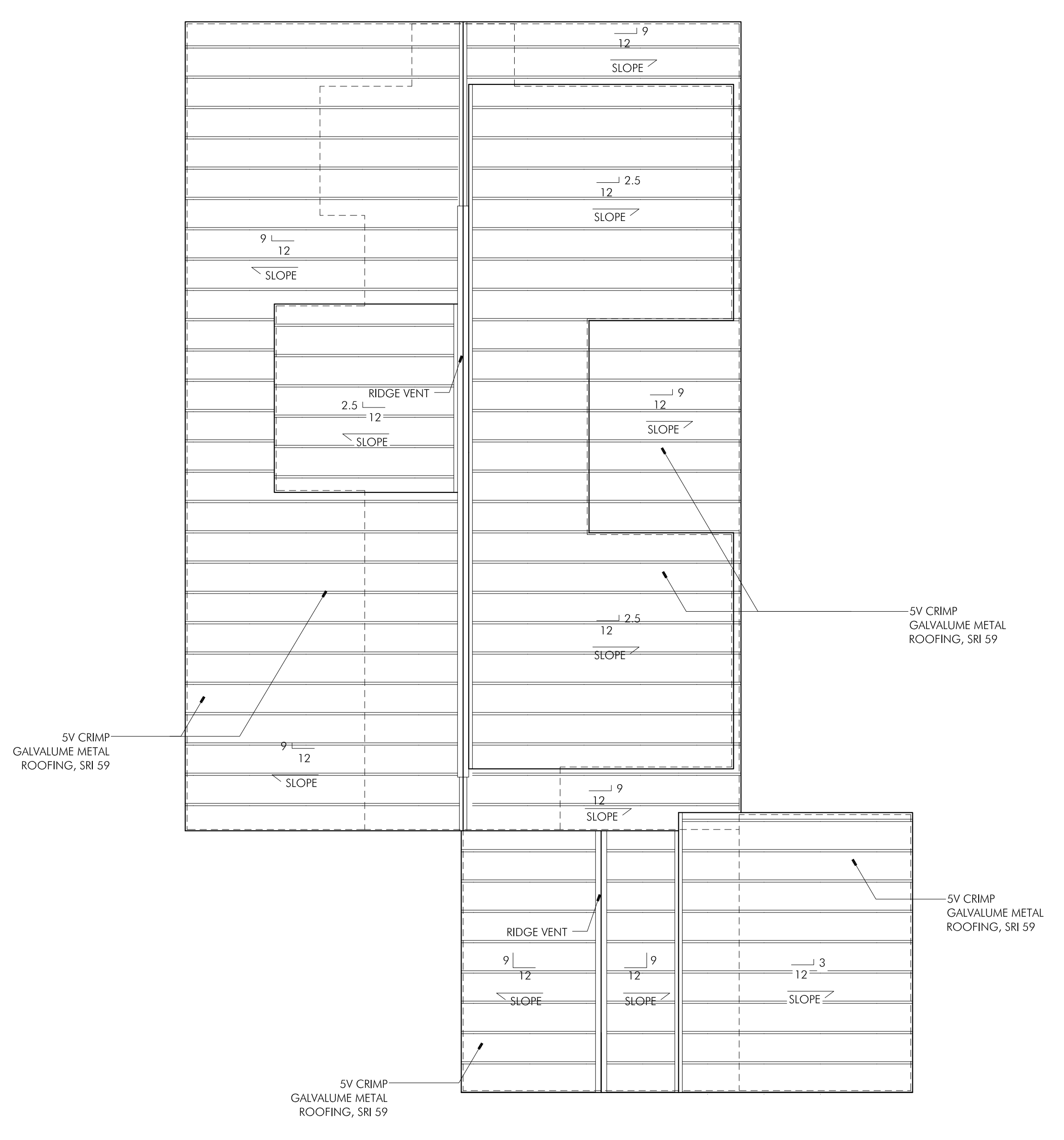
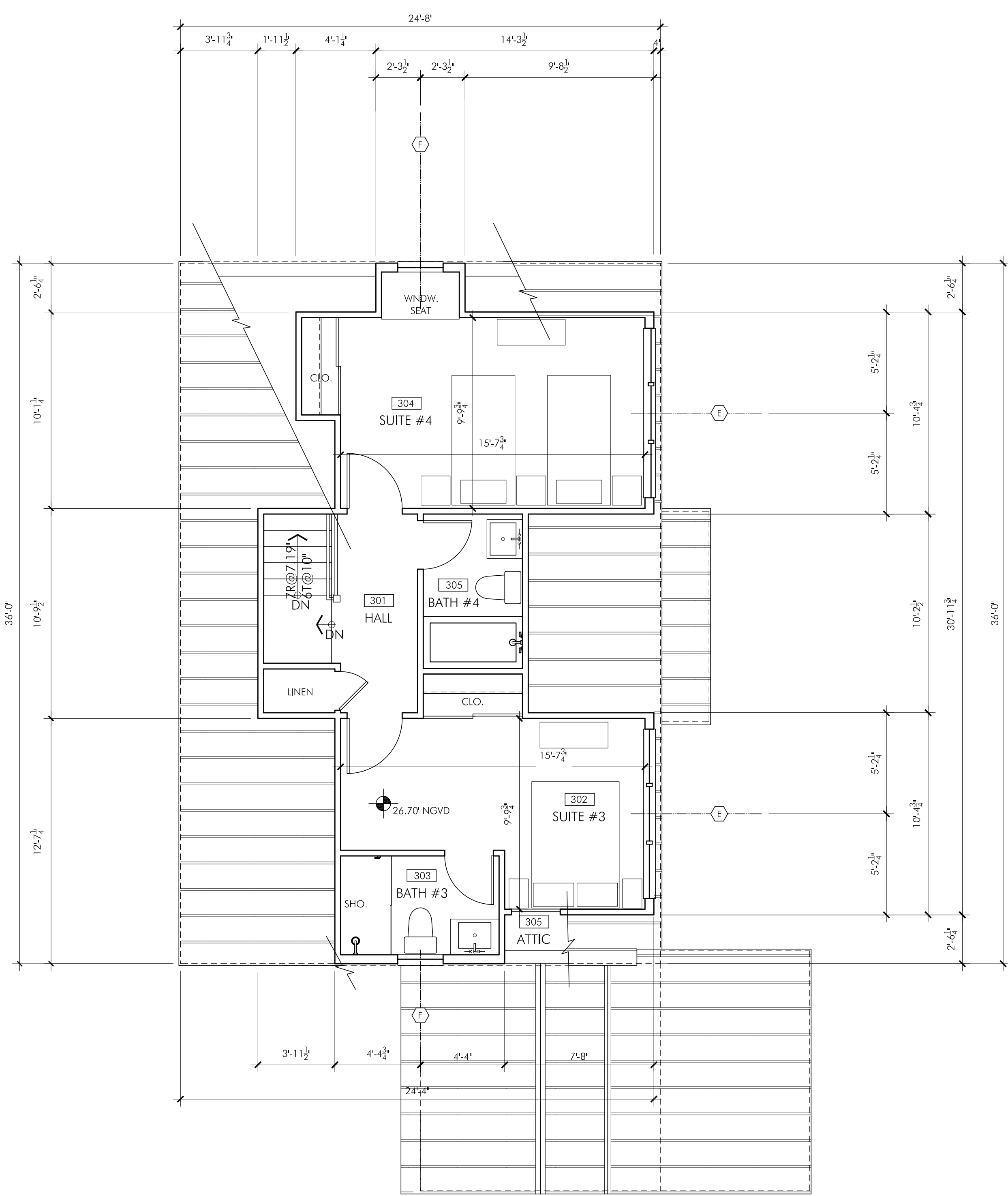
SECOND FLOOR  
 PLAN - UNIT 640

A202

640 2ND FLOOR PLAN 1  
 2ND FIR.: 1154 S.F. 1/4"=1'-0"

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22





640 ROOF PLAN 2  
1/4"=1'-0"

640 3RD FLOOR PLAN 1  
3RD FLR.: 527 S.F.  
1/4"=1'-0"

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JOB NO: 16.012  
DATE: 11.13.18

3RD FLOOR &  
ROOF PLANS - UNIT  
640

A203

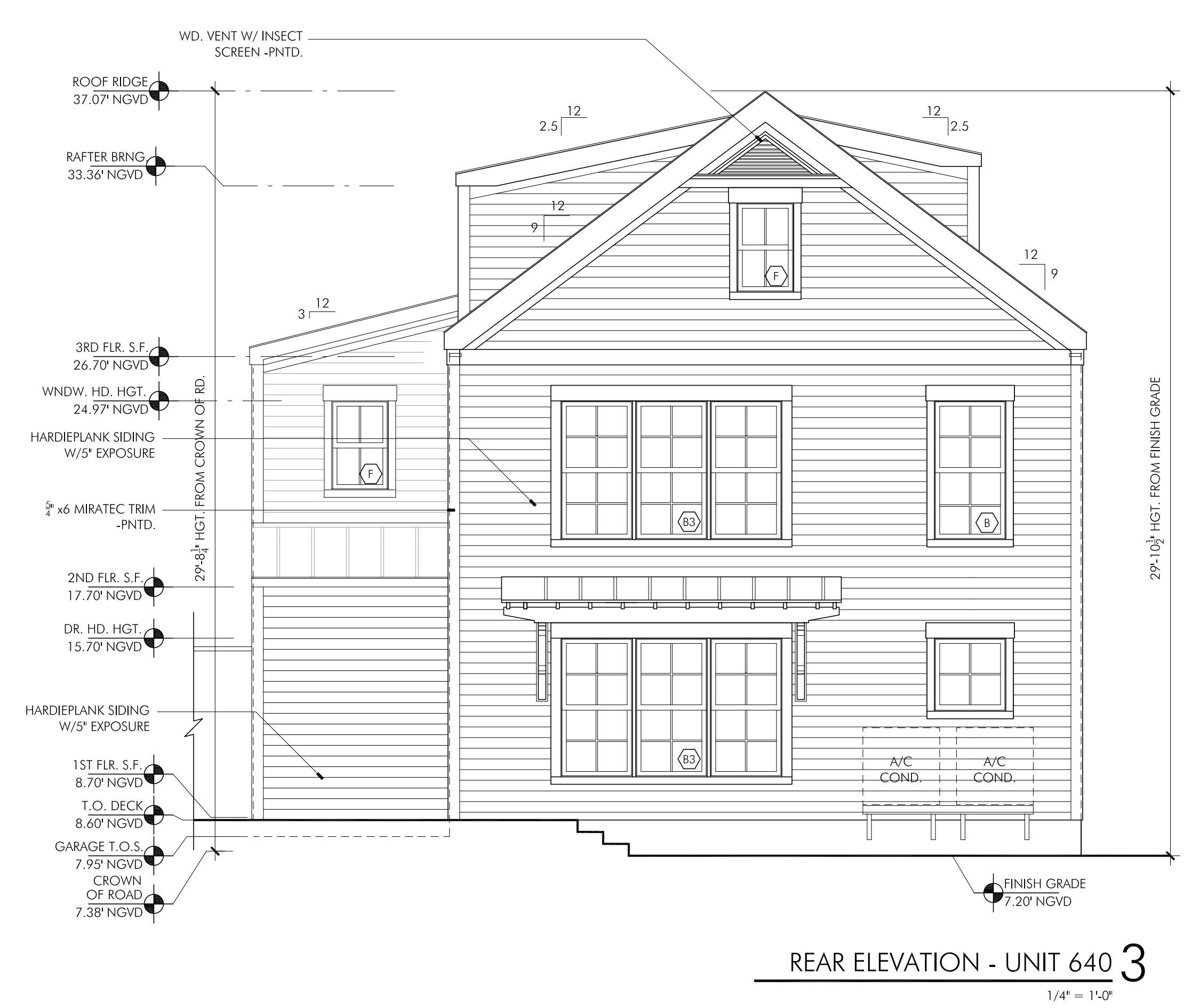
UNITED STREET RESIDENCES  
 KEY WEST, FLORIDA

108 NORTH FIRST STREET  
 RICHMOND, VIRGINIA 23219  
 F. 804.344.0060  
 email: bobstudio@bobarchitecture.net

ORDINARY ARCHITECTURE  
**BOB**  
 ARCHITECTURE  
 BEYOND THE ORDINARY



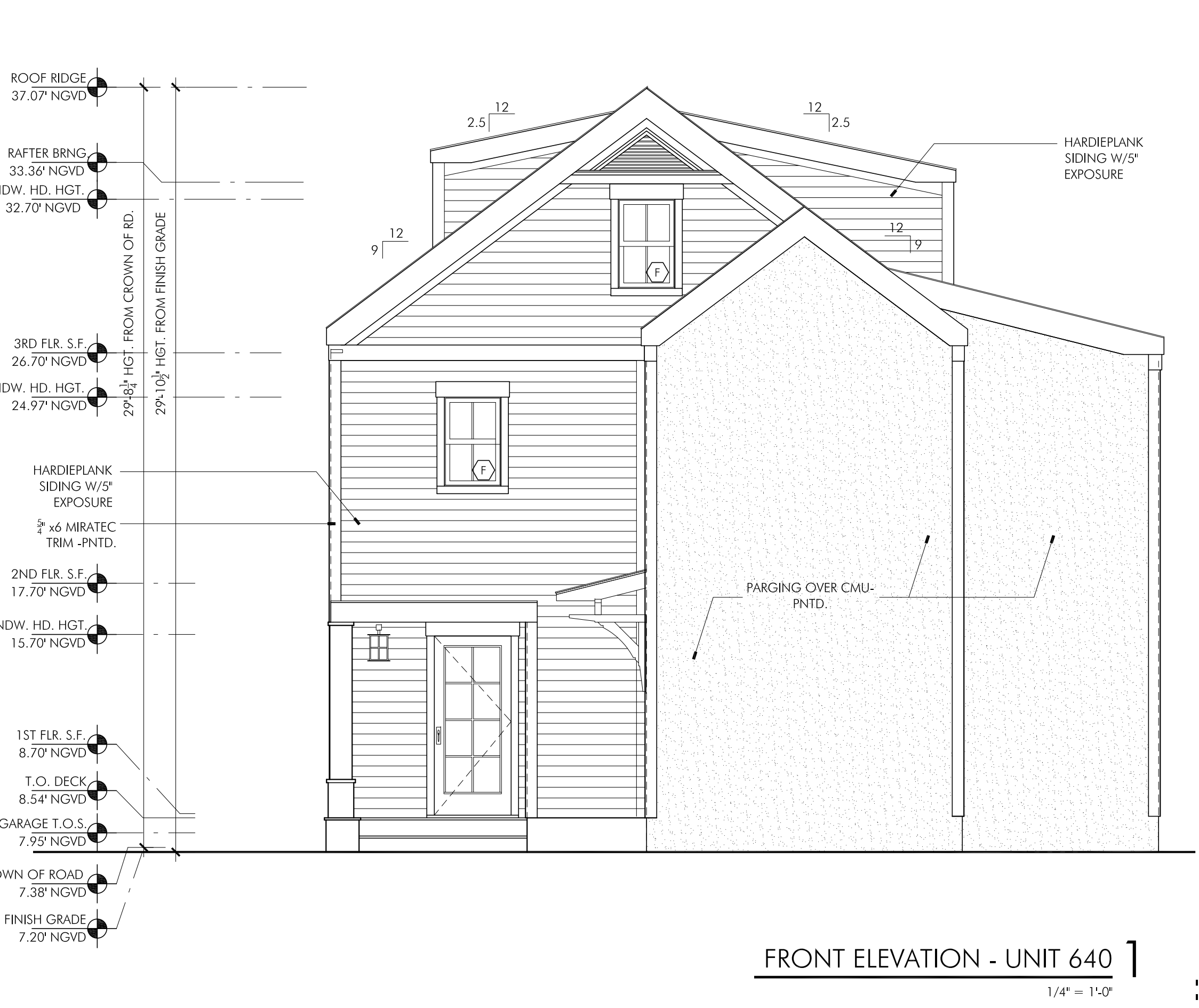
SIDE ELEVATION - UNIT 640 4  
1/4" = 1'-0"



REAR ELEVATION - UNIT 640 3  
1/4" = 1'-0"



SIDE ELEVATION - UNIT 640 2  
1/4" = 1'-0"



FRONT ELEVATION - UNIT 640 1  
1/4" = 1'-0"

UNITED STREET RESIDENCES

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DATE: 11.13.18

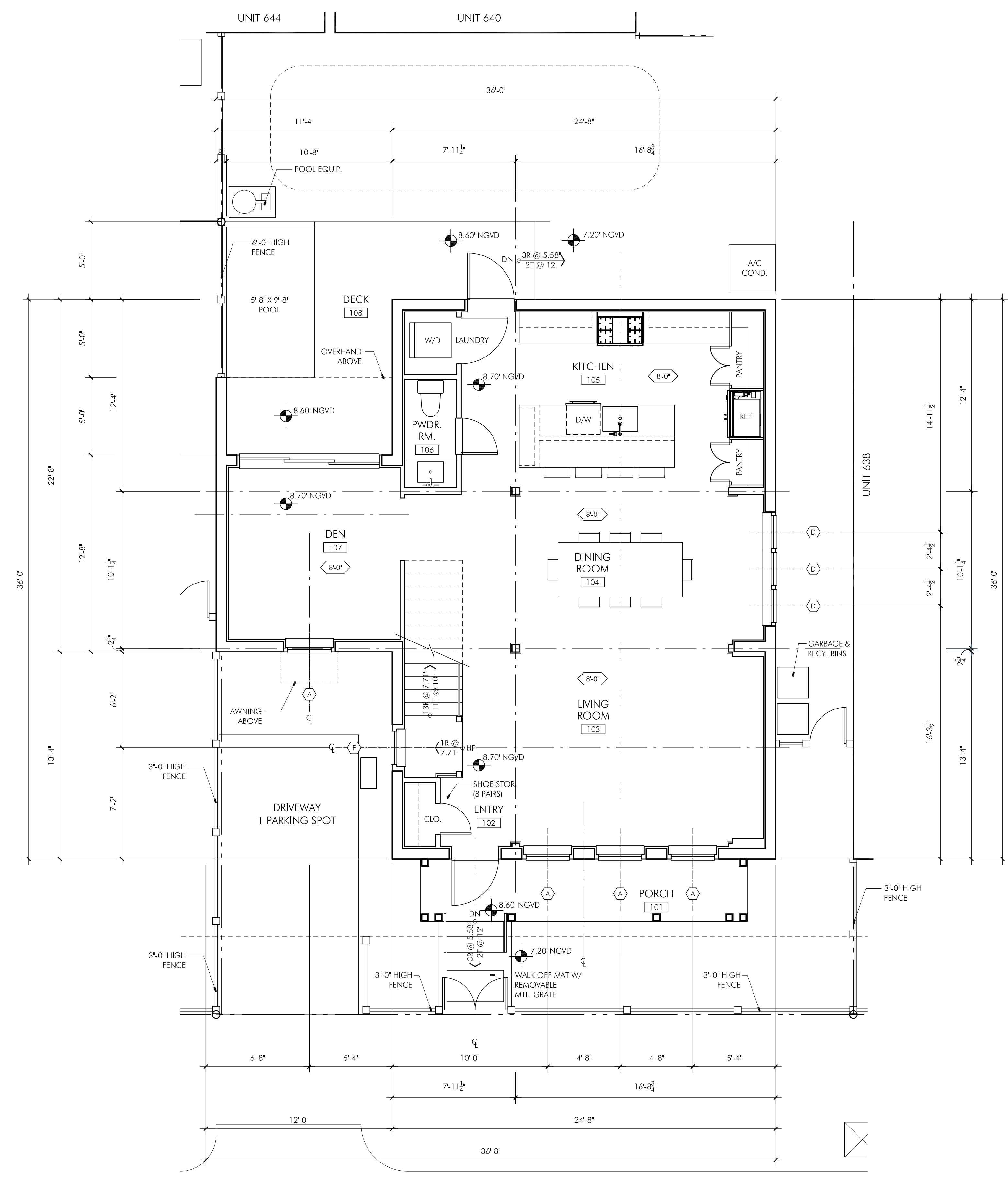
EXTERIOR ELEVATIONS - UNIT 640

A301



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UNITED STREET RESIDENCES  
KEY WEST, FLORIDA



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JOB NO: 16.012  
DATE: 11.13.18

FIRST FLOOR PLAN -  
UNIT 642

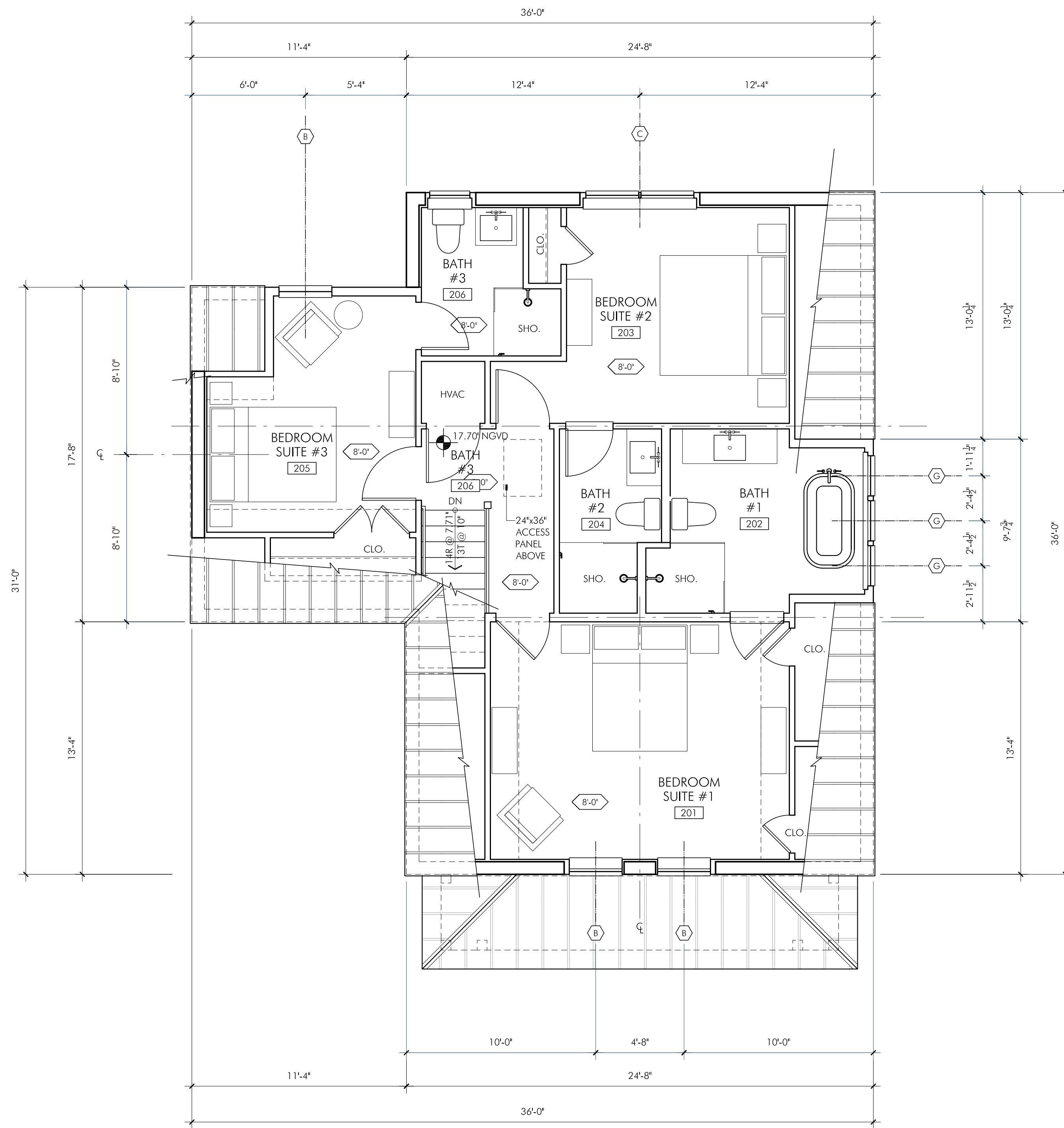
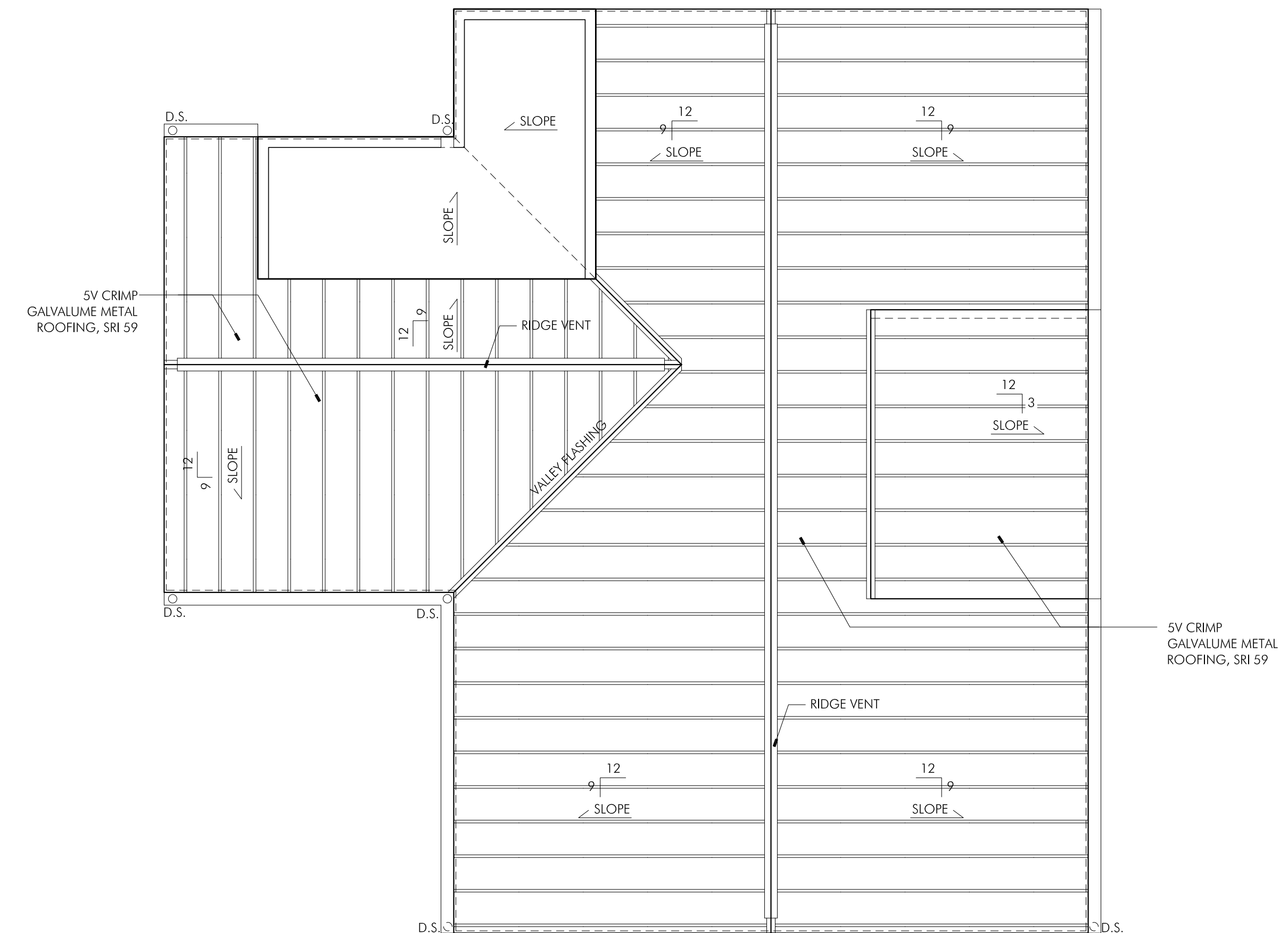
 **642** 1ST FLOOR PLAN 1  
1ST FLR.: 1032 S.F.  
PORCH: 84 S.F.  
DECK: 294 S.F.  
1/4"=1'-0"

**A201**

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

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642 ROOF PLAN 2  
1/4"=1'-0"

642 2ND FLOOR PLAN 1  
2ND FIR.: 940 S.F. 1/4"=1'-0"

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JOB NO: 16.012  
DATE: 11.13.18

2ND FLOOR &  
ROOF PLANS - UNIT  
642

A202

UNITED STREET RESIDENCES  
KEY WEST, FLORIDA

108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219

ORDINARY ARCHITECTURE

BOB ARCHITECTURE

FOR BOUNDARY

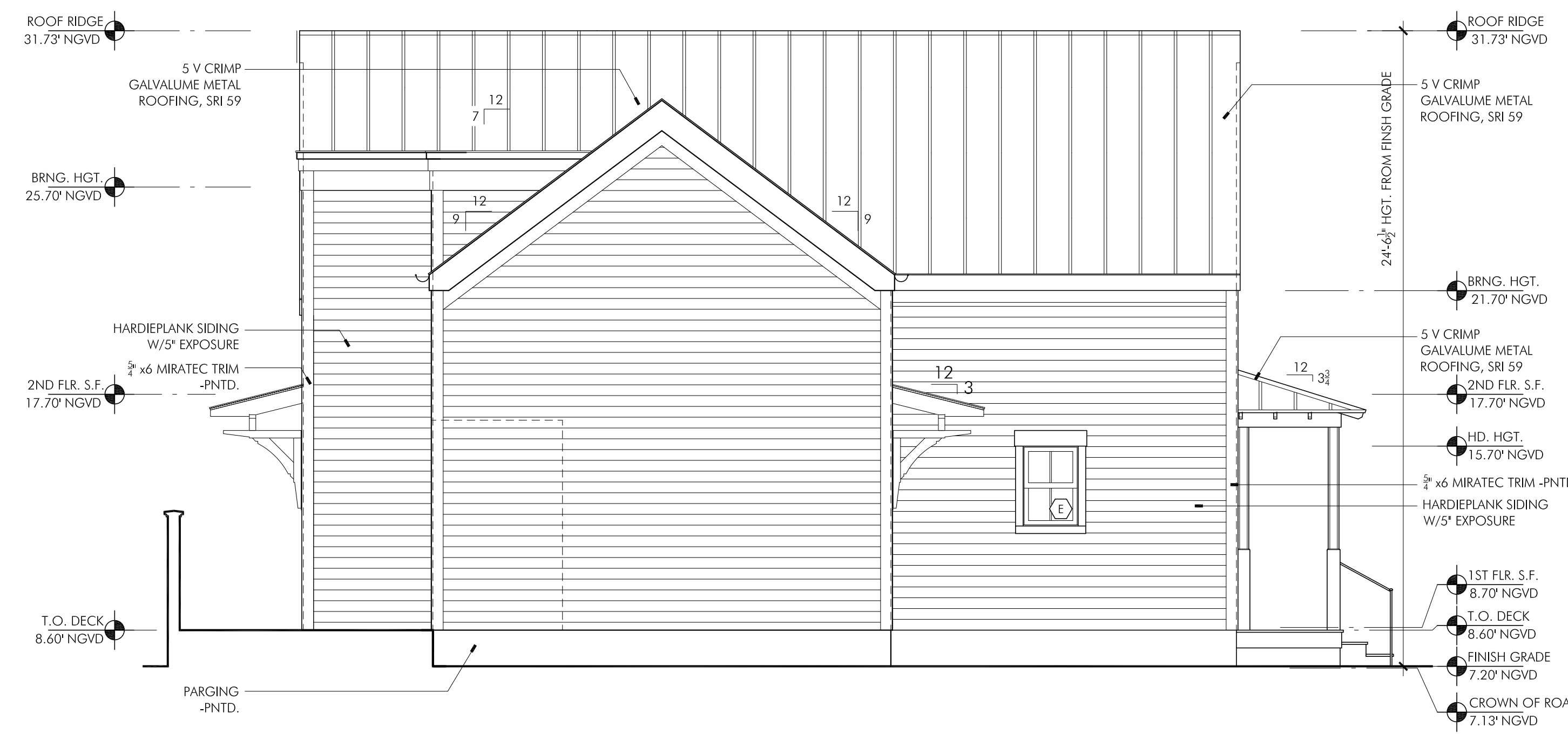
Fon 804.344.0060  
email: bobstudio@bobarchitecture.net



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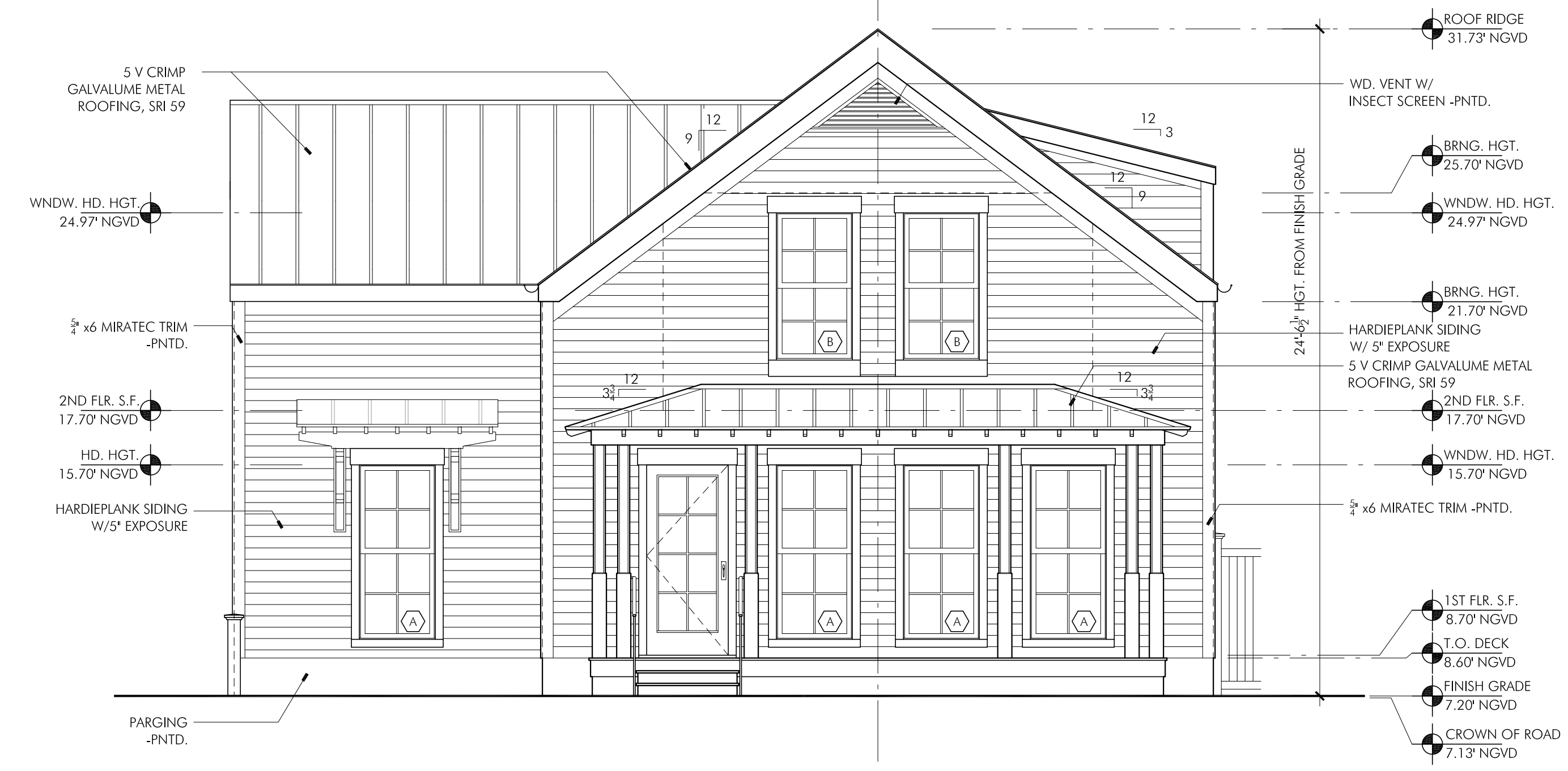
SIDE ELEVATION - UNIT 642 4  
1/4" = 1'-0"



REAR ELEVATION - UNIT 642 3  
1/4" = 1'-0"



SIDE ELEVATION - UNIT 642 2  
1/4" = 1'-0"



FRONT ELEVATION - UNIT 642 1  
1/4" = 1'-0"

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KEY WEST, FLORIDA

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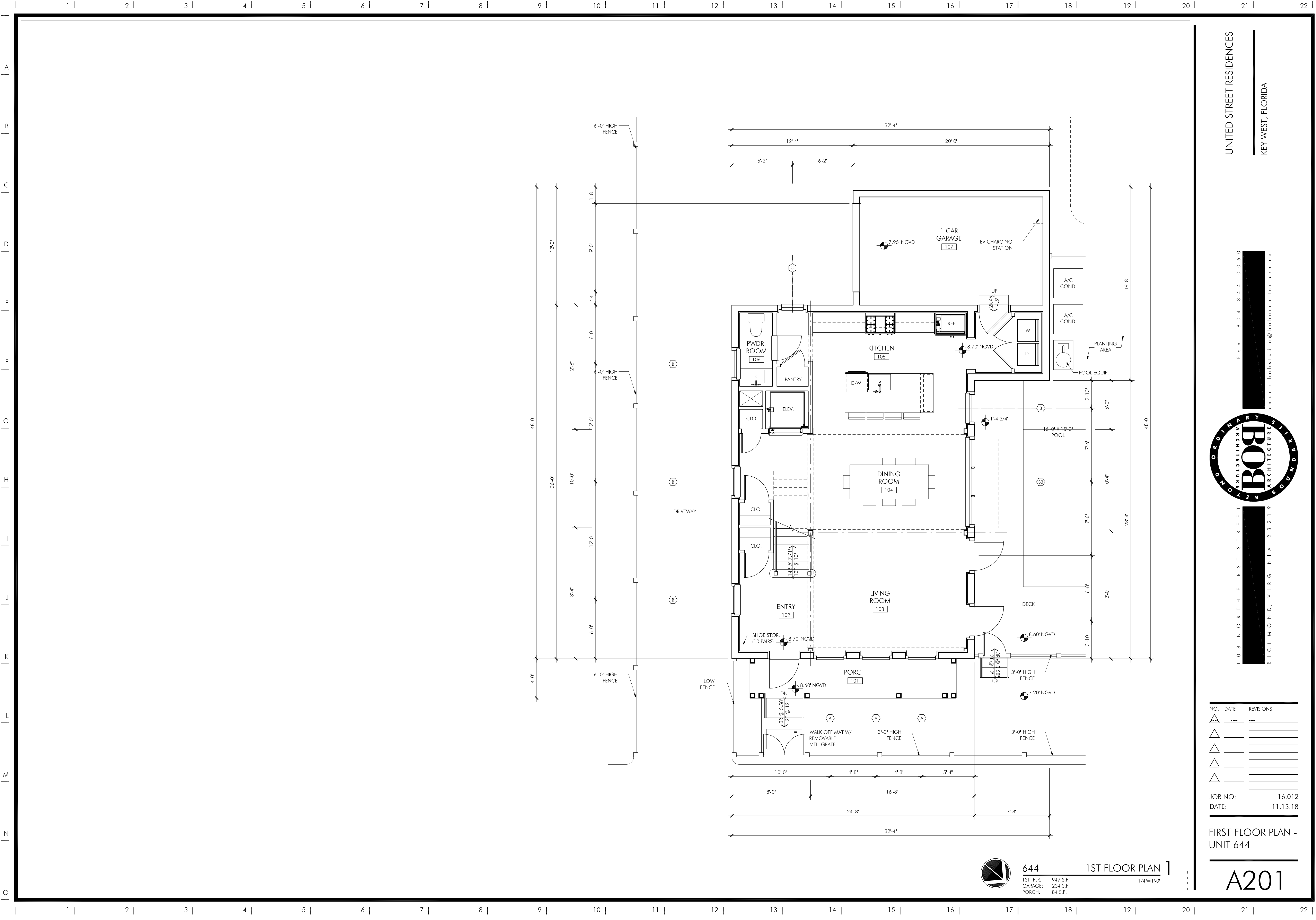
108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219

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JOB NO: 16.012  
DATE: 11.13.18

EXTERIOR ELEVATIONS - UNIT 642

A301



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 KEY WEST, FLORIDA

Fon 804.344.0060  
 email: bobstudio@bobarchitecture.net

108 NORTH FIRST STREET  
 RICHMOND, VIRGINIA 23219

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JOB NO: 16.012  
 DATE: 11.13.18

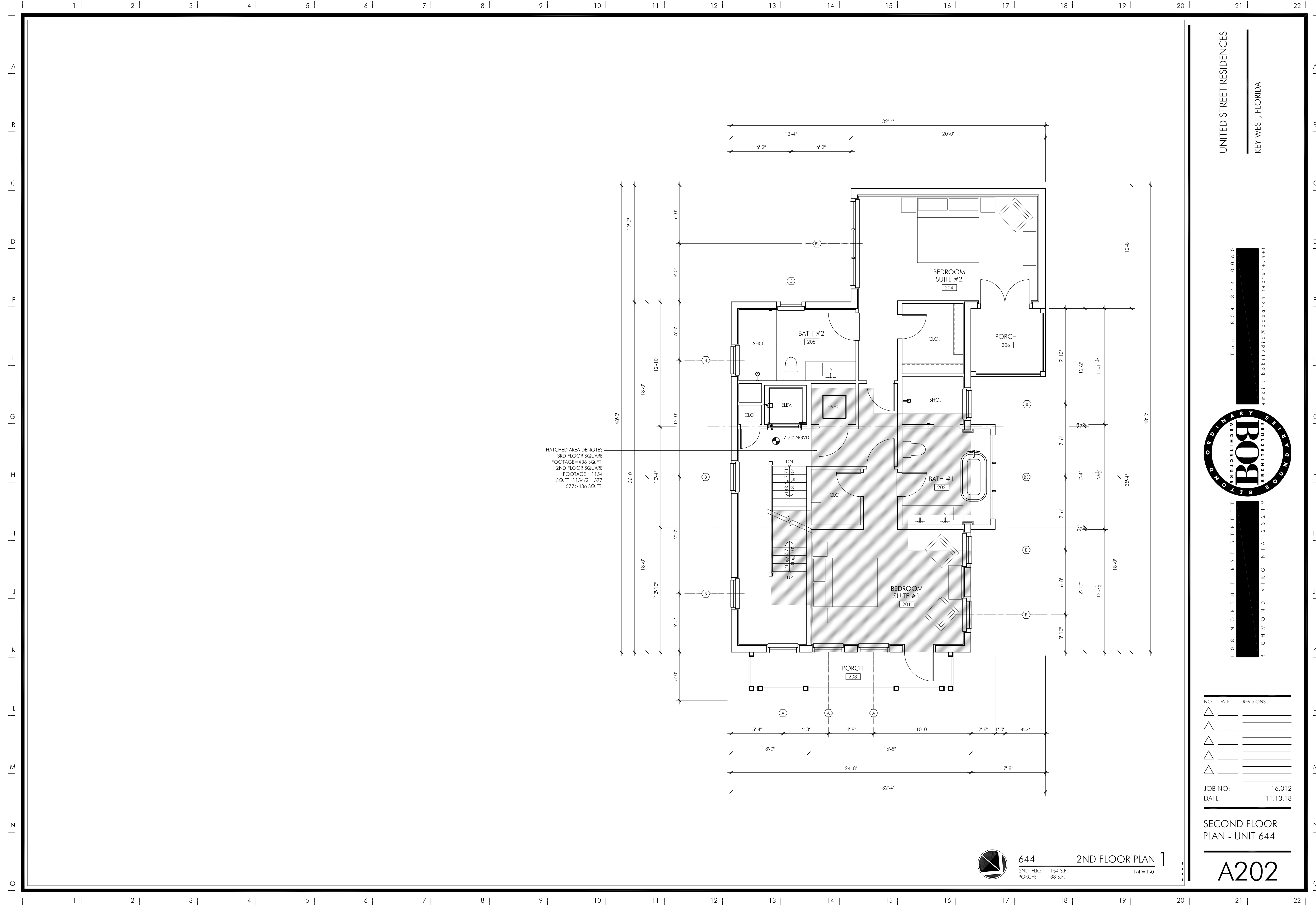
FIRST FLOOR PLAN -  
 UNIT 644

**644** 1ST FLOOR PLAN 1  
 1/4"=1'-0"

1ST FLR.: 947 S.F.  
 GARAGE: 234 S.F.  
 PORCH: 84 S.F.

**A201**





HATCHED AREA DENOTES  
 3RD FLOOR SQUARE  
 FOOTAGE=436 SQ.FT.  
 2ND FLOOR SQUARE  
 FOOTAGE=1154  
 SQ.FT.-1154/2=577  
 577>436 SQ.FT.

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 KEY WEST, FLORIDA

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108 NORTH FIRST STREET  
 RICHMOND, VIRGINIA 23219

ORDINARY  
**BOB**  
 ARCHITECTURE

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JOB NO: 16.012  
 DATE: 11.13.18

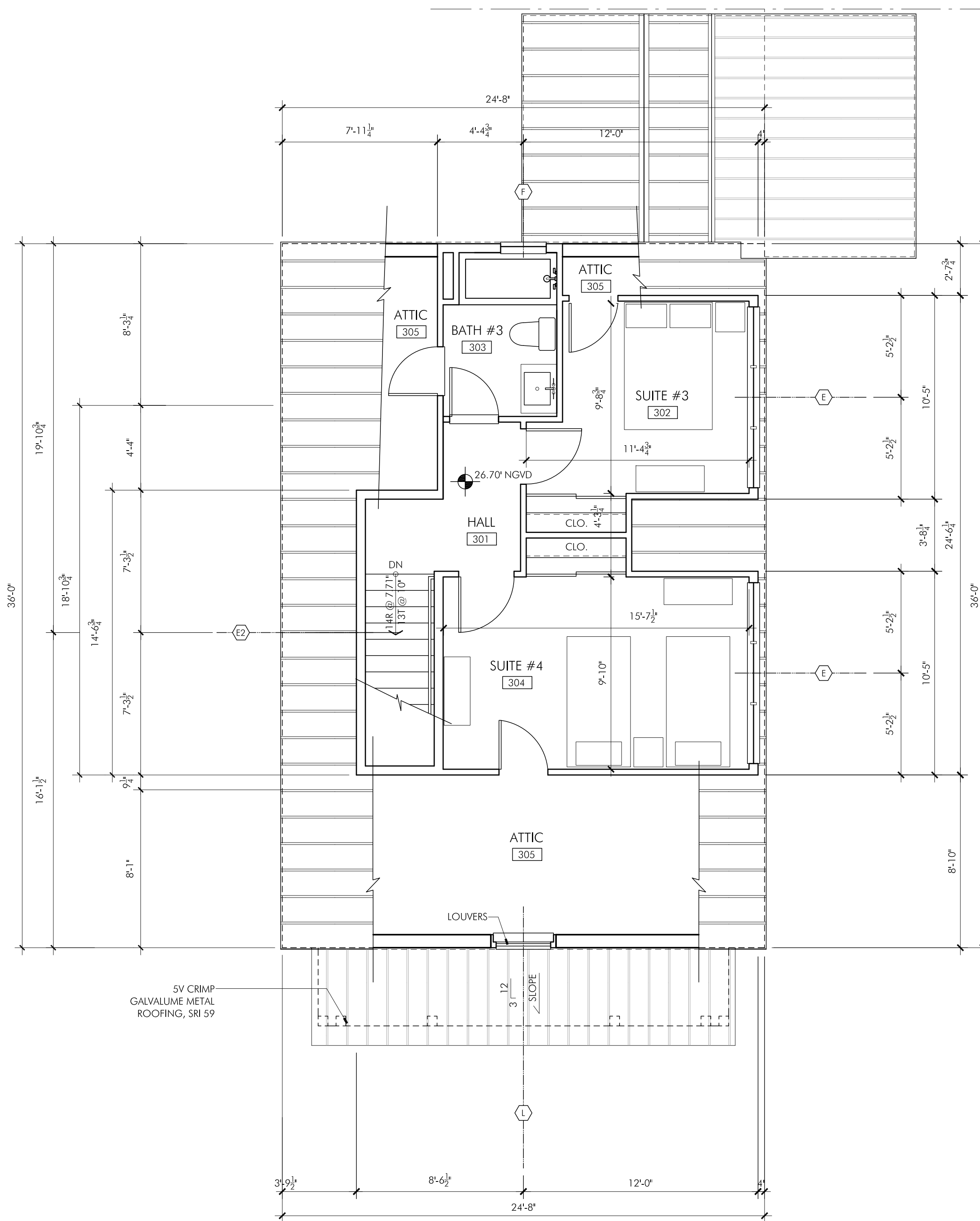
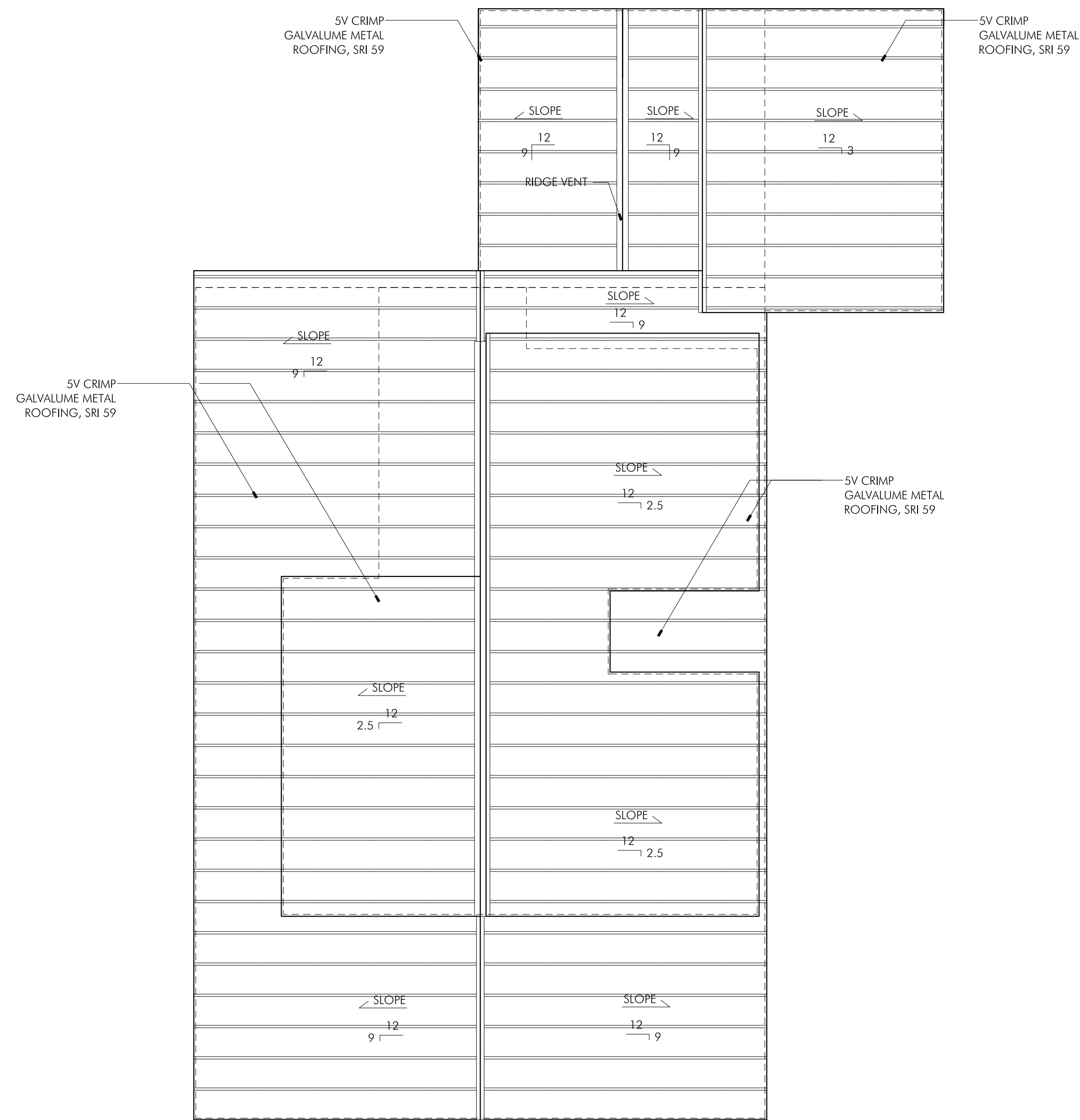
SECOND FLOOR  
 PLAN - UNIT 644

A202

**644** 2ND FLOOR PLAN 1  
 2ND FIR.: 1154 S.F. 1/4"=1'-0"  
 PORCH: 138 S.F.

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644 ROOF PLAN 2  
1/4"=1'-0"

644 3RD FLOOR PLAN 1  
3RD FLR.: 436 S.F. 1/4"=1'-0"

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JOB NO: 16.012  
DATE: 11.13.18

3RD FLOOR &  
ROOF PLANS - UNIT  
644

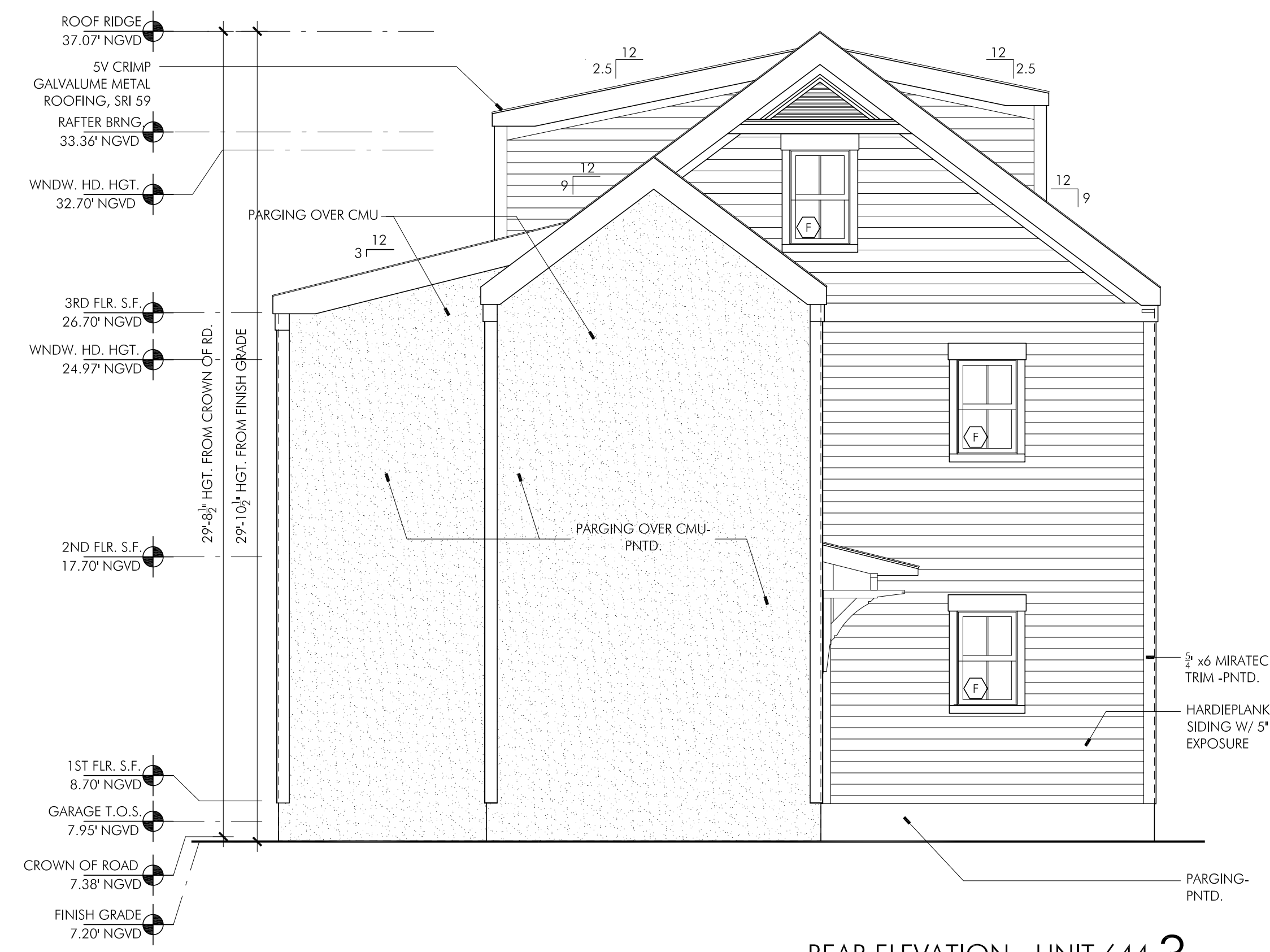
A203

UNITED STREET RESIDENCES  
 KEY WEST, FLORIDA

108 NORTH FIRST STREET  
 RICHMOND, VIRGINIA 23219  
 Fon 804.344.0060  
 email: bobstudio@bobarchitecture.net



SIDE ELEVATION - UNIT 644 4  
1/4" = 1'-0"



REAR ELEVATION - UNIT 644 3  
1/4" = 1'-0"



SIDE ELEVATION - UNIT 644 2  
1/4" = 1'-0"



FRONT ELEVATION - UNIT 644 1  
1/4" = 1'-0"

UNITED STREET RESIDENCES  
KEY WEST, FLORIDA

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108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219

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JOB NO: 16.012  
DATE: 11.13.18

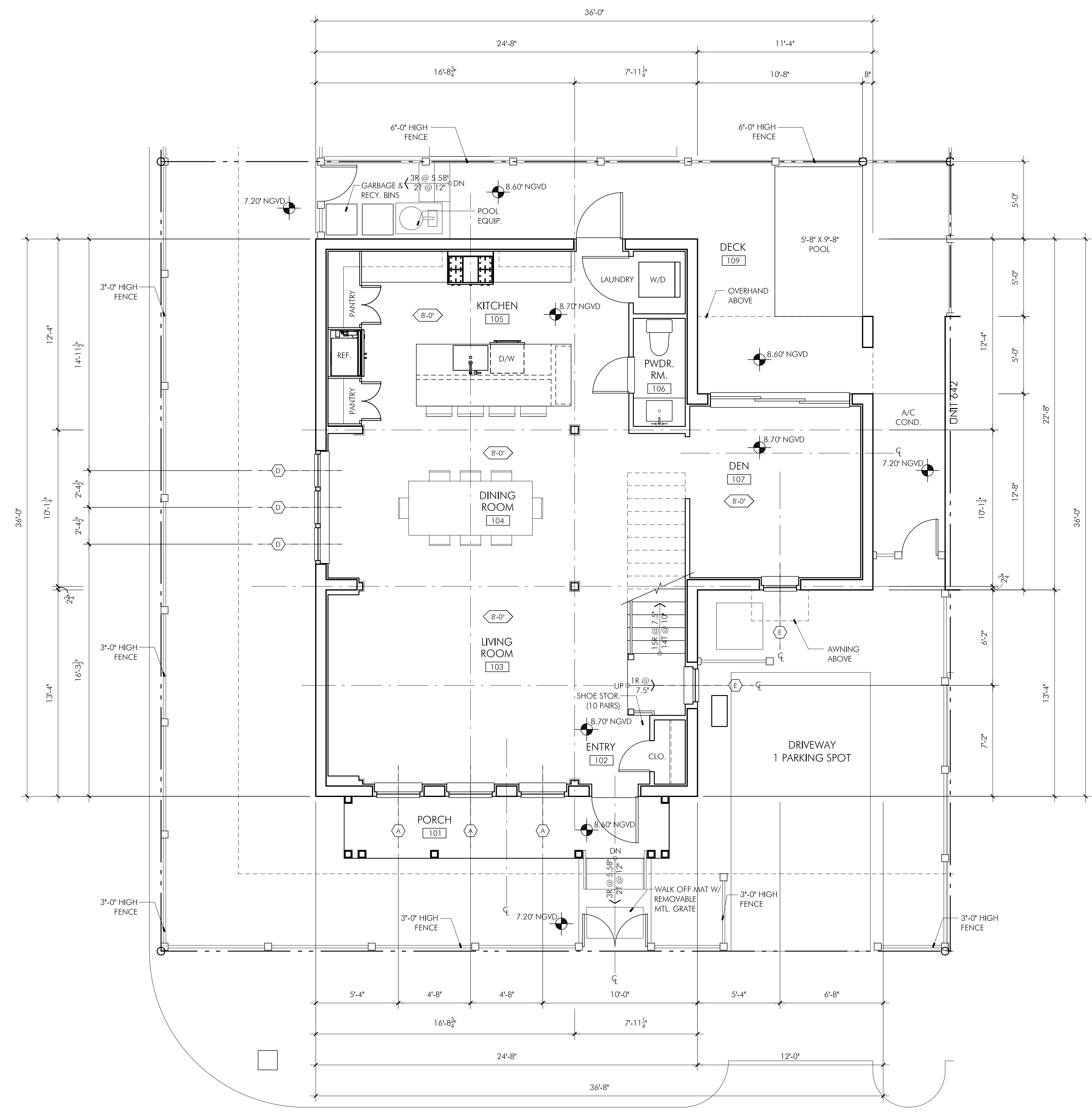
EXTERIOR ELEVATIONS - UNIT 644

A301



1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

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UNITED STREET RESIDENCES  
KEY WEST, FLORIDA

108 NORTH FIRST STREET  
 RICHMOND, VIRGINIA 23219  
 F O N 8 0 4 . 3 4 4 . 0 0 6 0  
 email: bobstudio@bobarchitecture.net  
**B O B**  
 ORDINARY ARCHITECTURE  
 B E Y O N D  
 A R C H I T E C T U R E

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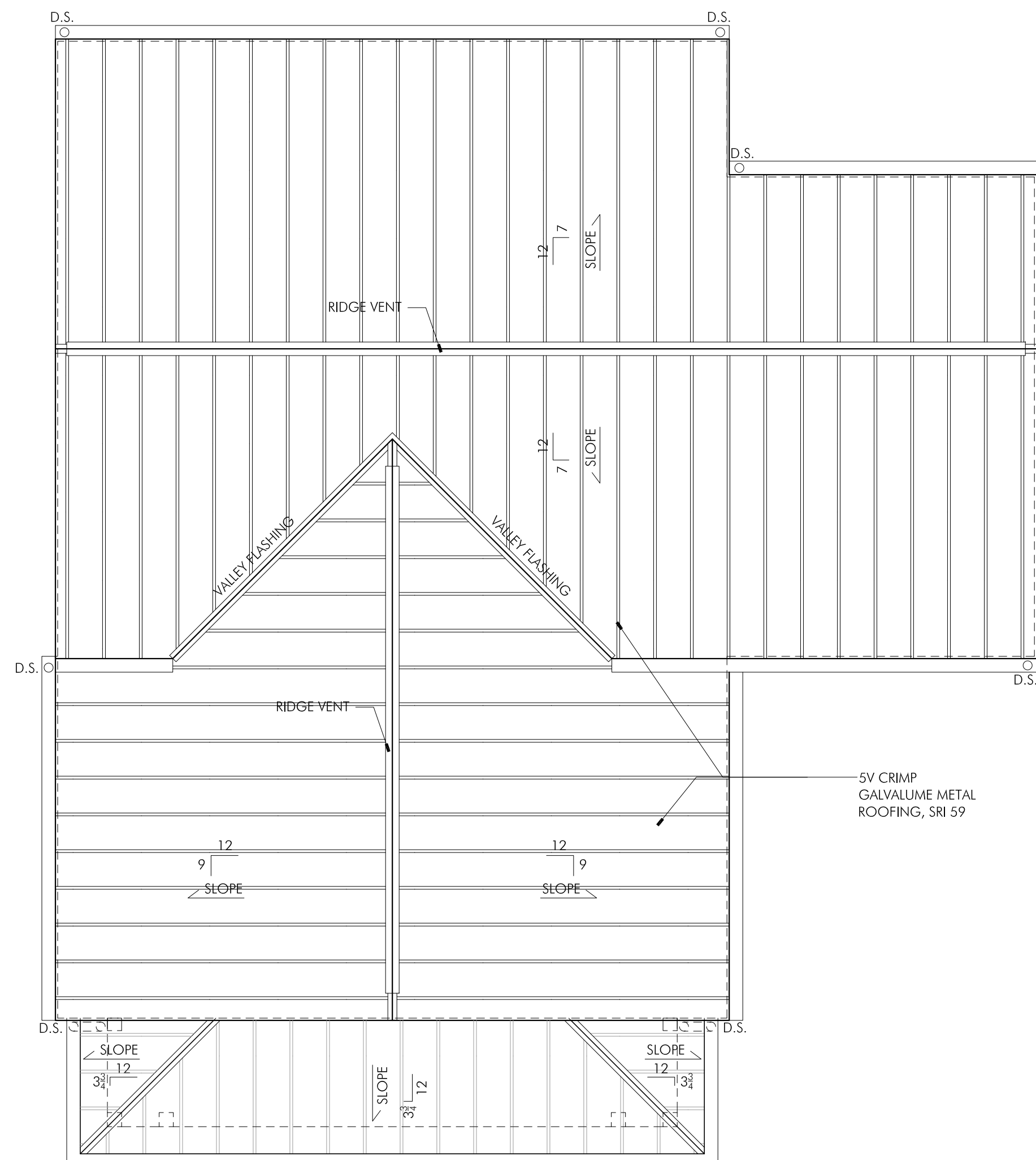
JOB NO: 16.012  
DATE: 11.13.18

FIRST FLOOR PLAN - UNIT 646

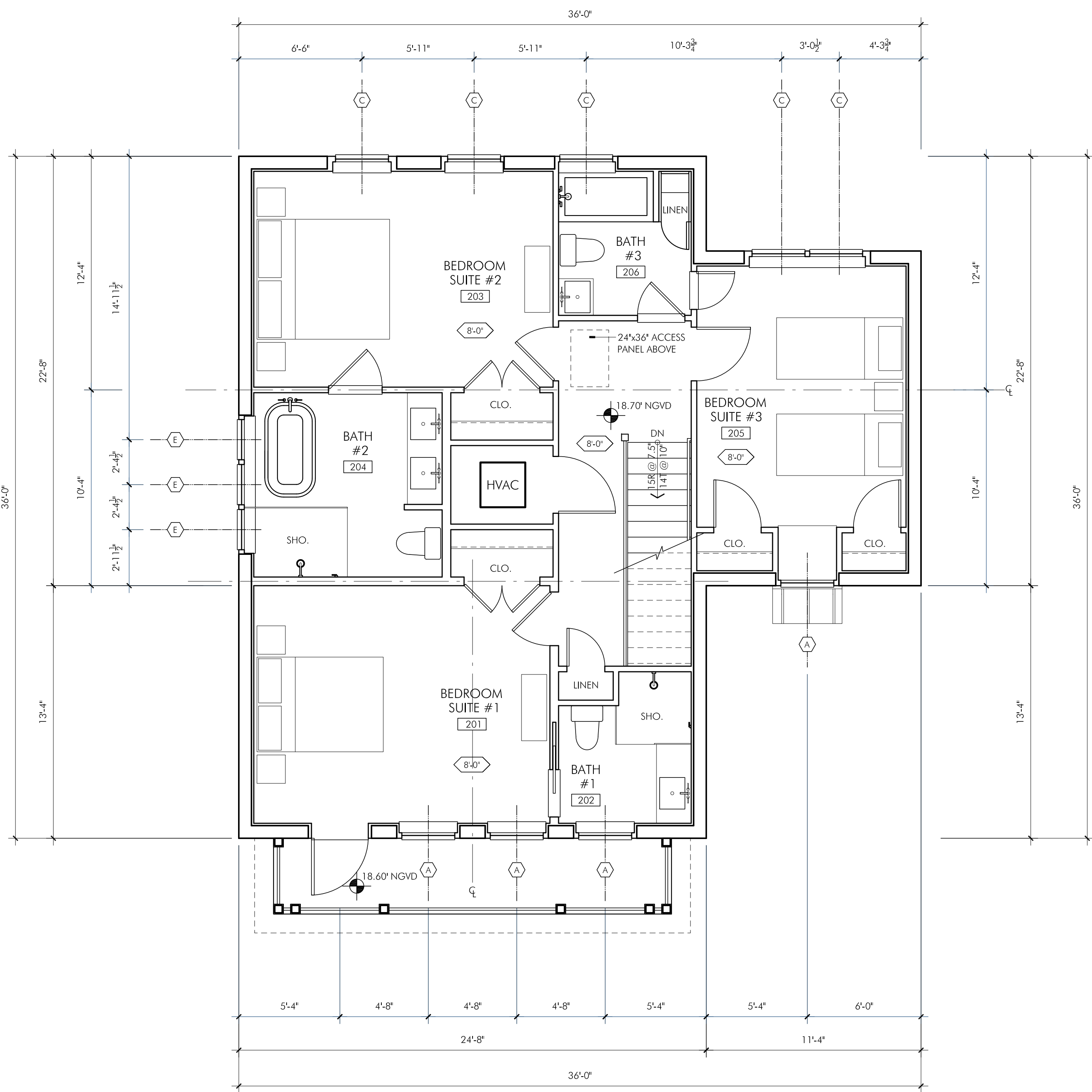

**646** 1ST FLOOR PLAN 1  
 1ST FLR.: 1032 S.F.  
 PORCH: 84 S.F.  
 DECK: 316 S.F.  
 1/4"=1'-0"

**A201**

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22



646 ROOF PLAN 2  
1/4"=1'-0"



646 2ND FLOOR PLAN 1  
2ND FLR.: 1088 S.F.  
PORCH: 84 S.F.  
1/4"=1'-0"

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JOB NO: 16.012  
DATE: 11.13.18

2ND FLOOR & ROOF PLANS - UNIT 646

A202



108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219  
Fon 804.344.0060  
email: bobstudio@bobarchitecture.net

UNITED STREET RESIDENCES  
KEY WEST, FLORIDA

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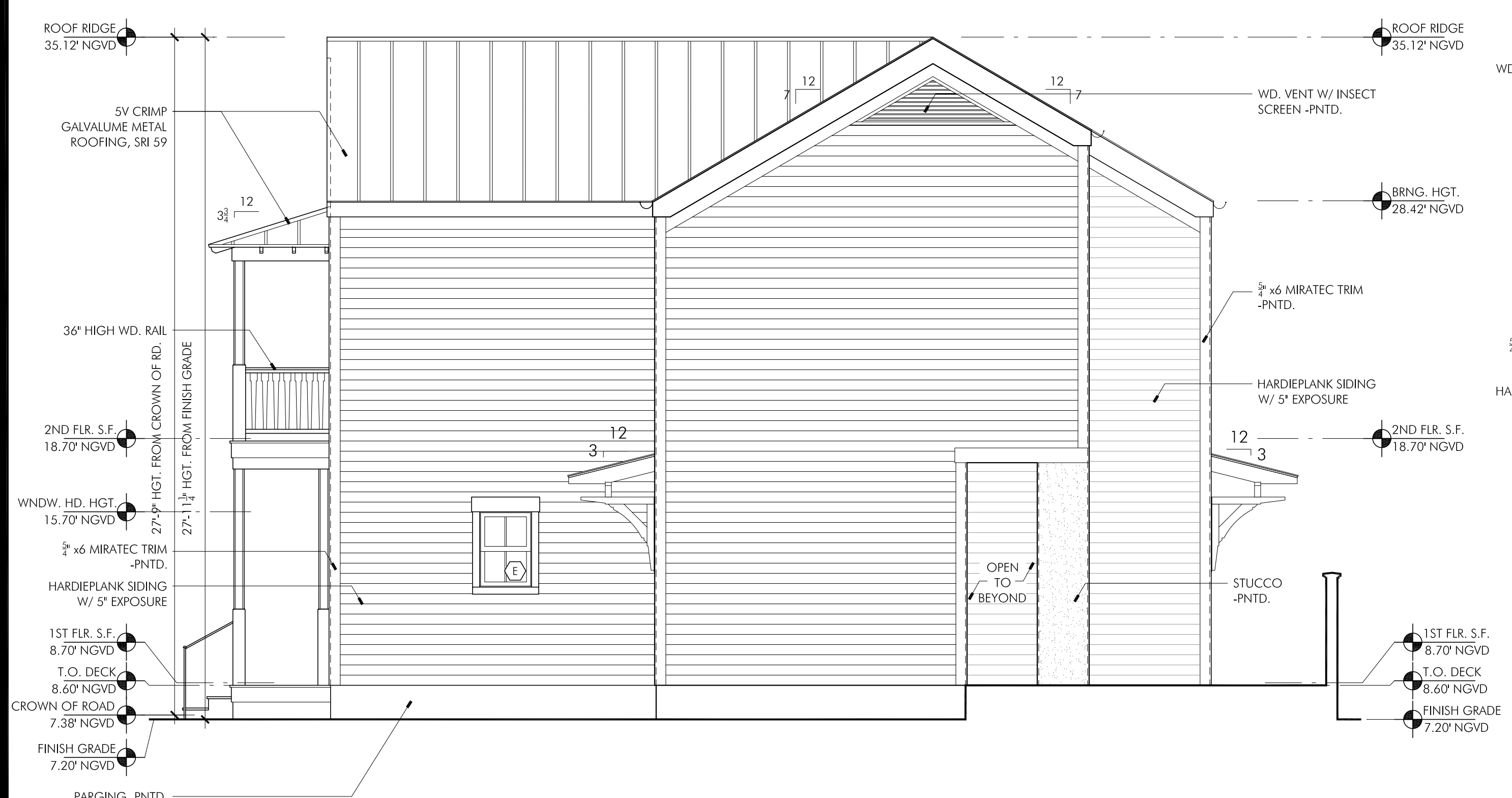
A | B | C | D | E | F | G | H | I | J | K | L | M | N | O



SIDE ELEVATION - UNIT 646 4  
1/4" = 1'-0"



REAR ELEVATION - UNIT 646 3  
1/4" = 1'-0"



SIDE ELEVATION - UNIT 646 2  
1/4" = 1'-0"



FRONT ELEVATION - UNIT 646 1  
1/4" = 1'-0"

UNITED STREET RESIDENCES  
KEY WEST, FLORIDA

Fon 804.344.0060  
email: bobstudio@bobarchitecture.net



108 NORTH FIRST STREET  
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JOB NO: 16.012  
DATE: 11.13.18

EXTERIOR ELEVATIONS - UNIT 646

A301

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VILLA MILL ALLEY ELEVATION 2  
3/32"=1'-0"



UNITED STREET ELEVATION 1  
3/32"=1'-0"

UNITED STREET RESIDENCES  
KEY WEST, FLORIDA



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JOB NO: 16.012  
DATE: 11.13.18

UNITED ST. & VILLA  
MILL ALLEY ELEVATIONS

A302









## PREMIUM

<b>Gauge</b> 29 and 26	<b>Paint System</b> Signature® 200 20 Colors	★★★★
<b>Substrate</b> Galvalume	<b>Warranty</b> 40-Year Film Integrity	

**Final color selection should be made from metal color chips.**

- For the most current information available, visit our website at [www.abcmetalroofing.com](http://www.abcmetalroofing.com).
- See the product catalog for gauge and color availability.
- Review the sample warranty for complete performance attributes, exceptions, and terms and conditions.
- Trim is available in all colors.

Available in 29 Gauge



Buckskin★



Evergreen★



Hawaiian Blue★



Clay★



Radiant Red★



Desert Sand★



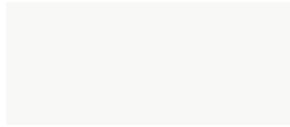
Burgundy★



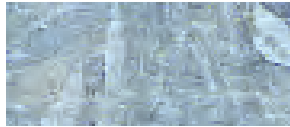
Cobalt Blue★



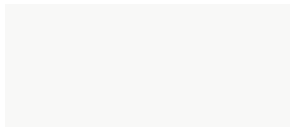
Coal Black★



Vintage White



Galvanized



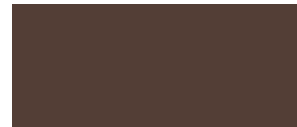
Regal White★



Rustic Red★



Saddle Tan★



Koko Brown★



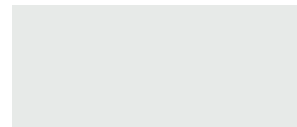
Light Stone★



Gray★



Ivy Green★



Polar White★  
(also available in G-90 Galvanized)



Charcoal Gray★



Burnished Slate★



Galvalume Plus®

This color







**Final color selection should be made from metal color chips.**

- For the most current information available, visit our website at [www.abcmetalroofing.com](http://www.abcmetalroofing.com).
- See the product catalog for gauge and color availability.
- Review the sample warranty for complete performance attributes, exceptions, and terms and conditions.
- Trim is available in all colors.

<b>Select40<sup>1</sup></b> ★★★	
<b>Gauge</b> 29	<b>Paint System</b> Signature® 200 12 Colors
<b>Substrate</b> Galvalume	<b>Warranty</b> 40-Year Film Integrity
	Buckskin
	Burgundy
	Burnished Slate
	Charcoal Gray
	Coal Black
	Desert Sand
	Gray
	Ivy Green
	Koko Brown
	Light Stone
	Polar White
	Regal White
	Rustic Red
	Saddle Tan

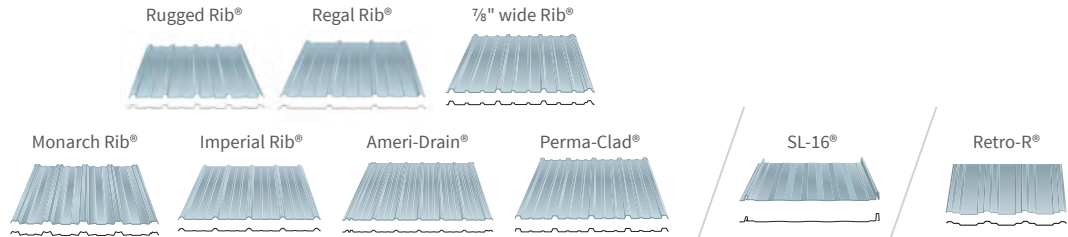
<b>Econo20<sup>1</sup></b> ★★	
<b>Gauge</b> 29	<b>Paint System</b> Signature® 200 10 Colors
<b>Substrate</b> Varies	<b>Warranty</b> 20-Year Film Integrity
	Burnished Slate
	Charcoal Gray
	Gray
	Ivy Green
	Koko Brown
	Light Stone
	Polar White
	Regal White
	Rustic Red
	Saddle Tan

<b>Commodity<sup>1</sup></b> ★	
<b>Gauge</b> 30	<b>Paint System</b> Siliconized Modified Polyester 6 Colors
<b>Substrate</b> Varies	<b>Warranty</b> None
	Charcoal Gray
	Ivy Green
	Koko Brown
	Light Stone
	Polar White
	Rustic Red

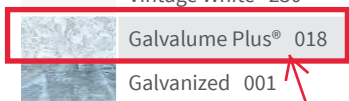
<sup>1</sup>Thumbnail colors are ink representations of Premium paint chips on cover.

# PRODUCT AND COLOR SELECTION

Thumbnail colors are ink representations of Premium paint chips on cover.



	Post Frame / Agricultural / Residential 40-7/8"					Concealed Fastener		Retro-Fit	
	29 Ga. Premium	26 Ga. Premium	29 Ga. Select40	29 Ga. Econo20	30 Ga. Commodity	29 Ga. Premium	26 Ga. Premium	29 Ga. Premium	26 Ga. Premium
Buckskin 727	■		■			■		■	
Burgundy 717	■		■			■		■	
Burnished Slate 212	■	■	■	■		■	■	■	■
Charcoal Gray 219	■	■	■	■	■	■	■	■	■
Clay 238	■					■		■	
Coal Black 203	■		■			■		■	
Cobalt Blue 209	■					■	■	■	■
Desert Sand 217	■		■			■		■	
Evergreen 234	■					■		■	
Gray 725	■	■	■	■		■	■	■	■
Hawaiian Blue 204	■					■		■	
Ivy Green 712	■	■	■	■	■	■	■	■	■
Koko Brown 215	■	■	■	■	■	■	■	■	■
Light Stone 206	■	■	■	■	■	■	■	■	■
Polar White 202	■		■	■	■	■		■	
Radiant Red 730	■					■		■	
Regal White 702	■	■	■	■		■	■	■	■
Rustic Red 207	■	■	■	■	■	■	■	■	■
Saddle Tan 221	■	■	■	■		■	■	■	■
Vintage White 230	■					■		■	
Galvalume Plus® 018	■	■				■	■	■	■
Galvanized 001	■								

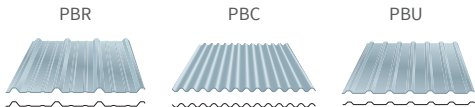


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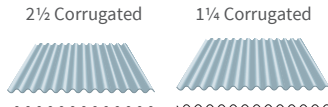
29 gauge

■ Premium

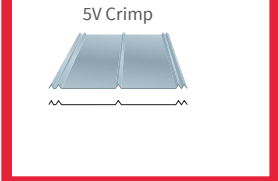
**Commercial**  
26 gauge Premium  
See Commercial and Industrial color chart for color availability.



**Corrugated**  
29 gauge Galvalume Plus®



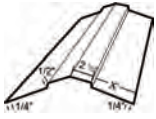
**5V Crimp**  
26 gauge and 29 gauge Galvalume Plus®



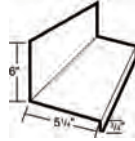
# TRIM APPLICATIONS

ABC offers one of the broadest selections for post-frame and residential trim applications. Custom trims are also available. Please contact your sales representative for details.

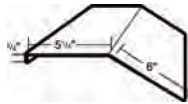
**LG 101** PLAIN RIDGE CAP\*



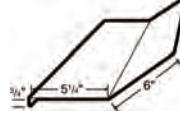
**LG 104** NOTCHED ENDWALL FLASHING



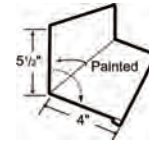
**LG 105** NOTCHED UPPER GAMBREL FLASHING



**LG 106** NOTCHED LOWER GAMBREL FLASHING



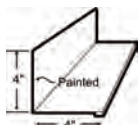
**LG107** DENVER ENDWALL FLASHING



**LG 108** SIDEWALL FLASHING



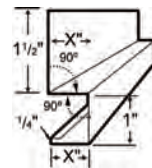
**LG 109** DENVER SIDEWALL FLASHING



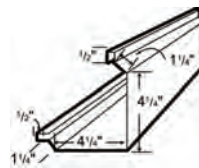
**LG 110** BASE TRIM\*



**LG 111** SQUARE BASE ANGLE\*



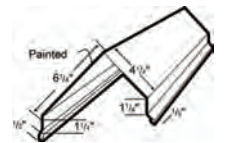
**LG 113** CORNER TRIM



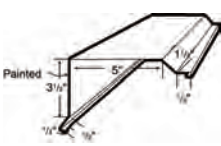
**LG 115** INSIDE CORNER



**LG 117** RAKE TRIM



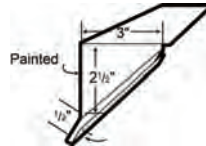
**LG 118** DENVER GABLE



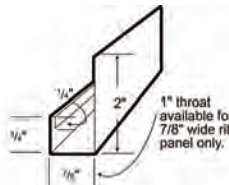
**LG 119** EAVE FLASHING



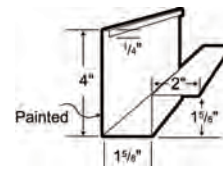
**LG 120** DENVER EAVE TRIM



**LG 123** "J" CHANNEL



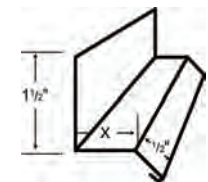
**LG 125** 9/16" DOOR JAMB



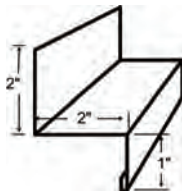
**LG 126** DOOR POST TRIM\*



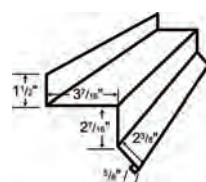
**LG 129** WINDOW DRIP CAP\*



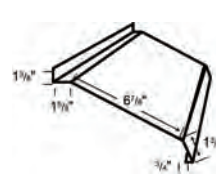
**LG 130** SLIDING DOOR DRIP CAP



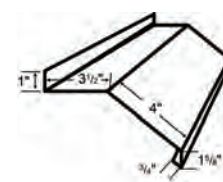
**LG 131** NATIONAL DOOR TRACK COVER



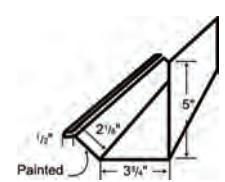
**LG 132** COMBO TRACK COVER



**LG 133** TOP MOUNT TRACK COVER



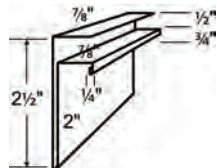
**LG 134** TRACK DOOR JAMB TRIM



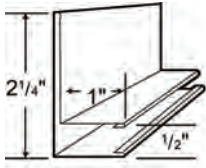
**LG 138 / LG 139**  
"W" FORMED VALLEY\*



**LG 147** F&J SOFFIT



**LG 148** "F" CHANNEL



\*Refer to the 29-gauge product manual for variable trim dimensions.



**ABCMetalRoofing.com**  
 Adel, GA 877.595.6604  
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Descriptions and specifications contained herein were in effect at the time this publication was approved for printing. In a continuing effort to refine and improve products, American Building Components reserves the right to discontinue products at any time or change specifications and/or designs without incurring obligation. To ensure you have the latest information available, please inquire or visit our website at [abcmetalroofing.com](http://abcmetalroofing.com)



# Paint colors for five single family residences

BODY

TRIM

ACCENT

**Poolhouse**  
SW 7603

**City Loft**  
SW 7631

**Peppercorn**  
SW 7674



**Gray Clouds**  
SW 7658

**Reflection**  
SW 7661

**Rocky River**  
SW 6215

Due to variations in the printing process, actual colors may vary from those shown in this brochure.

**Salute**  
SW 7582

**Extra White**  
SW 7006

**Jubilee**  
SW 6248



**Knitting Needles**  
SW 7672

**Pearly White**  
SW 7009

**Seaworthy**  
SW 7620



**Greenblack**  
SW 6994

**Extra White**  
SW 7006

**Summit Gray**  
SW 7669



# NOTICING

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:30 p.m., November 27, 2018 at City Hall, 1300 White Street**, Key West, Florida. The purpose of the hearing will be to consider a request for:

**MAJOR DEVELOPMENT PLAN – FIVE NEW RESIDENTIAL SINGLE-FAMILY HOUSES WITH SWIMMING POOLS. SITE IMPROVEMENTS INCLUDING FENCES AND DRIVEWAYS. DEMOLITION OF EXISTING ONE-STORY CBS STRUCTURE.**

**#638 UNITED STREET**

**Applicant – Robert Steele, Architects    Application #H2018-0016**

**If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).**

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.





Public  
Meeting  
Notice

# HARC POSTING AFFIDAVIT

**STATE OF FLORIDA:**  
**COUNTY OF MONROE:**

**BEFORE ME**, the undersigned authority, personally appeared ALVINA COVINGTON, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:  
638 UNITED STREET on the  
13 day of NOVEMBER, 2018.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on NOVEMBER 27, 2018.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H2018-0016.

2. A photograph of that legal notice posted in the property is attached hereto.

**Signed Name of Affiant:** Alvina Covington

**Date:** 11-13-18

**Address:** 1421 FIRST STREET UNIT 101

**City:** KEY WEST

**State, Zip:** FL, 33040

The forgoing instrument was acknowledged before me on this 13 day of NOVEMBER, 2018.

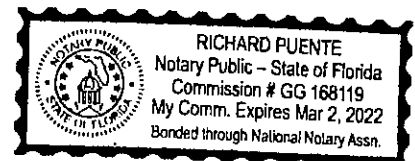
By (Print name of Affiant) ALVINA COVINGTON who is personally known to me or has produced \_\_\_\_\_ as identification and who did take an oath.

**NOTARY PUBLIC**

Sign Name: Richard Puente  
Print Name: RICHARD PUENTE

Notary Public - State of Florida (seal)

My Commission Expires: 3-2-2022



# PROPERTY APPRAISER INFORMATION





**Disclaimer**

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

**Summary**

Parcel ID 00036600-000000  
 Account # 1037443  
 Property ID 1037443  
 Millage Group 10KW  
 Location 638 UNITED St , KEY WEST  
 Address  
 Legal KW D T SWEENY'S DIA O-327 LT 9 AND 15 AND 16 SQR 5 TR  
 Description 17 RR-781 OR181-140/41 OR329-360/67 OR382-1073/1075  
 OR874-391/393 OR880-81/83C OR1913-1667/69 OR2067-  
 611/13C OR2471-2244D/C OR2471-2250/54 OR2471-  
 2255/57 OR2781-1791/95  
 (Note: Not to be used on legal documents)  
 Neighborhood 32130  
 Property Class ONE STORY OFFICE (1700)  
 Subdivision  
 Sec/Twp/Rng 06/68/25  
 Affordable No  
 Housing



**Owner**

LAND 10031 LLC 4900 W Hundred Rd Chester VA 23831	LAND 7009 LLC	LAND 2708 LLC
	LAND 1701 LLC	LAND 4027 LLC
LAND 2421 LLC	LAND 8351 LLC	LAND 8601 LLC
LAND 113 LLC		

**Valuation**

	2018	2017	2016	2015
+ Market Improvement Value	\$289,673	\$289,673	\$312,071	\$452,958
+ Market Misc Value	\$8,437	\$8,437	\$8,437	\$8,844
+ Market Land Value	\$606,220	\$606,220	\$609,171	\$607,799
= Just Market Value	\$904,330	\$904,330	\$929,679	\$1,069,601
= Total Assessed Value	\$904,330	\$904,330	\$929,679	\$1,069,601
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$904,330	\$904,330	\$929,679	\$1,069,601

**Land**

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	13,994.00	Square Foot	132.65	105.5

**Commercial Buildings**

Style OFFICE BLD-1 STORY / 17C  
 Gross Sq Ft 4,910  
 Finished Sq Ft 4,562  
 Perimiter 0  
 Stories 2  
 Interior Walls  
 Exterior Walls C.B.S.  
 Quality 400 ()  
 Roof Type  
 Roof Material  
 Exterior Wall1 C.B.S.  
 Exterior Wall2  
 Foundation  
 Interior Finish  
 Ground Floor Area  
 Floor Cover  
 Full Bathrooms 0  
 Half Bathrooms 0

Heating Type  
 Year Built 1963  
 Year Remodeled  
 Effective Year Built 1985  
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	4,562	4,562	0
OPU	OP PR UNFIN LL	128	0	0
OPF	OP PRCH FIN LL	220	0	0
<b>TOTAL</b>		<b>4,910</b>	<b>4,562</b>	<b>0</b>

**Yard Items**

Description	Year Built	Roll Year	Quantity	Units	Grade
FENCES	1982	1983	1	345 SF	4
ASPHALT PAVING	1993	1994	1	6700 SF	2

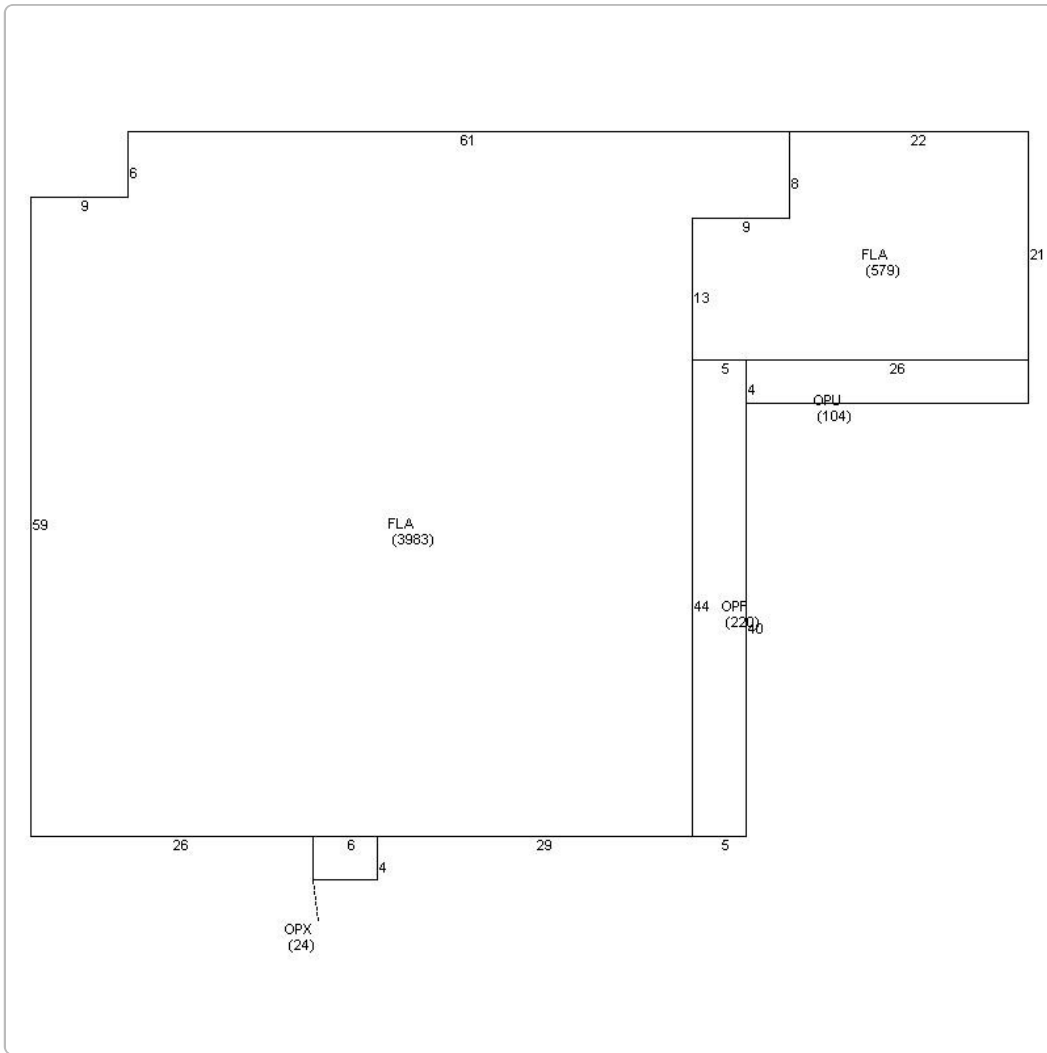
**Sales**

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
2/8/2016	\$0	Warranty Deed		2781	1791	37 - Unqualified	Improved
6/2/2010	\$100	Quit Claim Deed		2471	2255	11 - Unqualified	Improved
6/2/2010	\$100	Quit Claim Deed		2471	2250	11 - Unqualified	Improved
2/1/1983	\$153,000	Warranty Deed		874	391	Q - Qualified	Improved

**Permits**

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
08-1406	5/2/2008		\$21,000	Commercial	REMOVE ASPHALT SHINGLES AND REPLACE WITH V-CRIMP ROOFING. ROOF OVER FLAT WITH MODIFIED RUBBER.
06-6482	12/4/2006	12/31/2007	\$2,200	Commercial	REPLACE TWO AIR HANDLERS
03-2386	7/24/2003	10/8/1983	\$3,000	Commercial	ELECTRICAL
03-0733	3/12/2003	10/8/2003	\$8,500	Commercial	ROOFING
00-2365	9/20/2000	12/5/2000	\$4,500	Commercial	CENTRAL AC UNIT FOR STORA
99-2886	2/4/2000	8/11/2000	\$25,000	Commercial	NEW 2 CAR GARAGE
96-3644	9/1/1996	11/1/1996	\$1	Commercial	ROOF
96-3367	8/1/1996	11/1/1996	\$1,000	Commercial	RENOVATIONS
B95-2484	8/1/1995	10/1/1995	\$1,000	Commercial	REPAIR STORAGE SHED
B95-1789	6/1/1995	10/1/1995	\$200	Commercial	10 4X4 POLES W/CHAIN BETW
B95-1297	4/1/1995	10/1/1995	\$200	Commercial	10 4X4 POLES W/CHAIN BETW
B95-0680	3/1/1995	10/1/1995	\$600	Commercial	92 SF ASPHALT
B94-1187	4/1/1994	7/1/1994	\$6,000	Commercial	RESURFACE PARKING LOT

Sketches (click to enlarge)



Photos





Map



TRIM Notice

Trim Notice

2018 Notices Only

No data available for the following modules: Buildings, Mobile Home Buildings, Exemptions.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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