

**PLANNING BOARD
Staff Report**



To: Chairman and Planning Board Members
From: Brendon Cunningham, Senior Planner
Through: Donald Leland Craig, AICP, Planning Director
Meeting Date: May 15, 2014

Agenda Item: **Minor Development Plan – 2400-2440 North Roosevelt Boulevard (RE # 00065220-000000; AK # 1067849, RE # 00065220-000100; AK # 1063835)** – A request for minor development plan and landscape buffer-yard waiver approval for the phased reconstruction of 7 existing guest rooms, existing public restrooms and reconfigure 2 parking spaces to meet ADA requirements on property located within the CG zoning district – pursuant to Section 108-91.B.1.a. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

Request: A minor development plan to renovate 7 existing hotel rooms, existing public restrooms and reconfigure 2 parking areas to comply with ADA requirements at 2400-2440 North Roosevelt Boulevard.

Applicant: K2M Design

Property Owner: RLJ II – F Key West Lease, LLC

Location: 2400-2440 North Roosevelt Boulevard (RE# 00065220-000000; AK# 1067849 and RE# 00065220-000100, AK# 1063835)

Zoning: General Commercial (CG) zoning district



Background:

This project is comprised of the renovation of two properties with existing hotel buildings. As originally constructed, the hotel does not have the required number of ADA accessible rooms, parking spaces or public restrooms.

Request:

The applicant proposes to renovate 7 existing hotel rooms and existing public restrooms and reconfigure the parking area to meet ADA requirements. There are 106 guest rooms which require five ADA parking spaces and there are currently four. The applicant will convert two standard parking spaces into a fifth ADA compliant parking space. The applicant also proposes to enhance the overall site through landscaping and storm-water management improvements.

Surrounding Zoning and Uses:

North: CM, MDR: Conservation Mangrove & Residential / Hotel
South: SF: Single-Family Residential
East: CG: Retail
West: CG: Retail

Process:

Development Review Committee Meeting: February 27, 2014
Planning Board Meeting: May 15, 2014

Analysis – Evaluation for Compliance With The Land Development Regulations:

Section 108-91 A(1)b of the City of Key West Land Development Regulations requires that any proposed plan within the historic district including the addition or reconstruction of 500 to 2,499 square feet of gross floor area shall require a Minor Development plan. Section 108-196(a) of the Land Development Regulations states that “after reviewing a Major Development Plan or a Minor Development Plan for a property and staff recommendations, the Planning Board shall act by resolution to approve, approve with conditions, or disapprove it based on specific development review criteria contained in the Land Development Regulations and the intent of the Land Development Regulations and Comprehensive Plan.” A Minor Development Plan in the historic district is advisory to the City Commission.

Planning staff, as required by Chapter 108 of the City Code of Ordinances, has reviewed the following for compliance with the City’s Land Development Regulations and Comprehensive Plan:

	Required/Allowed	Existing	Proposed
Zoning	HNC-1		
Flood Zone	AE-8		
Site Size	15,000 sq. ft.	87,922 sq. ft.	Same
Front Setback	25’	34’7”	Same
Right-Side Setback	20’	39’	Same
Left-Side Setback	20’	17’5”	Same
Rear Setback	25’	39’4”	Same
FAR	0.8	0.6	Same

Building Coverage	40%	32.7%	Same
Impervious Surface	60%	79.7%	Same

Concurrency Facilities and Other Utilities or Services (Section 108-233)

The City’s Comprehensive Plan Objective 9-1.5 directs the City to ensure that facilities and services needed to support development are available concurrent with the impacts of new development.

This proposal is for a remodel of existing facilities to meet current ADA requirements. No new impacts are anticipated.

Site Location and Character of Use (Section 108-235):

The project site is located in the HNC-1 zoning district which is a mixed use district. Commercial and residential uses are permitted. The property is surrounded by guesthouses and other commercial uses (see page 2)

- 1. Appearance of site and structures (Section 108-236 and 108-278):**
The redevelopment plan exhibits harmonious overall design characteristics for the buildings and is in compliance with the performance standards stipulated in Sections 108-278 of the City Code.
- 2. Location and screening of mechanical equipment, utility hardware and waste storage areas (Section 108-279):**
Mechanical equipment and utility hardware will be screened from view.
- 3. Utility lines (Section 108-282):**
The department has not received comments from Keys Energy regarding the redevelopment for this property. Existing electric lines will be used.
- 4. Commercial and manufacturing activities conducted in enclosed buildings (Section 108-283):**
Not applicable, this is a hotel with no manufacturing activities present.
- 5. Exterior Lighting (Section 108-284):**
Not part of this application.
- 6. Signs (Section 108-285):**
No signage has been proposed as part of the Minor Development Plan.
- 7. Pedestrian sidewalks (Section 108-286):**
There are existing sidewalks adjacent to the site on North Roosevelt Boulevard.
- 8. Loading docks (Section 108-287):**
No loading docks are proposed as part of the Minor Development Plan.
- 9. Storage Areas (Section 108-288):**

Not part of this application.

On-Site and Off-Site Parking and Vehicular, Bicycle, and Pedestrian Circulation (Section 108-244):

This application addresses required ADA parking needs. The existing number of rooms, at 106, requires five ADA parking spaces. The applicant through this request will provide all five spaces.

Housing (Section 108-245):

Not applicable. This is a transient hotel property with no proposed permanent housing.

Economic Resources (Section 108-246):

The applicant has not provided any information as to the economic impacts to the city via ad valorem tax yields.

Special Conditions (Section 108-247):

The proposed development does not conflict with the intent of the CG district uses. The project is not located in a special zoning district and does not trigger any of the special considerations outlined in Section 108-247 of the City Code.

Construction Management Plan and Inspection Schedule (Section 108-248):

Not applicable, the proposed reconstruction will occur all at once.

Open Space, Screening, Buffers and Landscaping (Article V and VI) of Chapter 108:

Not applicable. While the applicant proposes to enhance the landscaping areas, buffering is not part of this application.

Request for Modification Section 108-517

The applicant has requested a modification to Section 108-412(a) to reduce minimum landscape area and 108-413(b) to reduce the minimum depth of landscape along the street frontage. Staff supports the waiver of the street frontage buffer and open space as the structures occupy the sites in their existing configuration.

Off-street Parking and Loading (Article VII) of Chapter 108:

The proposed Minor Development is a renovation of 7 guest rooms and public bathrooms therefore there is no anticipated increase in parking demand.

Stormwater and Surface Water Management (Article VIII):

The applicant intends to increase the size of the existing storm water-retention swale.

Flood Hazard Areas (Division 4 - Sections 108-821 through 108-927):

The property is within the FEMA AE-8 zone. The guest rooms are located above the base-flood elevation.

Utilities (Article IX):

The proposed project will use existing utility mains.

RECOMMENDATION:

The Planning Department, based on the criteria established by the Comprehensive Plan and the Land Development Regulations, recommends the request for Minor Development Plan be **approved** with the following conditions:

Conditions to be completed prior to the issuance of building permits:

Conditions to be completed prior to the issuance of certificate of occupancy:

**Conditions subject to a Conditional Approval Permit, per Ordinance Number 10-22:
Conditions subject to associated annual inspection:**

Draft Resolution

**PLANNING BOARD
RESOLUTION No. 2014-**

A RESOLUTION OF THE CITY OF KEY WEST PLANNING BOARD GRANTING APPROVAL OF A MINOR DEVELOPMENT PLAN AND LANDSCAPE AND BUFFER-YARD WAIVER FOR THE RECONSTRUCTION OF SEVEN GUEST ROOMS, EXISTING PUBLIC RESTROOMS AND RECONFIGURE TWO EXISTING REGULAR PARKING SPACES INTO ONE ADDITIONAL ADA PARKING SPACE AT 2400-2440 NORTH ROOSEVELT BOULEVARD (RE#00065220-000000, AK#1067849 & RE#00065220-000100, AK#1063835) PERSUANT TO SECTION 108-91(B.)(1)(a.) OF THE LAND DEVELOPMENT REGULATIONS OF THE CITY OF KEY WEST FLORIDA.

WHEREAS, the subject property is located in the General Commercial, (CG), zoning district; and

WHEREAS, Section 108-91 B(1)(a.) of the Code of Ordinances requires Minor Development Plans for addition or reconstruction of five to ten transient residential units; and

WHEREAS, the applicant proposes to upgrade seven guest rooms, existing public restrooms and parking to meet current ADA requirements; and

WHEREAS, the granting of a Minor Development Plan and Landscape and Buffer-Yard Waiver is consistent with the Land Development Regulations and the Comprehensive Plan; and

_____ Chairman

_____ Planning Director

WHEREAS, the recommendation of approval of the Minor Development Plan and Landscape and Buffer-Yard Waiver is in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, the surrounding community or otherwise detrimental to the public welfare; and

WHEREAS, the approval is consistent with the criteria in the Code; and

NOW, THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. That a Minor Development Plan and Landscape and Buffer-Yard Waiver to upgrade seven guest rooms, existing public restrooms and parking to meet current ADA requirements per Section 108-91B.(1.) (a.), under the Code of Ordinances of the City of Key West, Florida, is hereby recommended for City Commission approval for property located at 2400-2440 North Roosevelt Boulevard, as shown on the attached plans dated March 3, 2014. with the following conditions:

Conditions to be completed prior to the issuance of building permits:

Conditions to be completed prior to the issuance of certificate of occupancy:

_____Chairman

_____Planning Director

**Conditions subject to a Conditional Approval Permit, per Ordinance Number 10-22:
Conditions subject to associated annual inspection:**

Section 3. Full, complete, and final application for all permits required for which this resolution is wholly or partly necessary, shall be submitted in its entirety within 12 months after the date hereof.

Section 4. This Minor Development Plan application recommended for approval to the City Commission, does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

Section 5. This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Section 6. This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Economic Opportunity. Pursuant to Chapter 9J-1, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the

_____Chairman

_____Planning Director

appeal is resolved by agreement or order.

Read and passed on first reading at a duly noticed meeting held this 15th day of May, 2014,
and authenticated by the Chairman of the Planning Board and the Planning Director.

Richard Klitenick, Chairman
Key West Planning Board

Date

Attest:

Donald Leland Craig, AICP
Planning Director

Date

Filed with the Clerk:

Cheryl Smith, City Clerk

Date

_____Chairman

_____Planning Director

Application

DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION
City of Key West Planning Department
604 Simonton Street, Key West, FL 33040
(305) 809-3720



Development Plan & Conditional Use Application

Applications will not be accepted unless complete

Development Plan

Major _____
Minor X _____

Conditional Use

Historic District

Yes _____
No X _____

Please print or type:

- 1) Site Address 2400 North Roosevelt Blvd., Key West, Florida 33040
- 2) Name of Applicant Anthony D. Sarno - k2m Design, Inc.
- 3) Applicant is: Owner _____ Authorized Representative X _____
(attached Authorization and Verification Forms must be completed)
- 4) Address of Applicant 1001 Whitehead Street, Suite 101
Key West, Florida 33040
- 5) Applicant's Phone # 305.292.7722 Email asarno@k2mdesign.com
- 6) **Email Address:** asarno@k2mdesign.com
- 7) Name of Owner, if different than above RLJ II - F Key West Lesse, LLC.
- 8) Address of Owner 3 Bethesda Metro Center, Suite 1000, Bethesda, MD 20814
- 9) Owner Phone # 301.280.7718 Email cmayfieldc@rljlodgingtrust.com
- 10) Zoning District of Parcel CG RE# 00065220-000100/00065220-000000
- 11) Is Subject Property located within the Historic District? Yes _____ No X _____
If Yes: Date of approval _____ HARC approval # _____
OR: Date of meeting _____
- 12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).

--- SEE ATTACHED ---

DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION
City of Key West Planning Department
604 Simonton Street, Key West, FL 33040
(305) 809-3720



13) Has subject Property received any variance(s)? Yes _____ No X _____

If Yes: Date of approval _____ Resolution # _____

Attach resolution(s).

14) Are there any easements, deed restrictions or other encumbrances on the subject property?

Yes X No _____

If Yes, describe and attach relevant documents.

Utilities documented are shown on Survey Copy AE1.0.0. No change to utilities is
contemplated for this project.

- A. For both *Conditional Uses* and *Development Plans*, provide the information requested from the attached **Conditional Use and Development Plan** sheet.
- B. For *Conditional Uses* only, also include the **Conditional Use Criteria** required under Chapter 122, Article III, Sections 122-61 and 122-62 of the Land Development Regulations (see attached copy of criteria).
- C. For *Major Development Plans* only, also provide the **Development Plan Submission Materials** required under Chapter 108, Article II, Division 7, Sections 108-226 through 108-248 of the Land Development Regulations (see attached copy of criteria) and any additional information as determined by the Planning Staff.

Please note, development plan and conditional use approvals are quasi-judicial hearings and it is improper to speak to a Planning Board member or City Commissioner about the project outside of the hearing.

Verification

**City of Key West
Planning Department**



Verification Form

(Where Authorized Representative is an entity)

I, Anthony D. Sarno, in my capacity as Director
(print name) *(print position; president, managing member)*

of K2M Design, Inc.
(print name of entity serving as Authorized Representative)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

Fairfield Inn & Suites, 2400 N. Roosevelt Blvd., Key West, Florida 33040
Street Address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

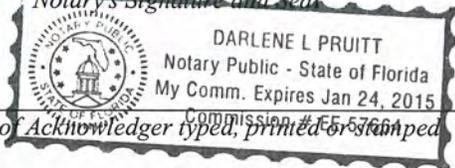
ADJ
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this March 3, 2014 by
date

Anthony Sarno
Name of Authorized Representative

He/She is personally known to me or has presented *ADJ* as identification.

Darlene L Pruitt
Notary's Signature and Seal



Name of Acknowledger typed, printed or stamped

Commission Number, if any

Authorization

City of Key West
Planning Department



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Carl Mayfield as
Please Print Name of person with authority to execute documents on behalf of entity

Vice President of RLJ II - F Key West Lessee, LLC
Name of office (President, Managing Member) *Name of owner from deed*

authorize Anthony D. Sarno of K2M Design, Inc.
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]
Signature of person with authority to execute documents on behalf on entity owner

Subscribed and sworn to (or affirmed) before me on this 2/26/2014 by
date

Carl Mayfield
Name of Authorized Representative

He/She is personally known to me or has presented NA as identification.

Brandy Barton-Smith
Notary's Signature and Seal

NA
Name of Acknowledger typed, printed or stamped

NA
Commission Number, if any



BRANDY BARTON-SMITH
Notary Public, State of Maryland
County of Montgomery
My Commission Expires April 23, 2017

March 3, 2014

The City of Key West
Planning Department
3140 Flagler Avenue
Key West, Florida 33040
Attn: Don Craig, Planning Director

**Re: Fairfield Inn & Suites Key West
Development Plan and Condition Use Application
Description of Proposed Development and Use**

- 12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).

Response: We are submitting this Minor Development Application due to the reconstruction of nonresidential floor area between 1,000 square feet and 4,999 square feet. The reconstruction is a direct result of improving the resorts accessibility and ADA compliance. Specifically, the project scope of work is:

- *Increasing the existing swale capacity and reconfiguration the landscaping within to create a more safe and visually pleasing guest experience*
- *Construct 6'-0" tall fence on the South property line*
- *Construction concrete block wall to separate existing parking from the pool area, creating a more secure separation for guest safety*
- *Reconfigure the existing parking to create five (5) ADA parking spaces, improving on the four (4) that currently exist, through the removal of (2) standard parking space. The total amount of parking reduces by (1) parking space.*
- *Constructing a wood pergola with poly carbonite roofing over existing impervious pavers currently used for consumption adjacent the bar and pool*
- *Exterior façade improvements including painting, guardrails, and vertical screens adjacent guestroom entrance doors*
- *Interior finish upgrades throughout the public spaces and guestrooms*
- *Reconstruction of seven existing guestrooms to meet current ADA requirements*
- *Reconstruction of existing public restrooms to meet current ADA requirements*

The project approach is to maintain all existing setbacks, parking requirements, and other site statistics and to improve the swale capacity to accommodate the added impervious for the ADA accessibility to the parking garage and elevator.

March 3, 2014

The City of Key West
Planning Department
3140 Flagler Avenue
Key West, Florida 33040
Attn: Don Craig, Planning Director

Re: Fairfield Inn & Suites Key West

Development Plan and Condition Use Application

Required Plans and Related Materials for both a Conditional Use and Minor / Major Development Plan

I. Existing Conditions:

- A) Recent Survey of the site by a licensed Surveyor showing all dimensions including distances from property lines, and including:**
- 1) Size of Site**
Response: Refer to Survey Copy AE1.0.0 and Existing Site Plan AE1.1.0.
 - 2) Buildings, structures and parking**
Response: Refer to Survey Copy AE1.0.0 and Existing Site Plan AE1.1.0.
 - 3) FEMA Flood zone**
Response: Zone AE EL8.
 - 4) Topography**
Response: Refer to Survey Copy AE1.0.0 for topography in area of work.
 - 5) Easements**
Response: There are two recorded easements: (1) 25'-0" public road access easement on 7th street, and (2) 10'-0" Utility easement on 7th Street. Refer to Survey Copy AE1.0.0.
 - 6) Location of Utility Lines (Sewer, water, electric, cable) adjacent and extending into the site.**
Response: Utilities documented are shown on Survey Copy AE1.0.0. No change to utilities is contemplated for this project.
- B) Existing size and type and location of trees, hedges and other features.**
Response: Vegetation in the area of work is noted on Survey Copy AE1.0.0.
- C) Existing stormwater retention areas and drainage flows.**
Response: The existing swale in the area of work is shown on Survey Copy AE1.0.0.
- D) A sketch showing adjacent land uses, buildings and driveways.**
Response: Adjacent land uses are noted on Overall Site Plan A1.1.0.

II. Proposed Development:

A) **Site Plan to scale of with north arrow and dimensions by a licensed architect or engineer.**

1) **Buildings**

Response: Refer to Overall Site Plan A1.1.0.

2) **Setbacks**

Response: Refer to Overall Site Plan A1.1.0.

3) **Parking:**

a. **Number, location, and size of automobile and bicycle spaces.**

Response: Refer to Overall Site Plan A1.1.0.

b. **Handicapped spaces**

Response: Refer to Overall Site Plan A1.1.0.

c. **Curbs or wheel stops around landscaping.**

Response: Refer to Overall Site Plan A1.1.0.

d. **Type of Pavement.**

Response: Refer to Overall Site Plan A1.1.0.

4) **Driveway dimensions and material.**

Response: Refer to Overall Site Plan A1.1.0.

5) **Location of Utility Lines (sewer, water, electric, cable) adjacent and extending into the site.**

Response: Existing to remain as shown on Survey Copy AE1.0.0. No new work required.

6) **Location of garbage and recycling**

Response: Existing enclosure to remain. Refer to Overall Site Plan A1.1.0.

7) **Signs**

Response: Existing signs to remain. No work.

8) **Lighting**

Response: Existing site lighting to remain. No new work contemplated.

9) **Project Statistics:**

a. **Zoning**

Response: Refer to Overall Site Plan A1.1.0.

b. **Size of site**

Response: Refer to Overall Site Plan A1.1.0.

c. **Number of units (or units and Licenses)**

Response: 111 Existing hotel room units will remain.

d. **If non-residential, floor area and proposed floor area ratio**

Response: Permitted- .80; Proposed - .60

e. Consumption area of restaurant and bars

Response: Existing consumption area of 5,946.6 sq. ft to remain.

f. Open space area and open space ratio

Response: Refer to Overall Site Plan A1.1.0.

g. Impermeable surface area and impermeable surface ratio

Response: Refer to Overall Site Plan A1.1.0.

h. Number of automobile and bicycle spaces required and proposed.

Response: Refer to Overall Site Plan A1.1.0. Existing spaces total to be reduced by one to accommodate 5 proposed ADA spaces which are required by current zoning.

B) Building Elevations

1) Drawings of all building from every direction. If the project is in the Historic District please submit HARC approved site plans.

Response: Refer to Overall Site Plan A1.1.0 and Exterior Elevations A3.1.1, A3.1.2, A3.1.3 and A3.1.4.

2) Height of building.

Response: Refer to Exterior Elevations A3.1.1, A3.1.2, A3.1.3 and A3.1.4. Existing height to remain.

3) Finished floor elevations and bottom of first horizontal structure.

Response: Refer to Exterior Elevations A3.1.1 and A3.1.2.

4) Height of existing and proposed grades.

Response: Refer to Existing Overall Site Plan AE1.1.0 and Overall Site Plan A1.1.0 for grades in the existing area of work.

C) Drainage Plan: Existing and Proposed retention area and calculations approved by the City Engineer. See one of the attached commercial and residential use Stormwater Retention Forms.

Response: Refer to Overall Site Plan A1.1.0 and Enlarged Site Plan A1.2.1.

D) Landscape Plan: Size, type, location and number of plants to be removed, kept, and installed. The plan must be approved by the City Landscape Coordinator through a letter of approval. If the project is a Major Development Plan a landscape design prepared by a licensed Landscape Architect is required per Section 108-511(b) of the Land Development Regulations.

Response: Refer to Overall Site Plan A1.1.0 and Site Plan A1.2.1. This minor development application notes reconfigured landscaping in the area of work.

III. Solutions Statement. Aspects of the design that address community issues including but not limited to water pollution from stormwater runoff, potable water conservation, waste

disposal, recycling, energy conservation, affordable housing, and impacts on neighbors such as lighting, noise, traffic and parking.

Response: The scope of this project minimally impacts the site with an increased swale area reconfigured for greater capacity and safety and a trellis with polycarbonate roof over an existing impervious patio area. The project's purpose is to improve the resort with exterior painting and railings, improve accessibility throughout, and update the interior finishes for an improved guest experience.

Development Plan Submission Materials

Sec. 108-226. Scope.

A development plan, for the purposes of this division, shall include but not necessarily be limited to the requirements in this division. With the exception of sections 108-227 through 108-229, the city planner may waive or modify requirements, information and specific performance criteria for development plan review after rendering a finding in writing that such requirements:

- (1) Are not necessary prior to development plan approval in order to protect the public interest or adjacent properties;
- (2) Bear no relationship to the proposed project or its impacts; and
- (3) Are found to be impractical based on the characteristics of the use, including the proposed scale, density/intensity, and anticipated impacts on the environment, public facilities and adjacent land uses.

Sec. 108-227. Title Block.

The development plan shall contain the following pertaining to the title block.

(1) Name of Development

Response: Fairfield Inn & Suites

(2) Name of Owner / Developer

Response: RLJ II – F Key West Lessee, LLC.

(3) Scale

Response: Varies. Refer to plans.

(4) North Arrow

Response: Refer to plans.

(5) Preparation and revision date

Response: March 03, 2014 as noted on plans.

(6) Location / street address of development

Response: 2400 North Roosevelt Boulevard, Key West, Florida 33040.

Sec. 108-228. Identification of key persons.

The development plan shall contain the following pertaining to identification of key persons.

- (1) **Owner**
Response: RLJ II – F Key West Lessee, LLC.
- (2) **Owner’s authorized agent**
Response: K2M Design, Inc.
- (3) **Engineer and Architect**
Response: Architect –K2M Design, Inc.
- (4) **Surveyor**
Response: Island Surveying Inc.
- (5) **Landscape Architect and/or environmental consultant.**
Response: N/A
- (6) **Others involved in the application**
Response: N/A
- (7) **A verified statement showing each and every individual person having a legal and/or equitable ownership interest in the subject property, except publicly held corporations whose stock is traded on a nationally recognized stock exchange, in which case the names and addresses of the corporation and principal executive officers together with any majority stockholders will be sufficient.**
Response: Our client is RLJ II-F Key West Lessee, LLC., with Carl Mayfield, Vice President as our point of contact.

Sec. 108-229. Project description.

Project description should be included on the site plan sheet. The development plan shall contain the following pertaining to the project description.

- (1) **Zoning (include any special districts)**
Response: CG
- (2) **Project site size (acreage and/or square footage).**
Response: 87,921.5 sq. ft. or 2.02 acres
- (3) **Legal Description**
Response: Refer to Survey Copy AE1.0.0
- (4) **Building Size**
Response: 29,117.5 sq. ft., existing and proposed.
- (5) **Floor area ratio, permitted and proposed**
Response: Permitted – .80; Proposed - 0.60.

(6) Lot coverage, permitted and proposed

Response: Refer to Project Statistics on Overall Site Plan A1.1.0.

(7) Impervious surface

Response: Refer to Project Statistics on Overall Site Plan A1.1.0.

(8) Pervious surface.

Response: Refer to Project Statistics on Overall Site Plan A1.1.0.

(9) Landscape areas:

Response: Landscape areas – 20% is required or 17,583 sf. Proposed is 18,701.7 sf or 21.3%.

(10) Parking spaces, permitted and proposed.

Response: Refer to Project Statistics on Overall Site Plan A1.1.0. Existing parking to remain minus two standard parking spaces to accommodate one additional ADA accessible parking space as required by zoning. This reduces the total number of parking by one standard space.

(11) Delineation of location of existing and proposed structures.

Response: Refer to Existing Overall Site Plan AE1.1.0 and Overall Site Plan A1.1.0.

(12) Existing and proposed development type denoted by land use including density / intensity.

Response: Zone CG. Existing development is a hotel. Proposed improvements maintain existing use.

(13) Setbacks.

Response: Refer to Project Statistics on Overall Site Plan A1.1.0.

Sec. 108-230. Other project information

A general outline of the proposed development shall include the following criteria where applicable:

(1) Proposed stages of phases of development or operation and facility utilization.

Response: The project will be completed in one phase. The existing hotel will be closed for the construction.

(2) Target dates for each phase.

Response: Anticipate construction to begin June of 2014.

(3) Expected date of completion.

Response: Anticipate construction to be complete November of 2014.

(4) Proposed development plan for the site.

Response: Refer to Overall Site Plan A1.1.0.

(5) A written description of characteristics of the proposed development (i.e., number and type of residential units; floor area by land use; number of tourist accommodations units; seating or parking capacities; number of hospital beds; any proposed outside facilities or areas to be used for storage, display, outside sales, waste disposal or similar use; and any other proposed uses).

Response: The project is primarily interior finishes of the existing guestrooms and public spaces, with reconfigurations to improve accessibility. The existing hotel use and number of guestrooms will remain.

- (6) For planned unit developments, indicate design techniques (i.e. clustering, zero lot line, or other techniques) used to reduce public facility costs, reduce disturbance of natural resources, and preserve scenic quality of the site.

Response: N/A

- (7) Buildings and siting specifications which shall be utilized to reduce damage potential and to comply with federal flood insurance regulations.

Response: The existing buildings are elevated for FEMA compliance and the scope of work will not impact this requirement.

- (8) Protection against encroachment together with proposed mitigation measures to be employed within environmentally sensitive areas.

Response: N/A.

Sec. 108-231. Residential developments

- (a) If the development includes residential units, the following characteristics shall be discussed in the written description:

- (1) A breakdown of the proposed residential units by number of bedrooms.

Response: N/A

- (2) Tenure (i.e. owner-occupied or rental)

Response: N/A

- (3) Structure type, such as single-family, duplex, multi-family, mobile home.

Response: N/A

- (b) Refer to division 10 of article V of chapter 122 for information and legal instruments needed to satisfy the city's affordable housing requirements.

Response: N/A

Sec. 108-232. Intergovernmental coordination

The development plan shall contain the following pertaining to intergovernmental coordination:

- (1) Provide proof of coordination with applicable local, regional, state and federal agencies, including but not limited to the following agencies that will be involved in the project:

- a. South Florida Regional Planning Council (SFRPC)

Response: Scope of project does not necessitate review.

- b. City electric system (CES).

Response: Existing service to be maintained.

- c. State department of environmental protection (DEP).

Response: Scope of project does not necessitate review.

- d. Army Corps of Engineers (ACOE).

Response: Scope of project does not necessitate review.

- e. **South Florida Water Management District (SFWMD).**
Response: Scope of project does not necessitate review.
- f. **State department of transportation (DOT).**
Response: Scope of project does not necessitate review.
- g. **State department of community affairs (DCA).**
Response: Scope of project does not necessitate review.
- h. **State Florida Aqueduct Authority (FKAA)**
Response: Existing service to be maintained.
- i. **State fish and wildlife conservation commission (F&GC).**
Response: Scope of project does not necessitate review.
- j. **The county.**
Response: Scope of project does not necessitate review.

- (2) Provide evidence that any necessary permit, lease or other permission from applicable local, regional, state and federal agencies has been obtained for any activity that will impact wetland communities or submerged land.**

Response: N/A

- (3) When intergovernmental coordination efforts are complete, the applicant shall provide evidence of good faith efforts towards resolving intergovernmental coordination issues.**

Response: Design Team will work with intergovernmental agencies to resolve issues, should any be identified.

Landscape Waiver Request

May 5, 2014

The City of Key West
Planning Department
3140 Flagler Avenue
Key West, Florida 33040

Attn: Brendon Cunningham, Senior Planner– sent via email to bcunning@keywestcity.com

Re: Fairfield Inn and Suites
Minor Development Application
Landscape Waiver Request

Dear Brendon,

Per your request, we submit the following Landscape Waiver Request for the Fairfield Inn and Suites project, specifically for the following Land Development Regulations:

Section 108.412 - Minimum Landscaping Requirements:

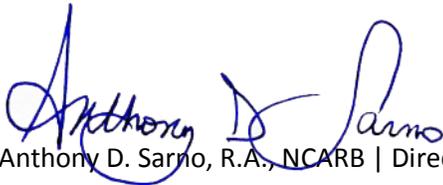
This section requires a minimum of 20% of the building site area to be landscaped. The scope of this project is to upgrade the resort with enhanced public areas and guestrooms with renovations for ADA compliance. The necessary guestroom reconstruction to accommodate ADA compliance is the reason for the Minor Development Application. The existing site configuration is to remain in place with minimal alterations to accommodate ADA compliant parking and accessible routes and enhancement of the existing landscaping adjacent the pool. We request a waiver from this section of the Land Development Regulations because compliance would require alteration to the existing to remain site, impact existing total parking, and potentially be in conflict with existing building structures.

Section 108.413 - Requirements along Street Frontage:

The site size is greater than 1.0 acres and requires a 30 foot landscape strip along the right of way. Given the scope of the project as noted in the previous section above, compliance with this section would require elimination of existing parking, site features, and conflict with existing building structures. We request a variance from this requirement given these existing conditions and the limited scope of the project.

We trust that you concur with our statements and are happy to provide additional information should you have any questions.

Best regards,



Anthony D. Sarno, R.A., NCARB | Director of Key West

Site Plans

FAIRFIELD INN & SUITES COMMERCIAL RENOVATION

2400 NORTH ROOSEVELT BOULEVARD, KEY WEST, FLORIDA 33040

MINOR DEVELOPMENT SUBMISSION MARCH 03, 2014

FAIRFIELD INN & SUITES
COMMERCIAL RENOVATION

K2M
DESIGN

1001 Whitehead St., Suite 101, Key West, Florida 33040
Tel: 305-292-7722 | Fax: 305-292-2162
Email: kw@k2mdesign.com | URL: www.k2mdesign.com
PROF. REG. AA26001059

SUBMISSIONS

2014.03.03 - MINOR DEVELOPMENT SUBMISSION

Project No. Phase:

MK-13 157 MINOR DEVELOPMENT

COVER SHEET

A0.1.1

Seal:

Consultants:

Submissions:

MARCH 03, 2014 - MINOR DEVELOPMENT SUBMISSION

FAIRFIELD INN & SUITES 2400 North Roosevelt Boulevard, Key West, Florida 33040 COMMERCIAL RENOVATION

PLOTTED: 3/4/2014 11:05 AM

Drawing Size: 24x36 Project #: MK-13 157 Drawn By: BLA Checked By: ADS

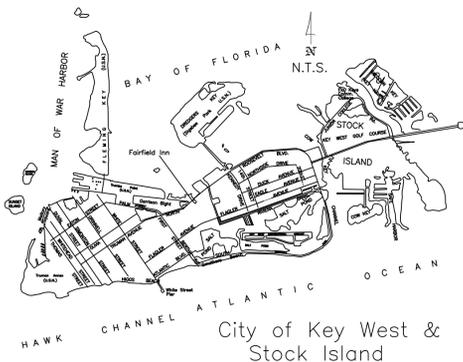
Title: SURVEY COPY

Sheet Number:

AE1.0.0

Date: March 03, 2014

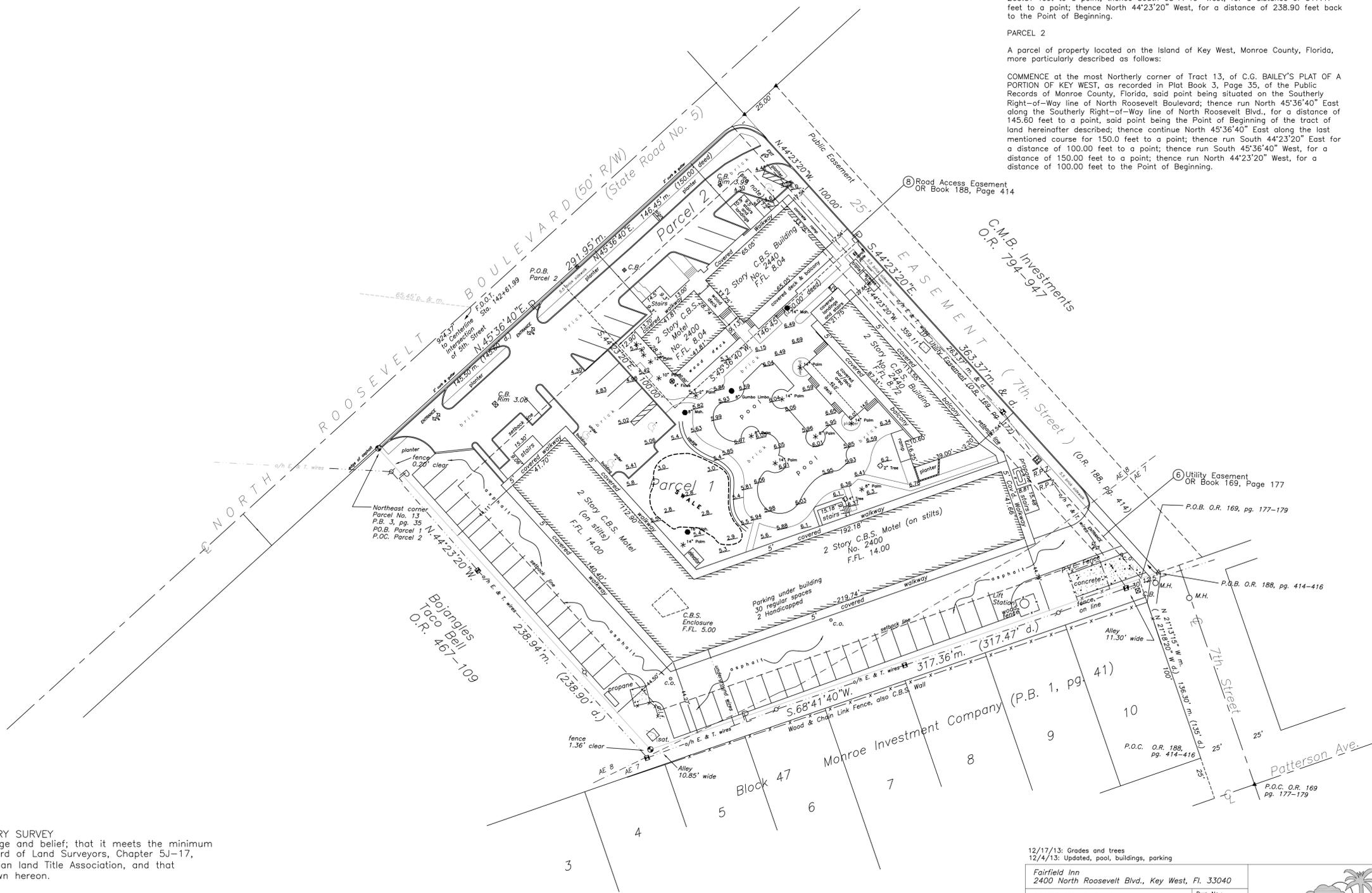
©2014 by k2m Design, Inc.



SURVEYOR'S NOTES: North arrow based on plat and deed bearings Reference Bearing: R/W U.S. No. 1 per deed 3.4 denotes existing elevation Elevations based on N.G.V.D. 1929 Datum Bench Mark No.: K.H. No. 1 (use) Elevation: 4.26 Monumentation:

- Set 1/2" Iron Pipe, P.L.S. No. 2749
Found 1/2" Iron Pipe
Set P.K. Nail, P.L.S. No. 2749
Found P.K. Nail, P.L.S. No. 1587

Abbreviations: o/h = Overhead, u/g = Underground, Stry = Story, R/W = Right-of-Way, fd = Found, p = Plat, m = Measured, M.H.W. = Mean High Water, O.R. = Official Records, N.T.S. = Not to Scale, C = Centerline, Elev. = Elevation, B.M. = Bench Mark, P.O.C. = Point of Commence, P.O.B. = Point of Beginning, P.B. = Plat Book, pg. = page, Elec. = Electric, Tel. = Telephone, O.L. = On Line, C.L.F. = Chain Link Fence, A/C = Air Conditioner, H/C = Handicapped parking space, r.p.z. = Back Flow Preventer, sat. = Satellite Dish, Field Work performed on: 3/14/06



CERTIFICATION: I HEREBY CERTIFY that the attached BOUNDARY SURVEY is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 5J-17, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT Professional Land Surveyor & Mapper No. 2749 Professional Engineer No. 36810 State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE



SURVEY COPY

SCALE: N.T.S.

PARCEL 1

A parcel of property located on the Island of Key West, Monroe County, Florida, and known as parcel of Tract 12 of a map prepared by Crawshaw-Bailey, Associates of The Key West Improvement Co., Inc., more particularly described as follows:

COMMENCING at the Northeast corner of Parcel No. 13 of a Plat of the RECORD OF THE HOLDINGS OF A.E. GOLAN and FLORENCE GOLEN, according to the Plat thereof recorded in Plat Book 3, Page 35, of the Public Records of Monroe County, Florida, said Northeast corner also to be known as the Point of Beginning of the parcel of land hereinafter described; bear North 45°36'40" East along the Southeastly Right-of-Way line of North Roosevelt Boulevard, for a distance of 145.60 feet to a point; thence bear South 44°23'20" East, for a distance of 100.00 feet to a point; thence bear North 45°36'40" East, for a distance of 146.45 feet to a point; thence bear South 44°23'20" East, for a distance of 263.37 feet to a point; thence South 68°41'40" West, for a distance of 317.47 feet to a point; thence North 44°23'20" West, for a distance of 238.90 feet back to the Point of Beginning.

PARCEL 2

A parcel of property located on the Island of Key West, Monroe County, Florida, more particularly described as follows:

COMMENCE at the most Northerly corner of Tract 13, of C.G. BAILEY'S PLAT OF A PORTION OF KEY WEST, as recorded in Plat Book 3, Page 35, of the Public Records of Monroe County, Florida, said point being situated on the Southerly Right-of-Way line of North Roosevelt Boulevard; thence run North 45°36'40" East along the Southerly Right-of-Way line of North Roosevelt Blvd., for a distance of 145.60 feet to a point, said point being the Point of Beginning of the tract of land hereinafter described; thence continue North 45°36'40" East along the last mentioned course for 150.0 feet to a point; thence run South 44°23'20" East for a distance of 100.00 feet to a point; thence run South 45°36'40" West, for a distance of 150.00 feet to a point; thence run North 44°23'20" West, for a distance of 100.00 feet to the Point of Beginning.

12/17/13: Grades and trees
12/4/13: Updated, pool, buildings, parking

Table with 4 columns: Description, Reference, File, Date. Includes 'Fairfield Inn 2400 North Roosevelt Blvd., Key West, Fl. 33040 BOUNDARY SURVEY' and 'Scale: 1"=30''.

REVISIONS AND/OR ADDITIONS
6/9/97: Parking, building heights, boundary
12/15/04: updated, Bay side only, asphalt, fence, owner, cert
2/10/05: Correct Legal Descrion, Tract 1, Certification
File: Fair

ISLAND SURVEYING INC. ENGINEERS PLANNERS SURVEYORS
3152 Northside Drive Suite 201 Key West, Fl. 33040
(305) 293-0466 Fax: (305) 293-0237
info@islandsurveying.net L.B. No. 7700

- DEMOLITION PLAN NOTES:**
1. REMOVE ALL FURNITURE, ART AND WINDOW TREATMENTS AS REQUIRED TO COMPLETE NEW CONSTRUCTION OR TO INSTALL NEW FINISHES PER INTERIOR DESIGN DRAWINGS.
 2. REMOVE ALL EXISTING FINISHES WHERE SCHEDULED TO RECEIVE NEW FINISHES PER INTERIOR DESIGN DRAWINGS.
 3. REMOVE NYLON RACKS IN SHOWERS.
 4. REMOVE EXPOSED CLOSET RACK AND DRESSING CURTAIN WHERE THEY OCCUR. PATCH AND REPAIR WALL AND CEILING AS REQUIRED.
 5. REMOVE ALL EXISTING FIXTURES, ACCESSORIES AND FINISHES IN BATH OR TOILET.
 6. EXISTING CEILINGS IN ADA KING SUITES AND BATHROOMS SHALL BE EXISTING TO REMAIN IN AS MUCH AS IS POSSIBLE.
 7. CUT AND PATCH GYPSUM BOARD AS NECESSARY TO DEMOLISH AND/OR CONSTRUCT NEW WALLS AND TO INSTALL CEILING MOUNTED ITEMS (I.E. EXHAUST FANS). FINISH PATCHED AREAS FLUSH TO ADJACENT CONSTRUCTION SO AS TO PROVIDE A LIKE-NEW CONDITION PREPARED TO RECEIVE NEW PAINT OR OTHER FINISH AS DEFINED BY THE INTERIOR DESIGN DOCUMENTS.
 8. ALL REMOVED PLUMBING TO BE REMOVED BACK TO MAIN LINE AND CAPPED PER CODE- NO STUDS AT OR WITHIN WALLS ALLOWED.
 9. ALL ELECTRICAL WIRING TO BE REMOVED SHALL BE REMOVED BACK TO THE NEAREST JUNCTION BOX OR ELECTRICAL DEVICE.

DEMOLITION PLAN LEGEND:

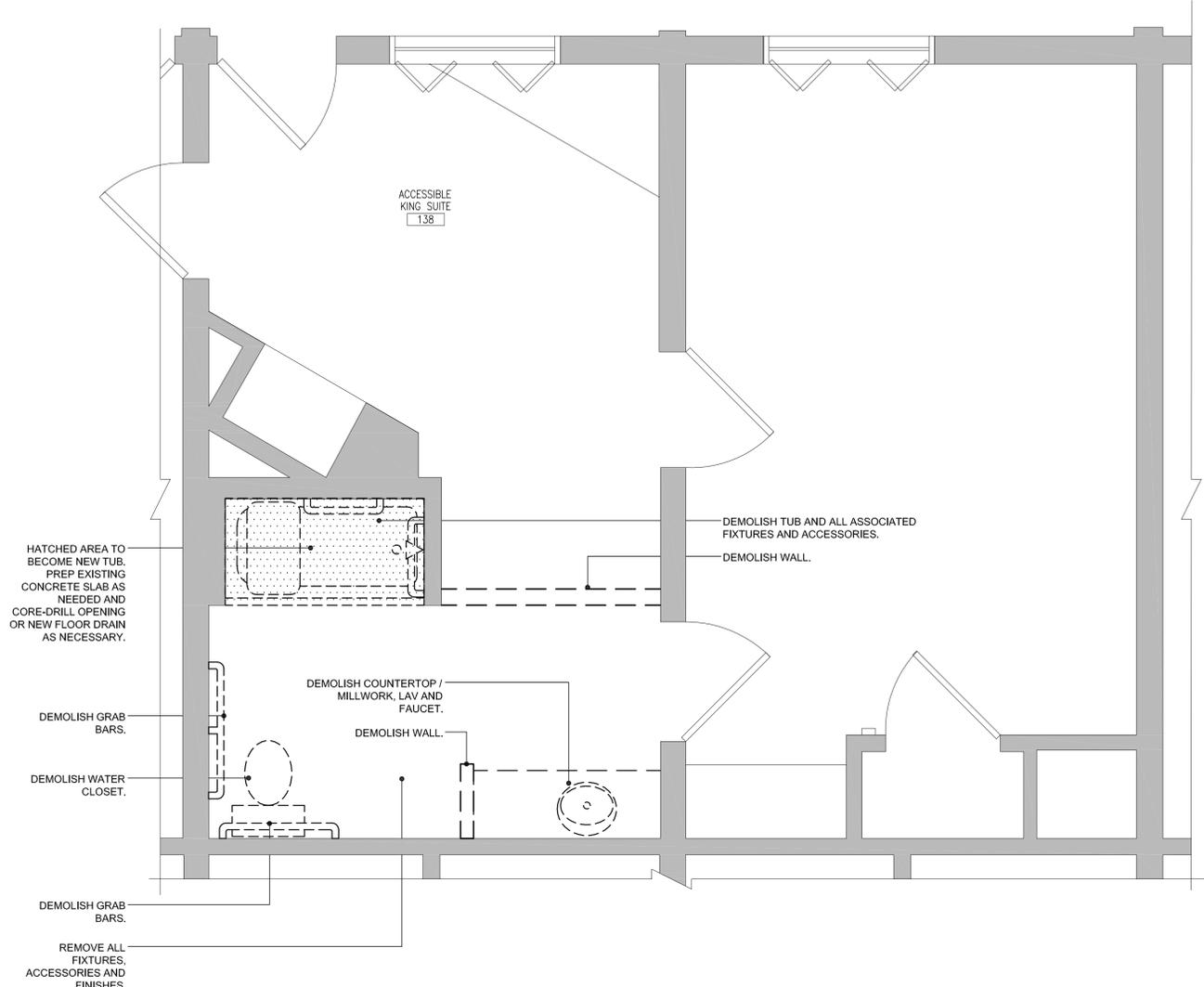
	EXISTING WALL TO REMAIN.
	EXISTING ITEMS TO BE REMOVED.
	EXISTING DOOR TO REMAIN.

Seal:

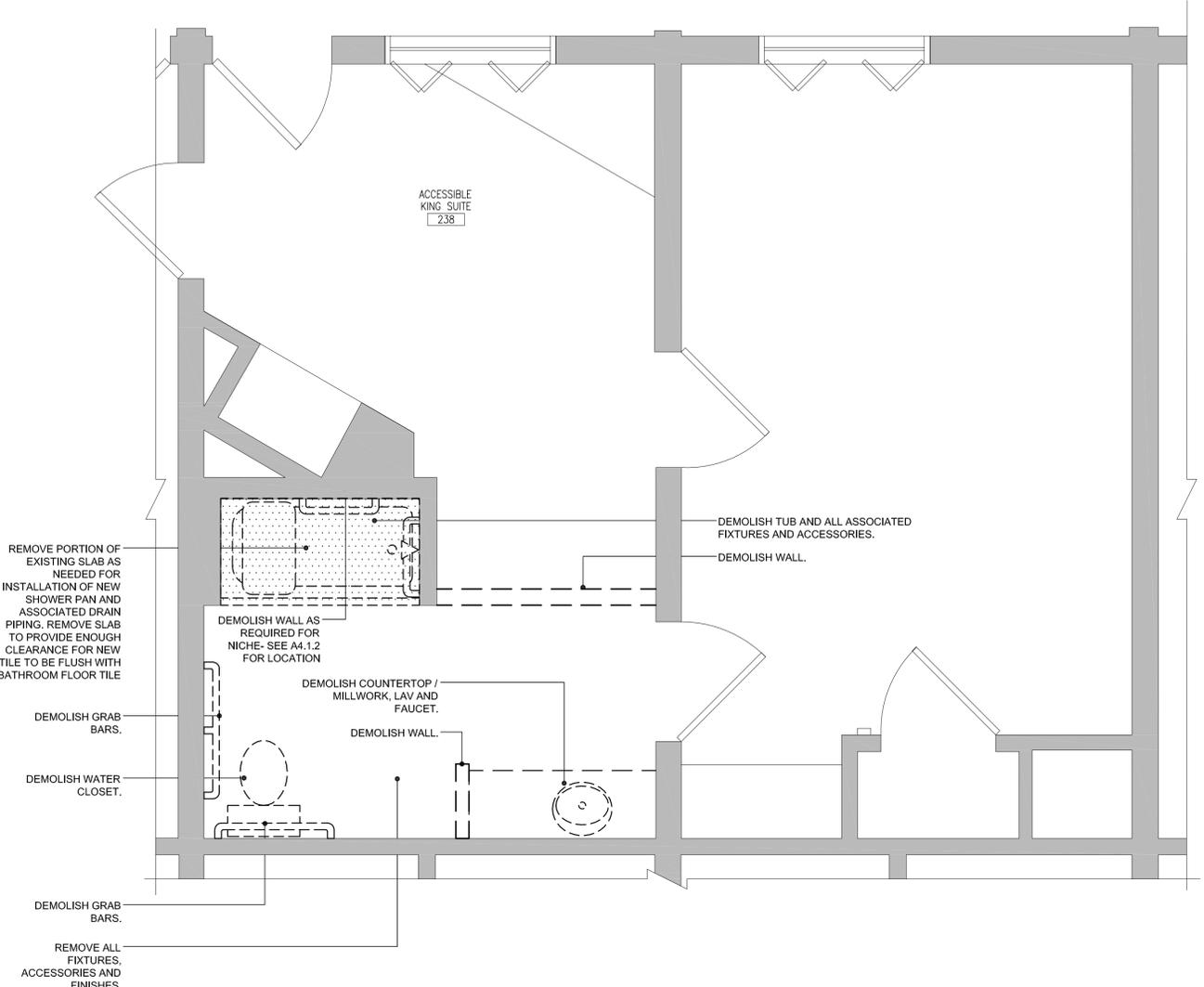
Consultants:

Submissions:

MARCH 03, 2014 - MINOR DEVELOPMENT SUBMISSION



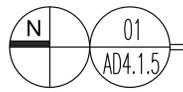
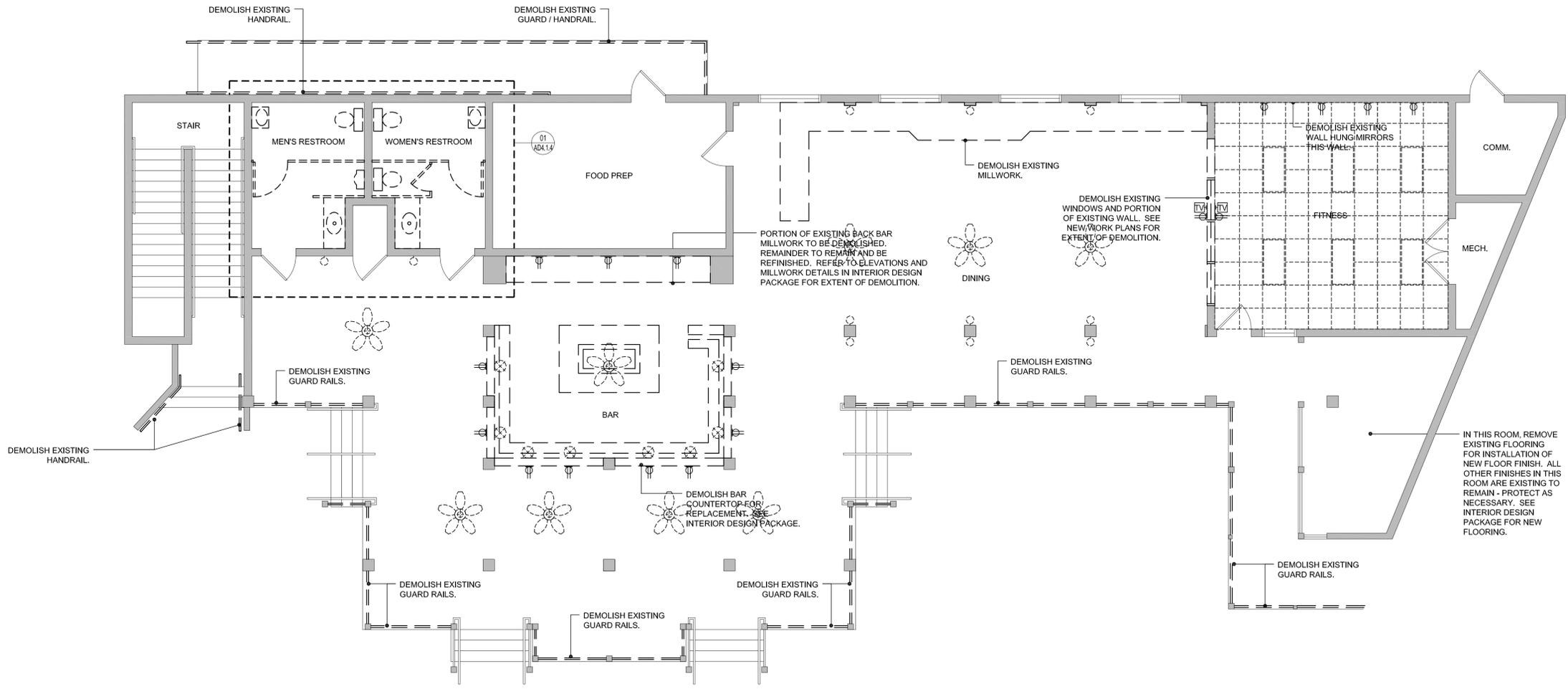
01
AD4.1.2
ENLARGED DEMO PLAN - ACCESSIBLE KING SUITE 138 - BUILDING C - FLOOR 1
SCALE: 1/2" = 1'-0"
GRAPHIC SCALE: 1/2" = 1'-0"



02
AD4.1.2
ENLARGED DEMO PLAN - ACCESSIBLE KING SUITE 238 - BUILDING C - FLOOR 2
SCALE: 1/2" = 1'-0"
GRAPHIC SCALE: 1/2" = 1'-0"

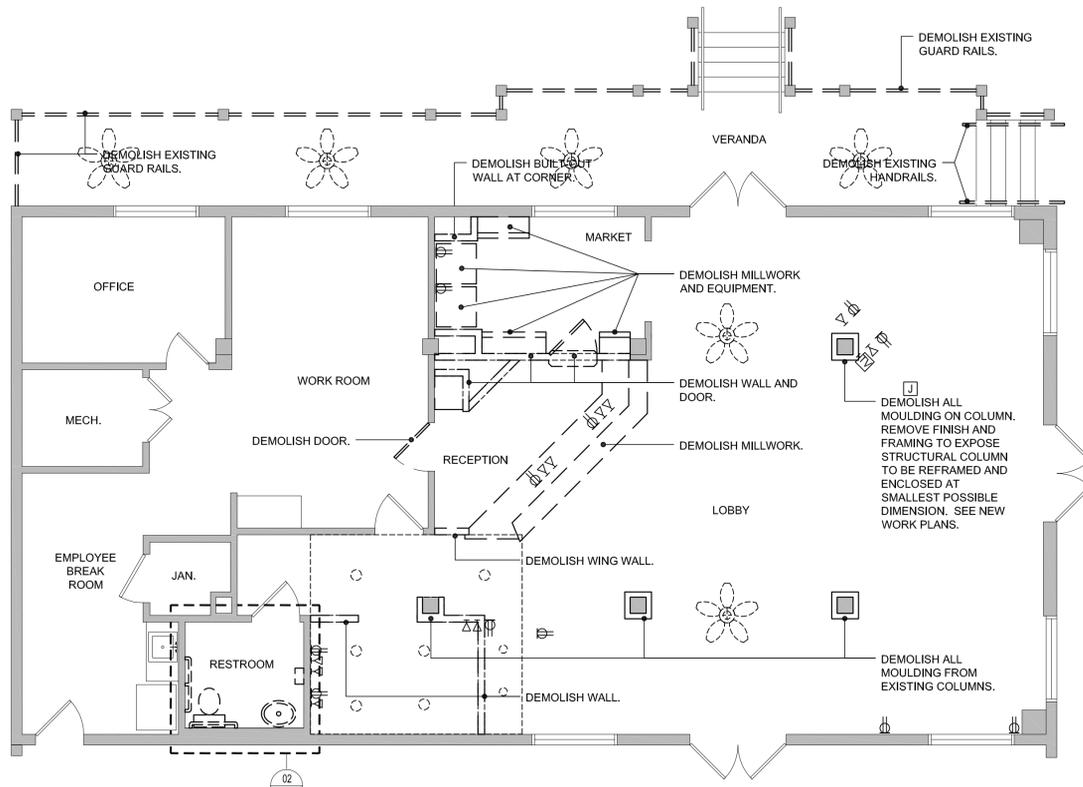
FAIRFIELD INN & SUITES
2400 North Roosevelt Boulevard, Key West, Florida 33040
COMMERCIAL RENOVATION

PLOTTED: 3/4/2014 11:12 AM
Drawing Size: 24x36 Project #: MK-13 157
Drawn By: JHH Checked By: ADS
Title: ENLARGED DEMO PLAN - ACCESSIBLE KING SUITES 138 & 238-BUILDING C
Sheet Number:
AD4.1.2
Date: March 03, 2014
©2014 by k2m Design, Inc.



ENLARGED DEMO PLAN - BUILDING A - FLOOR 1

SCALE: 3/16" = 1'-0"



ENLARGED DEMO PLAN - BUILDING B - FLOOR 1

SCALE: 3/16" = 1'-0"



- DEMOLITION PLAN NOTES:**
1. REMOVE ALL FURNITURE, ART AND WINDOW TREATMENTS AS REQUIRED TO COMPLETE NEW CONSTRUCTION OR TO INSTALL NEW FINISHES PER INTERIOR DESIGN DRAWINGS.
 2. REMOVE ALL EXISTING FINISHES WHERE SCHEDULED TO RECEIVE NEW FINISHES PER INTERIOR DESIGN DRAWINGS.
 3. AT BUILDING B, REMOVE WIRE MOULD BELOW SOFFIT. REWIRE AS REQUIRED TO PROVIDE CONCEALED ROUTE. PATCH AND REPAIR WALLS/CEILING AS REQUIRED.
 4. AT FITNESS ROOM IN BUILDING A, REMOVE WIRE MOULD. REWIRE AS REQUIRED TO PROVIDE CONCEALED ROUTE. PATCH AND REPAIR WALLS/CEILING AS REQUIRED.
 5. REMOVE CORRODED / RUSTED VENTS AND DIFFUSERS IN BACK OF HOUSE AREAS. REMOVE DECORATIVE BRACKETS AT BUFFET AND BAR AT BUILDING A. PATCH AND REPAIR WALLS AS REQUIRED.
 7. CUT AND PATCH GYPSUM BOARD AS NECESSARY TO DEMOLISH AND/OR CONSTRUCT NEW WALLS AND TO INSTALL CEILING MOUNTED ITEMS (I.E. EXHAUST FANS). FINISH PATCHED AREAS FLUSH TO ADJACENT CONSTRUCTION SO AS TO PROVIDE A LIKE-NEW CONDITION PREPARED TO RECEIVE NEW PAINT OR OTHER FINISH AS DEFINED BY THE INTERIOR DESIGN DOCUMENTS.
 8. ALL REMOVED PLUMBING TO BE REMOVED BACK TO MAIN LINE AND CAPPED PER CODE- NO STUDS AT OR WITHIN WALLS ALLOWED.
 9. ALL ELECTRICAL WIRING TO BE REMOVED SHALL BE REMOVED BACK TO THE NEAREST JUNCTION BOX OR ELECTRICAL DEVICE.

DEMOLITION PLAN LEGEND:

	EXISTING WALL TO REMAIN.
	EXISTING ITEMS TO BE REMOVED.
	EXISTING DOOR TO REMAIN.

Seal:

 Consultants:

 Submissions:
 MARCH 03, 2014 - MINOR DEVELOPMENT SUBMISSION

FAIRFIELD INN & SUITES
 2400 North Roosevelt Boulevard, Key West, Florida 33040
COMMERCIAL RENOVATION

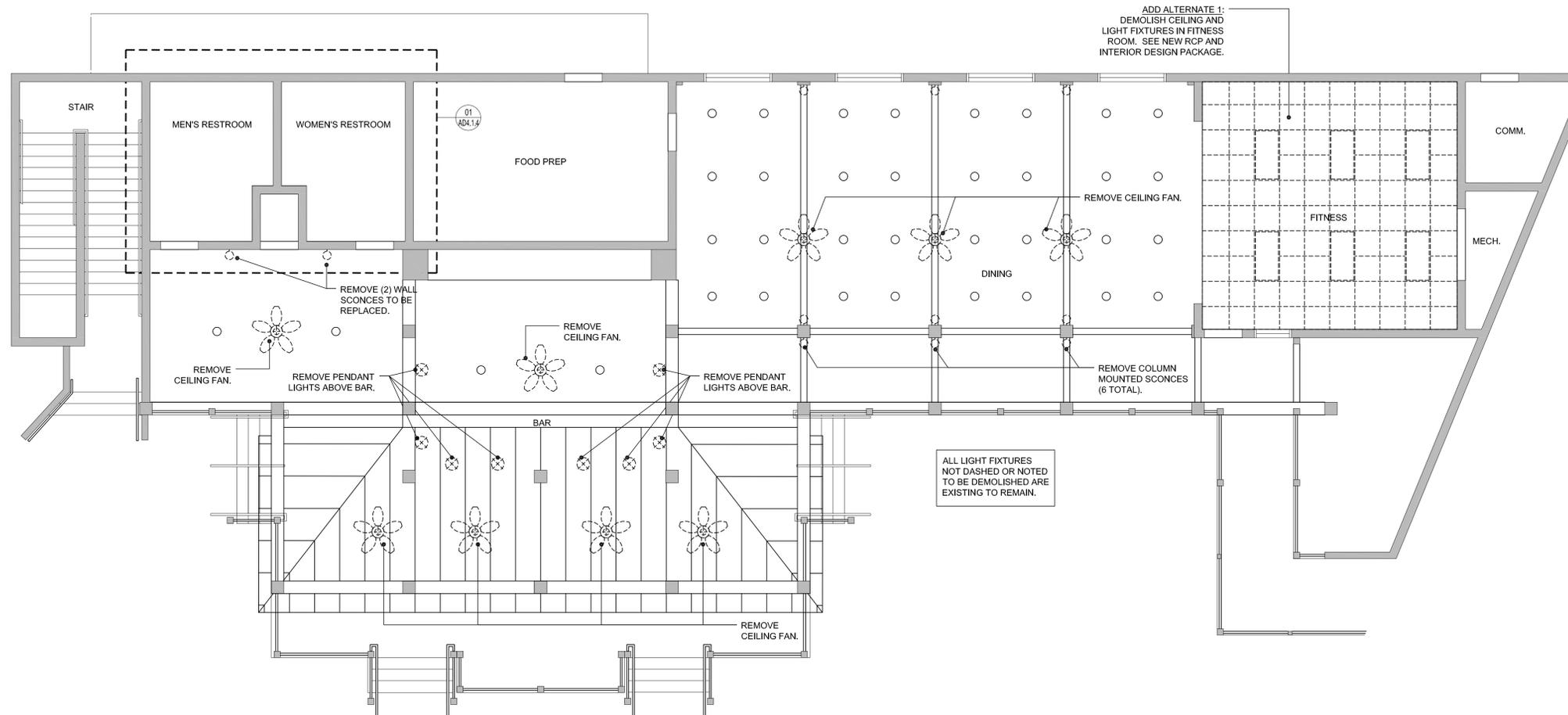
PLOTTED: 3/4/2014 11:14 AM
 Drawing Size: 24x36 Project #: MK-13 157
 Drawn By: JH Checked By: ADS
 Title:
 ENLARGED DEMO PLAN - PUBLIC AREAS BUILDING A & B FLOOR 1
 Sheet Number:
AD4.1.5
 Date: March 03, 2014
 ©2014 by k2m Design, Inc.

Seal:

Consultants:

Submissions:

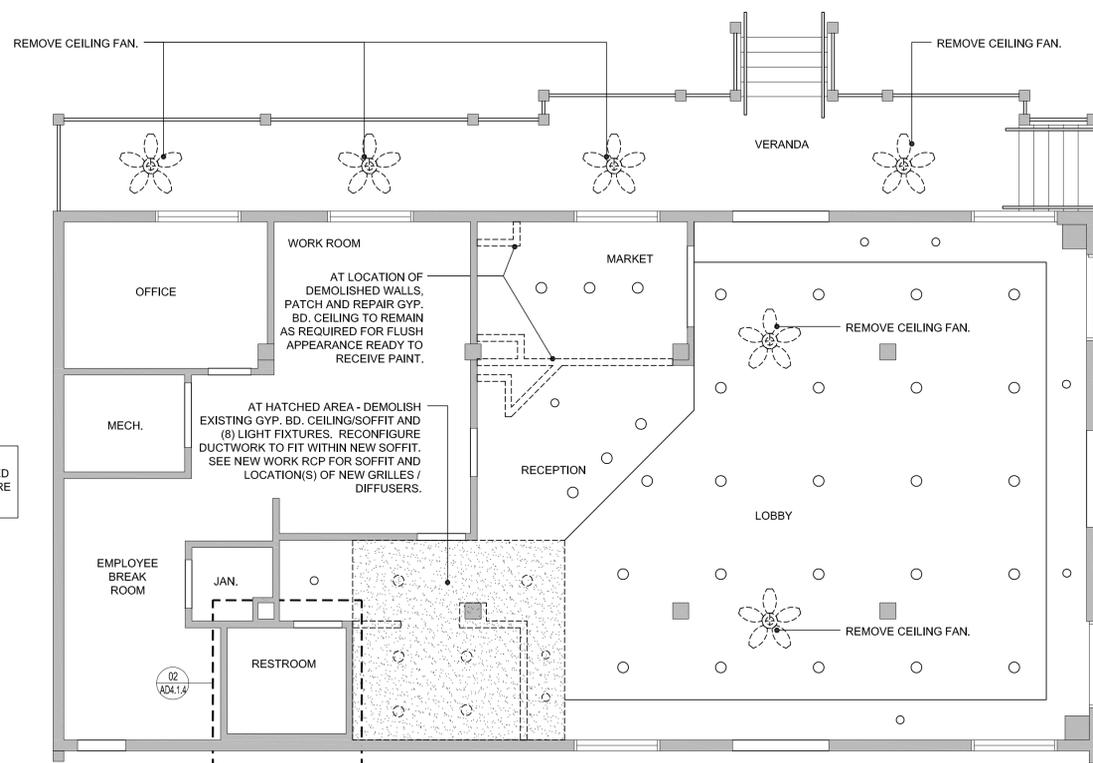
MARCH 03, 2014 - MMOR DEVELOPMENT SUBMISSION



ENLARGED DEMO CEILING PLAN - BUILDING A - FLOOR 1

SCALE: 3/16" = 1'-0"

GRAPHIC SCALE: 1/2" = 1'-0"



ENLARGED DEMO CEILING PLAN - BUILDING B - FLOOR 1

SCALE: 3/16" = 1'-0"

GRAPHIC SCALE: 1/2" = 1'-0"

- DEMOLITION RCP NOTES:**
1. REMOVE ALL EXISTING FINISHES WHERE SCHEDULED TO RECEIVE NEW FINISHES PER INTERIOR DESIGN DRAWINGS.
 2. ALL DASHED ITEMS ARE TO BE DEMOLISHED. PATCH AND REPAIR REMAINING SURFACES AS REQUIRED. ALL ITEMS NOT DASHED OR NOTED TO BE DEMOLISHED SHALL BE ASSUMED EXISTING TO REMAIN.
 3. AT BUILDING B, REMOVE WIRE MOULD BELOW SOFFIT. REWIRE AS REQUIRED TO PROVIDE CONCEALED ROUTE. PATCH AND REPAIR WALLS/CEILING AS REQUIRED.
 4. AT FITNESS ROOM IN BUILDING A, REMOVE WIRE MOULD. REWIRE AS REQUIRED TO PROVIDE CONCEALED ROUTE. PATCH AND REPAIR WALLS/CEILINGS AS REQUIRED.
 5. REPLACE CORRODED / RUSTED VENTS AND DIFFUSERS IN BACK OF HOUSE AREAS.

DEMOLITION RCP LEGEND:

	ITEMS TO BE REMOVED.
--	----------------------

FAIRFIELD INN & SUITES
 2400 North Roosevelt Boulevard, Key West, Florida 33040
COMMERCIAL RENOVATION

PLOTTED: 3/4/2014 11:15 AM

Drawing Size: 24x36 Project #: MK-13.157

Drawn By: JHH Checked By: ADS

Title:
ENLARGED DEMO
CEILING PLAN -
PUBLIC AREAS -
BUILDING A & B - FLOOR 1

Sheet Number:

AD4.2.5

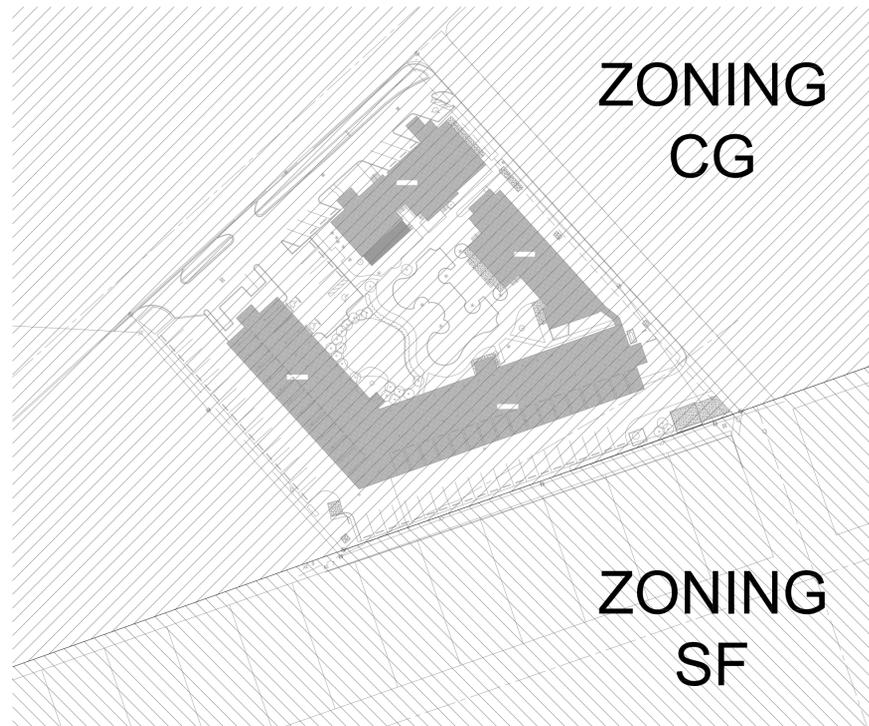
Date: March 03, 2014

©2014 by k2m Design, Inc.

NOTES:

- REFER TO A1.1.3 FOR GENERAL SITE AND SITE DEMO NOTES.
- REFER TO A1.1.1 AND A1.1.2 FOR OVERALL 1ST AND 2ND FLOOR PLANS.
- CONTRACTOR TO CONFIRM LOCATION OF SOUTHERN PROPERTY LINE. NEW FENCELINE IS NOT TO EXTEND OVER THE PROPERTY LINE AT ANY POINT.

ARCHITECT:
K2M DESIGN
 Architecture, Interior Design,
 Procurement,
 Owner Representation,
 Specialty Consulting
 1001 Whitehead St., Unit 101
 Key West, Florida 33040
 Tel: 305-294-4011
 Fax: 305-292-2162
 Email: info@k2mdesign.com
 URL: www.k2mdesign.com
 URM: www.k2m.com
 Building Relationships
 Based on Trust and Results
 Cleveland | Key West | Charlotte | Baltimore
 Architect:



02 ZONING DISTRICTS
 A1.1.0 SCALE: N.T.S

PROJECT STATISTICS:

	CODE REQUIREMENT	EXISTING	PROPOSED	VARIANCE REQUESTED
ZONING	CG			
FLOOD ZONE	AE EL 8			
SIZE OF SITE	87,921.5 SF			
HEIGHT	30'-0"	34'-4"	34'-4"	NO CHANGE
SETBACK 1: FRONT	25'-0"	34'-7"	34'-7"	NO CHANGE
SETBACK 2: RIGHT SIDE SETBACK	20'-0"	17'-6"	17'-6"	NO CHANGE
SETBACK 3: LEFT SIDE SETBACK	15'-0"	39'-1"	39'-1"	NO CHANGE
SETBACK 4: REAR SETBACK	25'-0"	39'-4"	39'-4"	NO CHANGE
FLOOR AREA RATIO	.8	0.60	0.60	NO CHANGE
BUILDING COVERAGE	40% (35,168.6 SF)	32.7% (28,809.5 SF)	33.1% (29,117.5 SF)	COMPLIANT
IMPERVIOUS SURFACE	60% (52,752.9 SF)	79.7% (70,090.39 SF)	78.7% (69,219.8 SF)	IMPROVING

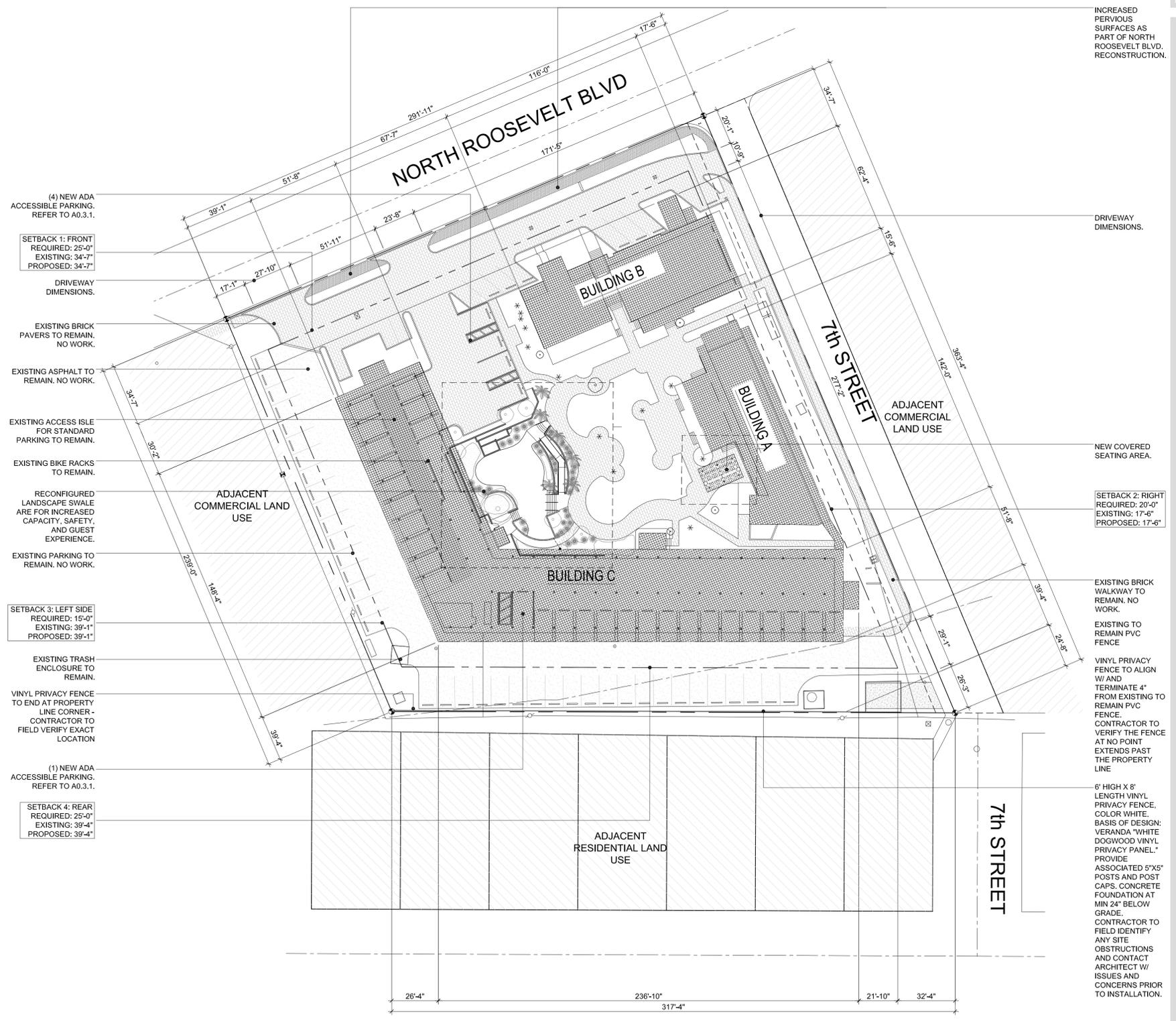
PARKING:

	CODE REQUIREMENT	EXISTING	PROPOSED	VARIANCE REQUESTED
CAR (STANDARD)	112-1 SPACE PER LODGING UNIT PLUS 1 SPACE FOR OWNER OR MANAGER.	78	76	*REDUCING
CAR (HANDICAP)	5-1 PER 25 STANDARD PROVIDED	4	5	IMPROVING
ELECTRIC VEHICLES	N/A	N/A	N/A	N/A
SCOOTER	N/A	4	4	NO CHANGE
BICYCLE	39-35% OF STANDARD PROVIDED	20	20	NO CHANGE

SITE PLAN LEGEND

	BUILDING COVERAGE
	EXISTING CONCRETE
	EXISTING ASPHALT
	EXISTING BRICK PAVEMENT

*IN ORDER TO PROVIDE THE CURRENT REQUIRED ADA SPACES TWO STANDARD PARKING SPACES NEEDED TO BE REMOVED.



Seal:
 Consultants:
 Submissions:
 MARCH 03, 2014 - MINOR DEVELOPMENT SUBMISSION

FAIRFIELD INN & SUITES
 2400 North Roosevelt Boulevard, Key West, Florida 33040
COMMERCIAL RENOVATION

PLOTTED: 3/4/2014 11:16 AM
 Drawing Size: 24x36 Project #: MK-13 157
 Drawn By: BLA Checked By: ADS

Title:
OVERALL SITE PLAN

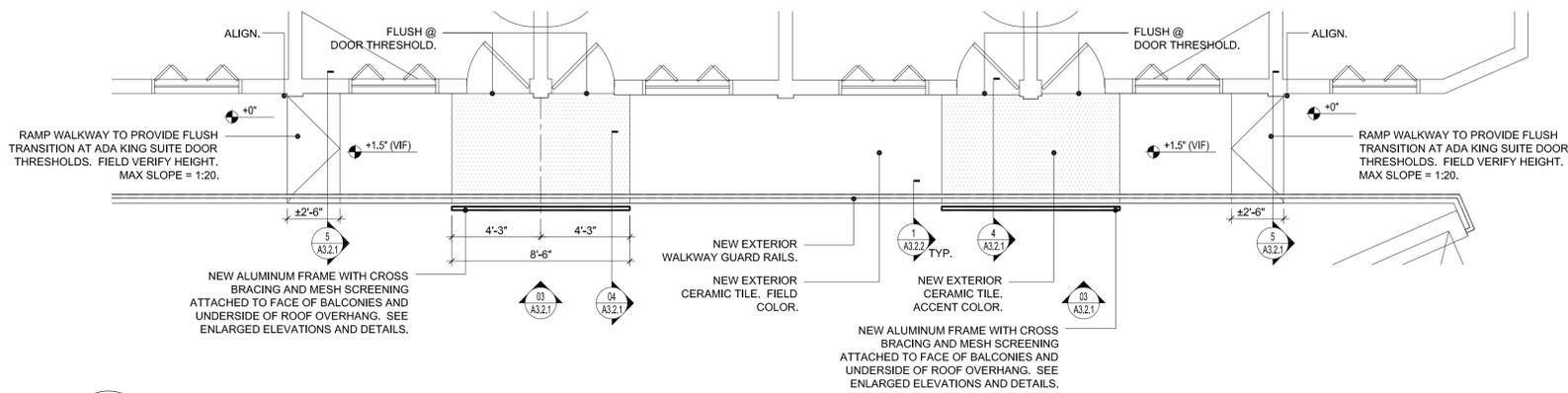
Sheet Number:

A1.1.0

Date: March 03, 2014
 ©2014 by K2m Design, Inc.

01 OVERALL SITE PLAN
 A1.1.0 SCALE: 1/32" = 1'-0"





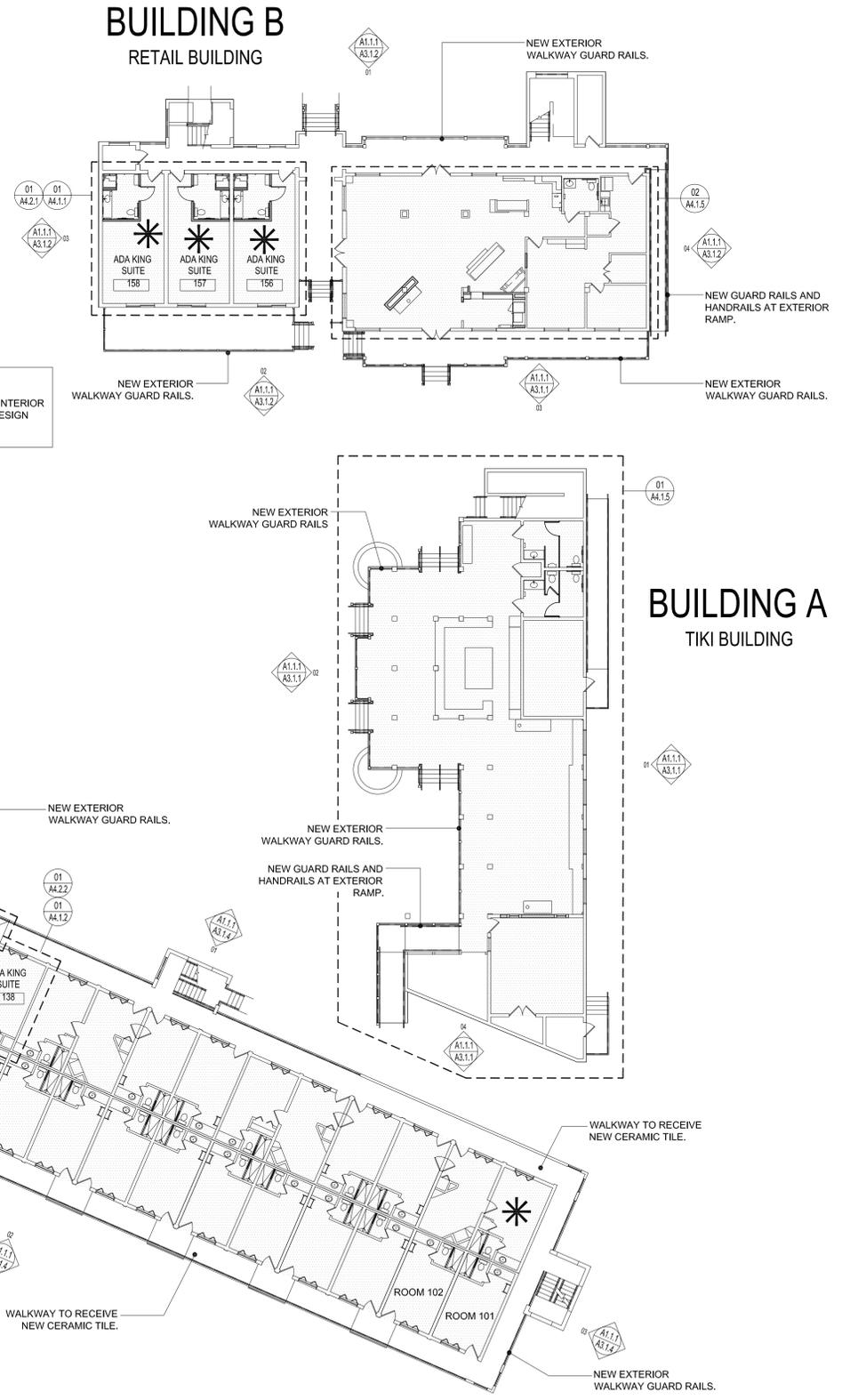
02
A1.1.1 **SECOND FLOOR - ENLARGED RAMPED WALKWAY PLAN**
 SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES:

1. ALL EXTERIOR GUARD RAILS TO BE REPLACED WITH NEW - EXCEPT AT STAIRS WHERE THEY ARE TO REMAIN UNLESS NOTED OTHERWISE. CONTRACTOR TO VERIFY AND BRING ISSUES PER WHICH GUARDRAIL IS TO REMAIN IF ISSUES ARISE IN THE FIELD.
2. EXISTING TO REMAIN STAIR GUARD AND HAND RAILS (AND ANY OTHER REMAINING GUARD AND HAND RAILS) ARE TO BE FINISHED TO MATCH NEW GUARDRAILS AND HANDRAILS.
3. REFER TO ID DRAWINGS FOR ADDITIONAL REQUIREMENTS.

GUESTROOMS WITH COMMUNICATION FEATURES: *

1. GUESTROOMS WITH COMMUNICATION FEATURES SHALL BE IDENTIFIED BY THIS SYMBOL (12 TOTAL): *
 - COMMUNICATION FEATURES SHALL INCLUDE:
 - VISUAL AND AUDIBLE NOTIFICATIONS FOR TELEPHONE, FIRE ALARM AND DOOR BELL.



01
A1.1.1 **FIRST FLOOR PLAN**
 SCALE: 1/16" = 1'-0"



Seal:

 Consultants:

 Submissions:
 MARCH 03, 2014 - MINOR DEVELOPMENT SUBMISSION

FAIRFIELD INN & SUITES
 2400 North Roosevelt Boulevard - Key West, Florida 33040
COMMERCIAL RENOVATION

PLOTTED: 3/4/2014 11:17 AM
 Drawing Size: 24x36 Project #: MK-13 157
 Drawn By: J.J.H. Checked By: ADS
 Title: **FIRST FLOOR OVERALL PLAN**
 Sheet Number:
A1.1.1
 Date: March 03, 2014
 ©2014 by k2m Design, Inc.

NOTES:

1. CONTRACTOR TO CONFIRM AND FIELD VERIFY LOCATION OF NEW WALLS DO NOT IMPEDE ON STRUCTURAL BUILDING COLUMNS, DRIVE AISLES, ACCESSIBLE WALKWAYS, BUILDING EQUIPMENT, AND ANY OTHER ITEMS DETRIMENTAL TO THE BUILDING'S FUNCTIONALITY AND ACCESSIBILITY. ALL ISSUES TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT IMMEDIATELY.
2. EXISTING SWALE CAPACITY IS 3163.72 CUBIC FEET. PROPOSED SWALE CAPACITY IS 3598.39 CUBIC FEET. INCREASED CAPACITY WAS CALCULATED BY 870.59 CUBIC FEET ADDED PERVIOUS SURFACE TIMES 2.5 INCHES EQUALING 3238.72 CUBIC FEET.

WALL KEY:

-  CMU WALL WITH STUCCO FINISH.
-  STAMPED CONCRETE WALL.

ARCHITECT:

K2M DESIGN

Architecture, Interior Design,
Procurement,
Owner Representation,
Specialty Consulting

1001 Whitehead St., Unit 101
Key West, Florida 33040
Tel: 305-294-4011
Fax: 305-292-2162
Email: info@k2mdesign.com
URL: www.k2mdesign.com
URM: www.k2m.com
Building Relationships
Based on Trust and Results
Cleveland | Key West | Charlotte | Baltimore

Seal:

Consultants:

Submissions:

DATE	DESCRIPTION
MARCH 03, 2014 - MINOR DEVELOPMENT SUBMISSION	

FAIRFIELD INN & SUITES
2400 North Roosevelt Boulevard, Key West, Florida 33040
COMMERCIAL RENOVATION

PLOTTED: 3/4/2014 11:18 AM

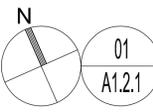
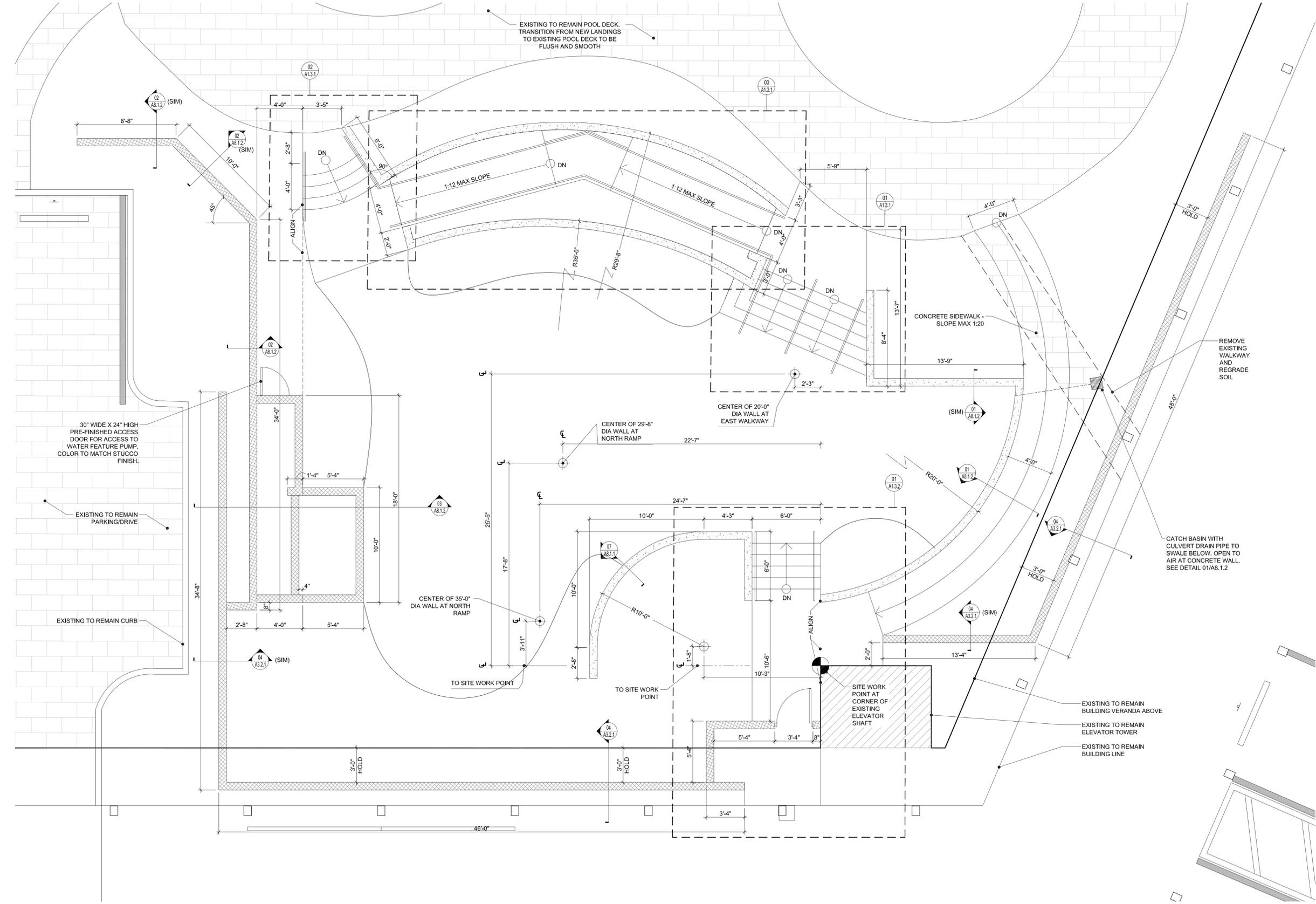
Drawing Size	Project #:
24x36	MK-13 157
Drawn By:	Checked By:
BLA	ADS

Title:
SITE PLAN

Sheet Number:

A1.2.1

Date: March 03, 2014
©2014 by K2m Design, Inc.



01 SITE PLAN @ BUILDING C

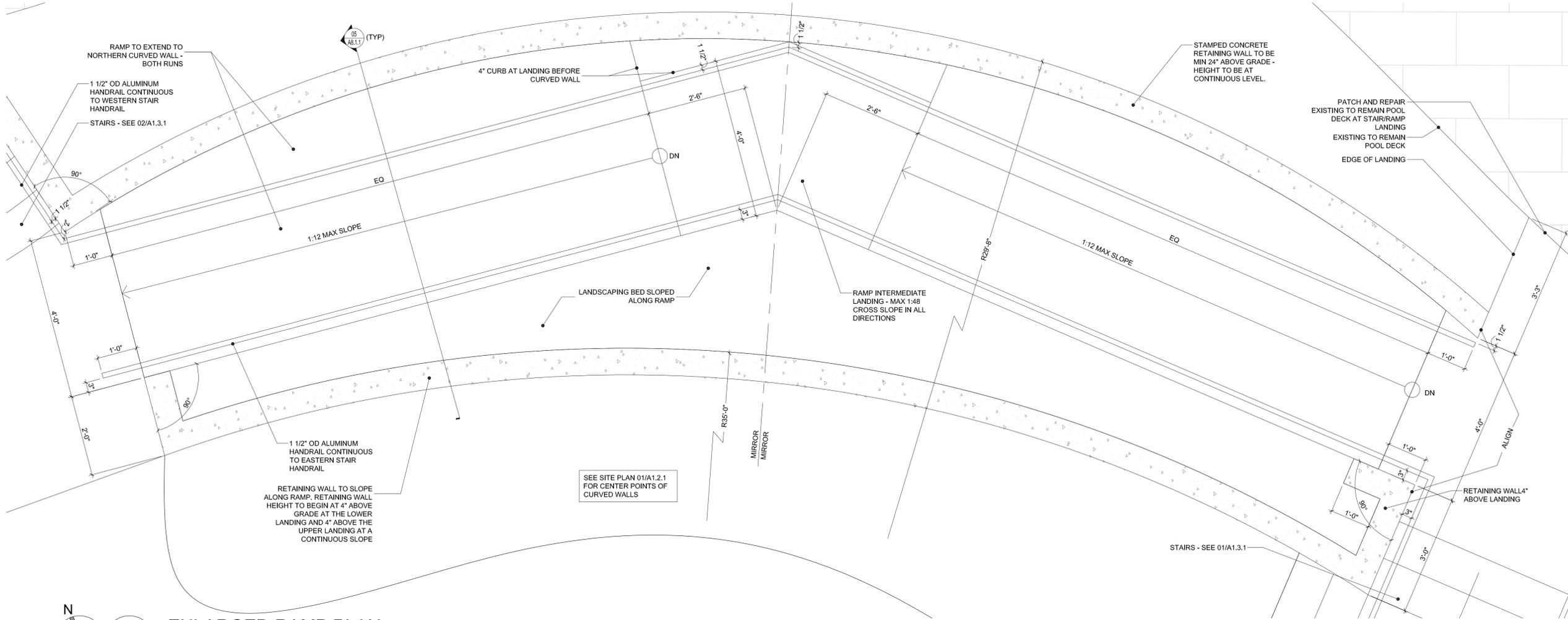
SCALE: 1/4" = 1'-0"

Seal:

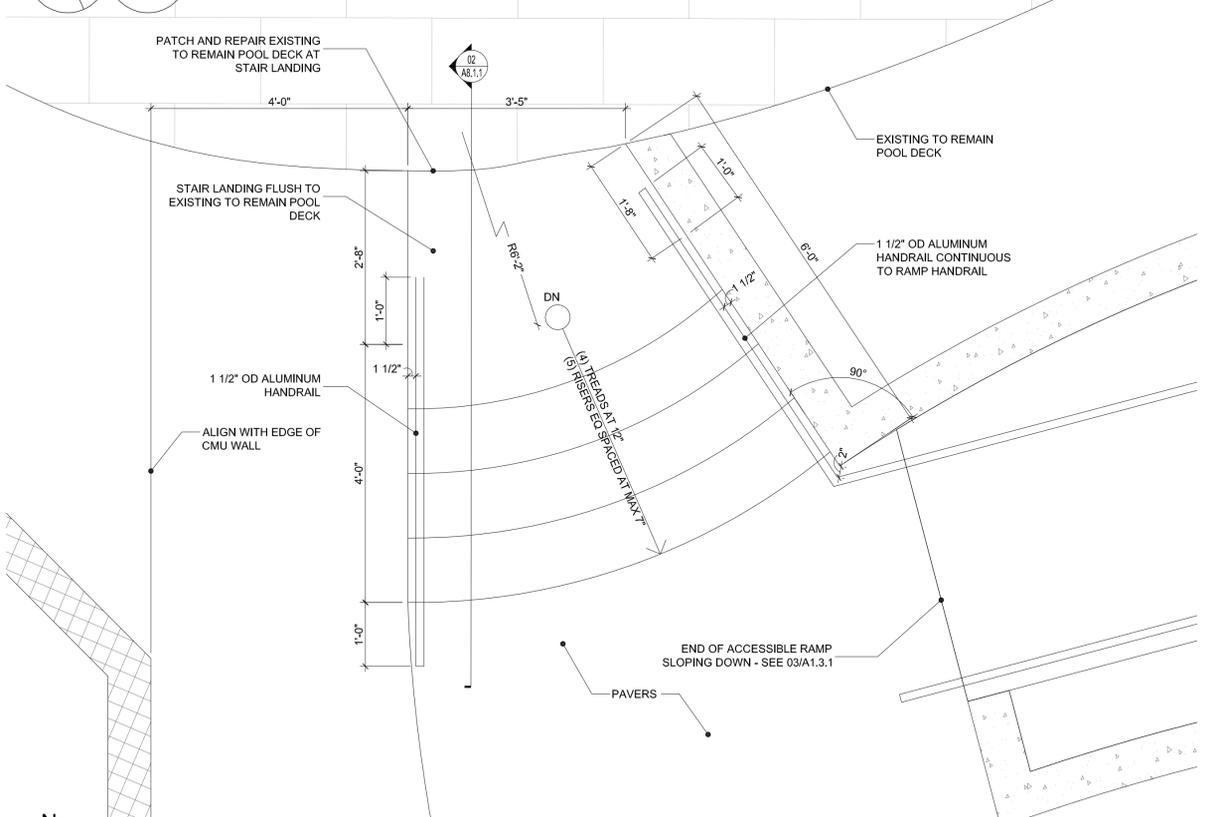
Consultants:

Submissions:

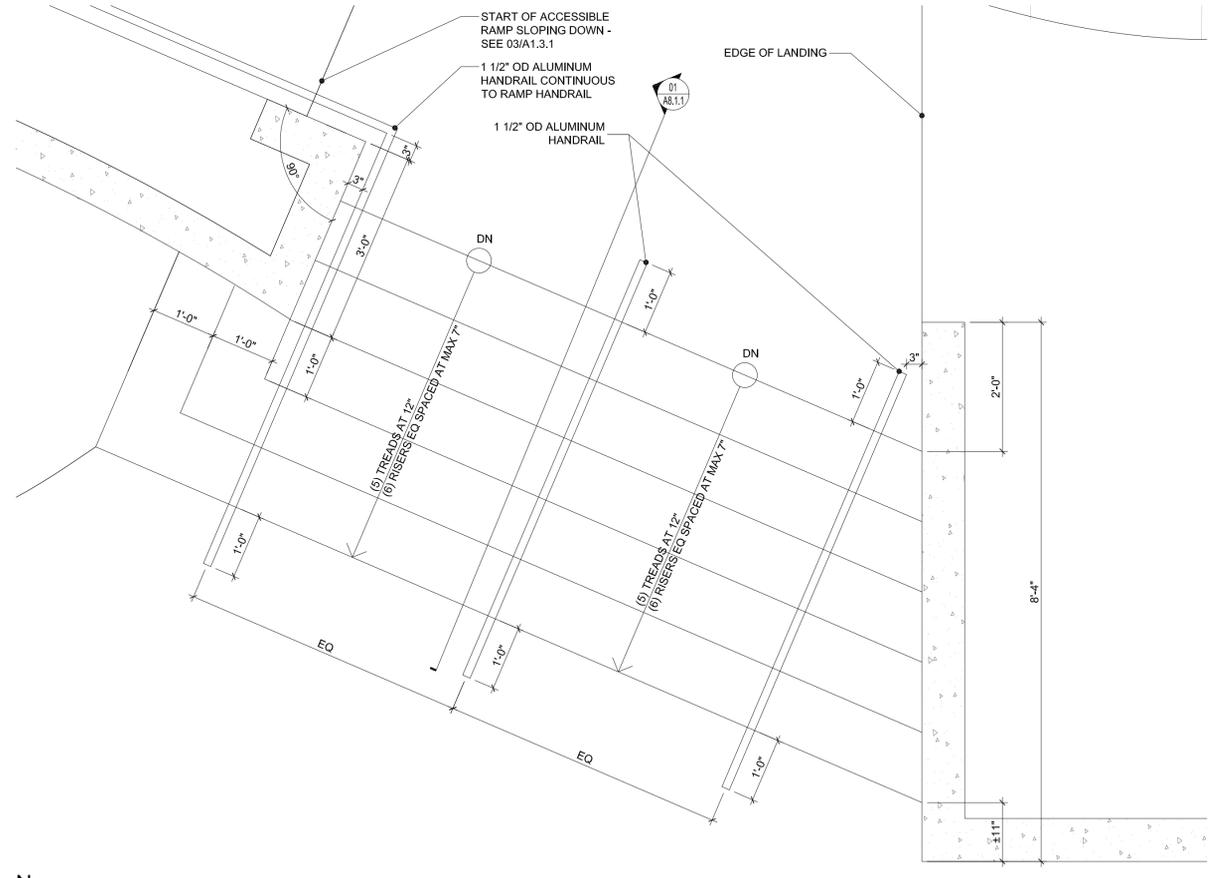
MARCH 03, 2014 - MINOR DEVELOPMENT SUBMISSION



03
A1.3.1
ENLARGED RAMP PLAN
SCALE: 3/4" = 1'-0"



02
A1.3.1
ENLARGED STAIR PLAN
SCALE: 3/4" = 1'-0"



01
A1.3.1
ENLARGED STAIR PLAN
SCALE: 3/4" = 1'-0"



FAIRFIELD INN & SUITES
2400 North Roosevelt Boulevard, Key West, Florida 33040
COMMERCIAL RENOVATION

PLOTTED: 3/4/2014 11:19 AM

Drawing Size Project #:

24x36 MK-13.157

Drawn By: Checked By:

BLA ADS

Title:

ENLARGED SITE PLANS

Sheet Number:

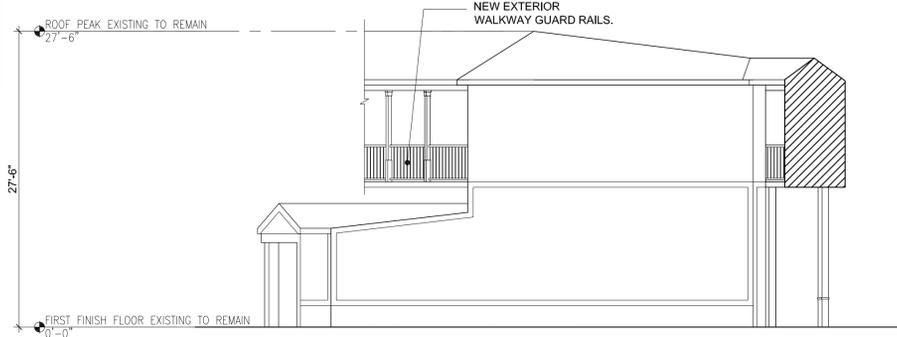
A1.3.1

Date: March 03, 2014

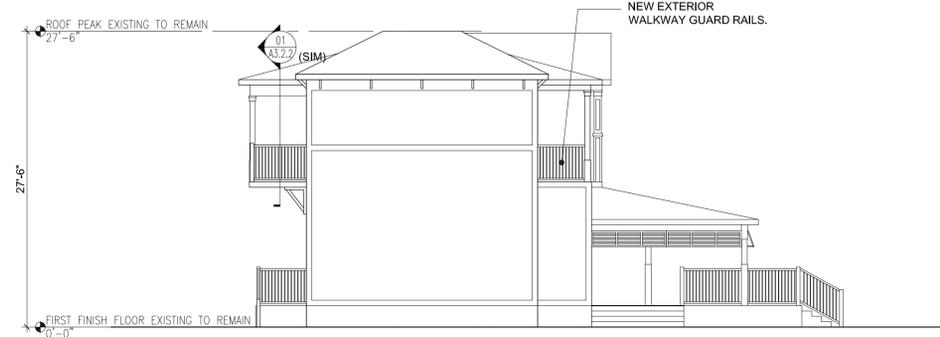
©2014 by k2m Design, Inc.

NOTES:

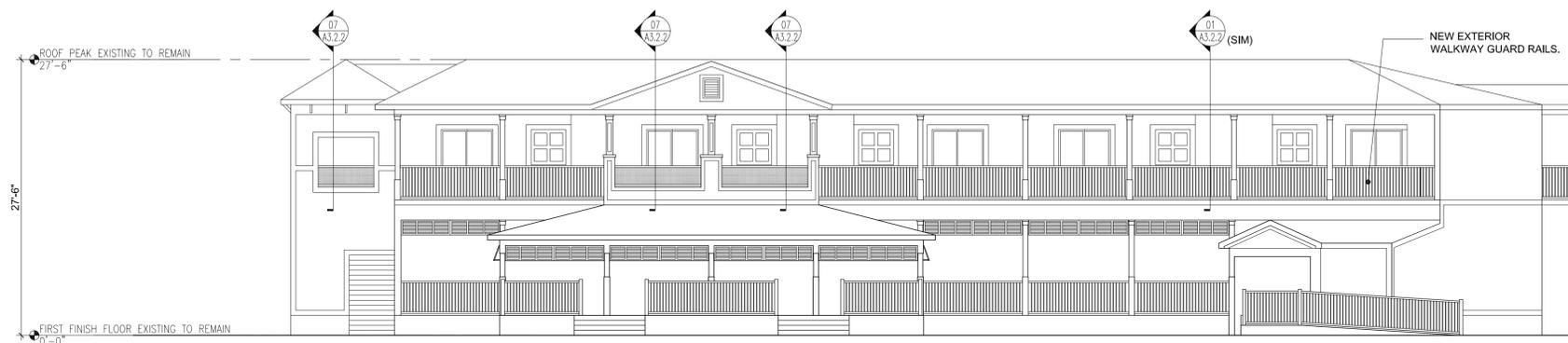
1. ALL EXTERIOR GUARD RAILS TO BE REPLACED WITH NEW - EXCEPT AT STAIRS WHERE THEY ARE TO REMAIN UNLESS NOTED OTHERWISE. CONTRACTOR TO VERIFY AND BRING ISSUES PER WHICH GUARDRAIL IS TO REMAIN IF ISSUES ARISE IN THE FIELD.
2. EXISTING TO REMAIN STAIR GUARD AND HAND RAILS (AND ANY OTHER REMAINING GUARD AND HAND RAILS) ARE TO BE FINISHED TO MATCH NEW GUARDRAILS AND HANDRAILS.



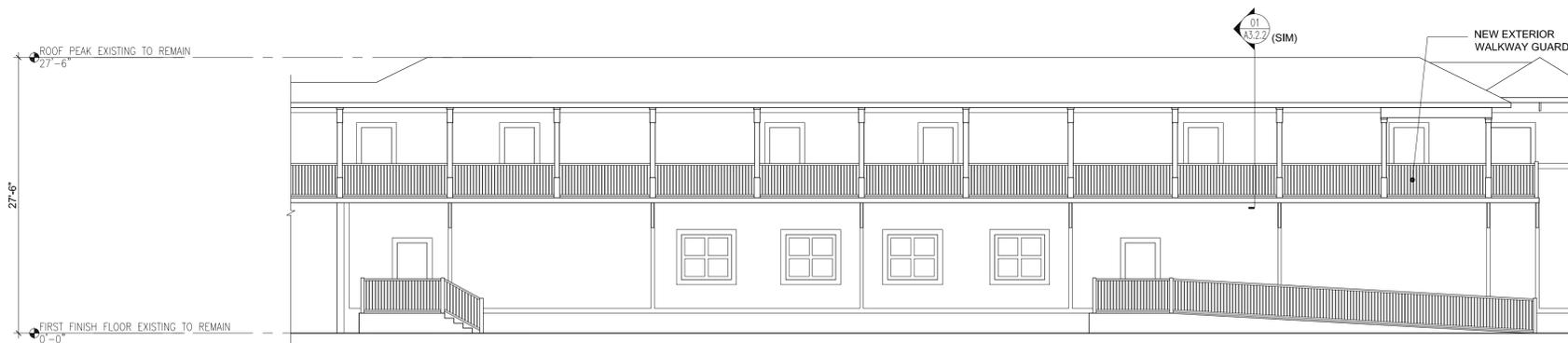
04
A3.1.1 SOUTH ELEVATION - BUILDING A
SCALE: 1/8" = 1'-0"



03
A3.1.1 NORTH ELEVATION - BUILDING A
SCALE: 1/8" = 1'-0"



02
A3.1.1 WEST ELEVATION - BUILDING A
SCALE: 1/8" = 1'-0"



01
A3.1.1 EAST ELEVATION - BUILDING A
SCALE: 1/8" = 1'-0"



Seal:

Consultants:

Submissions:

MARCH 03, 2014 - MINOR DEVELOPMENT SUBMISSION

FAIRFIELD INN & SUITES
2400 North Roosevelt Boulevard, Key West, Florida 33040
COMMERCIAL RENOVATION

PLOTTED: 3/4/2014 11:21 AM

Drawing Size: 24x36 Project #: MK-13 157

Drawn By: JH Checked By: ADS

Title:
EXTERIOR ELEVATIONS - BUILDING A

Sheet Number:

A3.1.1

Date: March 03, 2014

©2014 by k2m Design, Inc.

Seal:

Consultants:

Submissions:

MARCH 03, 2014 - MINOR DEVELOPMENT SUBMISSION

FAIRFIELD INN & SUITES
2400 North Roosevelt Boulevard, Key West, Florida 33040
COMMERCIAL RENOVATION

PLOTTED: 3/4/2014 11:23 AM

Drawing Size: 24x36 Project #: MK-13 157

Drawn By: JH Checked By: ADS

Title:
EXTERIOR ELEVATIONS - BUILDING C

Sheet Number:

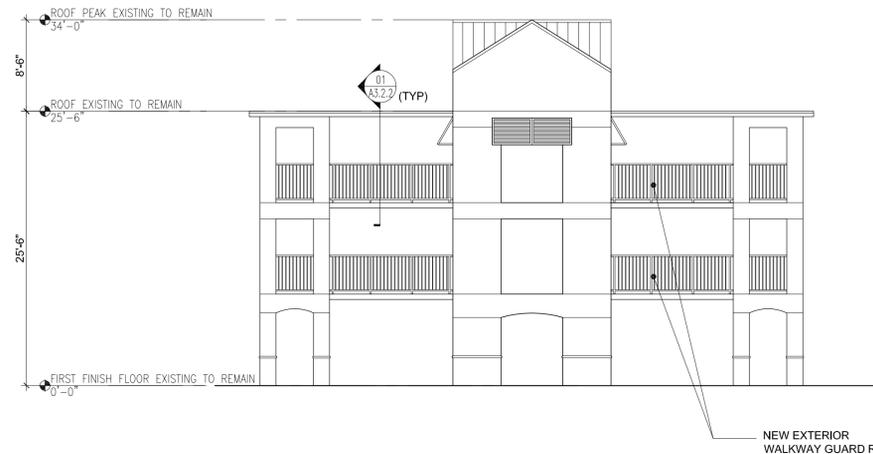
A3.1.4

Date: March 03, 2014

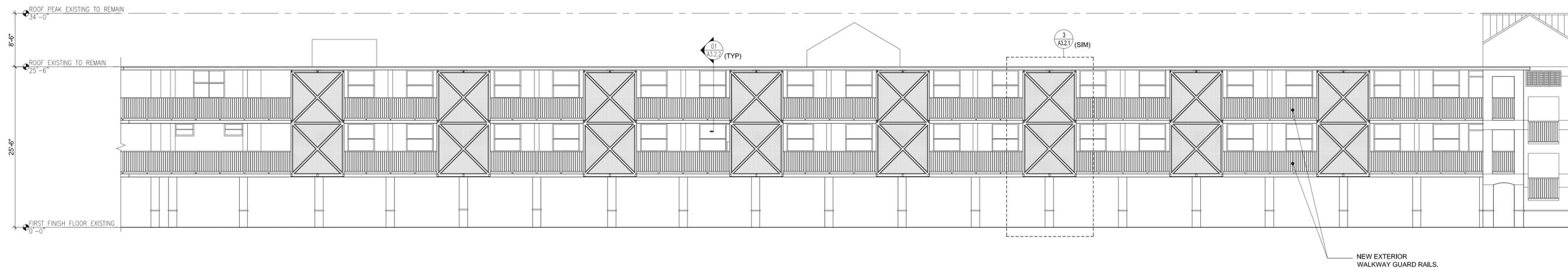
©2014 by k2m Design, Inc.

NOTES:

1. ALL EXTERIOR GUARD RAILS TO BE REPLACED WITH NEW - EXCEPT AT STAIRS WHERE THEY ARE TO REMAIN UNLESS NOTED OTHERWISE. CONTRACTOR TO VERIFY AND BRING ISSUES PER WHICH GUARDRAIL IS TO REMAIN IF ISSUES ARISE IN THE FIELD.
2. EXISTING TO REMAIN STAIR GUARD AND HAND RAILS (AND ANY OTHER REMAINING GUARD AND HAND RAILS) ARE TO BE FINISHED TO MATCH NEW GUARDRAILS AND HANDRAILS.



03
A3.1.4 **SOUTHEAST EXTERIOR ELEVATION-BUILDING C**
SCALE: 1/8" = 1'-0"



02
A3.1.4 **SOUTH EXTERIOR ELEVATION-BUILDING C**
SCALE: 1/8" = 1'-0"



01
A3.1.4 **EAST EXTERIOR ELEVATION-BUILDING C**
SCALE: 1/8" = 1'-0"



Seal:

Consultants:

Submissions:

MARCH 03, 2014 - MINOR DEVELOPMENT SUBMISSION

FAIRFIELD INN & SUITES
2400 North Roosevelt Boulevard, Key West, Florida 33040
COMMERCIAL RENOVATION

PLOTTED: 3/4/2014 11:29 AM

Drawing Size: 24x36 Project #: MK-13 157

Drawn By: JHH Checked By: ABS

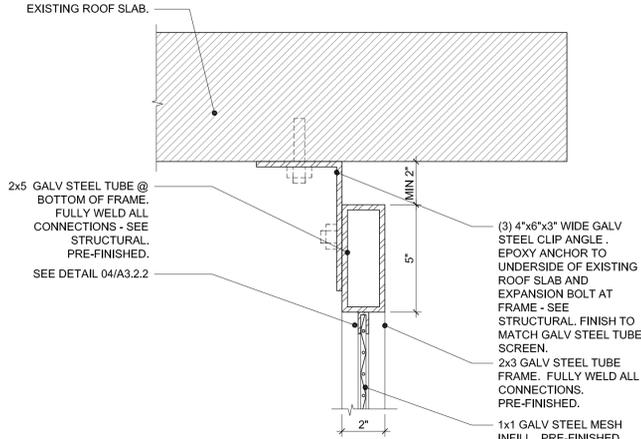
Title: ENLARGED ELEVATIONS & SECTIONS

Sheet Number:

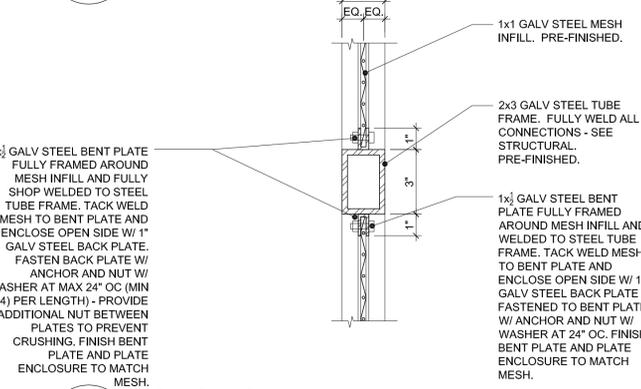
A3.2.2

Date: March 03, 2014

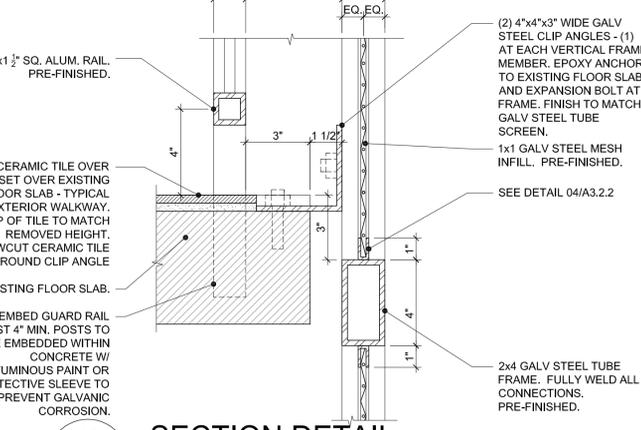
©2014 by k2m Design, Inc.



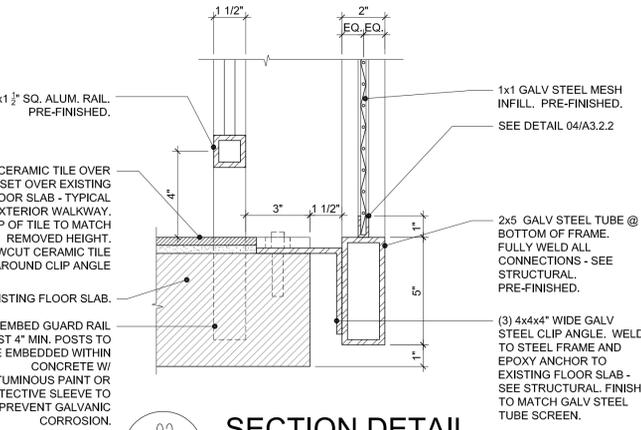
05 SECTION DETAIL
A3.2.2 SCALE: 3" = 1'-0"



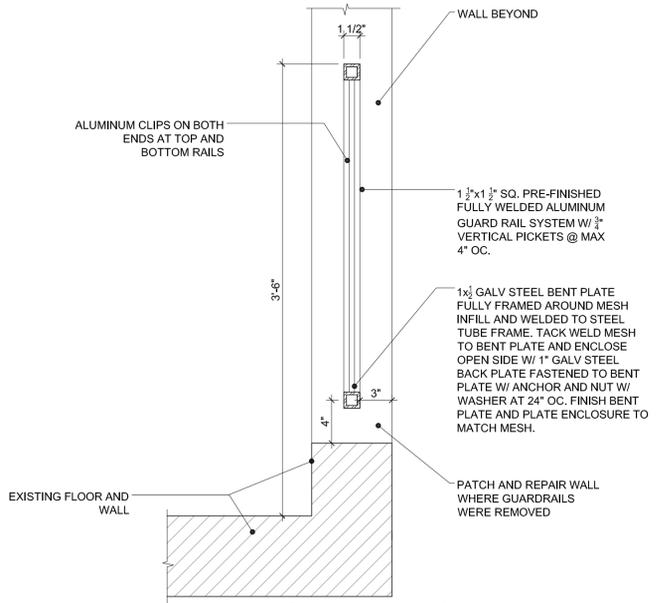
04 SECTION DETAIL
A3.2.2 SCALE: 3" = 1'-0"



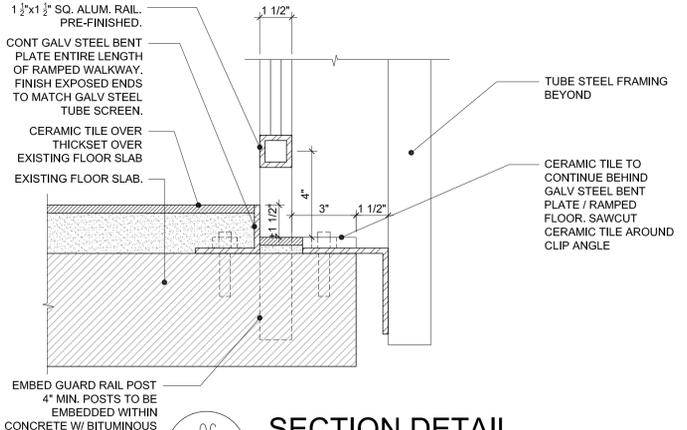
03 SECTION DETAIL
A3.2.2 SCALE: 3" = 1'-0"



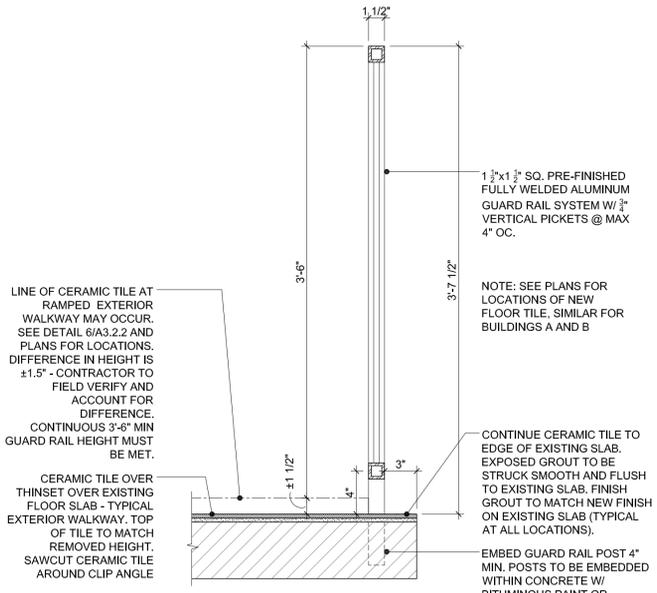
02 SECTION DETAIL
A3.2.2 SCALE: 3" = 1'-0"



MESH INFILL GUARDRAIL SECTION DETAIL
07 A3.2.2 SCALE: 1 1/2" = 1'-0"



SECTION DETAIL
06 A3.2.2 SCALE: 3" = 1'-0"



TYPICAL BUILDING C GUARDRAIL SECTION DETAIL
01 A3.2.2 SCALE: 1 1/2" = 1'-0"

LINE OF CERAMIC TILE AT RAMPED EXTERIOR WALKWAY MAY OCCUR. SEE DETAIL 04/A3.2.2 AND PLANS FOR LOCATIONS. DIFFERENCE IN HEIGHT IS ±1.5" - CONTRACTOR TO FIELD VERIFY AND ACCOUNT FOR DIFFERENCE. CONTINUOUS 3'-6" MIN GUARD RAIL HEIGHT MUST BE MET.

CERAMIC TILE OVER THINSET OVER EXISTING FLOOR SLAB - TYPICAL EXTERIOR WALKWAY. TOP OF TILE TO MATCH REMOVED HEIGHT. SAWCUT CERAMIC TILE AROUND CLIP ANGLE

NOTE: SEE PLANS FOR LOCATIONS OF NEW FLOOR TILE. SIMILAR FOR BUILDINGS A AND B

CONTINUE CERAMIC TILE TO EDGE OF EXISTING SLAB. EXPOSED GROUT TO BE STRUCK SMOOTH AND FLUSH TO EXISTING SLAB. FINISH GROUT TO MATCH NEW FINISH ON EXISTING SLAB (TYPICAL AT ALL LOCATIONS).

EMBED GUARD RAIL POST 4" MIN. POSTS TO BE EMBEDDED WITHIN CONCRETE W/ BITUMINOUS PAINT OR PROTECTIVE SLEEVE TO PREVENT GALVANIC CORROSION.

EMBED GUARD RAIL POST 4" MIN. POSTS TO BE EMBEDDED WITHIN CONCRETE W/ BITUMINOUS PAINT OR PROTECTIVE SLEEVE TO PREVENT GALVANIC CORROSION.

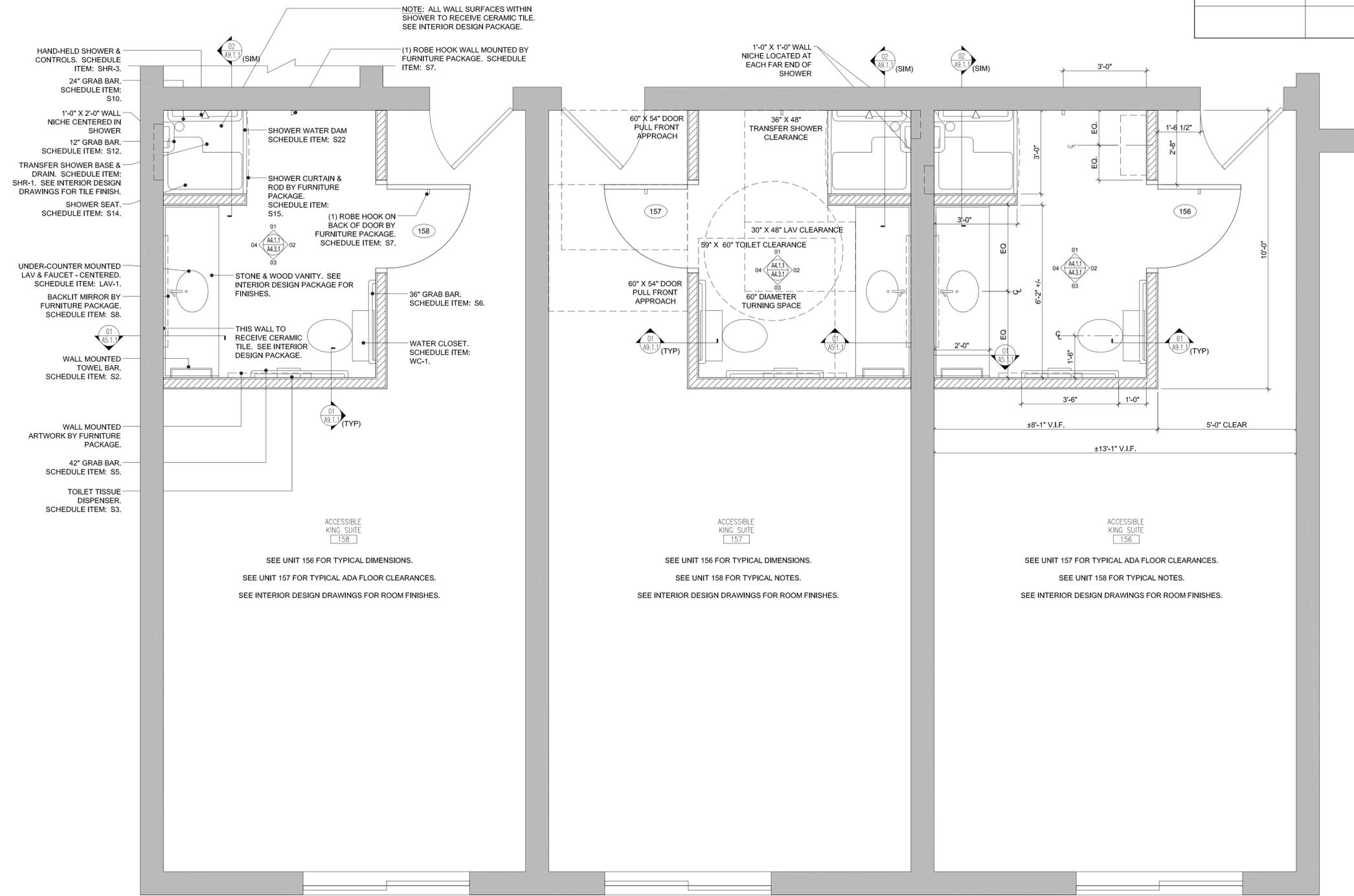
EMBED GUARD RAIL POST 4" MIN. POSTS TO BE EMBEDDED WITHIN CONCRETE W/ BITUMINOUS PAINT OR PROTECTIVE SLEEVE TO PREVENT GALVANIC CORROSION.

FLOOR PLAN NOTES:

1. PATCH AND REPAIR ALL WALLS, FLOORS, AND CEILING SUBSTRATES ADJACENT TO DEMO AND ADJACENT TO NEW WORK.
2. SEE A6.1.1 FOR SCHEDULES

FLOOR PLAN LEGEND:

	EXISTING WALL TO REMAIN.
	NEW FRAMED WALL.
	EXISTING DOOR TO REMAIN.
	DOOR. REFER TO DOOR SCHEDULE A6.1.1.
	DOOR NUMBER. REFER TO DOOR SCHEDULE A6.1.1.



Seal:

Consultants:

Submissions:

MARCH 03, 2014 - MNOR DEVELOPMENT SUBMISSION

FAIRFIELD INN & SUITES
2400 North Roosevelt Boulevard, Key West, Florida 33040
COMMERCIAL RENOVATION

PLOTTED: 3/4/2014 11:28 AM

Drawing Size: 24x36	Project #: MK-13 157
Drawn By: JH	Checked By: ADS

Title:
ENLARGED FLOOR PLAN- ACCESSIBLE KING SUITES BUILDING B-FLOOR 1

Sheet Number:

A4.1.1

Date: March 03, 2014
©2014 by k2m Design, Inc.

**BATHROOM TYPE C-7
ENLARGED FLOOR PLAN - ACCESSIBLE KING SUITES 156-158 - BUILDING B - FLOOR 1**

01
A4.1.1

SCALE: 1/2" = 1'-0"



Seal:

Consultants:

Submissions:

MARCH 03, 2014 - MINOR DEVELOPMENT SUBMISSION

FAIRFIELD INN & SUITES
2400 North Roosevelt Boulevard, Key West, Florida 33040
COMMERCIAL RENOVATION

PLOTTED: 3/4/2014 11:27 AM

Drawing Size 24x36	Project # MK-13 157
Drawn By: JH	Checked By: ADS

Title:
ENLARGED FLOOR PLAN - ADA KING SUITES 135 & 235 BUILDING C

Sheet Number:

A4.1.3

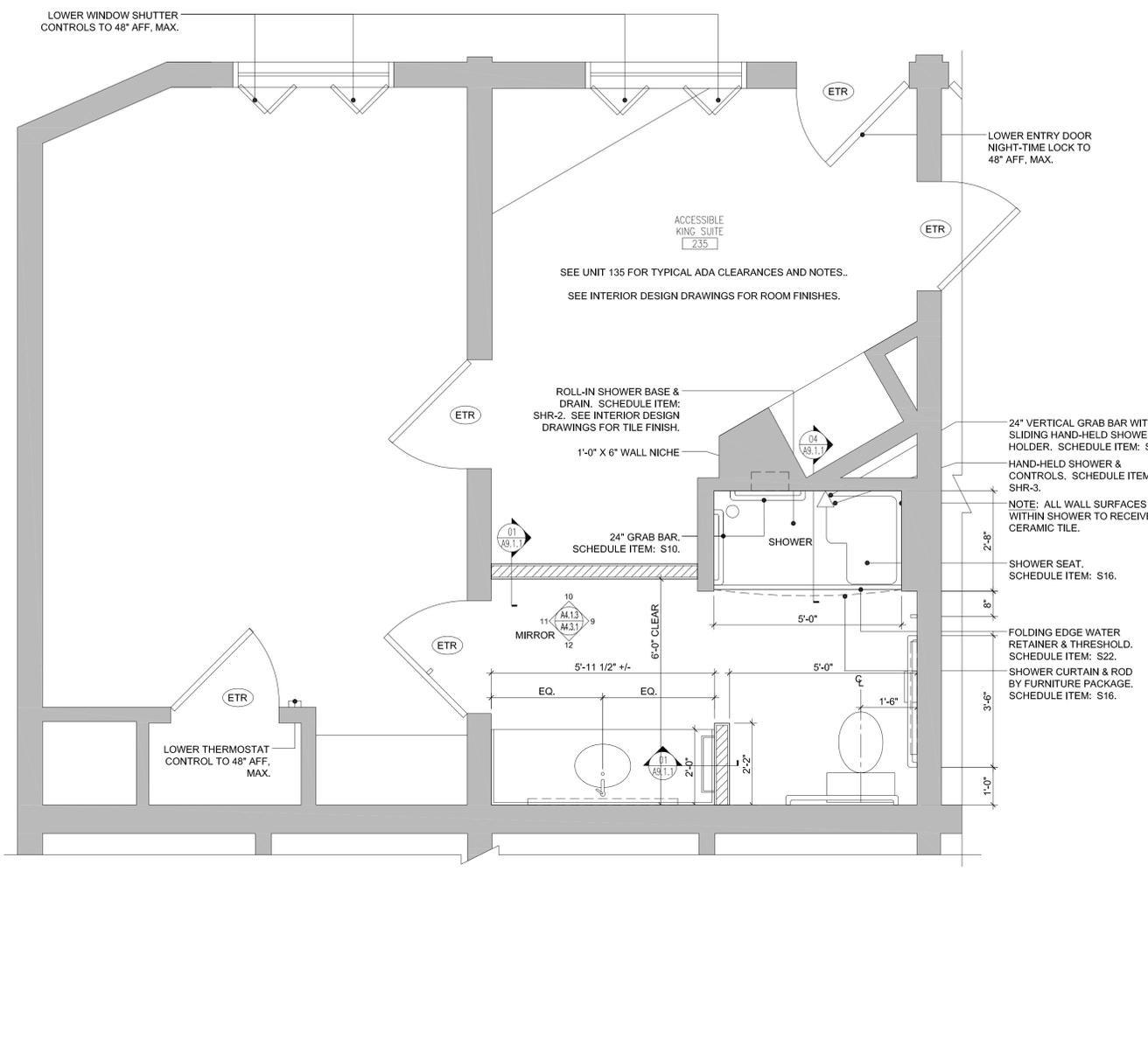
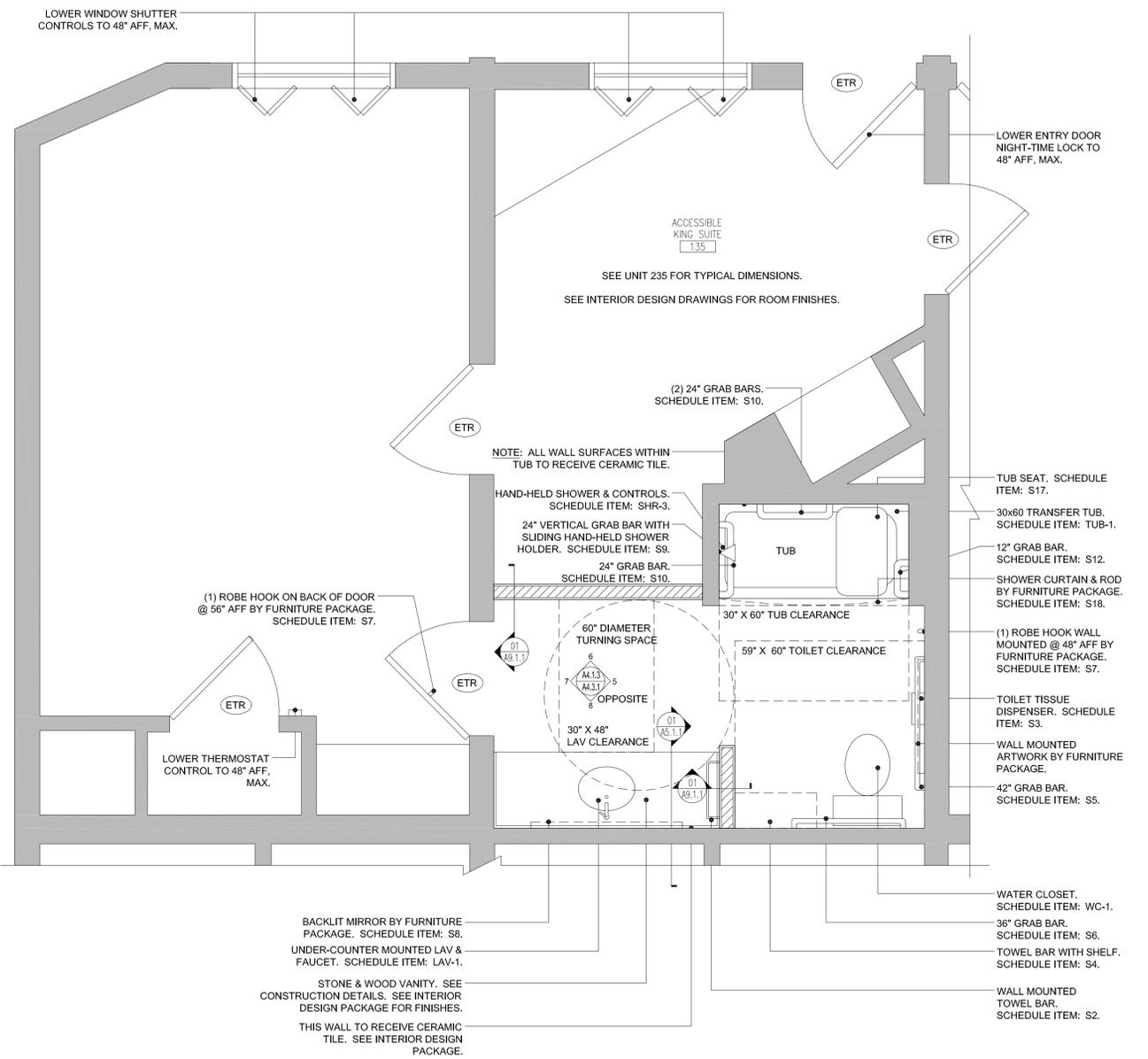
Date: March 03, 2014
©2014 by k2m Design, Inc.

FLOOR PLAN NOTES:

- PATCH AND REPAIR ALL WALLS, FLOORS, AND CEILING SUBSTRATES ADJACENT TO DEMO AND ADJACENT TO NEW WORK.
- SEE A6.1.1 FOR SCHEDULES

FLOOR PLAN LEGEND:

	EXISTING WALL TO REMAIN.
	NEW FRAMED WALL.
	EXISTING DOOR TO REMAIN.
	DOOR. REFER TO DOOR SCHEDULE A6.1.1.
	DOOR NUMBER. REFER TO DOOR SCHEDULE A6.1.1.



ENLARGED FLOOR PLAN - ADA KING SUITE 135 - BUILDING C - FLOOR 1

01
A4.1.3

SCALE: 1/2" = 1'-0"



ENLARGED FLOOR PLAN - ADA KING SUITE 235 - BUILDING C - FLOOR 2

02
A4.1.3

SCALE: 1/2" = 1'-0"



Seal:

Consultants:

Submissions:

MARCH 03, 2014 - MINOR DEVELOPMENT SUBMISSION

FAIRFIELD INN & SUITES
2400 North Roosevelt Boulevard, Key West, Florida 33040
COMMERCIAL RENOVATION

PLOTTED: 3/4/2014 11:28 AM

Drawing Size: 24x36 Project #: MK-13 157

Drawn By: JHH Checked By: ADS

Title:
ENLARGED FLOOR PLAN - PUBLIC RESTROOMS - BUILDING A & B

Sheet Number:

A4.1.4

Date: March 03, 2014

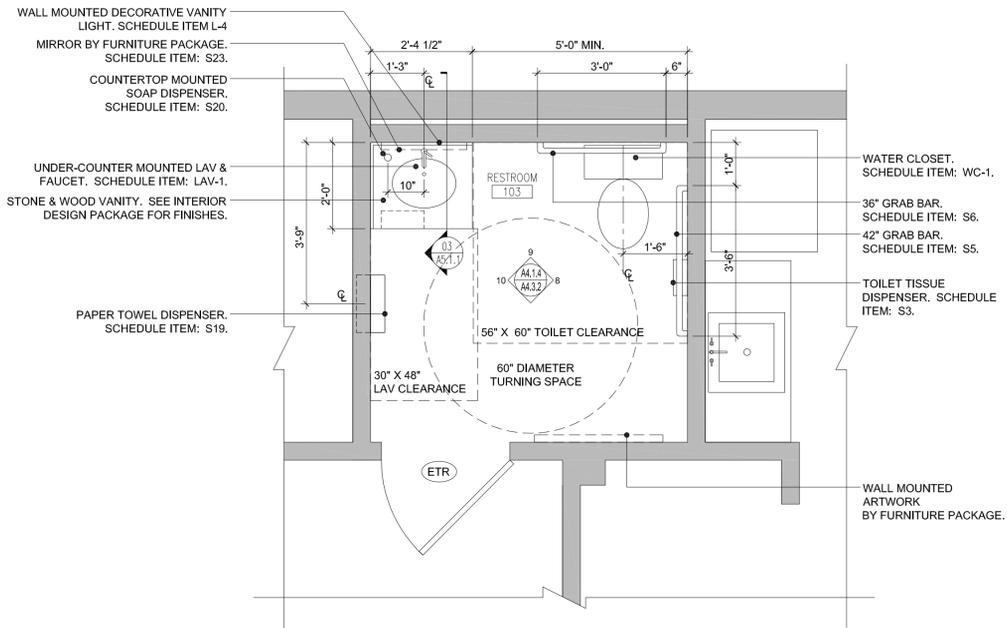
©2014 by k2m Design, Inc.

FLOOR PLAN NOTES:

1. PATCH AND REPAIR ALL WALLS, FLOORS, AND CEILING SUBSTRATES ADJACENT TO DEMO AND ADJACENT TO NEW WORK.
2. SEE A6.1.1 FOR SCHEDULES

FLOOR PLAN LEGEND:

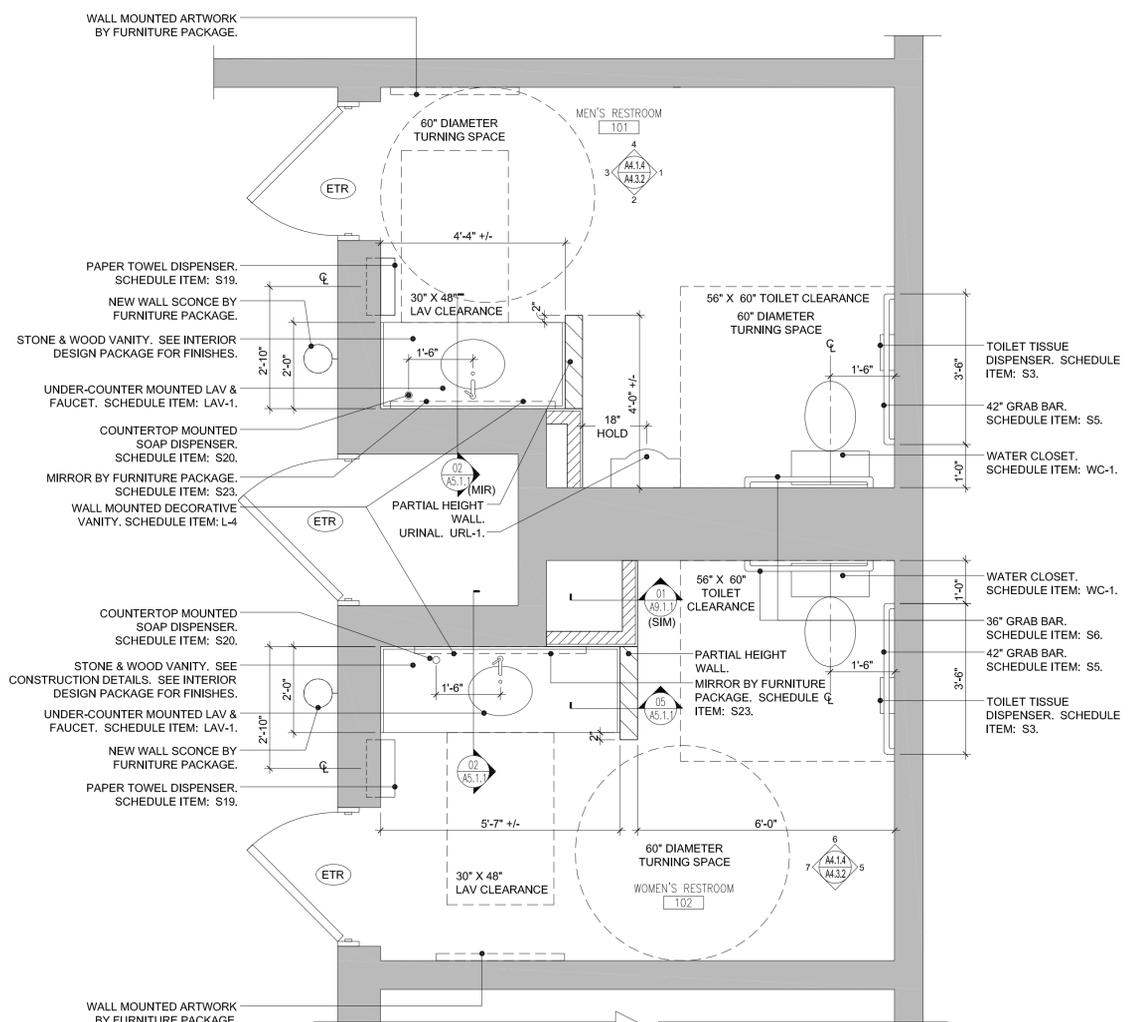
	EXISTING WALL TO REMAIN.
	NEW FRAMED WALL.
	EXISTING DOOR TO REMAIN.
	DOOR. REFER TO DOOR SCHEDULE A6.1.1.
	DOOR NUMBER. REFER TO DOOR SCHEDULE A6.1.1.
	NEW PARTIAL HEIGHT WALL



02
A4.1.4

ENLARGED FLOOR PLAN - PUBLIC RESTROOMS - BUILDING B - FLOOR 1

SCALE: 1/2" = 1'-0"



01
A4.1.4

ENLARGED FLOOR PLAN - PUBLIC RESTROOMS - BUILDING A - FLOOR 1

SCALE: 1/2" = 1'-0"



Seal:
Consultants:

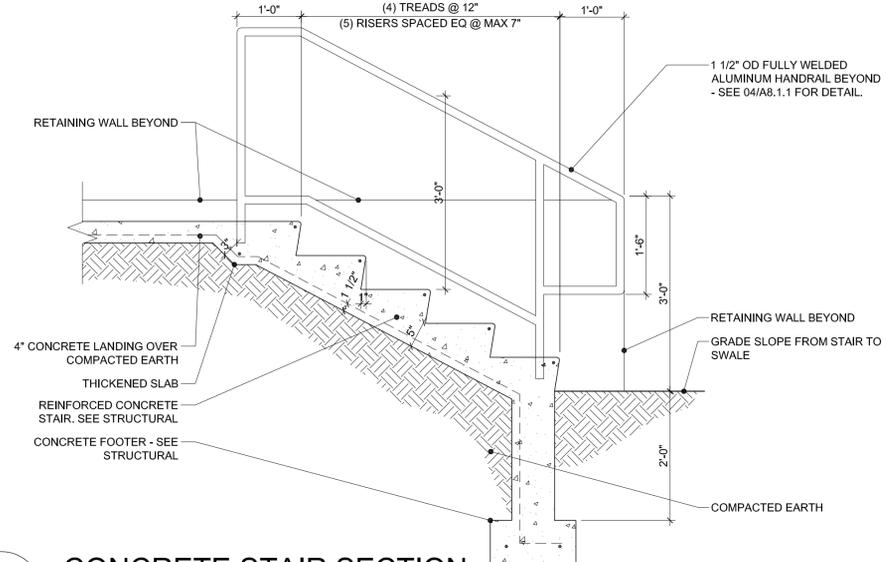
Submissions:
MARCH 03, 2014 - MKR DEVELOPMENT SUBMISSION

FAIRFIELD INN & SUITES
2400 North Roosevelt Boulevard, Key West, Florida 33040
COMMERCIAL RENOVATION

PLOTTED: 3/4/2014 11:25 AM
Drawing Size: 24x36 Project #: MK-13 157
Drawn By: Checked By: ADS

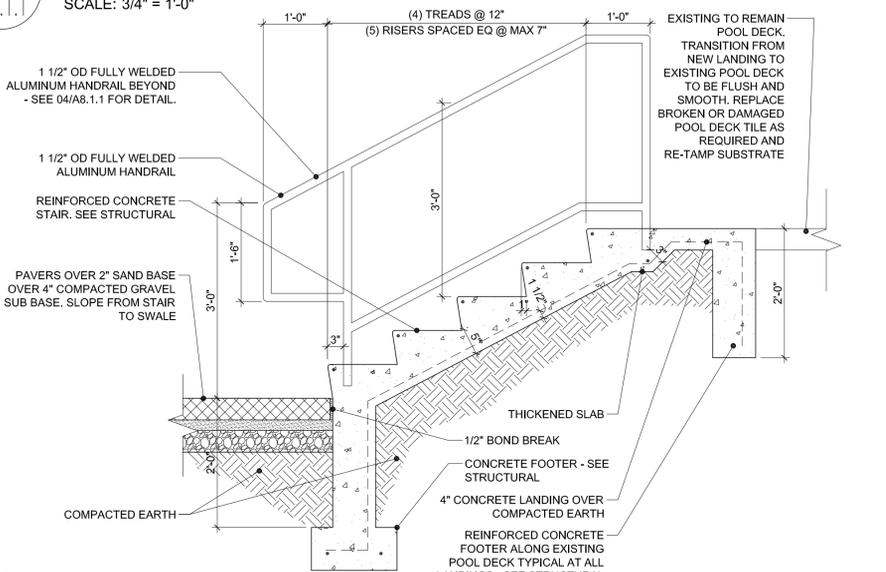
Title: **EXTERIOR DETAILS**

Sheet Number:
A8.1.1
Date: March 03, 2014
©2014 by k2m Design, Inc.



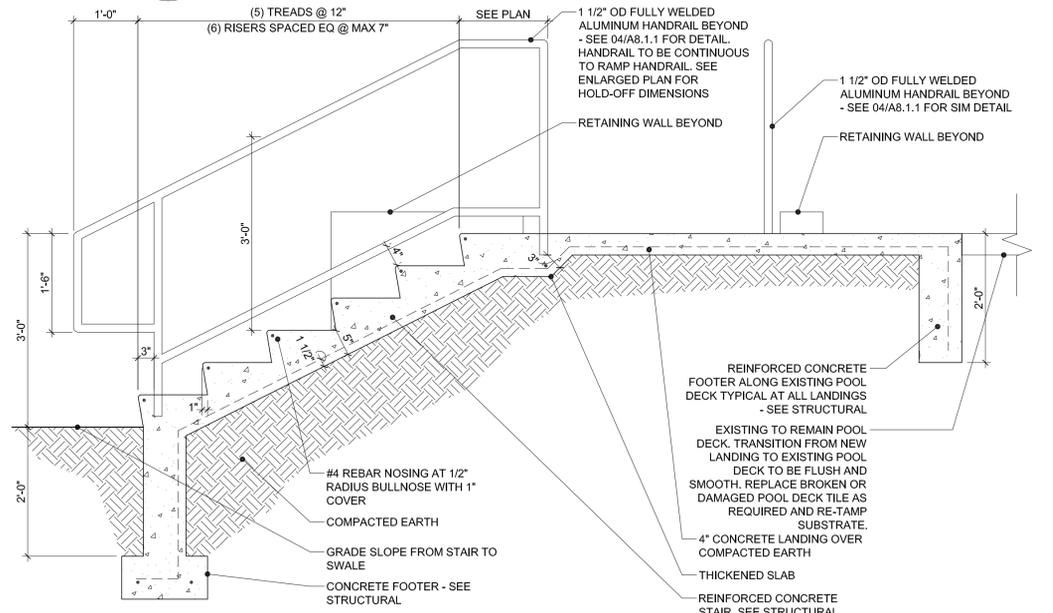
CONCRETE STAIR SECTION

SCALE: 3/4" = 1'-0"



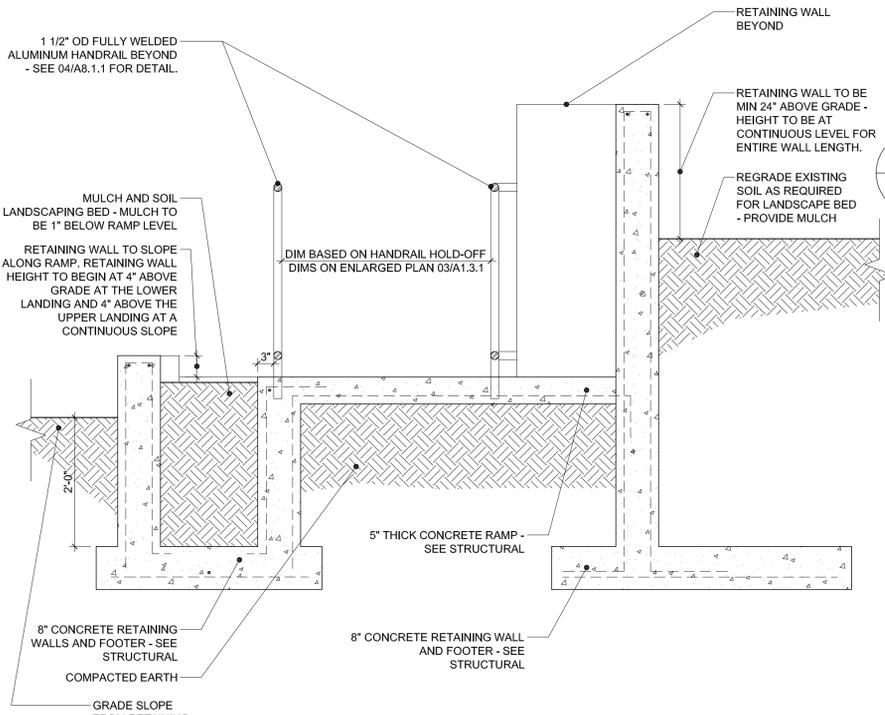
CONCRETE STAIR SECTION

SCALE: 3/4" = 1'-0"



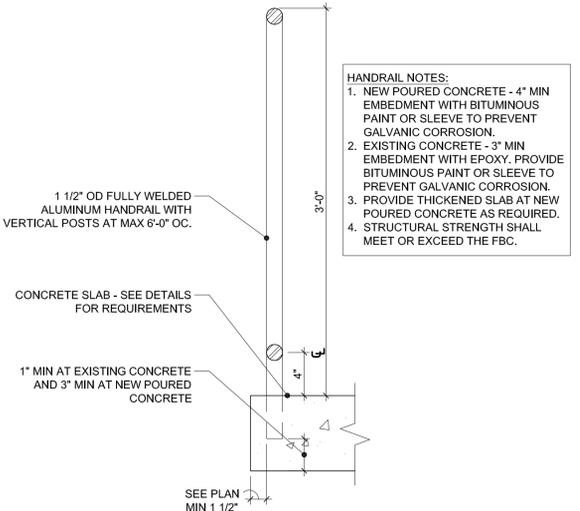
CONCRETE STAIR SECTION

SCALE: 3/4" = 1'-0"



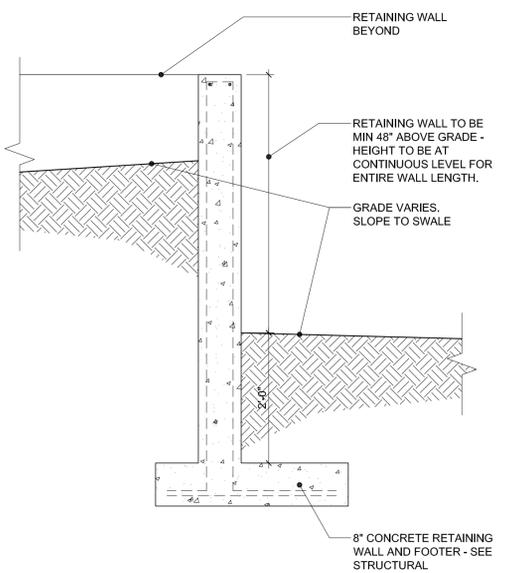
CONC. RETAINING WALL AND RAMP DETAIL

SCALE: 3/4" = 1'-0"



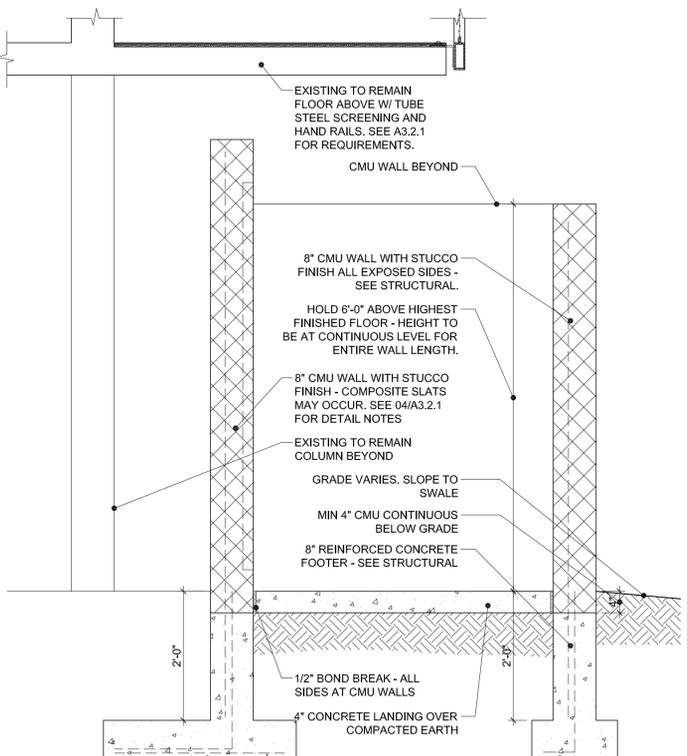
TYP. HANDRAIL DETAIL

SCALE: 1 1/2" = 1'-0"



CONC. RETAINING WALL DETAIL

SCALE: 3/4" = 1'-0"



CMU WALL SECTION

SCALE: 3/4" = 1'-0"

07
A8.1.1

05
A8.1.1

02
A8.1.1

01
A8.1.1



- HANDRAIL NOTES:**
- 1. NEW POURED CONCRETE - 4" MIN EMBEDMENT WITH BITUMINOUS PAINT OR SLEEVE TO PREVENT GALVANIC CORROSION.
 - 2. EXISTING CONCRETE - 3" MIN EMBEDMENT WITH EPOXY. PROVIDE BITUMINOUS PAINT OR SLEEVE TO PREVENT GALVANIC CORROSION.
 - 3. PROVIDE THICKENED SLAB AT NEW POURED CONCRETE AS REQUIRED.
 - 4. STRUCTURAL STRENGTH SHALL MEET OR EXCEED THE FBC.

DRC
Minutes & Comments

Minutes of the Development Review Committee

Approved April 24, 2014

The applicant, Ms. Ginny Stones, of Stones & Cardenas, gave members an overview of the variance request.

DRC Member Comments:

ART IN PUBLIC PLACES:

No comments.

URBAN FORESTRY MANAGER:

Ms. DeMaria would like to remind property owners of the requirement to protect any trees near and within the project area during construction/demolition. Trees located within the work area that may need to be removed or trimmed may require permits from the Tree Commission.

POLICE DEPARTMENT:

No comments.

HARC PLANNER:

Ms. Torregrosa stated the application showed that the property does not require HARC. The property is in HARC; submit a corrected page of the application.

PLANNING DIRECTOR:

Mr. Craig had concerns regarding the application for detached habitable space. Due to the heightened scrutiny recently applied to the City, regarding detached habitable spaces, by the Department of Economic Opportunity; Mr. Craig wants to make absolutely sure there is no kitchen facility. The applicant stated there was not.

ENGINEERING:

Ms. Ignaffo stated to please construct gutters and downspouts on the structure roof, on the side along the property line. Applicant needs to direct downspout back onto property and into swale and landscape buffer areas.

FIRE DEPARTMENT:

Mr. Barroso requests a meeting with the applicant to review the site plans and setback variances. At this time there are life safety concerns that will need to be worked thru. There will be additional comments once this information has been received and will need to be done prior to administrative approval.

8. **Minor Development Plan – 2400-2440 North Roosevelt Boulevard (RE # 00065220-000000; AK # 1067849, RE # 00065220-000100; AK # 1063835) – A request for minor development plan approval for the phased reconstruction of 7 existing guest rooms, existing public restrooms and add 5 parking spaces to meet ADA requirements on property located within the CG zoning district – pursuant to Section 108-91.B.1.a. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.**

Mr. Cunningham gave members an overview of the minor development plan request.

Minutes of the Development Review Committee

Approved April 24, 2014

The applicant, Mr. Anthony Sarno, of mbik2m Architects, gave members an overview of the minor development plan request.

DRC Member Comments:

ART IN PUBLIC PLACES:

No comments.

URBAN FORESTRY MANAGER:

No comments.

POLICE DEPARTMENT:

No comments.

HARC PLANNER:

No comments.

PLANNING DIRECTOR:

No comments.

ENGINEERING:

Ms. Ignaffo stated to please indicate the ADA accessible routes from the ADA accessible parking spaces to the buildings and site features.

FIRE DEPARTMENT:

Mr. Barroso stated to bring into compliance life safety codes for ADA Rooms.

9. **Variance – 1208 Von Phister Street (RE # 00040670-000000; AK # 1041386)** – A request for a variance for a fence to exceed the maximum height of 6 feet on property located within the SFR zoning district to Sections 90-395 and 122-1183 (d)(1)c. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

Mr. Cunningham gave members an overview of the variance request.

The applicant, Ms. Lori Thompson, of Trepanier & Associates gave members an overview of the variance request.

DRC Member Comments:

ART IN PUBLIC PLACES:

No comments.

URBAN FORESTRY MANAGER:

Ms. DeMaria stated that the property has already been through the Tree Commission. A lot of landscaping will be planted on the property as required by the tree removal permits.

Property Appraiser Information



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record Card -

Maps are now launching the new map application version

Website tested on IE8,
IE9, & Firefox.
Requires Adobe Flash
10.3 or higher

Alternate Key: 1067849 Parcel ID: 00065220-000100

Ownership Details

Mailing Address:

RLJ II-F KEY WEST LLC
3 BETHESDA METRO CTR STE 1000
BETHESDA, MD 20814-6347

Property Details

PC Code: 39 - HOTELS,MOTELS
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 33-67-25
Property Location: 2400 N ROOSEVELT BLVD KEY WEST
Legal Description: PT KW NO 12 A PARCEL OF LAND LYING SE OF N ROOSEVELT BOULEVARD OR64-214/15 OR114-84-86 OR118-361/64 OR767-452/54 OR794-94748 OR946-153D/C OR955-2323/25 OR1176-1306/08Q/C OR1185-973/78Q/C OR1336-91/97 OR2246-621/25

[Click Map Image to open interactive viewer](#)



Land Details

Land Use Code	Frontage	Depth	Land Area
100H - COMMERCIAL HIGHWAY	200	350	73,302.00 SF

Building Summary

Number of Buildings: 2
 Number of Commercial Buildings: 2

Total Living Area: 19714
Year Built: 1987

Building 1 Details

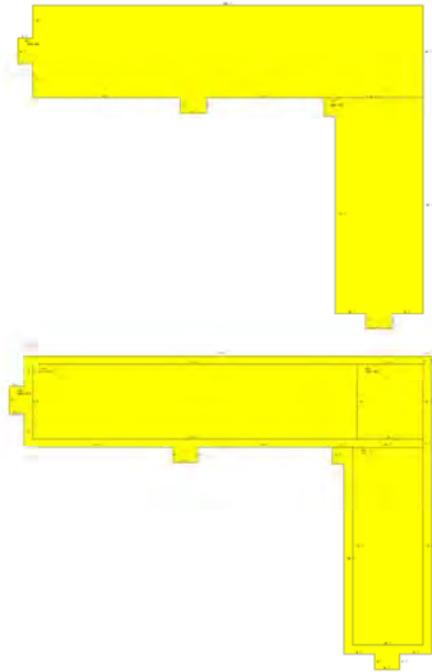
Building Type	Condition G	Quality Grade 400
Effective Age 15	Perimeter 780	Depreciation % 19
Year Built 1987	Special Arch 0	Grnd Floor Area 12,852
Functional Obs 0	Economic Obs 0	

Inclusions:

Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	0	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	313	Dishwasher	0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	CPF		1	1987					12,334
2	CPF		1	1987					6,601
3	FLA		2	1987					8,106
4	OPX		2	1987					2,850
5	SBF		2	1987					1,638
6	FLA		2	1987					4,746

7	OPX	2	1987	1,854
---	-----	---	------	-------

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	5762	CPF	100	N	N
	5763	CPF	100	N	N
	5764	HOTEL/MOTEL B	100	Y	Y
	5765	OPX	100	N	N
	5766	SBF	100	N	N
	5767	HOTEL/MOTEL B	100	Y	Y
	5768	OPX	100	N	N

Exterior Wall:

Interior Finish Nbr	Type	Area %
1584	C.B.S.	100

Building 4 Details

Building Type
Effective Age 5
Year Built 2008
Functional Obs 0

Condition G
Perimeter 576
Special Arch 0
Economic Obs 0

Quality Grade 400
Depreciation % 6
Grnd Floor Area 6,862

Inclusions:

Roof Type
Heat 1
Heat Src 1

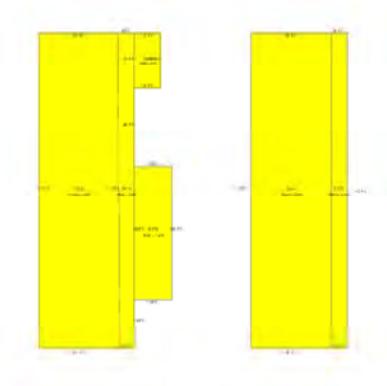
Roof Cover
Heat 2
Heat Src 2

Foundation
Bedrooms 0

Extra Features:

2 Fix Bath 0
3 Fix Bath 0
4 Fix Bath 0
5 Fix Bath 0
6 Fix Bath 0
7 Fix Bath 0
Extra Fix 0

Vacuum 0
Garbage Disposal 0
Compactor 0
Security 0
Intercom 0
Fireplaces 0
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
0	FLA		1	2008					3,442
0	FLA		1	2008					3,420
0	OPX		1	2008					662
0	OPX		1	2008					684
0	OPX		1	2008					672
0	OPX		1	2008					200

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
		HOTEL/MOTEL B	100	Y	Y
		HOTEL/MOTEL B	100	Y	Y

Exterior Wall:

Interior Finish Nbr	Type	Area %
	CUSTOM	100

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
0	FN2:FENCES	1,240 SF	310	4	2007	2014	2	30
1	PO5:COMM POOL	3,181 SF	0	0	2007	2014	2	50
4	RW2:RETAINING WALL	1,211 SF	0	0	1986	1987	3	50

5	PT2:BRICK PATIO	3,287 SF	0	0	2008	2014	3	50
6	AP2:ASPHALT PAVING	33,332 SF	0	0	1986	1987	2	25
7	WD2:WOOD DECK	760 SF	38	20	1999	2000	3	40
8	TK2:TIKI	400 SF	20	20	1999	2000	4	40
9	FN2:FENCES	720 SF	120	6	1999	2000	2	30

Appraiser Notes

2003-09-19 BLDG#1 2 STORY= 100 ROOMS BLDG#2 OFFICE-LOBBY BLDG#3 SCOOTER RENTAL 2002-08-22 BARRACUDA SCOOTERS -TP 8766033

CHGED SF/AC TO 73302/1.68 COGO PER OR2246/621

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
1	07-5227	11/30/2007		800	Commercial	INSTALL FIVE DEDICATED 20 AMP RECEP.
1	09-0161	01/26/2009		2,400	Commercial	REMOVE & REPLACE SLAB EDGE SPALLING
1	09-00003142	09/16/2009		3,800	Commercial	SPALLING REPAIR
1	12-4414	12/11/2012		8,973	Commercial	REMOVE UNSAFE CHIPPED AND CRACKING CONCRETE AT VARIOUS LOCATIONS ON BUILDING. DEMO ONLY. SPOT PAINT TO MATCH.
1	08-2956	08/16/2008		2,600	Commercial	REPAIR DELAMINATED STUCCO AND 200 LF OF CRACKS AND 11 SF OF STUCCO.
1	09-0161	01/26/2009		2,400	Commercial	REMOVE & REPLACE SLAB EDGE SPALLING ORIGINALLY PERMITTED FOR PATCH/REPAIR AS PER ENGINEERING DRAWINGS
1	09-2364	08/03/2009		18,000	Commercial	***EMERGENCY REPLACEMENT*** THREE (3) WATER HEATER'S
1	B95-0394	02/01/1995	09/01/1995	5,000	Commercial	STAIN POOL DECK & WALLS
1	96-2474	06/01/1996	12/01/1996	585	Commercial	FIRE ALARM
1	96-2459	06/01/1996	12/01/1996	1,500	Commercial	ELECTRICAL
1	96-1738	04/01/1996	12/01/1996	200,000	Commercial	ROOM RENOVATION
1	96-3007	07/01/1996	12/01/1996	3,500	Commercial	REMODELING
1	96-3384	08/01/1996	12/01/1996	125	Commercial	TENT
1	97-0473	02/01/1997	12/01/1997	2,000	Commercial	DEMOLITION
1	97-2657	09/01/1997	12/01/1997	3,000	Commercial	INFORMATION BOOTH
1	97-4139	12/01/1997	12/01/1997	1,700	Commercial	REPAIRS
1	97-0992	04/01/1997	12/01/1997	45,000	Commercial	REPAIR & PAINTING
1	03-1296	06/06/2003	09/26/2003	89,860	Commercial	REMOVED EXISTING ROOF
1	03-1411	04/22/2003	09/26/2003	8,740	Commercial	REPAIRED SEWER LATERAL
1	03-1647	05/16/2003	09/19/2003	4,500	Commercial	CONCRETE RESTORATION
1	03-1954	06/06/2003	09/19/2003	10,500	Commercial	COAL TAR SEALER PARKLOT
1	05-3023	08/05/2005	12/31/2005	1,000	Commercial	REPLACE TUB WIH SHOWER IN UNIS #310,δ
1	06-4005	07/25/2006		6,300	Commercial	ROUGH & TRIM LOBBY BLDG.
1	06-4006	07/27/2006		21,000	Commercial	NEW BLDG ROUGH & TRIM 41 FIXTURES, 4 W/H.

1	06-4574	08/01/2006	1,000	Commercial	INSTALL 2 TEMP SERVICES.
1	06-4573	08/02/2006	409,343	Commercial	WIRE NEW RETAIL BLDG, POOL SIDE BAR, & INSTALL NEW SERVICES.
1	06-5572	10/17/2006	0	Commercial	CHANGE OUT 100 TON COOLING TOWER.
1	06-5905	10/26/2006	26,000	Commercial	INSTALL ROOFING V-CRIMP & 30 LB FELT.
1	06-5541	10/30/2006	18,000	Commercial	INSTALL 17 FIRE SPRINKLERS IN LOBBY.
1	06-5539	11/28/2006	14,000	Commercial	INSTALL 80 FIRE SPRINKLERS, 1 WATER CONNECTION & 1 SANDPIPE.
1	06-6283	11/29/2006	152,000	Commercial	NEW COMMERCIAL SWIMMING POOL 3,181 SF.
1	06-6285	11/29/2006	2,300	Commercial	WIRING FOR POOL HOOKUP.
1	06-6526	12/05/2006	18,000	Commercial	INSTALL V-CRIMP & 30 LB FELT.
1	06-6527	12/05/2006	6,000	Commercial	INSTALL ROOFING V-CRIMP & 30 LB FELT.
1	06-6316	12/07/2006	40,000	Commercial	INSTALL ONE SPLIT SYSTEM 7.5 TON, THREE 3/4 TON, AND 22 OPENINGS.
1	06-6317	12/07/2006	40,000	Commercial	INSTALL 2 SPLIT A/C UNITS & 12 DUCTWORK FOR POOL BAR & SUITES, 3 FANS & 2 UTAC UNITS.
1	06-6813	01/10/2007	30	Commercial	CHANGE AUTO PARKING AREA TO SCOOTER PARKING
1	07-0360	01/29/2007	0	Commercial	INSTALL 313 LF OF PICKET FENCE
1	07-0769	02/16/2007	7,500	Commercial	INSTALL IRRIGATION SPRINKLER SYSTEM
1	07-1529	04/16/2007	6,500	Commercial	REPAIR TO EXISTING HANDRAIOS ON OLD BUILDING,PICKET STRIGHTENING

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2013	3,654,700	105,112	824,941	8,123,020	6,799,185	0	8,123,020
2012	3,655,284	108,222	824,941	6,181,078	6,181,078	0	6,181,078
2011	3,844,585	111,488	2,371,705	6,245,920	6,245,920	0	6,245,920
2010	3,844,585	114,701	2,100,000	5,985,001	5,985,001	0	5,985,001
2009	4,033,887	118,021	3,073,594	6,968,916	6,968,916	0	6,968,916
2008	4,034,324	121,209	3,073,594	11,425,283	11,425,283	0	11,425,283
2007	3,429,906	112,658	3,073,594	11,425,283	11,425,283	0	11,425,283
2006	3,510,623	115,450	2,443,716	5,671,299	5,671,299	0	5,671,299
2005	3,512,742	118,374	2,221,560	6,738,209	6,738,209	0	6,738,209
2004	3,553,001	121,189	2,962,590	6,460,650	6,460,650	0	6,460,650
2003	3,553,001	124,112	1,203,345	6,276,194	6,276,194	0	6,276,194
2002	3,500,182	126,904	1,203,345	6,757,262	6,757,262	0	6,757,262
2001	3,579,520	132,518	1,036,728	7,245,014	7,245,014	0	7,245,014
2000	3,579,351	71,507	897,600	7,245,014	7,245,014	0	7,245,014
1999	3,887,561	65,954	897,600	6,309,144	6,309,144	0	6,309,144
1998	2,597,763	68,670	897,600	6,309,144	6,309,144	0	6,309,144
1997	2,597,763	71,374	897,600	5,508,474	5,508,474	0	5,508,474

1996	2,361,602	74,092	816,000	5,151,429	5,151,429	0	5,151,429
1995	2,361,602	76,794	816,000	5,151,429	5,151,429	0	5,151,429
1994	2,361,602	79,511	816,000	5,151,429	5,151,429	0	5,151,429
1993	2,361,602	82,214	816,000	3,611,335	3,611,335	0	3,611,335
1992	2,534,840	84,933	816,000	4,054,117	4,054,117	0	4,054,117
1991	2,534,840	87,635	1,053,206	4,642,221	4,642,221	0	4,642,221
1990	2,534,840	90,352	752,290	4,863,535	4,863,535	0	4,863,535
1989	2,534,840	93,055	752,290	4,863,538	4,863,538	0	4,863,538
1988	1,593,538	70,204	677,061	5,850,245	5,850,245	0	5,850,245
1987	0	0	361,099	361,099	361,099	0	361,099
1986	0	0	361,099	361,099	361,099	0	361,099
1985	0	0	322,163	322,163	322,163	0	322,163
1984	0	0	322,163	322,163	322,163	0	322,163
1983	0	0	322,163	322,163	322,163	0	322,163
1982	0	0	322,163	322,163	322,163	0	322,163

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
6/5/2006	2246 / 621	1	WD	M
9/1/1991	1185 / 973	5,600,000	WD	M
7/1/1991	1176 / 1306	2,800,000	WD	U

This page has been visited 112,823 times.

Monroe County Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record Card -

Maps are now launching the new map application version

Website tested on IE8,
IE9, & Firefox.
Requires Adobe Flash
10.3 or higher

Alternate Key: 1067831 Parcel ID: 00065220-000000

Ownership Details

Mailing Address:

RLJ II-F KEY WEST LLC
3 BETHESDA METRO CTR STE 1000
BETHESDA, MD 20814-6347

Property Details

PC Code: 39 - HOTELS,MOTELS
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 33-67-25
Property Location: 2440 N ROOSEVELT BLVD KEY WEST
Legal Description: PT KW NO 12 A PARCEL OF LAND LYING SE OF N ROOSEVELT BOULEVARD OR64-214/215 OR114-84/86 OR118-361/364 IID4057009 OR767-452/454 OR794-947/948 OR946-153D/C OR998-8/9 OR1256-117/21 OR1336-91/97(AFFD) OR1410-598/599 OR2246-621/25

[Click Map Image to open interactive viewer](#)



Land Details

Land Use Code	Frontage	Depth	Land Area
10DH - COMM DRY HIGHWAY	150	100	15,000.00 SF

Building Summary

Number of Buildings: 2
 Number of Commercial Buildings: 2

Total Living Area: 4754
Year Built: 1995

Building 1 Details

Building Type	Condition E	Quality Grade 400
Effective Age 33	Perimeter 198	Depreciation % 40
Year Built 1995	Special Arch 0	Grnd Floor Area 2,210
Functional Obs 0	Economic Obs 0	

Inclusions:

Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	0	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	10	Dishwasher	0

No sketch available to display

Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	EFD		1	1995					2,675
2	FLA		1	1995					2,210
3	OPX		1	1995					390
4	OPU		1	1995					30
5	OPU		1	1995					54
6	OPU		1	1995					136

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	5751	REST/CAFET-A-	68	Y	Y
	5752	1 STY STORE-A	32	Y	Y

Exterior Wall:

Interior Finish Nbr	Type	Area %
1582	C.B.S.	100

Building 2 Details

Building Type	Condition E	Quality Grade 400
Effective Age 33	Perimeter 308	Depreciation % 40
Year Built 1995	Special Arch 0	Grnd Floor Area 2,544
Functional Obs 0	Economic Obs 0	

Inclusions:

Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

Extra Features:

2 Fix Bath 0	Vacuum 0
3 Fix Bath 6	Garbage Disposal 0
4 Fix Bath 0	Compactor 0
5 Fix Bath 0	Security 0
6 Fix Bath 0	Intercom 0
7 Fix Bath 0	Fireplaces 0
Extra Fix 0	Dishwasher 0

No sketch available to display

Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	EFD		1	1995					1,880
2	FLA		1	1995					1,272
3	OPU		1	1995					410
4	OPX		1	1995					324
5	FLA		1	1995					1,272
6	OPX		1	1995					324

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	5757	HOTELS/MOTEL A	100	Y	Y
	5760	HOTELS/MOTEL A	100	Y	Y

Exterior Wall:

Interior Finish Nbr	Type	Area %
1583	C.B.S.	100

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	AP2:ASPHALT PAVING	5,728 SF	0	0	1994	1995	2	25
2	PT3:PATIO	858 SF	0	0	1994	1995	2	50

Appraiser Notes

2003-01-30 (SKI) 6 TRANSIENT ROOMS...BLDG 1 = RETAIL SPACE DOMINO'S...BLDG 2 = FAIRFIELD INN- 6 UNITS.
DOMINO'S PIZZA TPP 8672471
2006-12-20 - PERMITS ARE ON PRIMARY PARCEL OF FAIRFIELD INN AK 1067849. - JEN
2006-12-20 - BUILDINGS ARE UNDERGOING MAJOR RENOVATIONS AND HAVE NO INTERIOR FINISHES. - JEN

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
1	B940083	01/01/1994	02/01/1995	560,000	Commercial	1 STORE/6 UNIT GUEST HOUS
2	P943904	11/01/1994	02/01/1995	6,500	Commercial	FIRE SPRINKLERS
	B950298	01/01/1995	02/01/1995	9,000	Commercial	PAVE PARKING
	B950393	02/01/1995	02/01/1995	9,500	Commercial	SIDEWALK
	B950392	02/01/1995	02/01/1995	7,500	Commercial	WOOD DECK
	9602550	06/01/1996	08/01/1996	8,000	Commercial	SIGN
	9603147	07/01/1996	08/01/1996	4,000	Commercial	AWNINGS
	9601913	05/01/1996	08/01/1996	57,000	Commercial	RENOVATIONS
	9602059	05/01/1996	08/01/1996	10,000	Commercial	RENOVATIONS
	9602059	05/01/1996	08/01/1996	10,000	Commercial	RENOVATIONS
	9602205	05/01/1996	08/01/1996	8,000	Commercial	ELECTRIC
	9602284	06/01/1996	08/01/1996	1,100	Commercial	ELECTRIC
1	9602298	06/01/1996	08/01/1996	2,200	Commercial	ELECTRICAL
	9602300	06/01/1996	08/01/1996	4,500	Commercial	FIRE ALARM
	9602308	06/01/1996	08/01/1996	4,600	Commercial	PLUMBING
	9602528	06/01/1996	08/01/1996	4,000	Commercial	MECHANICAL
	9700499	06/01/1997	10/01/1997	4,000	Commercial	SIGN
	9701748	06/01/1997	10/01/1997	500	Commercial	ELECTRICAL
	9701659	05/01/1997	10/01/1997	2,600	Commercial	2 TON AC
1	9702199	07/01/1997	10/01/1997	1,200	Commercial	INTERIOR ALTERATIONS
	9702542	08/01/1997	10/01/1997	700	Commercial	SIGN
	9702736	08/01/1997	10/01/1997	900	Commercial	ELECTRICAL
	0103329	10/10/2001	11/15/2001	3,200	Commercial	INSTALL AWNINGS/DOMINOS
1	0200739	04/02/2002	09/18/2002	10,000	Commercial	RENOVATIONS DOMINOS PIZZA

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2013	574,350	8,975	326,970	1,001,443	1,001,443	0	1,001,443
2012	574,350	9,112	326,970	981,124	981,124	0	981,124

2011	593,496	9,250	940,039	991,416	991,416	0	991,416
2010	593,496	9,387	862,500	950,000	950,000	0	950,000
2009	622,212	9,983	1,237,500	1,106,177	1,106,177	0	1,106,177
2008	622,212	10,578	795,000	1,813,537	1,813,537	0	1,813,537
2007	501,323	11,174	900,000	1,813,537	1,813,537	0	1,813,537
2006	650,972	11,769	750,000	900,206	900,206	0	900,206
2005	658,455	12,365	645,000	1,052,510	1,052,510	0	1,052,510
2004	674,005	12,960	645,000	774,952	774,952	0	774,952
2003	674,005	13,556	315,000	774,952	774,952	0	774,952
2002	672,160	14,151	315,000	405,436	405,436	0	405,436
2001	836,466	14,747	315,000	1,166,213	1,166,213	0	1,166,213
2000	836,466	6,972	231,000	1,074,438	1,074,438	0	1,074,438
1999	836,466	7,266	231,000	1,074,732	1,074,732	0	1,074,732
1998	557,644	7,561	231,000	796,205	796,205	0	796,205
1997	558,294	7,856	231,000	797,150	797,150	0	797,150
1996	484,211	8,151	210,000	702,362	702,362	0	702,362
1995	0	0	210,000	210,000	210,000	0	210,000
1994	0	0	210,000	210,000	210,000	0	210,000
1993	87,640	8,804	210,000	306,444	306,444	0	306,444
1992	87,640	8,969	210,000	306,609	306,609	0	306,609
1991	87,640	9,134	210,000	306,774	306,774	0	306,774
1990	87,640	9,299	150,000	246,939	246,939	0	246,939
1989	87,640	9,873	150,000	247,513	247,513	0	247,513
1988	64,504	3,761	135,000	203,265	203,265	0	203,265
1987	63,068	3,761	90,000	184,711	184,711	0	184,711
1986	63,060	3,761	90,000	169,444	169,444	0	169,444
1985	61,348	3,761	66,000	159,182	159,182	0	159,182
1984	58,357	3,761	66,000	128,118	128,118	0	128,118
1983	58,357	3,761	66,000	128,118	128,118	0	128,118
1982	60,346	3,761	66,000	130,107	130,107	0	130,107

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
6/5/2006	2246 / 621	20,877,300	WD	M
5/1/1993	1256 / 117	500,000	WD	T
12/1/1986	998 / 8	1	WD	M

This page has been visited 112,852 times.

Monroe County Monroe County Property Appraiser
Scott P. Russell, CFA
P.O. Box 1176 Key West, FL 33041-1176

Public Notices
(radius map & mailing list)

Public Meeting Notice

The Key West Planning Board will hold a public hearing at 6:00 p.m., May 15, 2014 at Old City Hall, 510 Greene Street, Key West, Florida, (Behind Sloppy Joe's Bar). The purpose of the hearing will be to consider a request for:

Minor Development Plan – 2400-2440 North Roosevelt Boulevard (RE # 00065220-000000; AK # 1067831, RE # 00065220-000100; AK # 1067849) – A request for minor development plan approval for the phased reconstruction of 7 existing guest rooms, existing public restrooms and add 5 parking spaces to meet ADA requirements on property located within the CG zoning district – pursuant to Section 108-91.B.1.a. Of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3720 or visit our website at www.keywestcity.com.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL AFTER PLANNING BOARD DETERMINATION.

YOU ARE WITHIN 300 FEET OF THE SUBJECT PROPERTY

The City of Key West Planning Board will be holding a Public Hearing:

Minor Development Plan – 2400-2440 North Roosevelt Boulevard (RE # 00065220-000000; AK # 1067831, RE # 00065220-000100; AK # 1067849) – A request for minor development plan approval for the phased reconstruction of 7 existing guest rooms, existing public restrooms and add 5 parking spaces to meet ADA requirements on property located within the CG zoning district – pursuant to Section 108-91.B.1.a. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

Applicant: Anthony D. Sarno, k2m Design, Inc.

Owner: RLJ II– F Key West Lesse, LLC.

Project Location: 2400-2440 North Roosevelt Boulevard (RE # 00065220-000000; AK # 1067831, RE # 00065220-000100; AK # 1067849)

Date of Hearing: Thursday, May 15, 2014

Time of Hearing: 6:00 PM

Location of Hearing: Old City Hall, 510 Greene, City Commission Chambers

Interested parties may appear at the public hearing and be heard with respect to the applications. Packets can be viewed online, the Friday before the meeting at www.keywestcity.com. Click on City Board & Committee Agendas. A copy of the corresponding application is available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm.

Please provide written comments to the Planning Department, PO Box 1409, Key West, FL 33041-1409 , by FAX (305) 809-3978 or by email to Stacy Gibson at sgibson@keywestcity.com .

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Planning Commission or the City Commission with respect to any matter considered at such hearing or meeting, one will need a record of the proceedings and for such purpose that person may need to ensure that a verbatim record of the proceedings is made; such record includes the testimony and evidence upon which the appeal is to be based.

ADA Assistance: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 305-809-1000 or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

YOU ARE WITHIN 300 FEET OF THE SUBJECT PROPERTY

The City of Key West Planning Board will be holding a Public Hearing:

Minor Development Plan – 2400-2440 North Roosevelt Boulevard (RE # 00065220-000000; AK # 1067831, RE # 00065220-000100; AK # 1067849) – A request for minor development plan approval for the phased reconstruction of 7 existing guest rooms, existing public restrooms and add 5 parking spaces to meet ADA requirements on property located within the CG zoning district – pursuant to Section 108-91.B.1.a. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

Applicant: Anthony D. Sarno, k2m Design, Inc.

Owner: RLJ II– F Key West Lesse, LLC.

Project Location: 2400-2440 North Roosevelt Boulevard (RE # 00065220-000000; AK # 1067831, RE # 00065220-000100; AK # 1067849)

Date of Hearing: Thursday, May 15, 2014

Time of Hearing: 6:00 PM

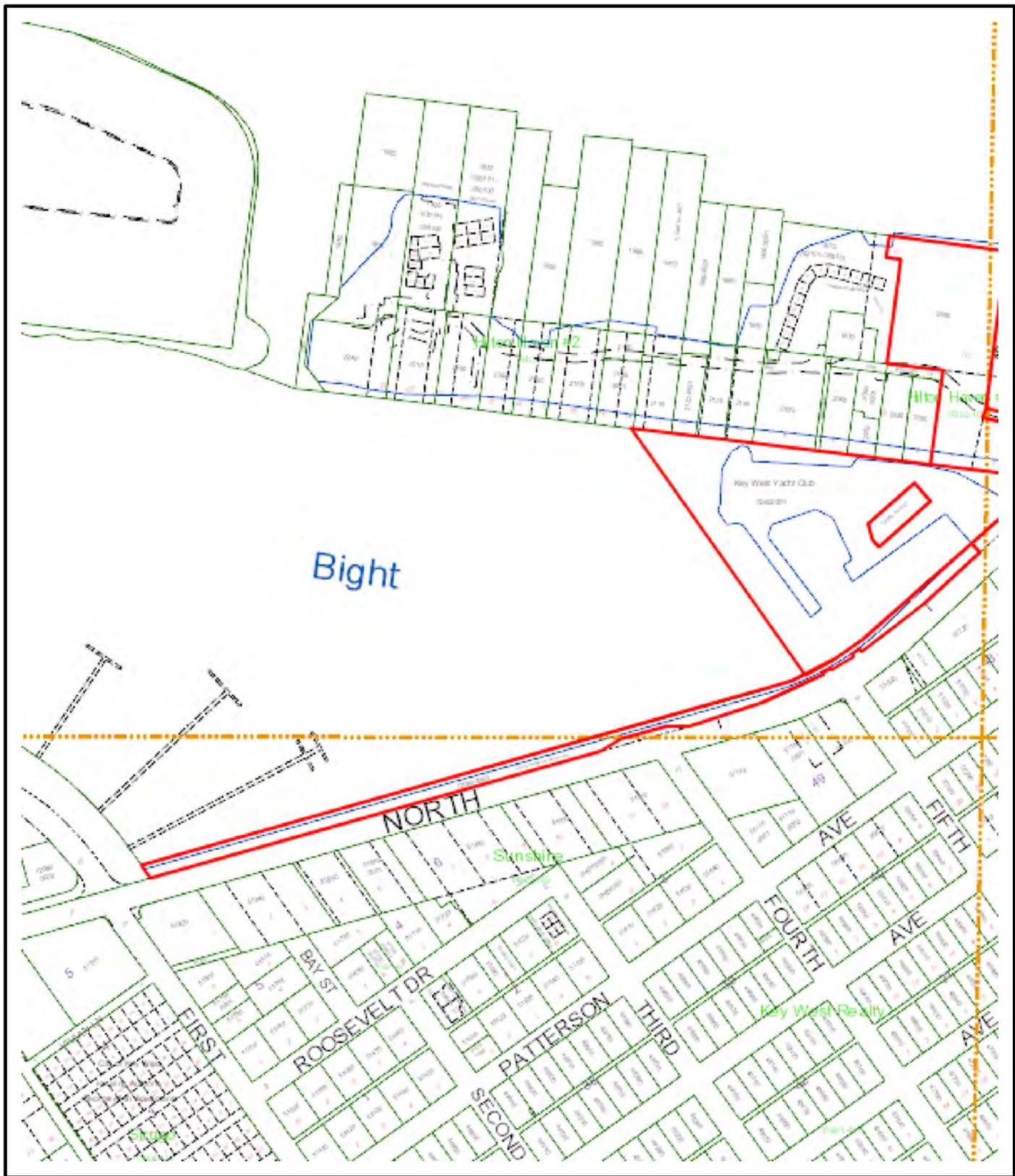
Location of Hearing: Old City Hall, 510 Greene, City Commission Chambers

Interested parties may appear at the public hearing and be heard with respect to the applications. Packets can be viewed online, the Friday before the meeting at www.keywestcity.com. Click on City Board & Committee Agendas. A copy of the corresponding application is available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm.

Please provide written comments to the Planning Department, PO Box 1409, Key West, FL 33041-1409 , by FAX (305) 809-3978 or by email to Stacy Gibson at sgibson@keywestcity.com .

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Planning Commission or the City Commission with respect to any matter considered at such hearing or meeting, one will need a record of the proceedings and for such purpose that person may need to ensure that a verbatim record of the proceedings is made; such record includes the testimony and evidence upon which the appeal is to be based.

ADA Assistance: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 305-809-1000 or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.



Monroe County, Florida

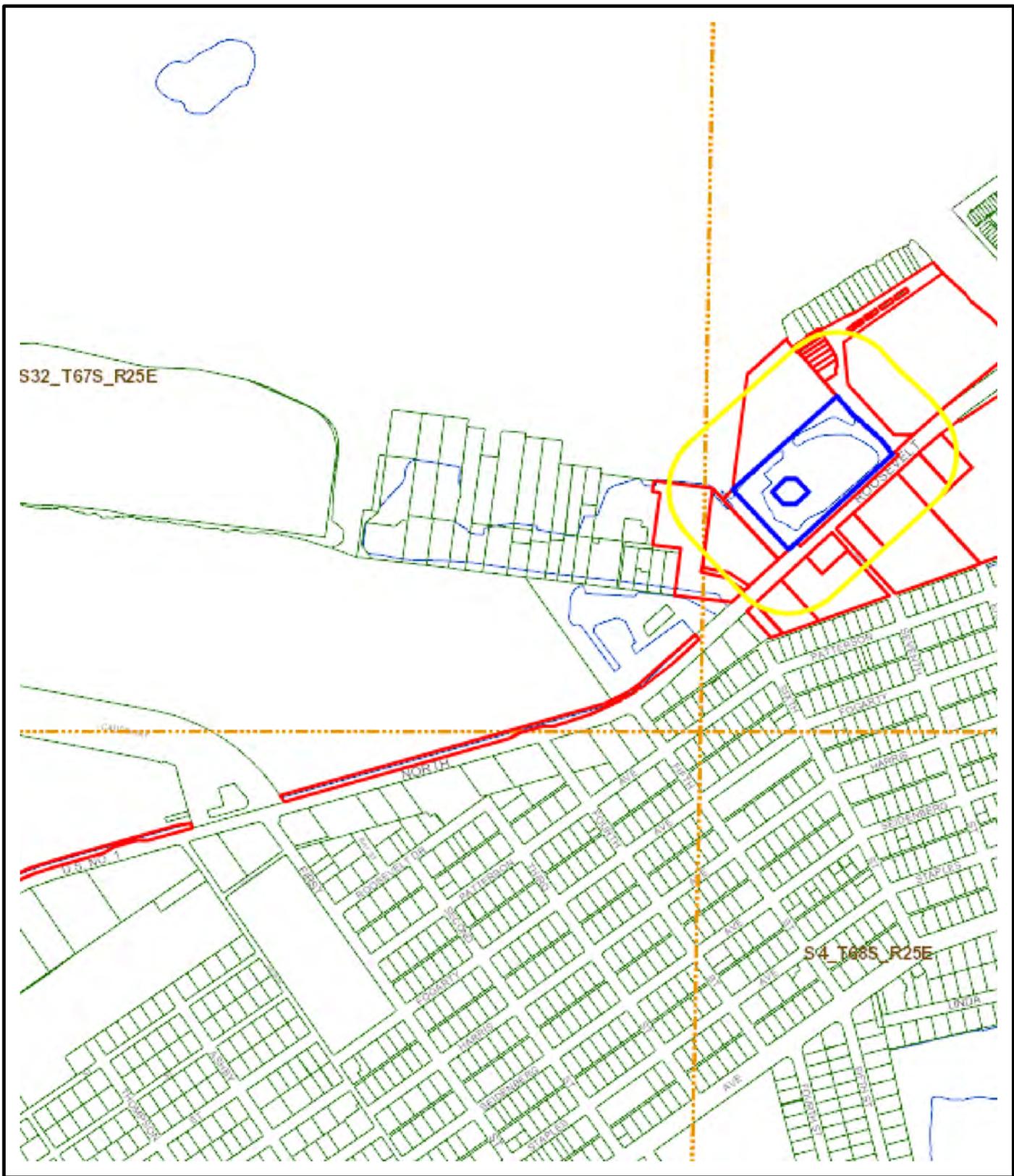
2400 N Roosevelt

Printed: May 01, 2014



DISCLAIMER: The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.





Monroe County, Florida

2407 N Roosevelt

Printed: May 01, 2014



DISCLAIMER: The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.



NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
STATE OF FLA DEPT OF TRANSPORTATION	1000 NW 111TH AVE		MIAMI	FL	33172-5802	
DE BAAR JACK	789 BRYDEN RD		COLUMBUS	OH	43205	
ALBURY VANDORA B AND ROBERT	2409 PATTERSON AVE		KEY WEST	FL	33040	
COMMANDER MICHAEL A JR AND DEBRA J	2438 PATTERSON AVE		KEY WEST	FL	33040	
ESPINOZA INGRID	2420 PATTERSON AVE UNIT A		KEY WEST	FL	33040-3818	
GIL ANTONIO JR AND MELBA	2417 FOGARTY AVE		KEY WEST	FL	33040-3811	
BREWER LLOYD P JR AND LETA P FAMILY TR 2/27/2009	3340 N ROOSEVELT BLVD STE 6		KEY WEST	FL	33040-8021	
GIBBONS MICHAEL K	1620 BAHAMA DR		KEY WEST	FL	33040	
LUJAN LILIA F IRREVOCABLE TR AGR 1/3/2001	4000 40TH ST S		SAINT PETERSBURG	FL	33711-4214	
BETHEL LEONARD W	2519 PATTERSON AVE		KEY WEST	FL	33040-3918	
KEY WEST LIONS CLUB	2405 N ROOSEVELT BLVD		KEY WEST	FL	33040-3837	
BANANA LLC	1000 MARKET ST UNIT 300		PORTSMOUTH	NH	03801-3399	
NASEIRO LORENZO JR AND DAISY M	2521 PATTERSON AVE		KEY WEST	FL	33040-3918	
KILLION GERARD M AND GALE LABBATE	2430 PATTERSON AVE		KEY WEST	FL	33040	
ARENA PAMELA	2423 PATTERSON AVE		KEY WEST	FL	33040	
POWELL RICHARD B AND BONNIE G	2404 PATTERSON AVE		KEY WEST	FL	33040	
M P A OF KEY WEST LIMITED PARTNERSHIP	1433 12TH ST		KEY WEST	FL	33040-4062	
BLANCO DANIEL E JR	2415 FOGARTY AVE		KEY WEST	FL	33040-3811	
WILBUR WRIGHT 725 LLC	1331 DUNCAN ST		KEY WEST	FL	33040-3446	
WALKER RICHARD C	2407 N ROOSEVELT BLVD		KEY WEST	FL	33040-3837	
MEADOWS MICHAEL	2403 PATTERSON AVE		KEY WEST	FL	33040-3817	
WALSH JOSEPH H	909 16TH TERR		KEY WEST	FL	33040	
CREEL ROXANNA AND ROBERT	3411 STEARNS RD		VALRICO	FL	33596-6450	
GALLAGHER KRISTIAN M	2427 PATTERSON AVE		KEY WEST	FL	33040-3817	
2500 N ROOSEVELT LLC	2500 N ROOSEVELT BLVD		KEY WEST	FL	33040-3927	
GROSSMAN LYNN REV TRUST AGREE 10/29/96	1016 FLAGLER AVE		KEY WEST	FL	33040-4816	
RLJ II-F KEY WEST LLC	3 BETHESDA METRO CTR STE 1000		BETHESDA	MD	20814-6347	
GROSSMAN LYNN REV TRUST AGREE 10/29/98	1016 FLAGLER AVE		KEY WEST	FL	33040-4816	
SPENCER ROBERT E AND JERRY	PO BOX 2672		KEY WEST	FL	33045-2672	
NYSTROM FRANCES H REV TR 9/14/2009	3417 RIVIERA DR		KEY WEST	FL	33040	
COBB ROBERT A	832 CAROLINE ST		KEY WEST	FL	33040	
JANALIK ROBERT	2425 PATTERSON AVE		KEY WEST	FL	33040	
DEUTSCHE BANK NATIONAL TRUST COMPANY	1661 WORTHINGTON RD STE 100		WEST PALM BEACH	FL	33409-6493	
ZHANG SHI XING	209 KEY DEER BLVD		BIG PINE KEY	FL	33043-4905	

NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
THORNEWELL GEORGE D III	2420 PATTERSON AVE	UNIT B	KEY WEST	FL	33040-3818	
ROSSI MARK	24 HILTON HAVEN DR		KEY WEST	FL	33040	
HALAS JOHN C AND JUDITH F	172 LORELANE PL		KEY LARGO	FL	33037-4235	
MCINNIS SHELLEY E	2412 PATTERSON AVE		KEY WEST	FL	33040	
MERCURIO JOSEPH E AND SANDRA J	2419 PATTERSON AVE		KEY WEST	FL	33040	
KW26 LLC	1000 MARKET ST	UNIT 1	PORTSMOUTH	NH	03801-3358	
FREEMAN SARAH LOUISA MAE	2407 PATTERSON AVE		KEY WEST	FL	33040-3817	
CORNFELD JEFFREY D	2417 PATTERSON AVE		KEY WEST	FL	33040-3817	
LINDER GEORGE W JR AND PAMELA L	15 W CYPRESS TER		KEY WEST	FL	33040-6234	
CONCH PLAZA LLC	513 FLEMING ST	STE 1	KEY WEST	FL	33040-6861	
SOUTHERNMOST HOMES INC	3720 N ROOSEVELT BLVD		KEY WEST	FL	33040-4533	
MILE 2 KEY WEST LLC	PO BOX 1944		KEY WEST	FL	33041-1944	