

**PLANNING BOARD
RESOLUTION NO. 2025-018**

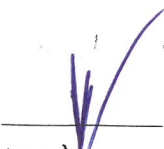
A RESOLUTION OF THE CITY OF KEY WEST PLANNING BOARD RECOMMENDING APPROVAL OF A MAJOR DEVELOPMENT PLAN APPLICATION AND APPROVING A LANDSCAPE WAIVER TO ALLOW FOR THE REDEVELOPMENT AN EXISTING 81-UNIT HOTEL INTO AN 80-UNIT TRANSIENT CONDOMINIUM, WHILE MAINTAINING THE ON-SITE RESTAURANT, RETAIL SEAFOOD MARKET, MARINA, AND RECREATIONAL RENTAL VEHICLE USES FOR PROPERTY LOCATED AT 3101 N. ROOSEVELT BLVD (RE# 00002360-000000) PURSUANT TO SECTIONS 108-91 AND 108-517 OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES OF THE CITY OF KEY WEST, FLORIDA, PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Section 108-91(B)(2)(d) of the Code of Ordinances (the “Code”) of the City of Key West, Florida (the “City”) provides that any development located within tidal waters extending 600 feet seaward of the corporate city limits shall require major development plan approval; and

WHEREAS, Section 108-91(B) provides that major development plan approval is required for the reconstruction of eleven or more transient units;

WHEREAS, the subject property is located at 3101 N. Roosevelt Boulevard in the Commercial General and Conservation zoning districts and is the site of an existing hotel with accessory uses consisting of a restaurant, retail, and recreational rental vehicle uses; and

WHEREAS, the property owner has submitted a major development plan application to raze and redevelop the hotel property resulting in eighty (80) transient units and restaurant, retail, and recreational rental vehicle uses; and



KPH Planning Director

Chairman

WHEREAS, Code Section 108-196(a) requires the Planning Board to review and approve, approve with conditions or deny the proposed Major Development Plan in an advisory capacity to the City Commission; and

WHEREAS, Article IV of Chapter 108 provides minimum landscaping standards for development plans; including Section 108-413 which provides that sites between one and three acres shall provide landscaping along street frontage with a minimum width of thirty feet; and

WHEREAS, the proposed landscaping along the street frontage does not meet the minimum width requirements; and

WHEREAS, Section 108-517 provides that the Planning Board may grant a waiver to minimum landscaping requirements if it determines that the waivers or modifications are not contrary to the intent of this subdivision and that a literal enforcement of the standards of this subdivision would be impracticable and would not violate the criteria outlined in Section 108-517(b); and

WHEREAS, these matters came before and were approved by the Planning Board at a duly noticed public hearing on March 27, 2024; and

WHEREAS, the Planning Board finds that the granting of a Major Development Plan and landscape waiver is in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare; and

NOW THEREFORE, BE IT RESOLVED BY THE PLANNING BOARD OF THE CITY OF KEY WEST, FLORIDA, AS FOLLOWS:


Chairman

Planning Director

Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

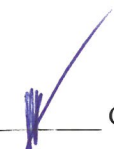
Section 2. The Major Development Plan and landscape waiver to allow for the redevelopment of an existing 81-unit hotel into an 80-unit transient condominium, with accessory restaurant, retail seafood market, marina, and recreational rental vehicle uses, in the General Commercial and Conservation zoning districts pursuant to Sections 108-91(b) of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida, as shown in the attached site plans is hereby approved with the following conditions:

Conditions required prior to final development plan approval:

1. The applicant shall provide a revised site data table that reflects the definitions for impervious surface and open space identified in the Land Development Regulations.
2. The applicant shall provide an alternative wetland buffer plan that addresses the criteria of Section 110-91.

Conditions required prior to issuance of a Building Permit

3. The work shall be consistent with the plans signed and sealed by A2O Architecture, dated 2.27.25. Construction drawings for permitting shall be dated as approved herein, with any proposed revisions (modifications) clearly noted.
4. The applicant shall provide a stormwater plan and soil erosion and sediment control plan that includes a stormwater pollution prevention plan. The plan shall conform to the stormwater requirements of the Code of Ordinances including Chapter 108, Article VIII of the Land Development Regulations. The plan shall ensure that The plan shall be provided to and approved by the City stormwater engineer.



KPH Planning Director

5. All applicable state or federal permits shall be obtained before commencement of the development, including a letter of coordination with the South Florida Water Management District (SFWMD).

Section 3. This resolution does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

Section 4. This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Section 5. This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order shall be rendered to the Florida Department of Commerce (DOC). Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not effective for 45 days after it has been properly rendered to the DOC with all exhibits and applications attached to or incorporated by reference in this approval; that within the 45-day review period, the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this 27th day of March, 2025.

Authenticated by the Chair of the Planning Board and the Planning Director.

 Chairman

 Planning Director

March, 2025.

Authenticated by the Chair of the Planning Board and the Planning Director.


Peter Barry, Planning Board Chair

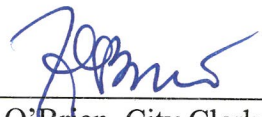

Date

Attest:


Katie P. Halloran, Planning Director

4/8/2025
Date

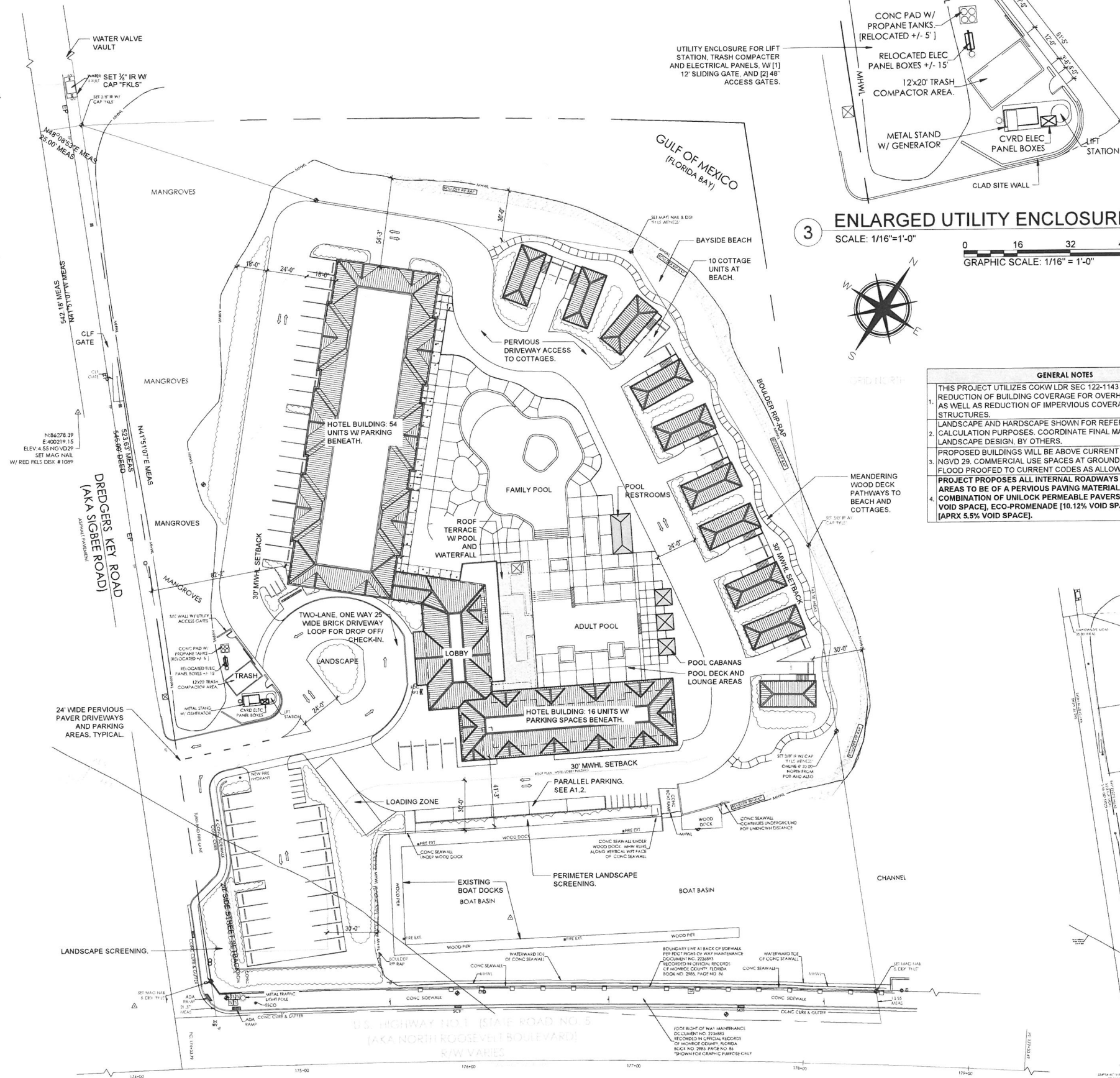
Filed with the Clerk:


Keri O'Brien, City Clerk

4/8/2025
Date


Chairman

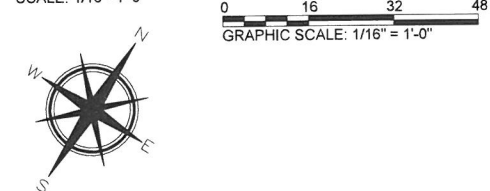

KPH Planning Director



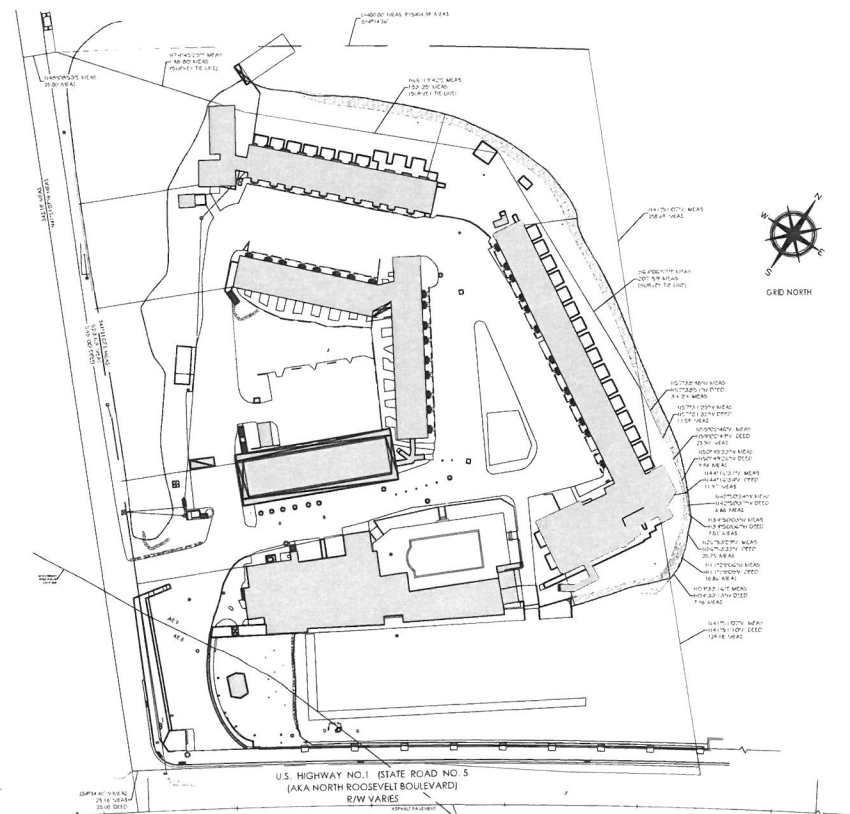
1 PROPOSED SITE PLAN
SCALE: 1/32"=1'-0"



3 ENLARGED UTILITY ENCLOSURE
SCALE: 1/16"=1'-0"



- GENERAL NOTES**
- THIS PROJECT UTILIZES COKW LDR SEC 122-1143 AMENDMENT. REDUCTION OF BUILDING COVERAGE FOR OVERHANGS AND GUTTERS, AS WELL AS REDUCTION OF IMPERVIOUS COVERAGE FOR ELEVATED STRUCTURES.
 - LANDSCAPE AND HARDSCAPE SHOWN FOR REFERENCE AND SITE CALCULATION PURPOSES. COORDINATE FINAL MATERIALS W/ LANDSCAPE DESIGN, BY OTHERS.
 - PROPOSED BUILDINGS WILL BE ABOVE CURRENT FLOOD HEIGHTS. NGVD 29. COMMERCIAL USE SPACES AT GROUND LEVEL WILL BE FLOOD PROOFED TO CURRENT CODES AS ALLOWED.
 - PROJECT PROPOSES ALL INTERNAL ROADWAYS AND PARKING AREAS TO BE OF A PERVIOUS PAVING MATERIAL. BASIS OF DESIGN: COMBINATION OF UNILOCK PERMEABLE PAVERS, TURFBLOCK (40% VOID SPACE), ECO-PROMENADE (10.12% VOID SPACE), AND METRO (APRX 5.5% VOID SPACE).



2 EXISTING REFERENCE SITE PLAN
SCALE: 1/64"=1'-0"

PROJECT SITE DATA			
IBIS BAY BEACH RESORT, 3101 NORTH ROOSEVELT BOULEVARD, KEY WEST, FLORIDA 33040			
REAL ESTATE NO.: 00002360-000000			
ZONING DISTRICT	CG COMMERCIAL GENERAL		
FLOOD ZONE	AE 8/ AE 9 [NGVD 29]		
CODE REQUIREMENTS:	REQUIRED/ ALLOWED	EXISTING	PROPOSED
LOT SIZE [TOTAL]	15,000 SF	212,020.17 SF [4.87 ACRES]	NO CHANGE
UPLAND AREA	-	143,657.88 SF [3.30 ACRES]	NO CHANGE
HEIGHT [CROWN]	40'-0"	+/- 24'-0"	40'-0"
FAR			
HOTEL UNITS		.25 [35,927.75 SF]	.21 [29,985.66 SF]
MARKET RATE UNITS		.01 [1,088 SF]	0.0 [0 SF]
RESTAURANT		.03 [4,160.56 SF]	.02 [3,206.98 SF]
DENSITY			
HOTEL	81 TRANSIENT/ 1 NON-TRANSIENT ^a	81 TRANSIENT	80 TRANSIENT
MARKET RATE		1 NON-TRANSIENT	0
+/- AVERAGE UNIT SIZE		423.54 SF	374.82 SF
	^a PER L.U.D DATED MAY 19, 2020, THE ALLOWED TRANSIENT UNITS IS [81], PLUS [1] NON-TRANSIENT DWELLING UNIT.		
SETBACKS			
FRONT YARD	25'-0"	38'-1 3/4"	26'-0"
STREET SIDE	20'-0"	56'-3 3/4"	82'-2"
MEAN HIGH WATER LINE	30'-0"	8'-10 3/4"	30'-0"
BUILDING COVERAGE	40% MAX [57,463.15 SF]	+/- 27.10% [38,929.74 SF]	20.27% [29,117.22 SF]
IMPERVIOUS COVERAGE	60% MAX [86,194.73 SF]	+/- 62.00% [89,074.29 SF]	50.96% ⁺⁴ [73,214.09 SF]
OPEN SPACE 108-346	20% MIN [28,731.58 SF]	+/- 37.50% [53,864.98 SF]	42.55% [63,248.72 SF]

A²O

ARCHITECTURE

P 305.741.7676
E A2OARCHITECTURE@GMAIL.COM
PROF. REG. A20000292
3706 N. ROOSEVELT BLVD., SUITE 402
KEY WEST, FL 33040

ARCHITECT:
NOT VALID FOR CONSTRUCTION
WITHOUT ORIGINAL SEAL AND SEAL

AILEEN A. OSBORN, R.A.
LICENSE NO. AR07107
EXPIRATION DATE: 02/29/27

THE DRAWINGS AND WRITTEN MATERIAL
CONTAINED HEREIN CONSTITUTE
ORIGINAL WORK OF THE ARCHITECT AND
AS INTELLECTUAL PROPERTY AND
INSTRUMENTS OF SERVICE, ARE SUBJECT
TO COPYRIGHT. THE DRAWINGS MAY NOT
BE REPRODUCED, COPIED, DISTRIBUTED,
PUBLISHED OR USED IN ANY WAY
WITHOUT THE EXPRESS WRITTEN
CONSENT OF THE ARCHITECT.

CONSULTANTS:

IBIS BAY WATERFRONT RESORT
PARCEL ID: 00002360-000000

MAJOR DEVELOPMENT PLAN

SUBMISSION

3101 NORTH ROOSEVELT BLVD.,
KEY WEST, FLORIDA 33040

TITLE:

PROPOSED
SITE PLAN
AND DATA
TABLE

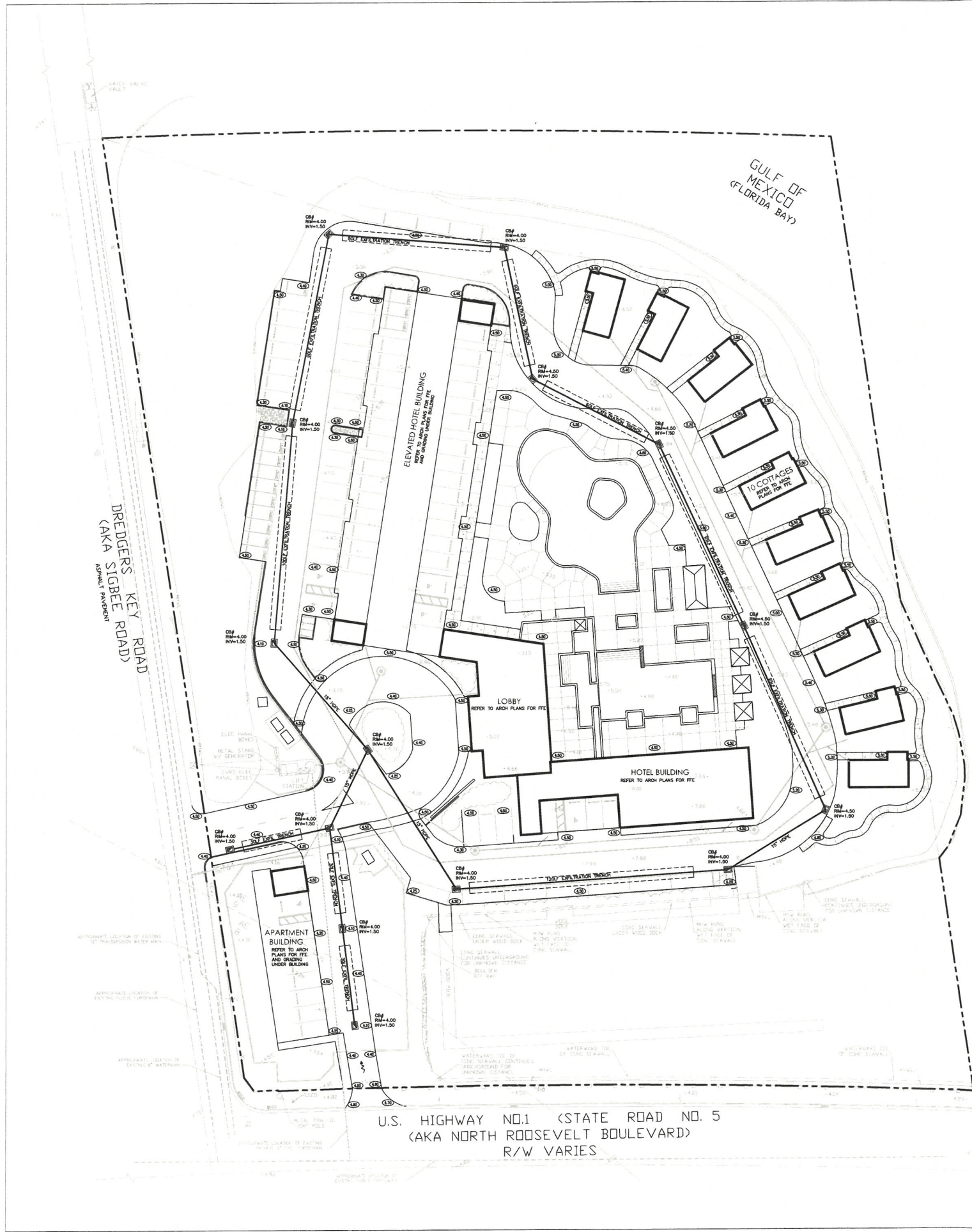
PROJECT #: 23.01

SHEET:

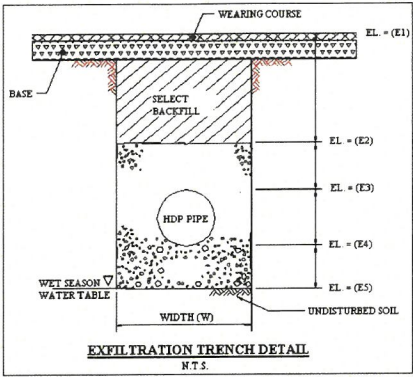
A7.7

FEBRUARY 27, 2025

© 2025 BY A2O ARCHITECTURE, LLC



IBIS Bay Resort
FES Project No. 24-1799.00



E1 = 4.00 ft. NAVD
E2 = 3.25 ft. NAVD
E3 = 2.75 ft. NAVD
E4 = 1.50 ft. NAVD
E5 = -0.25 ft. NAVD
Water Table = 1.50 ft. NAVD
Width (W) = 7.00 ft.

$k_1 = 1.00E-03$ cfs / ft² - ft. head (Hydraulic Conductivity)
 $k_2 = 1.00E-03$ cfs / ft² - ft. head (Hydraulic Conductivity)
 $K = (k_1 + k_2) / 2 = 1.00E-03$ cfs / ft² - ft. head

$L = 790$ lineal feet of trench provided
 $K = 1.00E-03$ cfs / ft² - ft. head (Hydraulic Conductivity)
 $D_1 = 1.75$ ft. (Non-Saturated Trench Depth)
 $D_2 = 1.75$ ft. (Saturated Trench Depth)
 $H_2 = 2.50$ ft. (Depth to water table)
 $W = 7.00$ ft. (Width of Trench)
 $V_{wq} = 6.08$ ac-in (Volume to be treated for water quality)
 $\%WQ = 0.50$
 $FS = 2.00$

$L_{wq} = \frac{FS[(\%WQ)(V_{wq})]}{K(H_2W + 2H_2D_1 - D_1^2 + 2H_2D_2) + (0.000139)WD_1} = \frac{6.08}{0.0319 + 0.0017} = 181$ LF
 $L_{wq} = 181$ lineal feet of trench required for water quality

$V_{total} = V_{wq} + V_{qn} = 15.58$ ac-in (Total Volume required to be treated for water quality)
 $V_{qn} = V_{total} - V_{wq} = 9.50$ ac-in (Volume to be treated in addition to water quality for water quantity)

$L_{qn} = \frac{FS[(\%WQ)(V_{qn}) + V_{qn}]}{K(H_2W + 2H_2D_1 - D_1^2 + 2H_2D_2) + (0.000139)WD_1} = \frac{25.08}{0.0319 + 0.0017} = 746$ LF
 $L_{qn} = 746$ lineal feet of trench required for water quantity

$V_{add} = [L \times (K(H_2W + 2H_2D_1 - D_1^2 + 2H_2D_2) + (0.000139)WD_1)] - V_{wq} = [790 \times (0.0319 + 0.0017)] - 6.08$
 $V_{add} = 10.25$ ac-in (Volume provided in addition to V_{wq})

$V = V_{wq} + V_{add} = 16.33$ acre-inches treated (Total volume treated)
 $FS = 1.36$ acre-feet treated

IBIS Bay Resort
FES Project No. 24-1799.00

I. GENERAL INFORMATION

PROPOSED LAND USAGE		
A. TOTAL ACRES	212,020 SF =	4.87 AC
B. BUILDING COVERAGE	28,765 SF =	0.66 AC 14%
C. PARKING GARAGE	0 SF =	0.00 AC 0%
D. LAKE	67,057 SF =	1.54 AC 32%
E. TOTAL ASPHALT & WALKS	67,934 SF =	1.56 AC 32%
F. TOTAL IMPERVIOUS	163,756 SF =	3.76 AC 77%
G. % WATER QUALITY IMPERVIOUS		58%
H. PERVIOUS AREA	48,264 SF =	1.11 AC 23%
		100%

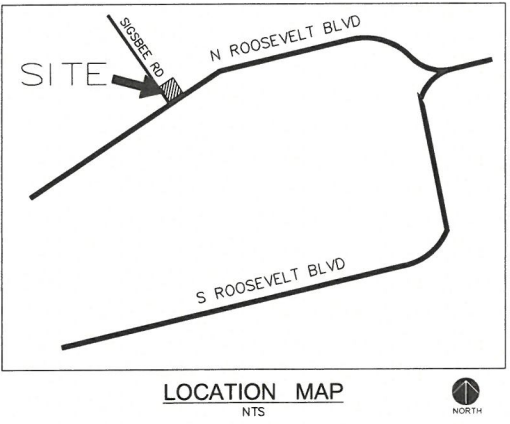
EXISTING LAND USAGE		
A. TOTAL ACRES	212,020 SF =	4.87 AC
B. BUILDING COVERAGE	22,395 SF =	0.51 AC 11%
C. TOTAL ASPHALT & WALKS	52,467 SF =	1.20 AC 25%
D. LAKE	67,057 SF =	1.54 AC 32%
E. TOTAL IMPERVIOUS	141,919 SF =	3.26 AC 67%
F. % WATER QUALITY IMPERVIOUS		63%
G. PERVIOUS AREA	70,101 SF =	1.61 AC 33%
		100%

II. WATER QUALITY CRITERIA

- A. COMPUTE FIRST INCH OF RUNOFF FROM TOTAL SITE
1" x Total Acreage = 0.41 AC-FT = 4.87 AC-IN
- B. COMPUTE 2.5 TIMES THE % OF "WATER QUALITY" IMPERVIOUS
2.5% x % Imperv: X Total Acreage = 0.51 AC-FT = 6.08 AC-IN

III. WATER QUANTITY CRITERIA

- A. COMPUTE THE 5-YR 1-HOUR VOLUME FOR TOTAL SITE
3.2% Total Acreage = 1.30 AC-FT = 15.58 AC-IN



FLOOD DATA:

COMMUNITY NO.: 120168 & 125129
MAP NO.: 12087C-1509K
MAP DATE: 02-18-2005
FLOOD ZONE: AE
BASE ELEVATION(S): 9.0'

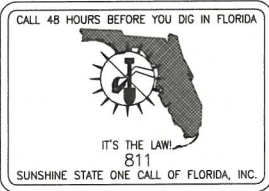
AVERAGE WET SEASON
WATER LEVEL= ELEV. (1.50) NGVD

LEGEND:

- PROPOSED ELEVATION (NGVD)
- EXISTING ELEVATION (NGVD)
- PROPOSED CATCH BASIN
- PROPOSED PLUG
- TEE
- WATER METER
- DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE
- REDUCED PRESSURE BACKFLOW PREVENTOR
- DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
- PROPOSED MANHOLE
- WATER MAIN
- SANITARY FORCE MAIN
- VALVE
- FIRE HYDRANT
- SIAMSESE CONNECTION CLEANOUT
- EDGE OF PROPOSED PAVEMENT (ASPHALT)
- DIRECTION OF SURFACE DRAINAGE
- SAMPLE POINT
- EXIST. WATER MAIN
- EXIST. UTILITY LINE TO BE ABANDONED IN PLACE

GRADING AND DRAINAGE NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF KEY WEST.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MARKERS.
- ALL STORM DRAINAGE LINE FROM THE BLDG SHALL BE LAID @ 1.0% MINIMUM SLOPE UNLESS NOTED OTHERWISE ON PLANS.
- CLEANOUTS ON STORM DRAINAGE LINES ARE TO BE ADJUSTED TO BE FLUSH W/FINISHED GRADE.
- CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
- LANDSCAPED AREAS SHALL BE GRADED TO DRAIN TO THE CATCH BASIN INLETS. FIELD ADJUST GRADING AS REQUIRED.
- SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES (VERTICALLY AND HORIZONTALLY).
- RECTANGULAR CATCH BASIN AND YARD DRAIN GRATES SHALL BE INSTALLED SUCH THAT THE LONG AXIS OF GRATE PARALLELS THE CLOSEST ADJACENT WALK, BLDG, DRIVE WAY, PROPERTY LINE, OR ROADWAY.
- COORDINATE LOCATION IN FIELD OF ALL CATCH BASINS & YARD DRAINS WITH LANDSCAPE CONTRACTOR TO AVOID CONFLICTS.
- CENTERLINE OF YARD DRAINS @ BASE OF DOWN SPOUTS MUST ALIGN WITH CENTERLINE OF DOWN SPOUT PRIOR TO FINAL ACCEPTANCE BY OWNER. REFERENCE ARCH. PLANS FOR EXACT LOCATION OF DOWN SPOUTS.
- SLOPE ON SIDEWALKS SHALL NOT EXCEED 5% SLOPE IN DIRECTION OF TRAVEL OR 2% CROSS SLOPE. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY GRADING THAT DOES NOT COMPLY WITH THIS REQUIREMENT.
- SLOPE IN HANDICAP PARKING AND ACCESS AISLES SHALL NOT EXCEED 2% CROSS SLOPE. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY GRADING THAT DOES NOT COMPLY WITH THIS REQUIREMENT.
- SURVEY INFORMATION BASED ON SURVEY PROVIDED BY FLORIDA KEYS LAND SURVEYING DATED 08/28/2023.
- ELEVATIONS SHOWN ARE NGVD88.
- FINAL RIM ELEVATIONS SHALL BE FIELD ADJUSTED TO MATCH SLOPE OF PROPOSED PAVEMENT.
- ASPHALT PAVEMENT RESTORATION ON CITY RIGHT-OF-WAY MUST BE PERFORMED BY A LICENSED ENGINEERING CONTRACTOR OR PAVING CONTRACTOR IN BROWARD COUNTY.



CONCEPTUAL
PAVING, GRADING, &
DRAINAGE PLAN

IBIS BAY WATERFRONT RESORT
3101 N ROOSEVELT BLVD
KEY WEST, FLORIDA 33040



Revisions

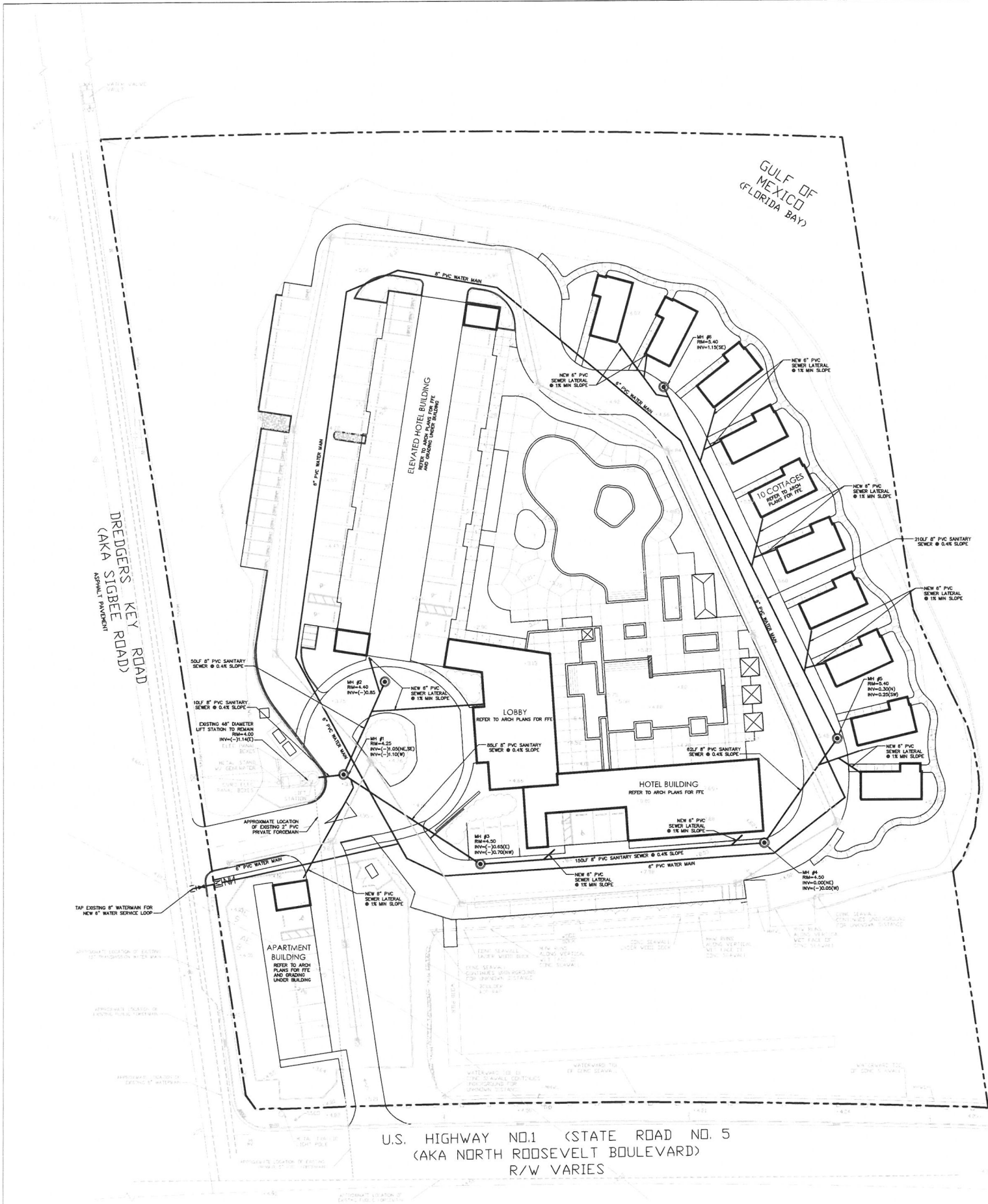
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

Phase:
PERMIT
DOCUMENTS

SEAL

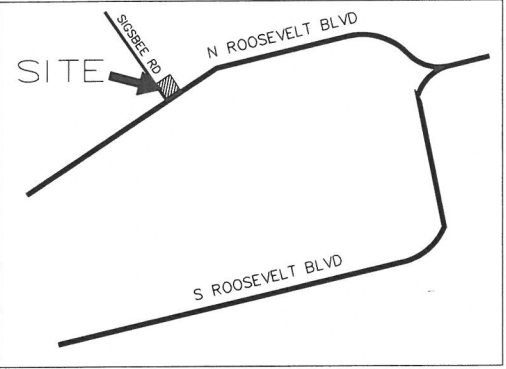
Scale: 1"=30'	Date 08/09/24
Job No. 24-1799.00	Plot Date 08/09/24
Drawn by SHG	Sheet No. C1
Proj. Mgr. SHG	
Appr. by SHG	1 of 2

3



WATER AND SEWER NOTES:

- CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
- CONTRACTOR SHALL PROVIDE ANY EASEMENT DOCUMENTATION AROUND MH'S, BACKFLOW PREVENTORS, MAINLINES, METERS, ETC. AS REQUIRED BY THE CITY SO THAT THE OWNER MAY RECORD ANY EASEMENTS WITH THE CITY. CONTRACTOR'S SURVEYOR MUST COORDINATE WITH THE CITY AND PROVIDE ALL NECESSARY EASEMENT DOCUMENTATION TO THE OWNER. THE OWNER MUST THEN PROVIDE ALL RECORDED UTILITY EASEMENT DOCUMENTS TO THE CITY PRIOR TO FINAL ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY UTILITY DEPT. ANY WATER MAIN CONNECTIONS, UTILITY CONNECTIONS AND SCHEDULE MUST BE APPROVED BY THE CITY PRIOR TO IMPLEMENTATION. THE CONTRACTOR IS REQUIRED TO PAY FOR ALL COSTS ASSOCIATED WITH THIS WORK REGARDLESS OF WHETHER OR NOT THE UTILITY OR THE CONTRACTOR PERFORMS THE WORK.
- SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES (VERTICALLY AND HORIZONTALLY).
- W.M./S.S. MAINS TO BE LOCATED 5' CLEAR OF ALL OBSTRUCTIONS, POLES, BOXES, CULVERTS, ETC. W.M./S.S. MAINS MUST BE LOCATED 5' FROM TREES. F.H.'S MUST HAVE A 7.5' CLEAR RADIUS FROM ALL OBSTRUCTIONS.
- PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW THE FDEP, CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT, AND FLYNN ENGINEERING SERVICES STANDARDS.
- 18" VERTICAL CLEARANCE PREFERRED FOR ALL UTILITY CROSSINGS. MINIMUM OF 12" REQUIRED FOR WM-WM CROSSING AND WM-FM CROSSING. CONTRACTOR SHALL CALL 811 AND LOCATE UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES. ALL SANITARY SEWER LATERALS SHALL CROSS UNDER WATER MAINS WHERE ABLE. IF THE WATER MAIN MUST CROSS BELOW THE SEWER, A MINIMUM OF 12" SEPARATION SHALL BE PROVIDED. A 20 FOOT SECTION OF DUCTILE IRON PIPE WATER MAIN CENTERED CROSSING IS REQUIRED IF LESS THAN 18" VERTICAL SEPARATION OCCURS BETWEEN SEWER AND WATER MAIN.
- ALL UNDERGROUND UTILITIES TO BE REMOVED SHALL BE CAPPED OFF AT THE POINT NEAREST TO THE UTILITIES OR DRAINAGE LINES THAT WILL REMAIN IN SERVICE. NOTIFY THE ENGINEER OF RECORD BEFORE REMOVING ANY UTILITIES THAT ARE CURRENTLY IN SERVICE. THE CONTRACTOR SHALL NOT REMOVE ANY UTILITY SERVICE TO ANY EXISTING BUILDING THAT WILL REMAIN AND SHALL DIG UP AND COMPLETELY REMOVE ANY/OR ABANDON ANY UTILITY SERVICE THAT IS NO LONGER REQUIRED. THE CONTRACTOR SHALL INFORM AND CONSULT THE ENGINEER OF RECORD PRIOR TO REMOVING ANY LINES.
- CONTRACTOR SHALL VERIFY EXISTING WATER MAIN LOCATION AND ELEVATION AND NOTIFY THE ENGINEER OF ANY DIFFERENCE FROM THE DESIGN PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
- CLEANOUTS AND MANHOLES ON SANITARY LINES ARE TO BE ADJUSTED TO BE FLUSH WITH FINISHED GRADE.
- PROPOSED FIRE LINES (I.E. MAINS, SERVICES, SIAMASE CONNECTION LINES, ETC.) TO BE INSTALLED BY A STATE LICENSED FIRE LINE CONTRACTOR PER F.S. 633.
- FIRE LINES TO BE INSPECTED BY A CERTIFIED FIRE LINE INSPECTOR.
- STATE LICENSED FIRE LINE CONTRACTOR, UPON COMPLETION OF REQUIRED TESTING, SHALL ISSUE A "LICENSED UNDERGROUND TEST CERTIFICATE" PRIOR TO ACCEPTANCE FOR PLACING FIRE LINE INTO SERVICE.
- CORING INTO EXISTING MANHOLE MAY RESULT IN COMPLETE RECONSTRUCTION OF EXISTING MANHOLE AT CONTRACTOR'S EXPENSE IF MANHOLE IS IN A DETERIORATED CONDITION.
- ON-SITE MANHOLES TO HAVE STANDARD SANITARY SEWER USF 420 COVER.
- THE MINIMUM COVER DEPTHS FOR PVC AND DIP SEWER MAINS ARE RESPECTIVELY 36 INCHES AND 30 INCHES.
- EXFILTRATION TESTING AND LAMPING OF THE GRAVITY SEWER SHALL BE COORDINATED BY THE CONTRACTOR PRIOR TO THE COMPLETION OF THE PROJECT.
- ALL WATER AND SEWER WORK IN THE PUBLIC RIGHT-OF-WAY, PRIVATE THOROUGHFARES OR UTILITY EASEMENT MUST BE PERFORMED BY A LICENSED ENGINEERING CONTRACTOR OR CERTIFIED UNDERGROUND UTILITY AND EXCAVATION CONTRACTOR.
- FINAL SEWER MANHOLE RIM ELEVATIONS SHALL BE ADJUSTED TO MATCH FINAL PAVEMENT ELEVATIONS AND MATCH PAVEMENT SLOPE AS APPLICABLE.



LOCATION MAP
NTS

FLOOD DATA:

COMMUNITY NO.: 120168 & 125129
MAP NO.: 12087C-1509K
MAP DATE: 02-18-2005
FLOOD ZONE: AE
BASE ELEVATION(S): 9.0'

AVERAGE WET SEASON
WATER LEVEL= ELEV. (1.50) NGVD

LEGEND:

- | | |
|---|--|
| PROPOSED ELEVATION (NGVD) | PROPOSED MANHOLE |
| EXISTING ELEVATION (NGVD) | WATER MAIN |
| PROPOSED CATCH BASIN | SANITARY FORCE MAIN |
| PROPOSED PLUG | VALVE |
| TEE | FIRE HYDRANT |
| WATER METER | SIAMASE CONNECTION |
| DOUBLE DETECTOR CHECK W/ WATER CHECK VALVE ON DOWNSTREAM SIDE | CLEANOUT |
| REDUCED PRESSURE BACKFLOW PREVENTOR | EDGE OF PROPOSED PAVEMENT (ASPHALT) |
| DIRECTIONAL FLOW ARROW AND GRAVITY SEWER | DIRECTION OF SURFACE DRAINAGE |
| | SAMPLE POINT |
| | EXIST. WATER MAIN |
| | EXIST. UTILITY LINE TO BE ABANDONED IN PLACE |



FLYNN ENGINEERING
241 COMMERCIAL BLVD., LAUDERDALE-BY-THE-SEA, FL 33308
PHONE (954) 522-1004 | WWW.FLYNNENGINEERING.COM
EPA 6578

CONCEPTUAL
WATER & SEWER PLAN

IBIS BAY WATERFRONT RESORT
3101 N ROOSEVELT BLVD
KEY WEST, FLORIDA 33040



Revisions	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

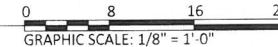
Phase:
PERMIT
DOCUMENTS

SEAL	
Scale: 1"=30'	Date 08/09/24
Job No. 24-1799.00	Plot Date 08/09/24
Drawn by SHG	Sheet No. C2
Proj. Mgr. SHG	
Appr. by SHG	2 of 2

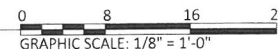
4



2 HOTEL LOBBY BUILDING: WEST ELEVATION [SIGSBEE]
SCALE: 1/8"=1'-0"



1 HOTEL LOBBY BUILDING: SOUTH ELEVATION [NORTH ROOSEVELT]
SCALE: 1/8"=1'-0"





2 HOTEL LOBBY BUILDING: EAST ELEVATION [GULF]
SCALE: 1/8"=1'-0"



1 HOTEL LOBBY BUILDING: NORTH ELEVATION [GULF]
SCALE: 1/8"=1'-0"

0 8 16 24
GRAPHIC SCALE: 1/8" = 1'-0"

A2O
ARCHITECTURE

P. 305.341.7878
E. A2OARCHITECTURE@GMAIL.COM
PROF. REG. ARCHITECT
3701 N. ROOSEVELT BLVD., SUITE #202
KEY WEST, FL 33040

ARCHITECT:
NOT VALID FOR CONSTRUCTION
WITHOUT ORIGINAL SIGN AND SEAL

AILEEN A. OSBORN, R.A.
LICENSE NO. AR017601
EXPIRATION DATE: 02/28/27

THE DRAWINGS AND WRITTEN MATERIAL
CONTAINED HEREIN CONSTITUTE
ORIGINAL WORK OF THE ARCHITECT AND
AS INTELLECTUAL PROPERTY AND
INSTRUMENTS OF SERVICE ARE SUBJECT
TO COPYRIGHT. THE DRAWINGS MAY NOT
BE REPRODUCED, COPIED, EITHER
WHOLLY OR IN PART, WITHOUT THE EXPRESS WRITTEN
CONSENT OF THE ARCHITECT.

CONSULTANTS:

IBIS BAY WATERFRONT RESORT
PARCEL ID: 00002560-000000
MAJOR DEVELOPMENT PLAN
SUBMISSION
3101 NORTH ROOSEVELT BLVD.,
KEY WEST, FLORIDA 33040

TITLE:
EXTERIOR
ELEVATIONS:
HOTEL LOBBY
BUILDING

PROJECT #: 23.01

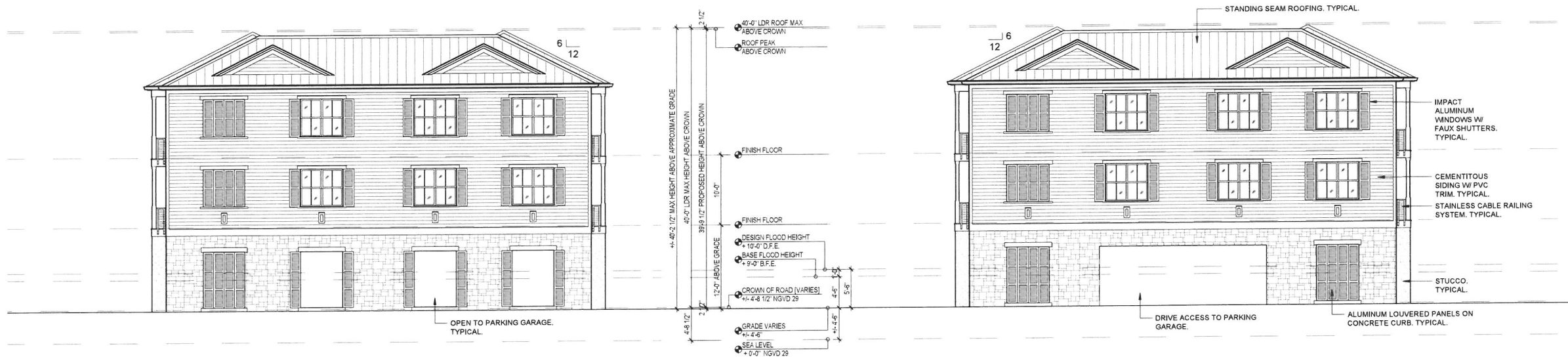
SHEET:

A3.2

FEBRUARY 27, 2025
© 2025 BY A2O ARCHITECTURE, LLC

DRAWING SIZE: 24x36 (DO NOT SCALE DRAWINGS)

1



IBIS BAY WATERFRONT RESORT
PARCEL ID: 00002360-000000
MAJOR DEVELOPMENT PLAN
SUBMISSION
3101 NORTH ROOSEVELT BLVD.,
KEY WEST, FLORIDA 33040

TITLE:

EXTERIOR
ELEVATIONS:
COTTAGE

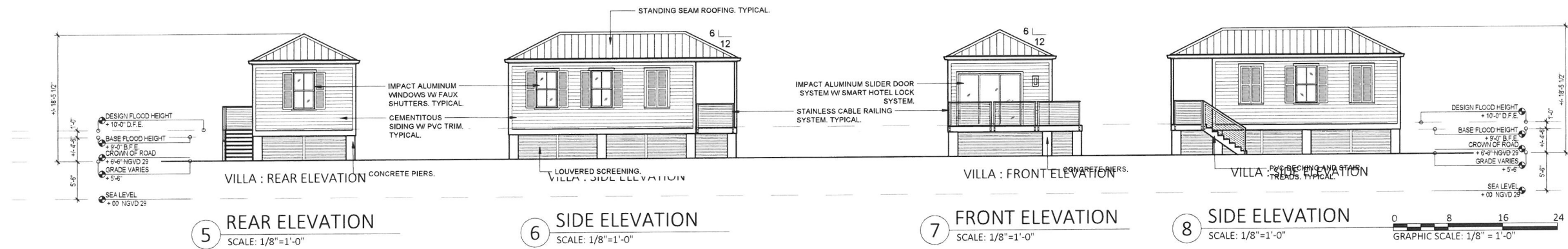
PROJECT #: 23.01

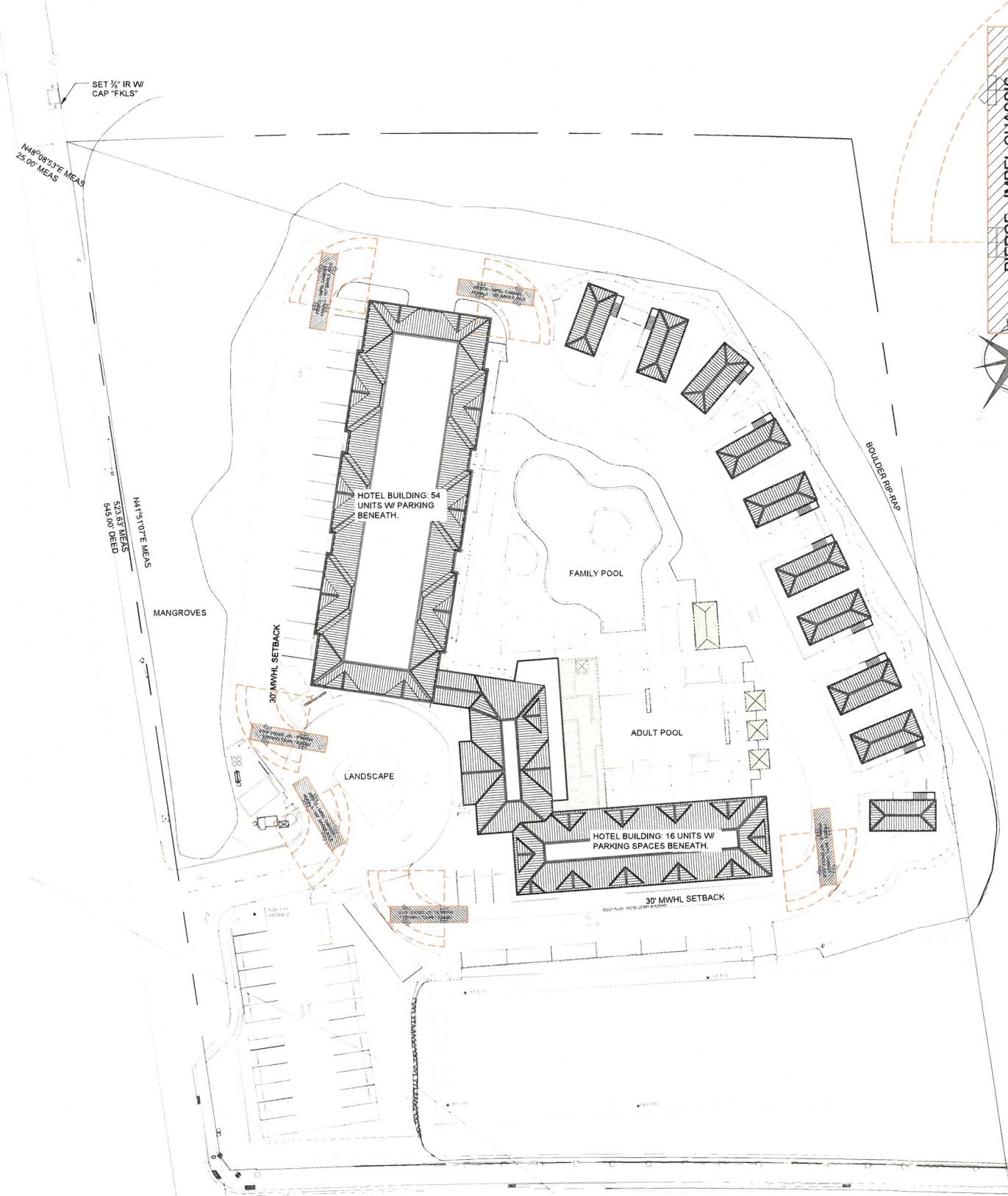
SHEET:

A3.4

FEBRUARY 27, 2025

© 2025 BY A2O ARCHITECTURE, LLC





PROJECT
IBIS BAY
WATERFRONT RESORT
KEY WEST, FL 33040

OWNER

CONSULTANTS

REGISTRATION

ISSUED FOR: _____

[illegible]

PROJECT NUMBER 23.01

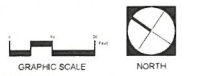
DATE: 06.07.24

SCALE: SCALE 1"=20'-0"

DRAWN BY: _____ IM

CHECKED BY: KO

DRAWING SCALE AND NORTH ARROW



SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER

L3.00

Filename: C:\USERS\WARRIOR\DESKTOP - ON CONSULTANTS, INC\DOCS\PROJECTS\PROPEZA\BIS\PRODUCTION\BIS LAND 13.00.DWG
Last Modified by: NIN MARIANI
Last Plotted date: 1/29/2025 3:48 PM
A

SIGSBEE RD.

NOT FOR
CONSTRUCTION

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SIZE	NATIVE/NON-NATIVE	
TREES							
	AM3	1	ADONIDIA MERRILLII / CHRISTMAS PALM	F.G.	12'-14' HT., TRIPLE	NATIVE	
	BS-65	21	BURSERIA SIMARUBA / GUMBO LIMBO	65 GAL.	14'-16' HT., 4" CAL.	NATIVE	
	CD-45	6	COCCOLOBA DIVERSIFOLIA / PIGEON PLUM	45 GAL.	SINGLE. STD. 12' HT.	NATIVE	
	X-CN	39	COCOS NUCIFERA / COCONUT PALM	EXISTING TO REMAIN	EXISTING TO REMAIN	NATIVE	
	CN	105	COCOS NUCIFERA / COCONUT PALM	F.G.	SEE PLAN FOR C.T. HT.	NATIVE	
	CS2	1	CONOCARPUS ERECTUS SERICEUS / SILVER BUTTONWOOD	65 GAL.	SINGLE LEADER, STD, 14' HT, 6" CT., 2.5" CAL	NATIVE	
	CS	8	CORDIA SEBESTENA / ORANGE GEIGER TREE	F.G.	12' MIN HT. X 6' SPRD, 6' CT., 3" CAL.	NON-NATIVE	
	DR	4	DELONIX REGIA / ROYAL POINCIANA	F.G.	14'-16' HT X 7' SPRD	NON-NATIVE	
	DC-45	3	DYPISIS CABADAE / CABADA PALM	45 GAL.	10'-12' HT. X 5'-6' SPRD., 6' CT., 3" MIN CAL., SINGLE LEADER	NON-NATIVE	
	PM	3	PHOENIX DACTYLOPERA 'MEDJOOL' / MEDJOOL DATE PALM	FG	STD. SPECIMEN	NON-NATIVE	
	RE	24	ROYSTONEA ELATA / FLORIDA ROYAL PALM	F.G.	14' GW, SPECIMEN	NATIVE	
	SM-65	12	SWIETENIA MAHAGONI / MAHOGANY	65 GAL.	14'-16' HT., 3" CAL.	NATIVE	
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	NATIVE/NON-NATIVE	SPACING
SHRUB AREAS							
	CS2	1,454	CONOCARPUS ERECTUS SERICEUS / SILVER BUTTONWOOD	65 GAL.	SINGLE LEADER, STD, 14' HT, 6" CT., 2.5" CAL	NATIVE	33% @ 14' o.c.
	GL	11,402	GYMNANTHES LUCIDA / CRABWOOD	25 GAL.	6' HT	NATIVE	33% @ 5' o.c.
	CA-15	18,172	CLUSIA ROSEA / AUTOGRAPH TREE	15 GAL.	4'-5' HT	NATIVE	34% @ 4' o.c.
		10,760 SF	SHRUBS AND GROUNDCOVERS				
	MF-45	4,472	MYRCIANTHES FRAGRANS / SIMPSON'S STOPPER	45 GAL	MULTI, 6' HT MIN. FULL	NATIVE	10% @ 6' o.c.
	EF-15	10,062	EUGENIA FOETIDA / SPANISH STOPPER	15 GAL.	6' HT. MIN., FULL	NATIVE	10% @ 4' o.c.
	HR-7	40,254	HIBISCUS ROSA-SINENSIS / CHINESE HIBISCUS	7 GAL.	3' HT. FTG	NON-NATIVE	10% @ 2' o.c.
	IN-3	25,762	IXORA X NORA GRANT / IXORA NORA GRANT	3 GAL.	18"-24" OA.	NON-NATIVE	10% @ 2.5' o.c.
	PH-3	25,762	PHILODENDRON BIPINNATIFIDUM / CUT LEAF PHILODENDRON	3 GAL.	18"-24" OA	NON-NATIVE	10% @ 2.5' o.c.
	CI-3	278	CHRYSOBALANUS ICACO / COCO PLUM	3 GAL.	24" OA. MIN.	NATIVE	10% @ 24" o.c.
	FG-3	278	FICUS MICROCARPA 'GREEN ISLAND' / GREEN ISLAND FICUS	3 GAL.	18"-24" OA.	NATIVE	10% @ 24" o.c.
	MS-3	278	MICROSORIUM SCOLOPENDRIA / WART FERN	3 GAL.	FULL IN POT	NON-NATIVE	10% @ 24" o.c.
	PN-3	124	PSYCHOTRIA NERVOSA / WILD COFFEE	3 GAL.	FULL IN POT	NATIVE	10% @ 36" o.c.
	SB-3	124	SPARTINA BAKERI / SAND CORD GRASS	3 GAL.	24"-30" OA, FULL	NATIVE	10% @ 36" o.c.
		6,172 SF	ACCENT SHRUBS AND GROUNDCOVERS				
	AS-1	314	ARACHNIODES SIMPLICIOR / INDIAN HOLLY FERN	1 GAL.	FULL IN POT	NON-NATIVE	11% @ 18" o.c.
	AD-1	314	ASPARGAS DENSIFLORUS 'MYERS' / FOXTAIL FERN	1 GAL.	FULL IN POT	NON-NATIVE	11% @ 18" o.c.
	AT-1	314	ASPLENIUM TRICHOMANES / MAIDENHAIR SPLEENWORT	1 GAL.	FULL IN POT	NATIVE	11% @ 18" o.c.
	EL-1	314	ERNODEA LITTORALIS / GOLDEN CREEPER	1 GAL.	10"-14" HT. X 5-7 PPP	NON-NATIVE	11% @ 18" o.c.
	FP-1	707	FICUS PUMILA / CREEPING FIG	1 GAL.	FULL IN POT	NATIVE	11% @ 12" o.c.
	IV-3	107	IRIS VERSICOLOR / BLUE FLAG	3 GAL.	24", FULL	NATIVE	11% @ 30" o.c.
	LP-1	314	LANTANA MONTEVIDENSIS / PURPLE TRAILING LANTANA	1 GAL.	6" HT X 12"-14" SPRD	NATIVE	11% @ 18" o.c.
	LM-1	314	LIRIOPE MUSCARI 'BIG BLUE' / LIRIOPE	1 GAL.	10"-14" HT. X 5-7 PPP	NON-NATIVE	11% @ 18" o.c.

PROJECT
IBIS BAY
WATERFRONT RESORT
KEY WEST, FL 33040

OWNER

CONSULTANTS

REGISTRATION

ISSUED FOR:

[illegible]

PROJECT NUMBER 23.0

DATE: 06.07.2012

SCALE:

DRAWN BY:

CHECKED BY: K

DRAWING SCALE AND NORTH ARROW

SHEET TITLE
PLANT SCHEDULE

SHEET NUMBER
L3.10

NOT FOR
CONSTRUCTION