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**Historic Architectural Review Commission  
Staff Report for Item 12**

**To:** Chairman Bryan Green and Historic Architectural Review Commission Members

**From:** Enid Torregrosa, MSHP  
Historic Preservation Planner

**Meeting Date:** November 27, 2018

**Applicant:** Robert Steele, Architect

**Application Number:** H2018-0016

**Address:** #638 United Street

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**Description of Work:**

Major Development Plan- Five new residential single –family houses with swimming pools. Site improvements including fences and driveways.

**Site Facts:**

The current site has a one-story cbs structure that serves as offices. Originally, the structure was design for medical offices. A side addition containing a garage was added in 2000. The structure has been altered through time, including its original form, roof, front elevation, and fenestrations.

The site was granted five BPAS unit allocations and the Planning Board approved the proposed Major Development Plan in their October meeting.

**Guidelines Cited on Review:**

- New construction (pages 38a-38q), specifically guidelines 1, 2, 5, 6, 11, 12, 13, 14, 15, 21, 23, 24 and 25.
- Decks, pools (pages 39-40), specifically guidelines 3, 4, and 6 of page 40, pools.
- Historic Architecture Design Principles (page 52), specifically first paragraph, Massing, and Scale & Proportion.

## Staff Analysis

This staff report is for the review of a new development of five new single-family structures on a lot with a historic non-contributing one-story office building. The lot corners United Street and Villa Mill Alley. For the development the setbacks and site data ratios required by the Land Development Regulations are for the entire lot rather than individual parcels. This means that there is one front yard facing United Street, a street side yard, facing Villa Mill Alley, a rear yard abutting side yards of rear parcels and side yard adjoining the rear yards of parcels facing Elizabeth Street.

The immediate surrounding urban context to the lot is paramount to this review. Four of the five structures across the property from United Street are one-story historic frame vernacular single-family residences with the exception of 633 United, which is a two-story historic house. Towards the east side of the north side of United Street you will find the only trailer park still standing in Old Town. The west side of the northern 600 block of United Street has two one-story homes and one one and a half-story house (621 United Street). On the west side of the immediately adjacent context, to the rear of the site in question is a two-story structure that converts into one-story at its rear (1316 Villa Mill Alley), and a one-story historic house (1307 Elizabeth Street). The west side adjacent to the lot has a one-story historic house with a vacant lot that extends to the corner of United and Elizabeth Streets (1305 Elizabeth Street). Across from Villa Mill Alley, east corner of United and Villa Mill Alley, there is a two-story cbs commercial structure (644 -646 United Street). Next to the southeast corner site, on Villa Mill Alley, there is a one-story frame structure with a two-story addition at the rear.

The five proposed single-family homes have different designs and heights, and their architectural vocabulary takes from traditional frame vernacular architecture. The following table describes each proposed structure according to the submitted plans:

<b>Unit Number</b>	<b>Location</b>	<b>Number of Stories</b>	<b>Max. Height from Grade</b>
638	Facing United Street, closer to vacant lot at corner of United and Elizabeth Streets.	One and a half	24'-6 ½"
640	Behind 638.	Two and a half	29'-10 ½"
642	Facing United Street, middle structure between 638 and 646.	One and a half	24'-6 ½"
644	Rear to 646 and facing Villa Mill Alley.	Two and a half	29'-10 ½"
646	Corner of United Street and Villa Mill Alley.	Two	27'-11 ¼"

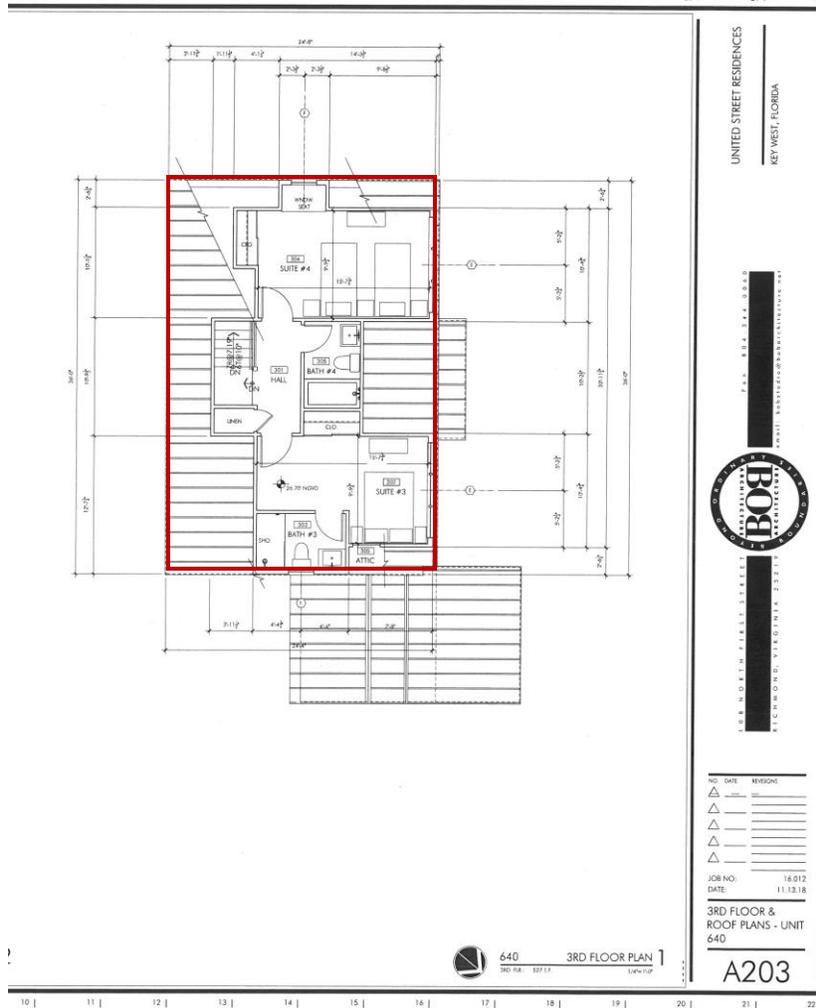
According to the submitted plans, the two and half-story houses are located at the rear portion of the lot. Both of those houses will have carports and the vehicular access will be through Villa Mill Alley. The other three houses, units 638, 642 and 646, will have driveways. All units will have front porches and pools, but units 638 and 644 have their pools located on the side. Proposed materials for the houses are hard plank painted siding, 4 over 4 impact windows, impact doors, and metal v-crimp panel system as the finish material for the roofs.

### **Consistency with Guidelines**

It is staff's opinion that the proposed design fails many of the cited guidelines and the project, as designed, is not appropriate for the existing immediate urban context. All of the proposed houses are taller and have larger mass and scale than any of the adjacent surrounding structures of same land use. Comparing the units facing United Street with existing adjacent historic and contributing structures of same land use in both north and south sides of the street, staff opines that the proposed design will dominate in scale, mass, and volume and this will detract from the established urban patten and context. The majority of houses facing the 600 block of United Street are one-story traditional frame vernacular structures with no bump-outs on their sides. Although the plans labels two the proposed units facing United Street as one and a half-story it is staff's opinion that those units are full two stories.

Staff finds the propose scale, mass, and proportions of all five units dissimilar to immediate adjacent structures. The scheme includes *one and a half-story structures*-which are the shortest ones- with a maximum height from grade of 24'-6 1/2" and two and a half-story- the tallest ones- with a maximum height from grade of 29'- 10 1/2". The difference in height between the two types of houses is 5'- 4"; the minimum height allowed for habitable space by code is 7'- 6" height. Between the proposed *one and a half-story* and the two- story corner house the difference in heights is 3' - 4 3/4". This fact is significant as it presents the overall scale within the five proposed units, and their visual impacts to a major street were the majority of surrounding houses are one-story historic and contributing resources.

Staff opines that one of the units labeled as two and a half-story is a three-story house. The unit exceeds the required "one-half of the floor area of the floor immediately below within the same building". According to the plans unit 640's third floor area is 527 sq. ft. and the second floor area is 1,154 sq. ft. Staff differs from these calculations, as the floor immediately below the third floor of 527 sq. ft. is 888 sq. ft.; making the third floor larger than half of the floor immediately below. This fact is also significant as this unit and 644 are the structures with the largest scale, mas, and height of the complex. The following graphic highlighted in red depicts the area that staff opines is immediately below the third floor:



Unit 640 third floor. Highlighted in red is the floor immediately below the half-story

Although the guidelines encourages the use of higher buildings on corners on major named streets, staff finds that the massing, scale, and height of the proposed corner building, unit 646, will be almost similar to the two other proposed units immediately adjacent to it. Adjacent corners with same land use buildings are predominantly one-story. By reviewing the submitted street view, the proposed corner unit will be taller than the existing two-story building located on the opposite side of Villa Mill Alley, and that existing two-story corner building is commercial.

The proposed scale, proportions, and mass of the five units as a new complex within the historic district are foreign to the adjacent urban context. The size of the buildings; not only their height but also the scale, footprint, and mass, all together, are dissimilar to adjacent same land use structures. The applicant submitted a first page of a staff report done in July 2016, for a second floor addition to a non-historic garage, facing Villa Mill Alley. For that specific project, which was reviewed under previous guidelines for new construction, the

surrounding context was, in its majority truly two-story structures. However, staff cannot review this project as a stand-alone one by one unit, but as an entire five-unit complex. Bottom line, the project presents three units facing United Street that have a height, mass, scale, and proportions far from the size, height and scale of the majority of the houses across the street and in the immediate adjacent vicinity. The corner unit is taller and larger in scale than immediate adjacent corners with same land use and corners within the immediate area are not examples of prevailing pattern of taller houses. The two units on the rear have a larger mass, height, and scale than even the three proposed front buildings. The two rear units will overshadow not only the adjacent houses abutting the rear yard of the lot, but the three front proposed units. The submitted plans and street view elevations clearly support staff's opinion.

Staff also finds that proposed dormers on several of the units are oversized and out of scale when compared with surrounding same land use structures with dormers. Many of the proposed dormers have the same width of the entire space for which they will provide light. Another significant common element found in the plan is that the five units have very small spaces between each other. The two rear units have a separation of 8", which is uncommon within the surrounding buildings. In addition, two of the proposed three pools do not meet the required guidelines, as they are not behind the principal structure to which the pool will belong or set to the rear half of the side yard. As stated previously, although there is one unit facing Villa Mill Alley (unit 644), the front of the lot is still United Street.

Although staff invested many hours with the applicant and the planners of the project and have seen different schemes and designs, we conclude that the project will overshadow neighboring historic homes and that the five proposed structures in the site will be too dominant as their height, mass, scale, and proportions are foreign to the urban context. The prevalent topic of discussion from the applicant was why the new proposed houses cannot have similar square footage than surrounding houses. Staff was always emphatic on the fact that the ratio of the three dimensional envelope of the new units needed to be harmonious with the existing three-dimensional form and size of the surrounding adjacent homes. It is evident that the formula for this design of five units with a minimum required square footage and a specific footprint is not compatible with the scale, patterns, massing, proportions, and height found on the existing historic urban context.



Legend

Google Earth

© 2018 Google



90 ft



**Legend**  
📍 638 United St

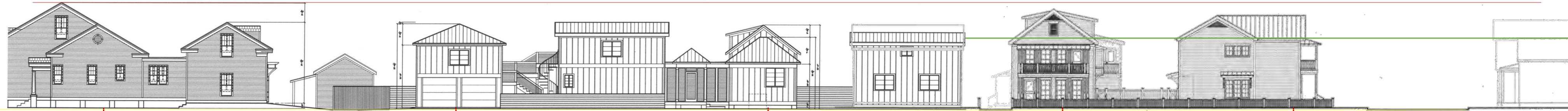
📍 638 United St

Google Earth

© 2018 Google

100 ft





Proposed Streetscape  
1/8" = 1' - 0"

# Villa Mill Alley West Side Elevation Maximum Heights

707 South Street 27'-9 1/2"

1316 Villa Mill Garage 22'-8 1/2"

1316 Villa Mill Structure 22'-6"

644 United Street 29'-8 1/2"

646 United Street 27'-9"

# APPLICATION

**HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS**

\$400 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE



City of Key West  
1300 WHITE STREET  
KEY WEST, FLORIDA 33040

HARC COA # <b># 2018-0016</b>	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

**A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL**

ADDRESS OF PROPOSED PROJECT: **638 United Street**

NAME ON DEED: **Land 10031, LLC** PHONE NUMBER: **c/o 804-344-0060**

OWNER'S MAILING ADDRESS: **c/o Uphoff Investments, LLC**  
**4900 W. Hundred Rd** EMAIL: **c/o bobsteele@bobarchitecture.net**  
**Chester, VA 23831-1623**

APPLICANT NAME: **Robert Steele, FAIA** PHONE NUMBER: **804-344-0060**

APPLICANT'S ADDRESS: **Principal Architect** EMAIL: **bobsteele@bobarchitecture.net**  
**108 North First Street**  
**Richmond, VA 23219**

APPLICANT'S SIGNATURE: *[Signature]* DATE: **11.01.18**

**ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.**

FLORIDA STATUTE 837.06. WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.081. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS  RELOCATION OF A STRUCTURE  ELEVATION OF A STRUCTURE

PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES  NO  INVOLVES A HISTORIC STRUCTURE: YES  NO

PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES  NO

**DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.**

**GENERAL:**

Redevelopment of site to construct five single family residences.

**MAIN BUILDING:**

Existing non-contributing, one-story, cbs office building is proposed to be demolished and replaced with five single family residential units. Proposed SFR's will be 1 1/2, 2 and 2 1/2 stories.

**DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):**

Demolition of non-contributing, one-story, cbs office building.

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE  
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS TO HARC@CITYOFKEYWEST-FLGOV

<b>ACCESSORY STRUCTURE(S):</b>	
No existing accessory structures. No accessory structures are proposed.	
<b>PAVERS:</b>	<b>FENCES:</b>
Pavers are proposed for drives and parking spaces per attached site plan.	Proposed fences as per attached site plan.
<b>DECKS:</b>	<b>PAINTING:</b>
Proposed decks are located around pool areas as per attached site plan.	Proposed exterior paint colors are provided with attached application.
<b>SITE (INCLUDING GRADING, FILL, TREES, ETC.):</b>	<b>POOLS (INCLUDING EQUIPMENT):</b>
Site will have existing asphalt removed and landscaped.	Pools are proposed for each residential unit as shown on site plan.
<b>ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC.):</b>	<b>OTHER:</b>
Proposed a/c units are roof mounted and out of public view.	

OFFICIAL USE ONLY:		HARC COMMISSION REVIEW		EXPIRES ON:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION			INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION			INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION			INITIAL:
REASONS OR CONDITIONS:				
STAFF REVIEW COMMENTS:				
FIRST READING FOR DEMO:		SECOND READING FOR DEMO:		
HARC STAFF SIGNATURE AND DATE:		HARC CHAIRPERSON SIGNATURE AND DATE:		

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.



CITY OF KEY WEST
CERTIFICATE OF APPROPRIATENESS
APENDIX FOR DEMOLITIONS
APPLICATION NUMBER H- - - - -

H 2018-0016

This document applies only to those properties located within the City of Key West Historic Zoning Districts, properties outside the historic zoning districts which are listed as contributing in the Historic Architectural Survey and or properties listed in the National Register of Historic Places.

Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitation and the Key West's Historic Architectural Guidelines. Once submitted, the application shall be reviewed by staff for completeness and scheduled for presentation to the Historic Architectural Review Commission for the next available meeting, unless the demolition request is for a bona fide Code Compliance case, in which case staff may review and approve the demolition request. The applicant must be present at this meeting. Any person that makes changes to an approved Certificate of Appropriateness must submit a new application with such modifications.

The filing of this application does not ensure approval as submitted. Applications that do not possess the required submittals or documentation will be considered incomplete and will not be reviewed for approval.

CRITERIA FOR DEMOLITIONS

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies);

- (1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:
(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

Four horizontal lines for handwritten notes.

OR THAT THE BUILDING OR STRUCTURE;

- (a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

This structure has neither an aesthetic or historic distinctive style.

- (b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.

Research revealed no significant contribution. Structure was previously a medical clinic before becoming the administrative office for Dion's Oil.

- (c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.

Research revealed no significant contribution to the city with regard to city, state, nation or person.

- (d) Is not the site of a historic event with a significant effect upon society.

Research revealed no historic event occurred on this property.

- (e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.

This structure does not exemplify the cultural, political, economic, social or historic heritage of the city.

- (f) Does not portray the environment in an era of history characterized by a distinctive architectural style.

The structure does not embody a distinctive architectural style.

- (g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.

The structure is not part of a square park or other distinctive area.

- (h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

The structure does not have a unique location or a singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city. Nor does it exemplify the best remaining architectural type in the neighborhood.

- (i) Has not yielded, and is not likely to yield, information important in history.

The structure has not yielded, and is not likely to yield, information important in history.



CITY OF KEY WEST  
CERTIFICATE OF APPROPRIATENESS  
APPENDIX FOR DEMOLITIONS

APPLICATION NUMBER H- - - -  
A-2018-0016

(2) For a contributing historic or noncontributing building or structure, a complete construction plan for the site is approved by the Historic Architectural Review Commission.

(a) A complete construction plan for the site is included in this application

Yes Number of pages and date on plans \_\_\_\_\_  
 No Reason Will provide after design approval

The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies);

(1) Removing buildings or structures that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.

The removal of the commercial cbs structure will not diminish the overall historic character of the district or neighborhood.

(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space; and

The removal of the commercial cbs will not destroy the historic relationship between buildings or structures and open space.

AND

(3) Removing an historic building or structure in a complex; or removing a building facade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

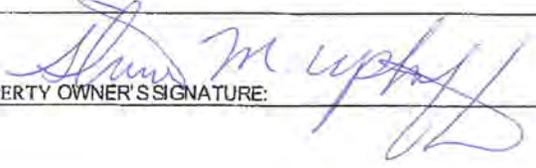
This is a request for the demolition of the whole structure of which has no defining historic character.

(4) Removing buildings or structures that would otherwise qualify as contributing.

The existing structure has been significantly altered and added to in the 1970's. However, neither the original 1960's structure nor the revisions would qualify as contributing.

**Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.**

*I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit, approval **PRIOR** to proceeding with the work outlined above and that there will be a final inspection required under this application. I also understand that any changes to an approved Certificate of Appropriateness must be submitted for review.*

 PROPERTY OWNER'S SIGNATURE:	10/25/18 Steven M. Uphoff DATE AND PRINT NAME:
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**OFFICE USE ONLY**

BUILDING DESCRIPTION:			
<input type="checkbox"/>	Contributing	Year built _____	Style _____ Listed in the NRHP _____ Year _____
<input type="checkbox"/>	Not listed	Year built _____	Comments _____

<input type="checkbox"/>	Reviewed by Staff on _____	Staff Comments
<input type="checkbox"/>	Notice of hearing posted _____	
First reading meeting date _____		
Second Reading meeting date _____		
<b>TWO YEAR EXPIRATION DATE</b> _____		



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**Historic Architectural Review Commission  
Staff Report for Item 10**

**To:** Chairman Bryan Green and Historic Architectural Review  
Commission Members

**From:** Enid Torregrosa, MSHP  
Historic Preservation Planner

**Meeting Date:** July 26, 2016

**Applicant:** Todd Kemp, Owner

**Application Number:** H16-03-0047

**Address:** #1316 Villa Mill Alley

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**Description of Work:**

New addition over existing garage. New staircases.

**Site Facts:**

The existing garage was built in 2014. The one-story frame structure has a hip roof covered with metal v-crimp panels. The principal structures in the residential complex are two-story. Villa Mill Alley was not plotted on the 1962 Sanborn map and aerial photos from 1972 depict a dead end alley with only one structure facing it. The alley was created in the mid 1970's. **The majority of the buildings in the adjacent context are two and a half and two-story structures and the alley is a dead end. Only a one-story historic structure is located on the alley, which was relocated from another parcel.**

# SANBORN MAPS



# PROJECT PHOTOS



**638 United Street circa 1965. Monroe County Library.**

## 638 United Street Residential Development



638 United Street – Project site. Administrative office for Dion's



638 United Street – looking east



United Street looking down Villa Mill Alley



Corner of Villa Mill Alley and United Street



Conch homes across United Street



View west from subject site at corner of Villa Mill & United



United and Elizabeth Streets



1305 Elizabeth Street – 1,089 sq. ft.



1307 Elizabeth Street - 941 sq. ft.



1309 Elizabeth Street – 2,254 sq. ft. FLA



1306 Villa Mill – 3/2 2,309 sq. ft.



1306 Villa Mill – front entry showing encroachment by 638 United St.



1309 Villa Mill – 5 bd/4 baths, 3,529 sq. ft.



1309 Villa Mill



1311 Villa Mill – 4 bd/3.5 bath – 2,236 sq. ft.



1311 Villa Mill – Rear yard



1316 Villa Mill – 4 bd/4 bath - 4,055 sq. ft.

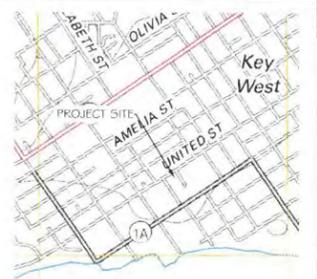


1316 Villa Mill



# SURVEY

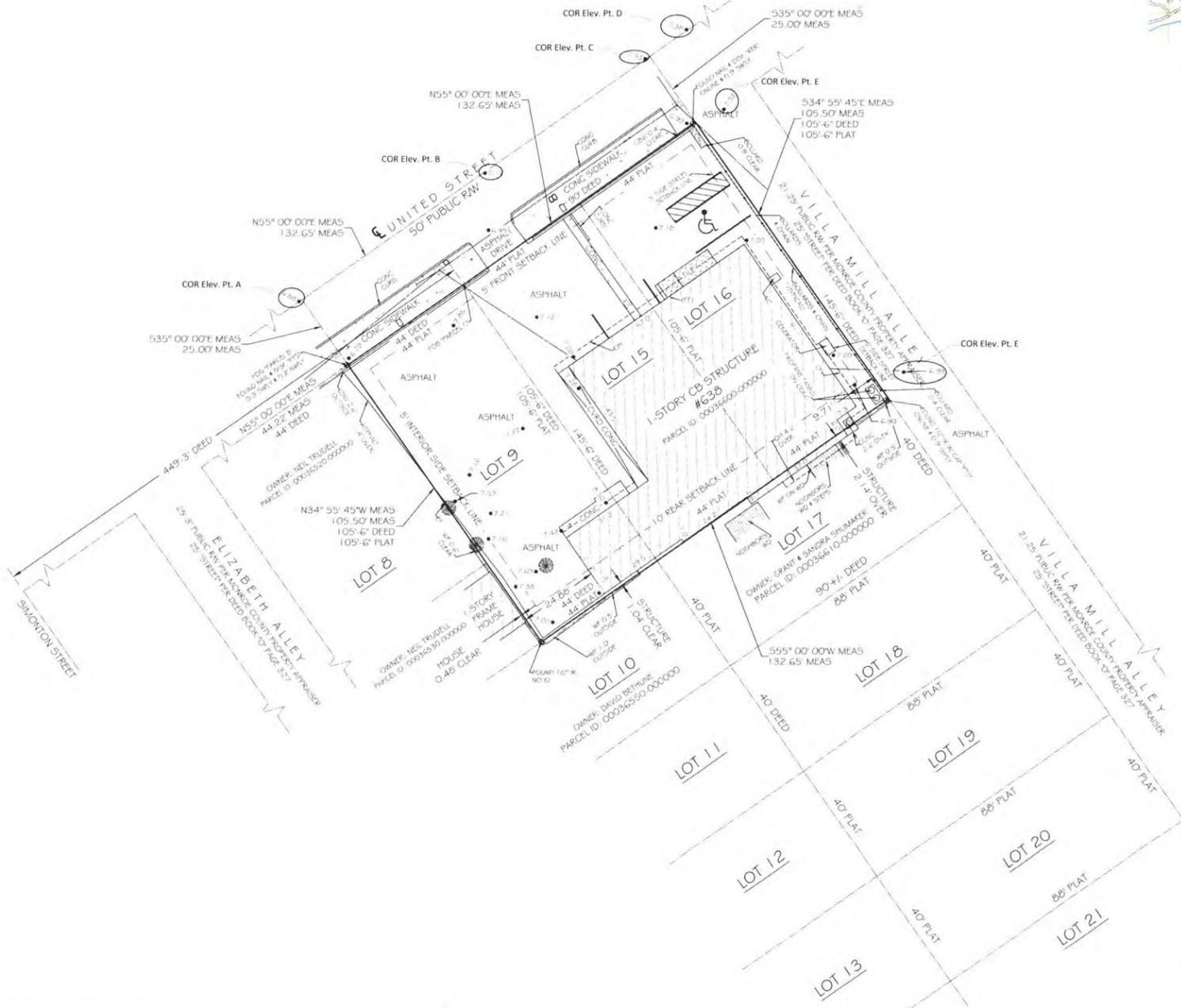
# ALTA / NSPS LAND TITLE SURVEY



LOCATION MAP - NTS  
SEC. 06-T685-R25E



ASSUMED



### ZONING REQUIREMENTS

WITH REFERENCE TO THE GRS GROUPS ZONING ASSESSMENT REPORT, FOR 638 United Street, Key West, FL. Final Report (revised), Dated: April 14, 2016. Sheet 231/03.

- Building Setback Requirements:**
  - Front/Side Street: 5 Feet
  - Rear: 5 Feet
  - Corner: 10 Feet
- Height Restrictions:**
  - Height: 30 Feet
- Area Requirements:**
  - Minimum Lot Area: 5,000 SF
  - Minimum Lot Width: 50 Feet
  - Minimum Lot Depth: 100 Feet
- Density Requirements:**
  - Maximum Floor Area Ratio: 1.0
  - Maximum Building Coverage: 50%
  - Maximum Impervious Coverage: 60%
- Parking Requirements:**
  - Parking Spaces Formula: 1 space per each 300 square feet of gross floor area (0.999/300 = 1/300)
  - Parking Spaces Required: 17 Total Parking Spaces
  - Existing Parking Spaces: 2 Total Parking Spaces

### TITLE REVIEW NOTES

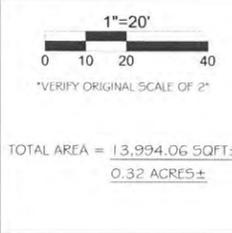
WITH REFERENCE TO THE FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE, CUSTOMER REFERENCE NO. 15-1283, FIRST AMERICAN FILE NO. 1056-3482606, EFFECTIVE DATE: DECEMBER 10, 2015 AT 8:00 AM, I HEREBY CERTIFY AS FOLLOWS:

**SCHEDULE BII - PART II:**

- Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date but prior to the date the proposed report is prepared for issue of record or interest or mortgage thereon covered by the Commitment. **NOT A SURVEY MATTER**
- Any rights, interests, or claims of parties in possession of the land not shown by the public records. **NOT A SURVEY MATTER**
- Any encroachment, easement, violation, variation or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the land. **DEPICTED ON SURVEY**
- Any lien, for services, labor, or materials in connection with improvements, repairs or renovations provided before, on, or after Date of Policy, not shown by the public records. **NOT A SURVEY MATTER**
- Any changes to the boundaries caused by a change in the location of any water body within or adjacent to the land prior to Date of Policy, and any adverse claim to all or part of the land that is, at Date of Policy, or was previously under water. **NOT APPLICABLE TO SUBJECT PROPERTY**
- Taxes or special assessments not shown as liens in the public records or in the records of the local tax collecting authority, at Date of Policy. **NOT A SURVEY MATTER**
- Any minerals or mineral rights leased, granted or retained by current or prior owners, (without right of entry) (as to Parcels 12, 14 and 15). **NOT A SURVEY MATTER**
- Taxes and assessments for the year 2016, and subsequent years, which are not yet due and payable. **NOT A SURVEY MATTER**
- NOTES FOR STANDARD EXCEPTIONS:** Standard Exceptions for parties in possession, for mechanics liens, and for taxes or special assessments not shown as liens in the public records shall be deleted upon receipt of an acceptable Non-Lien and Possession Affidavit establishing who is in possession of the lands, that there are no liens or encumbrances upon the lands other than as set forth in the Commitment, that no improvements, to the lands have been made within the past 90 days or are contemplated to be made before closing that will not be paid in full, and that there are no unrecorded taxes or assessments that are not shown as existing liens in the public records. Any Policies issued hereunder may be subject to a Special Exception for matters disclosed by said affidavit. **NOT A SURVEY MATTER**
- Standard Exceptions for questions of survey may be deleted upon receipt and review of a properly certified Survey meeting the Florida Minimum Technical Standards for all land surveys dated no more than 90 days prior to closing or such other proof as may be acceptable to the Company. Any Policies issued hereunder may be subject to a Special Exception for matters disclosed by said survey or proof. **DEPICTED ON SURVEY**
- Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s). (as to Parcels 6, 8, 12, 16, 21, 24, 25 and 26). **NOT A SURVEY MATTER**
- Any claim that the title is subject to a trust or lien created under the Perishable Agricultural Commodities Act (7 U.S.C. §9499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §5181 et seq.) or under similar state laws. (As to Parcels 1, 2, 6, 7, 9, 10, 11, 12, 13, 14, 22, 23, 24, 25 and 26). **NOT A SURVEY MATTER**

### SURVEYOR NOTES

- BEARING BASE: ALL BEARINGS ARE BASED ON N55°00'00"E ASSUMED ALONG THE CENTERLINE OF UNITED STREET.
- ALL ANGLES DEPICTED ARE 90 DEGREES UNLESS OTHERWISE INDICATED.
- ALL UNITS ARE SHOWN IN SURVEY FEET.
- ADDRESS: 638 UNITED STREET, KEY WEST, FL 33040.
- FLOOD ZONE CLASSIFICATION: COMMUNITY NO. 1, 20168; MAP NO. 12087C-1516K; MAP DATE: 02-18-09; FIRM REVISION DATE: 06-05-15; FLOOD ZONE: X SHADDED; BASE ELEVATION: N/A.
- THE CURRENT ZONING CLASSIFICATION AND BUILDING SETBACK REQUIREMENTS, HEIGHT AND FLOOR SPACE AREA RESTRICTIONS AS SET FORTH IN THAT CLASSIFICATION, OF THE SUBJECT PROPERTY ARE INDICATED ON THE SURVEY, REFERENCING THE SAID REPORT BY THE GRS GROUP SUPPLIED TO FLORIDA KEYS SURVEYING BY THE CLIENT AND/OR THEIR AGENT.
- SQUARE FOOTAGE OF EXTERIOR FOOTPRINT OF BUILDINGS: 1-STORY CB STRUCTURE #638 = 5095.00 SQFT±. THE BUILDING HEIGHT IS 13.96 FEET ABOVE THE ADJACENT GRADE, MEASURED AT THE SOUTHWESTERN CORNER OF THE BUILDING.
- THERE ARE 1 DEDICATED STRIPED REGULAR PARKING SPACES AND 1 DEDICATED STRIPED HANDICAP PARKING SPACE.
- THE LOCATION OF UTILITIES EXISTING ON OR SERVING THE SUBJECT PROPERTY SHOWN ON THIS SURVEY WAS DETERMINED BY OBSERVED EVIDENCE ONLY, AS PER THE CLIENT'S REQUEST.
- THERE WAS NO OBSERVED EVIDENCE OF EARTH MOVING WORK AT THE TIME OF THE SURVEY.
- THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AT THE TIME OF THE SURVEY.
- THERE WAS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL AT THE TIME OF THE SURVEY.
- NO WETLAND AREAS WERE IDENTIFIED TO SURVEYOR AT THE TIME OF SURVEY, AND NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE FIELD BY THE SURVEYOR AT THE TIME OF SURVEY.
- ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929).
- FINISH FLOOR ELEVATION = 8.6' (TAKEN AT THE DOOR THRESHOLD LOCATION AS INDICATED ON THE SURVEY MAP AS (FF)). THE INTERIOR FLOOR LEVELS WERE NOT VERIFIED.
- BENCHMARK DESCRIPTION: NATIONAL GEODETIC SURVEY BENCHMARK '872 4580 TIDAL 25' (P.I.D. A0004A), ELEVATION = 9.11' (NGVD 1929).
- REVISION (1) - 06/05/2016 - REVISED SURVEYOR NOTES, TITLE REVIEW NOTES & ADDED ZONING REQUIREMENTS.
- REVISION (2) - 02/01/2018 - ADDED SPOT GRADE ELEVATIONS AND TREES AS MEASURED AND LOCATED IN THE FIELD ON 01/23/2018.



TOTAL AREA = 13,994.06 SQFT±  
0.32 ACRES±

[Symbol]	PERMITS
[Symbol]	WATCH BASIN
[Symbol]	IRRAWADDI DAM/PALE
[Symbol]	CONCRETE UTILITY POLE
[Symbol]	MANHOLE
[Symbol]	TREE HYDRANT
[Symbol]	WALL
[Symbol]	WATER VALVE
[Symbol]	WATER METER
[Symbol]	MONITORING WELL
[Symbol]	WOOD UTILITY POLE
[Symbol]	METAL SUPPORT COLUMN
[Symbol]	OVERHEAD UTILITY LINES
[Symbol]	LIGHT POLE
[Symbol]	BELOW-GRADE UTILITY POLE
[Symbol]	SPOT GRADE ELEVATION (TYPICAL)
[Symbol]	TREE (LAWN SPECIES)

### LEGAL DESCRIPTION

"PARCEL 15" WITH REFERENCE TO THE FIRST AMERICAN TITLE INSURANCE COMPANY EXHIBIT A, CUSTOMER REFERENCE NO. 15-1283, FIRST AMERICAN FILE NO. 1056-3482606, EFFECTIVE DATE: DECEMBER 10, 2015 AT 8:00 AM:

Parcel A: On the Island of Key West and known on Wm. A. Whitehead's Map of said Island, delineated in February A.D. 1829, as a Part of Tract 17, but now better known and described as Lots 18, 19 and 20 according to D. T. Sweeney's Diagram of Part of Square 5, Tract 17, recorded in Book O, Page 327, Public Records of Monroe County, Florida.

Also:

Parcel B: On the Island of Key West and its Part of Tract 17, according to Whitehead's Map of 1829, but better known as Subdivision No. 9 according to D. T. Sweeney's Diagram of Part of Lot 5 in said Tract 17, recorded in Book O, Page 327, being described by metes and bounds as follows: Commencing at a point on United Street 44 feet from the corner of United Street and a 25 foot street and runs Northeastly on United Street 44 feet; thence runs Southeastly 105 feet; thence runs Northwestly 44 feet; thence runs Northwestly 105 feet, 6 inches out to United Street, the Point of Beginning.

Also:

Parcel C: On the Island of Key West and being known as Part of Tract 17, according to Wm. A. Whitehead's Map of the Island of Key West, delineated in February A.D. 1829, but better known as Lots 15, 16 and 17, of Sweeney's Subdivision of Part of Tract 17, described by metes and bounds as follows: Commencing at a point on the Southeastly side of United Street, distant 449 feet, 3 inches Northeastly from the corner of the intersection of Simonton and United Streets; thence at right angles and in a Southeastly direction a distance of 145 feet, 6 inches; thence at right angles in a Northeastly direction 90 feet, more or less, to an alley; thence at right angles in a Northwestly direction 145 feet, 6 inches out to United Street; thence at right angles and along the Southeastly side of United Street, in a Southeastly direction a distance of 90 feet, more or less, to the Point of Beginning.

Less and except from Parcels A, B and C above the following described property:

On the Island of Key West and known on Wm. A. Whitehead's Map of said Island, delineated in February A.D., 1829, as a Part of Tract 17, but now is better known and described as Lots 17, 18, 19 and 20, according to D. T. Sweeney's Diagram of Part of Square 5, Tract 17, recorded in Book O, Page 327, Public Records of Monroe County, Florida.

TO: LAND 10031, LLC as to a 11.077% interest; LAND 2709, LLC as to a 4.451% interest; LAND 113, LLC as to a 13.353% interest; LAND 1701, LLC as to a 11.077% interest; LAND 5621, LLC as to a 22.67% interest; LAND 7029, LLC as to a 11.644% interest; LAND 2421, LLC as to a 9.611% interest; LAND 4027, LLC as to a 13.410% interest; and LAND 6351, LLC as to a 15.1% interest, in common among all of the abovesaid LLCs, Capital One National Association, its successors and/or assigns as their interests may appear, and First American Title Insurance Company.

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20 OF TABLE A. THE FIELD WORK WAS COMPLETED ON MARCH 3, 2016.

DATE OF MAP: APRIL 1, 2016.

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR THEIR REPRESENTATIVE JUROR. ALL DATA HAVE NOT BEEN REPRODUCED BY THE SURVEYOR TO GUARANTEE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE THEY BEEN REPRODUCED TO BE USED FOR ANY OTHER PURPOSES. ADDITIONS OR DELETIONS TO THE SURVEY MAP OR REPORT REQUIRE MORE THAN THE SURVEYOR'S REVIEW AND REVISIONS. THE SURVEYOR'S REVIEW IS LIMITED TO THE ACCURACY OF THE SURVEY DATA AND THE ACCURACY OF THE LEGAL DESCRIPTIONS. THE SURVEYOR'S REVIEW IS LIMITED TO THE ACCURACY OF THE SURVEY DATA AND THE ACCURACY OF THE LEGAL DESCRIPTIONS. THE SURVEYOR'S REVIEW IS LIMITED TO THE ACCURACY OF THE SURVEY DATA AND THE ACCURACY OF THE LEGAL DESCRIPTIONS.

FLORIDA KEYS LAND SURVEYING

13800 OVERSEAS HIGHWAY  
SUGARLOAF KEY, FL 33042  
PHONE: (305) 394-3690  
EMAIL: FLK@flkeyslandsurveying.com  
WWW.FLORIDAKEYSLANDSURVEYING.NET

DATE: APRIL 1, 2016

BY: [Signature]

FLORIDA KEYS LAND SURVEYING PROFESSIONAL SURVEYOR AND MAPPER, JOB 7347

# PROPOSED DESIGN

**ABBREVIATIONS**

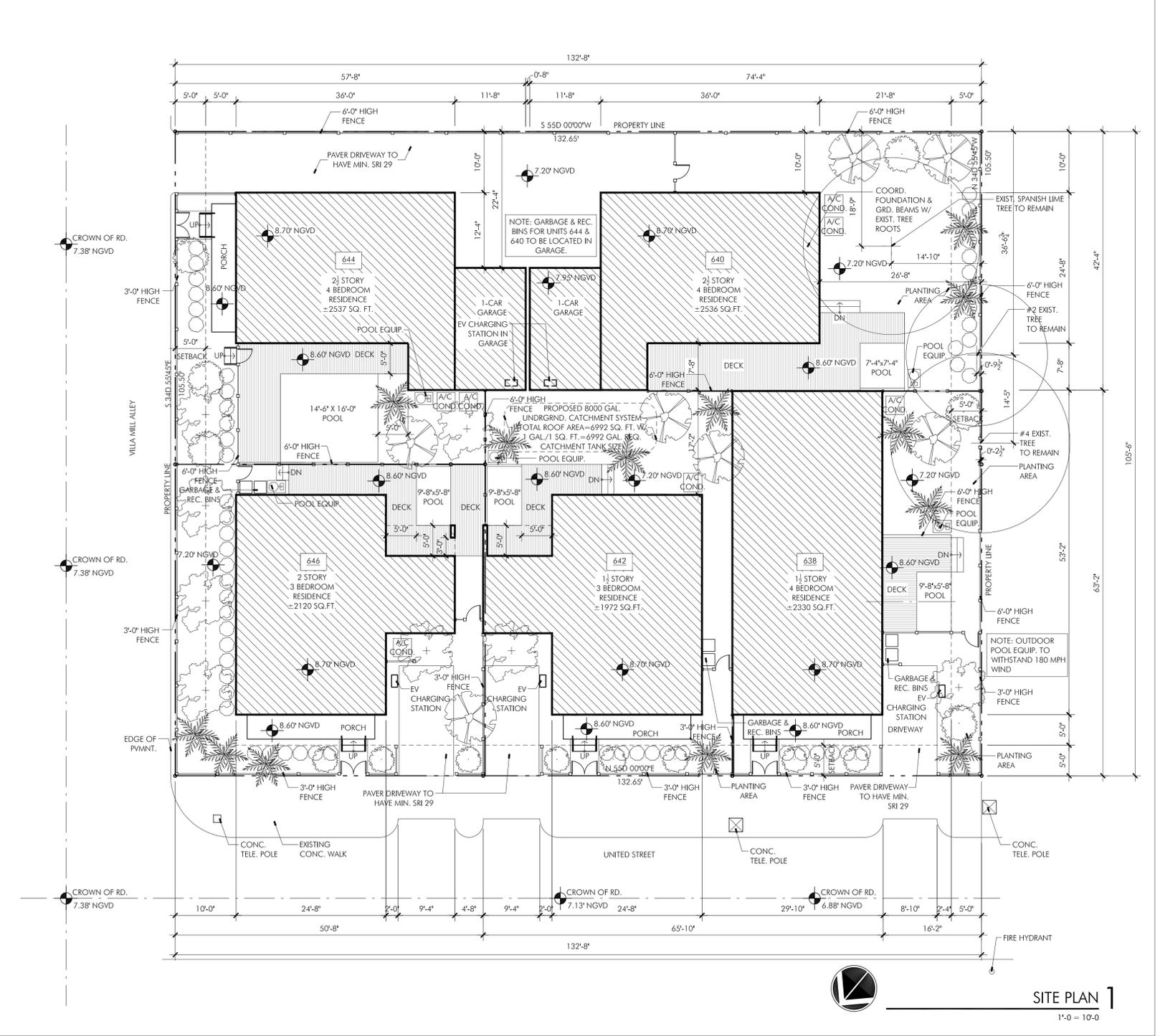
A.B.	ANCHOR BOLT	MECH.	MECHANICAL
ACC.	ACCOUSTICAL	MTL.	METAL
A.C.T.	ACCESSORY	MFR.	MANUFACTURER
A.D.	ACOUSTICAL CEILING TILE	MIN.	MINIMUM
ADJ.	AREA DRAIN/ACCESS DOOR	MISC.	MISCELLANEOUS
A.F.F.	ADJACENT	M.O.	MASONRY OPENING
AL.	ABOVE FINISH FLOOR	MOD.	MODULE, (AR)
ALT.	ALUMINUM	MUL.	MULLION
APPROX.	ALTERNATE		
ARCH.	APPROXIMATE	N.	NORTH
AUTO.	ARCHITECTURAL	N.I.C.	NOT IN CONTRACT
	AUTOMATIC/AUTOMOBILE	No.	NUMBER
		N.T.S.	NOT TO SCALE
BD.	BOARD	O.C.	ON CENTER
BLDG.	BUILDING	O.D.	OUTSIDE DIAMETER
BM.	BEAM	OFF.	OFFICE
BOT.	BOTTOM	OH.	OVERHEAD
BRK.	BRICK	OPG.	OPENING
BDRM.	BEDROOM	PERP.	PERPENDICULAR
BRG.	BEARING	PL.	PLATE
BSMT.	BASEMENT	PLAM.	PLASTIC LAMINATE
		PLAS.	PLASTER/PLASTIC
CAB.	CABINET	PLBG.	PLUMBING
C.C.	CENTER TO CENTER	PLYWD.	PLYWOOD
CLG.	CEILING	PNT.	PAINT
C.M.	CERAMIC	PTD.	PAINTED
C.F.M.	CUBIC FEET	PTN.	PARTITION
C.F.M.	CUBIC FEET PER MINUTE	PREFAB.	PREFABRICATED
C.Y.	CUBIC YARD	PROJ.	PROJECT
C.I.	CAST IRON	P.S.F.	POUNDS PER SQUARE
C.J.	CONTROL JOINT	FOOT	FOOT
C.L.	CENTER LINE	POINT	POUNDS PER SQUARE INCH
C.M.U.	CONCRETE MASONRY UNIT	P.T.D.	PAPER TOWEL DISPENSER
CONC.	CONCRETE	Q.T.	QUARRY TILE
CONT.	CONTINUOUS	QTR.	QUARTER
CORR.	CORRIDOR	R.	RADIUS/RISER
C.T.	CERAMIC TILE	R.D.	ROOF DRAIN
CTR.	CENTER	REF.	REFERENCE
		REFR.	REFRIGERATOR
DBL.	DOUBLE	REIN.	REINFORCE
D.F.	DRINKING FOUNTAIN	REQD.	REQUIRED
DIA.	DIAMETER	RES.	RESILIENT
DIAG.	DIAGONAL	REV.	REVISED/REVERSE
DIM.	DIMENSION	RM.	ROOM
DN.	DOWN	R.O.	ROUGH OPENING
DR.	DOOR	R.O.W.	RIGHT OF WAY
DS.	DOWNSPOUT	S.C.	SOLID CORE
DTL.	DETAIL	SCH.	SCHEDULE(D)
DWG.	DRAWING	SEAL.	SEALANT
		SECT.	SECTION
EA.	EACH	S.A.	SOAP DISPENSER
E.J.	EXPANSION JOINT	S.F.	SQUARE FEET
EL.	ELEVATION	SHT.	SHEET
ELEV.	ELEVATOR	S&R	SHELF & ROD
ELEC.	ELECTRICAL	SHT.	SHEET
ENGR.	ENGINEER	SIM.	SIMILAR
EQ.	EQUAL	S.M.	SHEET METAL
EQUIP.	EQUIPMENT	SPEC.	SPECIFICATION
EXH.	EXHAUST	SQ.	SQUARE
EXIST.	EXISTING	S.S.	STAINLESS STEEL
EXP.	EXPANSION	STD.	STANDARD
EXT.	EXTERIOR	STL.	STEEL
		STO.	STORAGE
F.B.O.	FINISHED BY OWNER	SUP.	SUPPLY
F.D.	FLOOR DRAIN	SUSP.	SUSPENDED
FENL.	FOUNDATION	SW.	SWITCH
F.A.	FIRE EXTINGUISHER	SYM.	SYMMETRICAL
F.A.C.	FIRE EXTINGUISHER CABINET	SYS.	SYSTEM
FIN.	FINISH	T.	TREAD
FXTR.	FIXTURE	T&B	TOP & BOTTOM
FLR.	FLOOR	T&G	TONGUE & GROOVE
FLUOR.	FLUORESCENT	TOWEL BAR	TOWEL BAR
F.P.M.	FEET PER MINUTE	T.C.	TOP OF CURB
FR.	FRAME	TEL.	TELEPHONE
FTG.	FOOT/FEET	TEMP.	TEMPERED
FTG.	FOOTING	THK.	THICKNESS
FUR.	FURRING	T.O.B.	TOP OF BLOCK
FURN.	FURNITURE	T.O.F.	TOP OF FOOTING
		T.O.S.	TOP OF SLAB
		T.O.W.	TOP OF WALL
		TYP.	TYPICAL
G.A.	GAUGE	UL.	UNIT HEAT UNDERWRITERS LABORATORIES
GAL.	GALLON	V.	VOLT/VINYL
GALV.	GALVANIZED	VAR.	VARNISH/VARIES
G.A.	GRAB BAR	V.C.T.	VINYL COMPOSITION TILE
G.B.	GENERAL CONTRACTOR	VERT.	VERTICAL
GEN.	GENERAL	VEST.	VESTIBULE
GL.	GLASS	V.S.	VENT STACK
GR.	GRADE	W/	WITH
GYP.	GYPSONIUM	W/O	WITHOUT
		W.C.	WATER CLOSET
H.	HANDICAP	WD.	WOOD
H.B.	HOSE BIB	WDW.	WINDOW
HD.BD.	HARD BOARD	W.H.	WATER HEATER
HDWR.	HARDWARE	W.W.F.	WELDED WIRE FABRIC
H.M.	HOLLOW METAL	YD.	YARD
HOR.	HORIZONTAL	@	AT
H.P.	HIGH POINT	#	NUMBER
HT.	HEIGHT	/	PER
HTR.	HEATER		
H.W.	HOT WATER		
I.D.	INSIDE DIAMETER		
IN.	INCH		
INC.	INCLUDE, (ING)		
INST.	INSTALLED		
INSUL.	INSULAT(E), (ING), (ION)		
INT.	INTERIOR		
J.C.	JANITOR CLOSET		
JT.	JOINT		
JST.	JOIST		
KIT.	KITCHEN		
LAM.	LAMINATE(D)		
LAV.	LAVATORY		
LB.	POUND		
LOC.	LOCATION		
LT.	LIGHT		
L.W.	LIGHT WEIGHT		
MIR.	MIRROR		
MAS.	MASONRY		
MAX.	MATERIAL MAXIMUM		

**SYMBOLS**

	DETAIL MARK
	WALL SECTION MARK
	BUILDING ELEVATION MARK
	INTERIOR ELEVATION MARK
	ROOM IDENTIFICATION MARK
	DOOR IDENTIFICATION MARK
	WINDOW IDENTIFICATION MARK
	ELEVATION HEIGHT DATUM
	PARTITION/WALL MARK
	GRID IDENTIFICATION MARK & CENTERLINE

**MATERIALS**

	EARTH
	GRAVEL
	CONCRETE
	C.M.U.
	BRICK
	SAND, MORTAR OR GYPSUM
	STEEL
	ALUMINUM
	RIGID INSULATION
	PLYWOOD
	FINISH WOOD
	CONTINUOUS WOOD BLOCKING
	INTERMITTENT WOOD BLOCKING
	GLASS (ENLARGED)
	BATT INSULATION



**SITE PLAN**  
1" = 10'-0"

SITE DATA	PERMITTED	EXISTING	PROPOSED	COMPLIANCE
ZONING	HRO	HRO	HRO	COMPLIES
MIN. LOT SIZE	> 5,000 SF	13,996 SF	NO CHANGE	COMPLIES
COMMERCIAL FAR	1.0 (13,926 SQ. FT.)	0.34 (4,745 SQ. FT.)	0.0 (0 SQ. FT.)	COMPLIES
MR - DENSITY	5.1 @ 16/ ACRE	1 UNITS	5 UNITS	COMPLIES
AH - COMPACT INFILL BONUS	1 MR, 3 AH UNITS	0 UNITS	0 UNITS	COMPLIES
TOTAL RESIDENTIAL UNITS	5	0 UNITS	5	COMPLIES
MAX HEIGHT	30'	<20'	29' 10-1/2"	COMPLIES
OPEN SPACE RATIO	35% (4,899 SQ. FT.)	< 5%	35.83% (5,015 S.F.)	COMPLIES
LANDSCAPE	20% (2,799 SQ. FT.)	< 5%	32.23% (4,511 SQ. FT.)	COMPLIES
BUILDING COVERAGE	50% (6,998 SQ. FT.)	34% (4,745 SQ. FT.)	46.0% (6,445 SQ.FT.)	COMPLIES
IMPERVIOUS SURFACE RATIO	0.60 (8,398 SQ. FT.)	- 98%	0.60 (8,444 SQ. FT.)	COMPLIES
SETBACK:				
FRONT	5 FT.	33 FT.	5 FT.	COMPLIES
SIDE	5 FT.	50 FT.	5 FT.	COMPLIES
STREET SIDE	5 FT.	10 FT.	5 FT.	COMPLIES
REAR	10 FT.	11 FT.	10 FT.	COMPLIES

**GENERAL NOTES**

- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED. ELEVATIONS ARE TO SUB FLR. AND TOP OF INTERIOR FRAMING UNLESS OTHERWISE NOTED. CEILING HEIGHT DIMENSIONS ARE TO BE TO FRAMING SURFACES UNLESS NOTED OTHERWISE.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE PROCEEDING WITH THE INSTALLATION OF ANY MECHANICAL, PLUMBING AND ELECTRICAL WORK. ANY DISCREPANCY BETWEEN THE ARCHITECTS AND CONSULTING ENGINEERS DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER OR ARCHITECT.
- DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.
- ALL FRAMING MEMBERS SHALL BE SO ARRANGED AND SPACED AS TO PERMIT INSTALLATION OF PIPE, CONDUITS AND DUCTWORK WITH A MINIMUM OF CUTTING. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACES, BACK-UP PLATES AND SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL AND MISCELLANEOUS EQUIPMENT.
- ELECTRICAL CONTRACTOR TO VERIFY EXISTING ELECTRICAL CAPACITY PRIOR TO SUBMITTING BID, AND TO FURNISH NECESSARY DRAWINGS TO BUILDING DEPARTMENT AND PAY FOR ALL NECESSARY INCOMING SERVICE AND PAY FOR ANY RELATED FEES NECESSARY FOR HOOK-UP. ALL ELECTRICAL WORK IS TO CONFORM WITH FIRE UNDERWRITERS CODES AND ALL LOCAL CODES IN JURISDICTION.

**DRAWING INDEX**

A101	PROJECT DATA, SITE PLAN & NOTES
A201	FIRST FLOOR PLAN - UNIT 638
A202	2ND FLOOR & ROOF PLANS - UNIT 638
A301	EXTERIOR ELEVATIONS - UNIT 638
A201	FIRST FLOOR PLAN - UNIT 640
A202	2ND FLOOR PLAN - UNIT 640
A303	3RD FLOOR & ROOF PLANS - UNIT 640
A201	EXTERIOR ELEVATIONS - UNIT 640
A201	FIRST FLOOR PLAN - UNIT 642
A202	2ND FLOOR & ROOF PLANS - UNIT 642
A301	EXTERIOR ELEVATIONS - UNIT 642
A201	FIRST FLOOR PLAN - UNIT 644
A202	2ND FLOOR PLAN - UNIT 644
A303	3RD FLOOR & ROOF PLANS - UNIT 644
A301	EXTERIOR ELEVATIONS - UNIT 644
A201	FIRST FLOOR PLAN - UNIT 646
A202	2ND FLOOR & ROOF PLANS - UNIT 646
A301	EXTERIOR ELEVATIONS - UNIT 646
A302	UNITED ST. & VILLA MILL ALLEY ELEVATIONS

**BUILDING DATA**

**LOCATION**  
638 - 646 UNITED STREET  
KEY WEST, FLORIDA  
**BUILDING CODE**  
2014 FLORIDA BUILDING CODE

**ZONING**  
KEY WEST  
HRO (Historical Residential Office)  
**SETBACK REQUIREMENTS:**  
FRONT 5'  
SIDE 5'-2"  
STREET SIDE 5'-2"  
REAR YARD 10'

**SQUARE FOOTAGE:**

638			
1ST FLR.	1,307 SQ. FT.		
2ND FLR.	1,023 SQ. FT.		
TOTAL:	2,330 SQ. FT.		
PORCH:	84 SQ. FT.		
DECK:	174 SQ. FT.		
640			
1ST FLR.	855 SQ. FT.		
2ND FLR.	1,154 SQ. FT.		
3RD FLR.	527 SQ. FT.		
TOTAL:	2,536 SQ. FT.		
GARAGE:	234 SQ. FT.		
PORCH:	89 SQ. FT.		
DECK:	449 SQ. FT.		
642			
1ST FLR.	1,032 SQ. FT.		
2ND FLR.	940 SQ. FT.		
TOTAL:	1,972 SQ. FT.		
PORCH:	84 SQ. FT.		
DECK:	294 SQ. FT.		
644			
1ST FLR.	947 SQ. FT.		
2ND FLR.	1,154 SQ. FT.		
3RD FLR.	436 SQ. FT.		
TOTAL:	2,537 SQ. FT.		
GARAGE:	234 SQ. FT.		
1ST FLR. DECK:	550 SQ. FT.		
1ST FLR. PORCH:	84 SQ. FT.		
2ND FLR. PORCH:	138 SQ. FT.		
646			
1ST FLR.	1,032 SQ. FT.		
2ND FLR.	1,088 SQ. FT.		
TOTAL:	2,120 SQ. FT.		
1ST FLR. DECK:	316 SQ. FT.		
1ST FLR. PORCH:	84 SQ. FT.		
2ND FLR. PORCH:	84 SQ. FT.		

**UNITED STREET RESIDENCES**  
KEY WEST, FLORIDA

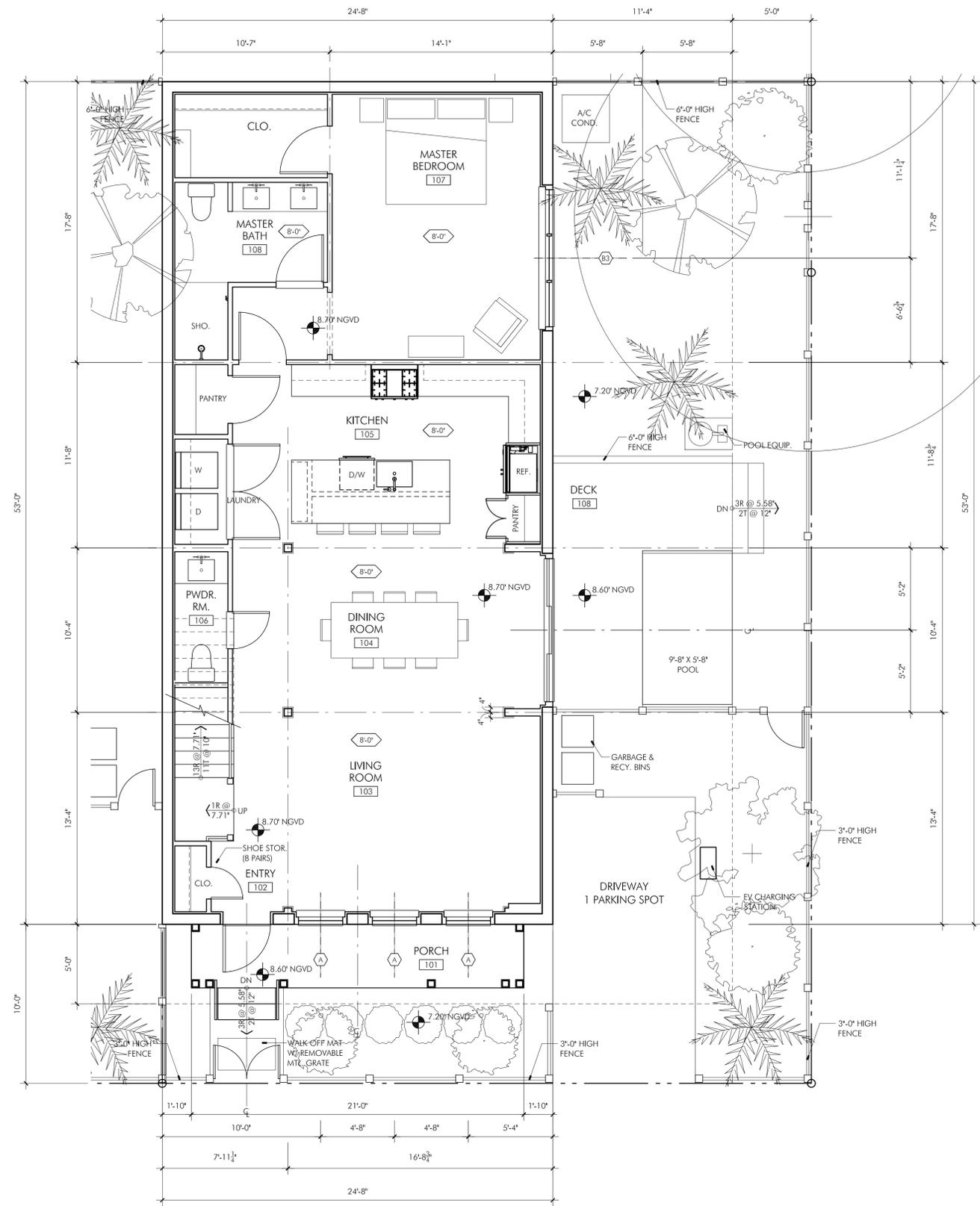


NO.	DATE	REVISIONS
1		
2		
3		
4		
5		

JOB NO: 16.012  
DATE: 11.13.18

**PROJECT DATA**  
**SITE PLAN**  
**NOTES**

**A101**



UNITED STREET RESIDENCES  
 KEY WEST, FLORIDA

108 NORTH FIRST STREET  
 RICHMOND, VIRGINIA 23219  
 Fon 804.344.0060  
 email: bobstudio@bobarchitecture.net

ORDINARY

**BOB**

ARCHITECTURE

BEYOND

NO.	DATE	REVISIONS
△	---	---
△	---	---
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JOB NO: 16.012  
 DATE: 11.13.18

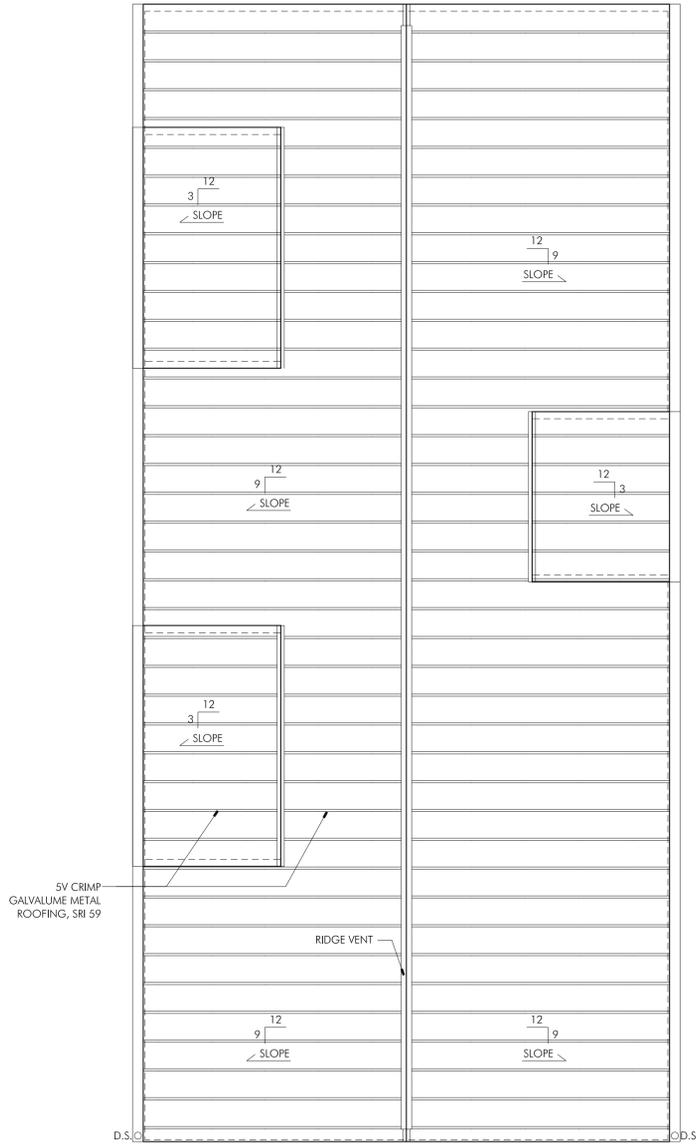
FIRST FLOOR PLAN -  
 UNIT 638

**638**
1ST FLOOR PLAN 1

1ST FLR.: 1307 S.F.  
 PORCH: 84 S.F.  
 DECK: 174 S.F.

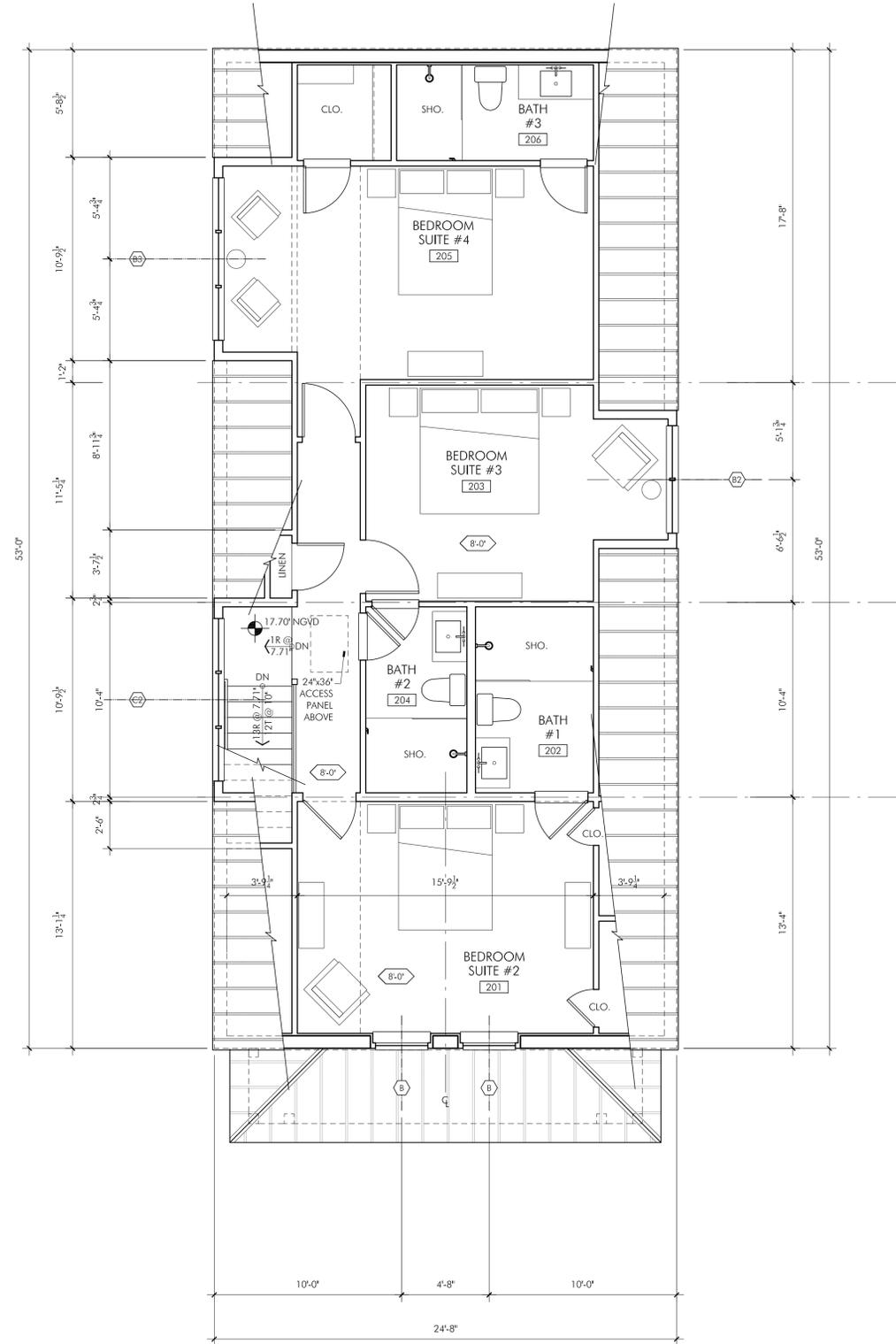
1/4"=1'-0"

A201



638

ROOF PLAN 2  
1/4"=1'-0"



638

2ND FLOOR PLAN 1  
2ND FIR.: 1023 S.F. 1/4"=1'-0"

NO.	DATE	REVISIONS
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JOB NO: 16.012  
DATE: 11.13.18

2ND FLOOR &  
ROOF PLANS -  
UNIT 638

A202



108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219  
Fon 804.344.0060  
email: bobstudio@bobarchitecture.net

UNITED STREET RESIDENCES

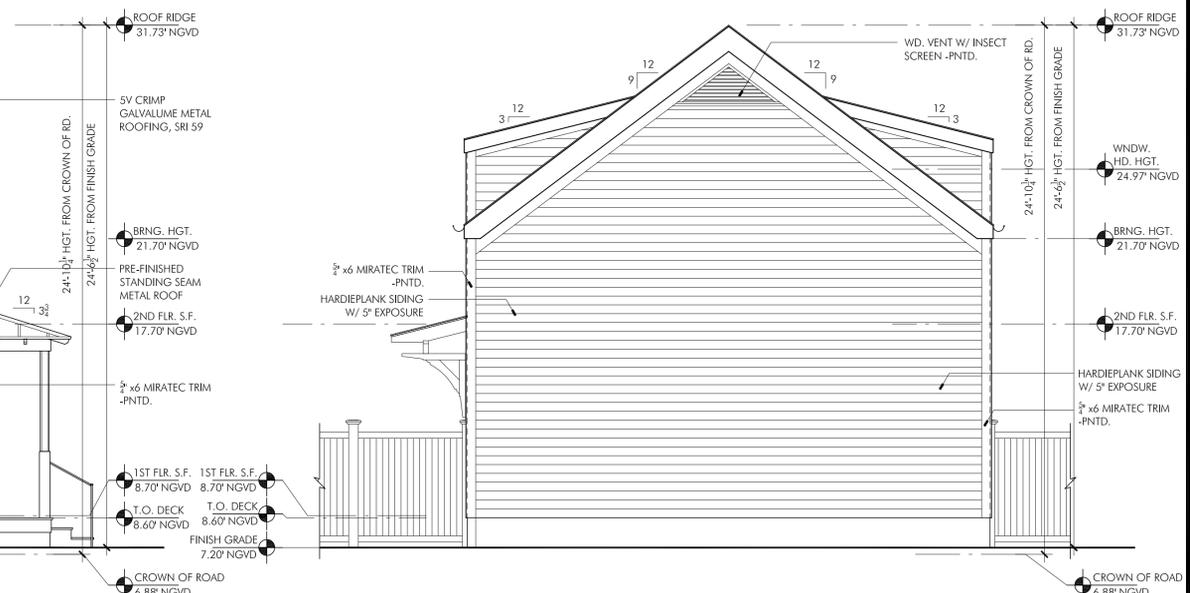
KEY WEST, FLORIDA

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

A | B | C | D | E | F | G | H | I | J | K | L | M | N | O



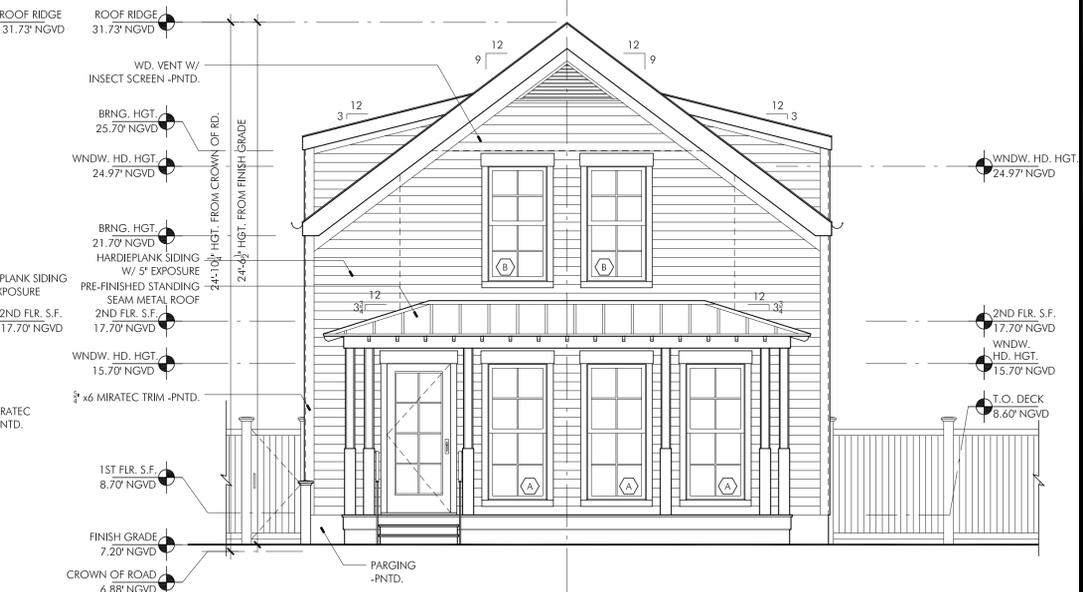
SIDE ELEVATION - UNIT 638 4  
1/4" = 1'-0"



REAR ELEVATION - UNIT 638 3  
1/4" = 1'-0"



SIDE ELEVATION - UNIT 638 2  
1/4" = 1'-0"



FRONT ELEVATION - UNIT 638 1  
1/4" = 1'-0"

UNITED STREET RESIDENCES  
KEY WEST, FLORIDA

108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219  
Fon 804.344.0060  
email: bobstudio@bobarchitecture.net



NO.	DATE	REVISIONS
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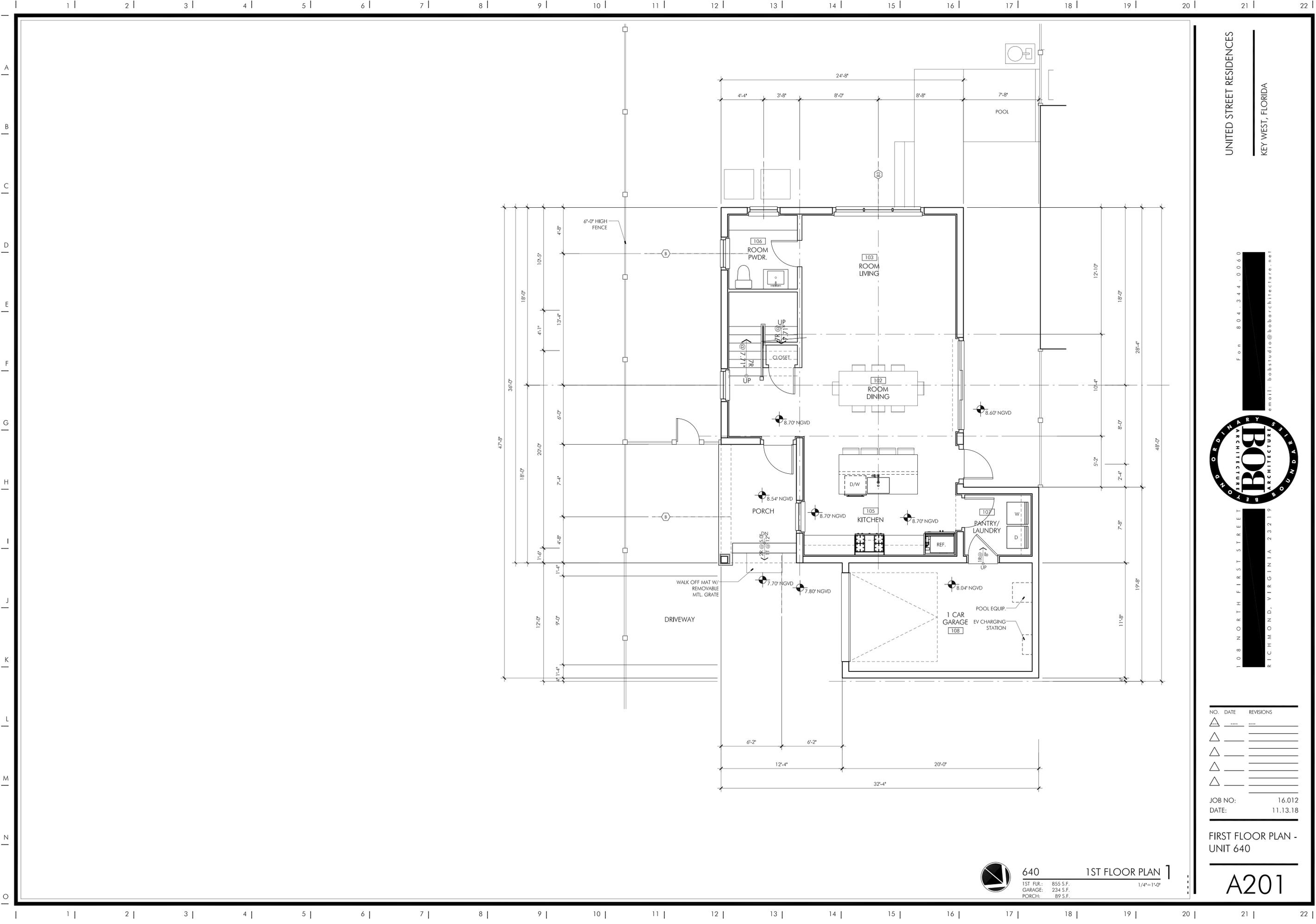
JOB NO: 16.012  
DATE: 11.13.18

EXTERIOR ELEVATIONS - UNIT 638

A301

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

O | N | M | L | K | J | I | H | G | F | E | D | C | B | A



UNITED STREET RESIDENCES  
KEY WEST, FLORIDA

108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219

ORDINARY ARCHITECTURE  
**BOB**  
ARCHITECTURE

Fon 804.344.0060  
email: bobstudio@bobarchitecture.net

NO.	DATE	REVISIONS
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JOB NO: 16.012  
DATE: 11.13.18

FIRST FLOOR PLAN -  
UNIT 640

A201

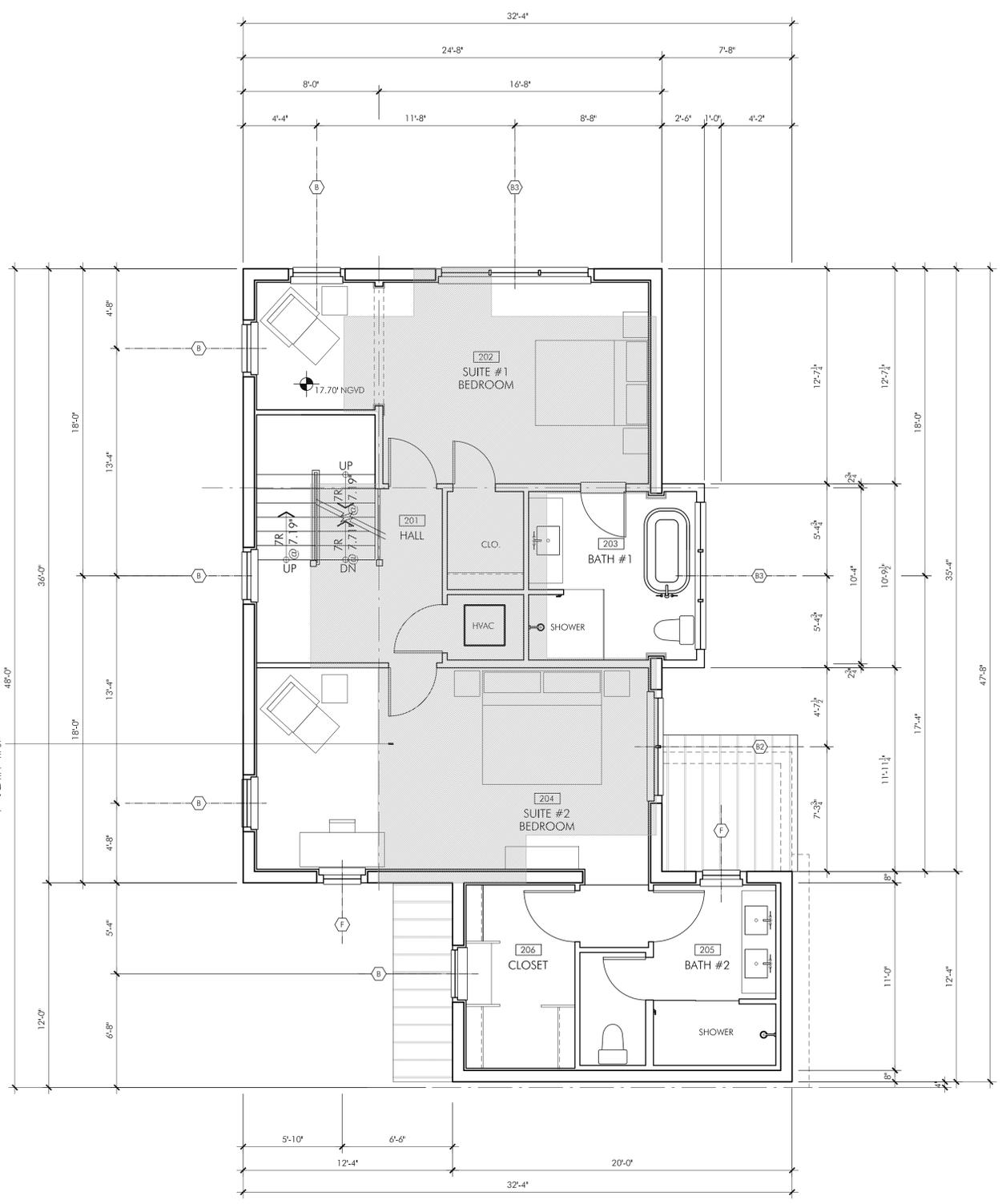
640 1ST FLOOR PLAN 1  
1/4"=1'-0"

1ST FLR.: 855 S.F.  
GARAGE: 234 S.F.  
PORCH: 89 S.F.

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

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HATCHED AREA DENOTES  
3RD FLOOR SQUARE  
FOOTAGE = 527 SQ. FT.  
2ND FLOOR SQUARE  
FOOTAGE = 1154  
SQ. FT. - 1154/2 = 577  
577 > 527 SQ. FT.



UNITED STREET RESIDENCES  
KEY WEST, FLORIDA

108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219

ORDINARY  
**BOB**  
ARCHITECTURE

Fon 804.344.0060  
email: bobstudio@bobarchitecture.net

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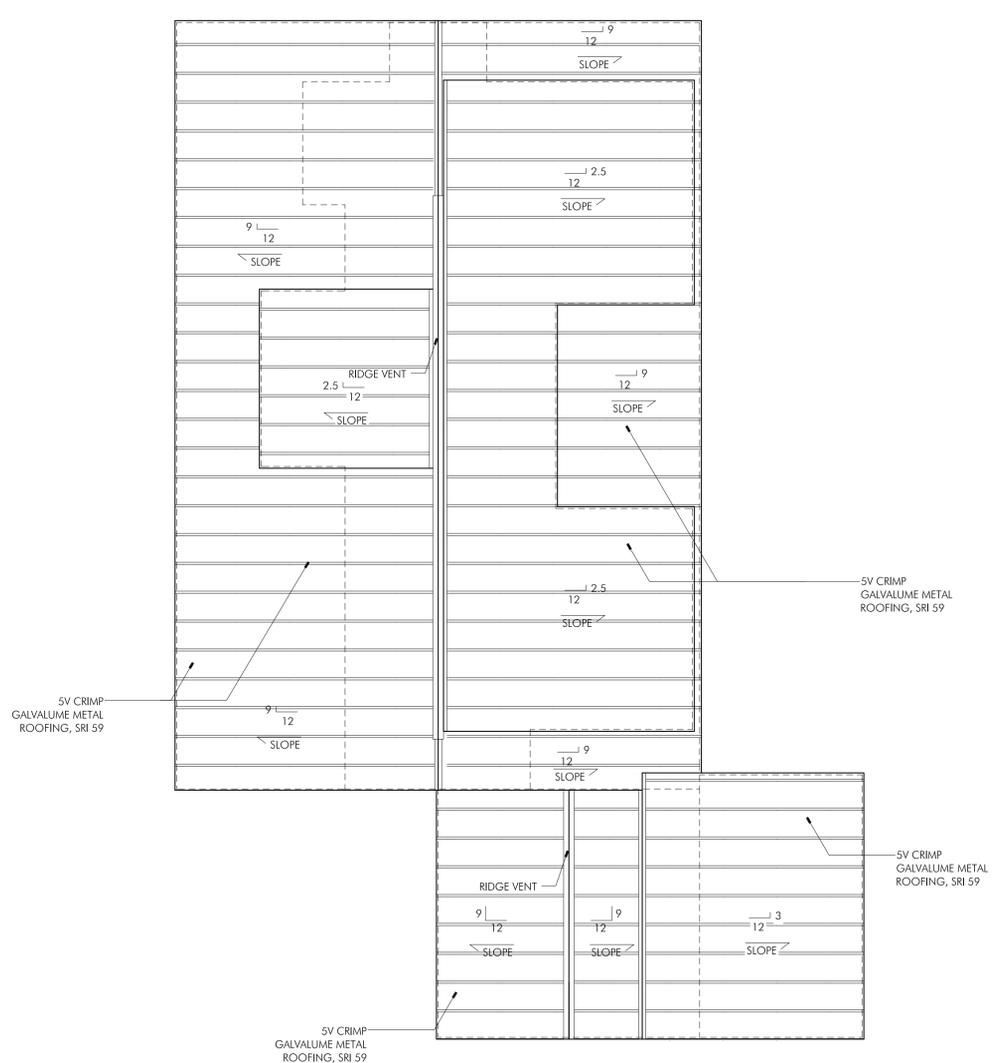
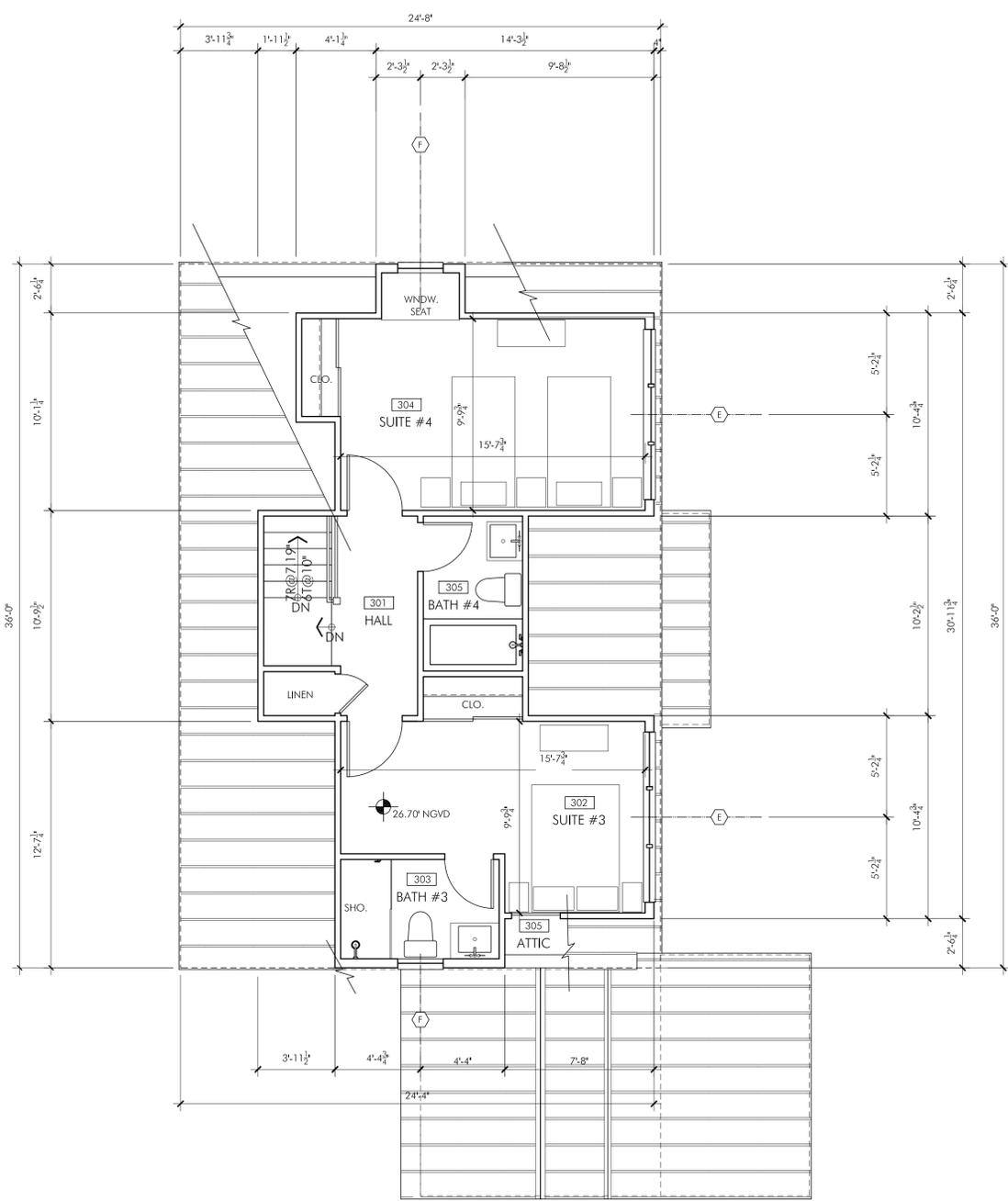
JOB NO: 16.012  
DATE: 11.13.18

SECOND FLOOR  
PLAN - UNIT 640

A202

640 2ND FLOOR PLAN 1  
2ND FIR.: 1154 S.F. 1/4"=1'-0"

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22



640 ROOF PLAN 2  
1/4"=1'-0"

640 3RD FLOOR PLAN 1  
3RD FLR.: 527 S.F. 1/4"=1'-0"

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JOB NO: 16.012  
DATE: 11.13.18

3RD FLOOR & ROOF PLANS - UNIT 640

A203

UNITED STREET RESIDENCES  
KEY WEST, FLORIDA

108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219

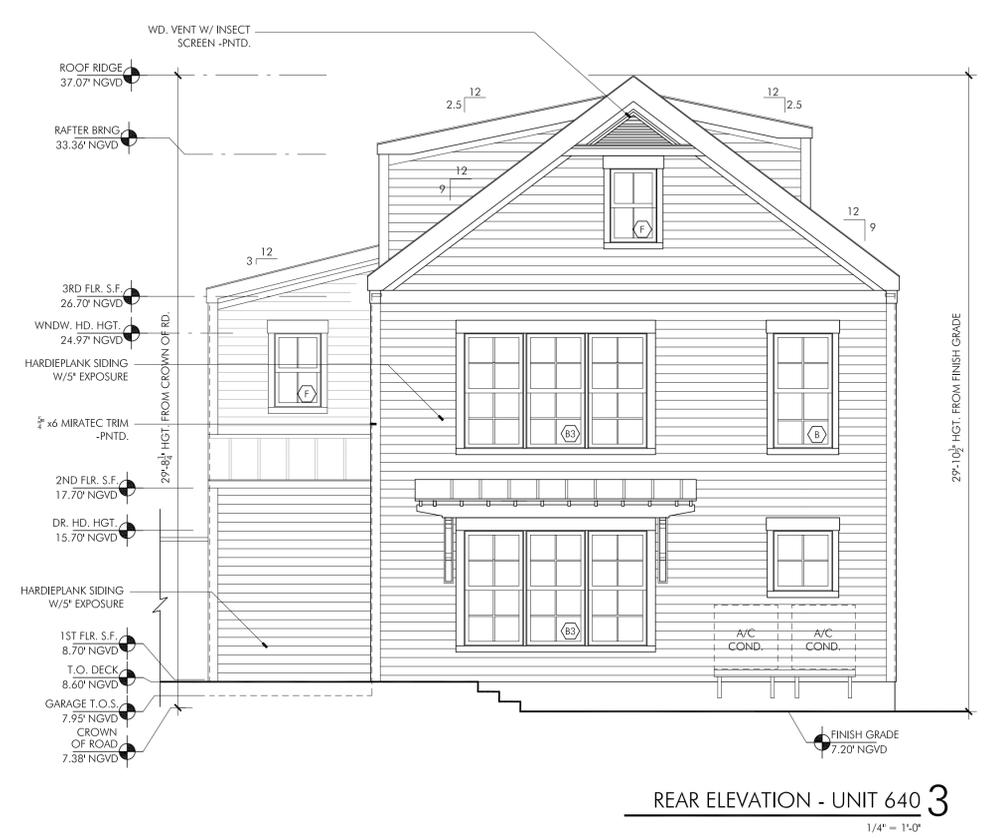
ORDINARY ARCHITECTURE

BOB ARCHITECTURE

804.344.0060  
email: bobstudio@bobarchitecture.net



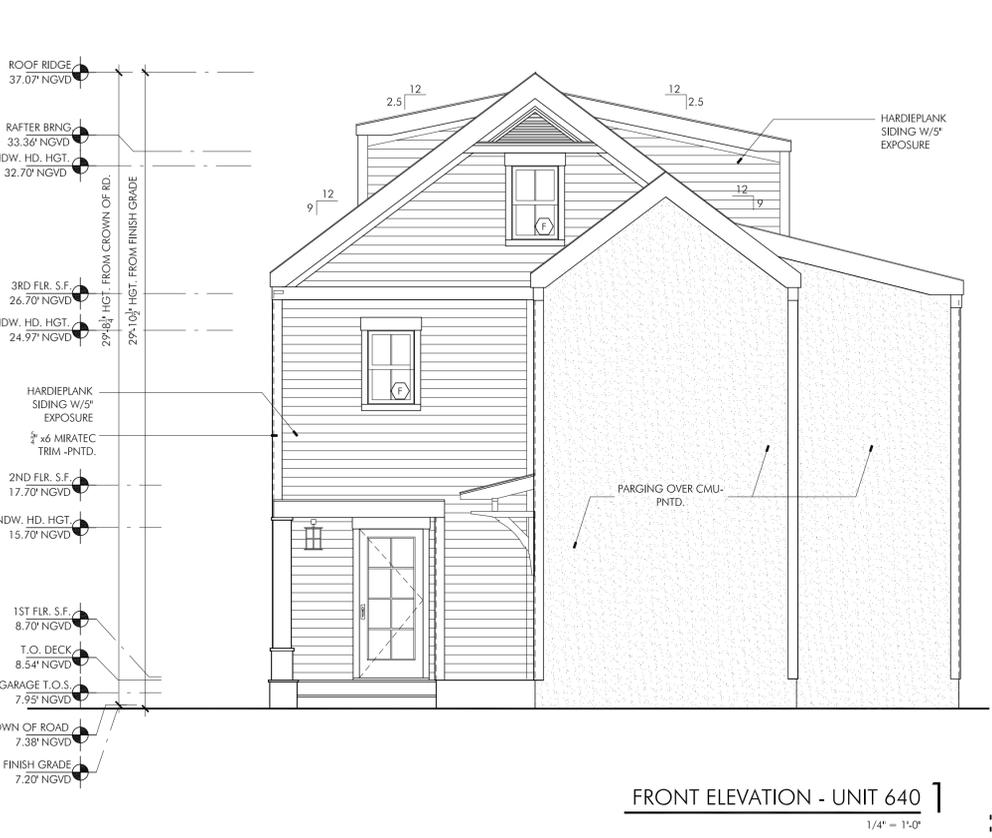
SIDE ELEVATION - UNIT 640 4  
1/4" = 1'-0"



REAR ELEVATION - UNIT 640 3  
1/4" = 1'-0"



SIDE ELEVATION - UNIT 640 2  
1/4" = 1'-0"



FRONT ELEVATION - UNIT 640 1  
1/4" = 1'-0"

UNITED STREET RESIDENCES  
KEY WEST, FLORIDA

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email: bobstudio@bobarchitecture.net



108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219

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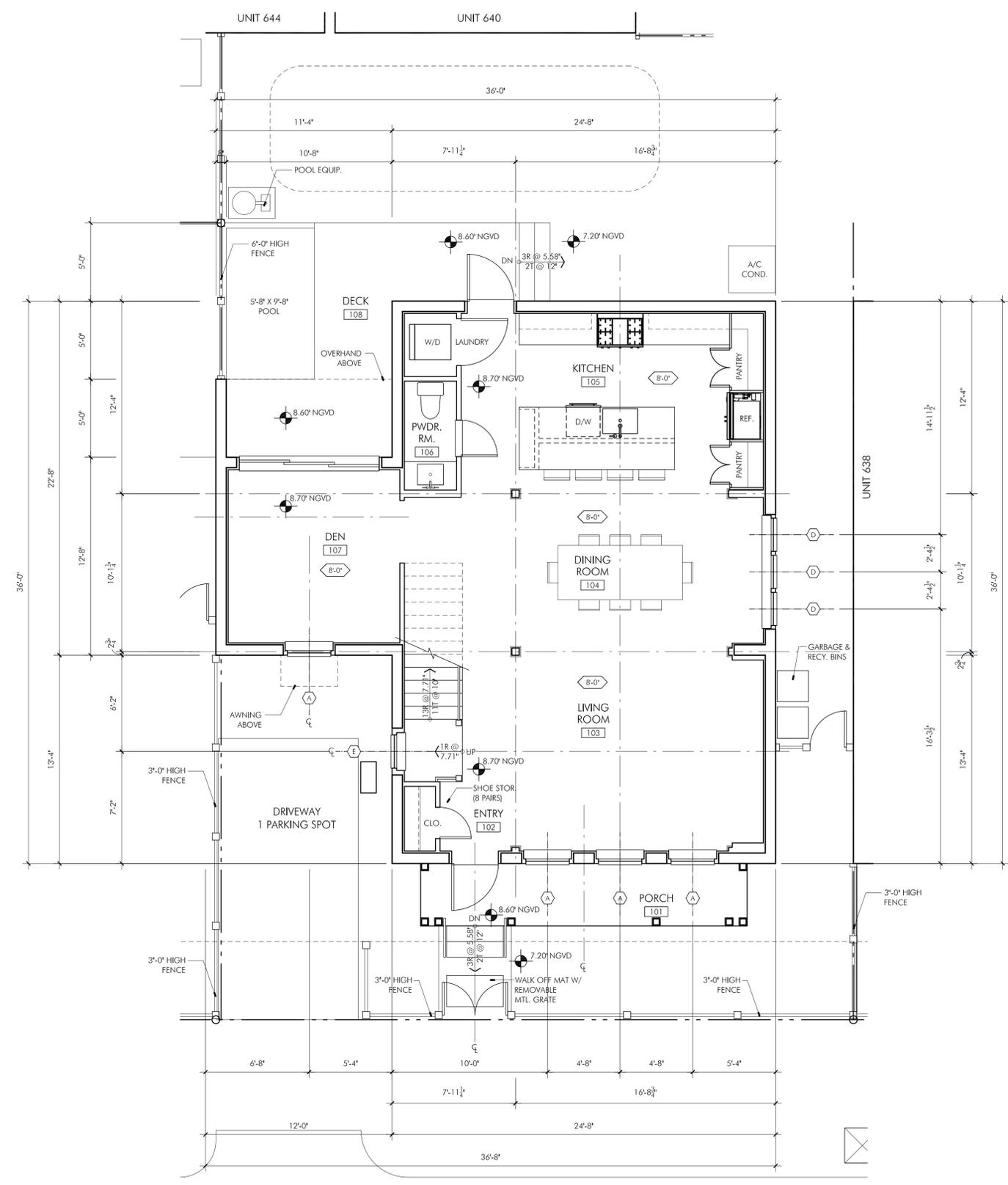
JOB NO: 16.012  
DATE: 11.13.18

EXTERIOR ELEVATIONS - UNIT 640

A301

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

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UNITED STREET RESIDENCES  
KEY WEST, FLORIDA



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JOB NO: 16.012  
DATE: 11.13.18

FIRST FLOOR PLAN - UNIT 642

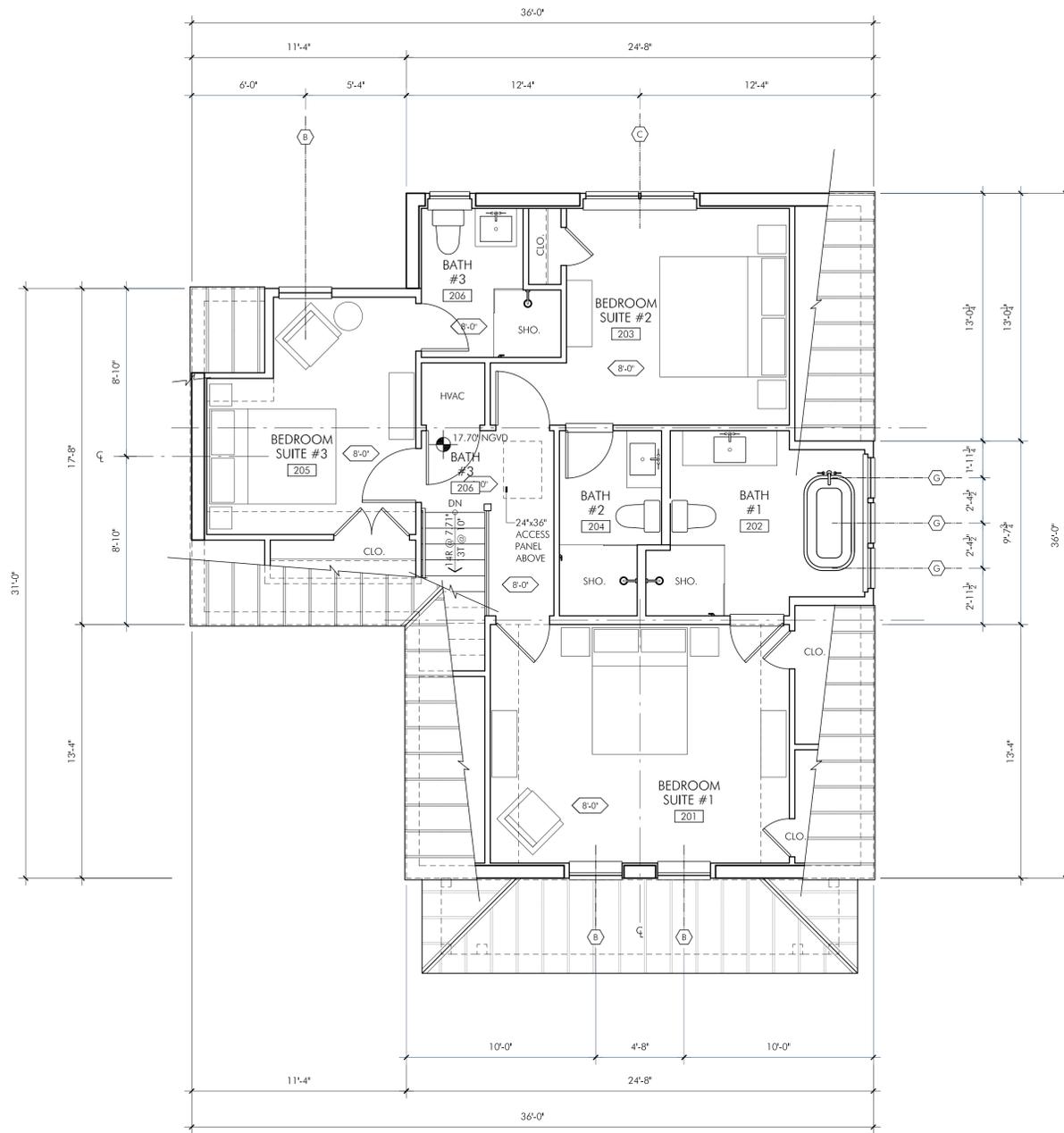
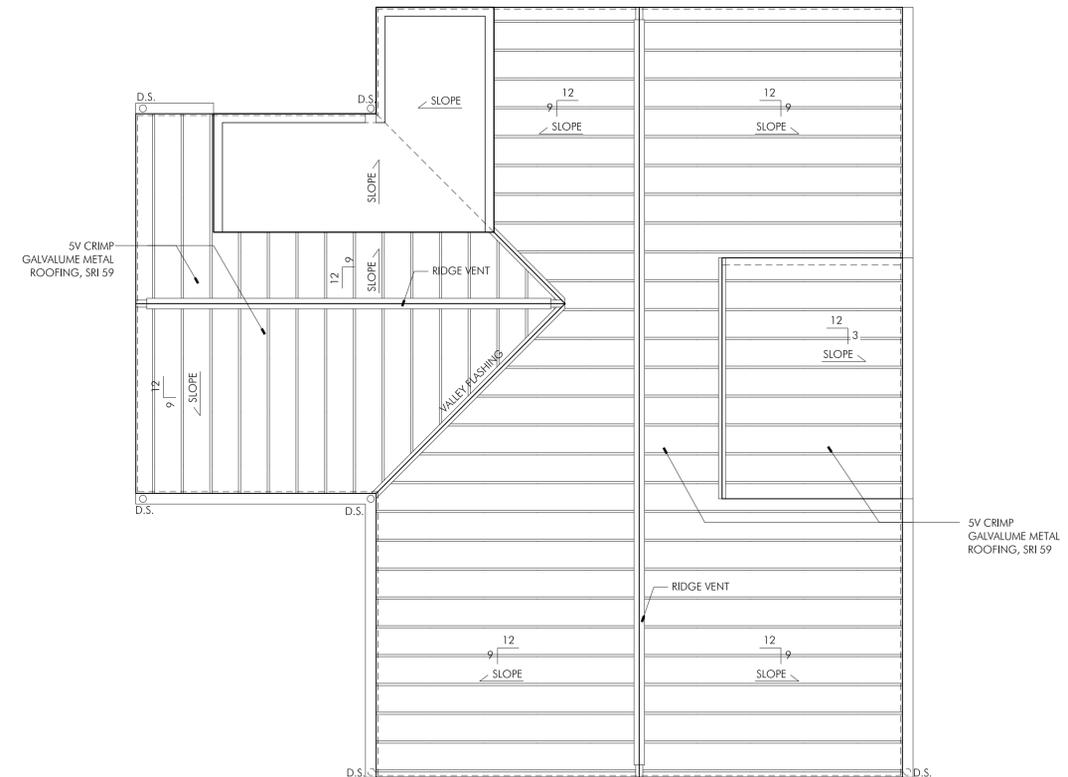
**642** 1ST FLOOR PLAN 1  
1ST FLR.: 1032 S.F.  
PORCH: 84 S.F.  
DECK: 294 S.F.  
1/4"=1'-0"

**A201**

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

A | B | C | D | E | F | G | H | I | J | K | L | M | N | O



642 ROOF PLAN 2  
1/4"=1'-0"

642 2ND FLOOR PLAN 1  
2ND FIR.: 940 S.F. 1/4"=1'-0"

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JOB NO: 16.012  
DATE: 11.13.18

2ND FLOOR &  
ROOF PLANS - UNIT  
642

A202

UNITED STREET RESIDENCES  
KEY WEST, FLORIDA

108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219

ORDINARY ARCHITECTURE

BOB ARCHITECTURE

FOR BOUNDARY

Fon 804.344.0060  
email: bobstudio@bobarchitecture.net

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

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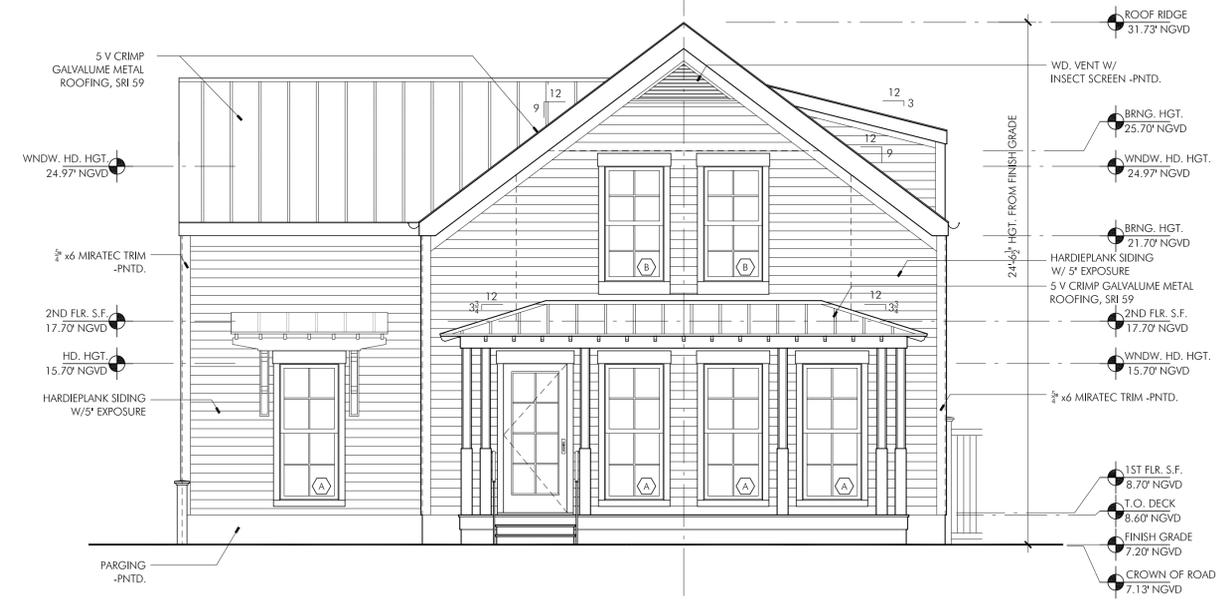
SIDE ELEVATION - UNIT 642 4  
1/4" = 1'-0"



REAR ELEVATION - UNIT 642 3  
1/4" = 1'-0"



SIDE ELEVATION - UNIT 642 2  
1/4" = 1'-0"



FRONT ELEVATION - UNIT 642 1  
1/4" = 1'-0"

UNITED STREET RESIDENCES  
KEY WEST, FLORIDA

108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219  
Fon 804.344.0060  
email: bobstudio@bobarchitecture.net



108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219

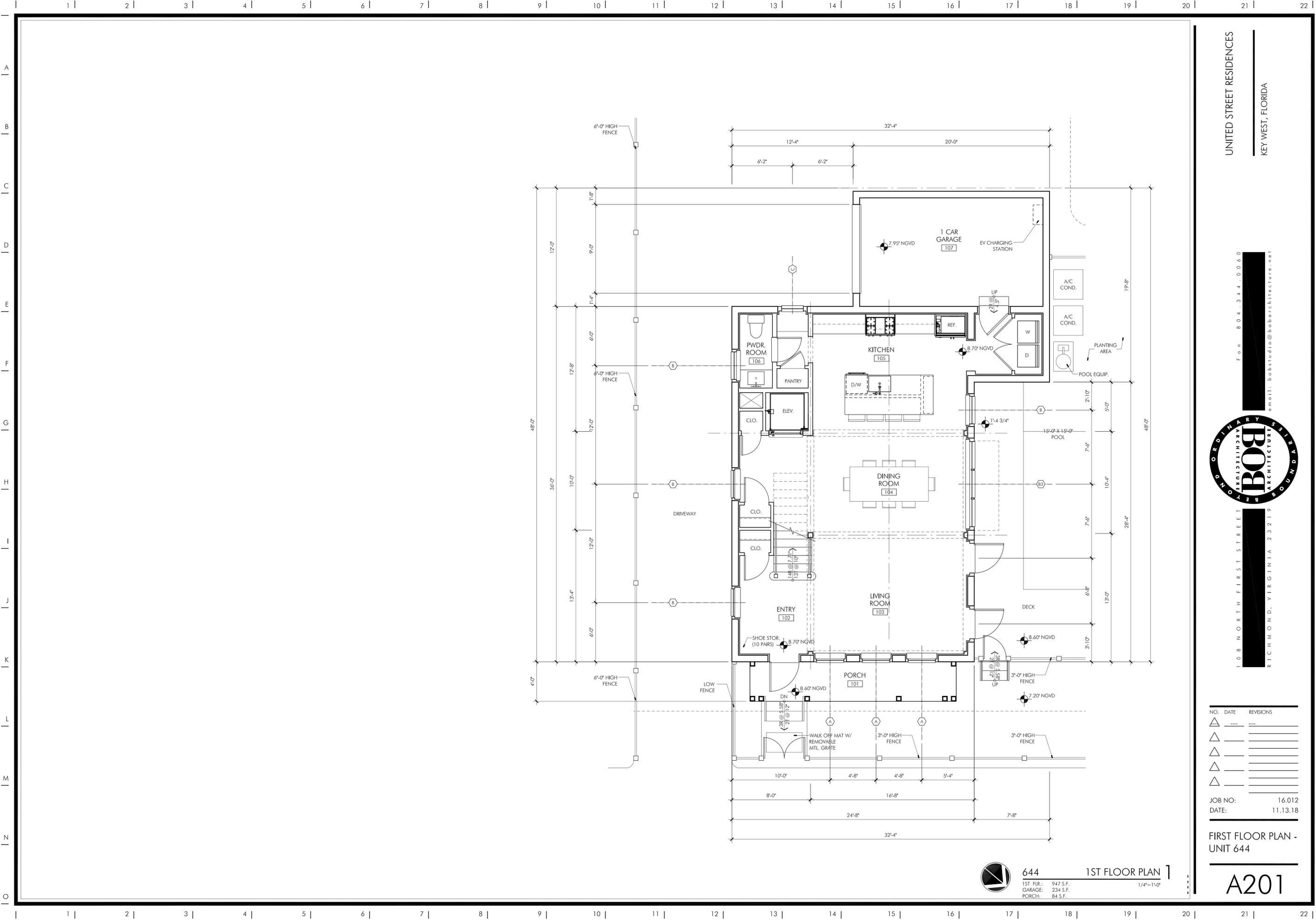
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JOB NO: 16.012  
DATE: 11.13.18

EXTERIOR ELEVATIONS - UNIT 642

A301

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22



UNITED STREET RESIDENCES  
 KEY WEST, FLORIDA

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108 NORTH FIRST STREET  
 RICHMOND, VIRGINIA 23219

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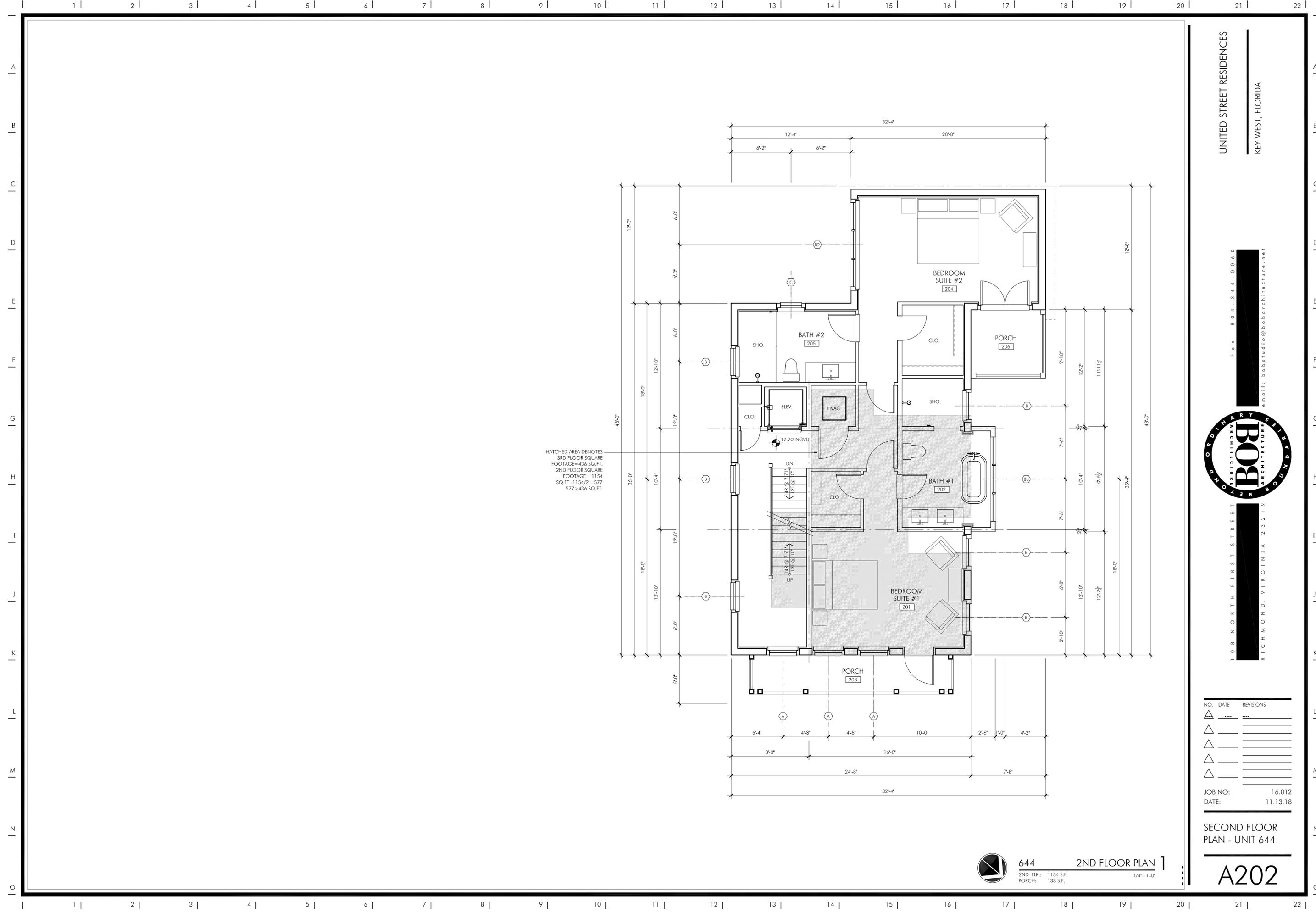
JOB NO: 16.012  
 DATE: 11.13.18

FIRST FLOOR PLAN -  
 UNIT 644

**644** 1ST FLOOR PLAN 1  
 1/4"=1'-0"

1ST FLR.: 947 S.F.  
 GARAGE: 234 S.F.  
 PORCH: 84 S.F.

**A201**



HATCHED AREA DENOTES  
 3RD FLOOR SQUARE  
 FOOTAGE=436 SQ.FT.  
 2ND FLOOR SQUARE  
 FOOTAGE=1154  
 SQ.FT.-1154/2=577  
 577>436 SQ.FT.

UNITED STREET RESIDENCES  
 KEY WEST, FLORIDA

108 NORTH FIRST STREET  
 RICHMOND, VIRGINIA 23219

ORDINARY  
**BOB**  
 ARCHITECTURE

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 DATE: 11.13.18

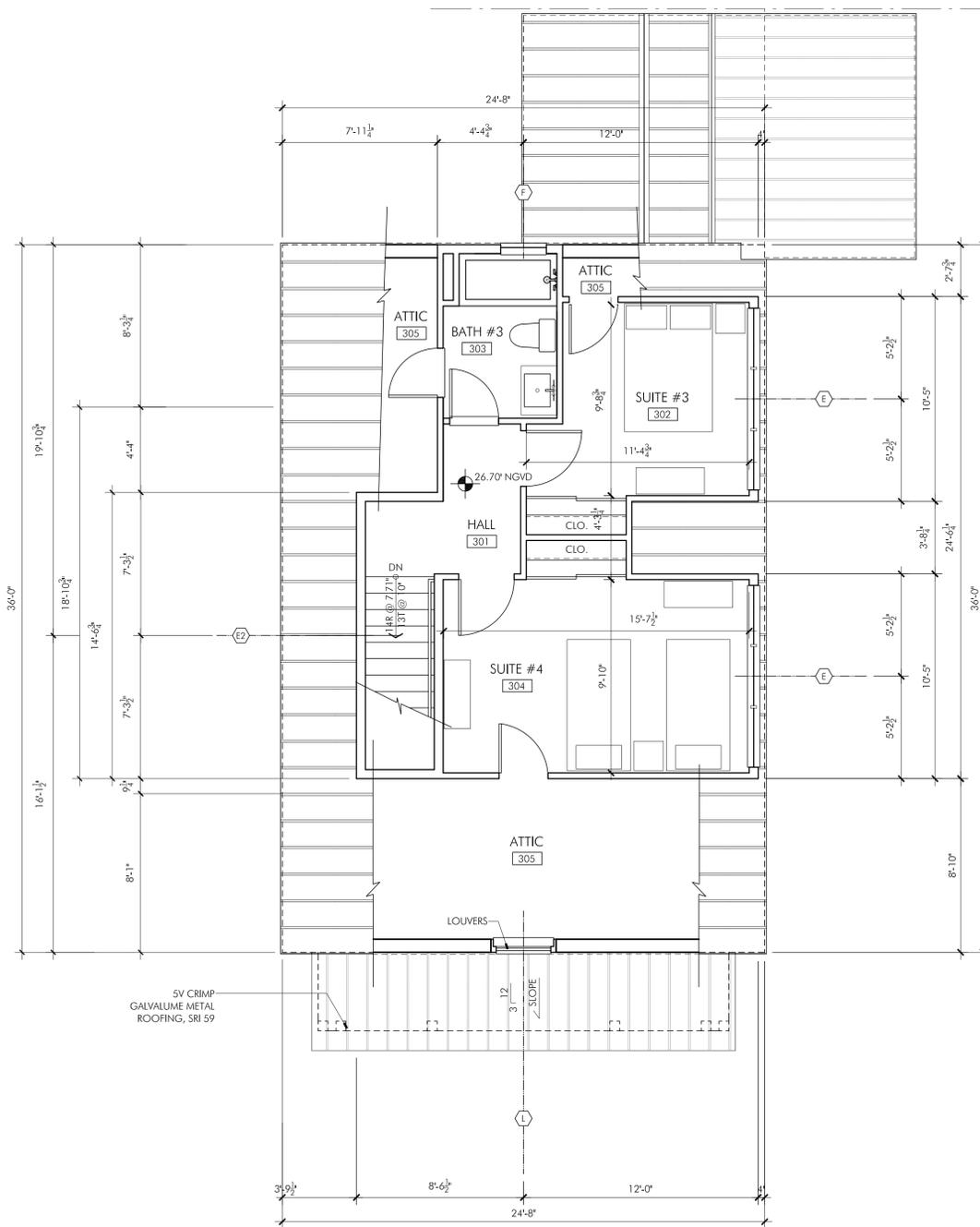
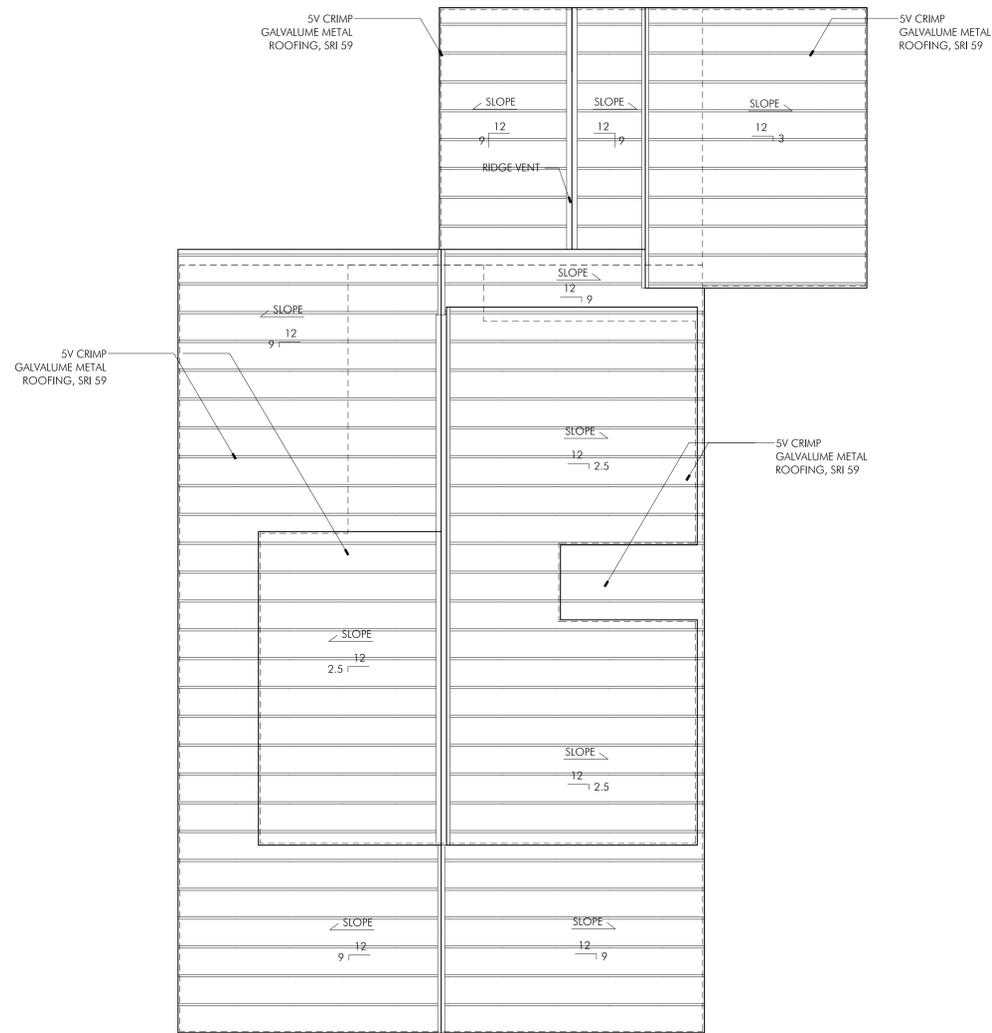
SECOND FLOOR  
 PLAN - UNIT 644

A202

**644** 2ND FLOOR PLAN 1  
 2ND FIR.: 1154 S.F. 1/4"=1'-0"  
 PORCH: 138 S.F.

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644

ROOF PLAN 2  
1/4"=1'-0"



644

3RD FLOOR PLAN 1  
3RD FLR.: 436 S.F.  
1/4"=1'-0"

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JOB NO: 16.012  
DATE: 11.13.18

3RD FLOOR &  
ROOF PLANS - UNIT  
644

A203



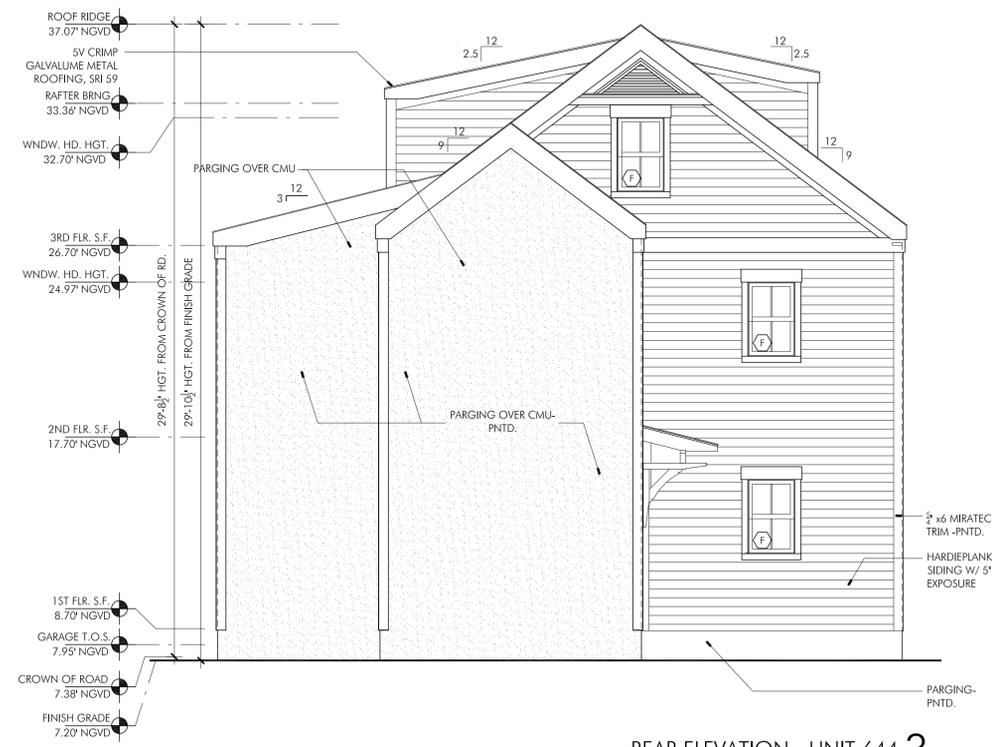
108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219  
Fon 804.344.0060  
email: bobstudio@bobarchitecture.net

UNITED STREET RESIDENCES

KEY WEST, FLORIDA



SIDE ELEVATION - UNIT 644 4  
1/4" = 1'-0"



REAR ELEVATION - UNIT 644 3  
1/4" = 1'-0"



SIDE ELEVATION - UNIT 644 2  
1/4" = 1'-0"



FRONT ELEVATION - UNIT 644 1  
1/4" = 1'-0"

UNITED STREET RESIDENCES  
KEY WEST, FLORIDA

Fon 804.344.0060  
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108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219

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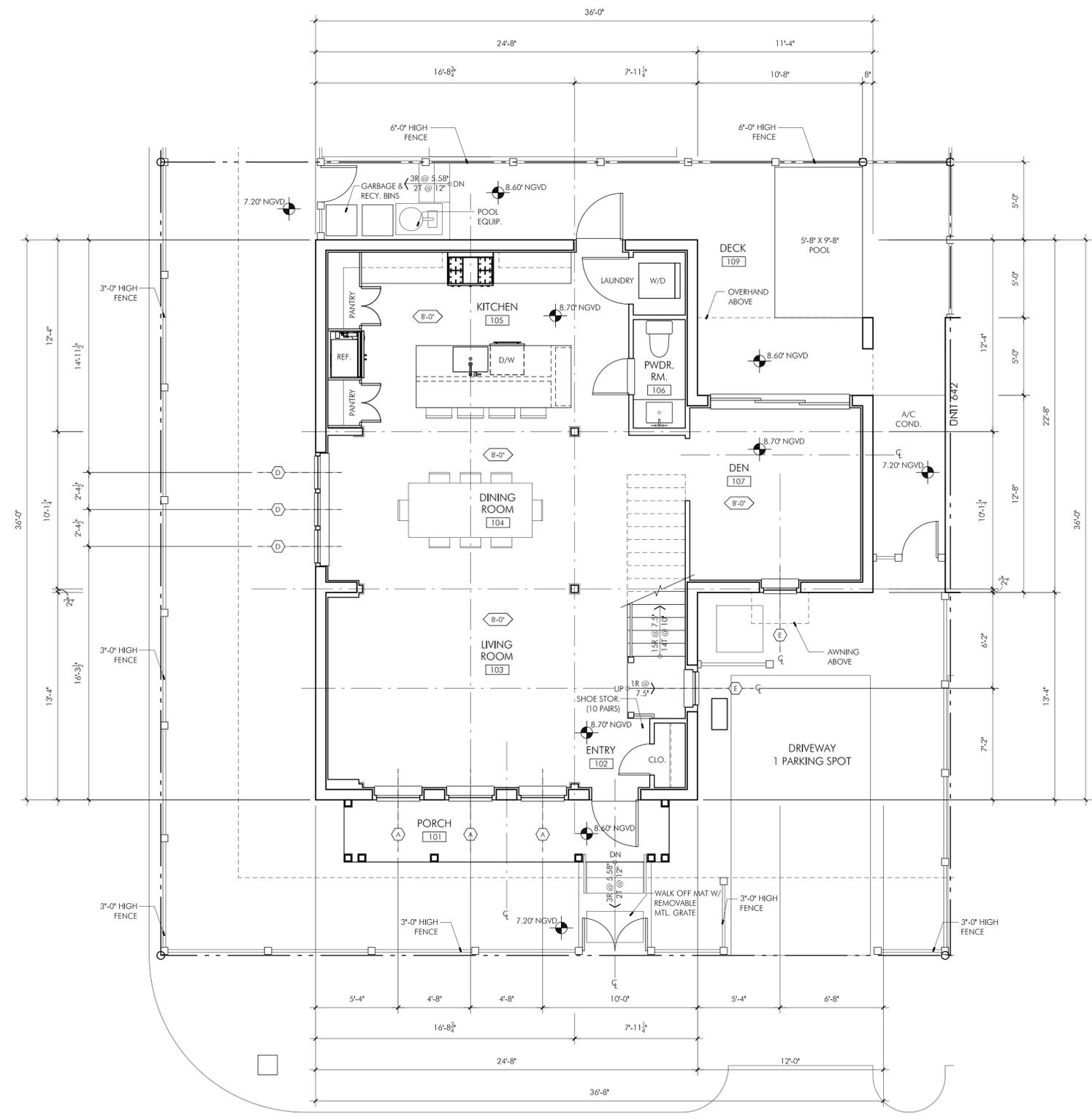
JOB NO: 16.012  
DATE: 11.13.18

EXTERIOR ELEVATIONS - UNIT 644

A301

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

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UNITED STREET RESIDENCES  
KEY WEST, FLORIDA

ORDINARY  
**BOB**  
ARCHITECTURE

108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219  
Fon 804.344.0060  
email: bobstudio@bobarchitecture.net

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JOB NO: 16.012  
DATE: 11.13.18

FIRST FLOOR PLAN -  
UNIT 646

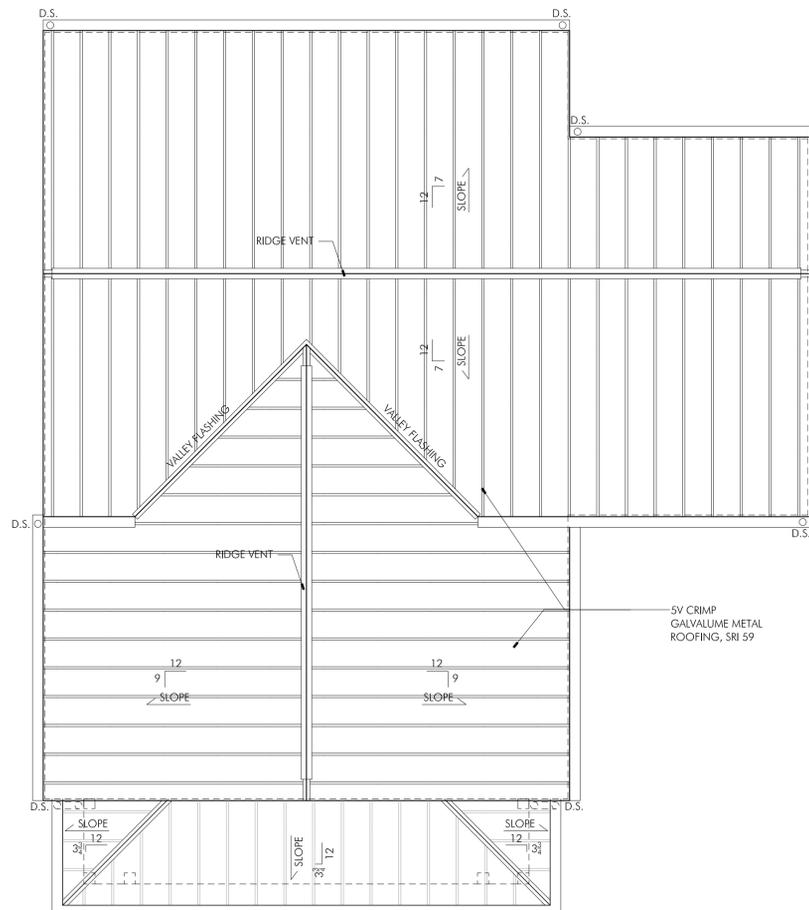
**646** 1ST FLOOR PLAN 1

1ST FLR.: 1032 S.F.  
PORCH: 84 S.F.  
DECK: 316 S.F.

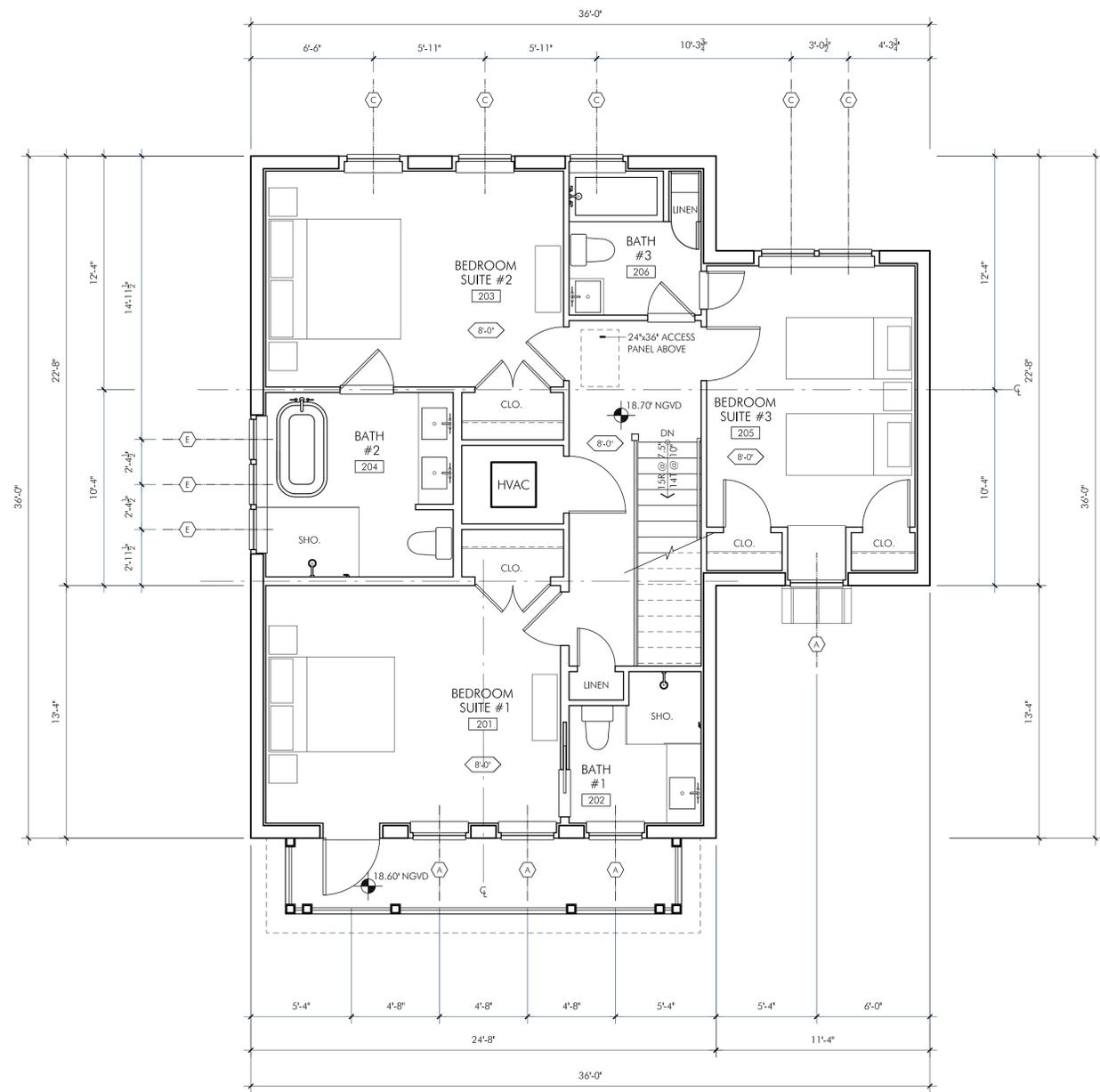
1/4"=1'-0"

A201

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22



646 ROOF PLAN 2  
1/4"=1'-0"



646 2ND FLOOR PLAN 1  
2ND FLR.: 1088 S.F.  
PORCH: 84 S.F.  
1/4"=1'-0"

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JOB NO: 16.012  
DATE: 11.13.18

2ND FLOOR &  
ROOF PLANS - UNIT  
646

A202



108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219  
Fon 804.344.0060  
email: bobstudio@bobarchitecture.net

UNITED STREET RESIDENCES  
KEY WEST, FLORIDA

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

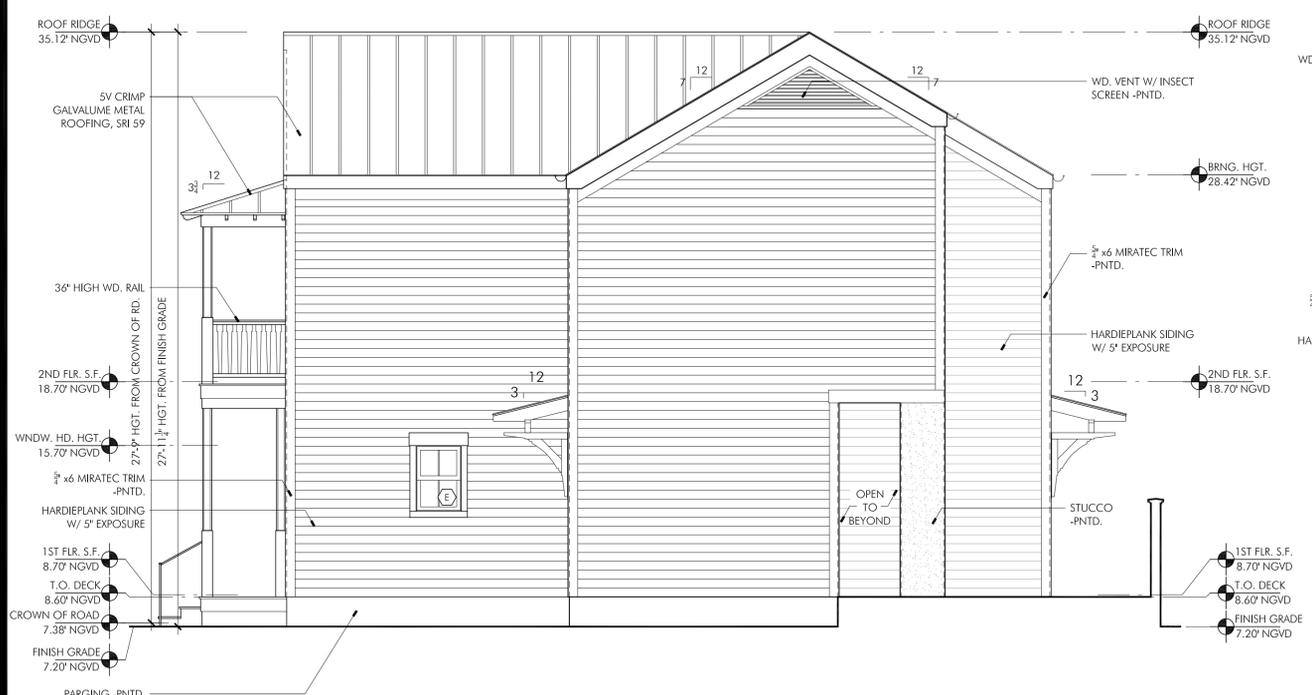
A | B | C | D | E | F | G | H | I | J | K | L | M | N | O



SIDE ELEVATION - UNIT 646 4  
1/4" = 1'-0"



REAR ELEVATION - UNIT 646 3  
1/4" = 1'-0"



SIDE ELEVATION - UNIT 646 2  
1/4" = 1'-0"



FRONT ELEVATION - UNIT 646 1  
1/4" = 1'-0"

UNITED STREET RESIDENCES  
KEY WEST, FLORIDA

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RICHMOND, VIRGINIA 23219

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JOB NO: 16.012  
DATE: 11.13.18

EXTERIOR ELEVATIONS - UNIT 646

A301

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

O | N | M | L | K | J | I | H | G | F | E | D | C | B | A

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

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VILLA MILL ALLEY ELEVATION 2  
3/32"=1'-0"



UNITED STREET ELEVATION 1  
3/32"=1'-0"

UNITED STREET RESIDENCES  
KEY WEST, FLORIDA

108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219  
Fon 804.344.0060  
email: bobstudio@bobarchitecture.net

NO.	DATE	REVISIONS
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JOB NO: 16.012  
DATE: 11.13.18

UNITED ST. & VILLA  
MILL ALLEY ELEVATIONS

A302

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22





## PREMIUM

<b>Gauge</b> 29 and 26	<b>Paint System</b> Signature® 200 20 Colors	★★★★
<b>Substrate</b> Galvalume	<b>Warranty</b> 40-Year Film Integrity	

**Final color selection should be made from metal color chips.**

- For the most current information available, visit our website at [www.abcmetalroofing.com](http://www.abcmetalroofing.com).
- See the product catalog for gauge and color availability.
- Review the sample warranty for complete performance attributes, exceptions, and terms and conditions.
- Trim is available in all colors.

Available in 29 Gauge



Buckskin★



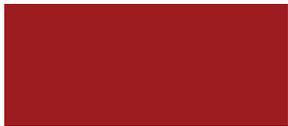
Evergreen★



Hawaiian Blue★



Clay★



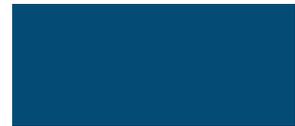
Radiant Red★



Desert Sand★



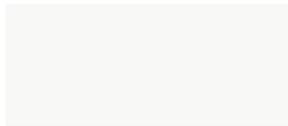
Burgundy★



Cobalt Blue★



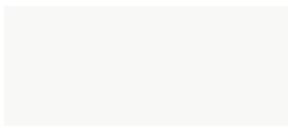
Coal Black★



Vintage White



Galvanized



Regal White★



Rustic Red★



Saddle Tan★



Koko Brown★



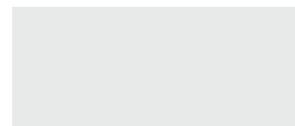
Light Stone★



Gray★



Ivy Green★



Polar White★  
(also available in G-90 Galvanized)



Charcoal Gray★



Burnished Slate★



Galvalume Plus®

This color





**Final color selection should be made from metal color chips.**

- For the most current information available, visit our website at [www.abcmetalroofing.com](http://www.abcmetalroofing.com).
- See the product catalog for gauge and color availability.
- Review the sample warranty for complete performance attributes, exceptions, and terms and conditions.
- Trim is available in all colors.

<b>Select40<sup>1</sup></b> ★★★	
<b>Gauge</b> 29	<b>Paint System</b> Signature® 200 12 Colors
<b>Substrate</b> Galvalume	<b>Warranty</b> 40-Year Film Integrity
	Buckskin
	Burgundy
	Burnished Slate
	Charcoal Gray
	Coal Black
	Desert Sand
	Gray
	Ivy Green
	Koko Brown
	Light Stone
	Polar White
	Regal White
	Rustic Red
	Saddle Tan

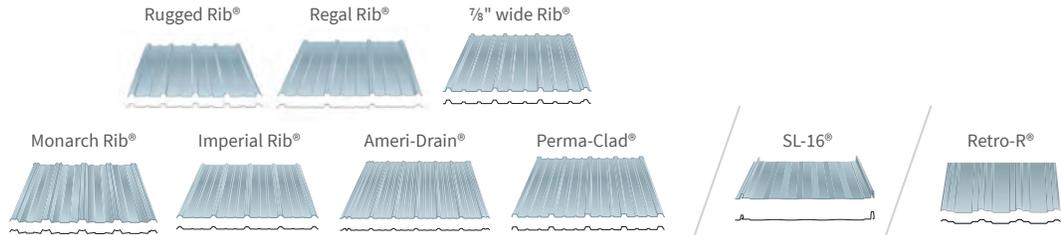
<b>Econo20<sup>1</sup></b> ★★	
<b>Gauge</b> 29	<b>Paint System</b> Signature® 200 10 Colors
<b>Substrate</b> Varies	<b>Warranty</b> 20-Year Film Integrity
	Burnished Slate
	Charcoal Gray
	Gray
	Ivy Green
	Koko Brown
	Light Stone
	Polar White
	Regal White
	Rustic Red
	Saddle Tan

<b>Commodity<sup>1</sup></b> ★	
<b>Gauge</b> 30	<b>Paint System</b> Siliconized Modified Polyester 6 Colors
<b>Substrate</b> Varies	<b>Warranty</b> None
	Charcoal Gray
	Ivy Green
	Koko Brown
	Light Stone
	Polar White
	Rustic Red

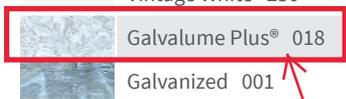
<sup>1</sup>Thumbnail colors are ink representations of Premium paint chips on cover.

# PRODUCT AND COLOR SELECTION

Thumbnail colors are ink representations of Premium paint chips on cover.



	Post Frame / Agricultural / Residential 40-7/8"					Concealed Fastener		Retro-Fit	
	29 Ga. Premium	26 Ga. Premium	29 Ga. Select40	29 Ga. Econo20	30 Ga. Commodity	29 Ga. Premium	26 Ga. Premium	29 Ga. Premium	26 Ga. Premium
Buckskin 727	■		■			■		■	
Burgundy 717	■		■			■		■	
Burnished Slate 212	■	■	■	■		■	■	■	■
Charcoal Gray 219	■	■	■	■	■	■	■	■	■
Clay 238	■					■		■	
Coal Black 203	■		■			■		■	
Cobalt Blue 209	■					■	■	■	■
Desert Sand 217	■		■			■		■	
Evergreen 234	■					■		■	
Gray 725	■	■	■	■		■	■	■	■
Hawaiian Blue 204	■					■		■	
Ivy Green 712	■	■	■	■	■	■	■	■	■
Koko Brown 215	■	■	■	■	■	■	■	■	■
Light Stone 206	■	■	■	■	■	■	■	■	■
Polar White 202	■		■	■	■	■		■	
Radiant Red 730	■					■		■	
Regal White 702	■	■	■	■		■	■	■	■
Rustic Red 207	■	■	■	■	■	■	■	■	■
Saddle Tan 221	■	■	■	■		■	■	■	■
Vintage White 230	■					■		■	
Galvalume Plus® 018	■	■				■	■	■	■
Galvanized 001	■								

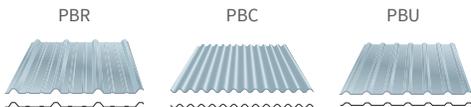


this type

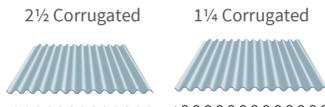
29 gauge

■ Premium

**Commercial**  
26 gauge Premium  
See Commercial and Industrial color chart for color availability.



**Corrugated**  
29 gauge Galvalume Plus®



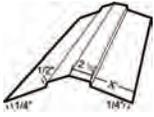
5V Crimp  
26 gauge and 29 gauge Galvalume Plus®



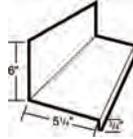
# TRIM APPLICATIONS

ABC offers one of the broadest selections for post-frame and residential trim applications. Custom trims are also available. Please contact your sales representative for details.

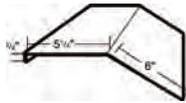
**LG 101** PLAIN RIDGE CAP\*



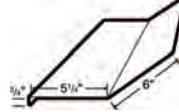
**LG 104** NOTCHED ENDWALL FLASHING



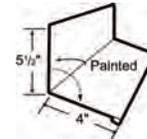
**LG 105** NOTCHED UPPER GAMBREL FLASHING



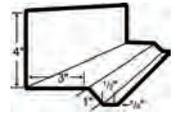
**LG 106** NOTCHED LOWER GAMBREL FLASHING



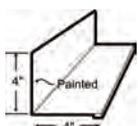
**LG107** DENVER ENDWALL FLASHING



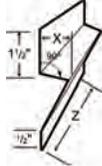
**LG 108** SIDEWALL FLASHING



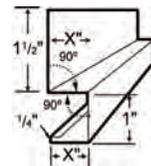
**LG 109** DENVER SIDEWALL FLASHING



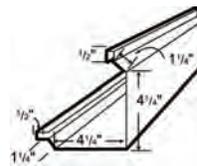
**LG 110** BASE TRIM\*



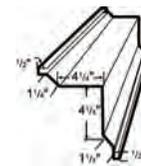
**LG 111** SQUARE BASE ANGLE\*



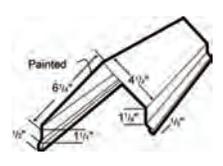
**LG 113** CORNER TRIM



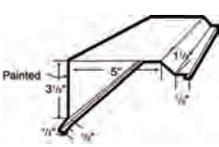
**LG 115** INSIDE CORNER



**LG 117** RAKE TRIM



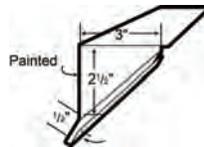
**LG 118** DENVER GABLE



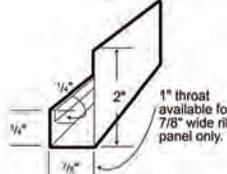
**LG 119** EAVE FLASHING



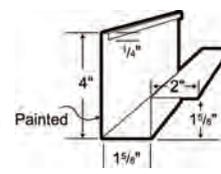
**LG 120** DENVER EAVE TRIM



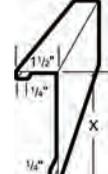
**LG 123** "J" CHANNEL



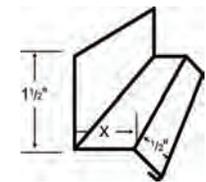
**LG 125** 9/16" DOOR JAMB



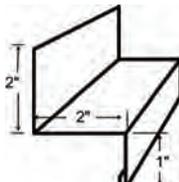
**LG 126** DOOR POST TRIM\*



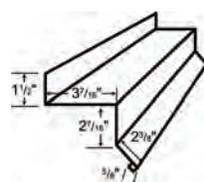
**LG 129** WINDOW DRIP CAP\*



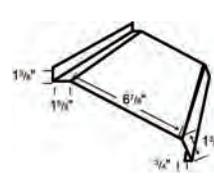
**LG 130** SLIDING DOOR DRIP CAP



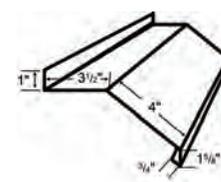
**LG 131** NATIONAL DOOR TRACK COVER



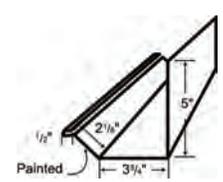
**LG 132** COMBO TRACK COVER



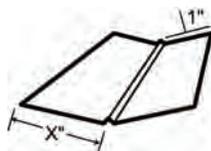
**LG 133** TOP MOUNT TRACK COVER



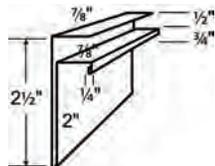
**LG 134** TRACK DOOR JAMB TRIM



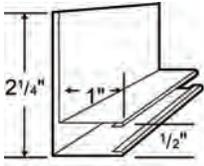
**LG 138 / LG 139** "W" FORMED VALLEY\*



**LG 147** F&J SOFFIT



**LG 148** "F" CHANNEL



\*Refer to the 29-gauge product manual for variable trim dimensions.



**ABCMetalRoofing.com**  
 Adel, GA 877.595.6604  
 Frankfort, KY 877.780.2119  
 Lubbock, TX 877.695.0477  
 Memphis, TN 877.774.0157  
 Mount Pleasant, IA 877.768.9460  
 Oklahoma City, OK 877.795.4399  
 Phoenix, AZ 877.774.6219  
 Rome, NY 877.785.0821  
 Salt Lake City, UT 877.814.1419

Descriptions and specifications contained herein were in effect at the time this publication was approved for printing. In a continuing effort to refine and improve products, American Building Components reserves the right to discontinue products at any time or change specifications and/or designs without incurring obligation. To ensure you have the latest information available, please inquire or visit our website at [abcmetalroofing.com](http://abcmetalroofing.com)

# Paint colors for five single family residences

BODY

TRIM

ACCENT

**Poolhouse**  
SW 7603

**City Loft**  
SW 7631

**Peppercorn**  
SW 7674



**Gray Clouds**  
SW 7658

**Reflection**  
SW 7661

**Rocky River**  
SW 6215

Due to variations in the printing process, actual colors may vary from those shown in this brochure.

**Salute**  
SW 7582

**Extra White**  
SW 7006

**Jubilee**  
SW 6248



**Knitting Needles**  
SW 7672

**Pearly White**  
SW 7009

**Seaworthy**  
SW 7620

**Greenblack**  
SW 6994

**Extra White**  
SW 7006

**Summit Gray**  
SW 7669



# NOTICING

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:30 p.m., November 27, 2018 at City Hall, 1300 White Street**, Key West, Florida. The purpose of the hearing will be to consider a request for:

**MAJOR DEVELOPMENT PLAN – FIVE NEW RESIDENTIAL SINGLE-FAMILY HOUSES WITH SWIMMING POOLS. SITE IMPROVEMENTS INCLUDING FENCES AND DRIVEWAYS. DEMOLITION OF EXISTING ONE-STORY CBS STRUCTURE.**

**#638 UNITED STREET**

**Applicant – Robert Steele, Architects    Application #H2018-0016**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.



Public  
Meeting  
Notice

# HARC POSTING AFFIDAVIT

**STATE OF FLORIDA:**  
**COUNTY OF MONROE:**

**BEFORE ME**, the undersigned authority, personally appeared ALVINA COVINGTON, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:  
638 UNITED STREET on the  
13 day of NOVEMBER, 2018.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on NOVEMBER 27, 2018.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H2018-0016.

2. A photograph of that legal notice posted in the property is attached hereto.

**Signed Name of Affiant:** Alvina Covington

**Date:** 11-13-18

**Address:** 1421 FIRST STREET UNIT 101

**City:** KEY WEST

**State, Zip:** FL, 33040

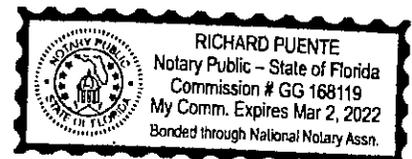
The forgoing instrument was acknowledged before me on this 13 day of NOVEMBER, 2018.

By (Print name of Affiant) ALVINA COVINGTON who is personally known to me or has produced \_\_\_\_\_ as identification and who did take an oath.

**NOTARY PUBLIC**

Sign Name: Richard Puente  
Print Name: RICHARD PUENTE

Notary Public - State of Florida (seal)  
My Commission Expires: 3-2-2022



# PROPERTY APPRAISER INFORMATION



**Disclaimer**

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

**Summary**

Parcel ID 00036600-000000  
 Account # 1037443  
 Property ID 1037443  
 Millage Group 10KW  
 Location 638 UNITED St , KEY WEST  
 Address  
 Legal KW D T SWEENY'S DIA O-327 LT 9 AND 15 AND 16 SQR 5 TR  
 Description 17 RR-781 OR181-140/41 OR329-360/67 OR382-1073/1075  
 OR874-391/393 OR880-81/83C OR1913-1667/69 OR2067-  
 611/13C OR2471-2244D/C OR2471-2250/54 OR2471-  
 2255/57 OR2781-1791/95  
 (Note: Not to be used on legal documents)  
 Neighborhood 32130  
 Property Class ONE STORY OFFICE (1700)  
 Subdivision  
 Sec/Twp/Rng 06/68/25  
 Affordable No  
 Housing



**Owner**

LAND 10031 LLC 4900 W Hundred Rd Chester VA 23831	LAND 7009 LLC	LAND 2708 LLC
	LAND 1701 LLC	LAND 4027 LLC
LAND 2421 LLC	LAND 8351 LLC	LAND 8601 LLC
LAND 113 LLC		

**Valuation**

	2018	2017	2016	2015
+ Market Improvement Value	\$289,673	\$289,673	\$312,071	\$452,958
+ Market Misc Value	\$8,437	\$8,437	\$8,437	\$8,844
+ Market Land Value	\$606,220	\$606,220	\$609,171	\$607,799
= Just Market Value	\$904,330	\$904,330	\$929,679	\$1,069,601
= Total Assessed Value	\$904,330	\$904,330	\$929,679	\$1,069,601
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$904,330	\$904,330	\$929,679	\$1,069,601

**Land**

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	13,994.00	Square Foot	132.65	105.5

**Commercial Buildings**

Style OFFICE BLD-1 STORY / 17C  
 Gross Sq Ft 4,910  
 Finished Sq Ft 4,562  
 Perimiter 0  
 Stories 2  
 Interior Walls  
 Exterior Walls C.B.S.  
 Quality 400 ()  
 Roof Type  
 Roof Material  
 Exterior Wall1 C.B.S.  
 Exterior Wall2  
 Foundation  
 Interior Finish  
 Ground Floor Area  
 Floor Cover  
 Full Bathrooms 0  
 Half Bathrooms 0

Heating Type  
 Year Built 1963  
 Year Remodeled  
 Effective Year Built 1985  
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	4,562	4,562	0
OPU	OP PR UNFIN LL	128	0	0
OPF	OP PRCH FIN LL	220	0	0
<b>TOTAL</b>		<b>4,910</b>	<b>4,562</b>	<b>0</b>

**Yard Items**

Description	Year Built	Roll Year	Quantity	Units	Grade
FENCES	1982	1983	1	345 SF	4
ASPHALT PAVING	1993	1994	1	6700 SF	2

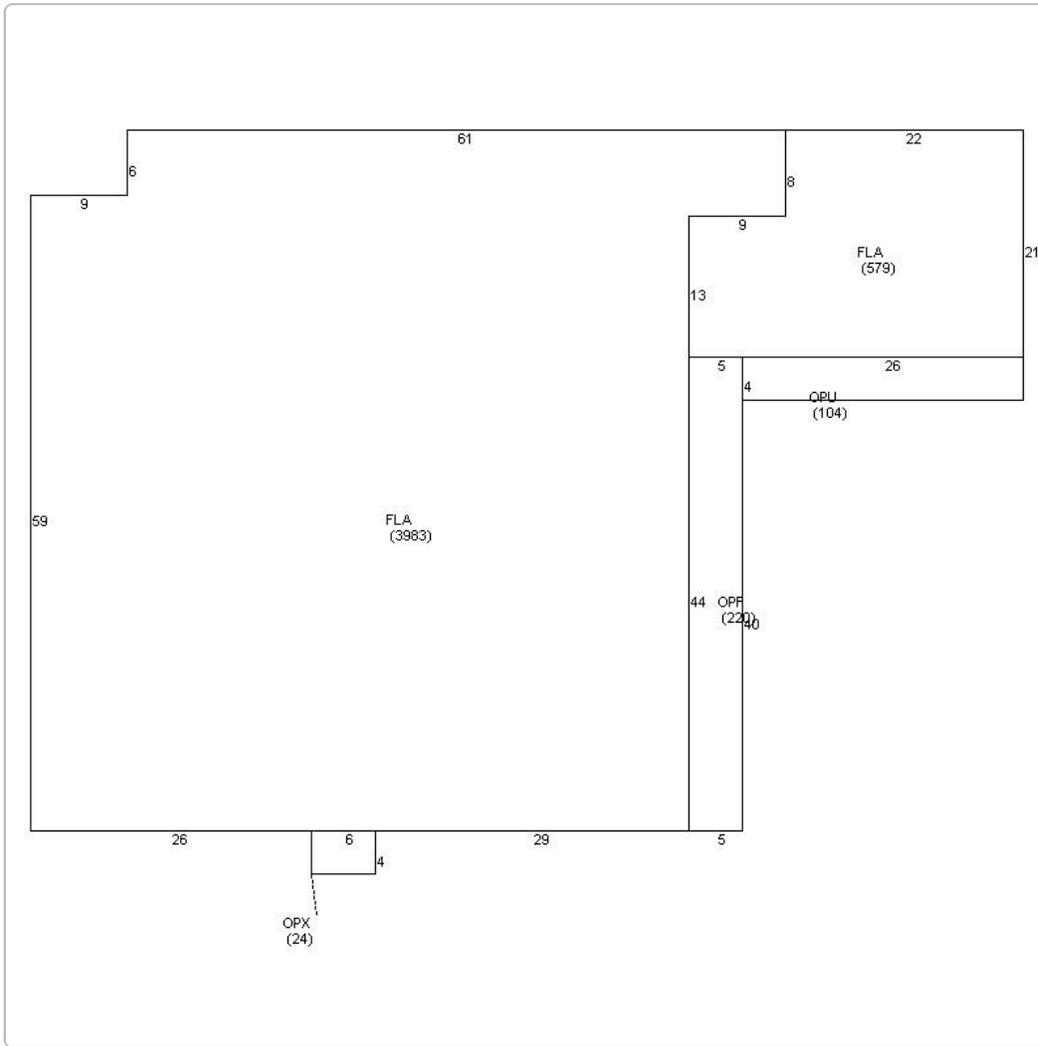
**Sales**

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
2/8/2016	\$0	Warranty Deed		2781	1791	37 - Unqualified	Improved
6/2/2010	\$100	Quit Claim Deed		2471	2255	11 - Unqualified	Improved
6/2/2010	\$100	Quit Claim Deed		2471	2250	11 - Unqualified	Improved
2/1/1983	\$153,000	Warranty Deed		874	391	Q - Qualified	Improved

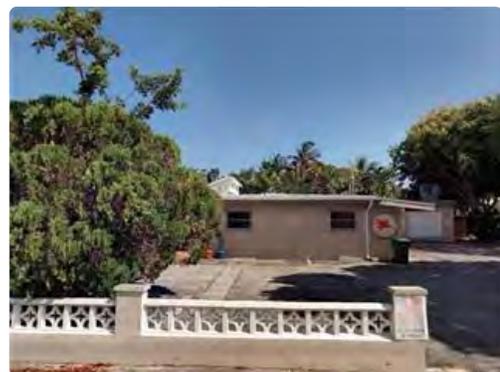
**Permits**

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
08-1406	5/2/2008		\$21,000	Commercial	REMOVE ASPHALT SHINGLES AND REPLACE WITH V-CRIMP ROOFING. ROOF OVER FLAT WITH MODIFIED RUBBER.
06-6482	12/4/2006	12/31/2007	\$2,200	Commercial	REPLACE TWO AIR HANDLERS
03-2386	7/24/2003	10/8/1983	\$3,000	Commercial	ELECTRICAL
03-0733	3/12/2003	10/8/2003	\$8,500	Commercial	ROOFING
00-2365	9/20/2000	12/5/2000	\$4,500	Commercial	CENTRAL AC UNIT FOR STORA
99-2886	2/4/2000	8/11/2000	\$25,000	Commercial	NEW 2 CAR GARAGE
96-3644	9/1/1996	11/1/1996	\$1	Commercial	ROOF
96-3367	8/1/1996	11/1/1996	\$1,000	Commercial	RENOVATIONS
B95-2484	8/1/1995	10/1/1995	\$1,000	Commercial	REPAIR STORAGE SHED
B95-1789	6/1/1995	10/1/1995	\$200	Commercial	10 4X4 POLES W/CHAIN BETW
B95-1297	4/1/1995	10/1/1995	\$200	Commercial	10 4X4 POLES W/CHAIN BETW
B95-0680	3/1/1995	10/1/1995	\$600	Commercial	92 SF ASPHALT
B94-1187	4/1/1994	7/1/1994	\$6,000	Commercial	RESURFACE PARKING LOT

Sketches (click to enlarge)



Photos



Map



TRIM Notice

Trim Notice

2018 Notices Only

No data available for the following modules: Buildings, Mobile Home Buildings, Exemptions.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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