

**THE CITY OF KEY WEST  
PLANNING BOARD  
Staff Report**



**To:** Chair and Planning Board Members

**From:** Patrick Wright, Senior Planner II

**Through:** Thaddeus Cohen, Planning Director

**Meeting Date:** December 15, 2016

**Agenda Item:** **Variance – 231 Margaret Street (RE # 00072082-004400, AK # 8818645))** - A request for a variance to parking requirements for 4 parking spaces on property located within the Historic Residential Commercial Core – Key West Bight (HRCC-2) Zoning District pursuant to Sections 90-395, 108-572 (9) and 108-573 (b) of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida

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**Request:** The applicant is requesting a variance to 4 vehicle parking spaces as a result of new proposed commercial floor area in relation to the expansion of existing restaurant consumption area.

**Applicant:** Thomas Kelly

**Property Owner:** City of Key West

**Location:** 231 Margaret Street (RE # 00072082-004400, AK # 8818645))

**Zoning:** Historic Residential Commercial Core – Key West Bight (HRCC-2)



**Background:**

The subject property is located at the foot of Margaret Street in the Key West Bight. The parcel is almost entirely occupied by the Turtle Kraals Restaurant building. The property is immediately surrounded on all sides by the Historic Residential Commercial Core – Key West Bight zoning district. The property is approximately 12,225 square feet.

This application proposes expanding the roof top deck area to allow for 175 square feet of new restaurant consumption area. The expansion of the deck, reconstruction of two staircases and the instillation of a handicapped lift are all part of the ongoing renovation to the building and roof top deck area.

The addition of 175 square feet of new commercial floor area requires compliance with parking requirements per Section 108-572 as seen in the table below.

| <b>Relevant: Code Section 108-572</b> |   |                 |                 |  |
|---------------------------------------|---|-----------------|-----------------|--|
| <b>Dimensional Requirement</b>        | <b>Required/ Allowed</b>  | <b>Existing</b> | <b>Proposed</b> | <b>Change / Variance Required?</b>     |
| Parking requirement                   | 175 sq. ft. (new commercial floor area)<br>=<br>4 Spaces (1 space per 45 square feet of consumption area) | 0 spaces        | 0 spaces        | <b>Variance Requested<br/>4 spaces</b> |

**Process:**

Planning Board: November 17, 2016 (POSTPONED)  
Planning Board: December 15, 2016  
Historic Architectural Review Commission: Pending  
Local Appeal Period: 10 days  
DEO Review: Up to 45 days

**Analysis – Evaluation for Compliance with the Land Development Regulations:**

The criteria for evaluating a variance are listed in Section 90-395 of the City Code. The Planning Board before granting a variance must find all of the following:

- 1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.*

The majority of the parcel is occupied by the existing building. The parcel is flanked by the large City owned parking lot. Providing additional off street parking would be difficult without demolishing portions of the building. That being said this is not an uncommon circumstance in the HRCC-2 zoning district and any other structure that increased commercial floor area would have to meet the applicable parking requirements of Section 108-572.

NOT IN COMPLIANCE.

2. ***Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.***

The decision to expand the commercial floor area for additional restaurant consumption area is created by the applicant.

NOT IN COMPLIANCE.

3. ***Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.***

Section 108-573 (b) (1) & (3) of the Land Development regulations stipulates what actions require compliance with parking requirements in the historic commercial pedestrian oriented area, and Section 108-572 (9) identifies what those requirements are for this use. Granting a variance to parking requirements would confer special privileges upon the applicant.

NOT IN COMPLIANCE.

4. ***Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.***

Literal interpretation of Section 108-573 (b) (1) & (3) and 108-572 (9) would not deprive the applicant of rights commonly enjoyed by other properties in the same district, nor would it work unnecessary and undue hardship on the applicant. Other commercial uses in the HRCC-2 zoning district who wish to expand commercial floor area would have to meet parking requirements as well. Hardship conditions do not exist.

NOT IN COMPLIANCE.

5. ***Only minimum variance granted. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.***

The variance requested is not the minimum required that will make possible the reasonable use of the land, building, or structure. However, they are the minimum necessary to accommodate the request.

NOT IN COMPLIANCE.

6. ***Not injurious to the public welfare. That the granting of the variance will be in harmony with the general intent and purpose of the land development regulations and***

*that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.*

The property is located in the historic commercial pedestrian oriented area. When the amount of commercial floor area is increased in this area compliance with parking standards is required. Therefore the requested variance would not be in harmony with the general intent and purpose of the land development regulations. The requested variance is not necessarily injurious to the area involved or detrimental to public interest or welfare but does not meet full compliance of this standard.

NOT IN COMPLIANCE.

7. *Existing nonconforming uses of other property not the basis for approval. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.*

Existing non-conforming uses of other properties, use of neighboring lands, structures, or buildings in the same district, or other zoning districts, are not the basis for this request.

IN COMPLIANCE.

**Concurrency Facilities and Other Utilities or Service (Section 108-233):**

It does not appear that the requested variance would trigger any public facility capacity issues.

**The Planning Board shall make factual findings regarding the following:**

*That the standards established by Section 90-395 of the City Code have been met by the applicant for a variance.*

The standards established by Section 90-395 of the City Code have not been fully met by the applicant for the variances requested.

*That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.*

The Planning Department has received no public comment at the time of this report.

Pursuant to Code Section 90-392, in granting such application the Planning Board must make specific affirmative findings respecting each of the matters specified in Code Section 90-394.

*The planning board shall not grant a variance to permit a use not permitted by right or as a conditional use in the zoning district involved or any use expressly or by implication prohibited by the terms of the ordinance in the zoning district.*

No use not permitted by right or as a conditional use in the zoning district involved or any use expressly or by implication prohibited by the terms of the ordinance in the zoning district would be permitted.

*No nonconforming use of neighboring lands, structures, or buildings in the same zoning district and no permitted use of lands, structures, or buildings in other zoning districts shall be considered grounds for the authorization of a variance.*

No such grounds were considered.

*No variance shall be granted that increases or has the effect of increasing density or intensity of a use beyond that permitted by the comprehensive plan or these LDRs.*

No density or intensity of a use would be increased beyond that permitted by the comprehensive plan or these LDRs.

**RECOMMENDATION:**

Based on the criteria established by the Comprehensive Plan and the Land Development Regulations, the Planning Department recommends the request for variance be **denied**.

# Application



# Application For Variance

City of Key West, Florida • Planning Department

3140 Flagler Avenue • Key West, Florida 33040-4602 • 305-809-3720 • www.keywestcity.com

**Application Fee: \$1,150.00 / After-the-Fact: \$2,150.00**  
(includes \$100.00 advertising/noticing fee and \$50.00 fire review fee)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3720.

### PROPERTY DESCRIPTION:

Site Address: 231 MARGARET STREET

Zoning District: HRCC-2 Real Estate (RE) #: 00072082-004400

Property located within the Historic District?  Yes  No

**APPLICANT:**  Owner  Authorized Representative

Name: THOMAS KELLY

Mailing Address: 19141 ROCKY ROAD

City: SUGARLOAF KEY State: FLORIDA Zip: 33042

Home/Mobile Phone: 305-304-1984 Office: \_\_\_\_\_ Fax: \_\_\_\_\_

Email: THOMASCKELLY1@BELLSOUTH.NET

### PROPERTY OWNER: (if different than above)

Name: CITY OF KEY WEST

Mailing Address: PO BOX 1409

City: KEY WEST State: FLORIDA Zip: 33040

Home/Mobile Phone: \_\_\_\_\_ Office: \_\_\_\_\_ Fax: \_\_\_\_\_

Email: \_\_\_\_\_

**Description of Proposed Construction, Development, and Use:** 1. ENLARGE EXISTING COVERED DECK AREA AT SECOND FLOOR. 2. INSTALL HANDICAPPED LIFT 3. REBUILD (2) STAIRCASES.

### List and describe the specific variance(s) being requested:

A VARIANCE TO RELIEVE THE PROJECT OF THE REQUIRED (4) PARKING SPACES DUE TO THE INCREASE OF 175 SQUARE FEET OF CONSUMPTION AREA

**Are there any easements, deed restrictions or other encumbrances attached to the property?**  Yes  No

If yes, please describe and attach relevant documents: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

City of Key West • Application for Variance

Will any work be within the dripline (canopy) of any tree on or off the property?  Yes  No  
 If yes, provide date of landscape approval, and attach a copy of such approval.

Is this variance request for habitable space pursuant to Section 122-1078?  Yes  No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. provide square footages and percentages.

| Site Data Table                     |                  |          |          |                  |
|-------------------------------------|------------------|----------|----------|------------------|
|                                     | Code Requirement | Existing | Proposed | Variance Request |
| Zoning                              | HRCC-2           |          |          |                  |
| Flood Zone                          | VE               |          |          |                  |
| Size of Site                        | 140,118 SQ. FT.  |          |          |                  |
| Height                              | 35 FEET          | 25,-6"   | 25,-6"   |                  |
| Front Setback                       | 10 FEET          |          |          |                  |
| Side Setback                        | 5 FEET           |          |          |                  |
| Side Setback                        | 5 FEET           |          |          |                  |
| Street Side Setback                 | 7.5 FEET         |          |          |                  |
| Rear Setback                        | 15 FEET          |          |          |                  |
| F.A.R                               | 0.5              |          |          |                  |
| Building Coverage                   | 50%              |          |          |                  |
| Impervious Surface                  | 60%              |          |          |                  |
| Parking                             |                  |          |          |                  |
| Handicap Parking                    |                  |          |          |                  |
| Bicycle Parking                     |                  |          |          |                  |
| Open Space/ Landscaping             | 20%              |          |          |                  |
| Number and type of units            |                  |          |          |                  |
| Consumption Area or Number of seats |                  |          |          |                  |

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at [http://www.municode.com/Library/FL/Key\\_West](http://www.municode.com/Library/FL/Key_West) under Subpart B.

\*Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.



Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

- 1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

The current building has no on premise parking. The site is surrounded by parking operated by the City of  
Key West.

- 2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

There has never been parking on this site which houses Turtle Kraals Restaurant. The increase of covered area on the  
second floor will not remove any existing parking.

- 3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

Within the Bight Area customers will park using the many lots or building that the City of Key West operates. Many will  
simply walk from the hotels and guest houses near by to enjoy the area.

- 4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

There is no parking presently on the site for the restaurant.

- 5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

A variance for (4) parking spaces will make possible the reasonable use of the building.

City of Key West • Application for Variance

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

The proposed project will not be injurious to the area.

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7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Existing nonconforming uses of other property shall not be considered for this variance request.

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**The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:**

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

**REQUIRED SUBMITTALS: All of the following must be submitted in order to have a complete application. Please submit one paper copy and one electronic copy of all materials.**

- Correct application fee. Check may be payable to "City of Key West."
- Notarized verification form signed by property owner or the authorized representative.
- Notarized authorization form signed by property owner, if applicant is not the owner.
- Copy of recorded warranty deed
- Property record card
- Signed and sealed survey
- Site plan (plans MUST be signed and sealed by an Engineer or Architect)
- Floor plans
- Stormwater management plan

# **Authorization**

**City of Key West  
Planning Department**



**Authorization Form**  
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, J. K. SCHOLL as  
*Please Print Name of person with authority to execute documents on behalf of entity*

CITY MANAGER of CITY OF KEY WEST  
*Name of office (President, Managing Member) Name of owner from deed*

authorize THOMAS KELLY  
*Please Print Name of Representative*

to be the representative for this application and act on my/our behalf before the City of Key West.

JK Scholl  
*Signature of person with authority to execute documents on behalf on entity owner*

Subscribed and sworn to (or affirmed) before me on this \_\_\_\_\_  
*Date*

by J K Scholl  
*Name of person with authority to execute documents on behalf on entity owner*

He/She is personally known to me or has presented 10-25-16 as identification.

Maria G. Ratcliff  
*Notary's Signature and Seal*

Maria G. Ratcliff  
*Name of Acknowledger typed, printed or stamped*

March 22, 2019  
*Commission Number, if any*



# Verification

City of Key West  
Planning Department



Verification Form

(Where Authorized Representative is an individual)

I, THOMAS KELLY, being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

231 MARGARET STREET, KEY WEST,

*Street address of subject property*

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

*Thomas Kelly*  
*Signature of Authorized Representative*

Subscribed and sworn to (or affirmed) before me on this 12/14/2016 by  
*date*

Thomas Kelly  
*Name of Authorized Representative*

He/She is personally known to me or has presented FL drivers license as identification.

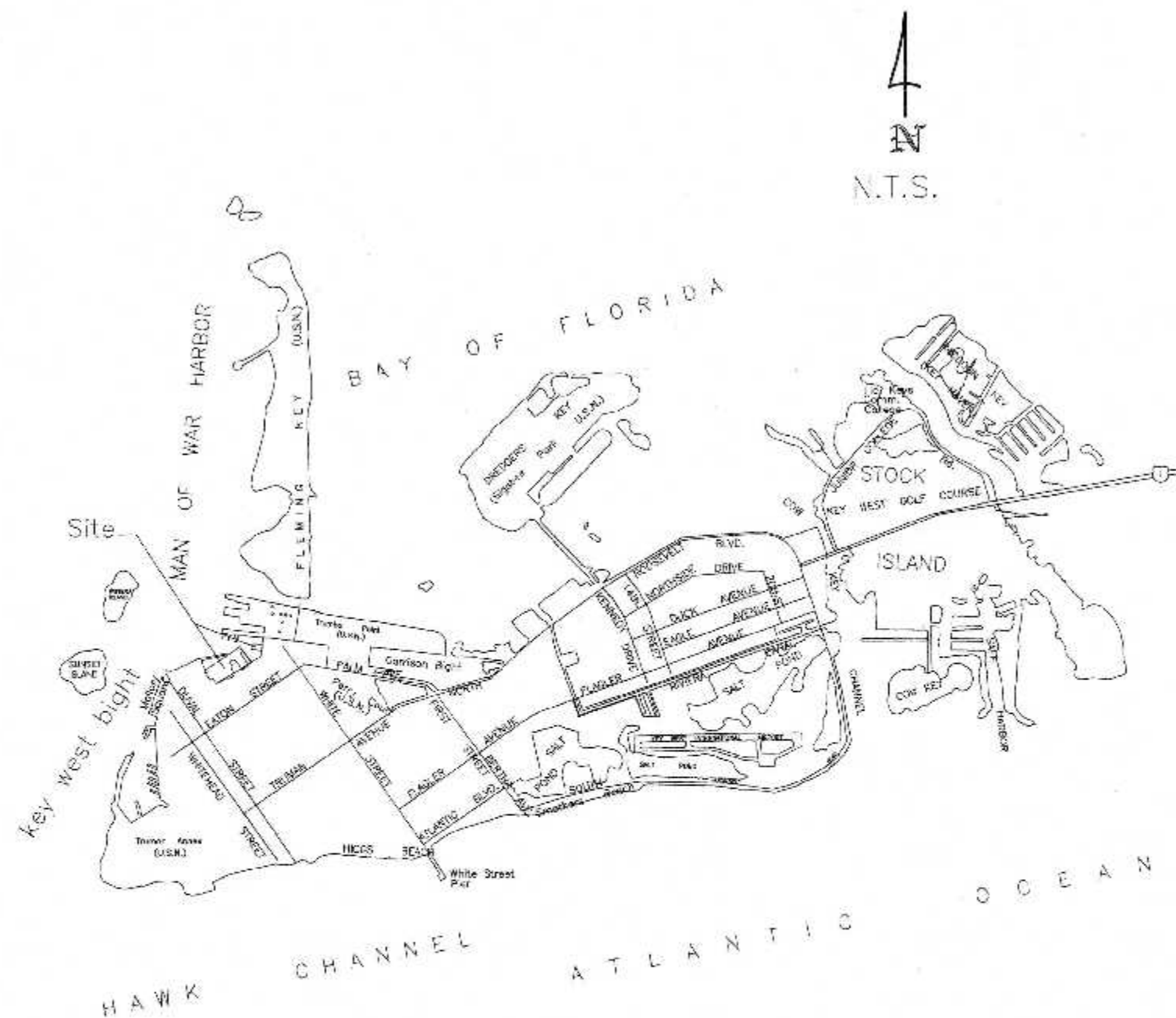
*J. Mel*  
*Notary's Signature and Seal*



Jessica Melser  
*Name of Acknowledger typed, printed or stamped*

9936378  
*Commission Number, if any*

# Survey



**LOCATION MAP**

City of Key West &  
Stock Island

**SURVEYOR'S NOTES:**

North arrow based on plot assumed median  
Reference Bearing: NAD 27  
3.4 denotes existing elevation  
Elevations based on N.G.V.D. 1929 Datum  
Bench Mark No.: Basic Elevation: 14.324  
Monumentation:

- ◆ = set 1/2" Iron Pipe, P.L.S. No. 2749
- = Found Iron Pipe
- = Found Iron Bar
- ▲ = Set P.K. Nail, P.L.S. No. 2749
- ▲ = Found P.K. Nail

**Abbreviations:**

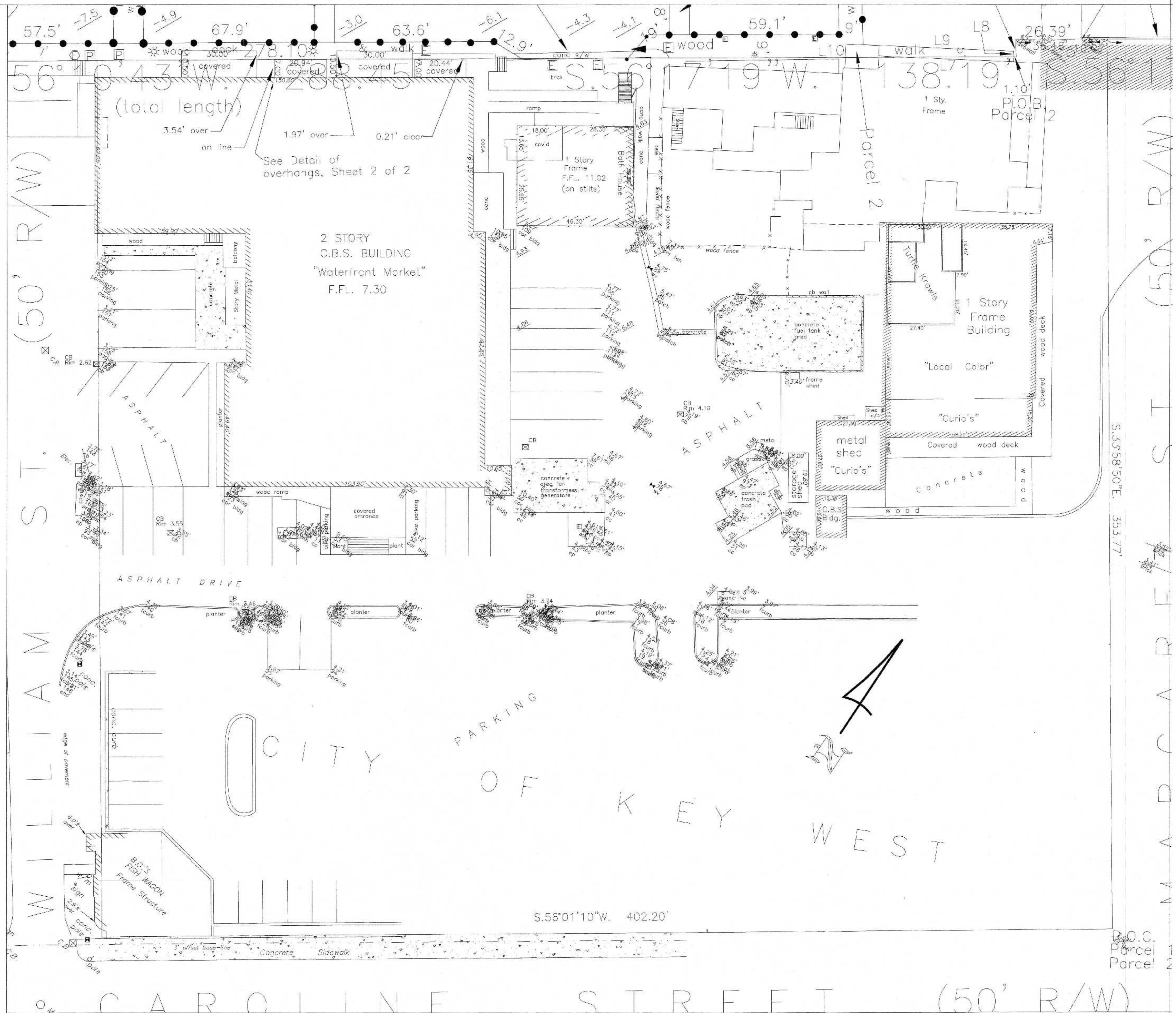
- |                             |                                 |                                     |
|-----------------------------|---------------------------------|-------------------------------------|
| Sty. = Story                | o/h = Overhead                  | □ = Concrete Utility Pole           |
| R/W = Right-of-Way          | u/g = Underground               | ○ = Wood Utility Pole               |
| fd. = Found                 | F.F.L. = Finish Floor Elevation | ○ = Wood Utility Pole with Guy wire |
| p. = Plat                   | L.B. = Low Beam                 | ◆ F.W. = Fire Well                  |
| m. = Measured               | Rac. = Racial                   | ⊕ V.W. = Monitoring Well            |
| d. = Deced                  | Irr. = Irregular                | ○ = Water Meter                     |
| M.H.W. = Mean High Water    | conc. = concrete                | ○ = Water Valve                     |
| O.R. = Official Records     | I.P. = Iron Pipe                | ○ = Electric Manhole                |
| Sec. = Section              | I.B. = Iron Bar                 | ○ = Electric Utility Vault          |
| Two. = Township             | ⊖ = Baseline                    | ○ M.H. = Man Hole                   |
| Rge. = Range                | C.B. = Concrete Block           | San. = Sanitary                     |
| N.T.S. = Not to Scale       | C.B.S. = Concrete Block Stucco  | ☒ C.B. = Storm Water Catch Basin    |
| CL = Centerline             | cov'd. = Covered                | Inv. = Invert                       |
| Elev. = Elevation           | P.I. = Point of Intersection    | B.P.Z. = Backflow Prevention Valve  |
| B.M. = Bench Mark           | wd. = Wood                      | P.V.C. = Polyvinyl Pipe             |
| P.C. = Point of Curvature   | R = Radius                      | R.C.P. = Reinforced Concrete pipe   |
| P.T. = Point of Tangency    | A = Arc (Length)                | + = Fire Hydrant                    |
| P.O.C. = Point of Commence  | D = Delta, (Central angle)      | * = Light                           |
| P.O.B. = Point of Beginning | w.m. = Water Meter              | ○ = sign                            |
| P.B. = Plat Book            | Bal. = Balcony                  |                                     |
| pg. = page                  | Pl. = Planter                   |                                     |
| Elec. = Electric            | Hydt. = Fire Hydrant            |                                     |
| Tel. = Telephone            | F.W. = Fire Well                |                                     |
| Ench. = Encroachment        | A/C = Air Conditioner           |                                     |
| O.L. = On Line              |                                 |                                     |
| C.L.F. = Chain Link Fence   |                                 |                                     |

Field Work performed on: 1/23/06, 1/26/06

**CERTIFICATION:**  
I HEREBY CERTIFY that the attached TOPOGRAPHICAL SURVEY is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 61017-6, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT  
Professional Land Surveyor & Mapper No. 2749  
Professional Engineer No. 36810  
State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE

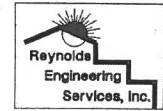


|   |                             |                    |                  |
|---|-----------------------------|--------------------|------------------|
| City of Key West<br>Key West Bight, Key West, Florida 33040 |                             |                    |                  |
| TOPOGRAPHICAL SURVEY (Trash Area)                           |                             |                    | Dep. No.: 06-120 |
| Scale: 1" = 20'   | Ref. Flood panel No. 1516 K | File 165-51        | Own. By: F.H.H.  |
| Date: 2/17/06   | Flood Zone: AE-VE           | Flood Elev. 7'-10" |                  |
| REVISIONS AND/OR ADDITIONS                                  |                             |                    |                  |

FREDERICK H. HILDEBRANDT  
ENGINEER PLANNER SURVEYOR  
3152 Northside Drive  
Suite 201  
Key West, FL 33040  
(305) 293-0765  
Fax: (305) 293-0237



# Site Plans



THOMAS KELLY ENTERPRISES INC.  
 3941 ROCKY ROAD - GUNBAR OAK KEY  
 • DESIGN CONCEPTS  
 • CONSTRUCTION MANAGEMENT  
 (304) 304-1884

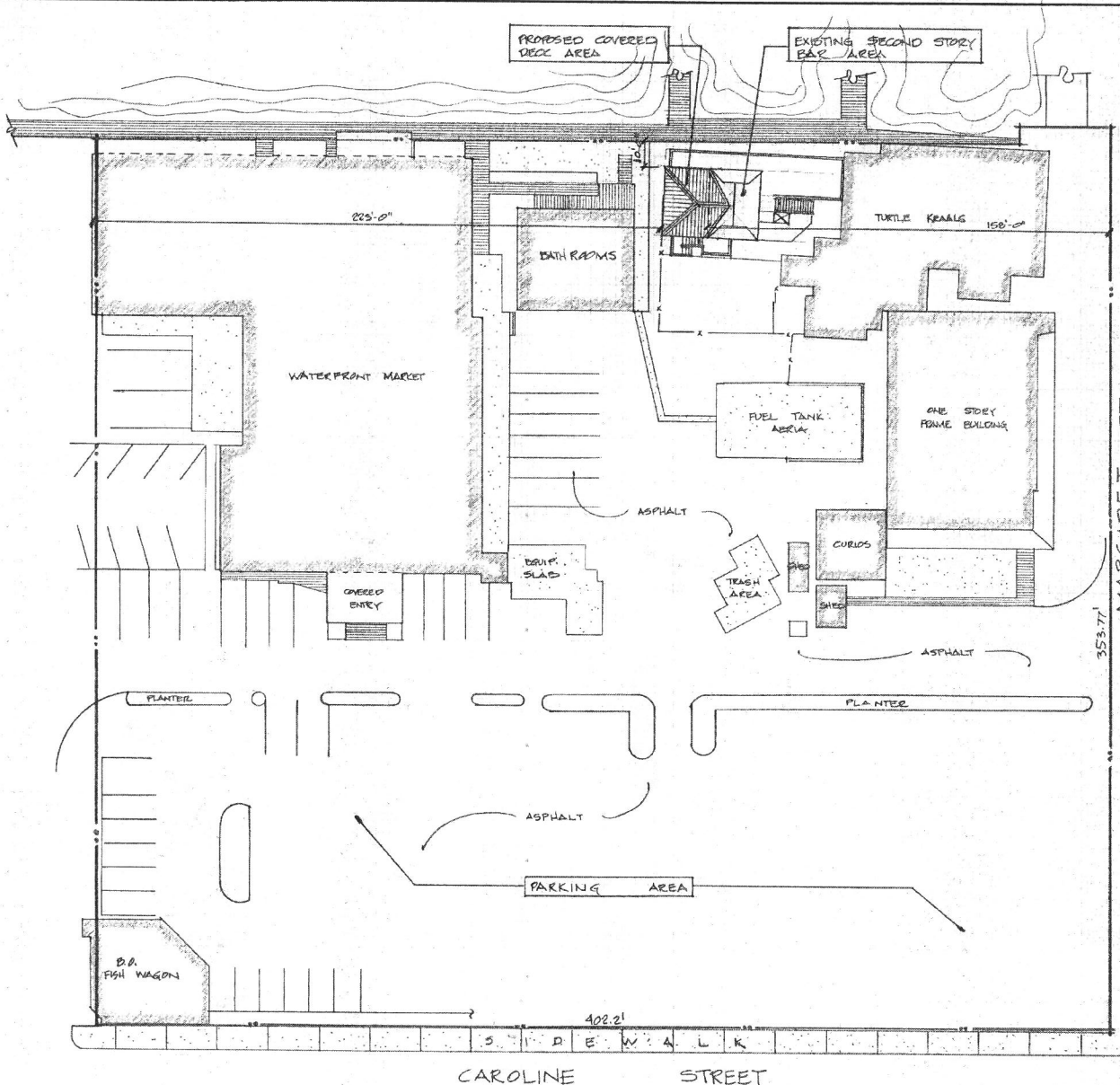
STRUCTURAL DETAILS BY  
**JAMES C. REYNOLDS, PE**  
 FLORIDA P.E. #14888  
 2830 LAHTIS DRIVE GULF BAY, FL 33648  
 (800) 364-9887

SEAL  
 JAMES C. REYNOLDS PE

KEY WEST  
**TURTLE KRAALS RESTAURANT and BAR**  
 SITE PLAN

DRAWN: TKK  
 DATE: 06/18/18

SHEET NUMBER  
**S-1**  
 of 1  
 PROJECT NO.



**TURTLE KRAALS RESTAURANT and BAR**

**BUILDINGS**

- BO FISH WAGON = 1660 SQ. FT.
- WATERFRONT MARKET = 24566 SQ. FT.
- BATH HOUSE = 1833 SQ. FT.
- CURIOS 'METAL SHED' = 762 SQ. FT.
- STORAGE SHEDS = 328 SQ. FT.
- TURTLE KRAALS = 6692 SQ. FT.
- ONE STORY FRAME BUILDING = 6045 SQ. FT.

TOTAL EXISTING BUILDING AREA = 41778 SQ. FT.

EXISTING BUILDING TO LOT RATIO = 29.8%

PROPOSED COVERED DECK = 484 SQ. FT.

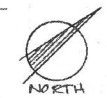
TOTAL PROPOSED BUILDING TO LOT RATIO = 30.2%

**PROJECT DATA**

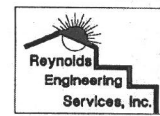
|                    |                               |       |                      |
|--------------------|-------------------------------|-------|----------------------|
| ADDRESS            | 231 MARGARET STREET, KEY WEST |       |                      |
| LEGAL              | KW LOT 1&2, SQUARE 10         |       |                      |
| BUILD'G ZONE       | HRCC-2                        |       |                      |
| FLOOD ZONE         | AE - VE                       |       |                      |
| LOT AREA           | 14018 SQ. FT.                 |       |                      |
| BUILD'G AREA       | 42280 SQ. FT.                 | 30.2% |                      |
| IMPERVIOUS SURFACE | 124776 SQ. FT.                | 88.1% | (EXISTING TO REMAIN) |
| OPEN SPACE         | 15943 SQ. FT.                 | 10.9% | (EXISTING TO REMAIN) |

SITE PLAN

CAROLINE STREET



1" = 20'-0"



THOMAS KELLY ENTERPRISES INC.  
 8941 ROOBY ROAD - SUITE 104F WEST  
 MIAMI, FL 33157  
 • DESIGN CONCEPTS  
 • CONSTRUCTION MANAGEMENT  
 (305) 745-1000

**TURTLE KRAALS  
 RESTAURANT and BAR**

STRUCTURAL DETAILS BY  
**JAMES C. REYNOLDS, PE**  
 8880 LAWRENCE DRIVE SUITE 100  
 OCOEE, FL 32764  
 (305) 894-9887

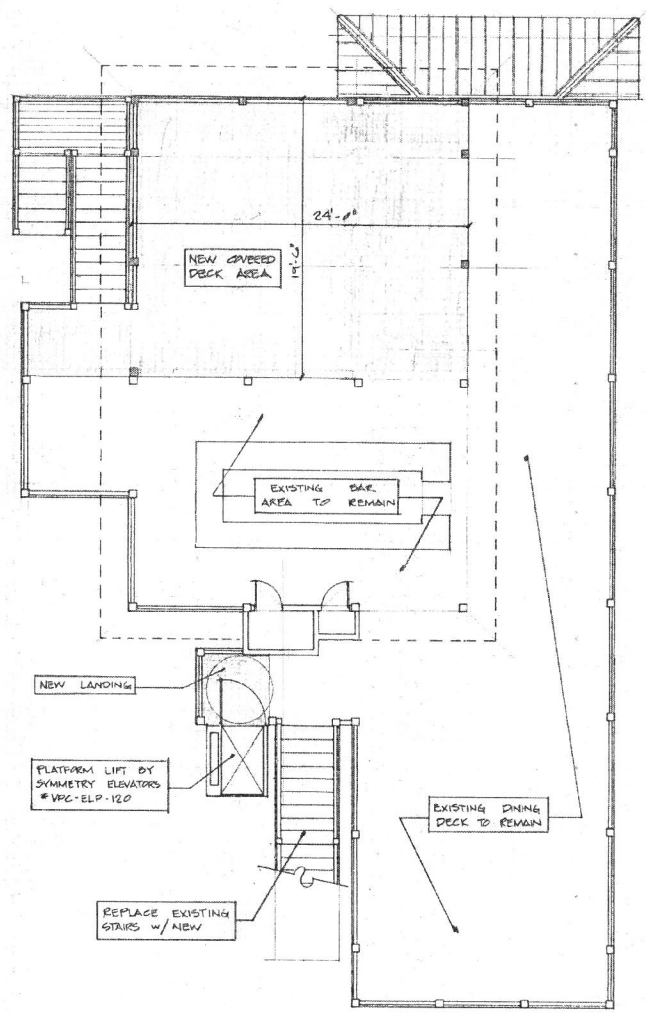
SEAL  
 JAMES C. REYNOLDS PE  
 NEW WEST

**TURTLE KRAALS RESTAURANT and BAR  
 SITE PLAN and FLOOR PLANS**

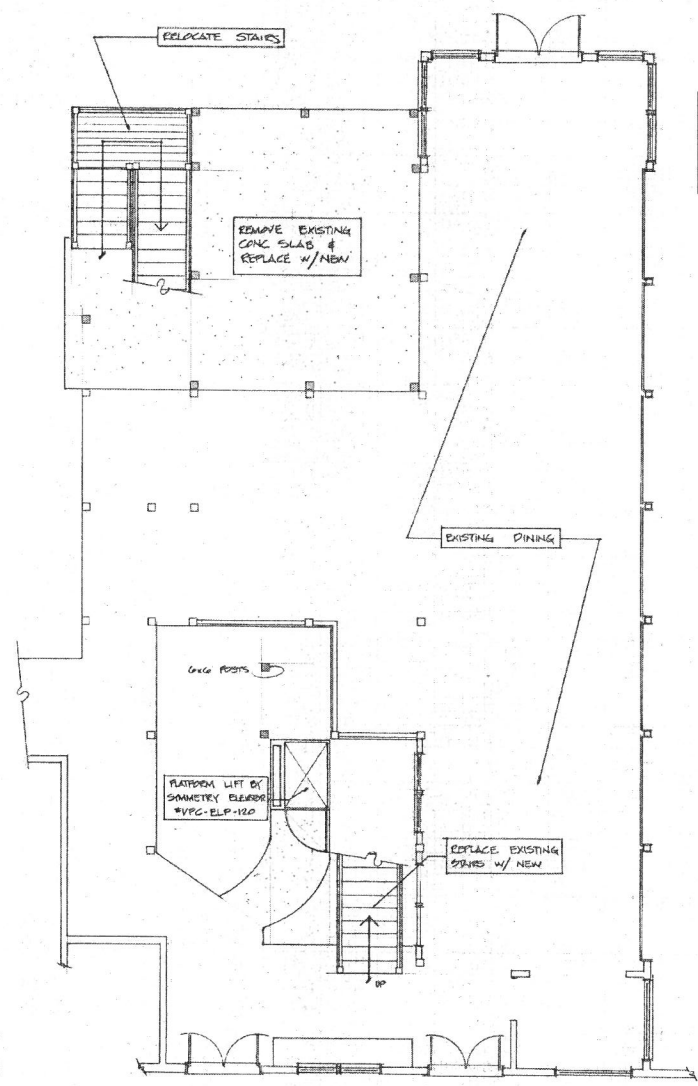
DRAWN: TOR  
 DATE: 06/10/18

SHEET NUMBER  
**D-1**  
 OF 5

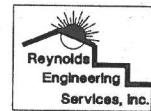
PROJECT NO.



SECOND FLOOR PLAN 1/4" = 1'-0"



FIRST FLOOR PLAN 1/4" = 1'-0"



THOMAS KELLY ENTERPRISES INC.  
 5841 ROCKY ROAD - SUWANLOE KEY  
 \* DESIGN CONCEPTS  
 \* CONSTRUCTION MANAGEMENT  
 (800) 745-1900

STRUCTURAL DETAILS BY  
**JAMES C. REYNOLDS, PE**  
 FLORIDA P.E. #48888  
 3838 LANTANA DRIVE SUWANNEE, FL 34406  
 (407) 384-0887

SEAL

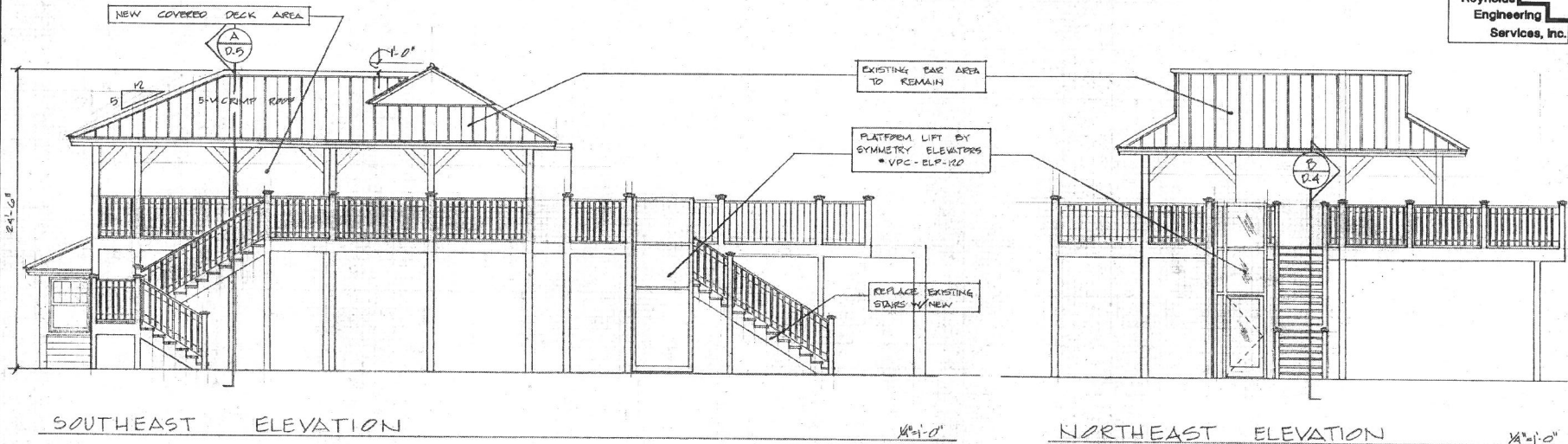
KEY: WEST

**TURTLE KRAALS RESTAURANT and BAR**  
 EXTERIOR ELEVATIONS

DRAWN BY  
 DATE: 06/12/18

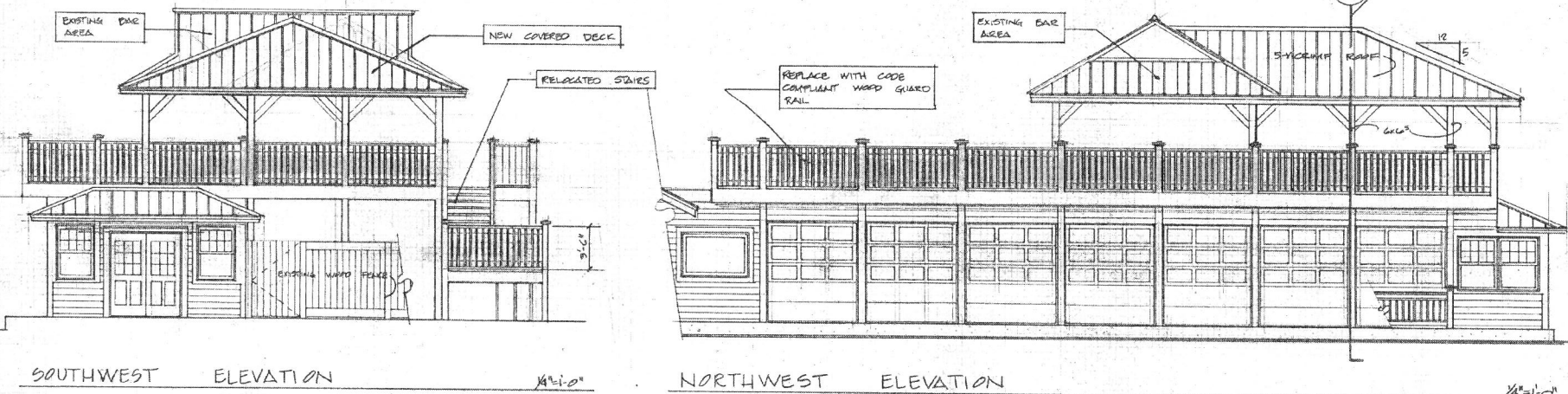
SHEET NUMBER  
**D-2**  
 OF 5

PROJECT NO.



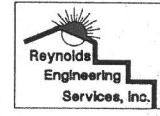
SOUTHEAST ELEVATION

NORTHEAST ELEVATION



SOUTHWEST ELEVATION

NORTHWEST ELEVATION



THOMAS KELLY ENTERPRISES INC.  
 3941 ROCKY ROAD - SUBURBAN OAK HAVEN  
 • DESIGN CONCEPTS  
 • DESIGN MANAGEMENT  
 • CONSTRUCTION MANAGEMENT  
 (508) 304-1994

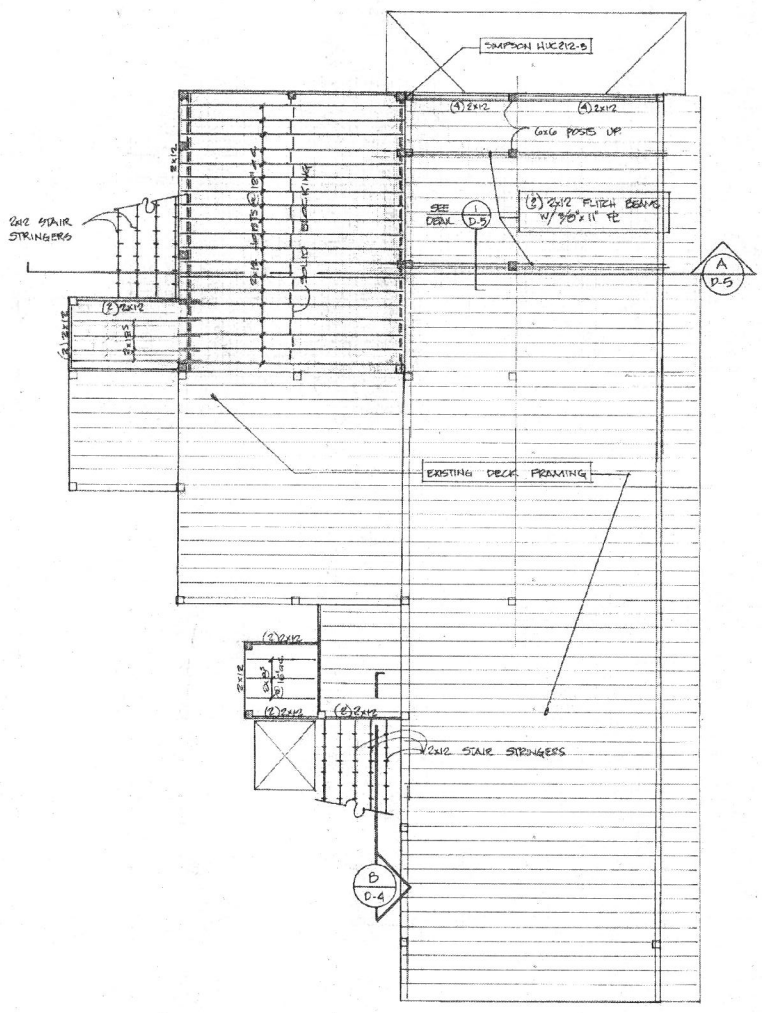
STRUCTURAL DETAILS BY  
**JAMES C. REYNOLDS, PE**  
 FLORIDA P.E.#A48885  
 2220 LAUREL DRIVE GAITHERSBURG, MD 20878  
 (301) 354-8887

SEAL  
 JAMES C. REYNOLDS PE

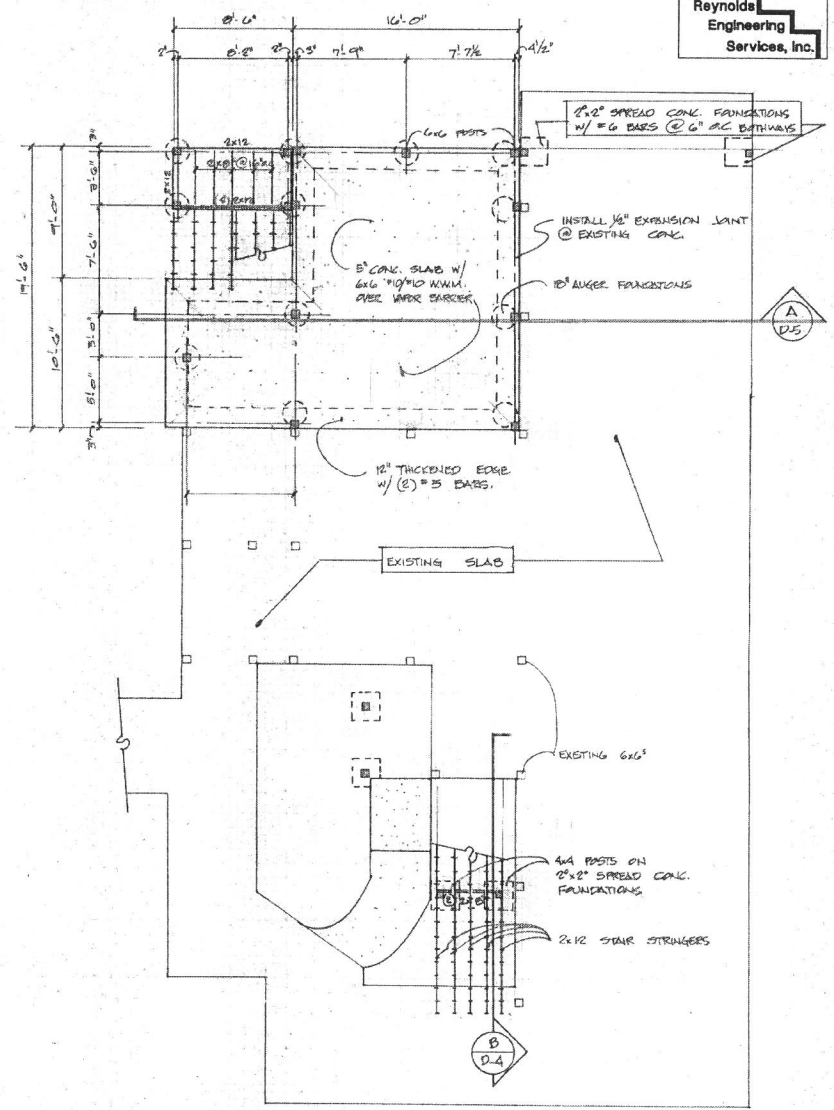
TURTLE KRAALS RESTAURANT and BAR  
 FOUNDATION and FIRST FLOOR FRAMING PLAN  
 KEY WEST

DRAWN FOR  
 DATE 06/16/18

SHEET NUMBER  
 0-3



DECK FRAMING PLAN *1/4" = 1'-0"*



FOUNDATION PLAN *1/4" = 1'-0"*



**GENERAL NOTES:**

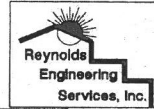
- All work shall comply with applicable codes.
- Contractor shall follow the manufacturer specifications and recommendations when selecting the correct connector for the environment and wood type.
- The Builder using these plans shall be responsible for the means, methods, techniques, sequences, procedures and all safety aspects of construction.
- The Builder shall check and verify all dimensions and elevations.
- This Design is based on the FLORIDA BUILDING fifth edition (2014)
- Design loads are as follows:
  - Wind Load @ 150 MPH ABOE 7
  - Exposure D
  - Deck Load = 100 PSF

- Existing underground utilities are not shown and Contractor shall contact all utility companies prior to any excavation. Contractor shall protect all utilities and shall be responsible for any damages at his expense.
- All lumber for structural members shall be Southern Pine and pressure-treated where required.
- Handrail and guards shall be extruded aluminum and pressure treated lumber.
  - A. Guards shall be located along open-sided walking surfaces and in accordance with Section 9075 of the FLORIDA BUILDING CODE
  - B. Handrail height, measured above stair tread nosing shall be uniform and between 34" and 38".
  - C. Handrails with a circular cross section shall have an outside diameter of at least 1 1/2" and not greater than 2.0" or provide equivalent graspability.
  - D. Clear space between a handrail and a wall shall be a minimum of 1.0".
  - E. Guards shall form a protective barrier not less than 36" with opening limitations such that a 4" diameter sphere cannot pass through. The triangular opening formed by the riser, tread and bottom rail at the open side of a stairway shall be of a maximum size such that a sphere of 6" in diameter cannot pass through.

9. Connections (all nail sets for eaves space and stagger nails to prevent splitting)  
**6x6 POSTS TO CONCRETE PIERS**  
 1/4" x 2-1/2" STL. PLATE w/ hook embedded 1 1/2" into concrete (2) 3/4" thru-bolts or SMPSON C880

**ROOF RAFTERS TO DOUBLE TOP PLATE RAFTER TO RAFTER**  
 Use 1-1/2" 14-gauge galvanized strap w/ (4) 10d nails in each rafter  
**5/8" SUBROOF TO RAFTERS**  
 10d nail @ 4" o.c. at all panel edges. Field nailing @ 8" o.c.

- Concrete shall be a mix designed by a recognized testing lab to achieve a strength of 4000 psi at 28 days with a plastic and workable mix. Concrete to be mixed, placed and cured according to ACI standards and specifications.
- Reinforcing steel shall be ASTM A 618 Grade 60 deformed bars of new label steel free from all scale and loose rust and placed in accordance with ACI standards and specifications.
- Soil supporting concrete slabs on grade shall be compacted to a density of not less than 98 percent of the maximum density as determined by the Standard Proctor Method.
- The soil shall be treated to protect against subterranean termites. A Certificate of Compliance shall be issued which meets the requirements of section 2304.11



THOMAS KELLY ENTERPRISES INC.  
 8941 ROOBY ROAD - SUBARONIA FLY  
 • DESIGN CONCEPTS  
 • CONSTRUCTION MANAGEMENT  
 (305) 304-9884

STRUCTURAL DETAILS BY  
**JAMES C. REYNOLDS, PE**  
 FLORIDA REGISTERED PROFESSIONAL ENGINEER  
 2220 LAWRITTE DRIVE GULF BREEZE, FL 32562  
 (305) 384-9887

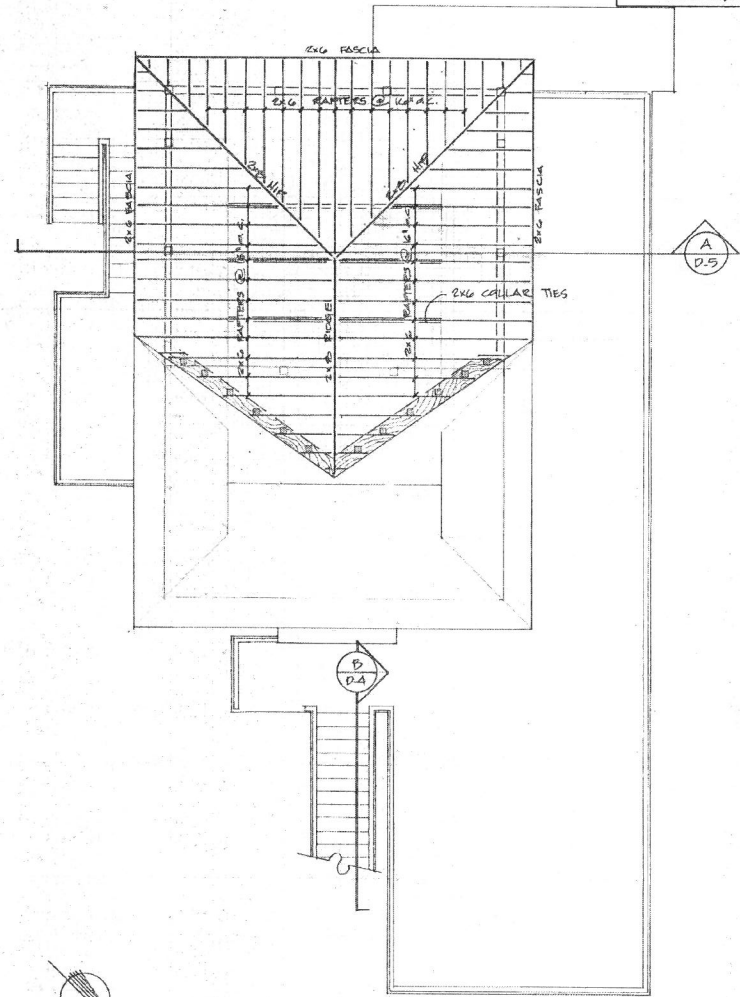
SEAL  
 JAMES C. REYNOLDS PE

TURTLE KRAALS RESTAURANT and BAR  
 ROOF FRAMING PLAN and STAIR SECTION  
 CITY, MISSISSIPPI

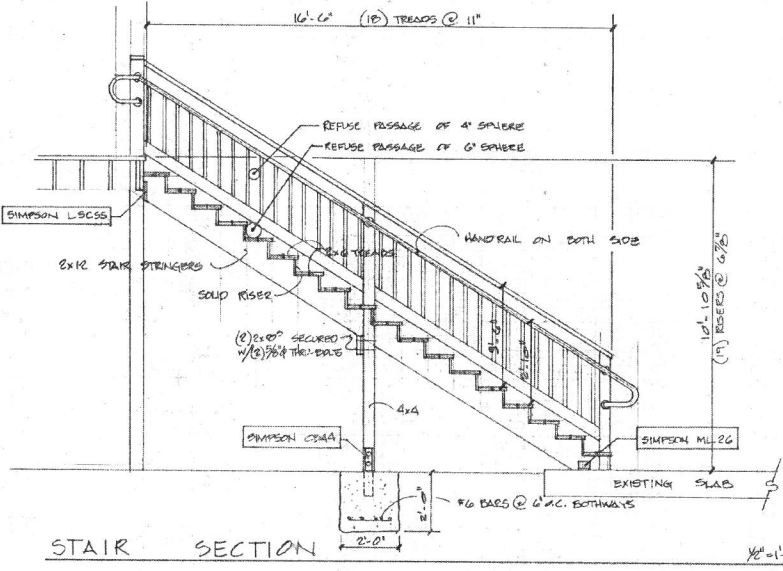
DRAWN FOR  
 DATE: 6/1/16

SHEET NUMBER  
**D-4**  
 5

PRC

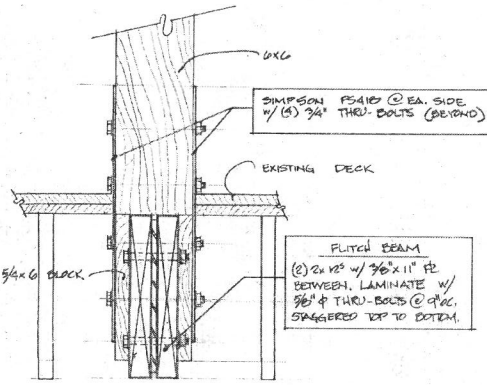


ROOF FRAMING PLAN



STAIR SECTION

B



FLITCH BEAM DETAIL 3/4" x 1" 1

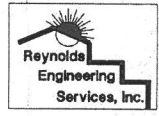
**WIND PRESSURES**

|        |          |
|--------|----------|
| ZONE 1 | = -37.3  |
| ZONE 2 | = -102.5 |
| ZONE 3 | = -102.5 |

Install 5-V-Crimp Metal Roofing Panel System as manufactured by "SOUTHEASTERN METALS" (NOA No-18-0510.23) or Equal

**UNDERLAYMENT** Underlayment shall be an ASTM D 226 Type II installed w/ a minimum 4" side-lap and 6" end-lap. Fasten w/ corrosion resistant tin-tab and 12ga. x 1-1/4" ring shank nails @ 6" o.c. at laps and 12" o.c. in field (stagger rows).

**FASTENING** Panel overlap and center ribs are to be installed using #9 x 2" screws 1" from the panel end and maximum fastener spacing of 8" o.c. there after.



THOMAS KELLY ENTERPRISES INC.  
 3941 ROCKY ROAD - SUWANEE, GA 30086  
 • DESIGN CONCEPTS  
 • CONSTRUCTION MANAGEMENT  
 (770) 504-1884

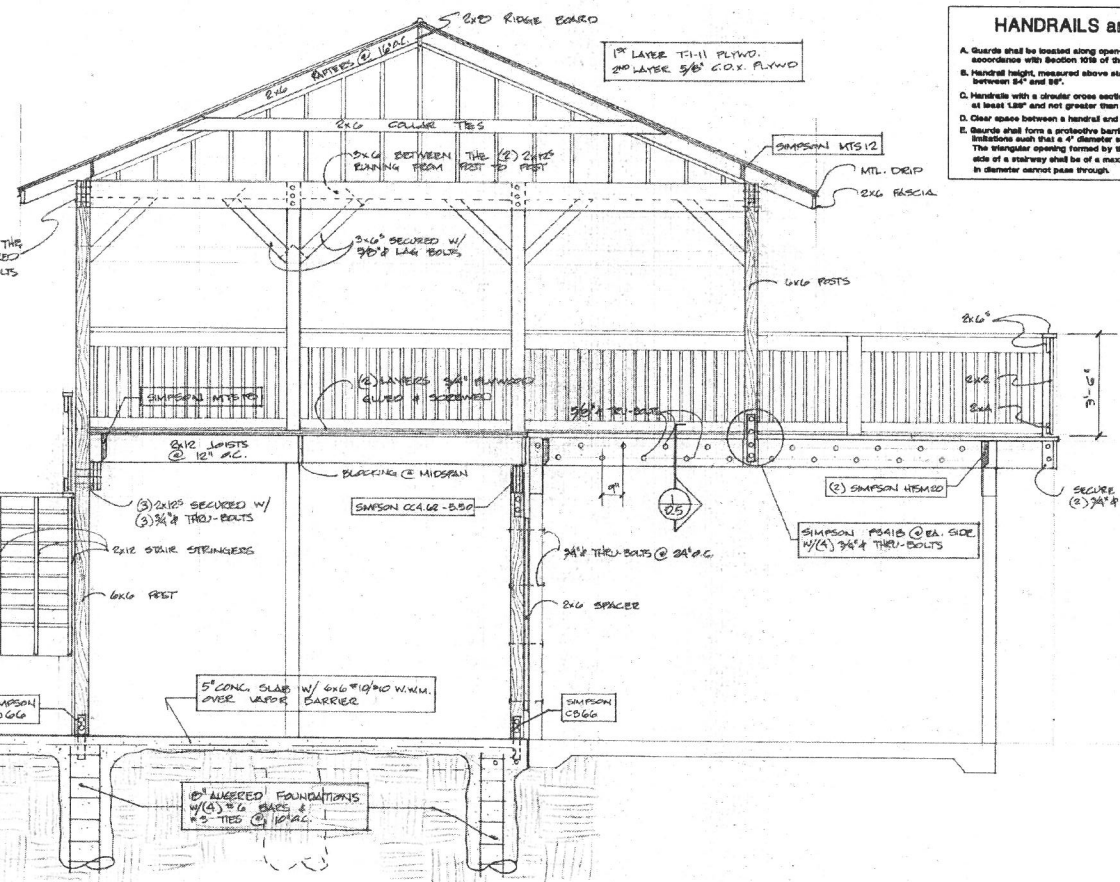
STRUCTURAL DETAILS BY  
**JAMES C. REYNOLDS, PE**  
 2280 LANTIER DRIVE SUWANEE, FL 34406  
 (305) 384-5987

SEAL  
 JAMES C. REYNOLDS, PE  
 KEY WEST

**TURTLE KRAALS RESTAURANT and BAR**  
**BUILDING SECTION**

DRAWN: TKR  
 DATE: 06/14/19

SHEET NUMBER  
**D-5**  
 OF 5  
 PKC



BUILDING SECTION

KEY WEST A

# **Property Appraiser Information**





**Scott P. Russell, CFA**  
**Property Appraiser**  
**Monroe County, Florida**

Key West (305) 292-3420  
Marathon (305) 289-2550  
Plantation Key (305) 852-7130

The offices of the Property Appraiser will be closed **Monday**  
**October 10th for Columbus Day.** Website tested on IE8, IE9, & Firefox. Requires Adobe Flash 10.3 or higher

**Property Record Card -**  
**Maps are now launching the new map application version.**

**Alternate Key: 8818645 Parcel ID: 00072082-004400**

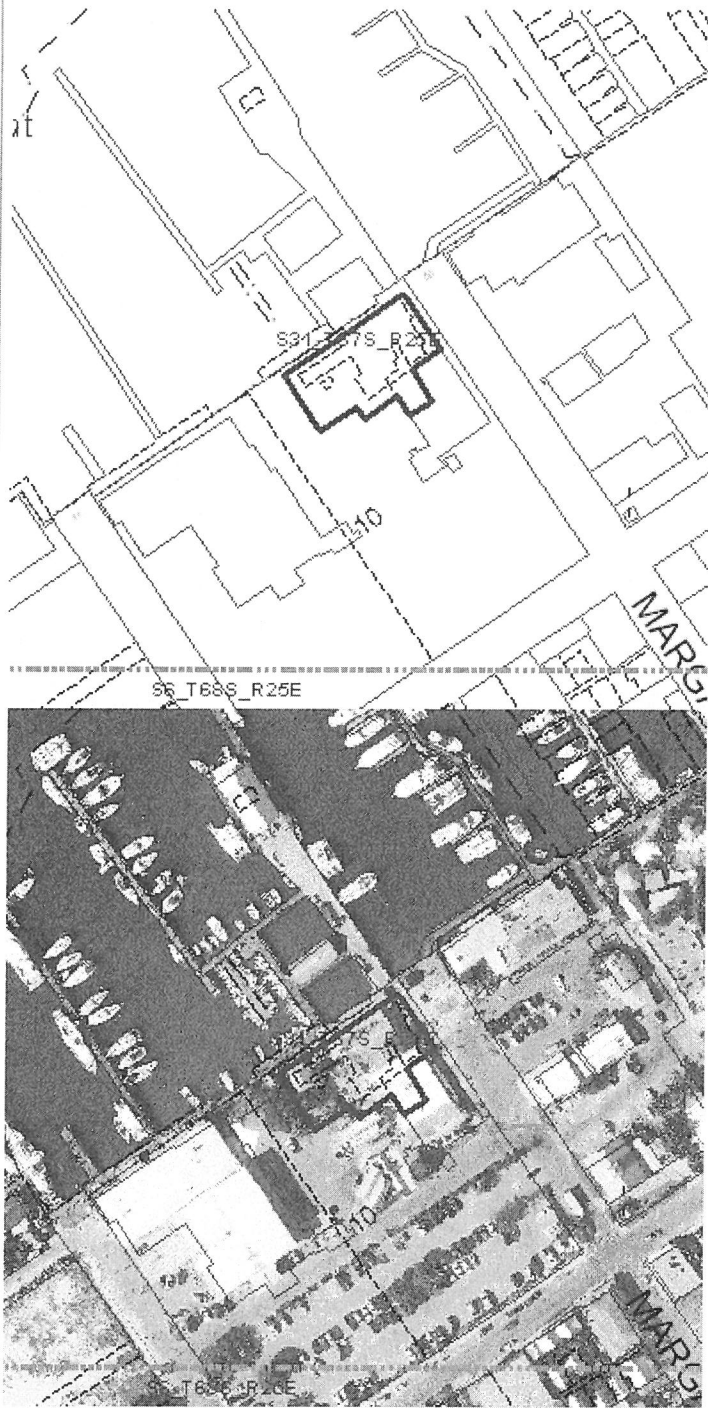
**Ownership Details**

**Mailing Address:**  
CITY OF KEY WEST  
PO BOX 1409  
KEY WEST, FL 33041-1409

**Property Details**

**PC Code:** 21 - RESTAURANTS & CAFETERIAS  
**Millage Group:** 12KW  
**Affordable Housing:** No  
**Section-Township-Range:** 31-67-25  
**Property Location:** MARGARET ST KEY WEST  
**Legal Description:** KW PT SQR 10 (TURTLE KRAALS LEASE) G42-467/68 OR427-17/18 OR572-126E OR656-645/46 OR1424-992/99 OR1464-926/930(RES NO 97-132)

Click Map Image to open interactive viewer



### Land Details

| Land Use Code               | Frontage | Depth | Land Area    |
|-----------------------------|----------|-------|--------------|
| 10WA - COMM WATERFRONT ACRE | 0        | 0     | 12,225.00 SF |

### Building Summary

Number of Buildings: 2  
Number of Commercial Buildings: 2

Total Living Area: 5566  
Year Built: 1974

### Building 1 Details

Building Type  
Effective Age 14  
Year Built 1974  
Functional Obs 0

Condition G  
Perimeter 140  
Special Arch 0  
Economic Obs 0

Quality Grade 400  
Depreciation % 15  
Grnd Floor Area 1,150

**Inclusions:**

Roof Type  
Heat 1  
Heat Src 1

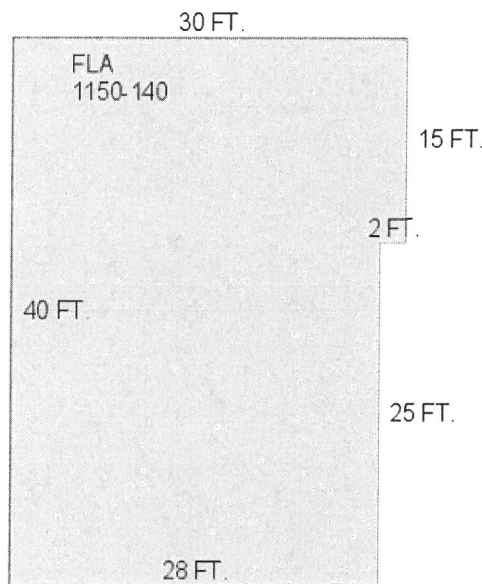
Roof Cover  
Heat 2  
Heat Src 2

Foundation  
Bedrooms 0

**Extra Features:**

2 Fix Bath 0  
3 Fix Bath 0  
4 Fix Bath 0  
5 Fix Bath 0  
6 Fix Bath 0  
7 Fix Bath 0  
Extra Fix 4

Vacuum 0  
Garbage Disposal 0  
Compactor 0  
Security 0  
Intercom 0  
Fireplaces 0  
Dishwasher 0



**Sections:**

| Nbr | Type | Ext Wall | # Stories | Year Built | Attic | A/C | Basement % | Finished Basement % | Area  |
|-----|------|----------|-----------|------------|-------|-----|------------|---------------------|-------|
| 1   | FLA  |          | 1         | 1992       |       |     |            |                     | 1,150 |

**Interior Finish:**

| Section Nbr | Interior Finish Nbr | Type          | Area % | Sprinkler | A/C |
|-------------|---------------------|---------------|--------|-----------|-----|
|             | 16464               | 1 STY STORE-A | 100    | Y         | Y   |

Exterior Wall:

| Interior Finish Nbr | Type   | Area % |
|---------------------|--------|--------|
| 5676                | C.B.S. | 100    |

**Building 2 Details**

Building Type  
 Effective Age 14  
 Year Built 1974  
 Functional Obs 0

Condition G  
 Perimeter 380  
 Special Arch 0  
 Economic Obs 0

Quality Grade 400  
 Depreciation % 18  
 Grnd Floor Area 4,416

Inclusions:

Roof Type  
 Heat 1  
 Heat Src 1

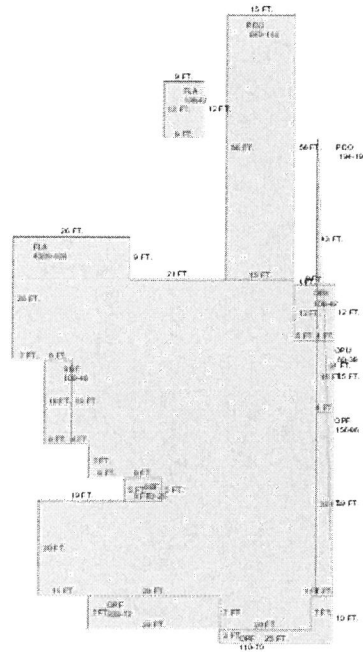
Roof Cover  
 Heat 2  
 Heat Src 2

Foundation  
 Bedrooms 0

Extra Features:

2 Fix Bath 0  
 3 Fix Bath 0  
 4 Fix Bath 0  
 5 Fix Bath 0  
 6 Fix Bath 0  
 7 Fix Bath 0  
 Extra Fix 21

Vacuum 0  
 Garbage Disposal 0  
 Compactor 0  
 Security 0  
 Intercom 0  
 Fireplaces 0  
 Dishwasher 0



Sections:

| Nbr | Type | Ext Wall | # Stories | Year Built | Attic | A/C | Basement % | Finished Basement % | Area  |
|-----|------|----------|-----------|------------|-------|-----|------------|---------------------|-------|
| 1   | FLA  |          | 1         | 1992       |       |     |            |                     | 4,308 |
| 2   | OPF  |          | 1         | 1992       |       |     |            |                     | 203   |
| 3   | SBF  |          | 1         | 1992       |       |     |            |                     | 40    |

|    |     |   |      |     |
|----|-----|---|------|-----|
| 4  | SBF | 1 | 1992 | 108 |
| 5  | OPF | 1 | 1992 | 156 |
| 6  | OPU | 1 | 1992 | 60  |
| 7  | OPX | 1 | 1992 | 108 |
| 8  | PDO | 1 | 1992 | 840 |
| 9  | FLA | 1 | 1992 | 108 |
| 10 | PDO | 1 | 1992 | 428 |
| 11 | OPF | 1 | 1998 | 110 |

**Interior Finish:**

| Section Nbr | Interior Finish Nbr | Type                | Area % | Sprinkler | A/C |
|-------------|---------------------|---------------------|--------|-----------|-----|
|             | 16465               | RESTAURANT & CAFETR | 100    | N         | Y   |
|             | 16466               | OPF                 | 100    | N         | N   |
|             | 16467               | SBF                 | 100    | N         | N   |
|             | 16468               | SBF                 | 100    | N         | N   |
|             | 16469               | OPF                 | 100    | N         | N   |
|             | 16470               | OPU                 | 100    | N         | N   |
|             | 16471               | OPX                 | 100    | N         | N   |
|             | 16472               | PDO                 | 100    | N         | N   |
|             | 16473               | RESTAURANT & CAFETR | 100    | N         | N   |
|             | 16474               | PDO                 | 100    | N         | N   |

**Exterior Wall:**

| Interior Finish Nbr | Type               | Area % |
|---------------------|--------------------|--------|
| 5677                | AB AVE WOOD SIDING | 100    |

**Misc Improvement Details**

| Nbr | Type      | # Units | Length | Width | Year Built | Roll Year | Grade | Life |
|-----|-----------|---------|--------|-------|------------|-----------|-------|------|
| 1   | PT3:PATIO | 1 UT    | 0      | 0     | 1975       | 1976      | 3     | 50   |

**Appraiser Notes**

TWR IN MISC IS A TOWER UPON WHICH LG PUT AN OVERRIDE VALUE..BCS

6/12/04 IN PRIOR YEARS THIS PARCEL INCLUDED NUMEROUS BLDGS SUCH AS THE SHOPS NEXT DOOR (LOCAL COLOR/CURIO SHOP/STARS & STRIPES OFFICE). FOR THE 2004 TAX ROLL THIS PARCEL WILL ONLY INCLUDE THE TURTLE KRAALS LEASED AREA. LG TWR IN MISC IS THE TOWER.

BLDG 1 USED FOR STORAGE/BEHIND LOCAL COLOR ,BLDG 2 TURTLE KRAAL RESTAURANT

**Building Permits**

| Bldg Number | Date Issued | Date Completed | Amount | Description | Notes                             |
|-------------|-------------|----------------|--------|-------------|-----------------------------------|
| 62          | 08-0205     | 02/11/2008     | 12,500 | Commercial  | REMOVE & REPLACE PORCH ROOF 6 SQS |
| 1           | B933708     | 12/01/1993     | 3,500  | Commercial  | CONCRETE PAD FOR TANK             |

|    |         |            |            |        |            |                           |
|----|---------|------------|------------|--------|------------|---------------------------|
| 2  | B940308 | 01/01/1994 | 12/01/1994 | 1,000  | Commercial | DIESEL TANK               |
| 3  | B943065 | 09/01/1994 | 12/01/1994 | 30,000 | Commercial | REPAIRS                   |
| 4  | B951388 | 04/01/1995 | 08/01/1995 | 1,800  | Commercial | TICKET BOOTH FOR PARK LOT |
| 5  | P951433 | 05/01/1995 | 08/01/1995 | 3,500  | Commercial | PLUMBING                  |
| 6  | B951967 | 06/01/1995 | 12/01/1995 | 2,500  | Commercial | RENOVATION                |
| 7  | P951979 | 06/01/1995 | 12/01/1995 | 10,000 | Commercial | 16 NEW PLUMBING FIXTURES  |
| 8  | E952133 | 06/01/1995 | 12/01/1995 | 3,000  | Commercial | 200A SVC W/200A SUB,ELECT |
| 10 | M952153 | 07/01/1995 | 12/01/1995 | 2,000  | Commercial | 1 1/2TON A/C W 5/DROPS    |
| 11 | E952301 | 07/01/1995 | 12/01/1995 | 1,800  | Commercial | ELECTRICAL                |
| 12 | M952355 | 07/01/1995 | 12/01/1995 | 4,500  | Commercial | 2-HOODS                   |
| 13 | A952595 | 08/01/1995 | 12/01/1995 | 4,500  | Commercial | 15 SQRS RFG               |
| 14 | E954135 | 11/01/1995 | 12/01/1995 | 1,000  | Commercial | REPLACE GAS PUMPS- MARINA |
| 15 | E953770 | 11/01/1995 | 12/01/1995 | 800    | Commercial | 100AMP SVC OLD TOWN TRLLY |
| 16 | E953771 | 11/01/1995 | 12/01/1995 | 800    | Commercial | 100AMP SVC DISCOVERY STOR |
| 17 | 9600878 | 02/01/1996 | 06/01/1996 | 3,000  | Commercial | RENOVATIONS               |
| 18 | 9600889 | 02/01/1996 | 06/01/1996 | 2,100  | Commercial | MECHANICAL                |
| 20 | 9601248 | 03/01/1996 | 06/01/1996 | 2,400  | Commercial | MECHANICAL                |
| 21 | 9601338 | 03/01/1996 | 06/01/1996 | 785    | Commercial | FIRE ALARM                |
| 22 | 9601635 | 04/01/1996 | 06/01/1996 | 1,800  | Commercial | MECHANICAL                |
| 9  | B951935 | 06/01/1995 | 06/01/1996 | 3,800  | Commercial | RENOVATION                |
| 24 | 9601983 | 05/01/1996 | 06/01/1996 | 1,500  | Commercial | REMODELING                |
| 25 | 9602081 | 05/01/1996 | 06/01/1996 | 6,000  | Commercial | "                         |
| 26 | 9602404 | 06/01/1996 | 06/01/1996 | 50,000 | Commercial | NEW ROOF                  |
| 27 | 9602455 | 06/01/1996 | 06/01/1996 | 1,800  | Commercial | SIGN                      |
| 28 | 9602456 | 06/01/1996 | 06/01/1996 | 4,000  | Commercial | ELECTRICAL                |
| 23 | 9601822 | 04/01/1996 | 06/01/1996 | 1,000  | Commercial | PLUMBING                  |
| 29 | 9602866 | 07/01/1996 | 12/01/1996 | 2,150  | Commercial | MECHANICAL                |
| 30 | 9603272 | 08/01/1996 | 12/01/1996 | 800    | Commercial | PLUMBING                  |
| 31 | 9603416 | 08/01/1996 | 12/01/1996 | 9,500  | Commercial | DEMOLITION                |
| 32 | 9604486 | 11/01/1996 | 12/01/1996 | 1,960  | Commercial | REMODELING                |
| 33 | 9604529 | 11/01/1996 | 12/01/1996 | 550    | Commercial | ELECTRICAL                |
| 34 | 9700460 | 02/01/1997 | 12/01/1997 | 500    | Commercial | REPAIR                    |
| 35 | 9700899 | 03/01/1997 | 12/01/1997 | 100    | Commercial | REPAIR                    |
| 36 | 9700023 | 04/01/1997 | 12/01/1997 | 11,500 | Commercial | RAISE ROOF                |
| 37 | 9700023 | 04/01/1997 | 12/01/1997 | 1      | Commercial | ELECTRICAL                |
| 38 | 9701132 | 04/01/1997 | 12/01/1997 | 1,800  | Commercial | ELECTRICAL                |
| 40 | 9701505 | 05/01/1997 | 12/01/1997 | 2,800  | Commercial | ELECTRICAL                |
| 39 | 9700023 | 04/01/1997 | 12/01/1997 | 1      | Commercial | ROOF                      |
| 41 | 9702148 | 07/01/1997 | 12/01/1997 | 1      | Commercial | NEW BAR LOUNGE            |
| 42 | 9700023 | 07/01/1997 | 12/01/1997 | 1      | Commercial | ELECTRICAL                |
| 44 | 9702872 | 08/01/1997 | 12/01/1997 | 1,500  | Commercial | ELECTRICAL                |
| 43 | 9702528 | 07/01/1997 | 12/01/1997 | 2,000  | Commercial | ELECTRICAL                |
| 45 | 9703028 | 09/01/1997 | 12/01/1997 | 2,100  | Commercial | PLUMBING                  |
| 46 | 9703545 | 10/01/1997 | 12/01/1997 | 6,500  | Commercial | ELECTRICAL                |

|    |         |            |            |        |            |  |
|----|---------|------------|------------|--------|------------|--|
| 47 | 9703568 | 10/01/1997 | 12/01/1997 | 7,500  | Commercial | ELECTRICAL   |
| 48 | 9703753 | 11/01/1997 | 12/01/1997 | 12,000 | Commercial | ELECTRICAL   |
| 49 | 9703240 | 12/01/1997 | 12/01/1997 | 12,000 | Commercial | ROOF   |
| 50 | 9800482 | 11/24/1998 | 12/31/1998 | 65,204 | Commercial | OLD CANNERY BUILDING   |
| 55 | 9901652 | 05/20/1999 | 12/31/1999 | 600    | Commercial | FENCE  |
| 53 | 9900909 | 03/15/1999 | 12/31/1999 | 3,000  | Commercial | DEMO EX. ELECTRICAL  |
| 54 | 9900935 | 03/17/1999 | 12/31/1999 | 100    | Commercial | DEMO PART OF BUILDING 1  |
| 51 | 9900063 | 02/02/1999 | 12/31/1999 | 45,000 | Commercial | REMODEL BLDG 1   |
| 52 | 9803300 | 03/10/1999 | 12/31/1999 | 8,000  | Commercial | REMODEL INTERIOR SPACE   |
| 56 | 0102731 | 08/07/2001 | 10/18/2001 | 10,000 | Commercial | RENOVATIONS  |
| 57 | 0103191 | 09/20/2001 | 10/18/2001 | 1,200  | Commercial | 4 SQS BUILTUP  |
| 58 | 03-1212 | 04/04/2003 | 10/12/2004 | 65,000 | Commercial | ROOFING  |
| 59 | 03-1547 | 05/05/2003 | 12/04/2000 | 3,500  | Commercial | ROOFING  |
| 60 | 03-2419 | 07/11/2003 | 10/12/2004 | 2,200  | Commercial | CHANGE OUT A/C   |
| 61 | 04-0816 | 03/17/2004 | 10/12/2004 | 1,200  | Commercial | ELE FOR WALK-IN COOLER   |
|    | 10-0622 | 03/16/2010 |            | 6,500  | Commercial | MOVE STAGE FROM INSIDE TO OUTSIDE AND ENCLOSE APPROX. 237SF. REMOVE TWO WINDOWS AND REPLACE WITH DOUBLE FRENCH DOORS.  |
|    | 08-2749 | 08/28/2008 |            | 54,000 | Commercial | RENOVATE INTERIOR OF RESTAURANT. REMOVE AND REPLACE WINDOWS AND DOORS, MOVE THE KITCHEN TO NEW LOCATION, INSULATE CEILING AND APPLY NEW WOOD. INSTALL BAR AND NEW COUNTER SALE AREA. |
|    | 08-2790 | 08/28/2008 |            | 1,000  | Commercial | PROVIDE AND INSTALL NINE FIXTURES FOR RENOVATIONS.   |
|    | 08-2793 | 10/06/2008 |            | 25,000 | Commercial | INSTALL NEW SMOKERS NEW OUTLETS IN BAR NEW ELECT FOR NEW A/C NEW 200A THREE PASE PANEL FOR SMOKER UNITS AND BAR EQUIPMENT. UP-GRADE ELECTRIC SERVICE TO 800A                         |
|    | 08-3227 | 09/23/2008 |            | 6,600  | Commercial | INSTALL NEW HOOD AND FAN, RUN DUCT FOR FLUE  |
|    | 08-2792 | 09/23/2008 |            | 30,000 | Commercial | INSTALL 6 MINI SPLIT AIR SYSTEM AND ONE 7.5 TON SPLIT SYSTEM.  |
|    | 14-2601 | 06/05/2014 |            | 1,400  |            | AFTER THE FACT :REMOVAL OF TICKET BOOTH AND CONCRETE MEDIAN. AFTER REMOVAL, PATCHING ASPHALT AREA IS GOING TO BE DONE BY CONTRACTOR.   |

### Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

| Roll Year | Total Bldg Value | Total Misc Improvement Value | Total Land Value | Total Just (Market) Value | Total Assessed Value | School Exempt Value | School Taxable Value |
|-----------|------------------|------------------------------|------------------|---------------------------|----------------------|---------------------|----------------------|
| 2016      | 631,169          | 1,489                        | 970,365          | 1,603,023                 | 1,603,023            | 0                   | 1,603,023            |
| 2015      | 648,474          | 1,489                        | 970,365          | 1,620,328                 | 1,620,328            | 0                   | 1,620,328            |
| 2014      | 648,474          | 1,489                        | 970,365          | 1,620,328                 | 1,620,328            | 0                   | 1,620,328            |
| 2013      | 631,169          | 1,489                        | 970,365          | 1,603,023                 | 1,603,023            | 0                   | 1,603,023            |
| 2012      | 648,474          | 1,489                        | 970,365          | 1,620,328                 | 1,620,328            | 0                   | 1,620,328            |
| 2011      | 648,474          | 1,489                        | 970,365          | 1,620,328                 | 1,620,328            | 0                   | 1,620,328            |
| 2010      | 663,731          | 1,489                        | 981,545          | 1,646,765                 | 1,646,765            | 0                   | 1,646,765            |

|      |           |         |           |           |           |           |           |
|------|-----------|---------|-----------|-----------|-----------|-----------|-----------|
| 2009 | 663,731   | 1,489   | 1,980,450 | 2,645,670 | 2,645,670 | 0         | 2,645,670 |
| 2008 | 682,897   | 1,489   | 2,200,500 | 2,884,886 | 2,884,886 | 0         | 2,884,886 |
| 2007 | 481,895   | 1,489   | 2,200,500 | 2,683,884 | 2,683,884 | 0         | 2,683,884 |
| 2006 | 492,604   | 1,489   | 1,956,000 | 2,450,093 | 2,450,093 | 0         | 2,450,093 |
| 2005 | 492,604   | 1,489   | 1,833,750 | 2,327,843 | 2,327,843 | 0         | 2,327,843 |
| 2004 | 434,985   | 1,489   | 1,369,200 | 1,805,674 | 1,805,674 | 0         | 1,805,674 |
| 2003 | 1,032,156 | 417,098 | 3,297,300 | 4,746,554 | 4,746,554 | 1,661,294 | 3,085,260 |
| 2002 | 1,032,156 | 432,528 | 2,330,092 | 3,794,776 | 3,794,776 | 1,328,172 | 2,466,604 |
| 2001 | 1,032,156 | 422,574 | 2,330,092 | 3,784,822 | 3,784,822 | 1,324,688 | 2,460,134 |
| 2000 | 1,032,156 | 251,490 | 1,406,848 | 2,690,494 | 2,690,494 | 941,673   | 1,748,821 |
| 1999 | 895,297   | 259,315 | 1,406,848 | 2,561,460 | 2,561,460 | 896,511   | 1,664,949 |
| 1998 | 556,850   | 267,295 | 1,125,478 | 1,949,623 | 1,949,623 | 682,368   | 1,267,255 |
| 1997 | 556,850   | 275,599 | 1,055,136 | 1,887,585 | 1,887,585 | 660,654   | 1,226,931 |
| 1996 | 447,059   | 148,268 | 1,055,136 | 1,650,463 | 1,650,463 | 577,662   | 1,072,801 |
| 1995 | 375,958   | 137,935 | 1,055,136 | 1,569,029 | 1,569,029 | 549,160   | 1,019,869 |
| 1994 | 385,563   | 141,771 | 1,055,136 | 1,582,470 | 1,582,470 | 553,864   | 1,028,606 |
| 1993 | 385,563   | 145,605 | 1,055,136 | 1,586,304 | 1,586,304 | 0         | 1,586,304 |

### Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

There are no sales to display for this parcel.

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Monroe County Property Appraiser  
 Scott P. Russell, CFA  
 P.O. Box 1176 Key West, FL 33041-1176