



**Historic Architectural Review Commission
Staff Report for Item 4**

To: Chairman Bryan Green and Historic Architectural Review
Commission Members

From: Enid Torregrosa, MSHP
Historic Preservation Planner

Meeting Date: December 14, 2016

Applicant: Richard Logan, Architect / Owner

Application Number: H16-03-0004

Address: #1121 Margaret Street

Description of Work:

Reconfiguration of main façade including fenestrations, garage, and siding.

Site Facts:

The building under review, build circa 1948, is an altered contributing resource to the historic district. The cbs structure is rectangular in footprint and by comparing the Sanborn maps and the circa 1965 photograph with how the building looks today it is staff's opinion that the building, particularly its front façade, south side and rear elevations have drastically changed through time. Historically the building used to be a Cuban bakery, and is the only commercial property on the urban block. In October 18, 2016, the City Commission approved an easement for the front façade.

Ordinance Cited on Review:

- Section 102-217 (3), demolition for contributing and historic structures, of the Land Development Regulations for demolition of front and side portions of existing building.

Staff Analysis

On November 16, 2016, the Commission approved the proposed design and first reading for demolition for the above-mentioned project. The Certificate of Appropriateness proposes the demolition of a historic front and side portions to an added-on carport. Although the carport addition is similar in footprint as the one depicted on the 1962 Sanborn map, it is enclosed on its side and rear with walls and a garage door was added recessed from the front wall. The proposed demolitions are for the front portion of the existing garage and side posts and overhang that extends towards the south and rear side of the building. This demolition will decrease building coverage, increase side setbacks, and will decrease the amount of the front building façade that encroaches city's right-of-way.

It is staff's opinion that the request for this demolition should be reviewed based by the demolition criteria of Chapter 102 Section 218 of the LDR's. The criteria state the following;

(a) The historic architectural review commission shall issue a certificate of appropriateness for an application for demolition:

- (1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the criteria of section 102-125(1) through (9).*

The proposed elements to be demolished are not irrevocable compromised by extreme deterioration.

The following is the criteria of section 102-125:

- 1 Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction;*

Staff opines that the portions of the building to be demolished do not possess distinctive characteristics of a type; the addition of the carport, which drastically changed the original building by adding conjectural elements such as the stepped parapet.

- 2 Is not specifically associated with events that have made a significant contribution to local, state, or national history;*

It is staff understanding that no significant events have ever happened in the site that has contributed to local, state, or national history.

- 3 Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past;*

The portions of the building in question has no significant value as part of a development, heritage, or cultural record of the city.

- 4 *Is not the site of a historic event with a significant effect upon society;*

The site is not associated to any significant event.

- 5 *Does not exemplify the cultural, political, economic, social, or historic heritage of the city;*

The portions of the building in question is not an example of any social, cultural, or historic heritage of the city.

- 6 *Does not portray the environment in an era of history characterized by a distinctive architectural style;*

The portions of the building in question is not an example of a distinctive architectural style.

- 7 *If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif;*

The portions of the building in question is not part of a park, square or distinctive area in the city.

- 8 *Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood; and*

The portions of the building in question does not exemplify a remaining architectural type in its neighborhood and does not possess any significant visual features.

- 9 *Has not yielded, and is not likely to yield, information important in history.*

The portions of the building in question does not yield important information in history.

In conclusion, it is staff's opinion that the request for demolition can be considered by the Commission as they comply with the criteria for demolition stated under the Land Development Regulations.

APPLICATION

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE



City of Key West

3140 FLAGLER AVENUE
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

www.cityofkeywest-fl.gov

HARC PERMIT NUMBER H16-01-0004		BUILDING PERMIT NUMBER 0013		INITIAL & DATE SP 01/09/16
FLOODPLAIN PERMIT			REVISION #	
FLOOD ZONE	PANEL #	ELEV. L. FL.	SUBSTANTIAL IMPROVEMENT ___ YES ___ NO ___ %	

ADDRESS OF PROPOSED PROJECT:

1121 MARGARET ST., KEY WEST, F. 33040

OF UNITS

RE # OR ALTERNATE KEY:

NAME ON DEED:

LOGAN ENTERPRISES LLC

PHONE NUMBER

404-808-4634

OWNER'S MAILING ADDRESS:

1114 MARGARET ST.

EMAIL

FAIRHAREDBOY@AOL.COM

KEY WEST, FL. 33040

CONTRACTOR COMPANY NAME:

PHONE NUMBER

CONTRACTOR'S CONTACT PERSON:

EMAIL

ARCHITECT / ENGINEER'S NAME:

PHONE NUMBER

ARCHITECT / ENGINEER'S ADDRESS:

EMAIL

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: YES NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT:

\$ 15,000.00

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT TYPE: ONE OR TWO FAMILY MULTI-FAMILY COMMERCIAL NEW REMODEL
 CHANGE OF USE / OCCUPANCY ADDITION SIGNAGE WITHIN FLOOD ZONE
 DEMOLITION SITE WORK INTERIOR EXTERIOR AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC.,

**RENOVATION OF FACADE, PORTICO AND SIDEWALK / DRIVEWAY,
ADDITION OF STORM SHUTTERS @ NON-PROTECTED OPENINGS, REMOVAL
OF PROPERTY ENCRANCHING OVERHANG & STRUCTURE & GATE**

I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOVT AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT:

OWNER PRINT NAME: **RICHARD A. LOGAN**

QUALIFIER PRINT NAME:

OWNER SIGNATURE: *Richard A. Logan*

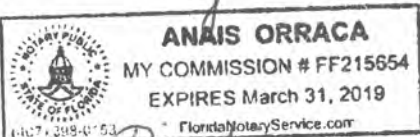
QUALIFIER SIGNATURE:

Notary Signature as to owner: *[Signature]*

Notary Signature as to qualifier:

STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS **4th** DAY OF **January**, 20 **16**

STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS _____ DAY OF _____, 20 _____



Personally known or produced **Driver License** as identification.

Personally known or produced _____ as identification.

8606 / 3685

PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS

PROPERTY STRUCTURES AFFECTED BY PROJECT: MAIN STRUCTURE ACCESSORY STRUCTURE SITE

ACCESSORY STRUCTURES: GARAGE / CARPORT DECK FENCE OUTBUILDING / SHED

FENCE STRUCTURES: 4 FT. 6 FT. SOLID 6 FT. / TOP 2 FT. 50% OPEN

POOLS: INGROUND ABOVE GROUND SPA / HOT TUB PRIVATE PUBLIC
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING: NEW ROOF-OVER TEAR-OFF REPAIR AWNING
 5 V METAL ASPLT. SHGLS. METAL SHGLS. BLT. UP TPO OTHER

FLORIDA ACCESSIBILITY CODE: 20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE: # OF SINGLE FACE # OF DOUBLE FACE REPLACE SKIN ONLY BOULEVARD ZONE
 POLE WALL PROJECTING AWNING HANGING WINDOW
 SQ. FT. OF EACH SIGN FACE:

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL: DUCTWORK COMMERCIAL EXH. HOOD INTAKE / EXH. FANS LPG TANKS
 A/C: COMPLETE SYSTEM AIR HANDLER CONDENSER MINI-SPLIT

ELECTRICAL: LIGHTING RECEPTACLES HOOK-UP EQUIPMENT LOW VOLTAGE
 SERVICE: OVERHEAD UNDERGROUND 1 PHASE 3 PHASE _____ AMPS

PLUMBING: ONE SEWER LATERAL PER BLDG. INGROUND GREASE INTCPTRS. LPG TANKS
 RESTROOMS: MEN'S WOMEN'S UNISEX ACCESSIBLE

PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100
 PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.
 ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: harc@cityofkeywest-fl.gov

INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS: GENERAL DEMOLITION SIGN PAINTING OTHER

ADDITIONAL INFORMATION:

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA

ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:
FACADE	STUCCO	HARDY BOARD SIDING
WINDOWS	GLASS BLOCK	PREMIUM ALUM./IMPACT GLASS
DOORS	METAL	METAL / IMPACT GLASS
PORTICO	STUCCO	WOOD

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B) BUSINESS SIGN BRAND SIGN OTHER: _____

BUSINESS LICENSE # _____ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE _____

Quer: KEYWILD Type: BP Drawer: 1
 Date: 1/04/16 50 Receipt no: 6385
 2016 1000004
 PT * BUILDING PERMITS-NEW
 1.00 \$100.00
 Trans number: 3074779
 CK CLERK 2186 \$100.00
 Trans date: 1/04/16 Time: 15:12:15

SIGN SPECIFICATIONS		
SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY: INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.		

OFFICIAL USE ONLY: HARC STAFF OR COMMISSION REVIEW		
<input type="checkbox"/> APPROVED	<input type="checkbox"/> NOT APPROVED	<input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION <input type="checkbox"/> TABLED FOR ADD'L. INFO.
HARC MEETING DATE:	HARC MEETING DATE:	HARC MEETING DATE:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
<i>Building is listed as contributing altered. Building 1948 guidelines for alterations.</i>		
HARC PLANNER SIGNATURE AND DATE:		HARC CHAIRPERSON SIGNATURE AND DATE:

PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS

FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

FLORIDA STATUTE 469: ABESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT ATHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USDEP ON STRUCTURES BUILT PRIOR TO 1978.

OFFICIAL USE ONLY BY PLANS EXAMINER OR CHIEF BUILDING OFFICIAL:				CBO OR PL. EXAM. APPROVAL:
HARC FEES:	BLDG. FEES:	FIRE MARSHAL FEE:	IMPACT FEES:	
				DATE:

CITY OF KEY WEST
CERTIFICATE OF APPROPRIATENESS
APPENDIX FOR DEMOLITIONS
APPLICATION NUMBER H- _____



This document applies only to those properties located within the City of Key West Historic Zoning Districts, properties outside the historic zoning districts which are listed as contributing in the Historic Architectural Survey and or properties listed in the National Register of Historic Places.

Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitation and the Key West's Historic Architectural Guidelines. Once submitted, the application shall be reviewed by staff for completeness and scheduled for presentation to the Historic Architectural Review Commission for the next available meeting, unless the demolition request is for a *bona fide* Code Compliance case, in which case staff may review and approve the demolition request. **The applicant must be present at this meeting. Any person that makes changes to an approved Certificate of Appropriateness must submit a new application with such modifications.**

The filing of this application does not ensure approval as submitted. Applications that do not possess the required submittals or documentation will be considered incomplete and will not be reviewed for approval.

CRITERIA FOR DEMOLITIONS

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies);

- (1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:

- (a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

ORIGINAL BUILDING FACE WAS SEVERELY ALTERED IN
PREVIOUS RENOVATIONS, NO ORIGINAL MATERIAL REMAINS

OR THAT THE BUILDING OR STRUCTURE;

- (a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

TRUE

- (b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.

TRUE

- (c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.

TRUE

- (d) Is not the site of a historic event with a significant effect upon society.

TRUE

- (e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.

TRUE

- (f) Does not portray the environment in an era of history characterized by a distinctive architectural style.

TRUE

- (g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.

NOT APPLICABLE

- (h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

EXISTING BUILDING IS OUT OF CHARACTER WITH OTHER STRUCTURES

- (i) Has not yielded, and is not likely to yield, information important in history.

NOT APPLICABLE

CITY OF KEY WEST
CERTIFICATE OF APPROPRIATENESS
APPENDIX FOR DEMOLITIONS
APPLICATION NUMBER H-____-____-____-_____



(2) For a contributing historic or noncontributing building or structure, a complete construction plan for the site is approved by the Historic Architectural Review Commission.

(a) A complete construction plan for the site is included in this application

____ Yes Number of pages and date on plans _____

No Reason COMPLETE PLANS TO FOLLOW APPROVAL

The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies);

(1) Removing buildings or structures that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.

NOT APPLICABLE

(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space; and

NOT APPLICABLE

AND

(3) Removing an historic building or structure in a complex; or removing a building facade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

NOT APPLICABLE

(4) Removing buildings or structures that would otherwise qualify as contributing.

NOT APPLICABLE, CONTRIBUTING ELEMENTS HAVE ALREADY BEEN SEVERELY ALTERED

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

*I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit, approval **PRIOR** to proceeding with the work outlined above and that there will be a final inspection required under this application. I also understand that any changes to an approved Certificate of Appropriateness must be submitted for review.*

Richard A. Logan
PROPERTY OWNER'S SIGNATURE:

1/4/2016 RICHARD A. LOSAN
DATE AND PRINT NAME:

OFFICE USE ONLY

BUILDING DESCRIPTION:

Contributing Year built _____ Style _____ Listed in the NRHP Year _____
 Not listed Year built _____ Comments _____

Reviewed by Staff on _____
 Notice of hearing posted _____
 First reading meeting date _____
 Second Reading meeting date _____
TWO YEAR EXPIRATION DATE _____

Staff Comments

Isabel and Patrick Lenderman
1123 Margaret St.
Key West, FL, 33040

November 7, 2016

Enid Torregrosa, Planner
City of Key West
Key West, Fl. 33040

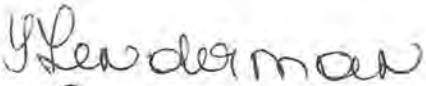

Ref: Renovations at 1121 Margaret St.

Dear Ms. Torregrosa:

We understand that the owner, Logan Enterprises, LLC (Richard Logan), at 1121 Margaret St. is proposing renovations of the front façade and removal of the side overhang and pipe columns that encroach on our property at 1123 Margaret St. This encroachment of .8 FT, which apparently occurred when the building was built in the 1940's has never been of concern, but we certainly do not have any objection to its removal. We understand that the building wall next to our property will be over three feet inside the adjacent property and that the pipe columns will be cut off at grade and the existing concrete grade beam will be patched and remain exposed, since it forms the edge of the walkway on our property.

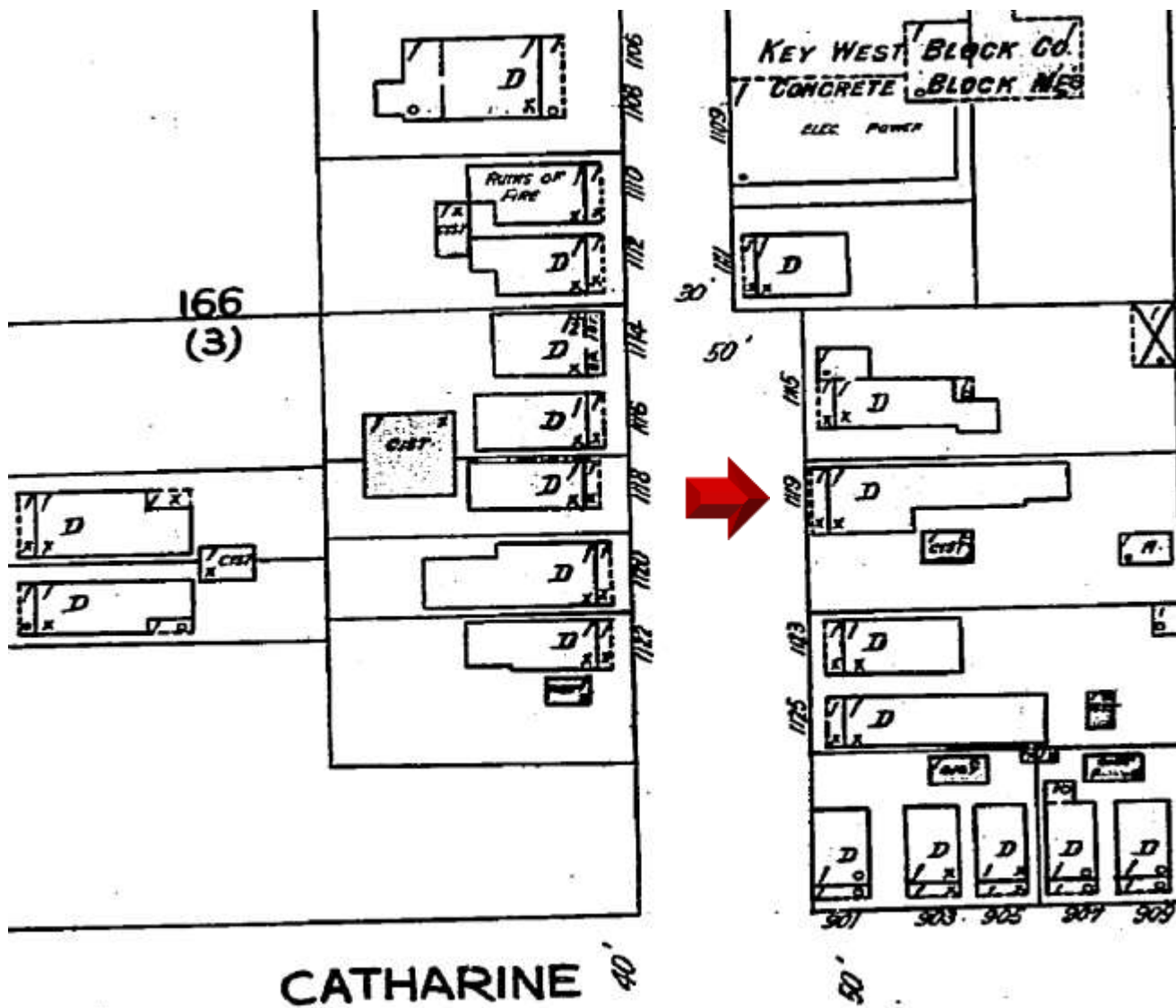
Thank you for your consideration.

Sincerely,

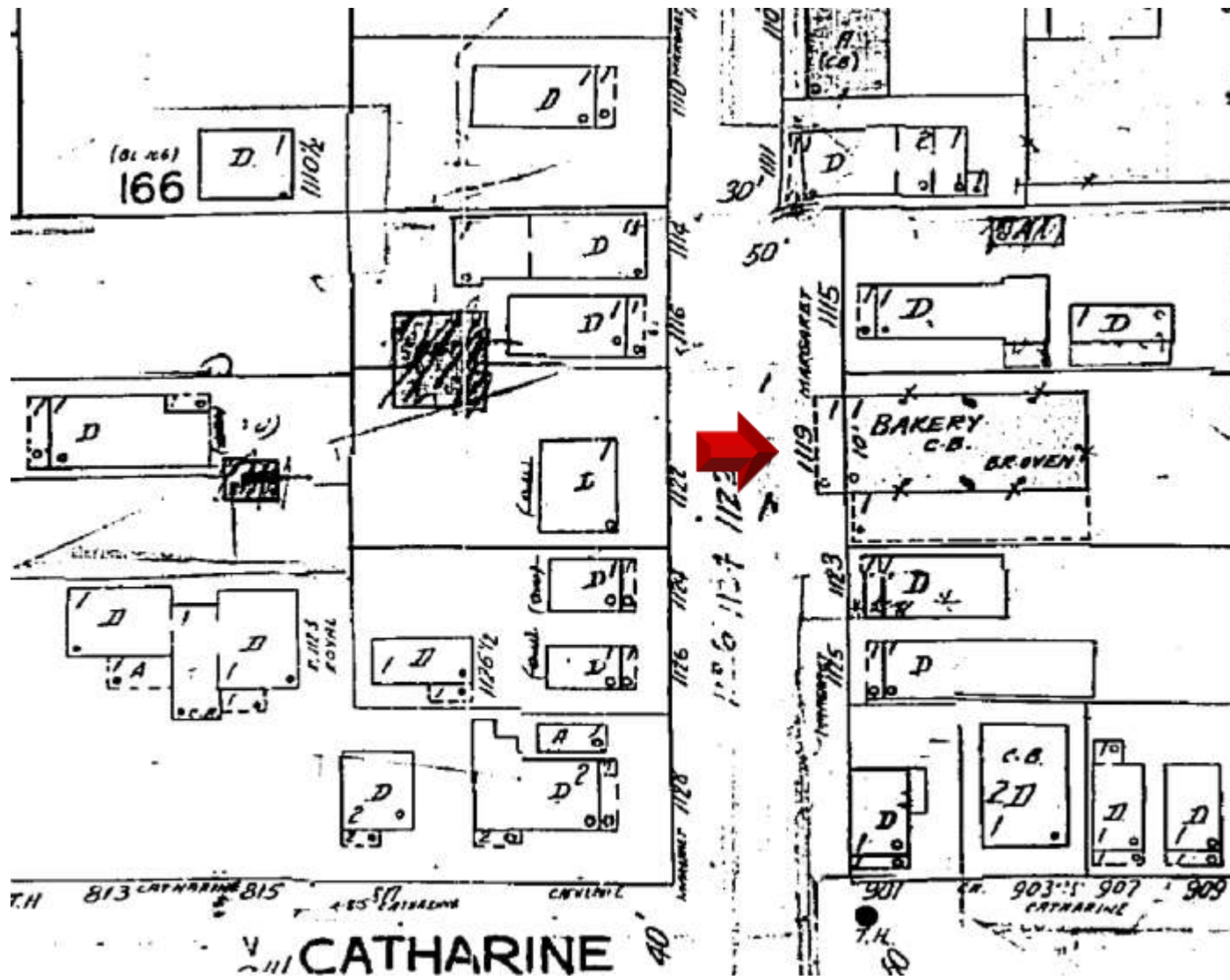



Isabel Maria Lenderman
Patrick Edward Lenderman

SANBORN MAPS



Sanborn Map 1926



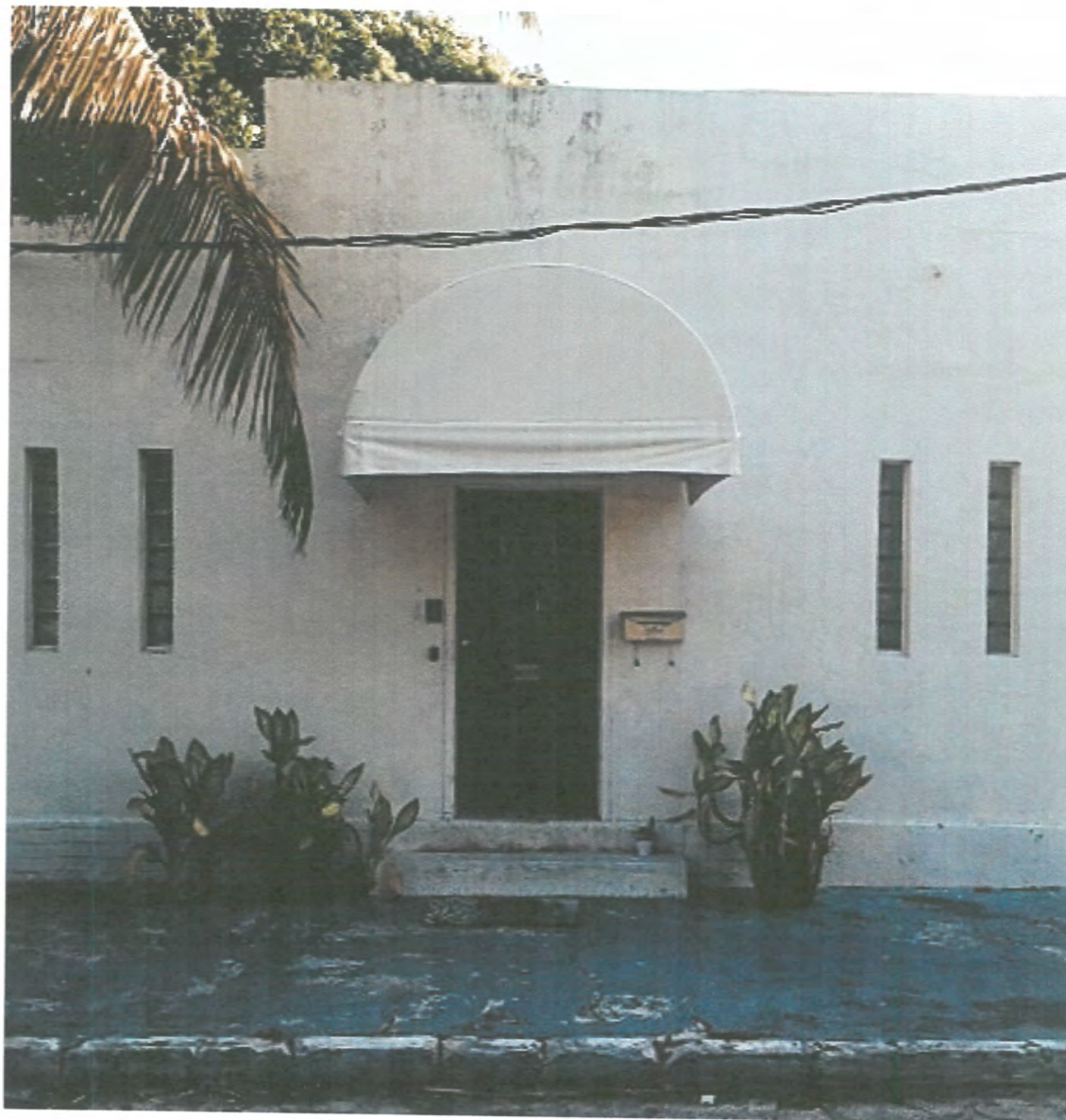
Sanborn Map 1962

PROJECT PHOTOS



1121 Margaret Street circa 1965. Molina's Bakery. Monroe County Library.

EXISTING CONDITIONS – 1111 MARGARET ST. (ENTRANCE)



EAST BUILDING AND STREET VIEWS



WEST (OPPOSITE) STREET VIEW



EXISTING CONDITIONS – 1111 MARGARET ST. (PORTICO FROM FRONT)



EXISTING CONDITIONS – 1111 MARGARET ST. (PORTICO FROM SOUTH SIDE)



EXISTING CONDITIONS – 1111 MARGARET ST. (SOUTH SIDE VIEW)



EXISTING CONDITIONS – 1111 MARGARET ST. (NORTH SIDE VIEW)



ADJACENT PROPERTIES – 1111 (SECOND FROM NORTH)



ADJACENT PROPERTIES – 1114 MARGARET ST. (OWNER'S HOME ACROSS THE STREET)



ADJACENT PROPERTIES – 1116 MARGARET ST. (ACROSS THE STREET)



ADJACENT PROPERTIES – 1113 MARGARET ST. (IMMEDIATE NORTH)



ADJACENT PROPERTIES – 1120 MARGARET ST. (ACROSS THE STREET)



ADJACENT PROPERTIES – 1123 MARGARET ST. (IMMEDIATE SOUTH)



ADJACENT PROPERTIES – 1124 MARGARET ST. (ACROSS THE STREET)

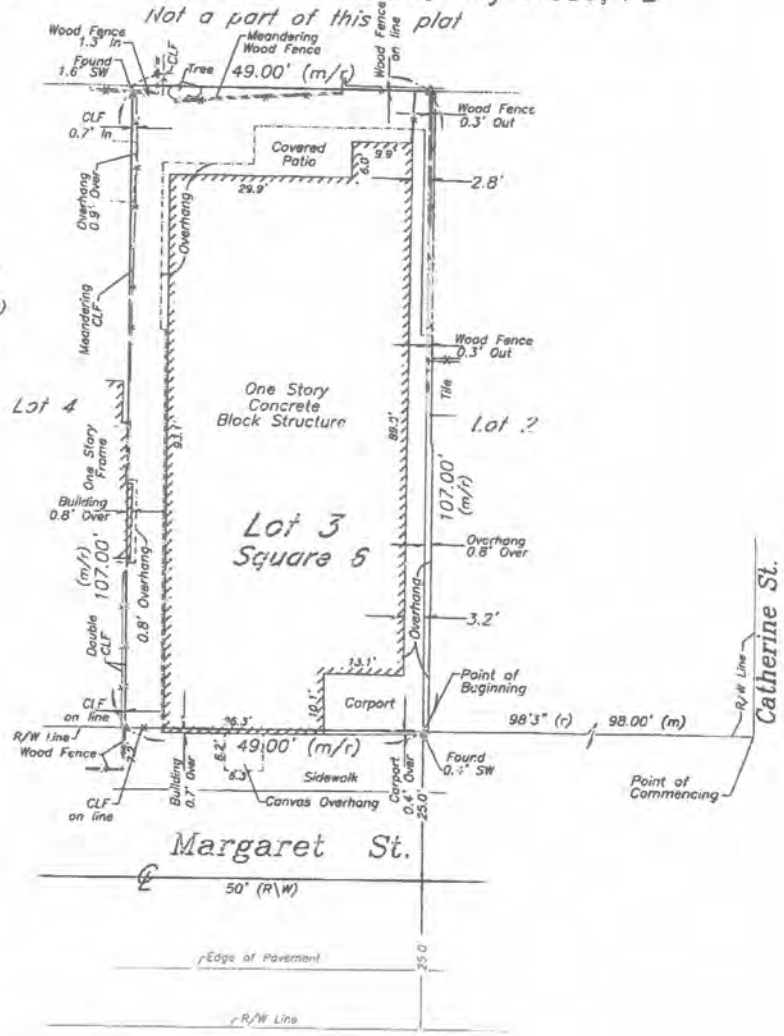
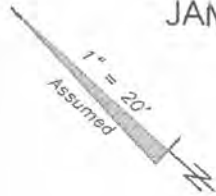


ADJACENT PROPERTIES – 1127 MARGARET ST. (SECOND BUILDING FROM SOUTH)



SURVEY

Boundary Survey Map of Lot 3, Square 6, Tract 12, JAMES A. WADDELL'S Subdivision, Key West, FL



LEGEND

- Found 1" Iron Pipe (No ID)
- Set 3/4" Iron Pipe w/cap (6298)
- Found 1/2" Iron Rod (5234)
- ▲ Found Nail & Disc (unreadable)
- △ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R\W Right of Way
- CLF Chain Link Fence
- ⊕ Centerline
- ⊙ Wood Utility Pole
- ⊙ Concrete Utility Pole
- P- Overhead Utility Lines

- NOTES:**
1. The legal description shown hereon was furnished by the client or their agent. This survey does not determine or imply ownership.
 2. Underground foundations and utilities were not located.
 3. All angles are 90° (Measured & Record) unless otherwise noted.
 4. Street address: 1121 Margaret Street, Key West, FL.
 5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
 6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
 7. North Arrow is assumed and based on the legal description.
 8. Date of field work: November 20, 2015
 9. Ownership of fences is undeterminable, unless otherwise noted.
 10. Adjoiners are not furnished.

BOUNDARY SURVEY OF: On the Island of Key West and known on William A. Whitehead's map on said Island, delineated in February, A.D. 1829, as part of Tract 12, but now better known on James A. Waddell's Subdivision of part of said Tract 12, as Lot 3, Square 6 of said Tract 12, diagram is duly recorded in Plat Book 1, page 11, of Monroe County, Florida records: COMMENCING at a point of Margaret Street continued, which is 98 feet and 3 inches from the corner of Catherine and Margaret Street, and running thence in a Northwesterly direction 49 feet; thence at right angles in a Northeasterly direction 107 feet; thence at right angles in a Southwesterly direction 49 feet; thence at right angles in a Southwesterly direction 107 feet to the Point of Beginning.

BOUNDARY SURVEY FOR: Jack A. Henry and Richard A. Logan;
Iberiabank Mortgage Company;
Smith Oropeza Hawks, P.L.;
Old Republic National Title Insurance Company;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
Florida Reg. #6298
November 21, 2015

THIS SURVEY
IS NOT
ASSIGNABLE

J. LYNN O'FLYNN, Inc.

Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

PROPOSED DESIGN



1121 Margaret Street Renovation. Key West. FL 33040

1121 Margaret St. Renovation - Sheet Index

Cover Perspective

Design Concept

Survey

Photos – Building and Street Views

Photos – Existing Building Conditions

Photos – Adjacent Buildings

1. Site Plan
2. Partial Floor Plan
3. Front Elevation (existing)
4. Partial Side Elevations (existing)
5. Front Elevation (proposed)
6. Partial Side Elevations (proposed)
7. Partial Building Sections
8. Sections at Portico
9. Elevation of Building and Adjacent Structures
10. Materials and Colors

Impact Window Specifications

Impact Door Specifications

Storm Panel Specifications

1121 Margaret St. Renovation – Design Concept

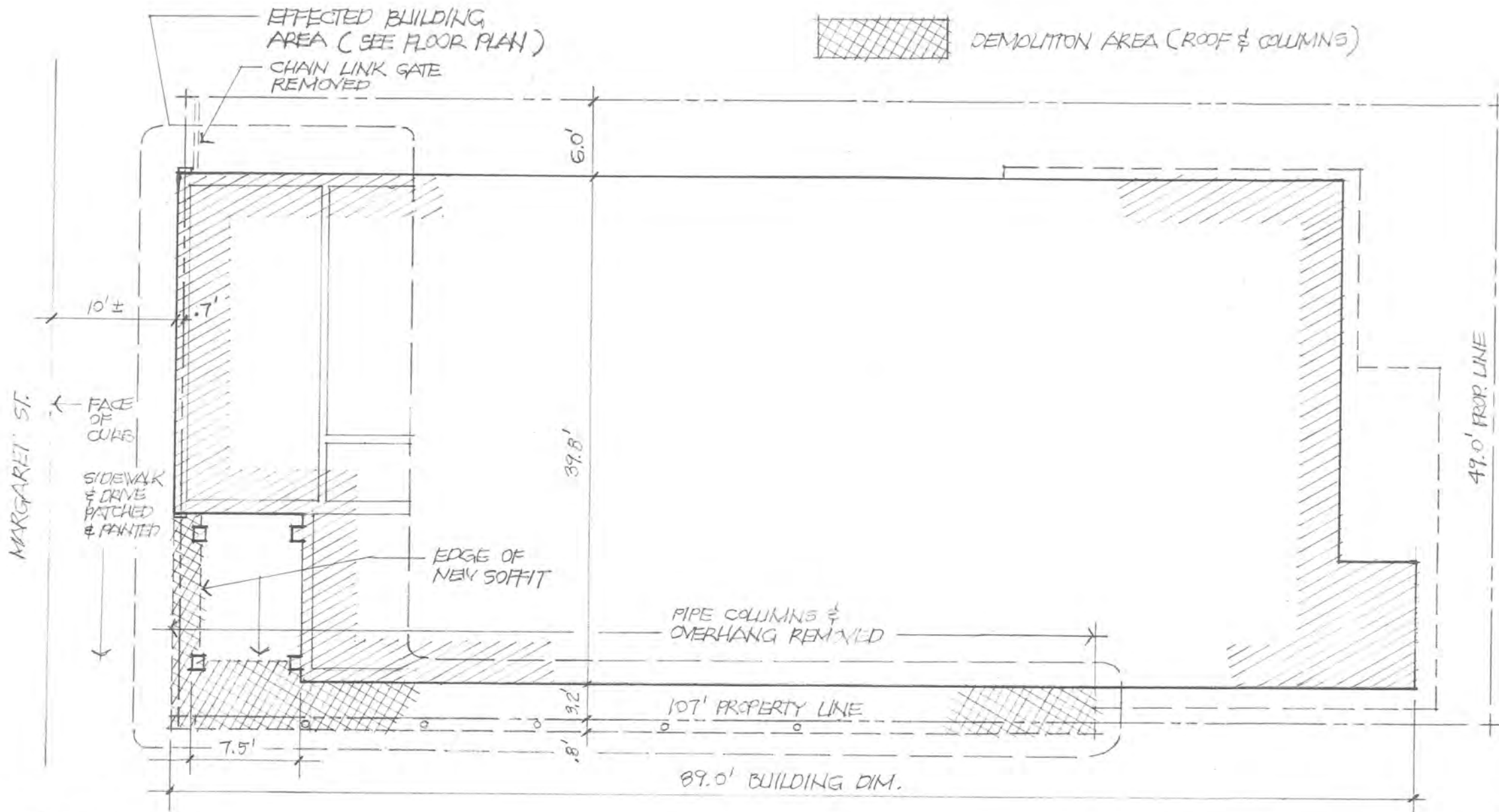
The only commercial building on a residential block between Virginia St. and Catherine St. has long seemed out of place in an otherwise small-scale residential area. The building was once a Cuban bakery, but its design which dates from 1948 has been completely altered over time and its stucco façade is now over-scaled for a block of mostly Conch cottages. As the new owner of the building and with a residence diagonally across the street, it is my goal to have the building fit better into its surroundings.

The proposed design is broken up into two parts, one of which is typical of commercial façades found elsewhere in Key West. The other part is a new front on the existing portico that shelters a relocated entrance and the garage door.

While the height of the main façade is unchanged (approx. 15 feet) , its awkward steps have been eliminated and its scale is reduced by tall white trimmed windows with dark awning shutters, pale gray Hardy board siding and landscaping in pots. The scaled-down portico is much smaller and reads more like a residential porch. Its height will match the eve line of the adjacent home to the South. The columns, fascias and louvered panels of the portico will be painted white and details will be stylized references to traditional elements. The garage door and the remaining stucco side walls and trim will be painted dark gray to further reduce the apparent mass of the building.

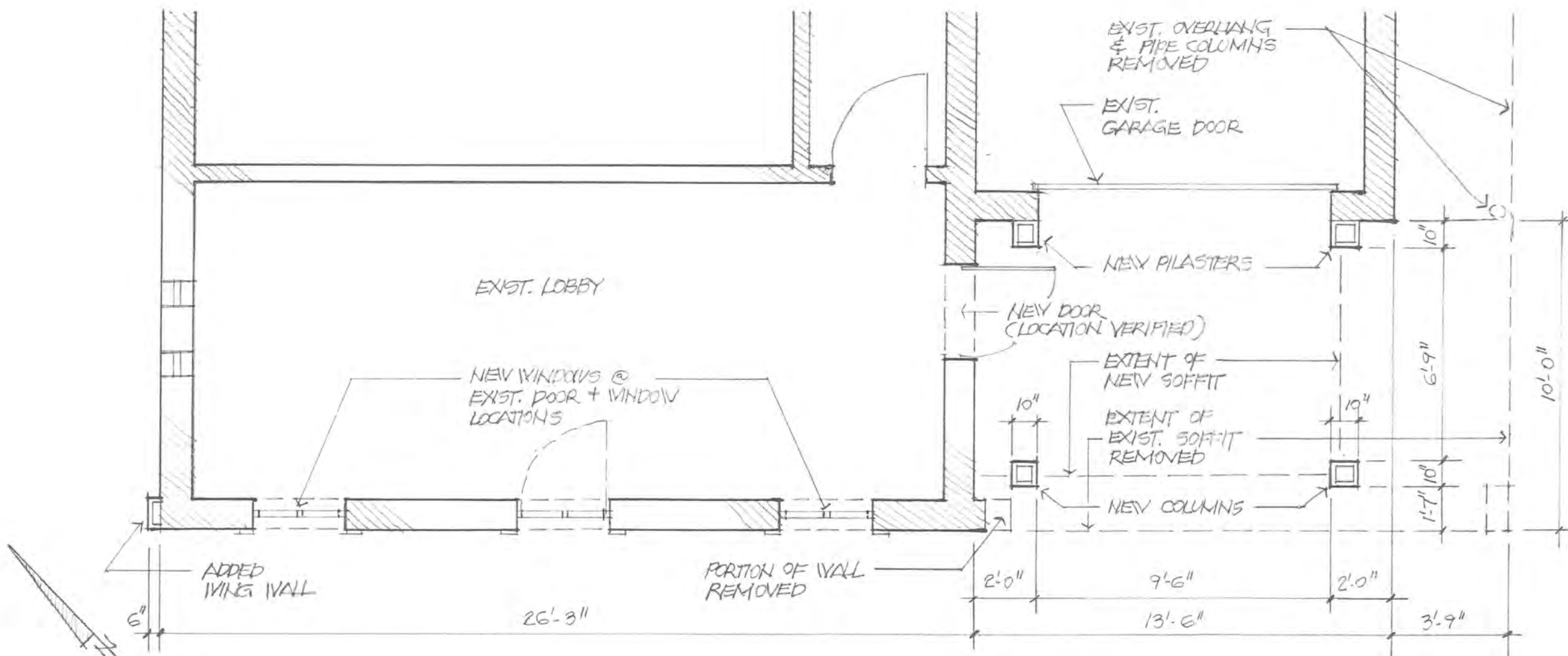
The overhang and metal posts on the South side of the building, which overlap the property line, will be cut back to the solid wall face, opening up the narrow space that separates the building from its neighbor. Storm shutters will be added to non-storm doors and windows on secondary elevations.

While the building is large (3,600 square feet) and its use will remain commercial, the new design is meant to be much more visually compatible and in scale with the surrounding clapboard-sided residential cottages.



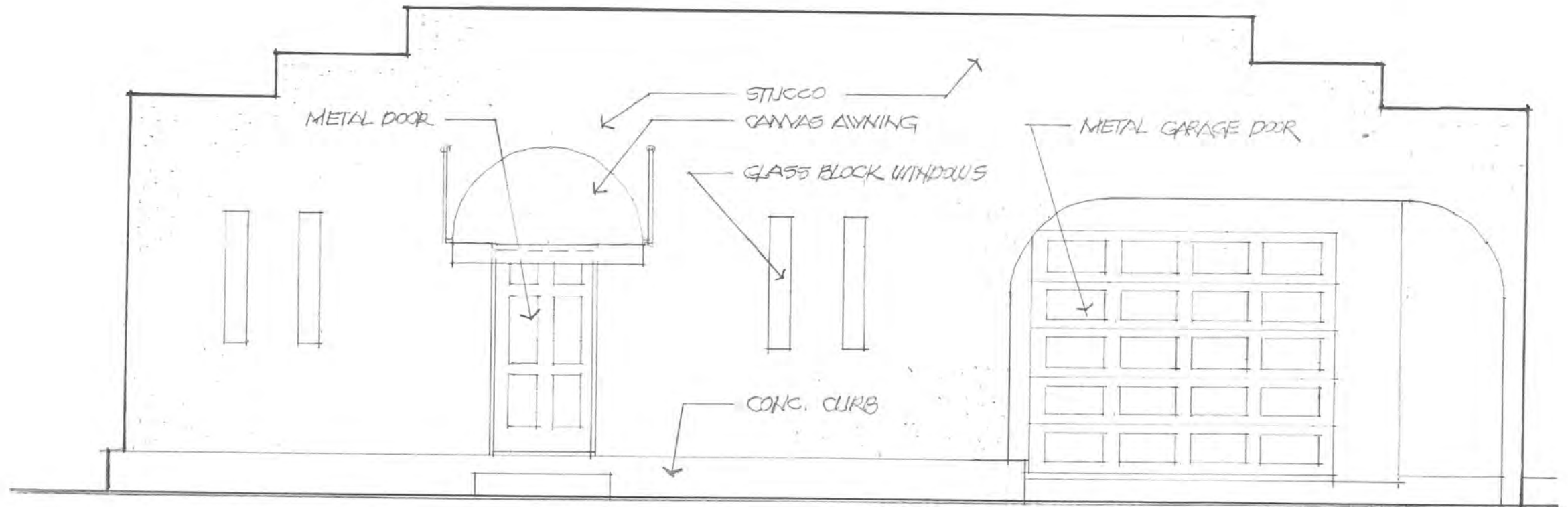
Site Plan

Scale: 1"=10'-0"



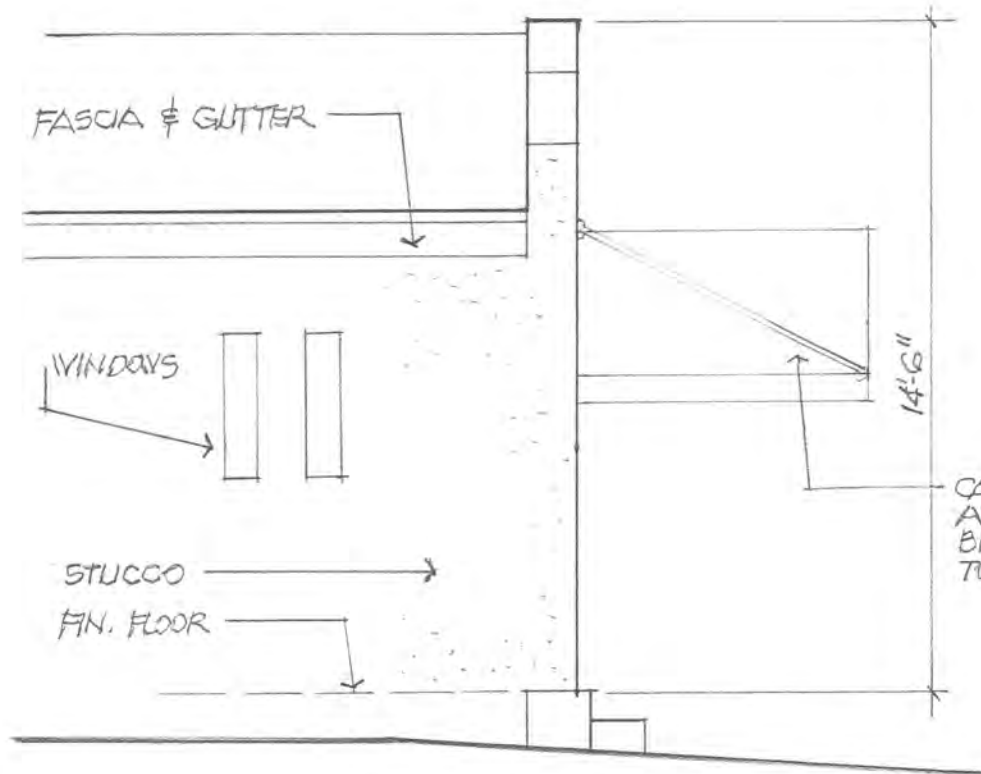
Partial Floor Plan

Scale: 1/4"=1'-0"



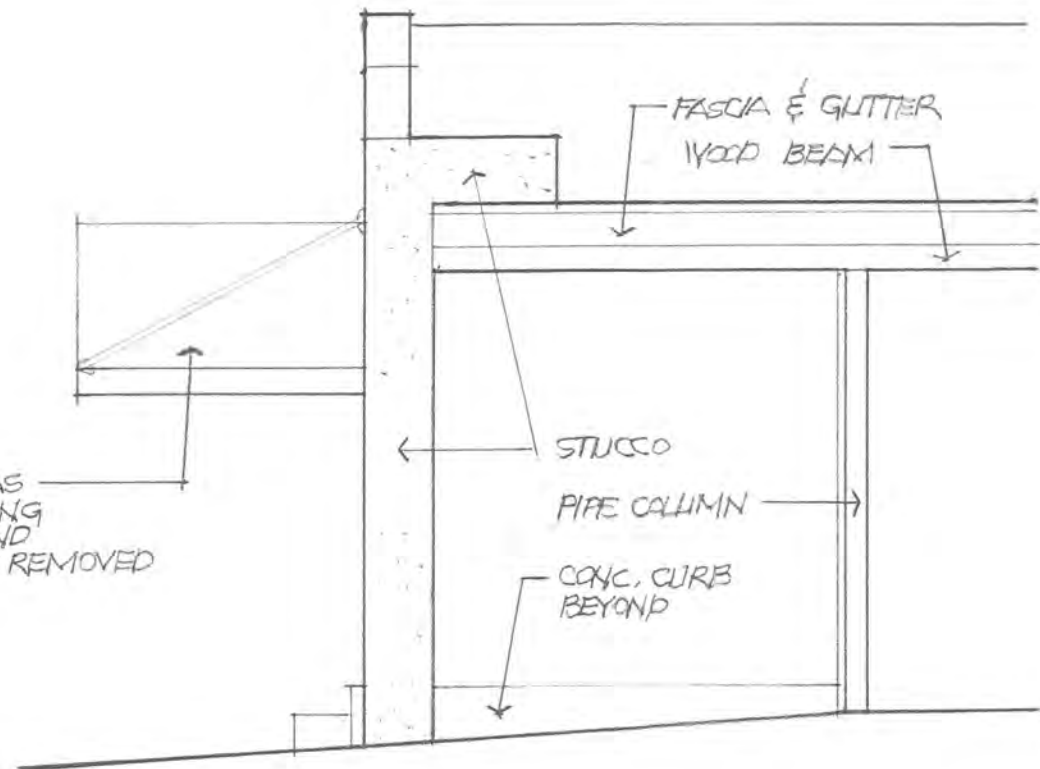
Front Elevation (existing)

Scale: 1/4"=1'-0"



Partial North Elevation (existing)

Scale: 1/4"=1'-0"



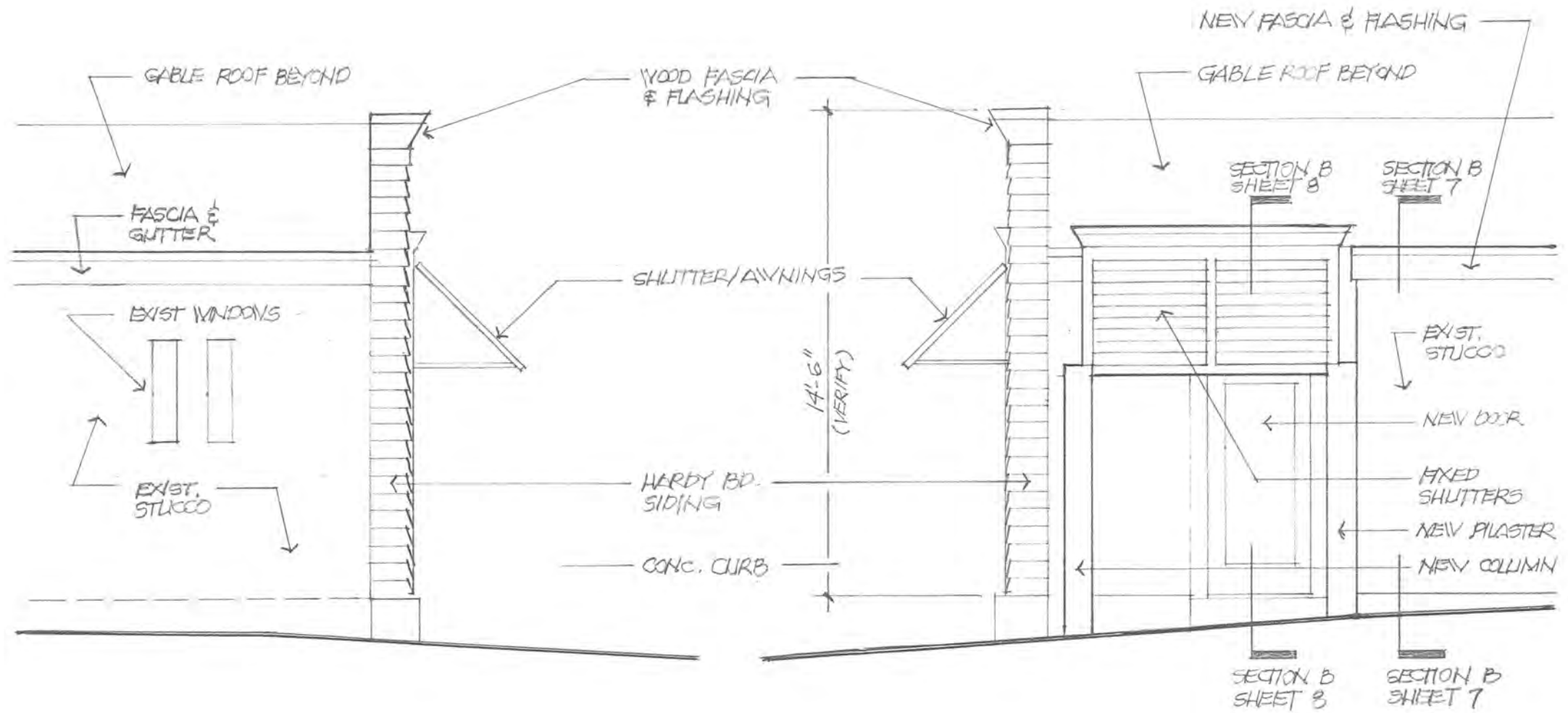
Partial South Elevation (existing)

Scale: 1/4"=1'-0"



Front Elevation (proposed)

Scale: 1/4"=1'-0"

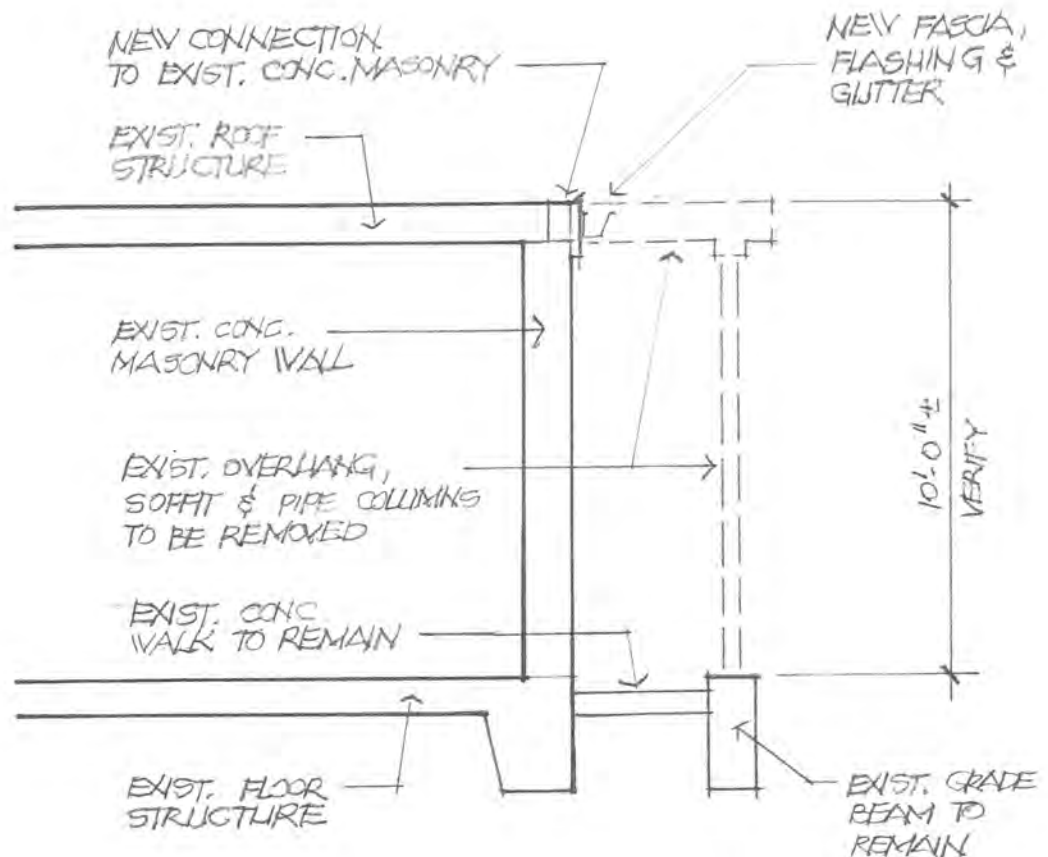
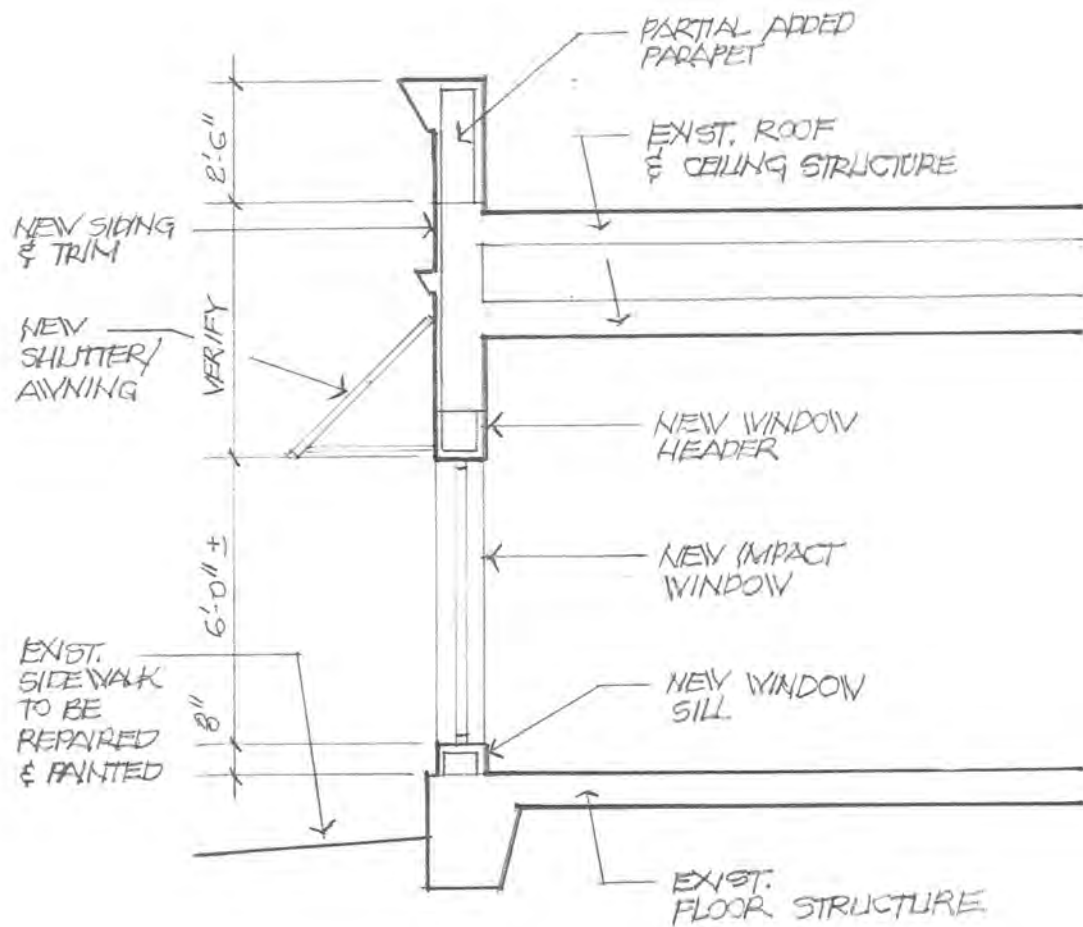


Partial North Elevation (proposed)

Scale: 1/4"=1'-0"

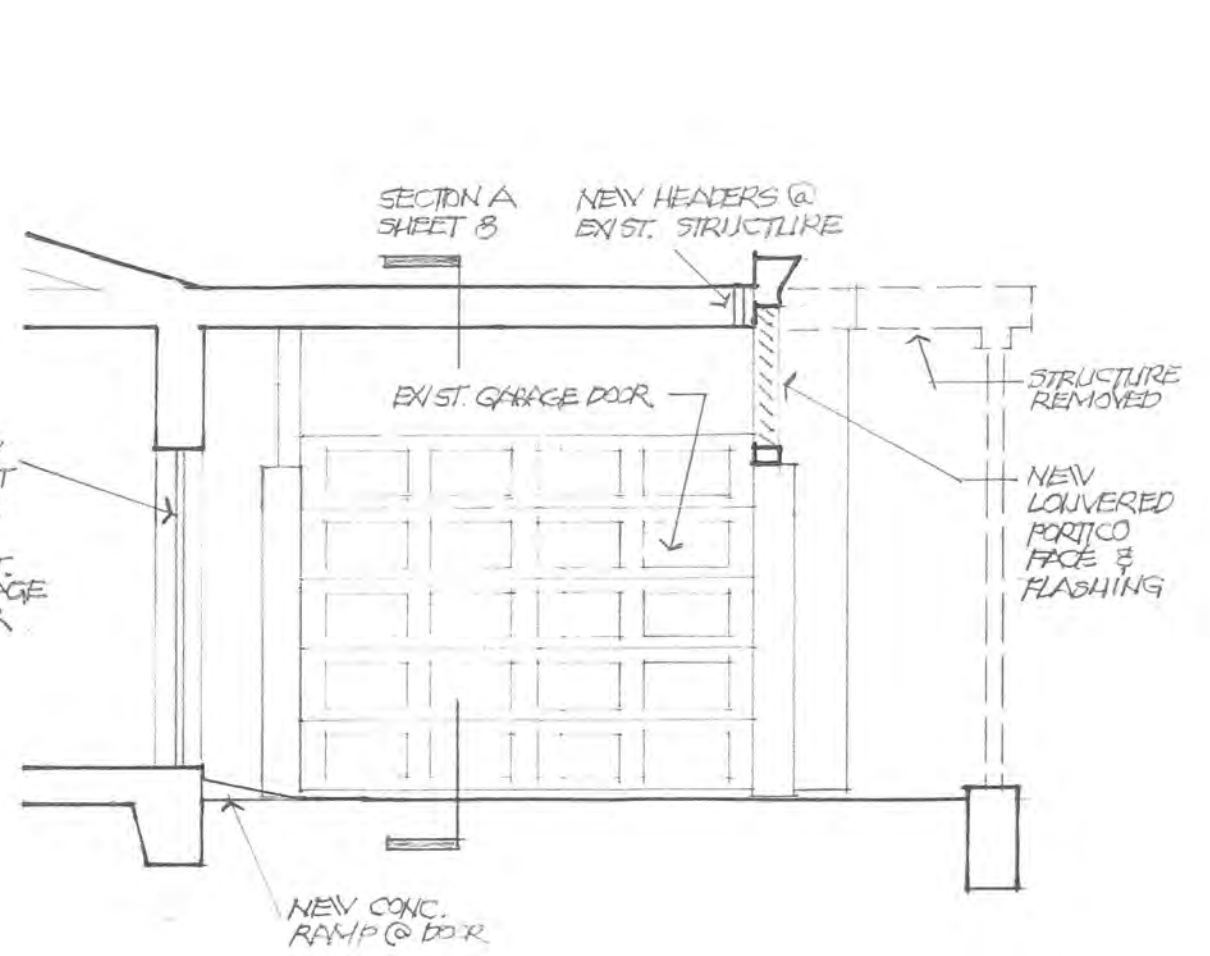
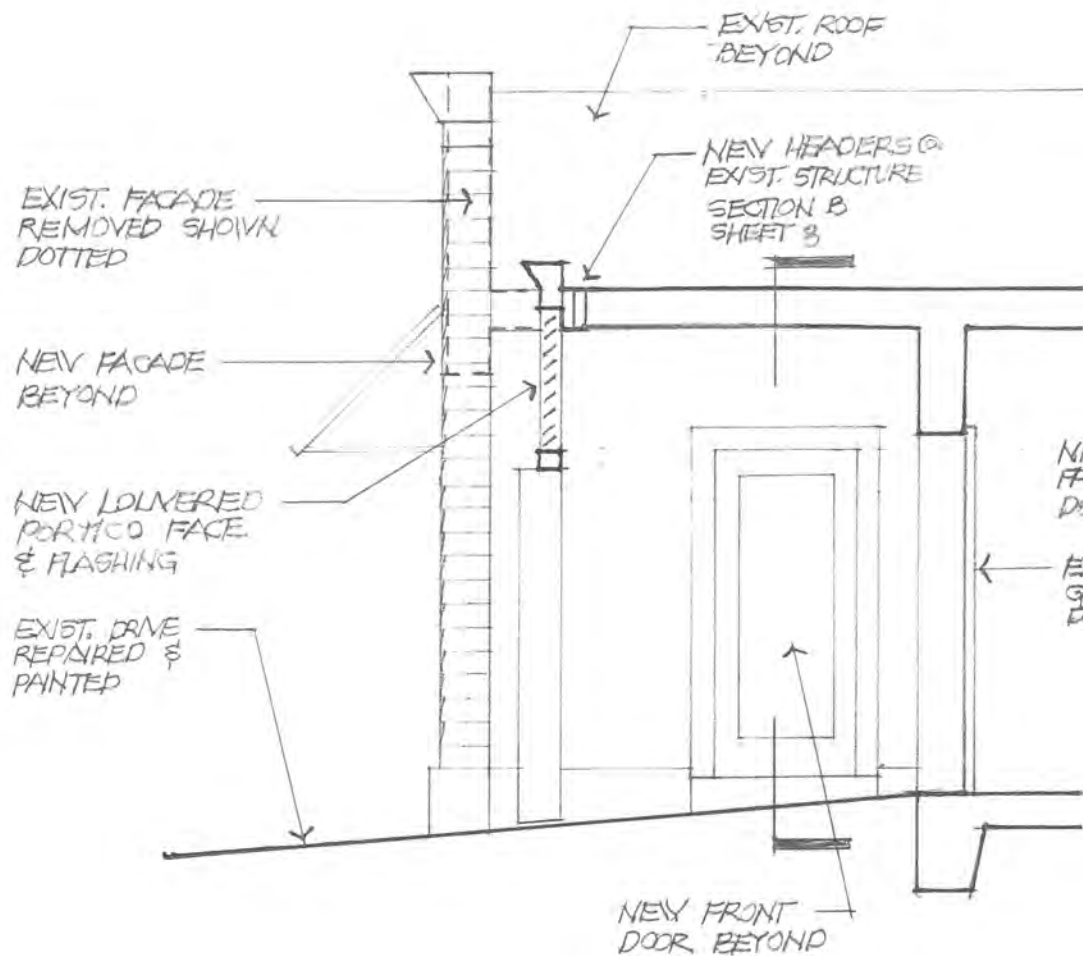
Partial South Elevation (proposed)

Scale: 1/4"=1'-0"



Section A at Façade (Looking North) Scale: 1/4"=1'-0"

Section B at South Wall (Looking East) Scale: 1/4"=1'-0"

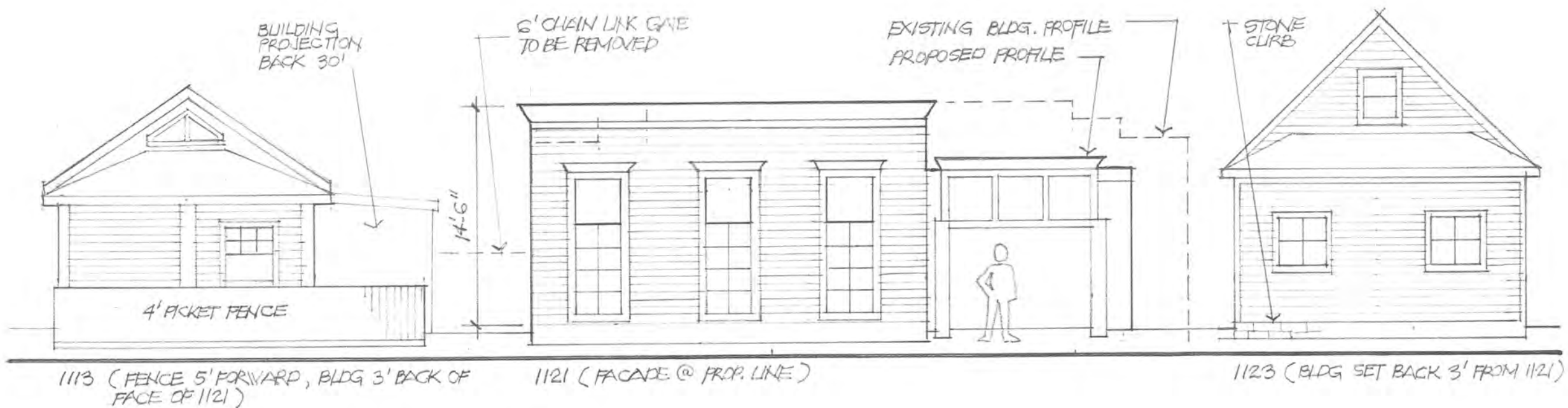


Section A at Portico (Looking North)

Scale: 1/4"=1'-0"

Section B at Portico (Looking East)

Scale: 1/4"=1'-0"



Elevation of Building and Adjacent Structures

Scale: 1/8"=1'-0"

RICHARD LOGAN
1114 MARGARET ST
KEY WEST, FL 33040
202-686-4597
404-808-4634

KEY WEST
2811 N ROOSEVELT BLVD
KEY WEST, FL 33040

6313
192259
NORMAN

100-1



Ver. 80

Premium Atlantic Aluminum Direct Set Direct Set none 3 \$634.41 \$1,903.23

35 x 71

Plant Location = Venice (MY)

Plant Contact = 1-800-869-6699

Product Material = Aluminum

Assembly = Complete Unit

Impact Unit = Yes

Florida Building Code Compliant = Yes

Certification = NAMI

Ratings = DP+80/-80

Design Pressure Performance Rating = DP-80

DP Rating Negative = 80

High Velocity Hurricane Zone (HVHZ) = Yes

Frame Type = 1/2" Flange

Exterior Color = Bronze

Interior Color = Bronze

Frame Width = 35

Frame Height = 71

Tip to Tip Width = 36

Tip to Tip Height = 72

Operation / Venting (Outside Looking In) = Direct Set

Energy Efficiency = Other Glass Options

Glazing = Single Glaze

Low-E = No Low-E

Glass Color/Texture = Clear

Glass Type = IMPH

Impact Interlayer Type = SGP

IG Options = None

Glass Thickness = Select Glass Thickness

Select Glass Thickness = 7/16 in

Double Applied Flat/Flat Bar

Colonial

Grid to Match = No

2W4H

Prep for Mull? = None

JELD-WEN Additional Information = Check Info

link

Room Location = none

Is This a Remake = No

Specific Information =

SKU = 191397

Vendor Name = S/O JELD-WEN WINDOWS-VEN

Vendor Number = 60076475

Catalog Version Date = 12/02/2015

FBC# = 10971.3

TDI# =





More doing:

Key West #6313

JELD-WEN Model # THDJW166500726 Internet # 202036135 Store SKU # 939355

36 in. x 80 in. Full Lite Impact Rated Primed Premium Steel Prehung Front Door

[Write the First Review](#) [Ask the first question](#)



Open Expanded View

Lock (sold separately)

\$609.00 /each

IN STOCK AT YOUR SELECTED STORE

Key West #6313

JELD-WEN FL 22045

[In Stock](#)

[Text Product Location](#)

[Text Product Location](#)

PRODUCT OVERVIEW Model # THDJW166500726 Internet # 202036135 Store SKU # 939355

JELD-WEN Premium Steel doors offer that relied-upon strength, durability and ease of maintenance that complement your home's style. Their high definition panels create an upscale look that adds architectural interest for increased curb appeal. Our strong and secure steel doors are built to prevent water absorption and resist rust to enhance your home for many years.

- Strong and 24-gauge secure steel with high definition panels for a high-end look
- Energy efficient core to help lower heating and cooling cost
- Polystyrene core provides long-lasting insulation
- Impact resistant to protect your home from dangerous wind-borne debris and harsh coastal conditions
- Galvanized steel resists rust and corrosion
- Insulated glass helps keep your home warmer in the winter and cooler in the summer
- 2-Coats of neutral, low-sheen, baked-on enamel primer enables easier finishing
- Primed doors give you the design flexibility to choose any finish color
- Door is prehung in frame for easier installation
- Predrilled double bore hole for lock installation (lock sold separately)
- From the outside, door opens towards outside the home with hinges on the right
- Easy to care for and designed to prevent water absorption and resist rust
- Reinforced lock area provides strength and security for door hardware
- Check local building codes before beginning your project to ensure compliancy
- Not all products are suitable for locations that experience severe weather

SPECIFICATIONS

DIMENSIONS

<http://www.homedepot.com/p/JELD-WEN-36-in-x-80-in-Full-Lite-Impact-Rated-Primed...> 12/30/2015

Door Size (WxH) in.	36 x 80	Rough Opening Height	82.5 in
Door Thickness (in.)	1.75 in	Rough Opening Width	38.5 in
Jamb Size (in.)	4-9/16"		

DETAILS

Color Family	White	Glass Style	Clear
Color/Finish	Primed White	Glass Type	Full Lite
Door Configuration	Single Door	Hinge Finish	Nickel
Door Handing	Left Hand/Outswing	Included	No additional items or accessories included
Door Style	Classic	Material	Steel
Door Type	Exterior Prehung	Number of Hinges	3
Features	Weatherstripping	Panel Type	No panel
Finish Type	Primed	Product Weight (lb.)	100 lb
Glass Caming Finish	No caming	Returnable	90-Day

WARRANTY / CERTIFICATIONS

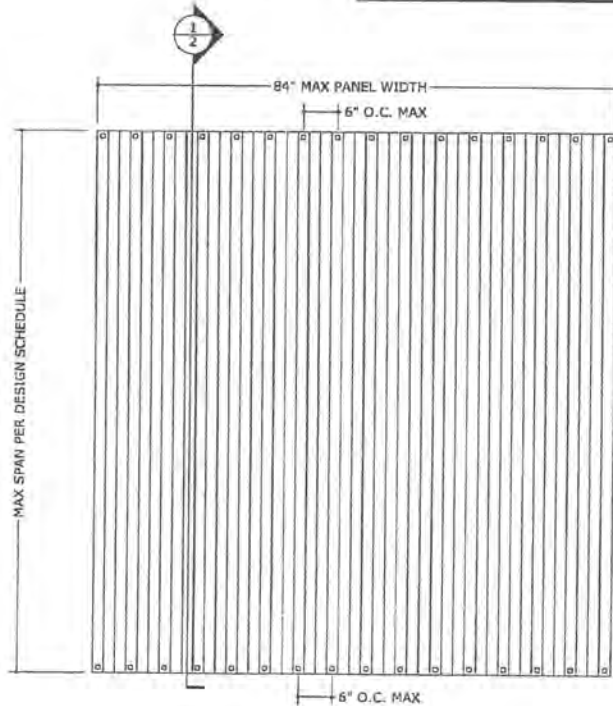
Energy Star Qualified	Not Qualified	Manufacturer Warranty	10-Year Limited Warranty
Fire rating	None		

MORE PRODUCTS WITH THESE FEATURES

Door Configuration: **Single Door** Door Size (WxH) in.: **36 x 80** Door Handing: **Left Hand/Outswing**

Panel Type: **No panel** Finish Type: **Primed** Color Family: **White** Jamb Size (in.): **4-9/16"**

16MM MULTIWALL POLYCARBONATE STORM PANELS



MAX SPAN SCHEDULE

DESIGN PRESSURE	ALLOWABLE SPAN
30 psf	119.3 in
35 psf	113.4 in
40 psf	108.4 in
45 psf	104.2 in
50 psf	100.7 in
55 psf	97.5 in
60 psf	94.7 in
65 psf	92.2 in
69.3 psf	90.3 in

SPAN SCHEDULE NOTES:

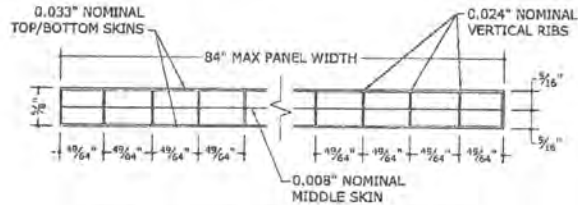
1. SPANS SHOWN IN "MAX SPAN SCHEDULE" ABOVE ARE MAXIMUM ALLOWABLE SPANS AT EACH RESPECTIVE DESIGN PRESSURE. THIS SCHEDULE MAY BE USED FOR ALL PANELS MOUNTED WITH ANY COMBINATION OF EXTRUSIONS OR DIRECTLY TO HOST STRUCTURE.
2. TABLE ABOVE IS VALID FOR PANELS MOUNTED HORIZONTALLY OR VERTICALLY.
3. ONLY SINGLE PANELS APPROVED PER OPENING. PANELS MAY NOT BE OVERLAPPED OR INSTALLED ADJACENT TO EACH OTHER.
3. MINIMUM PANEL SIZE: 12"x12"

GENERAL NOTES:

- 1) THIS SYSTEM HAS BEEN TESTED AND EVALUATED AS A LARGE MISSILE IMPACT PROTECTIVE SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2004 AND 2007 EDITIONS OF THE FLORIDA BUILDING CODE FOR USE OUTSIDE THE HIGH VELOCITY HURRICANE ZONE, PER ASTM STANDARDS E330, E1886, & E1996.
- 2) NO 33-1/3% INCREASE IN ALLOWABLE STRESS HAS BEEN USED IN THE DESIGN OF THIS PRODUCT. WIND LOAD DURATION FACTOR Cd=1.6 HAS BEEN USED FOR WOOD ANCHOR DESIGN.
- 3) ALL POLYCARBONATE PANELS SHALL BE MANUFACTURED BY SABIC INNOVATIVE PLASTICS
- 4) STORM PANELS SHALL BE MADE FROM 100% LEXAN® LTH3T16 POLYCARBONATE SHEET.
- 5) PANELS SHALL BE PERMANENTLY LABELED WITH A MINIMUM OF ONE LABEL PER PANEL CONTAINING THE FOLLOWING:
SABIC INNOVATIVE PLASTICS
PITTSFIELD, MA
- 6) POSITIVE AND NEGATIVE DESIGN PRESSURES TO BE USED WITH THESE DRAWINGS SHALL BE DETERMINED BY OTHERS FOR SPECIFIC JOBS IN ACCORDANCE WITH THE GOVERNING CODE.
- 7) THE SYSTEM DETAILED HEREIN IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SPECIFIC SITE. IF SITE CONDITIONS DEVIATE FROM THE CONDITIONS DETAILED HEREIN, A LICENSED ENGINEER OR REGISTERED ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS TO BE USED IN CONJUNCTION WITH THIS DOCUMENT.
- 8) PERMIT HOLDER SHALL VERIFY THE ADEQUACY OF THE EXISTING STRUCTURE TO WITHSTAND NEW SUPERIMPOSED LOADS.
- 9) ALL EXTRUSIONS SHALL BE 6063-T6 ALUMINUM ALLOY, UNLESS NOTED OTHERWISE.
- 10) TOP & BOTTOM MOUNTING SECTION DETAILS SHOWN MAY BE INTERCHANGED AS FIELD CONDITIONS DICTATE. PANELS MAY BE MOUNTED VERTICALLY OR HORIZONTALLY AS APPLICABLE, EXCEPT WHEN INSTALLED WITH HOOK EXTRUSION.
- 11) ALL BOLTS & WASHERS SHALL BE ZINC COATED STEEL, GALVANIZED STEEL, OR STAINLESS STEEL WITH A MINIMUM TENSILE YIELD STRENGTH OF 60 KSI.

*NOTE: TRADEMARK OF SABIC INNOVATIVE PLASTICS IP BY

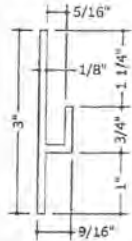
1 TYPICAL ELEVATION
N.T.S.



1 STORM PANEL PROFILE
N.T.S. SECTION

NOTE: NOMINAL DIMENSIONS SHOWN

2 HOOK EXTRUSION
N.T.S. SECTION



FRANK L. DENNARDO, P.E.
PE0046349

04/16/2008

ENGINEERING EXPRESS
160 SW 12th AVENUE, # 106-AT
DEERFIELD BEACH, FL 33442
PH: (954) 354-0660 FAX: (954) 354-0463
WWW.ENGINEERINGEXPRESS.COM
CERT. OF AUTH. AREA 0170
A. FRANK L. DENNARDO, P.E., INC. TIMBERLYN

SABIC INNOVATIVE PLASTICS
ONE PLASTICS AVENUE
PITTSFIELD, MA 01201
PHONE: (413) 448-7110
16MM MULTIWALL
POLYCARBONATE STORM PANEL
FLORIDA STATEWIDE APPROVAL

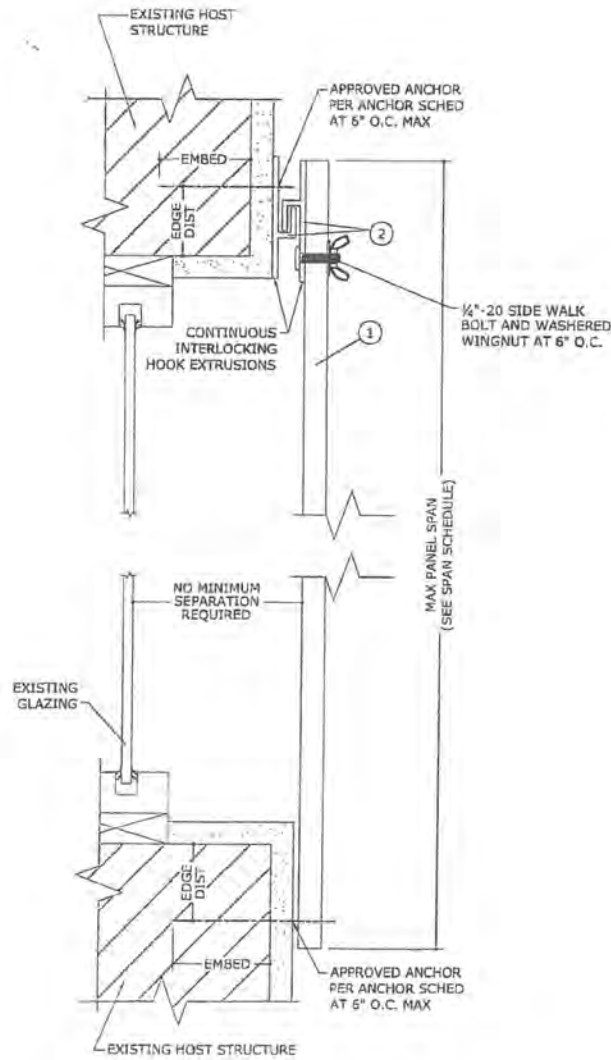
REMARKS	DATE	DATE
INIT ISSUE		

COMPIRENT ENGINEERING EXPRESS
07-SIP-0001
SCALE: 01
PAGE DESCRIPTION:

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


04/16/2008 - 1:20pm - cbank

F:\10 - Project Files\Sabic Innovative Plastics (SIP)\2007\SIP-0001 - 16mm Multiwall Polycarbonate Storm Panel (PSA)\02 - 16mm Multiwall Polycarbonate Storm Panel (PSA) (Rev. 04/16/2008) - 1.dwg



1 DIRECT MOUNT
2 4" = 1'-0" SECTION

ANCHOR SCHEDULE:

<p>1/4" TAPCON (ELCO OR ITW)</p> 	<p>TO CONCRETE (3192psi MIN), HOLLOW BLOCK, OR WOOD (G=0.55 MIN) W/ 1-3/4" MIN EMBED</p>
<p>1/4" ELCO PANELMATE (MALE/FEMALE)</p> 	<p>TO CONCRETE OR HOLLOW BLOCK W/ 1-3/4" MIN EMBED</p>
<p>1/4-20 POWERS CALK-IN</p> 	<p>TO CONCRETE OR HOLLOW BLOCK W/ 7/8" MIN EMBED</p>
<p>1/4-20 ALL POINTS WOOD BRASS BUSHING</p> 	<p>TO WOOD (G=0.55 MIN) W/ 1-1/8" EMBED</p>

ANCHOR NOTES:

- 1) 1/4" TAPCONS MAY BE BY ITW OR BY ELCO. "ELCO PANELMATE" ANCHORS MAY BE PANELMATE MALE OR FEMALE, AS ILLUSTRATED.
- 2) ENSURE MINIMUM 2-1/2" EDGE DISTANCE FOR ALL ANCHORS TO CONCRETE & TO HOLLOW BLOCK. EDGE DISTANCE OF 3/4" IS ACCEPTABLE FOR ANCHORS TO WOOD.
- 3) MINIMUM EMBEDMENT SHALL BE AS NOTED IN ANCHOR SCHEDULE. MINIMUM EMBEDMENT AND EDGE DISTANCES EXCLUDE STUCCO, FOAM, BRICK, AND OTHER WALL FINISHES.
- 4) ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
- 5) WHERE EXISTING STRUCTURE IS WOOD FRAMING, EXISTING CONDITIONS MAY VARY. FIELD VERIFY THAT FASTENERS ARE INTO ADEQUATE WOOD FRAMING MEMBERS, NOT INTO PLYWOOD.
- 6) WHERE ANCHORS FASTEN TO NARROW FACE OF STUD FRAMING, ANCHOR SHALL BE LOCATED IN CENTER OF NOMINAL 2x4 (MIN) WOOD STUD (i.e. 3/4" EDGE DISTANCE IS ACCEPTABLE FOR ANCHORS TO WOOD FRAMING). WOOD STUD SHALL BE "SOUTHERN PINE" G=0.55 OR GREATER DENSITY.
- 7) ANCHOR SCHEDULE APPLIES FOR ALL PRODUCTS CERTIFIED HEREIN, HOWEVER IT ONLY PROVIDES MAXIMUM ALLOWABLE ANCHOR SPACING. MAXIMUM AND MINIMUM ALLOWABLE SPANS AND RESPECTIVE PRESSURES INDICATED IN SPAN SCHEDULE(S) SHALL APPLY.
- 8) MACHINE SCREWS SHALL HAVE MINIMUM OF 1/2" ENGAGEMENT OF THREADS IN BASE ANCHOR AND MAY HAVE EITHER A PAN HEAD, TRUSS HEAD, OR WAFER HEAD ("SIDEWALK BOLT") U.N.O.

FRANK L. BENNARDO, P.E.
#PECC08549

04/16/2008

ENGINEERING EXPRESS
160 S.W. 12th AVENUE, #105
DEERFIELD BEACH, FL 33442
TEL: (561) 354-0860 FAX: (561) 351-0443
WWW.ENGINEXP.COM
CERT OF AUTHORITY
FRANK L. BENNARDO, P.E. INC. (INNOVATION)

SABIC INNOVATIVE PLASTICS
ONE PLASTICS AVENUE
PITTSFIELD, MA 01201
PHONE: (413) 448-7110
16MM MULTIWALL
POLYCARBONATE STORM PANEL
FLORIDA STATEWIDE APPROVAL

REMARKS	DATE	BY	CHKD	DATE
REV ISSUE				

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07-SIP-0001
SCALE: 01
PAGE DESCRIPTION:

2

Product Evaluation Report

April 16, 2008

Application Number: _____

FLB Project Number: 07-SIP-0001

Product Manufacturer: SABIC Innovative Plastics

Manufacturer Address: One Plastics Avenue
Pittsfield, MA 01201

Product Name & Description: 16mm Multiwall Polycarbonate Storm Panel

STORM
12" WIDE
ALUM
\$.51 / IN
POLY
.95 / IN

Scope of Evaluation:

This Product Evaluation Report is being issued in accordance with the requirements of the Florida Department of Community Affairs (Florida Building Commission) Rule Chapter 9B-72.070, F.A.C., for statewide acceptance per Method 1(d). All products listed above have been tested and/or evaluated as summarized herein to show compliance with the 2004 and 2007 editions of the Florida Building Code and are, for the purpose intended, at least equivalent to that required by the Code. Re-evaluation of this product shall be required following pertinent Florida Building Code modifications or revisions.

Substantiating Data:

• PRODUCT EVALUATION DOCUMENTS

FLB drawing #07-SIP-0001 titled "16mm Multiwall Polycarbonate Storm Panel", sheets 1-2, prepared by Engineering Express, signed & sealed by Frank L. Bennardo, P.E. is an integral part of this Evaluation Report.

• TEST REPORTS

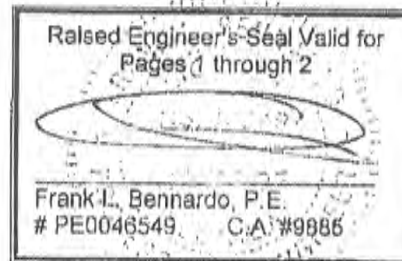
Uniform static structural performance has been tested in accordance with ASTM E330-05 test standards per test report(s) #07-030 by Construction Testing Corporation (CTC).

Large missile impact resistance and cyclic loading performance have been tested in accordance with ASTM E1886-02 & E1996-02 test standards per test report(s) #07-030 by Construction Testing Corporation (CTC).

• STRUCTURAL ENGINEERING CALCULATIONS

Structural engineering calculations have been prepared which evaluate the product based on comparative and/or rational analysis to qualify the following design criteria:

1. Maximum Allowable Spans
2. Minimum Allowable Spans
3. System Porosity
4. Anchor Spacing
5. Maximum Allowable Size/Pressure Combinations
6. Anchor Capacity

160 SW 12TH AVENUE #106 DEERFIELD BEACH, FL 33442

PHONE: 954-354-0660 FAX: 954-354-0443

WWW.ENGEXP.COM

Impact Resistance:

Large Impact Resistance has been demonstrated as evidenced in previously listed test reports, and is accounted for in the engineering design of this product.

Wind Load Resistance

Each product has been designed to resist wind loads as indicated in the span schedule(s) on its respective Product Evaluation Document (i.e. engineering drawing).

Installation

Each product listed above shall be installed in strict compliance with its respective Product Evaluation Document (i.e. engineering drawing), along with all components noted therein.

Each product component shall be of the material specified in that product's respective Product Evaluation Document (i.e. engineering drawing).

Limitations & Conditions of Use:

Use of each product shall be in strict accordance with its respective Product Evaluation Document (i.e. engineering drawing) as noted herein.

All supporting host structures shall be designed to resist all superimposed loads and shall be of a material listed in each product's respective anchor schedule. Host structure conditions which are not accounted for in each product's respective anchor schedule shall be designed for on a site-specific basis by a registered professional engineer.

All components which are permanently installed shall be protected against corrosion, contamination, and other such damage at all times.

Each product has NOT been designed for use within the High Velocity Hurricane Zone (HVHZ).

160 SW 12TH AVENUE #106 DEERFIELD BEACH, FL 33442
PHONE: 954-354-0660 FAX: 954-354-0443
WWW.ENGEXP.COM

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., November 16, 2016 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

RECONFIGURATION OF MAIN FAÇADE INCLUDING FENESTRATIONS, GARAGE AND SIDING. PARTIAL DEMOLITION OF GARAGE SIDE AND REAR OF THE CBS BUILDING.
FOR- #1121 MARGARET STREET

Applicant – Richard Logan

Application #H16-01-0004

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared RICHARD A. LOGAN, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address: 1121 MARGARET ST, KEY WEST, FL. 33040 on the 7TH day of NOVEMBER, 2016.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on NOV. 16, 2016.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is 16-01-0004.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

Richard A. Logan
Date: NOV. 10, 2016
Address: 1114 MARGARET ST.
City: KEY WEST
State, Zip: FL. 33040

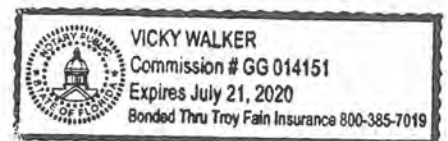
The foregoing instrument was acknowledged before me on this 10th day of September, 2016.

By (Print name of Affiant) Richard Logan who is personally known to me or has produced Drivers License as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: Vicky Walker
Print Name: Vicky Walker

Notary Public - State of Florida (seal)
My Commission Expires: 2020



1121



ENTRANCE

Public Meeting Notice

PROTECTED BY
NASA



PROPERTY APPRAISER INFORMATION



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

[Home](#) [Departments](#) [Exemptions](#) [Save Our Homes](#) [Portability](#) [Homestead Fraud](#) [Contact Us](#)

[Property Search](#) [Tax Estimator](#) [GIS/Maps](#) [Millages/Taxroll Info](#) [Appeals/VAB](#) [Forms](#) [Office Requirements](#)

Website tested on IE8, IE9, & Firefox.
Requires Adobe Flash 10.3 or higher

The Offices of the Property Appraiser will be closed Friday November 11th in observance of Veterans Day.

Property Record Card -

Maps are now launching the new map application version.

[Return to Search Results](#) | [Modify Search](#) | [New Search](#) | [Send Email to MCPA Regarding this Parcel](#) | [Estimate Taxes on this Parcel](#)

[Previous Record](#) **Alternate Key: 1030741 Parcel ID: 00029990-000000** [Next Record](#)

Ownership Details

Mailing Address:

LOGAN ENTERPRISES LLC
1114 MARGARET ST
KEY WEST, FL 33040-3212

Property Details

PC Code: 48 - WAREHOUSING (PC/LIST)

Millage Group: 10KW

Affordable Housing: No

Section-Township-Range: 05-68-25

Property Location: 1121 MARGARET ST KEY WEST

Legal Description: KW INVESTMENT CO SUB PB 1-49 LOT 3 SQR 6 TR 12 OR563-333 OR1064-2072/73 OR1064-2074 OR1127-788/789C/T OR1164-664/66 OR2774-1343/44

Click Map Image to open interactive viewer

Monroe County Links

- » [Monroe County Home Page](#)
- » [BOCC](#)
- » [Growth Management](#)
- » [Building Dept.](#)
- » [Code Compliance](#)
- » [FEMA Flood Insurance Info](#)

Monroe County Constitutional Officers

- » [Clerk of the Courts](#)
- » [Sheriff's Office](#)
- » [Elections Supervisor](#)
- » [Tax Collector](#)

Monroe County Cities

- » [City of Key West](#)
- » [City of Marathon](#)
- » [City of Key Colony Beach](#)
- » [City of Layton](#)
- » [Islamorada, Village of Islands](#)

First Time Home Buyer (IRS)

- » [Cancellation of Debt Flyer \(English\)](#)
- » [Cancellation of Debt Flyer \(Spanish\)](#)
- » [1st Time Homebuyers Fact Sheet](#)
- » [1st Time Homebuyers Basic Information](#)
- » [1st Time Homebuyers Scenarios](#)
- » [1st Time Homebuyers Q&A's](#)

IRS Links

- » [Make Work Pay Credit](#)
- » [Energy Conservation Credit](#)

Other Links

Building 1 Details

Building Type
Effective Age 18
Year Built 1948
Functional Obs 0

Condition A
Perimeter 276
Special Arch 0
Economic Obs 0

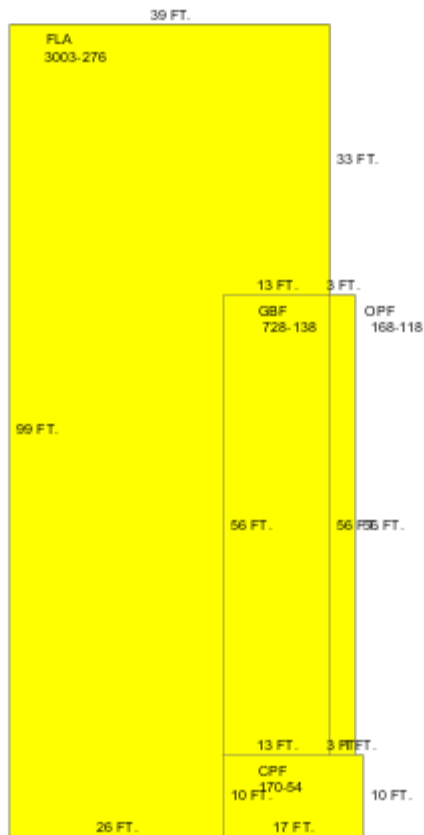
Inclusions:

Roof Type
 Heat 1
 Heat Src 1

Roof Cover
 Heat 2
 Heat Src 2

Extra Features:

2 Fix Bath 0
 3 Fix Bath 0
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 4



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %
1	FLA		1	1993			
2	GBF		1	1993			

3	CPF	1	1993
4	OPF	1	1993

Interior Finish:

Section Nbr	Interior Finish Nbr	Type
	4099	1 STY STORE-B
	4100	WAREHOUSE/MARINA B
	4101	GBF
	4102	CPF
	4103	OPF

Exterior Wall:

Interior Finish Nbr	Type
1095	C.B.S.

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	FN2:FENCES	48 SF	0	0	1992	1993	2	30
2	AC2:WALL AIR COND	1 UT	0	0	1989	1990	2	20

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
04-1085	04/08/2004	10/13/2004	1,000		NEW AWNINGS

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2016	284,224	337	330,200	614,761	614,761	0	614,761
2015	284,224	294	330,200	614,718	614,718	0	614,718
2014	298,989	267	318,614	617,870	617,870	0	617,870
2013	298,989	267	318,614	617,870	617,870	0	617,870
2012	313,754	267	318,614	632,635	632,635	0	632,635
2011	313,754	267	550,334	864,355	864,355	0	864,355
2010	313,754	272	557,606	871,632	820,823	0	871,632
2009	321,136	279	547,782	869,197	746,203	0	869,197
2008	321,136	284	655,375	678,367	678,367	0	678,367

2007	218,792	289	655,375	678,367	678,367	0	678,367
2006	223,765	296	419,440	643,501	643,501	0	643,501
2005	228,737	301	304,094	533,132	533,132	0	533,132
2004	202,681	306	314,580	517,567	517,567	0	517,567
2003	202,681	313	115,346	318,340	318,340	0	318,340
2002	202,681	318	115,346	318,345	318,345	0	318,345
2001	202,681	348	115,346	318,375	318,375	0	318,375
2000	202,681	298	94,374	297,353	297,353	0	297,353
1999	200,339	325	94,374	295,038	295,038	0	295,038
1998	133,872	351	94,374	228,597	228,597	0	228,597
1997	133,872	379	83,888	218,139	218,139	0	218,139
1996	121,701	406	83,888	205,995	205,995	0	205,995
1995	121,701	433	83,888	206,022	206,022	0	206,022
1994	121,701	460	83,888	206,049	206,049	0	206,049
1993	80,388	0	83,888	164,276	164,276	0	164,276
1992	80,388	0	83,888	164,276	164,276	0	164,276
1991	80,388	0	83,888	164,276	164,276	0	164,276
1990	85,511	0	64,227	149,738	149,738	0	149,738
1989	85,511	0	62,916	148,427	148,427	0	148,427
1988	65,232	0	52,430	117,662	117,662	0	117,662
1987	63,750	0	31,615	95,365	95,365	0	95,365
1986	64,044	0	31,615	95,659	95,659	0	95,659
1985	61,651	0	20,972	82,623	82,623	0	82,623
1984	55,320	0	20,972	76,292	76,292	0	76,292
1983	55,320	0	20,972	76,292	76,292	0	76,292
1982	45,992	0	16,358	62,350	62,350	0	62,350

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
12/18/2015	2774 / 1343	595,000	<u>WD</u>	<u>03</u>
3/1/1991	1164 / 664	125,500	<u>WD</u>	<u>U</u>
8/1/1988	1064 / 2074	265,000	<u>WD</u>	<u>U</u>
2/1/1973	563 / 333	15,000	00	<u>Q</u>

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Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176