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## **Historic Architectural Review Commission Staff Report for Item 7**

**To:** Acting Chairman Greg Oropeza and Historic Architectural Review Commission Members

**From:** Enid Torregrosa Silva, MSHP  
Historic Preservation Planner

**Meeting Date:** March 26, 2024

**Applicant:** David Salay, Bender & Associates

**Application Number:** H2024-0014

**Address:** 500 Whitehead Street

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### **Description of Work:**

Harden historic building and 1994 addition at rear building for 200 mph winds. Remove historic top of courthouse tower for repairs and install back to its original location after repairs are completed.

### **Site Facts:**

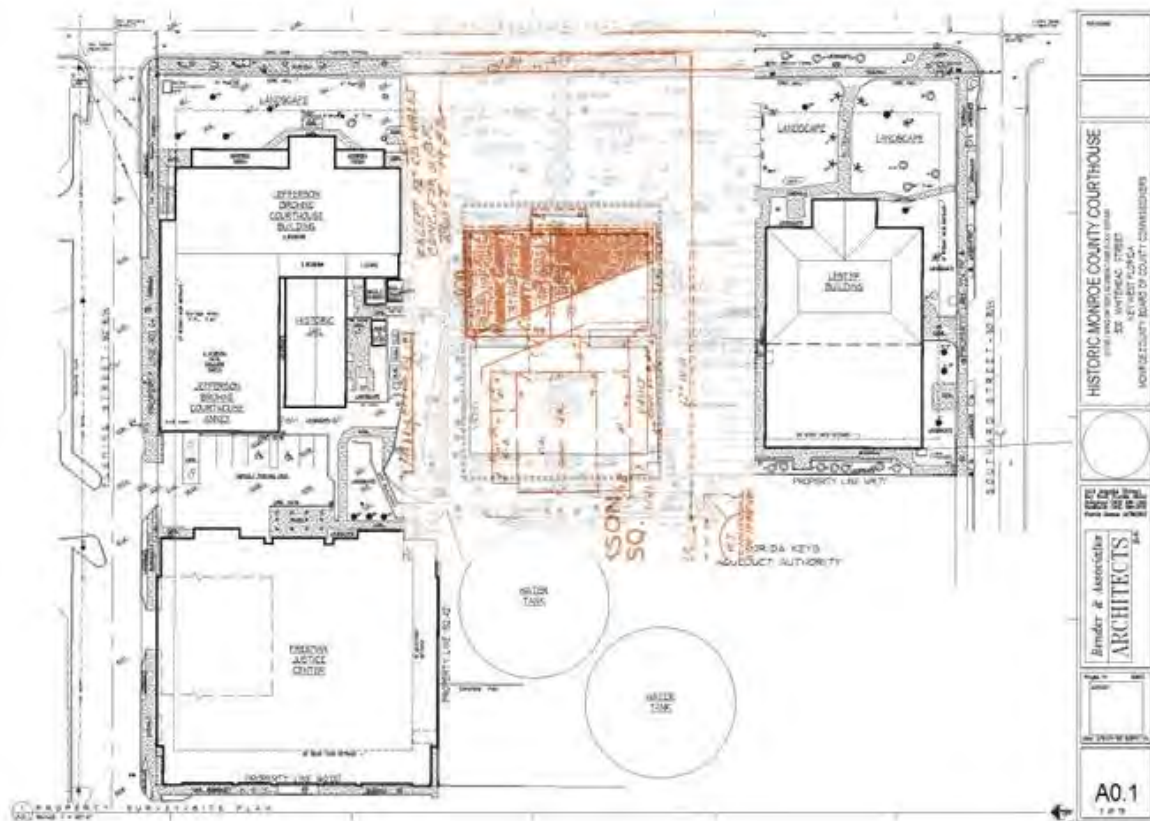
The building under review has been historically known as the Monroe County Courthouse. The principal building, which faces Whitehead Street was built in 1891 and was listed as a contributing resource to the historic district in the first survey where the district was included in the National Register of Historic Places. The building had serious exterior damages during the 1909 hurricane. Additions were made to the rear of the building in early 1940. By 1962 a vault and a two-story addition are depicted as replacement of the one-story 1940's structure. The current two-story rear addition was built in 1994. The addition has a hipped roof, with a lower pitch than the historic courthouse roof. Due to the low pitch and the height of the building the roof cannot be seen from the pedestrian level. Both buildings are used for county court's supporting offices, property appraiser's office, county finance and county commissioners' offices.



*Postcard of the County Courthouse and County Jail. Monroe County Library.*



*Current front elevation.*



*1962 Sanborn Map and Current Survey*

### **SOIS and Guidelines and Guidelines Cited on Review:**

- Secretary of the Interior’s Standards and Guidelines for Rehabilitation, specifically guidelines for Resilience to natural hazards and Standards 1, 2, 5, and 6 of pages 16-23.
- Roofing (page 26), specifically first paragraph and guidelines 1, 2 and 3.
- Windows (pages 29a-1), specifically the intent paragraph, page 29-d, guidelines 6 and 8.

### **Staff Analysis:**

Monroe County has been awarded a grant to retrofit some of their buildings to meet 200 mph winds. A Certificate of Appropriateness under review is for the retrofit of windows, doors, roof, tower and structural components of the historic County Courthouse and its non-historic rear addition to sustain high winds.



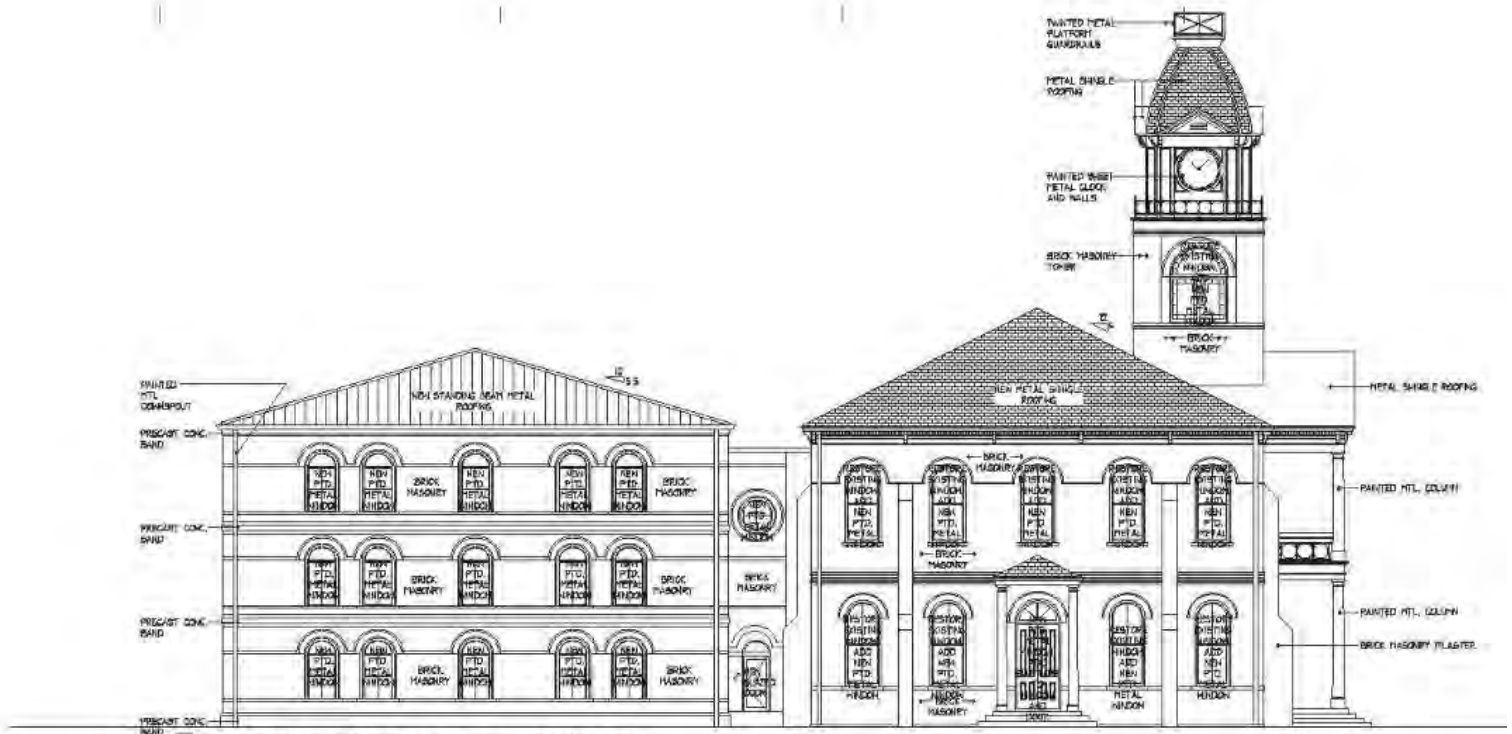
For the historic Courthouse - The applicant has proposed a design program that will not adversely affect the exterior elements. The plan proposes the removal of the clock tower and cupola to repair and restore it and after this will be reinstalled to its original location. Repairs will include wooden and metal elements replacement- as needed, paint of metal and wood elements and new metal shingles, among others.

Proposed retrofitting that will have an effect on the exterior of the building will include the removal of existing dark metal screens to expose the historic wood windows, which will be repaired. Impact units will be installed behind the existing windows. All windows at the tower will be repaired and will receive impact units in the interior. For all exterior doors the plan includes the installation of abatement fabric in the interior of the fenestration. All existing shingles on the roof will be removed as a second layer of sheathing will be required to strengthen the roof system. New shingles will be installed as the finish material.

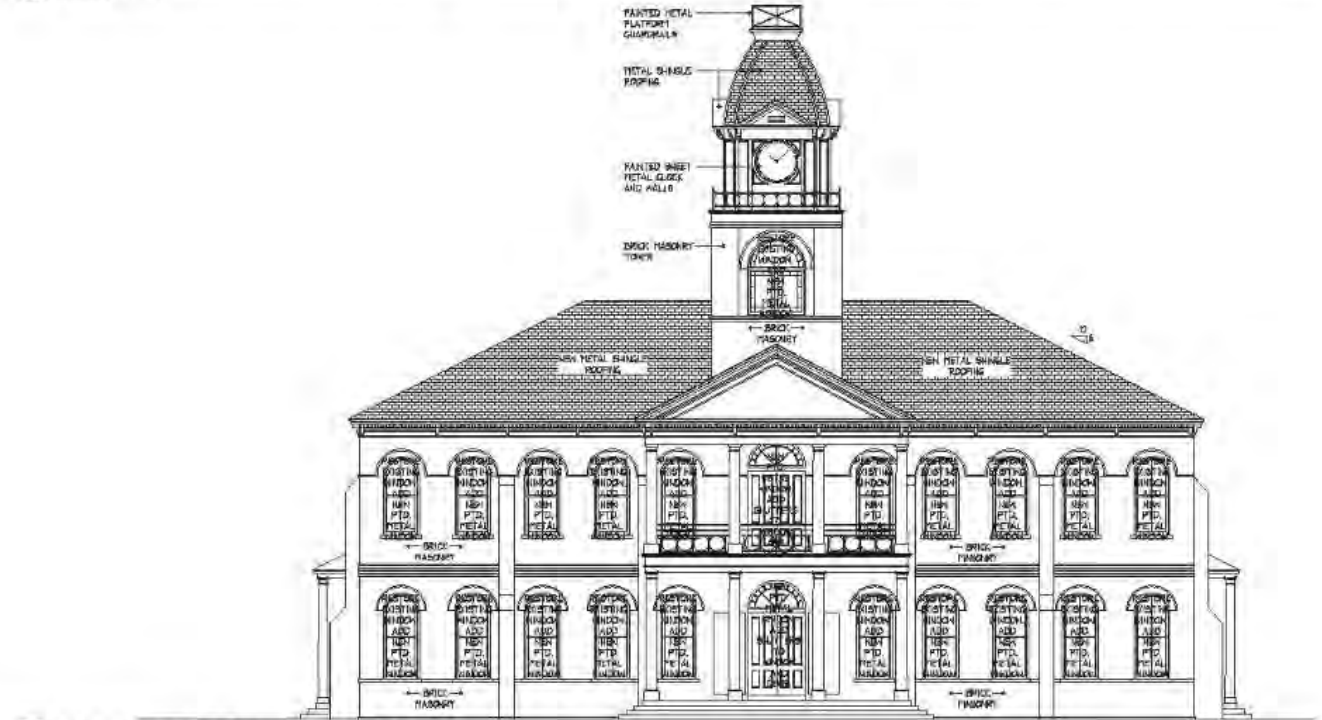


*Detail of windows coverings and tower deterioration and missing parts.*





2 SOUTH EXTERIOR ELEVATION  
 (A21) SCALE: 1/8" = 1'-0"



1 EAST EXTERIOR ELEVATION  
 (A21) SCALE: 1/8" = 1'-0"

Proposed south and east elevations.

For the 1994 rear addition- The plans include the replacement of all windows existing windows with new metal impact single hung units with transoms to fit all existing fenestrations. Doors will be replaced with aluminum units. The plans also include the replacement of existing shingle system as the finished roof material with standing seam.

### **Consistency with Guidelines Cited Guidelines:**

It is staff's opinion that the proposed design conforms with cited Secretary of the Interior's Standards and guidelines for Rehabilitation and HARC guidelines. Although standing seam is not an appropriate material for historic buildings in Old Town, staff finds three specific conditions for this application:

1. The installation will be done on a large-scale institutional building.
2. The building is not historic.
3. The hipped roof is imperceptible from pedestrian level, and therefore will not be in conflict with the character and roof textures of the historic courthouse.

The design accommodates the required retrofitting of the buildings, while maintaining the fabric and character defining features of the historic courthouse intact. Staff find the design to be sensitive to the historic courthouse and surrounding historic urban fabric.



*Monroe County Courthouse after 1919 hurricane. Monroe County Library.*

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## Resilience to Natural Hazards

The potential future impacts of natural hazards on a historic building should be carefully evaluated and considered. If foreseeable loss, damage, or destruction to the building or its features can be reasonably anticipated, treatments should be undertaken to avoid or minimize the impacts and to ensure the continued preservation of the building and its historic character. In some other instances, the effects may be minimal or more gradual and the impacts unknown or not anticipated to affect the property until sometime in the future. In all instances, a building should be maintained in good condition and monitored regularly, and historic documentation should be prepared as a record of the building and to help guide future treatments.

Some impacts of natural hazards may be particularly sudden and destructive to a historic building (such as riverine flash flooding,

coastal storm surge, an earthquake, or a tornado) and may require adaptive treatments that are more invasive. When a treatment is proposed for a building that addresses such potential impacts and will affect the building's historic character, other feasible alternatives that would require less change should always be considered first. In some instances, a certain degree of impact on a building's historic character may be necessary to ensure its retention and continued preservation. In other instances, a proposed treatment may have too great an impact to preserve the historic character of the building. A historic building may have existing characteristics or features that help to address or minimize the impacts of natural hazards. Some historic buildings may have been altered previously or be in regions where it has been traditional to adapt buildings frequently subject to damage from natural hazards, such as flooding. All these factors should be taken into consideration when planning preventive treatments. The goal should always be to minimize the impacts to the building's historic character to the greatest extent possible in adapting the building to be more resilient.





## RESILIENCE TO NATURAL HAZARDS

<b>RECOMMENDED</b>	<b>NOT RECOMMENDED</b>
<i>Resilience to natural hazards should be addressed as part of a Preservation project. A historic building may have existing characteristics or features that help to address or minimize the impacts of natural hazards. These should always be used to best advantage when considering new adaptive treatments so as to have the least impact on the historic character of the building, its site, and setting.</i>	
Identifying the vulnerabilities of the historic property to the impacts of natural hazards (such as wildfires, hurricanes, or tornadoes) using the most current climate information and data available.	Failing to identify and periodically reevaluate the potential vulnerability of the building, its site, and setting to the impacts of natural hazards.
Assessing the potential impacts of known vulnerabilities on character-defining features of the building, its site, and setting, and reevaluating and reassessing potential impacts on a regular basis.	
Documenting the property and its character-defining features as a record and guide for future repair work, should it be necessary, and storing the documentation in a weatherproof location.	Failing to document the historic property and its character-defining features with the result that such information is not available in the future to guide repair or reconstruction work, should it be necessary.
Ensuring that historic resource inventories and maps are accurate, up to date, and accessible in an emergency.	
Maintaining the building, its site, and setting in good repair, and regularly monitoring character-defining features.	Failing to regularly monitor and maintain the property and building systems in good repair.
Using and maintaining existing characteristics and features of the historic building, its site, setting, and larger environment (such as shutters for storm protection or a site wall that keeps out flood waters) that may help to avoid or minimize the impacts of natural hazards.	
Undertaking work to prevent or minimize the loss, damage, or destruction of the historic property while retaining and preserving significant features and the overall historic character of the building, its site, and setting.	Allowing loss, damage, or destruction to occur to the historic building, its site, or setting by failing to evaluate potential future impacts of natural hazards or to plan and implement adaptive measures, if necessary to address possible threats.
Ensuring that, when planning work to adapt for natural hazards, all feasible alternatives are considered, and that options requiring the least alteration are considered first.	

## RESILIENCE TO NATURAL HAZARDS

<b>RECOMMENDED</b>	<b>NOT RECOMMENDED</b>
<p>Implementing local and regional traditions (such as elevating residential buildings at risk of flooding or reducing flammable vegetation around structures in fire-prone areas) for adapting buildings and sites to specific natural hazards, when appropriate. Such traditional methods may be appropriate if they are compatible with the historic character of the building, its site, and setting.</p>	<p>Implementing a treatment traditionally used in another region or one typically used for a different property type or architectural style which is not compatible with the historic character of the property.</p>
<p>Using special exemptions and variances when adaptive treatments to protect buildings from known hazards would otherwise negatively impact the historic character of the building, its site, or setting.</p>	
<p>Considering adaptive options, whenever possible, that would protect multiple historic resources, if the treatment can be implemented without negatively impacting the historic character of the setting or district, or archeological resources, other cultural or religious features, or burial grounds.</p>	



[30] Historic window shutters still serve their original function as protection in hurricane-prone areas.

# APPLICATION



# HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

MAR 15 2024  
TK



**City of Key West**  
1300 White Street  
Key West, Florida 33040

HARC COA # <b>HARC 2024-0014</b>	REVISION #	INITIAL & DATE <b>TK 3/5/2024</b>
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

**A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL**

ADDRESS OF PROPOSED PROJECT:	500 Whitehead Street		
NAME ON DEED:	Monroe County BOCC / Wendy Aguirre	PHONE NUMBER	305-619-0297
OWNER'S MAILING ADDRESS:	1100 Simonton, Suite 2-216	EMAIL	Aguirre-Wendy@ MonroeCounty-FL.Gov
	Key West FL 33040	PHONE NUMBER	3052961347
APPLICANT NAME:	David Salay / Bender & Associates	EMAIL	dsalay@benderarchitects.com
APPLICANT'S ADDRESS:	410 Angela St. Key West 33040		
APPLICANT'S SIGNATURE:		DATE	3/4/24

**ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.**

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS  RELOCATION OF A STRUCTURE \_\_\_\_\_ ELEVATION OF A STRUCTURE \_\_\_\_\_  
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES  NO \_\_\_\_\_ INVOLVES A HISTORIC STRUCTURE: YES  NO \_\_\_\_\_  
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES \_\_\_\_\_ NO

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.	
GENERAL:	Harden building for 200mph winds. Historic Courthouse: Install new impact windows behind historic windows so they are not visible from street. Install new shutters behind historic doors. Roofing: Add new layer of roof sheathing and install new metal shingles to match existing. Remove all non-historic metal screens from windows. Remove top of courthouse tower for repair, and reinstall it back after repairs are completed.
MAIN BUILDING:	
	1994 Non-historic Rear Addition: Replace all existing metal doors and windows with new 200mph doors and windows. Match existing. Remove existing metal shingle roofing. Strengthen trusses, install new sheathing. Install new galvalume standing seam metal roofing.
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):	

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE  
 PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY\_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S):	
PAVERS:	FENCES:
DECKS:	PAINTING:
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (INCLUDING EQUIPMENT):
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER:

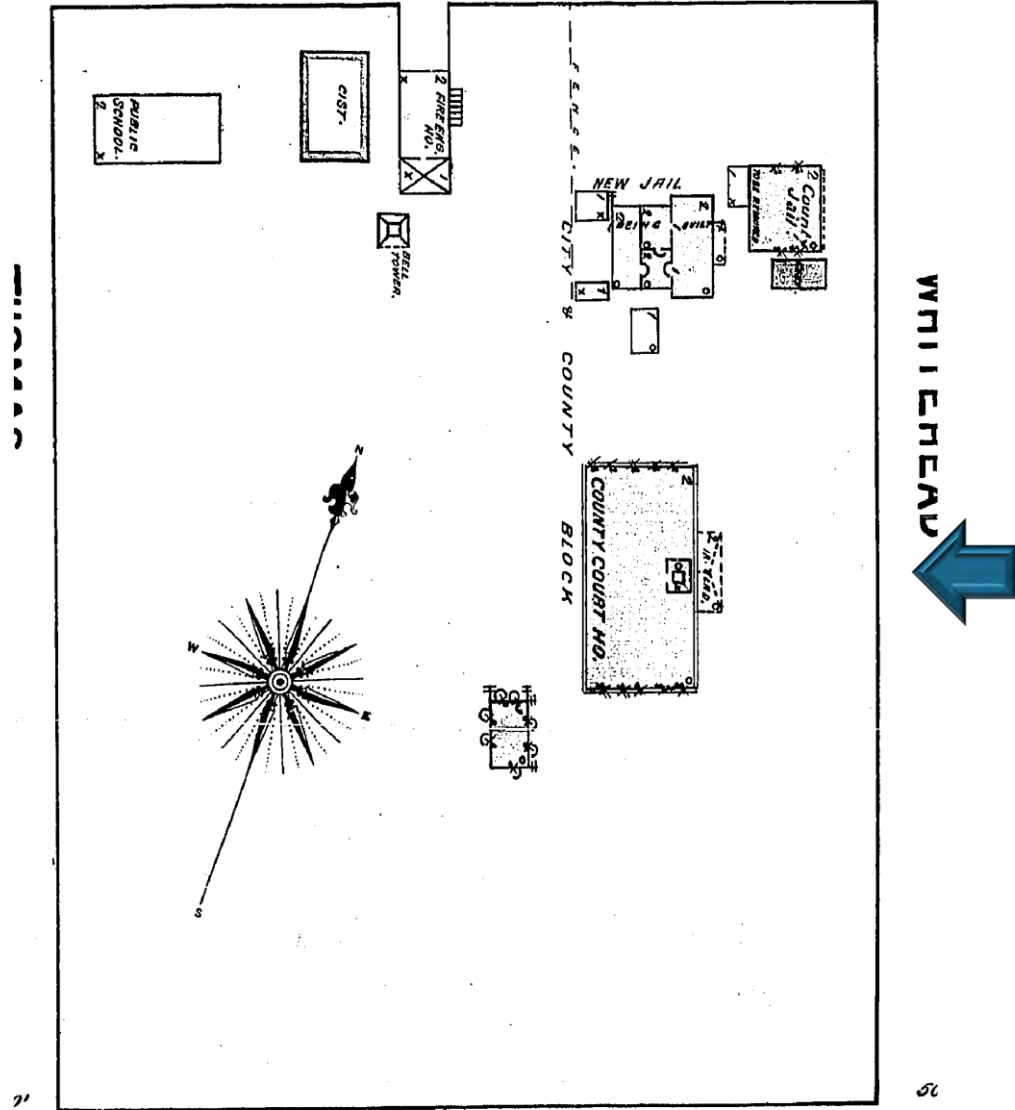
<b>OFFICIAL USE ONLY:</b>	<b>HARC COMMISSION REVIEW</b>	<b>EXPIRES ON:</b>
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

# SANBORN MAPS

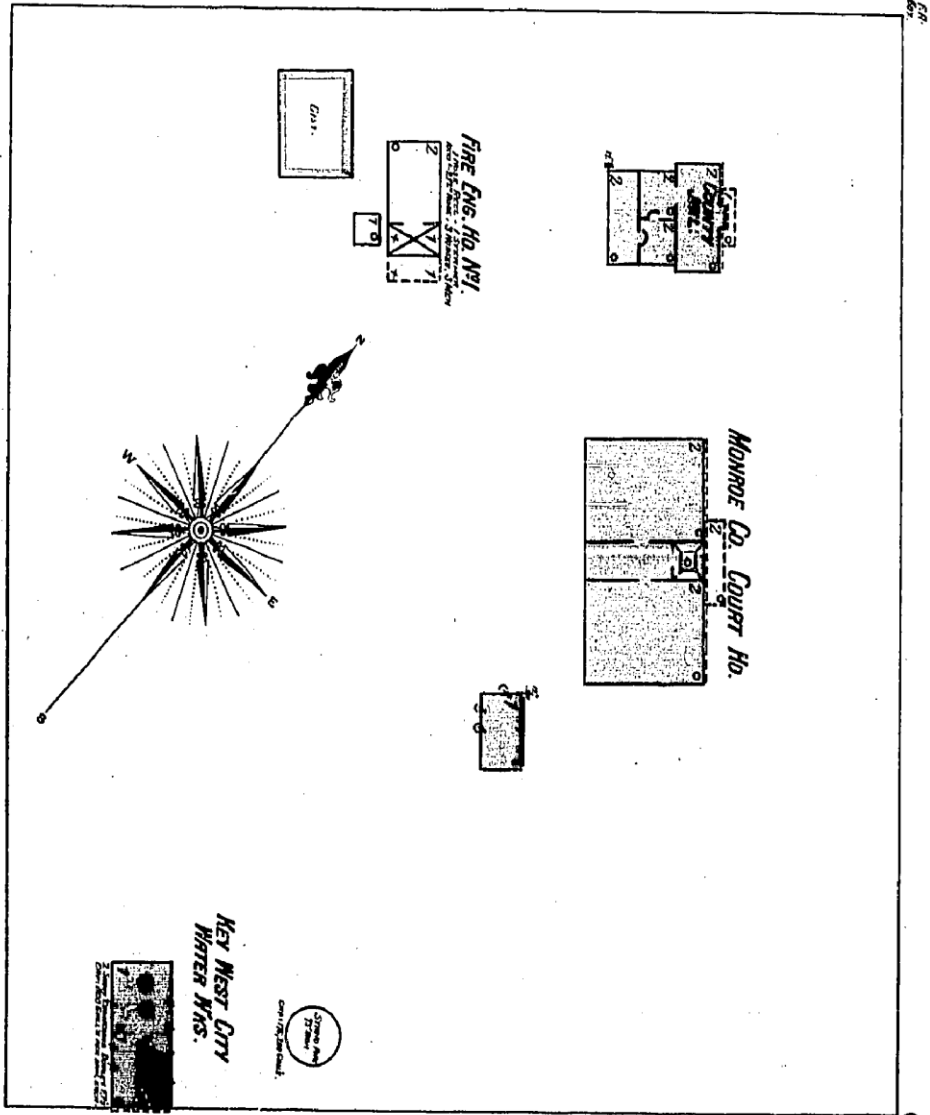




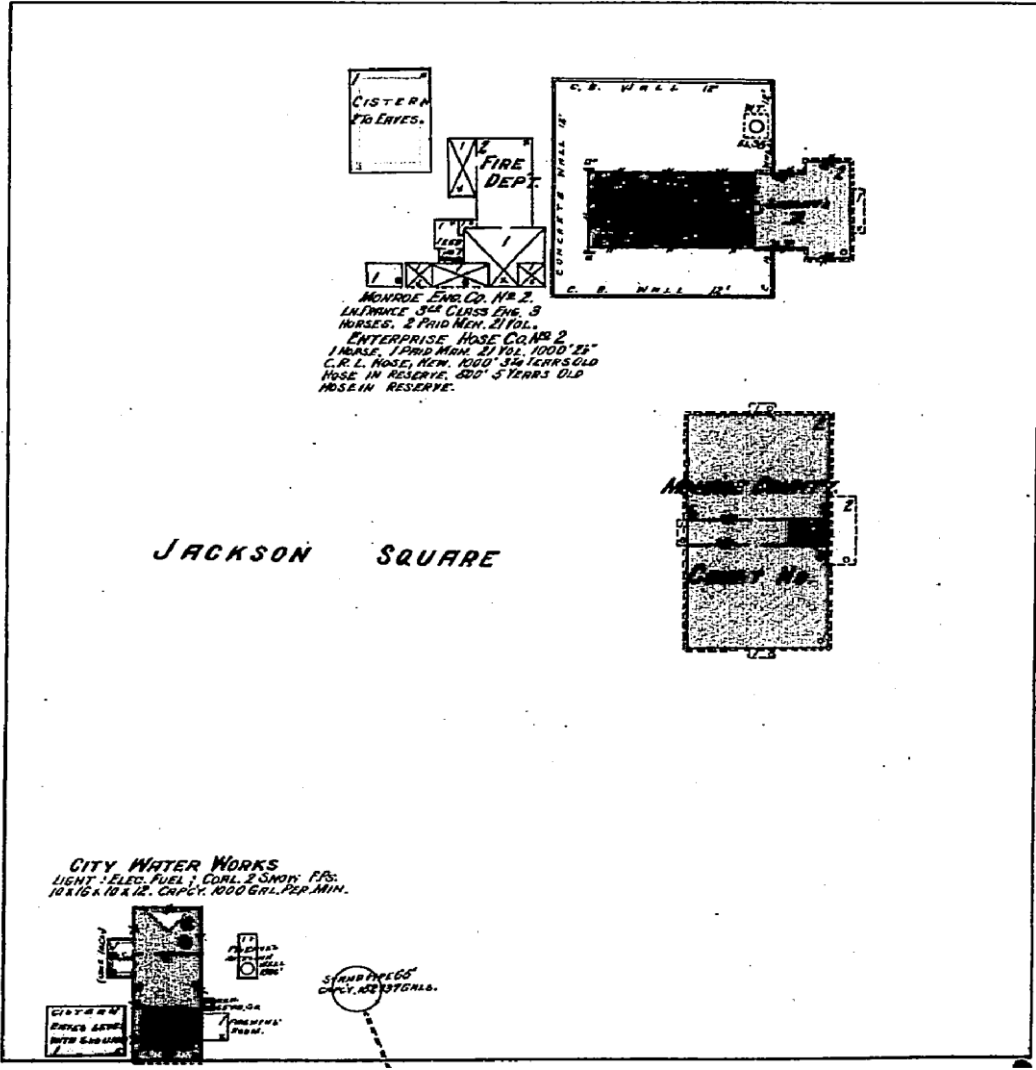


1892 Sanborn Map

WHITEHEAD



1899 Sanborn Map

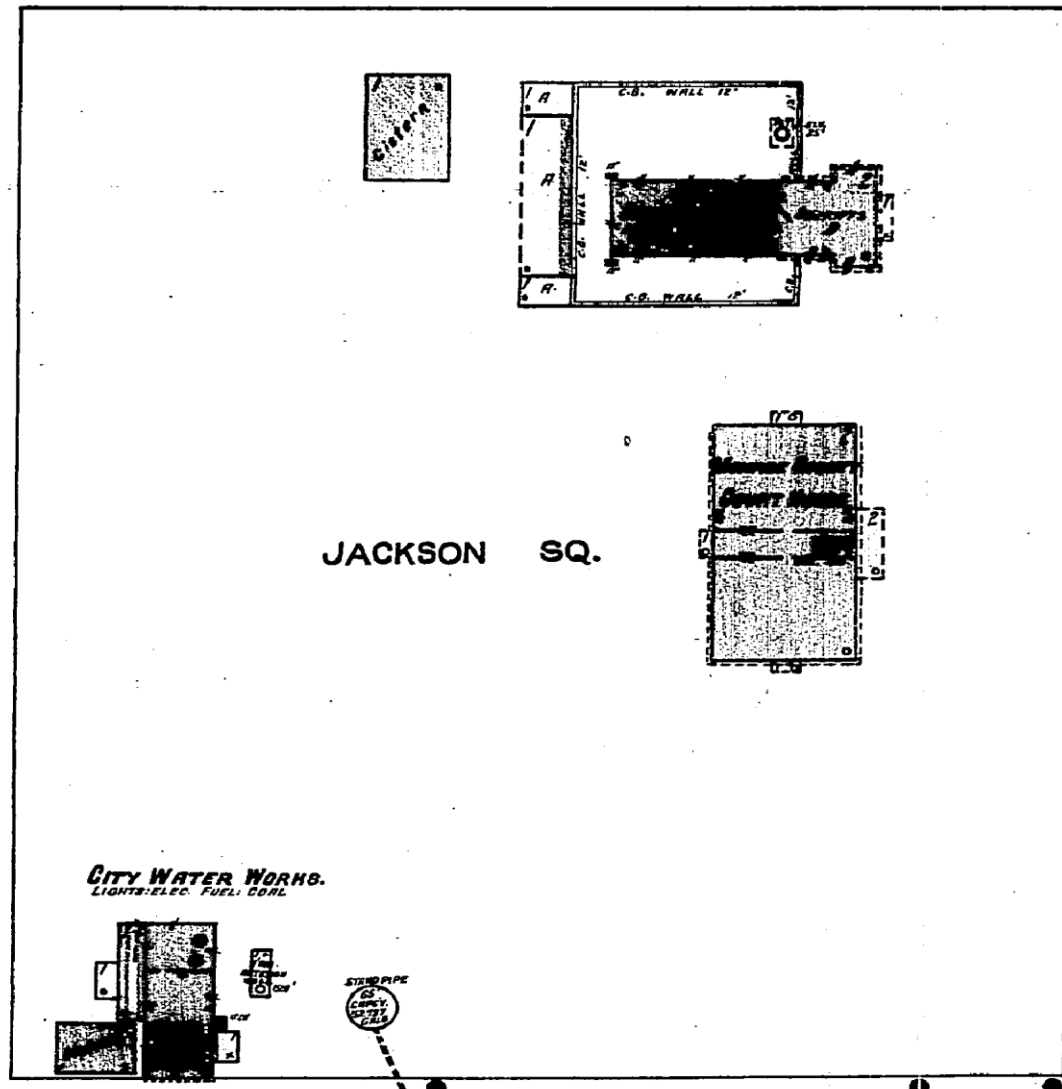


WHITEHEAD



1912 Sanborn Map



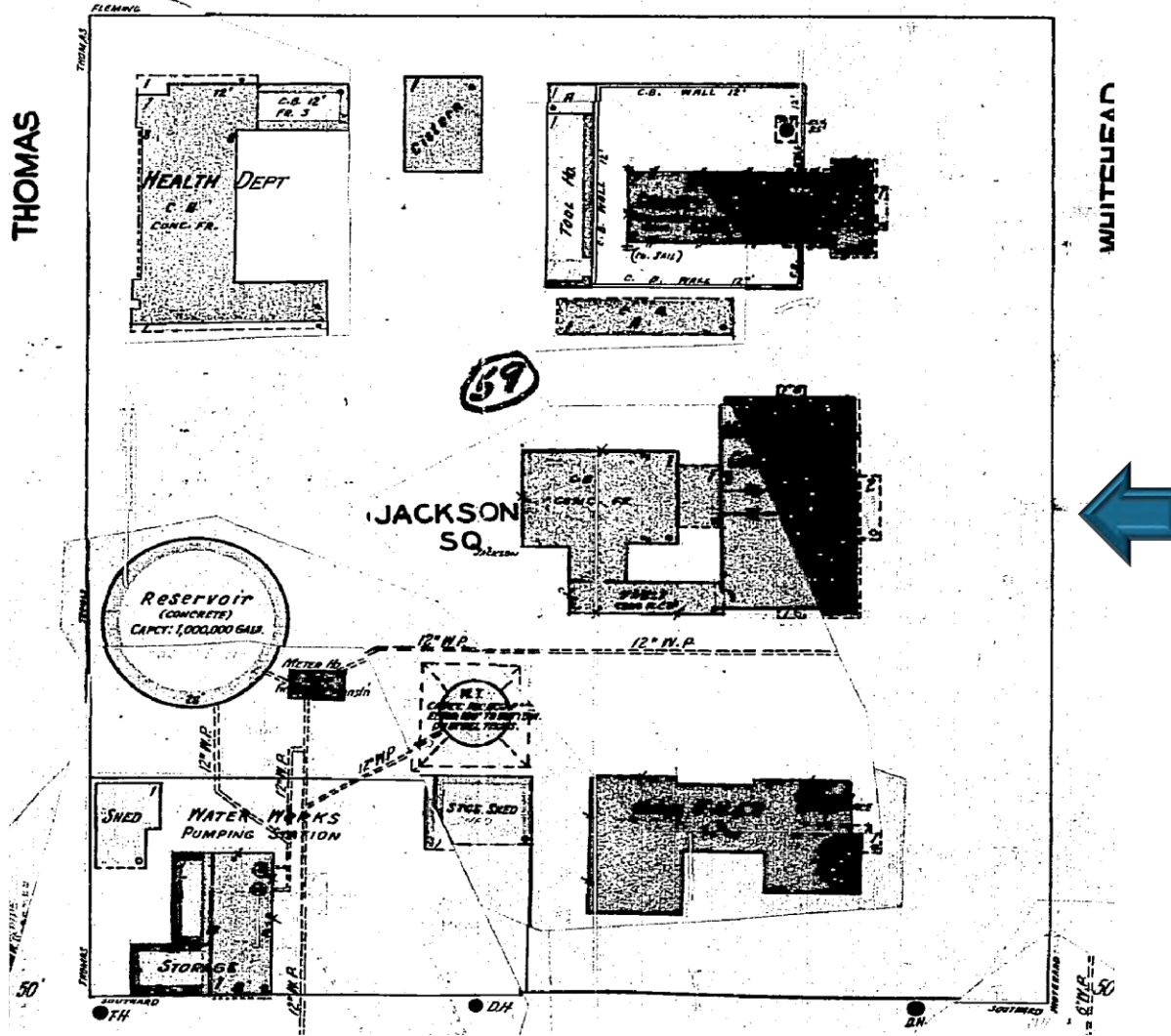


JACKSON SQ.

**CITY WATER WORKS.**  
LIGHTS: ELEC. FUEL. COAL.

STAND PIPE  
63  
CITY WATER

1926 Sanborn Map



1948 Sanborn Map



# PROJECT PHOTOS





**A damaged photograph showing part of the first Monroe County courthouse with the new 1891 Courthouse in the back. Monroe County Library.**





**Circa 1900 postcard. Monroe County Library.**





**County Courthouse in September 1906. Monroe County Library.**



**Monroe County Courthouse after 1919 hurricane. Monroe County Library.**





**1920's aerial photograph. Monroe County Library.**





**1920's photograph. Monroe County Library.**





**Rear of Monroe County Court House circa 1940. Monroe County Library.**





**500 Whitehead Street circa 1965. Monroe County Library.**





**500 Whitehead Street in 1976. Monroe County Library.**



**Current Front Elevation**



## Monroe County Historic Courthouse – 500 Whitehead St.

### Existing Conditions Photos



Front façade. Install new impact windows behind historic windows. New impact windows not visible from street. Remove metal mesh screens from historic windows. Install new shutters behind doors. Replace existing roof.

MONROE COUNTY HISTORIC COURTHOUSE EXISTING CONDITIONS



Existing photo of north façade, historic Courthouse. Install new impact windows behind historic windows. New impact windows not visible from street. Remove metal mesh screens from historic windows. Install new shutters behind doors. Replace existing roof.



Existing photo of 1990s addition behind historic courthouse, south façade. Replace existing doors and windows and roof, match existing.



MONROE COUNTY HISTORIC COURTHOUSE EXISTING CONDITIONS



Existing photo of historic courthouse tower. Install new impact windows behind historic windows. New impact windows not visible from street. Remove metal mesh screens from historic windows. Repair metal at clock tower to waterproof building. Replace existing roof.



Existing photo of 1990s addition behind historic courthouse, west façade. Replace existing doors and windows and roof, match existing.



MONROE COUNTY HISTORIC COURTHOUSE    EXISTING CONDITIONS



Existing photo of south façade, historic Courthouse. Install new impact windows behind historic windows. New impact windows not visible from street. Remove metal mesh screens from historic windows. Install new shutters behind doors. Replace existing roof.

At addition in rear, replace existing metal doors and windows and roof. Match existing.

MONROE COUNTY HISTORIC COURTHOUSE    EXISTING CONDITIONS



Circa 1900 historic photo of the building.



1940's photo of courthouse. The building was painted white in the 1940s. The paint was then sandblasted off in the 1950's, severely damaging the bricks.

MONROE COUNTY HISTORIC COURTHOUSE    EXISTING CONDITIONS



Circa 1960 photo of the building. Paint has been removed.

# PROPOSED DESIGN



# HISTORIC MONROE COUNTY COURTHOUSE

DOOR / WINDOW REPLACEMENT AND ROOF REPAIR

500 WHITEHEAD STREET KEY WEST, FLORIDA

MONROE COUNTY BOARD OF COUNTY COMMISSIONERS

<p><b>AERIAL PHOTO</b></p>	<p><b>SITE MAP - KEY WEST</b></p> <p><b>SITE LOCATION</b> 500 WHITEHEAD ST KEY WEST</p>	<p><b>PROJECT DIRECTORY</b></p> <p>PROJECT: MONROE COUNTY COURTHOUSE WINDOW PROTECTION AND ROOF REPAIR 500 WHITEHEAD ST. KEY WEST, FL 33040</p> <p>ARCHITECT'S PROJECT No.: 1835T</p> <p>OWNER: MONROE COUNTY BOARD OF COUNTY COMMISSIONERS Address: 1100 SIMONTON ST. KEY WEST, FL 33040</p> <p>Tel: Representative: WENDY AGUIRRE</p> <p>ARCHITECT: BENDER &amp; ASSOCIATES ARCHITECTS, P.A. Address: 410 Angela Street, Key West, FL 33040 Tel: (305) 296-1347 Fax: (305) 296-2727 E-mail: dsalay@benderarchitects.com Project Manager: David Salay (Principal-in-Charge) Project Architect: David Salay</p> <p>ENGINEERING CONSULTANTS: STRUCTURAL: ATLANTIC ENGINEERING SERVICES Address: 6501 Arlington Expressway, Building B, Suite 201, Jacksonville, FL 32211 Tel: 904-743-4633 Representative: GIL KAUFMAN</p> <p>MEP: TLC ENGINEERS, INC. Address: 5757 Blue Lagoon Dr., Miami FL 33126 Tel: 305-266-6553 Representative: Pelayo Calante</p>	<p><b>GENERAL NOTES</b></p> <ol style="list-style-type: none"> <li>All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:              FLORIDA BUILDING CODE - Building 7th Edition - 2020              FLORIDA BUILDING CODE - Existing 7th Edition - 2020              FLORIDA BUILDING CODE - Residential 7th Edition - 2020              FLORIDA BUILDING CODE - Plumbing 7th Edition - 2020              FLORIDA BUILDING CODE - Fuel Gas 7th Edition - 2020              FLORIDA BUILDING CODE - Mechanical 7th Edition - 2020              NATIONAL ELECTRICAL CODE 2014 EDITION              NFPA 101 LIFE SAFETY CODE w/ Florida Modifications              2006 EDITION FLORIDA FIRE PREVENTION CODE 2020 EDITION              NFPA 1 2006 EDITION              This project is designed in accordance with A.S.C.E. 7-22 to resist wind loads of 180 mph (5 second gusts).</li> <li>Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.</li> <li>Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.</li> <li>Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.</li> <li>Dimensions shall take precedence over scale.</li> <li>All new utilities shall be underground.</li> <li>Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.</li> <li>After completion of construction remove all debris and construction equipment. Restore site to original condition.</li> <li>Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.</li> <li>Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.</li> <li>Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.</li> </ol> <p>61G1-16.003 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be construed to obligate his partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 61G1-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof. Specific Authority 481.2055, 481.221 FS. Law Implemented 481.221, 481.225(1)(e), (g), (j), 481.225(1)(g), (h), (i) FS. History-New 12-23-79, Formerly 21B-16.03, Amended 7-27-89, Formerly 21B-16.003, Amended 11-21-94, 4-18-00.</p>																																																																																																																																															
<p><b>ABBREVIATIONS</b></p> <table border="0"> <tr> <td>AB ANCHOR BOLT</td> <td>MIN MINIMUM</td> </tr> <tr> <td>ABC AGGREGATE BASE COURSE</td> <td>NTS NOT TO SCALE</td> </tr> <tr> <td>A/C AIR CONDITIONING</td> <td>OA OVERALL</td> </tr> <tr> <td>BLKG BLOCKING</td> <td>OC ON CENTER</td> </tr> <tr> <td>BUR BUILT-UP ROOF</td> <td>OD OUTSIDE DIAMETER</td> </tr> <tr> <td>CAB CABINET</td> <td>PCF POUNDS PER CUBIC FOOT</td> </tr> <tr> <td>CER CERAMIC</td> <td>PLF POUNDS PER LINEAL FOOT</td> </tr> <tr> <td>CL CENTER LINE</td> <td>PLAM PLASTIC LAMINATE</td> </tr> <tr> <td>CLG CEILING</td> <td>PNL PANEL</td> </tr> <tr> <td>CMU CONCRETE MASONRY UNIT</td> <td>PT CCA PRESSURE TREATED</td> </tr> <tr> <td>COL COLUMN</td> <td>PT POINT</td> </tr> <tr> <td>CONC CONCRETE</td> <td>PVC POLYVINYLCHLORIDE</td> </tr> <tr> <td>DBL DOUBLE</td> <td>R RADIUS (OR) RISER</td> </tr> <tr> <td>DIAG DIAGONAL</td> <td>R/A RETURN AIR</td> </tr> <tr> <td>DS DOWNSPOUT</td> <td>R REBAR</td> </tr> <tr> <td>DTL DETAIL</td> <td>REFR. REFRIGERATOR</td> </tr> <tr> <td>DNR DRAINER</td> <td>SF SQUARE FOOT (FEET)</td> </tr> <tr> <td>EJ EXPANSION JOINT</td> <td>SS STAINLESS STEEL</td> </tr> <tr> <td>EL ELEVATION</td> <td>SPEC SPECIFICATION</td> </tr> <tr> <td>ELEC ELECTRIC</td> <td>T TYPICAL</td> </tr> <tr> <td>EQ EQUAL</td> <td>UNO UNLESS NOTED OTHERWISE</td> </tr> <tr> <td>EXH EXHAUST</td> <td>VCT VINYL COMPOSITION TILE</td> </tr> <tr> <td>FV FIELD VERIFY</td> <td>VERT VERTICAL</td> </tr> <tr> <td>GALV GALVANIZED</td> <td>WD WOOD</td> </tr> <tr> <td>GI GALVANIZED IRON</td> <td>WVF WELDED WIRE FABRIC</td> </tr> <tr> <td>HORZ HORIZONTAL</td> <td>WH WATER HEATER</td> </tr> <tr> <td>HDW HARDWARE</td> <td>W/O WITHOUT</td> </tr> <tr> <td>HVAC HEATING VENTILATING &amp; AIR CONDITIONING</td> <td></td> </tr> <tr> <td>FOC FACE OF CONCRETE</td> <td></td> </tr> <tr> <td>FOS FACE OF STUD</td> <td></td> </tr> <tr> <td>FIN FINISH</td> <td></td> </tr> <tr> <td>FE FIRE EXTINGUISHER</td> <td></td> </tr> <tr> <td>FND FOUNDATION</td> <td></td> </tr> <tr> <td>FTG FOOTING</td> <td></td> </tr> <tr> <td>ID INSIDE DIAMETER</td> <td></td> </tr> <tr> <td>MAX MAXIMUM</td> <td></td> </tr> </table>	AB ANCHOR BOLT	MIN MINIMUM	ABC AGGREGATE BASE COURSE	NTS NOT TO SCALE	A/C AIR CONDITIONING	OA OVERALL	BLKG BLOCKING	OC ON CENTER	BUR BUILT-UP ROOF	OD OUTSIDE DIAMETER	CAB CABINET	PCF POUNDS PER CUBIC FOOT	CER CERAMIC	PLF POUNDS PER LINEAL FOOT	CL CENTER LINE	PLAM PLASTIC LAMINATE	CLG CEILING	PNL PANEL	CMU CONCRETE MASONRY UNIT	PT CCA PRESSURE TREATED	COL COLUMN	PT POINT	CONC CONCRETE	PVC POLYVINYLCHLORIDE	DBL DOUBLE	R RADIUS (OR) RISER	DIAG DIAGONAL	R/A RETURN AIR	DS DOWNSPOUT	R REBAR	DTL DETAIL	REFR. REFRIGERATOR	DNR DRAINER	SF SQUARE FOOT (FEET)	EJ EXPANSION JOINT	SS STAINLESS STEEL	EL ELEVATION	SPEC SPECIFICATION	ELEC ELECTRIC	T TYPICAL	EQ EQUAL	UNO UNLESS NOTED OTHERWISE	EXH EXHAUST	VCT VINYL COMPOSITION TILE	FV FIELD VERIFY	VERT VERTICAL	GALV GALVANIZED	WD WOOD	GI GALVANIZED IRON	WVF WELDED WIRE FABRIC	HORZ HORIZONTAL	WH WATER HEATER	HDW HARDWARE	W/O WITHOUT	HVAC HEATING VENTILATING & AIR CONDITIONING		FOC FACE OF CONCRETE		FOS FACE OF STUD		FIN FINISH		FE FIRE EXTINGUISHER		FND FOUNDATION		FTG FOOTING		ID INSIDE DIAMETER		MAX MAXIMUM		<p><b>SYMBOLS LEGEND</b></p>	<p><b>CROSS SECTION</b> 1/4" = 1'-0" DRAWING SCALE</p> <p><b>SECTION &amp; DETAIL DRWG. TITLES</b></p> <p>POCHE ONLY WHERE ELEVATIONS ARE INDICATED</p> <p>SHT. A8 INDICATES # OF ELEVATION</p> <p><b>WALL ELEVATION INDICATOR</b> (SHOWN WITHIN ROOM ON PLAN)</p> <p>FIRST # INDICATES FLOOR 206</p> <p><b>ROOM NUMBER INDICATOR</b> (SHOWN BESIDE OR UNDER ROOM NAME)</p> <p>NUMBERS 23 LETTERS A</p> <p><b>DOOR OPENING INDICATOR</b> (EACH OPENING SCHEDULED SEPARATELY)</p> <p><b>WINDOW INDICATOR</b> (EACH WINDOW TYPE &amp; SIZE SCHEDULED)</p> <p>LETTERS E</p> <p><b>PARTITION/WALL TYPE INDICATOR</b> (COMMERCIAL &amp; INSTITUTIONAL PROJECTS)</p> <p><b>DESCRIPTION OF WORK:</b> REPLACE EXISTING DOORS, WINDOWS AND LOUVERS WITH NEW IMPACT UNITS. PATCH AND PAINT INTERIOR AND EXTERIOR AFTER WINDOW / DOOR / LOUVER REPLACEMENT. REPLACE EXISTING ROOFING.</p>	<p><b>MATERIAL DESIGNATIONS</b></p> <p>CONCRETE MASONRY UNITS IN PLAN</p> <p>CONC., STUCCO, PLASTER IN ELEV.;POURED CONC. IN PLAN</p> <p>METAL IN ELEVATION</p> <p>METAL IN SECTION</p> <p>FINISH WOOD IN ELEV. # IN SECTION</p> <p>DIMENSION LUMBER IN SECTION (CONTINUOUS)</p> <p>WOOD BLOCKING IN SECTION (DISCONTINUOUS)</p> <p>GYPSPUM WALL BOARD IN SECTION (LARGE SCALE)</p> <p>EARTH, NATURAL SUBSTRATE</p> <p>GRAVEL, AGGREGATE BASE COURSE, FILL</p> <p>FIBERGLASS BATT INSULATION</p> <p>RIGID INSULATION</p> <p><b>PARTITIONS &amp; WALLS</b></p> <p>CONCRETE MASONRY UNITS</p> <p>POURED CONCRETE</p> <p>WOOD FRAME</p> <p>METAL STUDS</p> <p>EXISTING CONSTRUCTION TO REMAIN</p> <p>EXISTING CONSTRUCTION TO BE DEMOLISHED</p>	<p><b>SHEET INDEX</b></p> <table border="0"> <tr> <td><b>ARCHITECTURAL</b></td> <td><b>MECHANICAL</b></td> </tr> <tr> <td>A0.0 COVER SHEET, SITE LOCATION MAP, SHEET INDEX, GENERAL NOTES, FLORIDA ADMINISTRATIVE CODE, SYMBOLS LEGEND</td> <td>M1.0 ROOF MECHANICAL PLAN</td> </tr> <tr> <td>A0.1 SITEPLAN</td> <td></td> </tr> <tr> <td>D1.1 DEMOLITION PLAN</td> <td></td> </tr> <tr> <td>D1.2 DEMOLITION PLAN</td> <td></td> </tr> <tr> <td>D1.3 DEMOLITION PLAN</td> <td></td> </tr> <tr> <td>A1.1 1ST FLOOR PLAN, 2ND FLOOR PLAN</td> <td></td> </tr> <tr> <td>A1.2 3RD FLOOR PLAN</td> <td></td> </tr> <tr> <td>A1.4 FINISH SCHEDULES, DOOR SCHEDULES</td> <td></td> </tr> <tr> <td>A2.1 PROPOSED EXTERIOR ELEVATIONS</td> <td></td> </tr> <tr> <td>A2.2 PROPOSED EXTERIOR ELEVATIONS</td> <td></td> </tr> <tr> <td>A2.3 PROPOSED EXTERIOR ELEVATIONS</td> <td></td> </tr> <tr> <td>A2.4 PROPOSED TOWER ELEVATIONS</td> <td></td> </tr> <tr> <td>A2.5 PROPOSED TOWER ELEVATIONS</td> <td></td> </tr> <tr> <td>A5.1 ROOF PLAN</td> <td></td> </tr> <tr> <td>AB.1 PHOTO DETAILS</td> <td></td> </tr> <tr> <td>AB.2 ROOF SYSTEM NOTES</td> <td></td> </tr> <tr> <td>AB.3 DETAILS</td> <td></td> </tr> <tr> <td>AB.4 DETAILS</td> <td></td> </tr> <tr> <td>AB.8 DETAILS</td> <td></td> </tr> <tr> <td>AB.9 DETAILS</td> <td></td> </tr> <tr> <td><b>STRUCTURAL</b></td> <td></td> </tr> <tr> <td>S0.1 COMPONENTS AND CLADDING</td> <td></td> </tr> <tr> <td>S1.1 ROOF PLANS</td> <td></td> </tr> <tr> <td>S1.2 TOWER PLANS</td> <td></td> </tr> <tr> <td>S2.1 TOWER ISOMETRIC DRAWING</td> <td></td> </tr> <tr> <td>S2.2 TOWER ELEVATIONS</td> <td></td> </tr> <tr> <td>S2.3 TOWER ELEVATIONS</td> <td></td> </tr> <tr> <td>S2.4 SECTIONS AND DETAILS</td> <td></td> </tr> <tr> <td>S2.6 ELEVATIONS</td> <td></td> </tr> <tr> <td>S2.7 TRUSS ELEVATIONS</td> <td></td> </tr> <tr> <td>S2.8 ELEVATIONS</td> <td></td> </tr> <tr> <td>S3.1 ELEVATIONS</td> <td></td> </tr> <tr> <td>S3.2 ELEVATIONS</td> <td></td> </tr> <tr> <td>S3.3 ELEVATIONS</td> <td></td> </tr> </table>	<b>ARCHITECTURAL</b>	<b>MECHANICAL</b>	A0.0 COVER SHEET, SITE LOCATION MAP, SHEET INDEX, GENERAL NOTES, FLORIDA ADMINISTRATIVE CODE, SYMBOLS LEGEND	M1.0 ROOF MECHANICAL PLAN	A0.1 SITEPLAN		D1.1 DEMOLITION PLAN		D1.2 DEMOLITION PLAN		D1.3 DEMOLITION PLAN		A1.1 1ST FLOOR PLAN, 2ND FLOOR PLAN		A1.2 3RD FLOOR PLAN		A1.4 FINISH SCHEDULES, DOOR SCHEDULES		A2.1 PROPOSED EXTERIOR ELEVATIONS		A2.2 PROPOSED EXTERIOR ELEVATIONS		A2.3 PROPOSED EXTERIOR ELEVATIONS		A2.4 PROPOSED TOWER ELEVATIONS		A2.5 PROPOSED TOWER ELEVATIONS		A5.1 ROOF PLAN		AB.1 PHOTO DETAILS		AB.2 ROOF SYSTEM NOTES		AB.3 DETAILS		AB.4 DETAILS		AB.8 DETAILS		AB.9 DETAILS		<b>STRUCTURAL</b>		S0.1 COMPONENTS AND CLADDING		S1.1 ROOF PLANS		S1.2 TOWER PLANS		S2.1 TOWER ISOMETRIC DRAWING		S2.2 TOWER ELEVATIONS		S2.3 TOWER ELEVATIONS		S2.4 SECTIONS AND DETAILS		S2.6 ELEVATIONS		S2.7 TRUSS ELEVATIONS		S2.8 ELEVATIONS		S3.1 ELEVATIONS		S3.2 ELEVATIONS		S3.3 ELEVATIONS	
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HISTORIC MONROE COUNTY COURTHOUSE  
DOOR / WINDOW REPLACEMENT AND ROOF REPAIR  
500 WHITEHEAD STREET  
KEY WEST FLORIDA  
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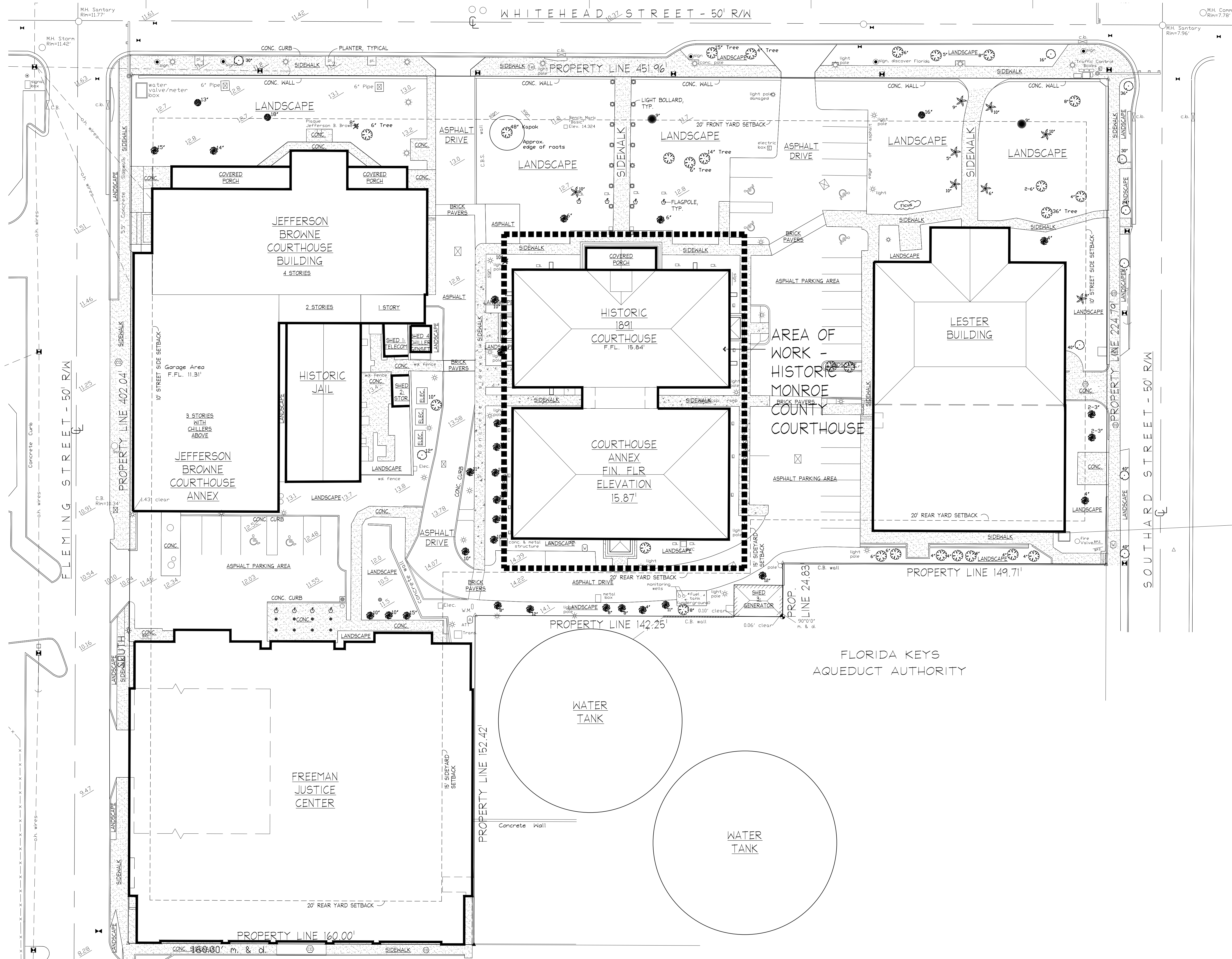
410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1347  
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Bender & Associates  
ARCHITECTS  
p.a.

Project No: 1835EE  
SITE MAP  
PROJECT DIRECTORY  
GENERAL NOTES  
ABBREVIATIONS  
SHEET INDEX  
SYMBOL LEGEND  
Date: 2/15/24-90% SUBMITTAL

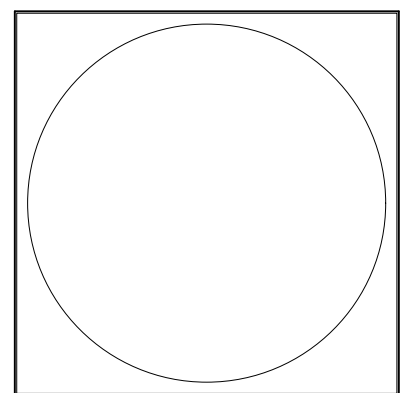
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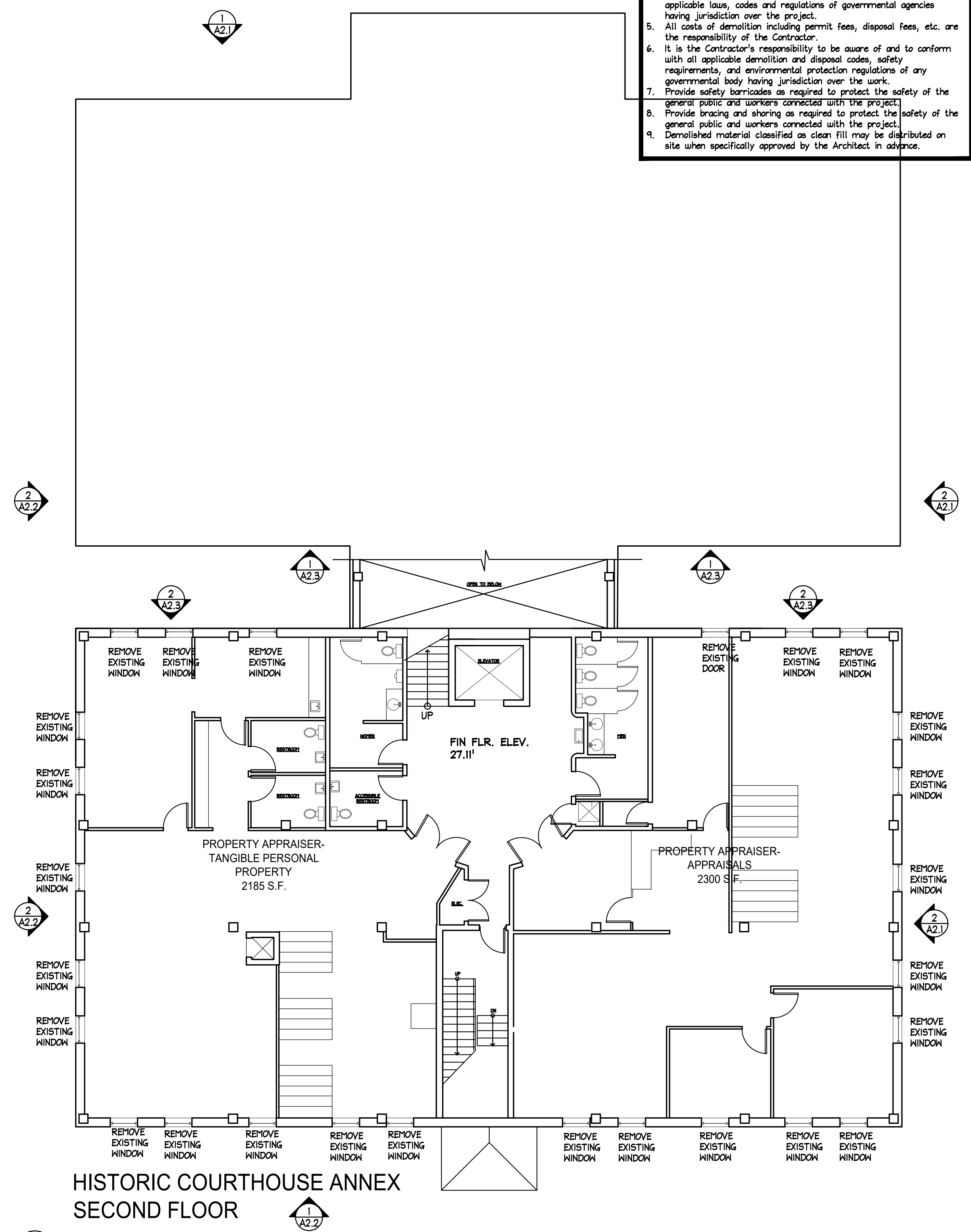
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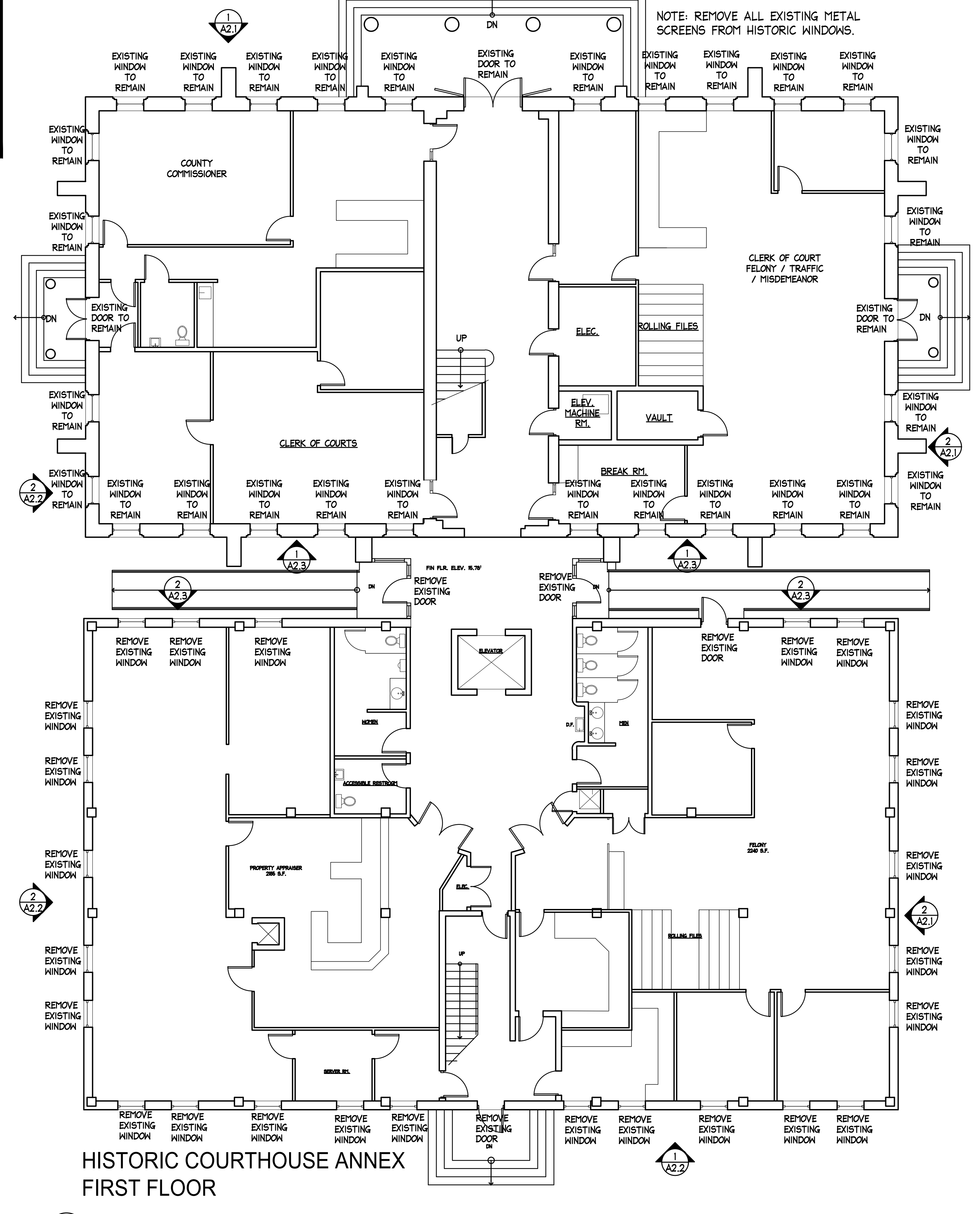
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 2 OF 73



- SELECTIVE DEMOLITION NOTES**
1. The work of this project involves a significant historic site. All work activities must be undertaken with sufficient care to protect this historic resource and must be supervised by personnel who are familiar with the Secretary of Interior's Standards for Rehabilitation.
  2. Remove all miscellaneous fasteners such as nails, screws and clips, as required, to allow patching of existing finishes. Some fasteners will not be able to be removed without extensive damage to historic finishes. Subject to concurrence by the Architect, such fasteners may remain, but must be treated to inhibit rust after cutting back below the wood surface.
  3. Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.
  4. All demolished material, except for artifacts, shall become the property of the contractor, unless specifically noted otherwise, and shall be properly removed from the site. Comply with all applicable laws, codes and regulations of governmental agencies having jurisdiction over the project.
  5. All costs of demolition including permit fees, disposal fees, etc. are the responsibility of the Contractor.
  6. It is the Contractor's responsibility to be aware of and to conform with all applicable demolition and disposal codes, safety requirements, and environmental protection regulations of any governmental body having jurisdiction over the work.
  7. Provide safety barricades as required to protect the safety of the general public and workers connected with the project.
  8. Provide bracing and shoring as required to protect the safety of the general public and workers connected with the project.
  9. Demolished material classified as clean fill may be distributed on site when specifically approved by the Architect in advance.



6 2ND FLOOR PLAN  
D1.1 SCALE: 1/8" = 1'-0"



1 FIRST FLOOR DEMOLITION PLAN  
D1.1 SCALE: 1/8" = 1'-0"

REVISIONS:

**HISTORIC MONROE COUNTY COURTHOUSE**  
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Project No: 1835EE  
DEMOLITION FLOOR PLANS  
Date: 2/15/24-90% SUBMITTAL

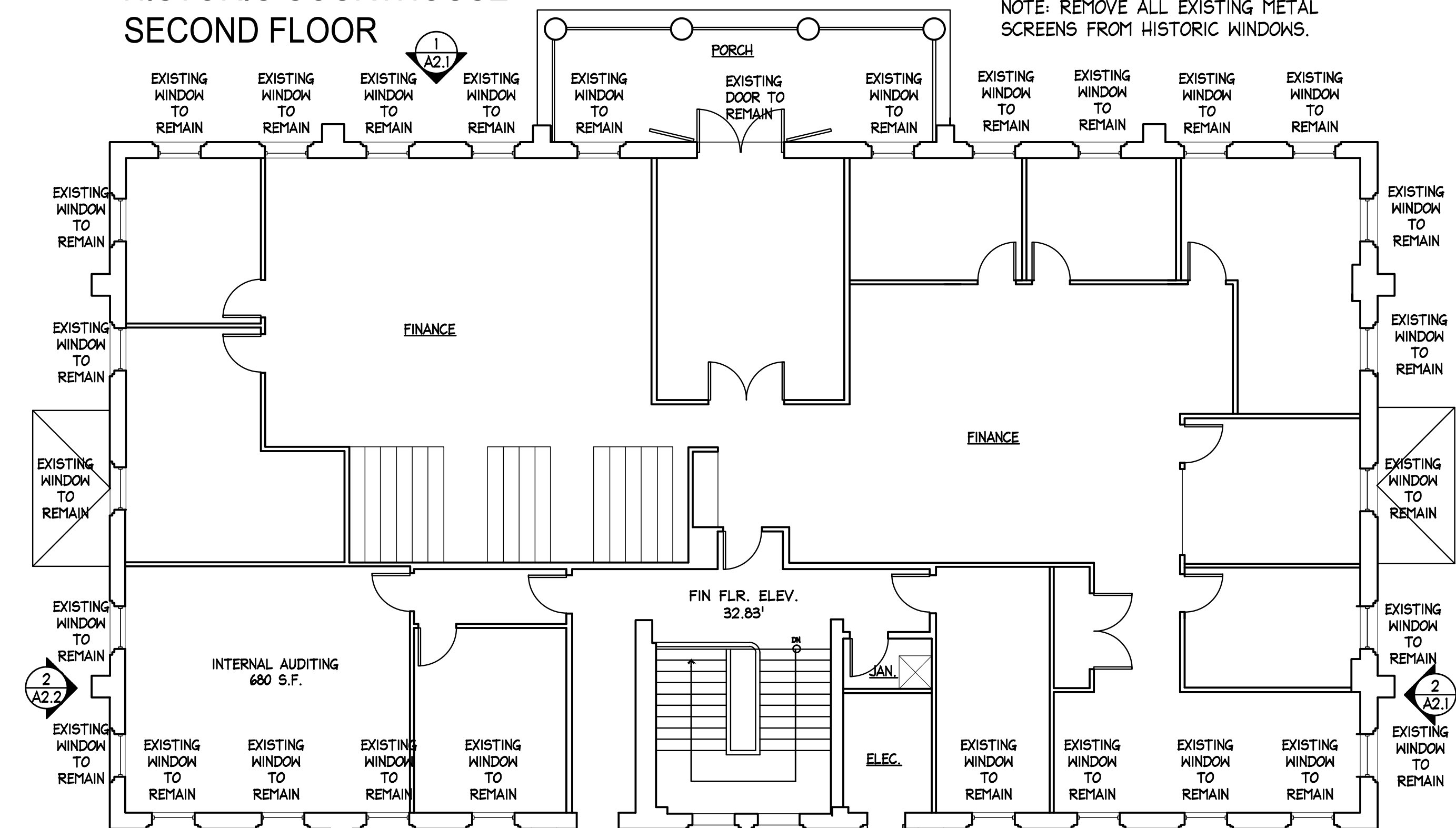
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3 OF 46

SELECTIVE DEMOLITION NOTES

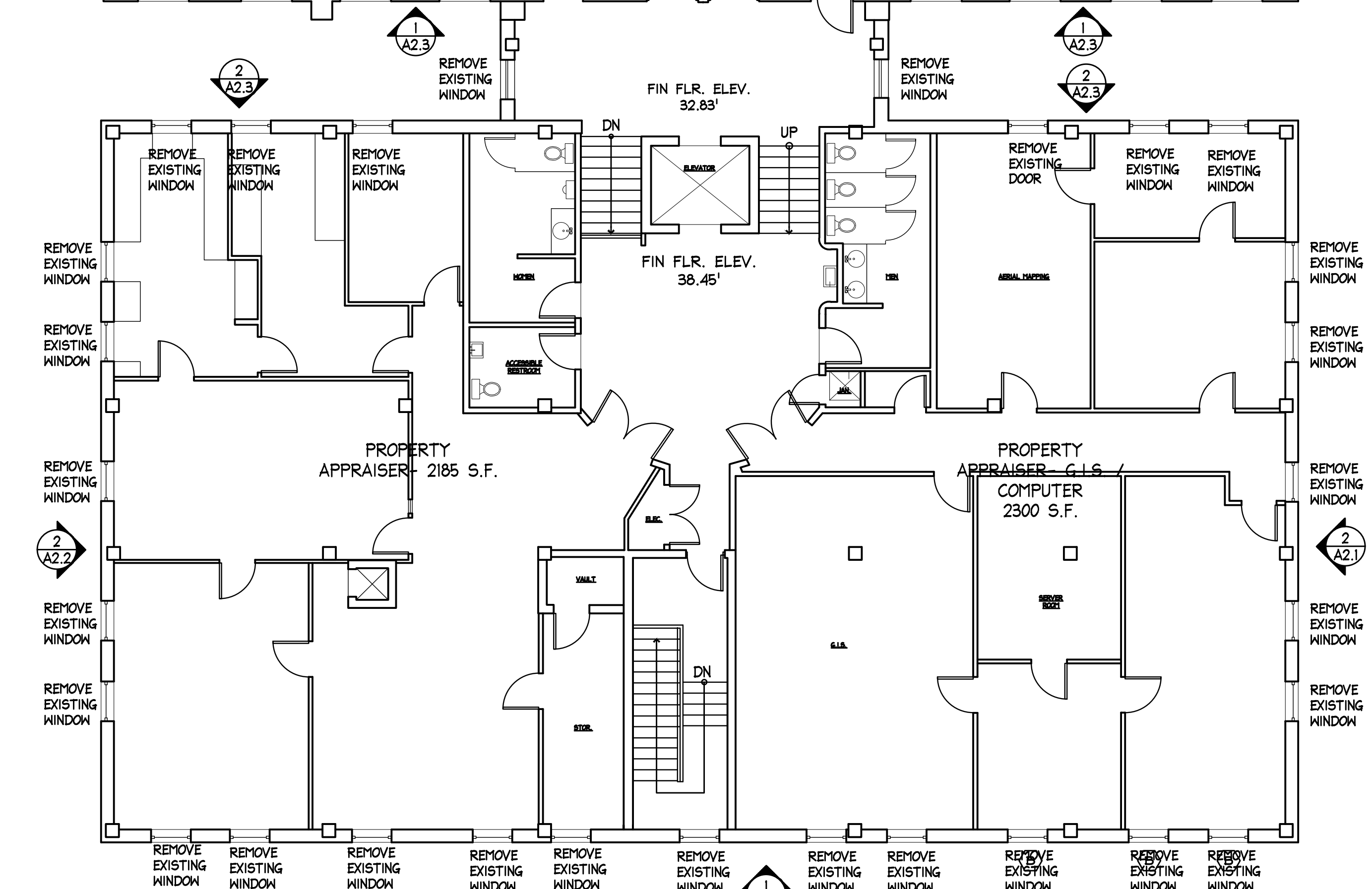
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HISTORIC COURTHOUSE  
SECOND FLOOR

NOTE: REMOVE ALL EXISTING METAL SCREENS FROM HISTORIC WINDOWS.



HISTORIC COURTHOUSE ANNEX



1  
D1.2 DEMOLITION PLAN - COURTHOUSE 2ND FLOOR, ANNEX 3RD FLOOR  
SCALE: 1/8" = 1'-0"

REVISIONS:

HISTORIC MONROE COUNTY COURTHOUSE

DOOR / WINDOW REPLACEMENT AND ROOF REPAIR

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DEMOLITION FLOOR PLANS

Date: 2/15/24-90% SUBMITTAL

D1.2

4 OF 46



**SELECTIVE DEMOLITION NOTES**

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8. Provide bracing and shoring as required to protect the safety of the general public and workers connected with the project.
9. Demolished material classified as clean fill may be distributed on site when specifically approved by the Architect in advance.

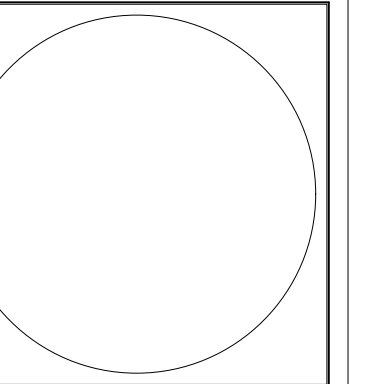
REVISIONS:

**HISTORIC MONROE COUNTY COURTHOUSE**

DOOR WINDOW REPLACEMENT AND ROOF REPAIR

500 WHITEHEAD STREET  
KEY WEST FLORIDA

MONROE COUNTY BOARD OF COUNTY COMMISSIONERS



410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1347  
Facsimile (305) 296-2727  
Florida License AAC002022

*Bender & Associates*  
**ARCHITECTS**  
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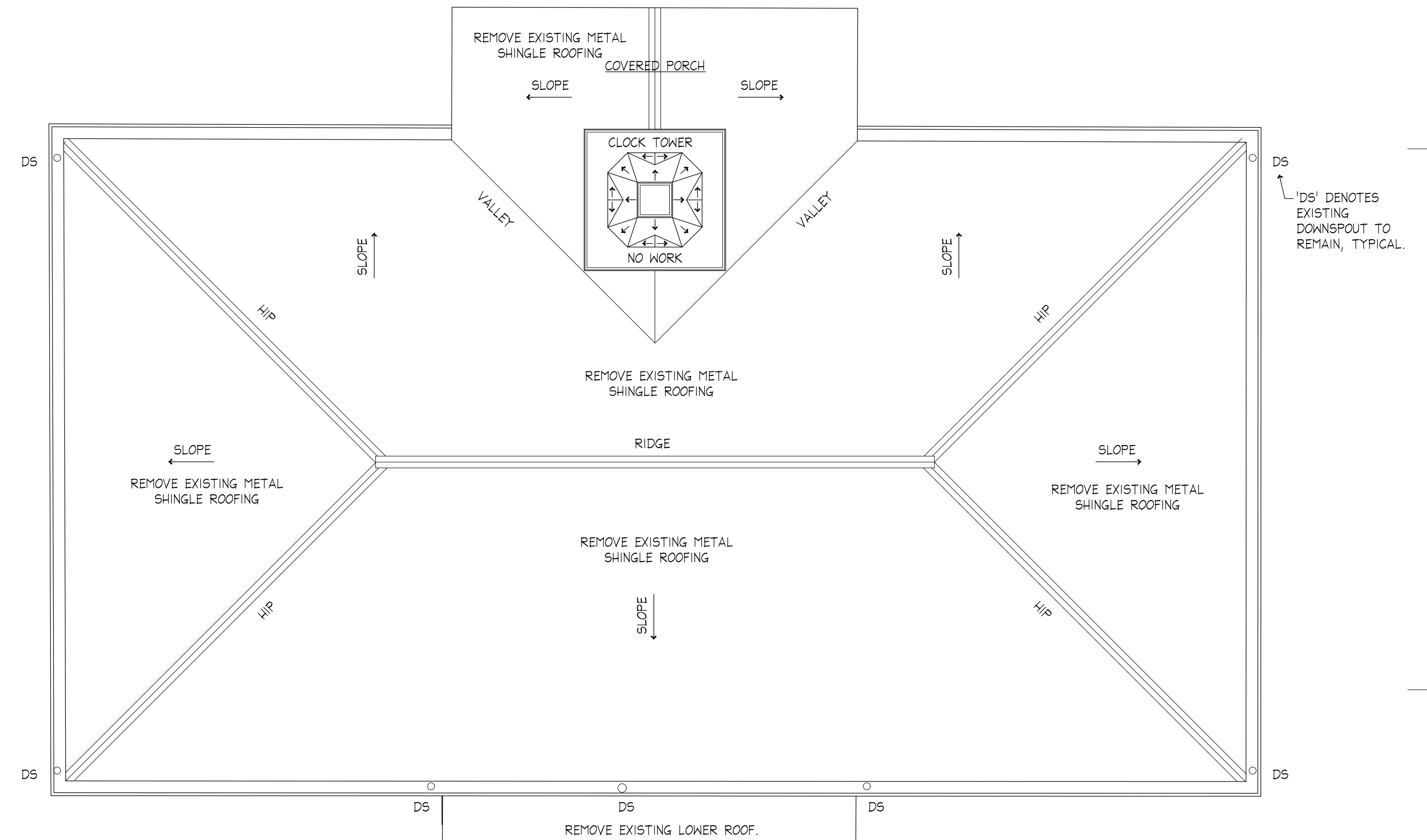
Project No: 1835EE

DEMOLITION FLOOR PLANS

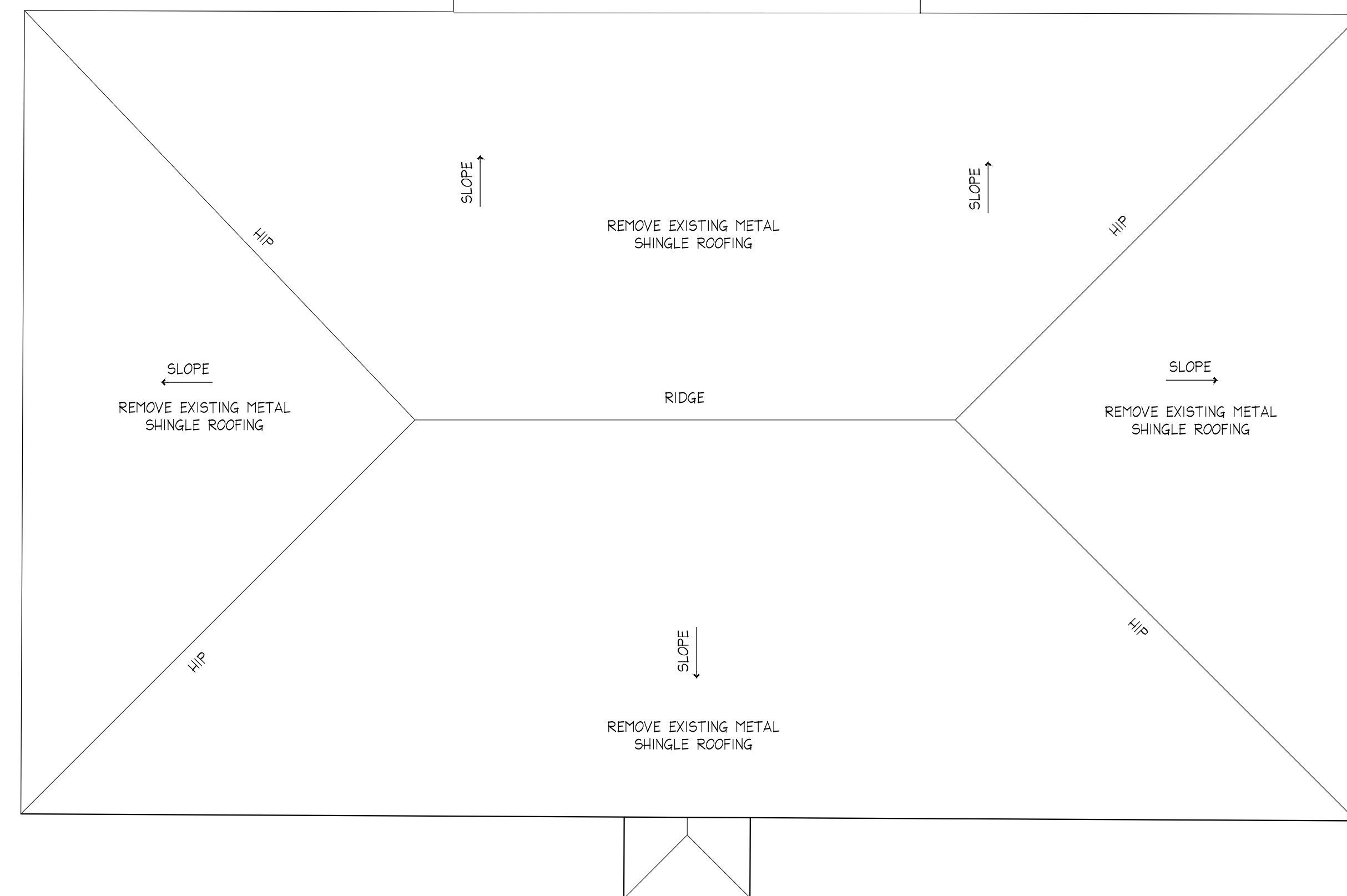
Date: 2/15/24-90% SUBMITTAL

**D1.3**

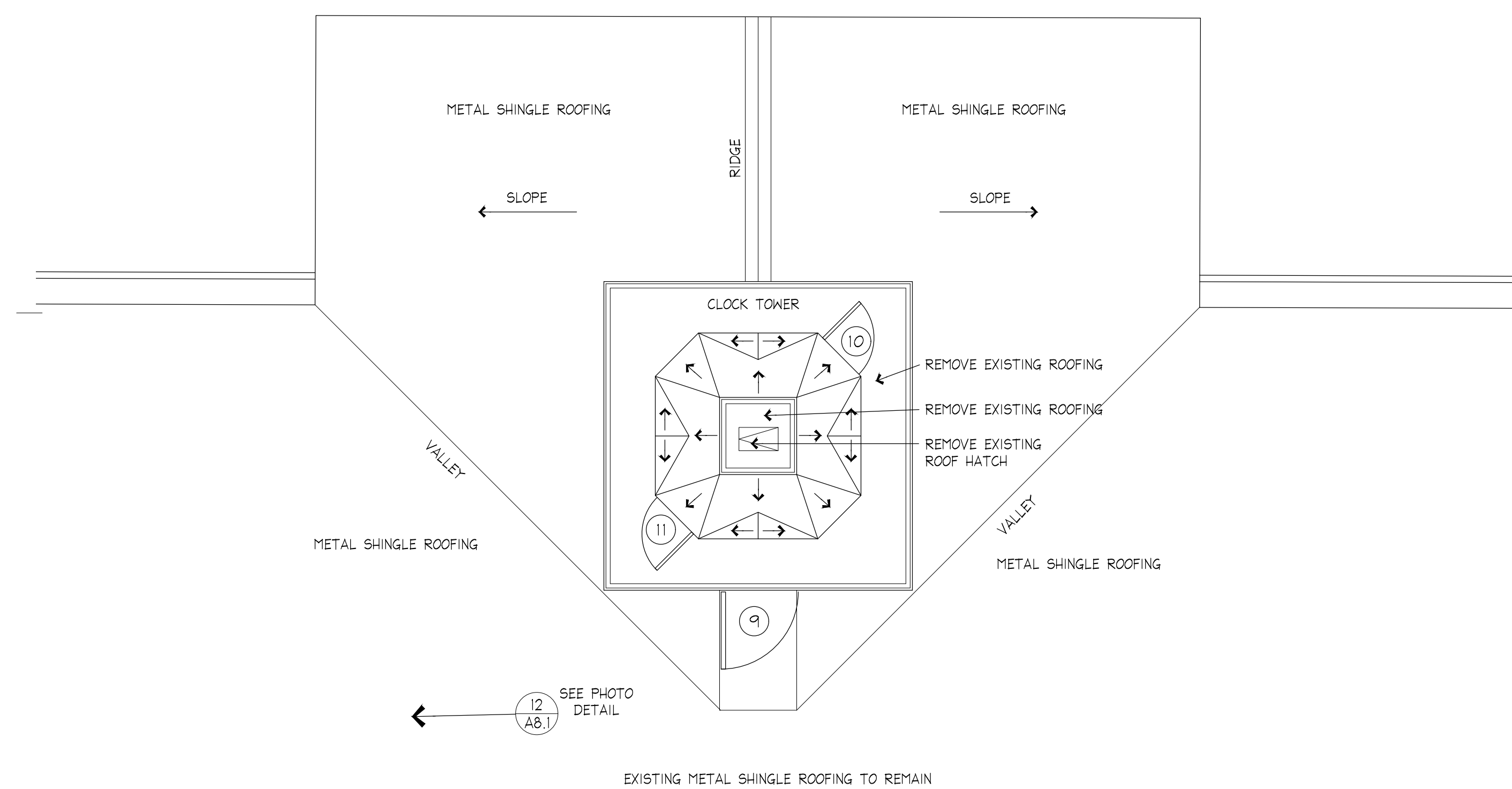
4 OF 73



'DS' DENOTES EXISTING DOWNSPOUT TO REMAIN, TYPICAL.



**1 ROOF DEMOLITION PLAN**  
D1.3 SCALE: 1/8" = 1'-0"



SEE PHOTO  
DETAIL  
12  
A&1

**2 TOWER DEMOLITION PLAN**  
D1.2 SCALE: 1/4" = 1'-0"



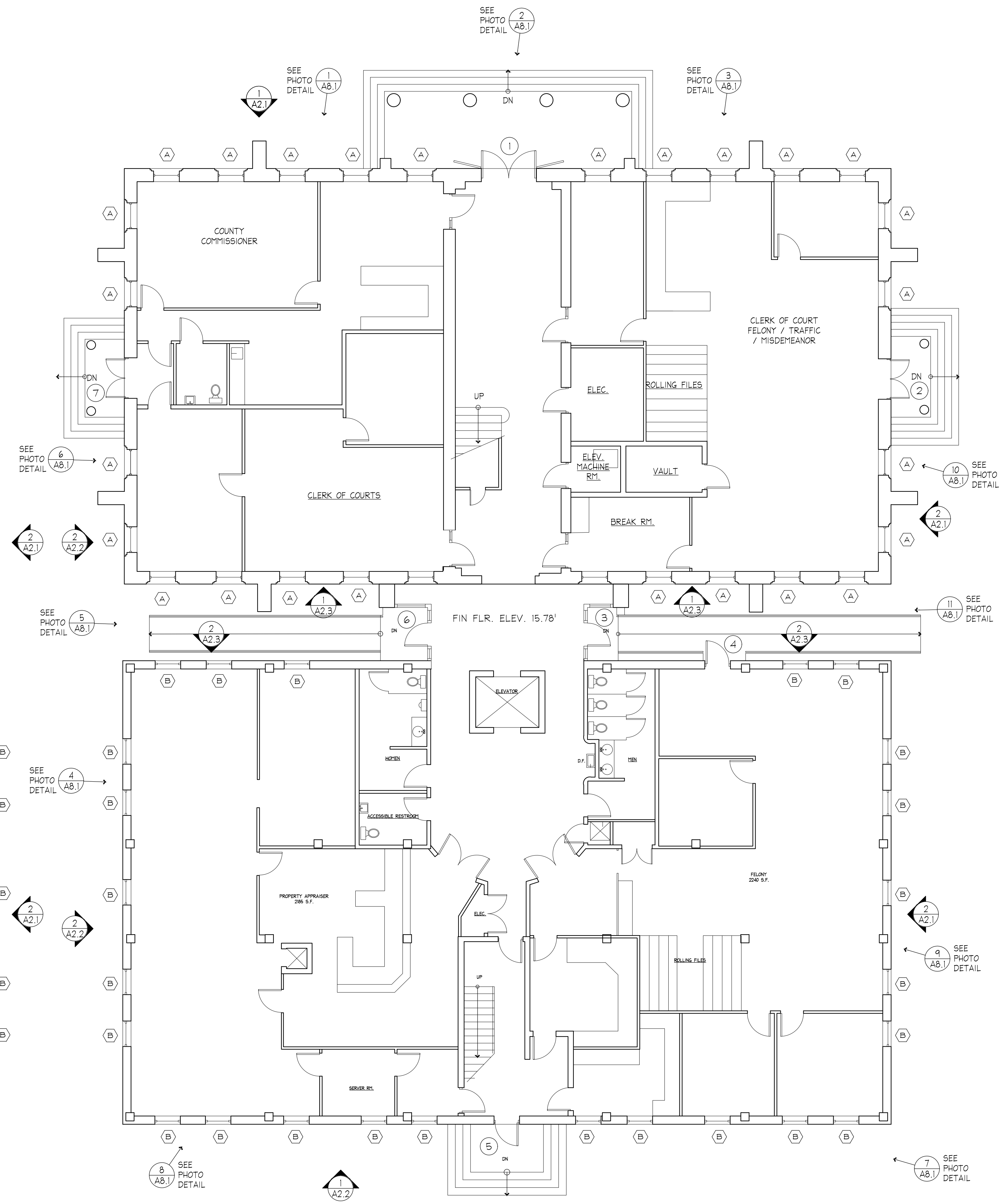
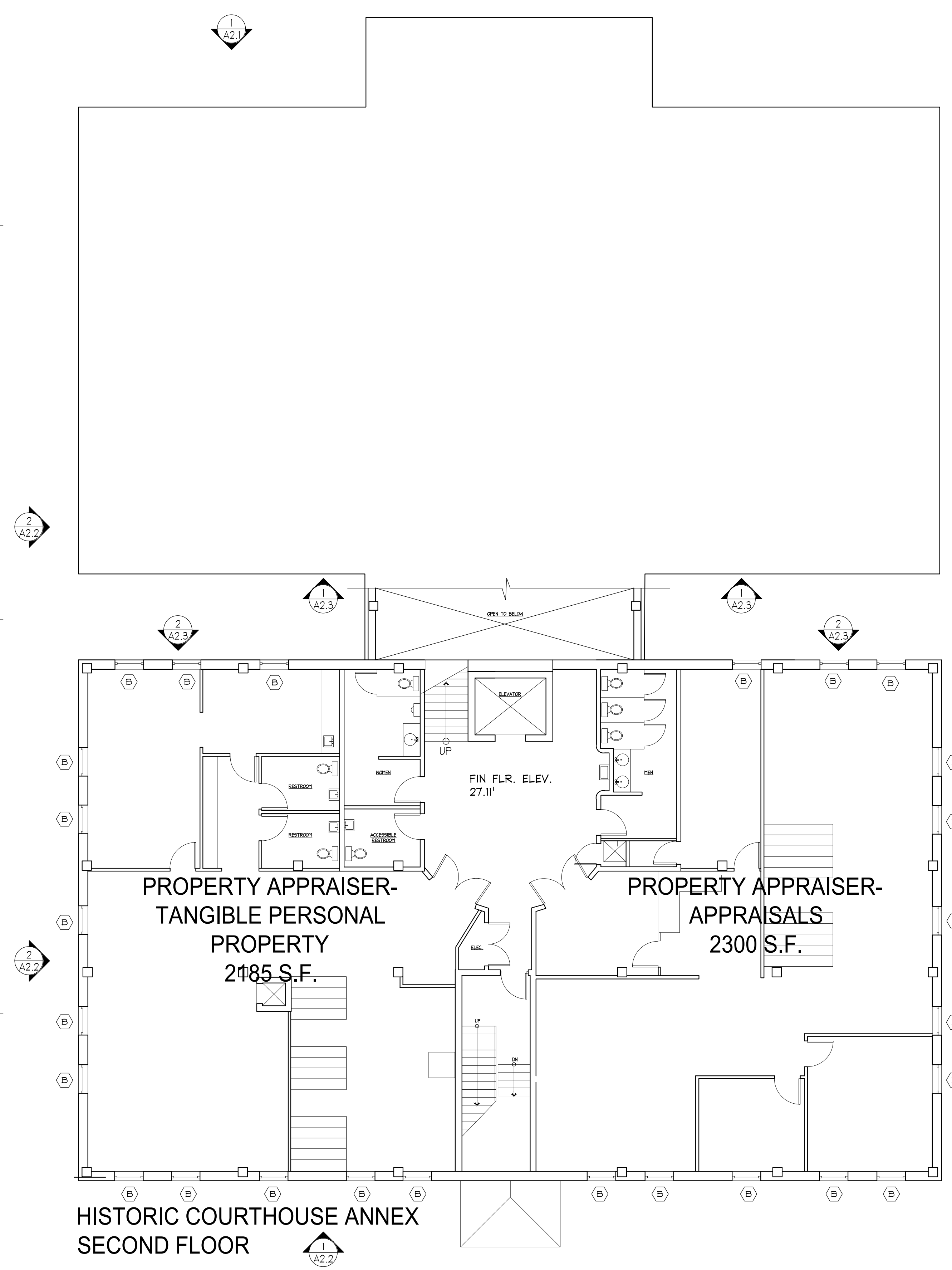
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Project No: 1835EE  
 FLOOR PLANS  
 Date: 2/15/24-90% SUBMITTAL



6 2ND FLOOR PLAN  
 A1.1 SCALE: 1/8" = 1'-0"

1 FIRST FLOOR PLAN  
 A1.1 SCALE: 1/8" = 1'-0"



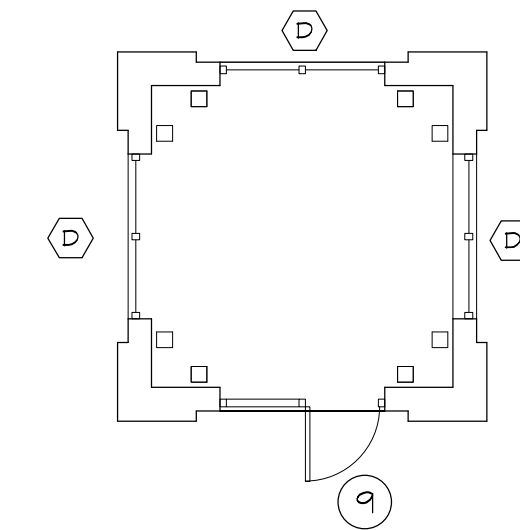
PRESERVATION NOTES

THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION:

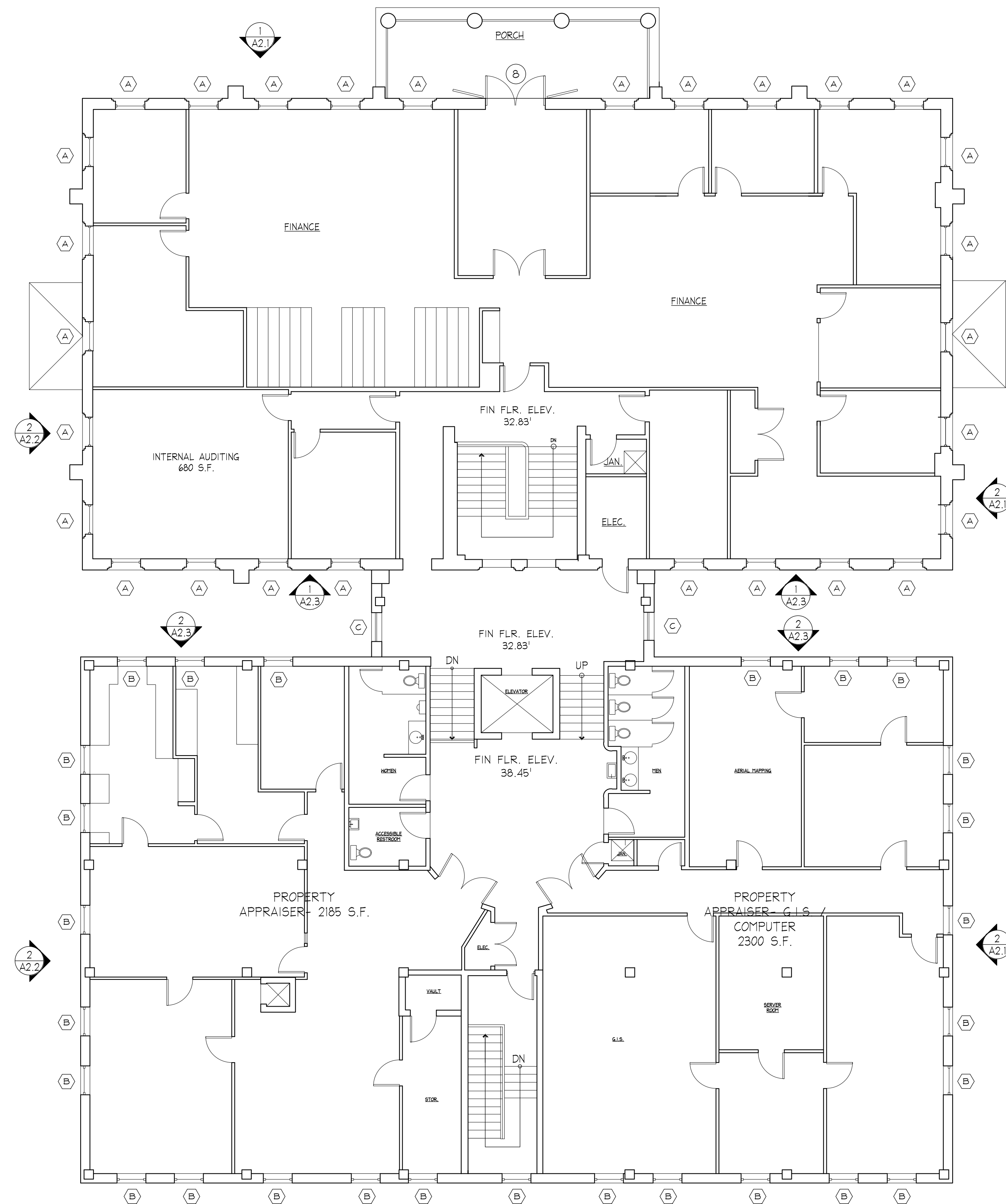
- (a) The following Standards for Rehabilitation are the criteria used to determine if a rehabilitation project qualifies as a certified rehabilitation. The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation of historic materials and features. The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior of historic buildings. The Standards also encompass related landscape features and the building's site and environment, as well as attached, adjacent, or related new construction. To be certified, a rehabilitation project must be determined by the Secretary to be consistent with the historic character of the structure(s) and, where applicable, the district in which it is located.
- (b) The following Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility. (The application of these Standards to rehabilitation projects is to be the same as under the previous version so that a project previously acceptable would continue to be acceptable under these Standards.)
- (1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
  - (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
  - (3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
  - (4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
  - (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
  - (6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
  - (7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
  - (8) Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
  - (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
  - (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
- (c) The quality of materials and craftsmanship used in a rehabilitation project must be commensurate with the quality of materials and craftsmanship of the historic building in question. Certain treatments, if improperly applied, or certain materials by their physical properties, may cause or accelerate physical deterioration of historic buildings. Inappropriate physical treatments include, but are not limited to: improper repointing techniques; improper exterior masonry cleaning methods; or improper introduction of insulation where damage to historic fabric would result. In almost all situations, use of these materials and treatments will result in denial of certification. Similarly, exterior additions that duplicate the form, material, and detailing of the structure to the extent that they compromise the historic character of the structure will result in denial of certification. For further information on appropriate and inappropriate rehabilitation treatments, owners are to consult the Guidelines for Rehabilitating Historic Buildings published by the NPS, "Preservation Briefs" and additional technical information to help property owners formulate plans for the rehabilitation, preservation, and continued use of historic properties consistent with the intent of the Secretary's Standards for Rehabilitation are available from the SHPOs and NPS regional offices. Owners are responsible for procuring this material as part of property planning for a certified rehabilitation.

PRESERVATION NOTES:

1. MATCH ORIGINAL HISTORIC MATERIAL, TEXTURES AND FINISHES. THE ARCHITECT WILL BE THE SOLE JUDGE AS TO WHAT CONSTITUTES AN APPROPRIATE MATCH.
2. REMOVE ALL AREAS IDENTIFIED BY THE ARCHITECT AS INAPPROPRIATE OR NOT MATCHING THE ADJACENT HISTORIC FABRIC.
3. TAKE ALL APPROPRIATE MEASURES NECESSARY TO CORRECT INFERIOR WORK AS IDENTIFIED BY THE ARCHITECT.
4. PROTECT HISTORIC FABRIC DURING ALL OPERATIONS. NO HISTORIC MATERIALS SHALL BE REMOVED FROM THE SITE WITHOUT PRIOR APPROVAL OF ARCHITECT. THE ARCHITECT RESERVES THE RIGHT TO HAVE INDIVIDUAL WORKMEN REMOVED FROM INDIVIDUAL ACTIVITIES OR THE PROJECT ENTIRELY, IF IN THE ARCHITECT'S JUDGEMENT, THE QUALITY OF WORK BEING PERFORMED IS INAPPROPRIATE, INFERIOR, OR DETRIMENTAL TO HISTORIC MATERIALS.
5. REFER TO PHOTOGRAPHIC DETAILS IN THE SPECIFICATIONS FOR ADDITIONAL HISTORIC PRESERVATION INFORMATION AND PROJECT REQUIREMENTS.
6. ALL WORK MUST COMPLY WITH THE SECRETARY OF THE INTERIORS STANDARDS FOR REHABILITATION, AS ADMINISTERED BY THE FLORIDA DEPARTMENT OF STATE, DIVISION OF HISTORIC RESOURCES.
7. DUE TO THE SENSITIVE HISTORIC NATURE OF THIS PROJECT, GENERAL CONTRACTORS AND CERTAIN TRADES MUST MEET PREQUALIFICATION REQUIREMENTS. REFER TO SUPPLEMENTARY GENERAL CONDITIONS, SECTION 00200. HISTORIC FINISHES AND FURRING MAY BE INTACT UNDER CONTEMPORARY FINISHES. CONSULT ARCHITECT BEFORE REMOVAL OF QUESTIONABLE HISTORIC OR NON-HISTORIC MATERIAL.
8. WHERE THE TERM 'RESTORE' IS USED THROUGHOUT THESE DOCUMENTS, THE INTENT IS TO RETURN AN ITEM, FINISH, OR MATERIAL TO ITS HISTORIC CONFIGURATION AND/OR CONDITION. THE LEAST INTRUSIVE METHOD REQUIRED SHOULD BE USED FIRST: CLEAN, PATCH, OR REPLACE USING AN IN-KIND MATERIAL, I.E. BRONZE FOR BRONZE, CONCRETE FOR CONCRETE, CORAL STONE FOR CORAL STONE, ETC. COORDINATE ALL REQUIREMENTS FOR 'RESTORATION' WITH ARCHITECT.



2 COURTHOUSE TOWER PLAN, WINDOW LEVEL  
SCALE: 1/8" = 1'-0"



1 COURTHOUSE 2ND FLOOR, ANNEX 3RD FLOOR  
SCALE: 1/8" = 1'-0"

REVISIONS:

HISTORIC MONROE COUNTY COURTHOUSE  
DOOR/WINDOW REPLACEMENT AND ROOF REPAIR  
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Bender & Associates  
ARCHITECTS  
p.a.

Project No: 1835EE

FLOOR PLANS

Date: 2/15/24-90% SUBMITTAL

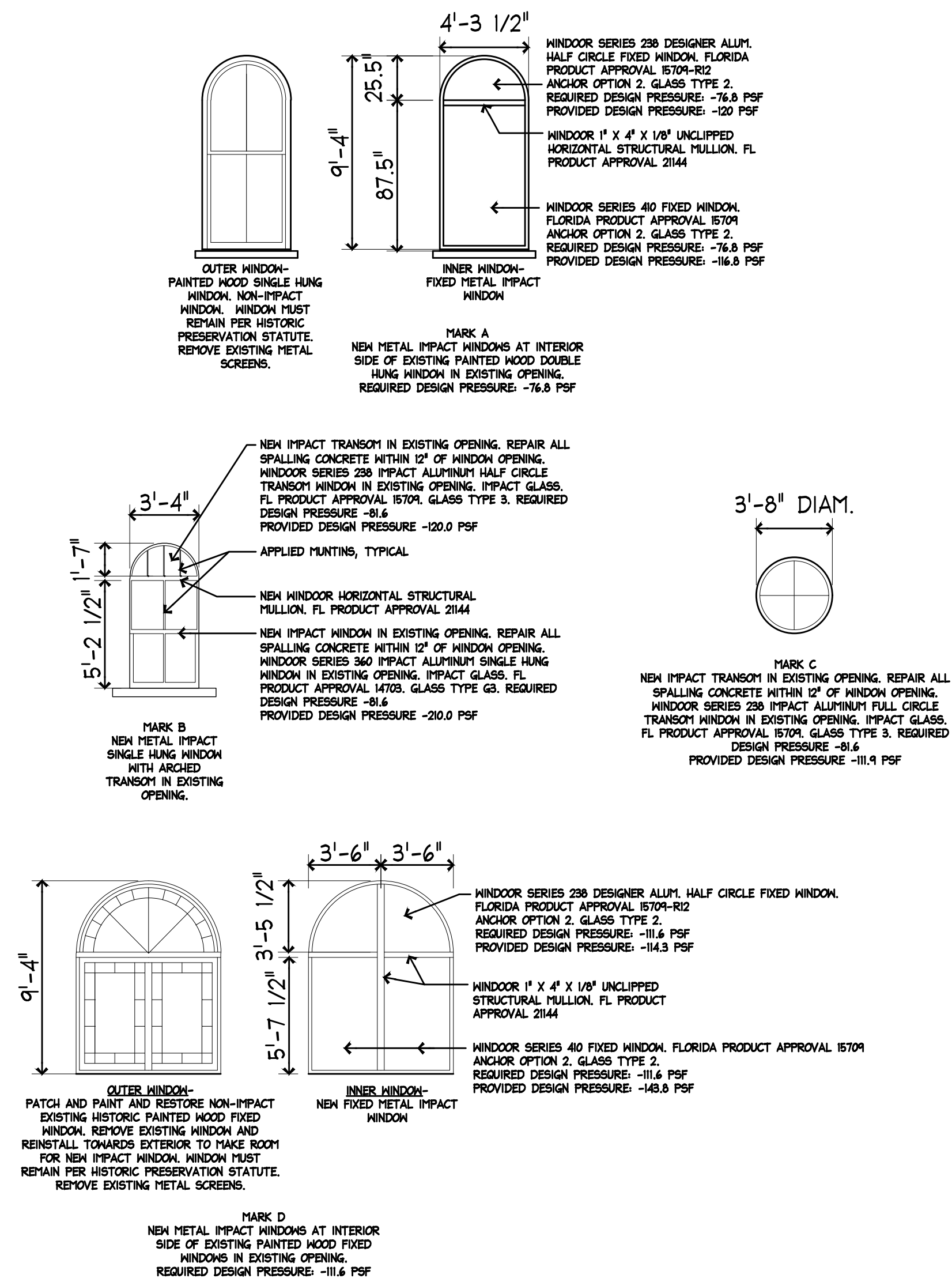
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WINDOW SCHEDULE							
MARK	SIZE	MANUFACTURER	DETAILS	MATERIAL	FINISH	GLASS TYPE	REMARKS
A	52" x 119"	HINDOOR	15A.8	METAL	PAINTED	IMPACT	NEW PAINTED METAL IMPACT ARCH'D WINDOW AT INTERIOR SIDE OF EXISTING WOOD WINDOW IN EXISTING OPENING.
B	40" x 84"	HINDOOR	13,14/AB.8	METAL	PAINTED	IMPACT	NEW PAINTED METAL SINGLE HUNG IMPACT ARCH'D WINDOW IN EXISTING OPENING.
C	44" DIAM.	HINDOOR	14,20/AB.8	METAL	PAINTED	IMPACT	NEW PAINTED METAL FIXED IMPACT CIRCULAR WINDOW IN EXISTING OPENING.
D	84" x 112"	HINDOOR	15/AB.8, 24/AB.8	METAL	PAINTED	IMPACT	NEW PAINTED METAL IMPACT ARCH'D WINDOW AT INTERIOR SIDE OF EXISTING WOOD WINDOW IN EXISTING OPENING.
E							
F							

### WINDOW TYPES



- WINDOW NOTES:**
- VERIFY DIMENSIONS OF ALL EXISTING OPENINGS BEFORE ORDERING DOORS, WINDOWS AND LOUVERS.
  - INSTALL ALL NEW EXTERIOR IMPACT DOORS AND WINDOWS IN STRICT ACCORDANCE WITH MIAMI DADE NOA'S OR FLORIDA PRODUCT APPROVALS.
  - SEE SPECIFICATIONS FOR FURTHER DOOR AND WINDOW INFORMATION.
  - REPAIR ALL SPALLING AND DAMAGED CONCRETE AT EXISTING WINDOW AND DOOR OPENINGS BEFORE INSTALLATION.
  - MANY WINDOW OPENINGS HAVE BEEN ENCLOSED AND MATERIAL NEEDS TO BE REMOVED TO EXPOSE THE ORIGINAL OPENING. CONTRACTOR SHALL REMOVE MATERIAL AS REQUIRED. CONTRACTOR SHALL SQUARE OPENINGS AS REQUIRED FOR NEW WINDOWS. PREP WINDOW OPENINGS AS REQUIRED. NOTIFY ARCHITECT IF WINDOW OPENINGS ARE FOUND TO DIFFER FROM WINDOW AND DOOR SIZES IN SCHEDULE.
  - DUE TO THE MANY ALTERATIONS OVER TIME, DIFFERENT MATERIALS MAY HAVE BEEN USED IN HALL CONSTRUCTION. AS SUCH, WALLS MAY HAVE TO BE FURRED OUT OR OTHERWISE ADJUSTED TO ACCOMMODATE NEW WINDOW INSTALLATION. NOTIFY ARCHITECT IF DIFFERENT HALL MATERIALS ARE FOUND.
  - ROUGH BUCKS MUST BE FASTENED TO SOLID SUBSTRATE. IF VOIDS ARE FOUND AT AT MASONRY WALLS, REMOVE ALL DETEIORATED CONCRETE FROM SURFACE OF OPENINGS AND REPAIR CONCRETE TO ACHIEVE ROUGH OPENING WIDTH. SEE STRUCTURAL DRAWINGS.
  - ALL WINDOWS SHALL HAVE IMPACT PROTECTION IN STRICT ACCORDANCE WITH PRODUCT APPROVAL.
  - PROVIDE SHOP DRAWINGS OF ALL WINDOWS AND GLAZING FOR ARCHITECT APPROVAL BEFORE ORDERING.
  - SEAL BUCKS / SHIMS WITH TREPKO DYNAMIC LIQUID APPLIED FLASHING SYSTEM. SEE SPECS. ISOLATE ALL WOOD AND CONCRETE.
  - PATCH AND PAINT ALL STUCCO AROUND DOORS, WINDOWS AND LOUVERS AFTER INSTALLATION.
- ADDITIONAL WINDOW NOTES:**
- ALL OF THE HISTORIC WINDOWS SHALL BE RESTORED TO FULL WORKING ORDER BY A QUALIFIED HISTORIC WINDOW RESTORATION CONTRACTOR. SEE SPECS. ALL OF THE WINDOWS REQUIRE SOME SORT OF REPAIR. MEASURE AND VERIFY ALL EXISTING WINDOWS BEFORE WORK. PROVIDE REPAIR SCHEDULE FOR WINDOWS AND DOORS.
  - INSTALL IMPACT PROTECTION AT ALL HISTORIC WINDOWS IN STRICT ACCORDANCE WITH MIAMI-DADE NOA OR FLA PRODUCT APPROVAL.
  - REPAIR ALL DAMAGED WOOD AND TRIM AROUND WINDOW AND DOOR OPENINGS.
  - PREP AND PAINT WINDOW OPENINGS AS REQUIRED. MATCHING HISTORIC MATERIALS.
  - ALL OF THE HISTORIC WINDOWS DATE FROM CIRCA 1870 OR LATER. CONTRACTOR SHALL TEST ALL HISTORIC WINDOWS FOR LEAD BASED PAINT. CONTRACTOR SHALL ASSUME THAT THE EXISTING COATINGS CONTAIN LEAD BASED PAINT. IF FOUND, ABATE ALL LEAD BASED PAINT ON WINDOWS AND FRAMES IN ACCORDANCE WITH ALL STATE, LOCAL AND FEDERAL STANDARDS.
  - REPAIR ALL CRACKED OR BROKEN GLASS. PATCH EXISTING.
  - RESTORATION OF HISTORIC WINDOWS SHALL ONLY BE UNDERTAKEN BY FIRMS QUALIFIED IN HISTORIC WINDOW RESTORATION. A LIST OF THESE FIRMS CAN BE OBTAINED BY THE ARCHITECT. THESE FIRMS INCLUDE, BUT ARE NOT LIMITED TO:

AUSTIN HISTORICAL, INC.  
215 S DIVISION AVE.  
ORLANDO, FL 32806  
800-611-2601  
INFO@AUSTINHISTORICAL.COM

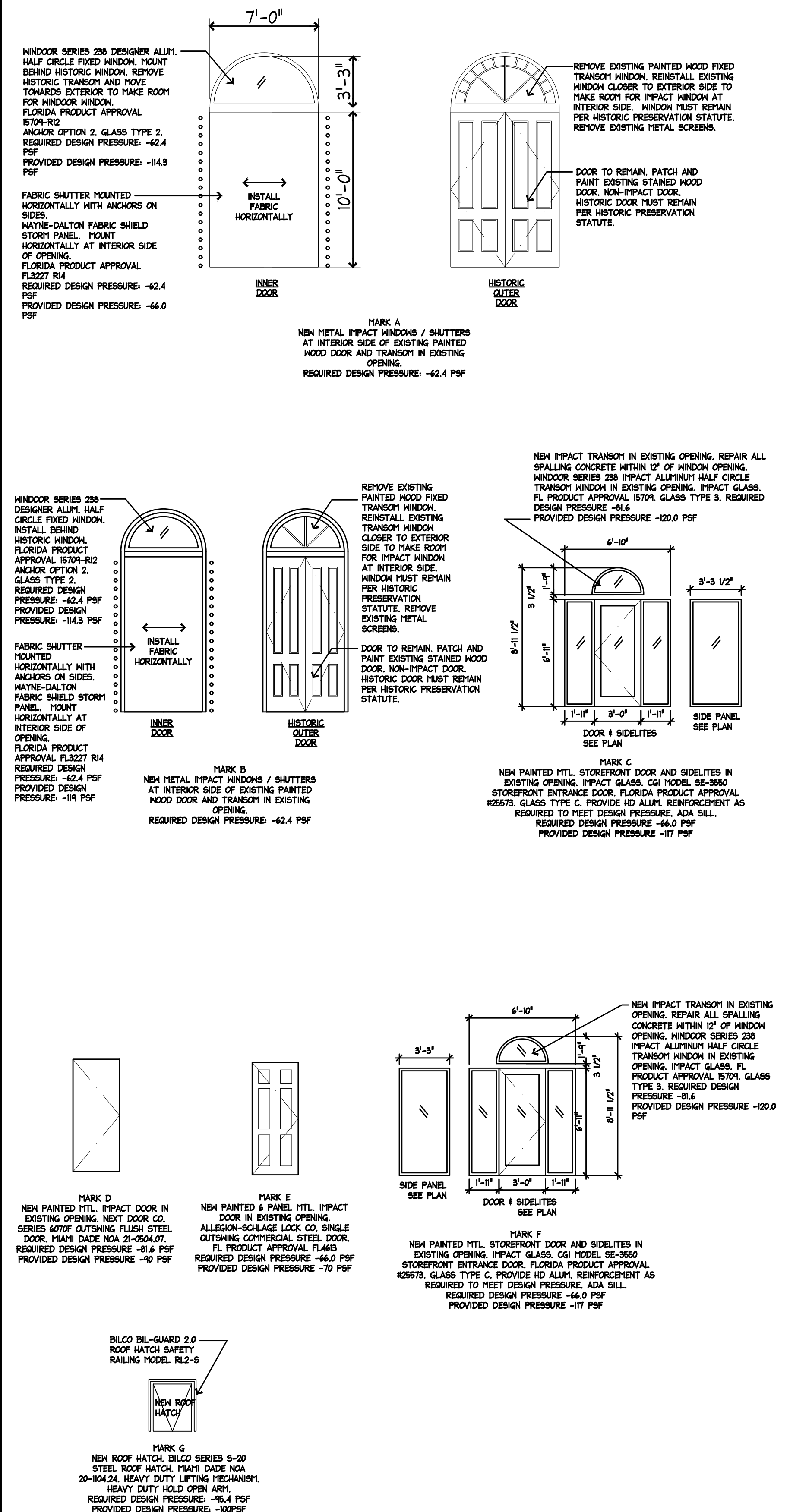
SPECIALIZED PROPERTY SERVICES  
965 US E HWY 92  
TAMPA, FL 33610  
407-926-8620

NOTE: THE EXISTING HISTORIC DOORS AND WINDOWS MAY CONTAIN LEAD BASED PAINT. CONTRACTOR SHALL ABATE ALL LEAD PAINT, FOLLOWING ALL LOCAL, STATE AND FEDERAL STANDARDS.

16. CLEAN AND REUSE EXISTING WINDOW HARDWARE. REPLACE ALL HARDWARE WHERE DAMAGED OR MISSING. PATCH EXISTING.

DOOR SCHEDULE										SQUARE FEET	
NO.	TYPE	SIZE	MATERIAL	FINISH	GLAZING	FRAMES	DETAILS	REMARKS			
1	A	42" PAIR	66" x 134"	WOOD	STAINED	NONE	WOOD	PAINTED	---	NEW SHUTTERS BEHIND HISTORIC DOOR. NEW IMPACT WINDOW BEHIND HISTORIC TRANSOM.	N/A
2	B	30" PAIR	84" x 134"	WOOD	STAINED	NONE	WOOD	PAINTED	---	NEW SHUTTERS BEHIND HISTORIC DOOR. NEW IMPACT WINDOW BEHIND HISTORIC TRANSOM.	N/A
3	C	36"	88" x 134"	METAL	PAINTED	IMPACT	METAL	PAINTED	1,3,4,7, 10/AB.9	NEW PAINTED HTL. STOREFRONT DOOR, TRANSOM & SIDELITE IN EXISTING OPENING. IMPACT GLASS. FLORIDA PRODUCT APPROVAL.	1
4	D	36"	84" x 134"	METAL	PAINTED	IMPACT	METAL	PAINTED	1,15,24/AB.9	NEW PAINTED HTL. IMPACT DOOR IN EXISTING OPENING. FLORIDA PRODUCT APPROVAL.	2
5	E	36"	87" x 134"	METAL	PAINTED	IMPACT	METAL	PAINTED	11,22/AB.9	NEW PAINTED HTL. 6 PANEL IMPACT DOOR IN EXISTING OPENING. FLORIDA PRODUCT APPROVAL.	3
6	F	36"	83" x 134"	METAL	PAINTED	IMPACT	METAL	PAINTED	1,3,4,7, 10/AB.9	NEW PAINTED HTL. STOREFRONT DOOR, TRANSOM & SIDELITE IN EXISTING OPENING. IMPACT GLASS. FLORIDA PRODUCT APPROVAL.	1
7	B	30" PAIR	84" x 134"	WOOD	STAINED	NONE	WOOD	PAINTED	---	NEW SHUTTERS BEHIND HISTORIC DOOR. NEW IMPACT WINDOW BEHIND HISTORIC TRANSOM.	N/A
8	A	42" PAIR	66" x 134"	WOOD	STAINED	NONE	WOOD	PAINTED	---	NEW SHUTTERS BEHIND HISTORIC DOOR. NEW IMPACT WINDOW BEHIND HISTORIC TRANSOM.	N/A
9	D	36"	84" x 134"	METAL	PAINTED	IMPACT	METAL	PAINTED	1,15,24/AB.9	NEW PAINTED HTL. IMPACT ROOF DOOR IN EXISTING OPENING. FLORIDA PRODUCT APPROVAL.	4
10	D	24"	84" x 134"	METAL	PAINTED	IMPACT	METAL	PAINTED	1,15,24/AB.9	NEW PAINTED HTL. IMPACT ROOF DOOR IN EXISTING OPENING. FLORIDA PRODUCT APPROVAL.	4
11	D	24"	84" x 134"	METAL	PAINTED	IMPACT	METAL	PAINTED	1,15,24/AB.9	NEW PAINTED HTL. IMPACT ROOF DOOR IN EXISTING OPENING. FLORIDA PRODUCT APPROVAL.	4
12	G	30"	36"	METAL	PAINTED	IMPACT	METAL	PAINTED	13/AB.9	NEW PAINTED HTL. IMPACT ROOF HATCH IN EXISTING OPENING. FLORIDA PRODUCT APPROVAL.	5
13											
14											
15											
16											
17											
18											
19											

### DOOR TYPES



- DOOR NOTES:**
- VERIFY DIMENSIONS OF ALL EXISTING OPENINGS BEFORE ORDERING DOORS, WINDOWS AND LOUVERS.
  - INSTALL ALL NEW EXTERIOR IMPACT DOORS AND WINDOWS IN STRICT ACCORDANCE WITH MIAMI DADE NOA'S OR FLORIDA PRODUCT APPROVALS.
  - SEE SPECIFICATIONS FOR FURTHER DOOR AND WINDOW INFORMATION.
  - REPAIR ALL SPALLING AND DAMAGED CONCRETE AT EXISTING WINDOW AND DOOR OPENINGS BEFORE INSTALLATION.
  - MANY DOOR OPENINGS HAVE BEEN ENCLOSED AND MATERIAL NEEDS TO BE REMOVED TO EXPOSE THE ORIGINAL OPENING. CONTRACTOR SHALL REMOVE MATERIAL AS REQUIRED. CONTRACTOR SHALL SQUARE OPENINGS AS REQUIRED FOR NEW DOOR. PREP OPENINGS AS REQUIRED. NOTIFY ARCHITECT IF OPENINGS ARE FOUND TO DIFFER FROM DOOR SIZES IN SCHEDULE.
  - DUE TO THE MANY ALTERATIONS OVER TIME, DIFFERENT MATERIALS MAY HAVE BEEN USED IN HALL CONSTRUCTION. AS SUCH, WALLS MAY HAVE TO BE FURRED OUT OR OTHERWISE ADJUSTED TO ACCOMMODATE NEW DOOR INSTALLATION. NOTIFY ARCHITECT IF DIFFERENT HALL MATERIALS ARE FOUND.
  - ROUGH BUCKS MUST BE FASTENED TO SOLID SUBSTRATE. IF VOIDS ARE FOUND AT AT MASONRY WALLS, REMOVE ALL DETEIORATED CONCRETE FROM SURFACE OF OPENINGS AND REPAIR CONCRETE TO ACHIEVE ROUGH OPENING WIDTH. SEE STRUCTURAL DRAWINGS.
  - ALL DOORS SHALL HAVE IMPACT PROTECTION IN STRICT ACCORDANCE WITH PRODUCT APPROVAL.
  - PROVIDE SHOP DRAWINGS OF ALL DOORS AND GLAZING FOR ARCHITECT APPROVAL BEFORE ORDERING.
  - SEAL BUCKS / SHIMS WITH TREPKO DYNAMIC LIQUID APPLIED FLASHING SYSTEM. SEE SPECS. ISOLATE ALL WOOD AND CONCRETE.
  - PATCH AND PAINT ALL STUCCO AROUND DOORS, WINDOWS AND LOUVERS AFTER INSTALLATION.

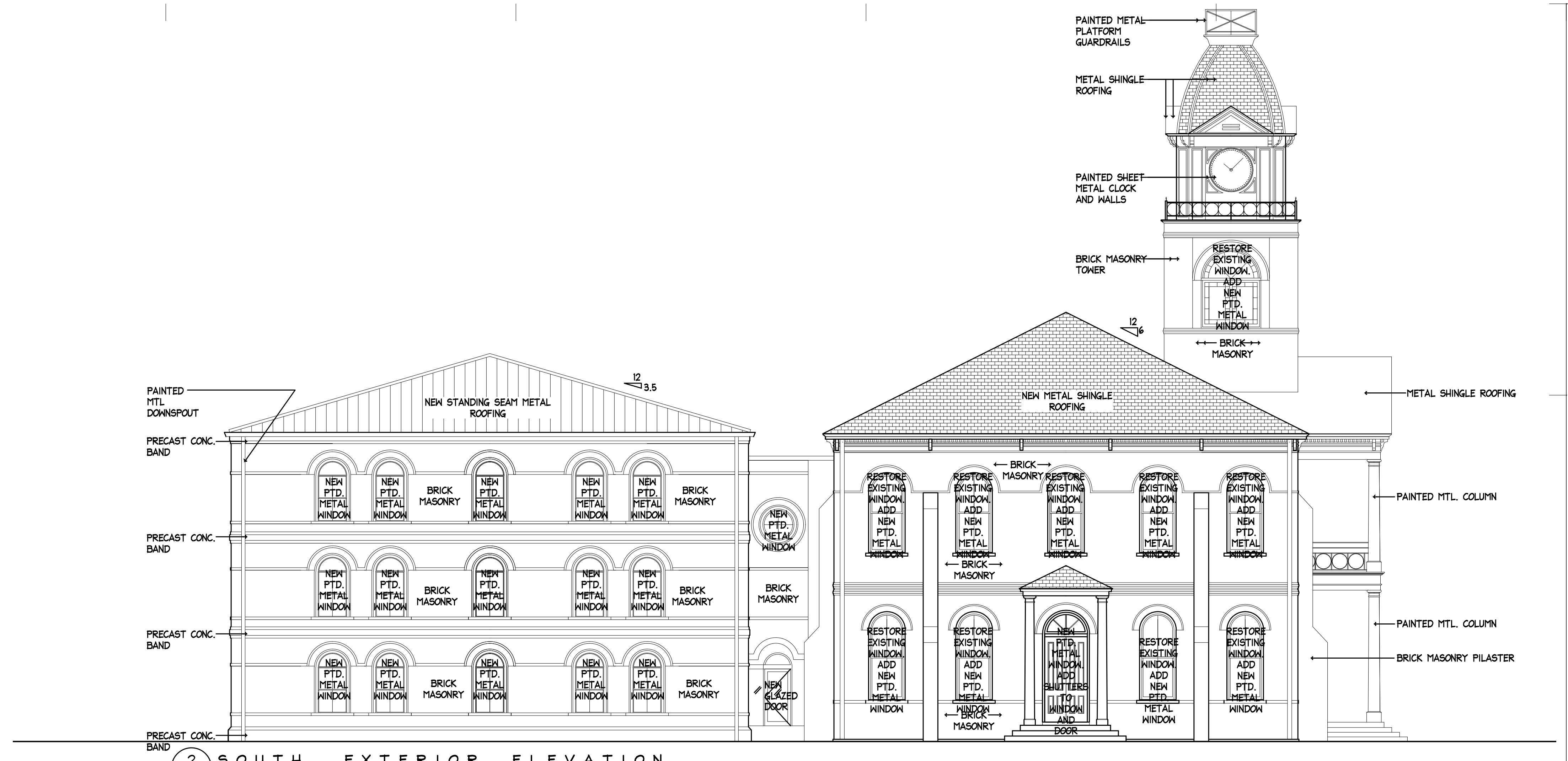
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KEY WEST FLORIDA  
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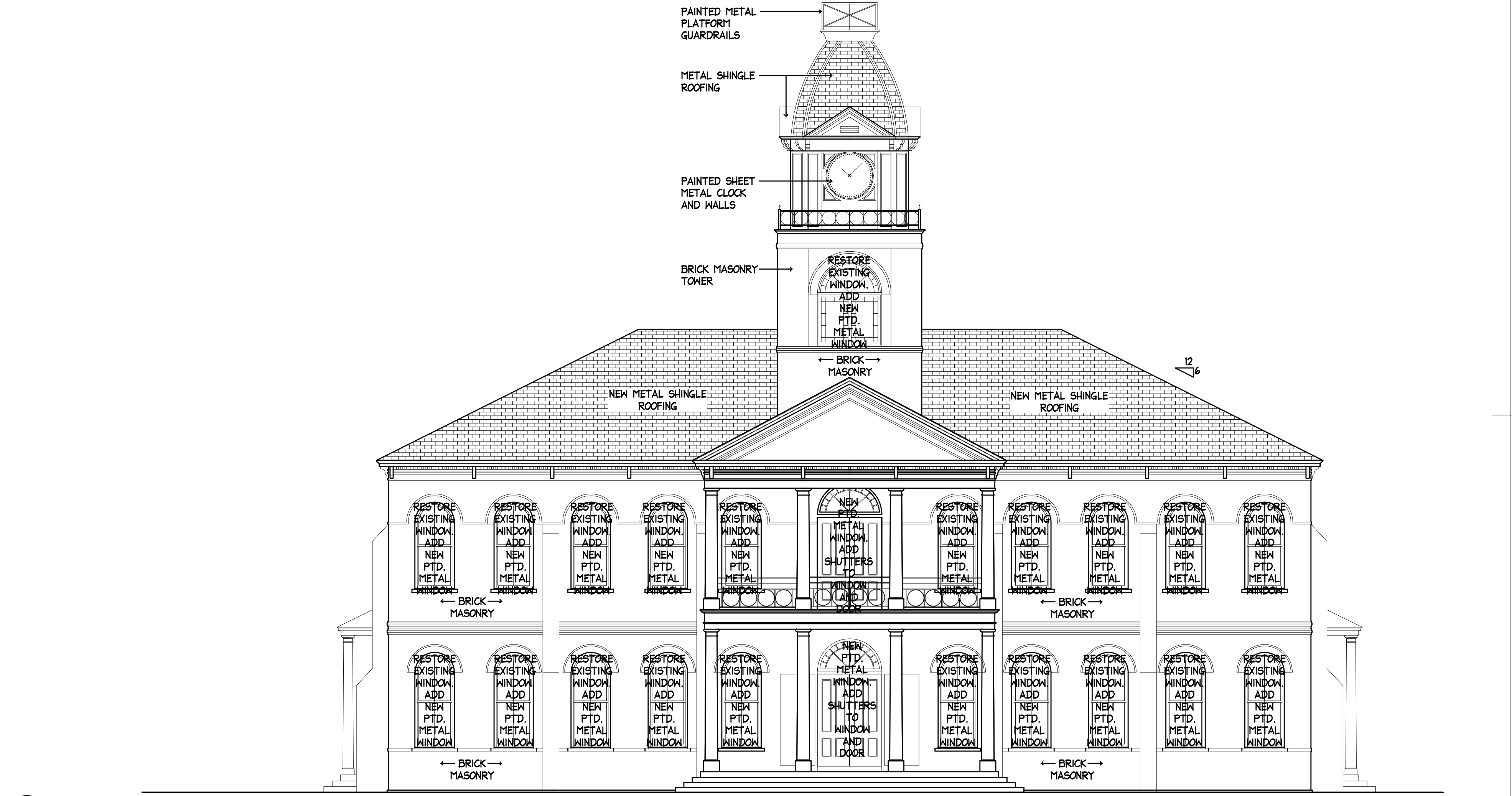
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**ARCHITECTS**  
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Project No: 1835EE  
WINDOW SCHEDULE WINDOW TYPES  
Date: 2/15/24-20% SUBMITTAL



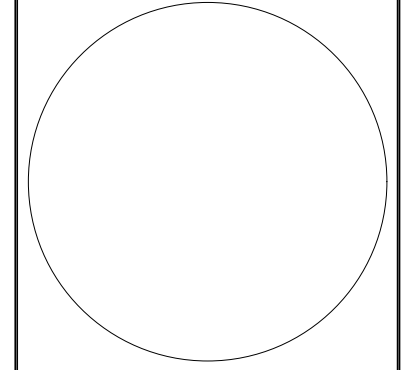
**2 SOUTH EXTERIOR ELEVATION**  
 (A2.1) SCALE: 1/8" = 1'-0"



**1 EAST EXTERIOR ELEVATION**  
 (A2.1) SCALE: 1/8" = 1'-0"

REVISIONS:

**HISTORIC MONROE COUNTY COURTHOUSE**  
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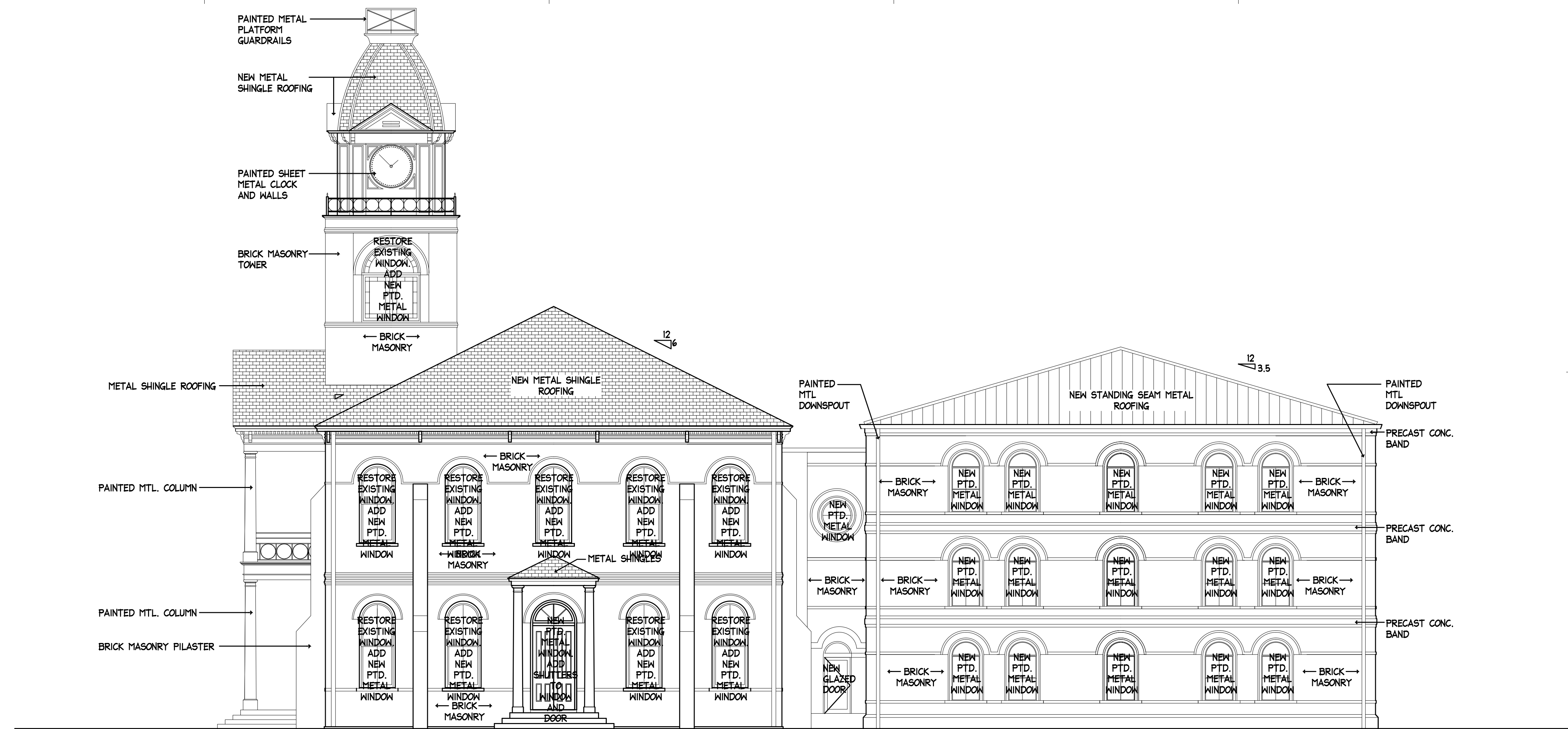


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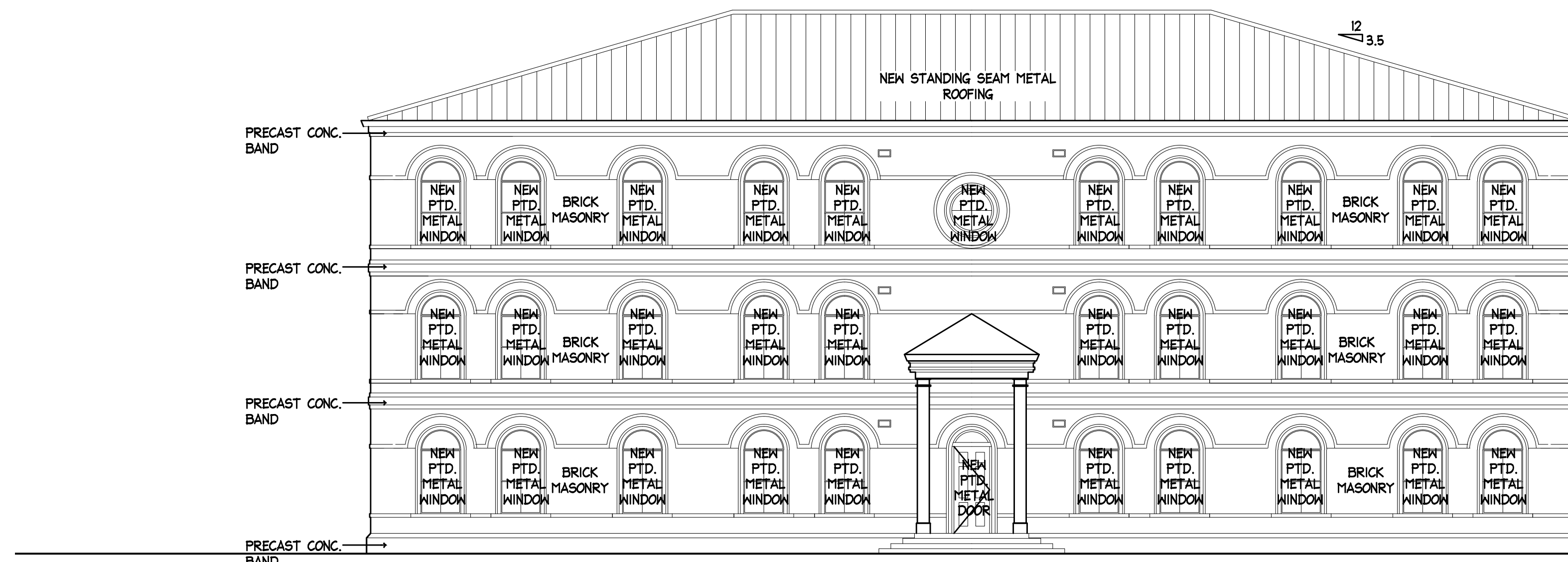
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**ARCHITECTS**  
 p.c.

Project No: 1035EE  
 EXTERIOR ELEVATIONS  
 Date: 2/15/24-90% SUBMITTAL

**A2.1**  
 8 OF 73



2 NORTH EXTERIOR ELEVATION  
 A2.2 SCALE: 1/8" = 1'-0"



1 WEST EXTERIOR ELEVATION  
 A2.2 SCALE: 1/8" = 1'-0"

REVISIONS:

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Project No: 1835EE

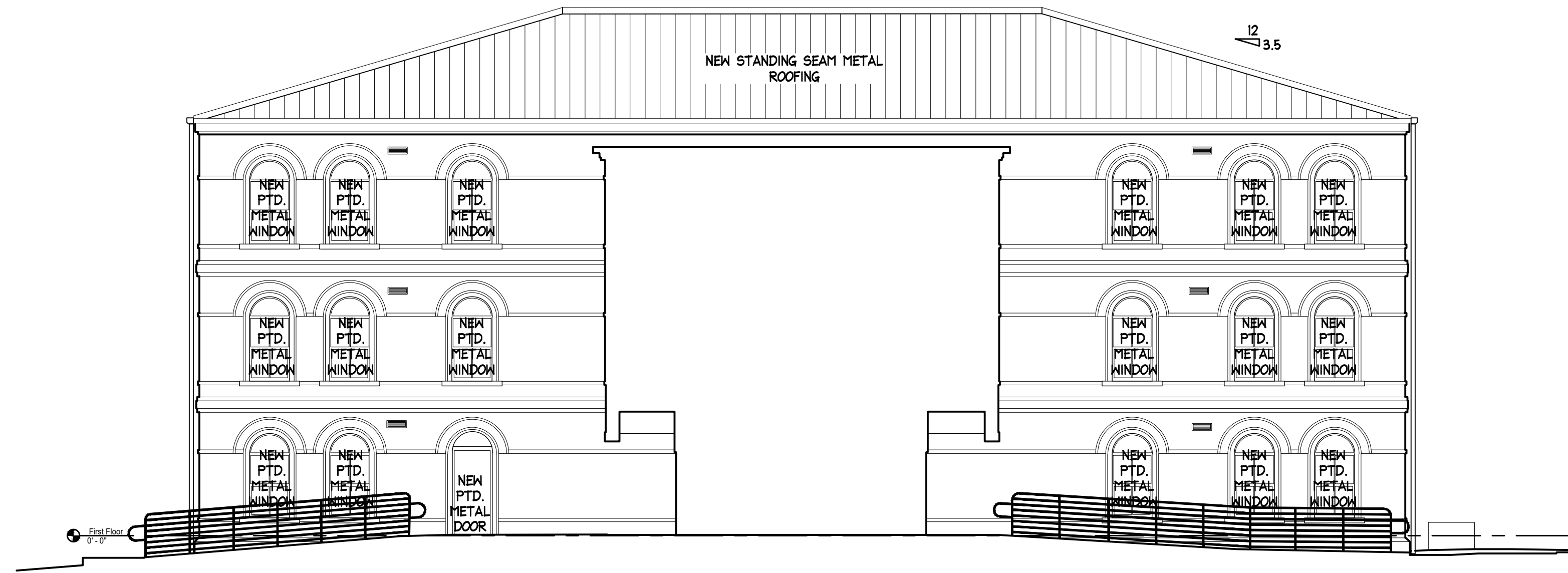
EXTERIOR ELEVATIONS

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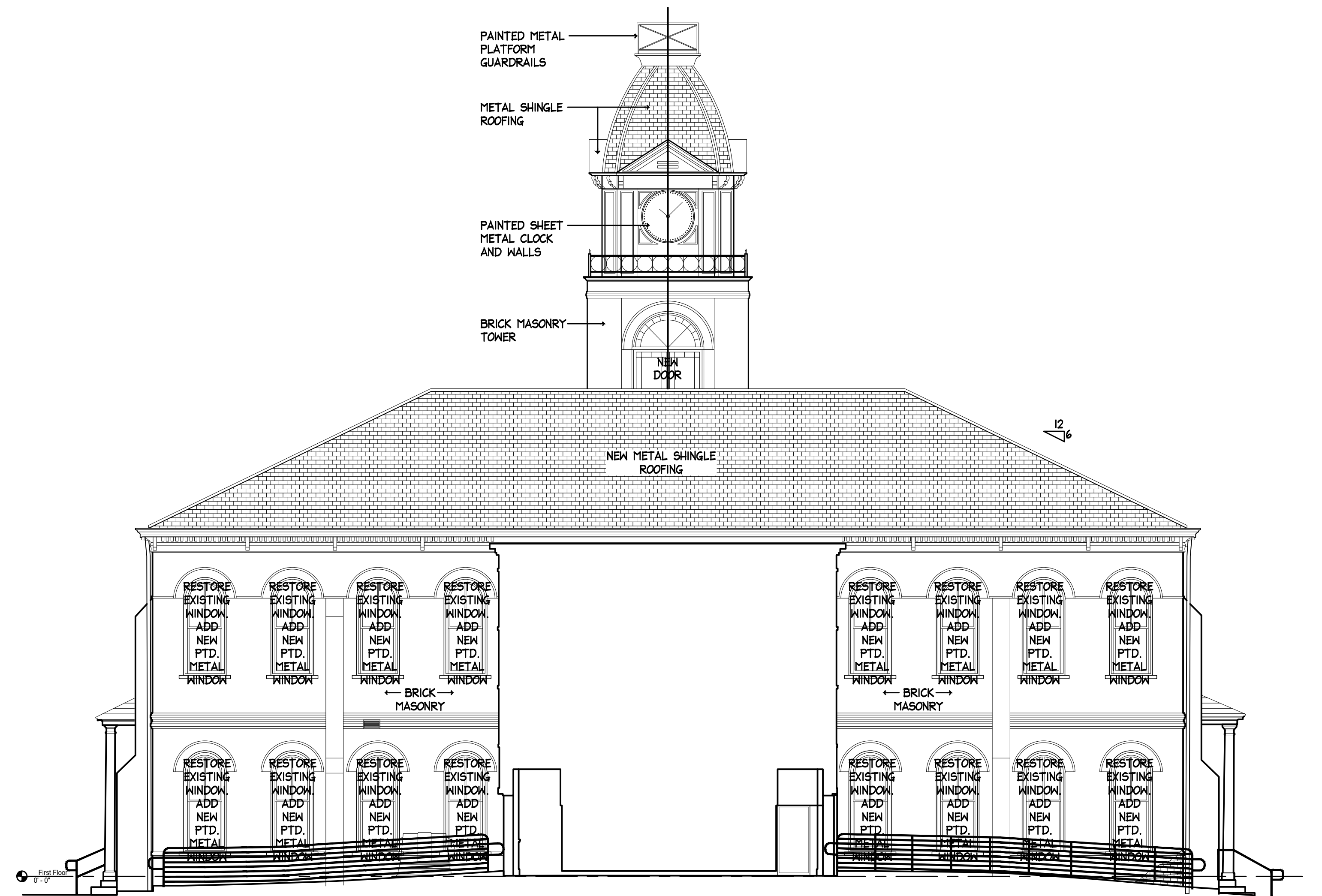
A2.2

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2 ANNEX EAST EXTERIOR ELEVATION  
 A2.3 SCALE: 1/8" = 1'-0"



1 COURTHOUSE WEST EXTERIOR ELEVATION  
 A2.3 SCALE: 1/8" = 1'-0"

REVISIONS:

HISTORIC MONROE COUNTY COURTHOUSE

DOOR / WINDOW REPLACEMENT AND ROOF REPAIR

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EXTERIOR ELEVATIONS

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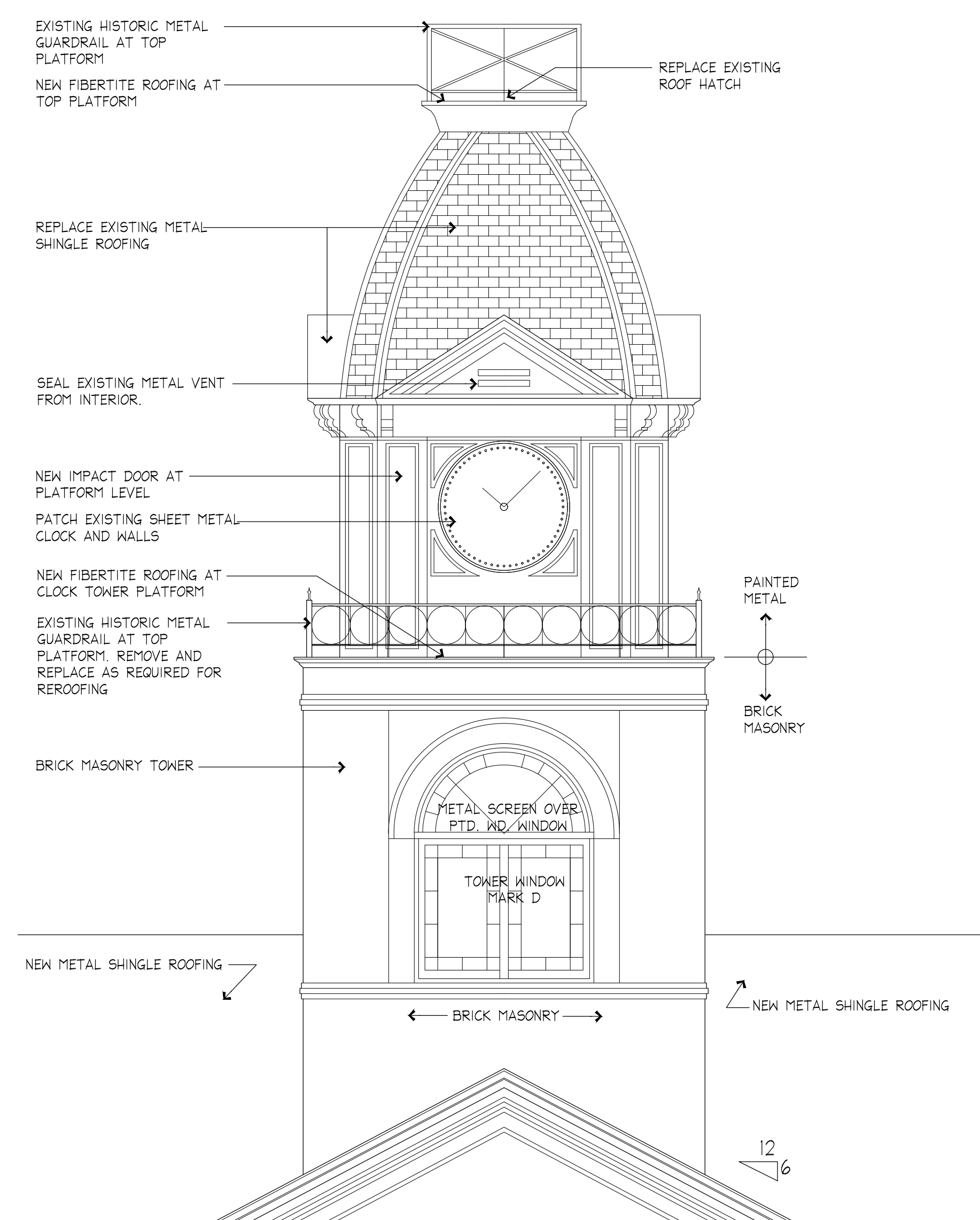
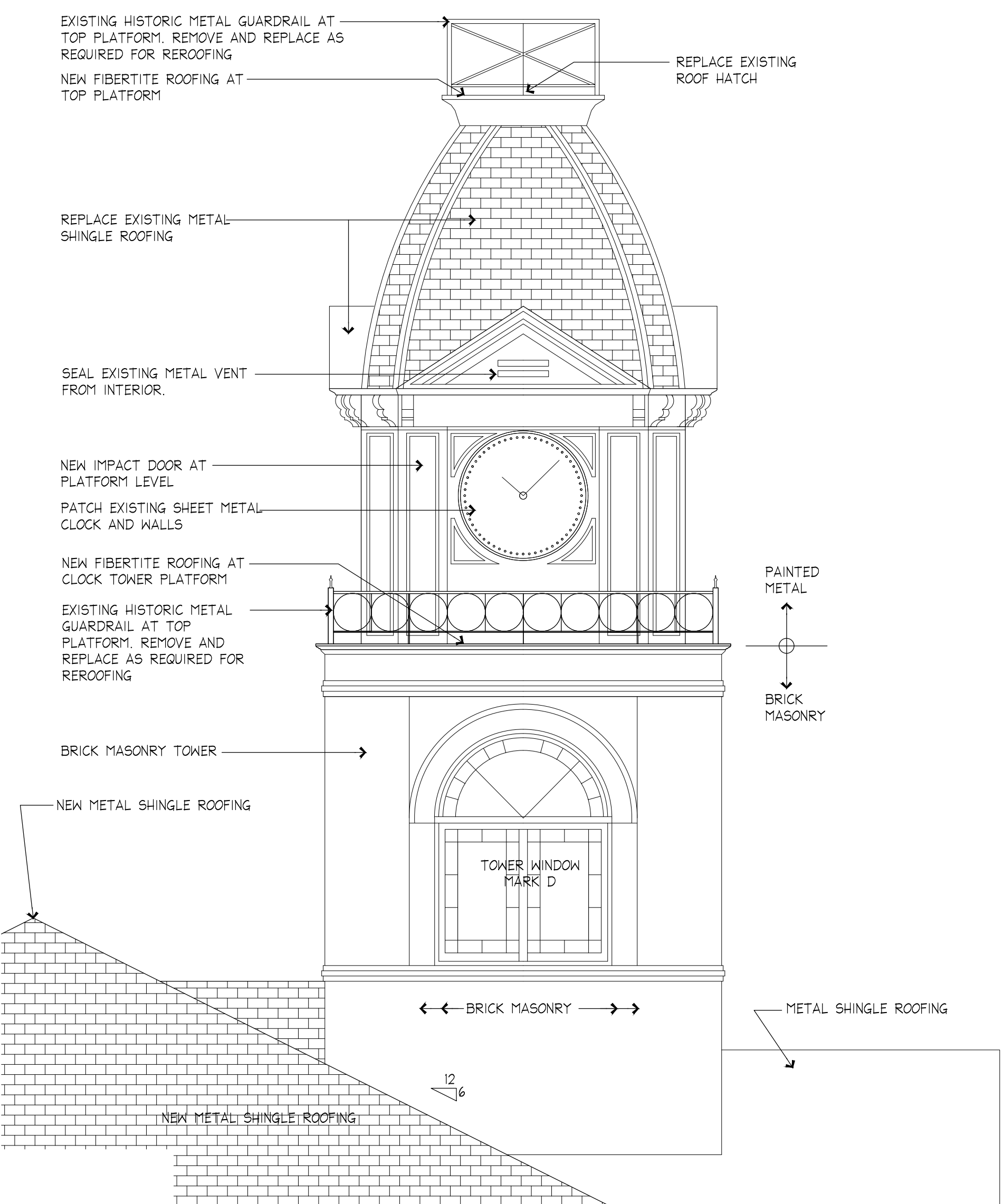
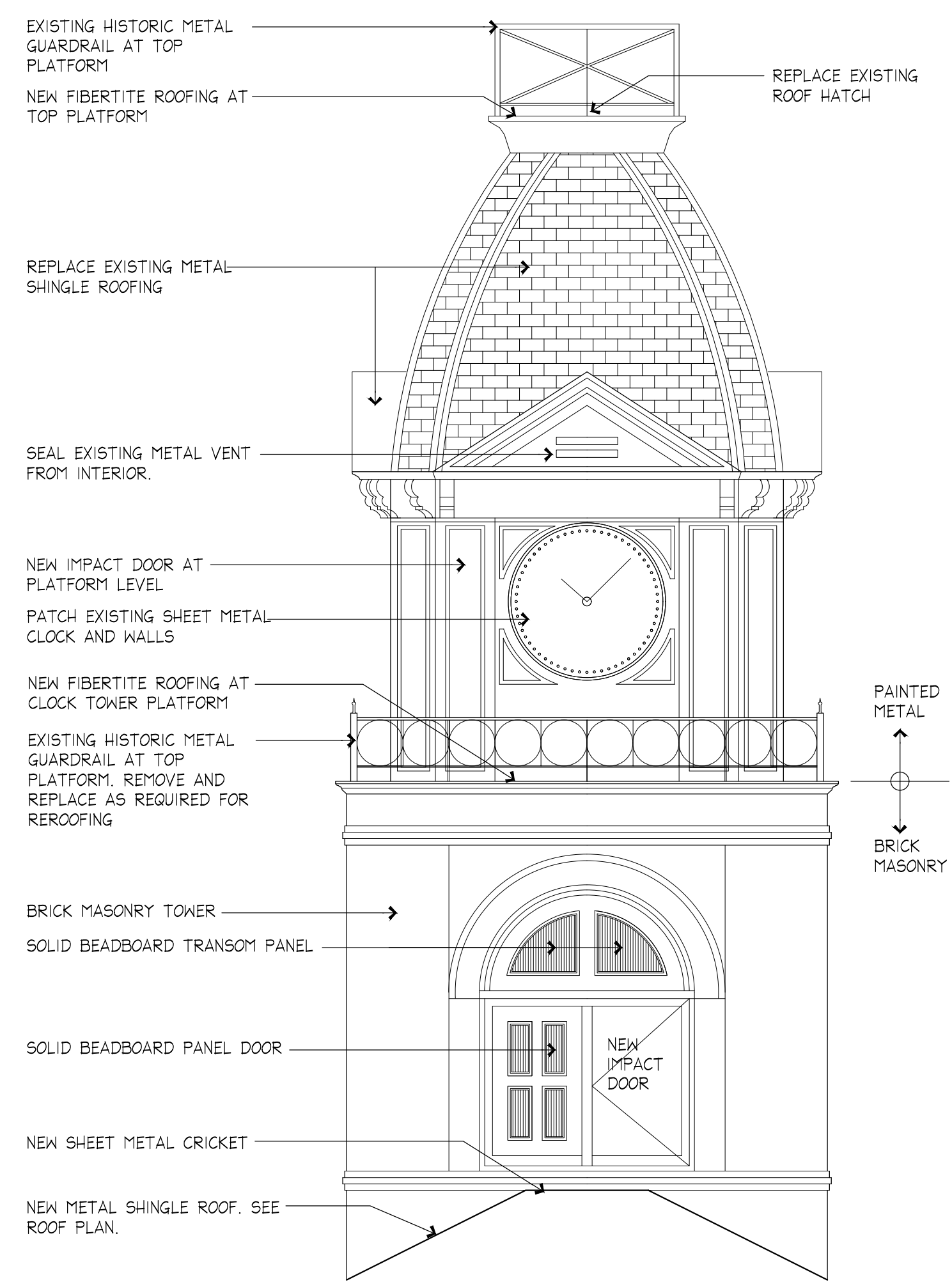
10 OF 73

REVISIONS:

**HISTORIC MONROE COUNTY COURTHOUSE**  
 DOOR WINDOW REPLACEMENT AND ROOF REPAIR  
 500 WHITEHEAD STREET  
 KEY WEST FLORIDA  
 MONROE COUNTY BOARD OF COUNTY COMMISSIONERS

**CLOCK TOWER NOTES:**

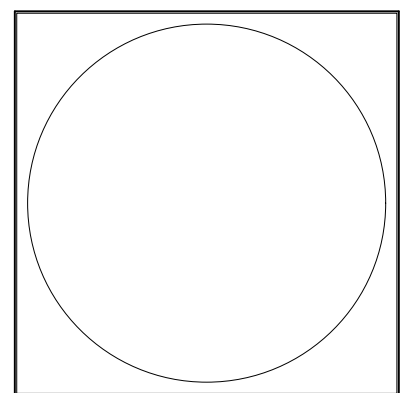
1. THE CLOCK TOWER IS LARGELY SHEATHED IN PAINTED SHEET METAL CLADDING. THIS SHEET METAL DATES TO ORIGINAL CONSTRUCTION IN 1891. THIS PAINTED METAL AREA INCLUDES THE CLOCKS, THE GABLES ABOVE THE CLOCKS, AND THE STYLIZED BRACKETS ABOVE THE CLOCKS.
2. IN ORDER TO STRUCTURALLY UPGRADE THE TOWER, TWO SHEETS OF 3/4" PLYWOOD SHEATHING ARE BEING INSTALLED UNDER THE HISTORIC SHEET METAL CLADDING. TO ACCOMPLISH THIS, THE SHEET METAL CLADDING WILL HAVE TO BE CAREFULLY DISASSEMBLED AND REMOVED. THE SHEET METAL CLADDING WILL BE REINSTALLED AFTER THE SHEATHING IS INSTALLED. USE EXTREME CARE WHEN DISASSEMBLING AND REASSEMBLING THIS HISTORIC FABRIC. REPAIR ALL DAMAGED SHEET METAL CLADDING AS REQUIRED. MATCH ALL MATERIALS. SEE STRUCTURAL DRAWINGS.
3. IT IS VERY LIKELY THAT THE PAINT ON THE SHEET METAL IS LEAD BASED PAINT. THE PAINT SHALL BE REMOVED. WHEN REMOVING PAINT, CONTRACTOR SHALL ADHERE TO ALL STATE, LOCAL AND FEDERAL STANDARDS FOR THE MITIGATION OF LEAD BASED PAINT.
4. ALL FOUR CLOCKS SHALL BE RESTORED TO WORKING ORDER AFTER CONSTRUCTION IS COMPLETE.



6 COURTHOUSE TOWER WEST EXTERIOR ELEVATION  
 SCALE: 1/4" = 1'-0"

3 COURTHOUSE TOWER SOUTH EXTERIOR ELEVATION  
 SCALE: 1/4" = 1'-0"

1 COURTHOUSE TOWER EAST EXTERIOR ELEVATION  
 SCALE: 1/4" = 1'-0"



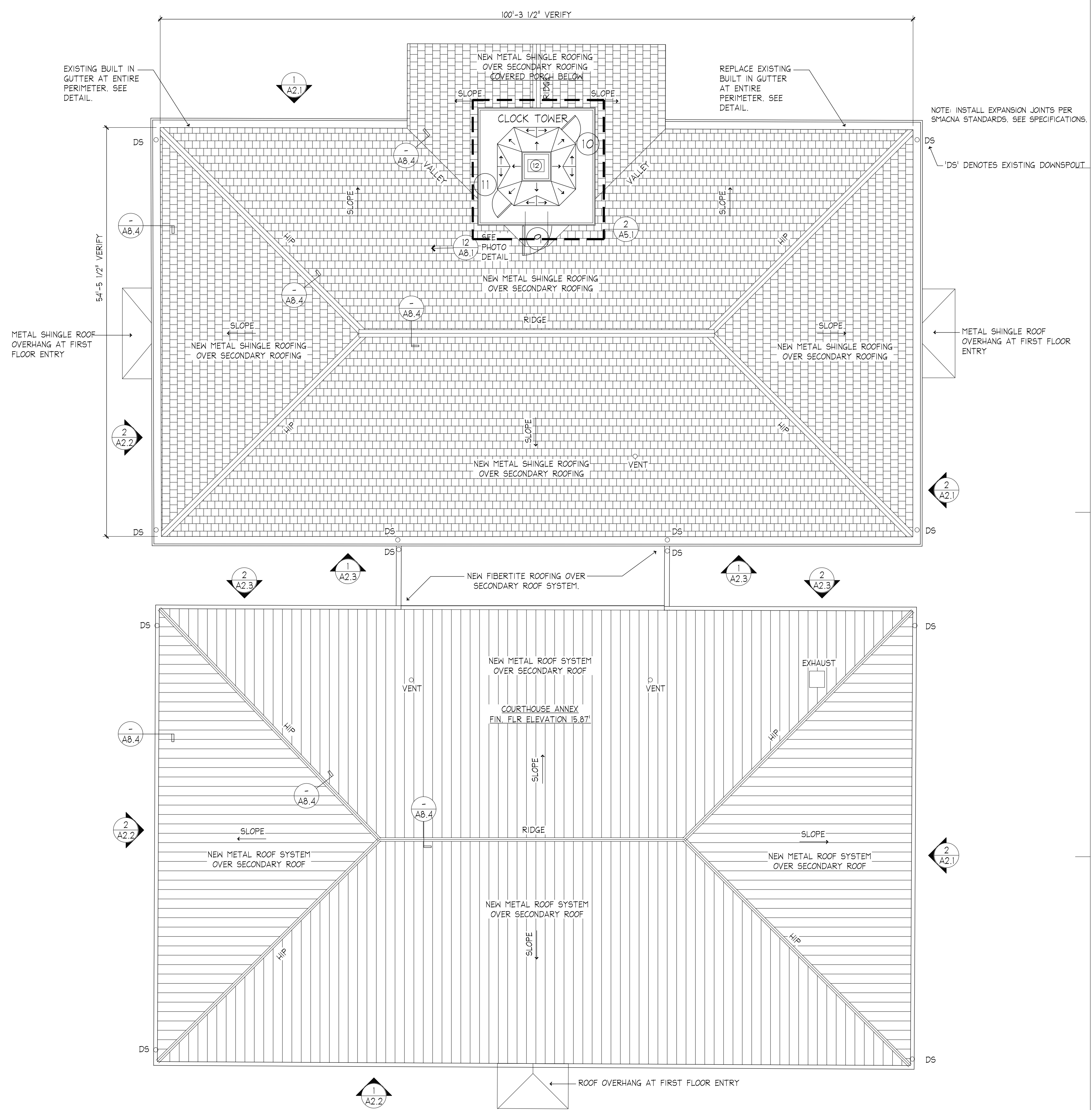
410 Angela Street  
 Key West, Florida 33040  
 Telephone (305) 296-1347  
 Facsimile (305) 296-2727  
 Florida License AAC002022

*Bender & Associates*  
**ARCHITECTS**  
 p.a.

Project No: 1835EE  
 EXTERIOR ELEVATIONS  
 Date: 2/15/24-90% SUBMITTAL

**A2.4**  
 10 OF 73



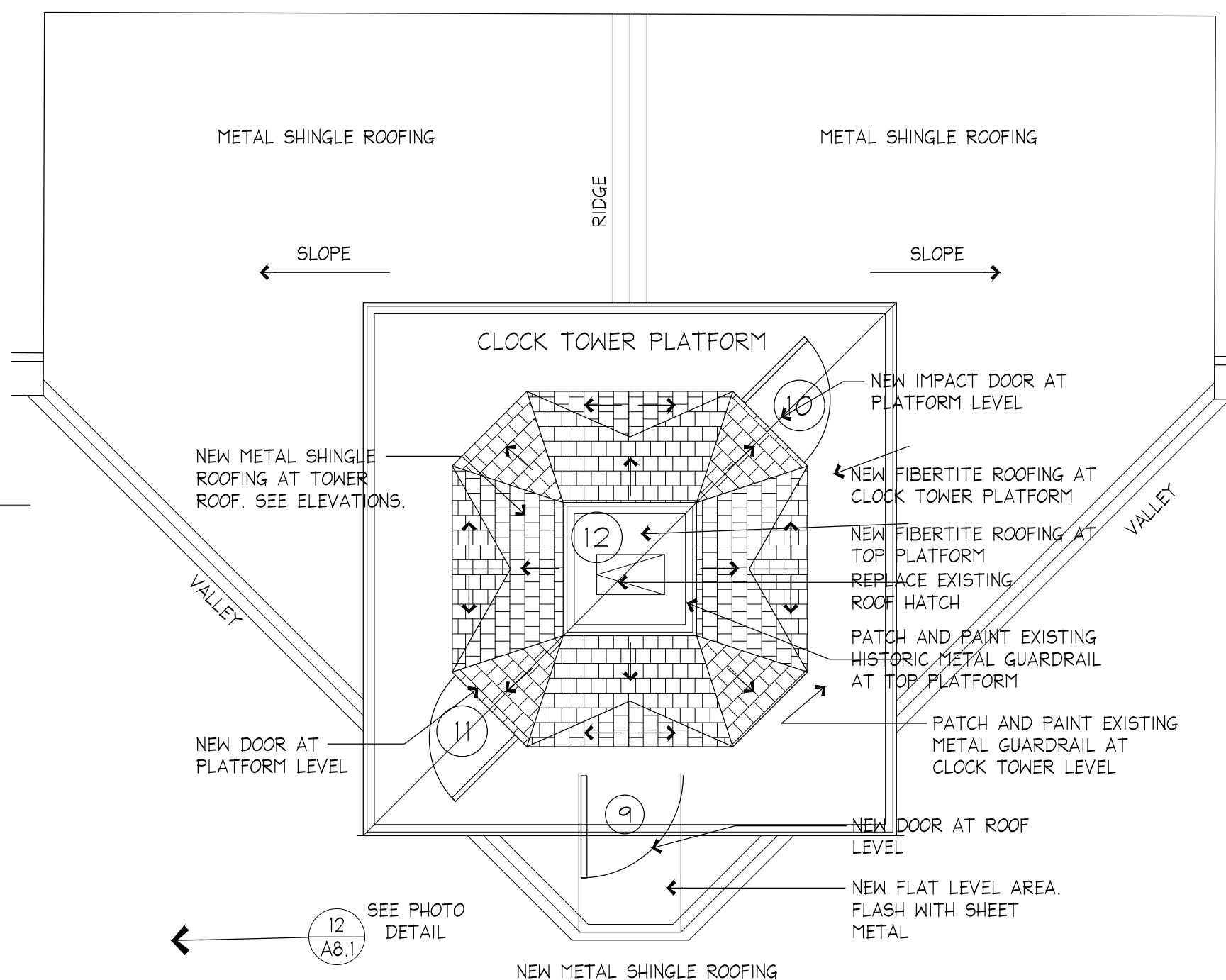


**NOTE:**  
 COMPLETELY REMOVE THE EXISTING ROOFING TO THE ROOF DECK. PATCH, REPAIR, AND PREP THE EXISTING WOOD ROOF DECK AS REQUIRED TO RECEIVE THE NEW ROOFING SYSTEM. FOR THE PURPOSES OF BIDDING, ASSUME THE REPAIR OF 30% OF WOOD ROOF SHEATHING. COMPLY WITH ALL OF THE ROOFING MANUFACTURERS PRINTED INSTRUCTIONS AND DIRECTIONS IN ORDER TO MAINTAIN AND PROVIDE THE MANUFACTURERS WARRANTY.

**ROOF EQUIPMENT NOTES:**  
 THERE IS A VARIETY OF EXISTING MECHANICAL EQUIPMENT LOCATED ON THE ROOF, INCLUDING CHILLERS, EXHAUSTS, INTAKES, VENTS AND CONDUIT.  
 1. THE AC EQUIPMENT MUST BE KEPT OPERATIONAL 24 HOURS A DAY, 7 DAYS A WEEK DURING THE ENTIRE REROOFING PROCESS.  
 2. CONTRACTOR SHALL MAKE EVERY EFFORT TO KEEP ALL OTHER EQUIPMENT OPERATIONAL DURING THE REROOFING PROCESS.  
 3. CONTRACTOR SHALL REPAIR ALL EQUIPMENT THAT IS INADVERTENTLY DAMAGED DURING THE REROOFING PROCESS.  
 4. CONTRACTOR SHALL COORDINATE WITH THE BUILDING OWNER FOR THE ABOVE DESCRIBED WORK.  
 5. THE HISTORIC COURTHOUSE BUILDING IS A FUNCTIONING OFFICE BUILDING, AND WILL REMAIN OPERATIONAL DURING THE REROOFING PROCESS. CONTRACTOR SHALL MAKE EVERY EFFORT TO PERFORM WITH THIS IN MIND. USE ALL APPROPRIATE SAFETY MEASURES. MAINTAIN EXISTING PARKING ONSITE. DO NOT BLOCK PARKING SPACES. KEEP EQUIPMENT WITHIN STAGING AREAS. MAINTAIN PROFESSIONAL BEHAVIOR. KEEP ALL EXISTING ROOF EQUIPMENT OPERATIONAL TO THE BEST EXTENT POSSIBLE.

**EXHAUST / INTAKE SYSTEM NOTES:**  
 THERE ARE EXISTING INTAKE SYSTEMS LOCATED ON THE ROOF. CONTRACTOR SHALL MAKE EVERY ATTEMPT TO KEEP THESE SYSTEMS FUNCTIONAL DURING ROOFING WORK. CONTRACTOR SHALL COVER OR DISARM INTAKES AS REQUIRED WHEN ANY ROOFING WORK IS UNDERWAY THAT DEVELOPS ODORS THAT CAN ENTER THE BUILDING. CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER AS REQUIRED FOR THE ABOVE WORK.

**NOTE:**  
 COMPLETELY REMOVE THE EXISTING ROOFING TO THE ROOF DECK. PATCH, REPAIR, AND PREP THE EXISTING WOOD OR CONCRETE ROOF DECK AS REQUIRED TO RECEIVE THE NEW ROOFING SYSTEM. FOR THE PURPOSES OF BIDDING, ASSUME THE REPAIR OF 30% OF WOOD ROOF SHEATHING AND CONCRETE. COMPLY WITH ALL OF THE ROOFING MANUFACTURERS PRINTED INSTRUCTIONS AND DIRECTIONS IN ORDER TO MAINTAIN AND PROVIDE THE MANUFACTURERS WARRANTY.



**2 TOWER ROOFING PLAN**  
 A5.1 SCALE: 1/4" = 1'-0"

**1 PROPOSED ROOFING PLAN**  
 A5.1 SCALE: 1/8" = 1'-0"







NEW ROOFING SYSTEM. SEE DETAILS.

12 PHOTO DETAIL - COURTHOUSE ROOF, NORTH SIDE  
A8.1 SCALE: N.T.S.



NEW IMPACT WINDOWS IN EXISTING OPENINGS.  
NEW IMPACT WINDOWS IN EXISTING OPENINGS.  
NEW IMPACT WINDOWS IN EXISTING OPENINGS.  
NEW IMPACT DOORS IN EXISTING OPENINGS.

11 PHOTO DETAIL - SOUTH FACADE, CENTER  
A8.1 SCALE: N.T.S.



NEW IMPACT WINDOWS IN EXISTING OPENINGS.  
NEW IMPACT WINDOWS IN EXISTING OPENINGS.  
EXISTING HISTORIC DOORS TO REMAIN

10 PHOTO DETAIL - SOUTH FACADE, RIGHT SIDE  
A8.1 SCALE: N.T.S.



NEW IMPACT WINDOWS IN EXISTING OPENINGS.  
NEW IMPACT WINDOWS IN EXISTING OPENINGS.  
NEW IMPACT WINDOWS IN EXISTING OPENINGS.

9 PHOTO DETAIL - SOUTH FACADE - LEFT SIDE  
A8.1 SCALE: N.T.S.



NEW IMPACT WINDOWS AT ALL EXISTING OPENINGS THIS FACADE.

8 PHOTO DETAIL - WEST FACADE, LEFT SIDE  
A8.1 SCALE: N.T.S.



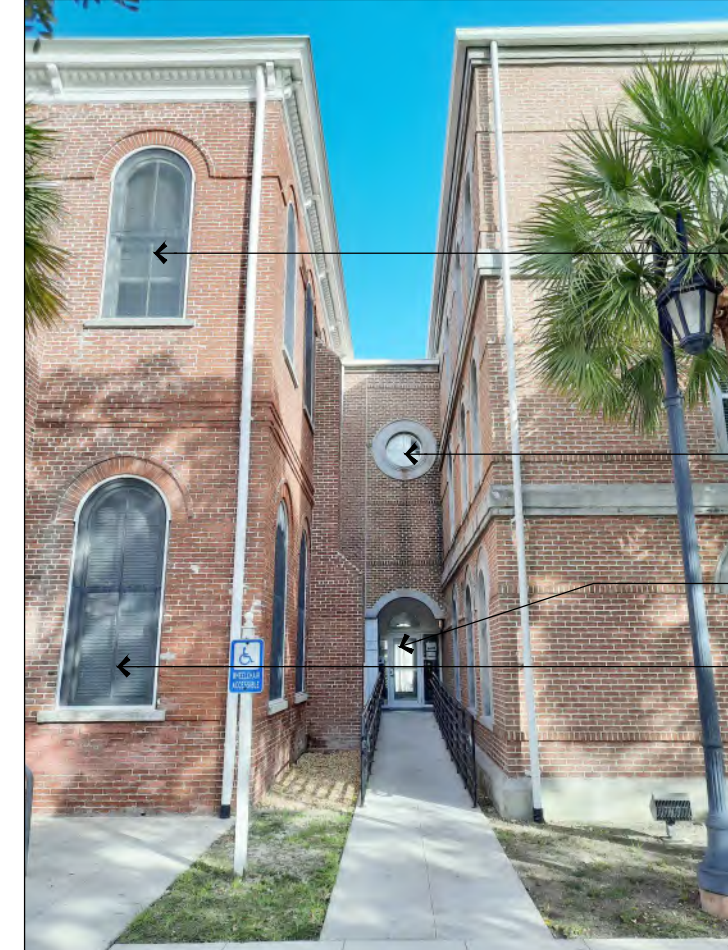
NEW IMPACT WINDOWS AT ALL EXISTING OPENINGS THIS FACADE.

7 PHOTO DETAIL - WEST FACADE, RIGHT SIDE  
A8.1 SCALE: N.T.S.



NEW IMPACT WINDOWS IN EXISTING OPENINGS.  
NEW IMPACT WINDOWS IN EXISTING OPENINGS.  
EXISTING HISTORIC DOORS TO REMAIN

6 PHOTO DETAIL - NORTH FACADE, LEFT SIDE  
A8.1 SCALE: N.T.S.



NEW IMPACT WINDOWS IN EXISTING OPENINGS.  
NEW IMPACT WINDOWS IN EXISTING OPENINGS.  
NEW IMPACT DOORS IN EXISTING OPENINGS.  
NEW IMPACT WINDOWS IN EXISTING OPENINGS.

5 PHOTO DETAIL - NORTH FACADE, CENTER  
A8.1 SCALE: N.T.S.



NEW IMPACT WINDOWS IN EXISTING OPENINGS.  
NEW IMPACT WINDOWS IN EXISTING OPENINGS.  
NEW IMPACT WINDOWS IN EXISTING OPENINGS.

4 PHOTO DETAIL - NORTH FACADE, RIGHT SIDE  
A8.1 SCALE: N.T.S.



NEW IMPACT WINDOWS IN EXISTING OPENINGS.  
NEW IMPACT WINDOWS IN EXISTING OPENINGS.

3 PHOTO DETAIL - EAST (FRONT) FACADE, LEFT SIDE  
A8.1 SCALE: N.T.S.



NEW IMPACT WINDOWS IN EXISTING OPENINGS.  
EXISTING HISTORIC DOORS TO REMAIN  
NEW IMPACT WINDOWS IN EXISTING OPENINGS.  
EXISTING HISTORIC DOORS TO REMAIN

2 PHOTO DETAIL - EAST (FRONT) FACADE, CENTER  
A8.1 SCALE: N.T.S.

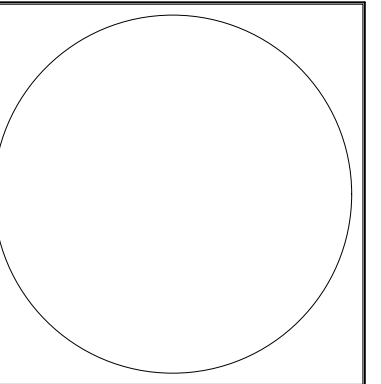


NEW IMPACT WINDOWS IN EXISTING OPENINGS.  
NEW IMPACT WINDOWS IN EXISTING OPENINGS.

1 PHOTO DETAIL - EAST (FRONT) FACADE, RIGHT SIDE  
A8.1 SCALE: N.T.S.

REVISIONS:

HISTORIC MONROE COUNTY COURTHOUSE  
DOOR / WINDOW REPLACEMENT AND ROOF REPAIR  
500 WHITEHEAD STREET  
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410 Angela Street  
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Bender & Associates  
ARCHITECTS  
p.a.

Project No: 1835EE

PHOTO DETAILS

Date: 2/15/24-90% SUBMITTAL

A8.1

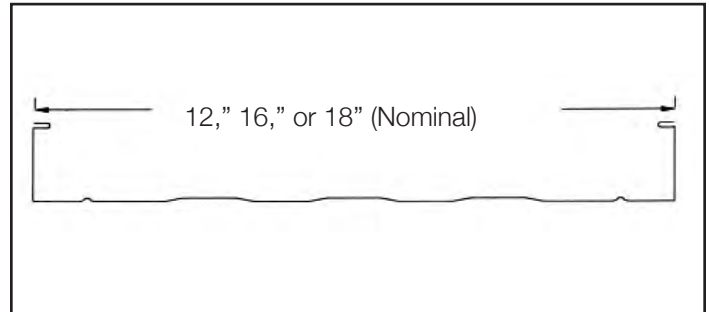
12 OF 73



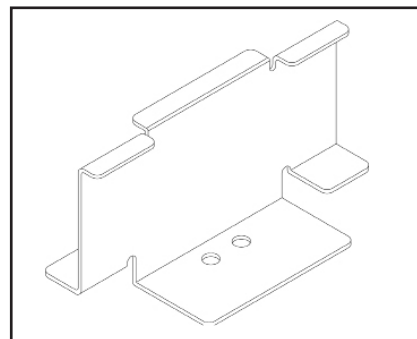
## OVERVIEW & FEATURES

R-Mer Span is a structural standing seam roof system. R-Mer Span consists of a unique profile containing mesas throughout the panel to minimize "oil canning." The 2 3/8" high vertical seam makes R-Mer Span aesthetically pleasing and also the ideal roof system to withstand the most severe weather conditions. The heavy-duty continuous clip allows for unlimited expansion and contraction. R-Mer Span can be used on slopes down to 1/4" per foot for both retrofit and/or new construction.

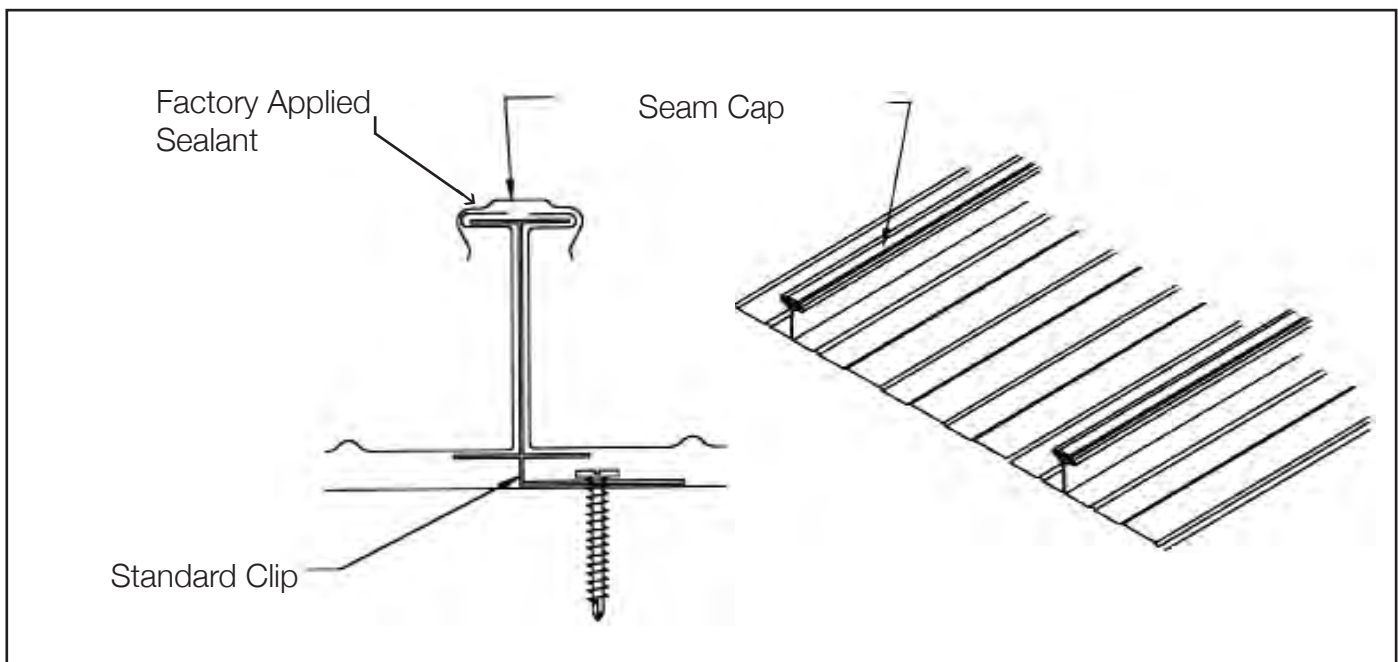
## PANEL PROFILE



## STANDARD CLIP



## SEAM DETAIL AND ASSEMBLY





# R-Mer Span

## DESIGN CHARACTERISTICS

- Heavy-duty, 16-gauge, one-piece clip design provides for unlimited thermal movement
- Symmetrically designed panel/cap configuration contains four (4) layers of steel
- Double bead of factory applied hot melt sealant (water barrier) is completely isolated from clip
- 2-3/8" High vertical seam
- Tightest curving capability in industry for structural panel (Steel - 20 ft. radius; Aluminum - 10 ft. radius)
- Available for tapered panel applications
- Profile contains unique mesas or striations to minimize appearance of "oil canning"
- Spanning capability over open purlins on slopes down to 1/4:12
- 3/8" high clearance between panel and substrate helps ventilation and reduces possibility of condensation
- Ideal for retrofits over existing single plies, BUR's, modified bitumens or other metal roofs
- 20 and 30 year warranty available
- Available in 12", 16" or 18" wide panels
- Available in 20, 22 or 24 gauge G-90 Galvanized steel; .032, .040, or .050 aluminum, copper, stainless steel and zinc
- Available in a wide choice of colors

## TEST CLASSIFICATIONS

- FM Class 1-195 in accordance with 4471 test procedure (12" widepanel; 22 gauge steel)
- UL 90 classification in accordance with UL 580 test procedure
- Class A fire rating in accordance with UL 790
- UL 263 fire assembly tested
- Roof system compliance with ASTM E 1592
- Air infiltration test in accordance with ASTM E 283 and E 1680
- Water penetration test in accordance with ASTM E 331 and E 1646

## COLORS

Please contact your local Garland Representative for the available colors including those that are ENERGY STAR® and CRRC® qualified\*.

For specific application recommendations and coverage rates, please contact your local Garland Representative or Garland Technical Service Department.

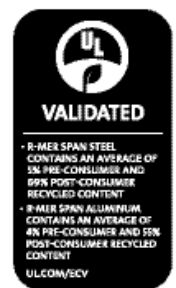


0700-0028

\*based on qualified colors



Valid in U.S. only



The Continuous Clip product used with R-Mer Span is protected by U.S. Patent # 6,354,045 and Canada Patent # 2,334,538

For more information, visit us at: [www.garlandco.com](http://www.garlandco.com)

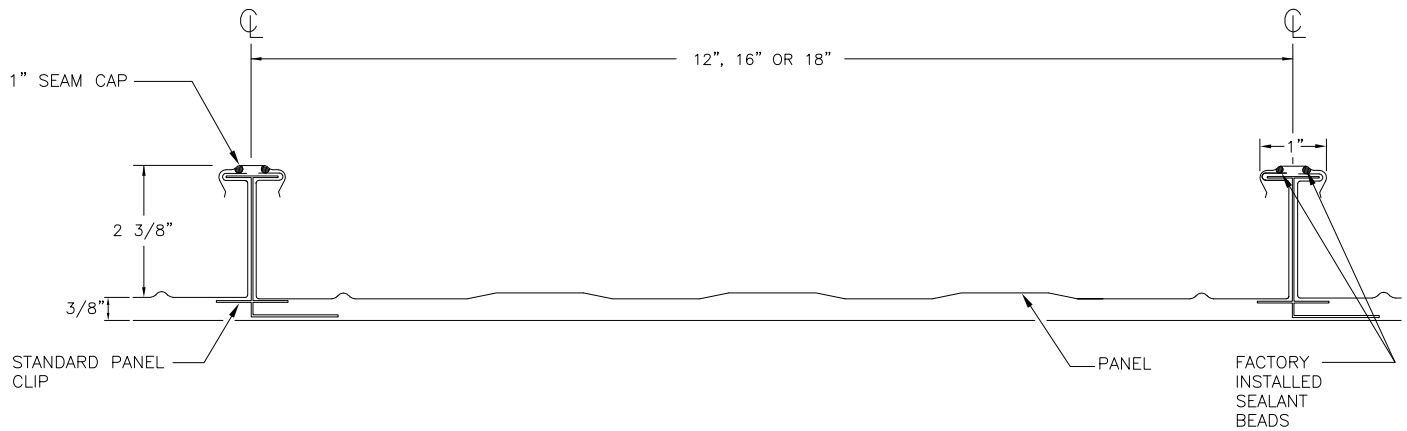
**The Garland Company, Inc.**  
3800 East 91st Street  
Cleveland, OH 44105  
FAX: 216-641-0633  
Phone: 216-641-7500  
Toll Free: 800-321-9336

**Garland Canada Inc.**  
209 Carrier Drive  
Toronto, Ontario  
Canada, M9W 5Y8  
FAX: 416-747-1980  
Phone: 416-747-7995  
Toll Free: 800-387-5991  
(Only in Canada)

**The Garland Company UK, LTD**  
Second Way Centre, Second Way  
Avonmouth, Bristol UK BS11 8DF  
Phone: 011 44 1174 401050 (Outside UK)  
Toll Free: 0800 328 5560 (Only in UK)

Tests verified by independent laboratories. Actual roof performance specifications will vary depending on test speed and temperature. Data reflects samples randomly collected. A ± 10% variation may be experienced. The above data supersedes all previously published information. Consult your local Garland Representative or Garland Corporate Office for more information.

R-Mer and the Garland Greenhouse are trademarks of The Garland Company, Inc. and Garland Canada Inc. Kynar is a registered trademark of Elf Atochem North America Inc. The CRRC mark is a registered trademark of the Cool Roof Rating Council. ENERGY STAR is a registered trademark of the U.S. Government.



THE GARLAND COMPANY, INC.  
GARLAND CANADA, INC.  
THE GARLAND COMPANY UK, LTD

DETAIL:

# R-MER SPAN PANEL PROFILE

SECTION:

PANEL



# NOTICING

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., March 26, 2024, at City Hall, 1300 White Street**, Key West, Florida. In order to view the live feed of the meeting, you can tune in to Comcast channel 77, AT&T Uverse channel 99. If you wish to participate virtually, please contact HARC staff at 305-809-3975. The purpose of the hearing will be to consider a request for:

**HARDEN HISTORIC BUILDING AND 1994 ADDITION AT REAR BUILDING FOR 200 MPH WINDS. REMOVE HISTORIC TOP OF COURTHOUSE TOWER FOR REPAIRS AND INSTALL BACK TO ITS ORIGINAL LOCATION AFTER REPAIRS ARE COMPLETED.**

**#500WHITEHEAD STREET**

**Applicant – David Salay, Bender & Associates    Application #H2024-0014**

**If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).**

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.



# HARC POSTING AFFIDAVIT

**STATE OF FLORIDA:**  
**COUNTY OF MONROE:**

**BEFORE ME**, the undersigned authority, personally appeared DAVID SALAY, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address: 500 WHITEHEAD on the 15 day of MAR., 2024.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on 26 MARCH 2024, 20  .

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H2024-0014.

2. A photograph of that legal notice posted in the property is attached hereto.

**Signed Name of Affiant:**

[Signature]  
**Date:** 3/15/24  
**Address:** 410 ANGELA ST.  
**City:** KEY WEST  
**State, Zip:** FL 33046

The forgoing instrument was acknowledged before me on this 15<sup>th</sup> day of March, 2024.

By (Print name of Affiant) David Salay who is personally known to me or has produced    as identification and who did take an oath.

**NOTARY PUBLIC**

Sign Name: [Signature]  
Print Name: Caitlin Dempsey  
Notary Public - State of Florida (seal)  
My Commission Expires: OCT 19, 2027



Caitlin Dempsey  
Comm.: HH 456193  
Expires: Oct. 19, 2027  
Notary Public - State of Florida



MONROE COUNTY  
COURT HOUSE

106  
MONROE COUNTY COURTHOUSE  
The original wooden courthouse was completed in 1823. The county occupied most of the Southern Florida Peninsula. The county seat in Key West currently covers the Florida Keys, and portions of the Everglades National Park. The present red brick courthouse, built in a traditional county courthouse style, was completed in 1890. It features a 100-foot tall clock tower and is an architectural feature that can be observed from almost any part of Key West.  
-Circa 1890-  
305-507-0300

**Public Meeting Notice**  
The Historic Architectural Review Commission will hold a public meeting on **2:00 pm, March 16, 2024, at the Hall, 1000 Whitehead Street, Key West, Florida.** An order to close the first block of the streeting, you can view at the Commission's website. A 15-minute session will be held at 2:00 pm. If you wish to participate virtually, please contact LAMC staff at 305-506-3977. The purpose of the meeting will be to review a request for:  
**HARBIN'S HISTORIC BUILDING AND 1994 ADDITION AT HARB BUILDING FOR 700 MPH WINDS, REMOVE HISTORIC TOP OF COURTHOUSE TOWER FOR REPAIRS AND INSTALL BACK TO ITS ORIGINAL LOCATION AFTER REPAIRS ARE COMPLETED.**  
@500WHITEHEADSTREET  
Applicant - David Saley, Beutler & Associates Application #12024-0014  
If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1000 Whitehead Street, call 305-506-3977 or visit our website at [www.monroecounty.gov](http://www.monroecounty.gov).  
THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARB-ENVA HISTORICAL STUDY  
305-506-3977. It is the policy of the City of Key West to comply with all requirements of the American with Disabilities Act (ADA). Please call the ADA hotline at 800-368-1085 or 800-368-1085 for more information on the ADA. The ADA hotline is available 24 hours a day, 7 days a week. For more information, visit [www.ada.gov](http://www.ada.gov).







FDC

BANK OF AMERICA  
The original building  
of the Bank of America  
in Raleigh, North Carolina  
was built in 1842. It is  
a fine example of the  
Greek Revival style of  
architecture. The building  
is a landmark of the  
city and is a part of  
the historic district.  
It is a fine example of  
the Greek Revival style  
of architecture. It is a  
landmark of the city  
and is a part of the  
historic district.

**Public Meeting Notice**  
The Board of Directors of the City of Raleigh, North Carolina, will hold a public meeting on the following date and time:  
Date: [Date]  
Time: [Time]  
Location: [Location]  
The purpose of the meeting is to discuss the proposed [Project Name] and to receive public input. The meeting will be held in a public hearing room at the City of Raleigh, North Carolina. The meeting will be open to the public and all interested parties are invited to attend. The meeting will be held in a public hearing room at the City of Raleigh, North Carolina. The meeting will be open to the public and all interested parties are invited to attend.



# PROPERTY APPRAISER INFORMATION



# Monroe County, FL

## Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

## Summary

Parcel ID 00010060-000000  
 Account# 1010341  
 Property ID 1010341  
 Millage Group 10KW  
 Location Address 500 WHITEHEAD St, KEY WEST  
 Legal Description KW PT JACKSON SQ MONROE CO COURT HOUSE G59-220/22 OR287-557/59  
 (Note: Not to be used on legal documents.)  
 Neighborhood 32020  
 Property Class COUNTY (8600)  
 Subdivision  
 Sec/Twp/Rng 06/68/25  
 Affordable Housing No



## Owner

[MONROE COUNTY](#)  
 1100 Simonton St  
 Ste 205  
 Key West FL 33040

## Valuation

	2023 Certified Values	2022 Certified Values	2021 Certified Values	2020 Certified Values
+ Market Improvement Value	\$14,525,311	\$14,525,311	\$14,525,311	\$14,525,311
+ Market Misc Value	\$68,535	\$68,535	\$68,535	\$68,535
+ Market Land Value	\$5,047,424	\$5,047,424	\$5,047,424	\$5,047,424
= Just Market Value	\$19,641,270	\$19,641,270	\$19,641,270	\$19,641,270
= Total Assessed Value	\$19,641,270	\$19,641,270	\$19,641,270	\$19,641,270
- School Exempt Value	(\$19,641,270)	(\$19,641,270)	(\$19,641,270)	(\$19,641,270)
= School Taxable Value	\$0	\$0	\$0	\$0

## Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2022	\$5,047,424	\$14,525,311	\$68,535	\$19,641,270	\$19,641,270	\$19,641,270	\$0	\$0
2021	\$5,047,424	\$14,525,311	\$68,535	\$19,641,270	\$19,641,270	\$19,641,270	\$0	\$0
2020	\$5,047,424	\$14,525,311	\$68,535	\$19,641,270	\$19,641,270	\$19,641,270	\$0	\$0
2019	\$5,047,424	\$14,525,311	\$68,535	\$19,641,270	\$19,641,270	\$19,641,270	\$0	\$0
2018	\$5,047,424	\$14,525,311	\$68,535	\$19,641,270	\$19,641,270	\$19,641,270	\$0	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

## Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL EXEMPT (100E)	79,925.00	Square Foot	0	0

## Buildings

Building ID 39502  
 Style  
 Building Type COUNTY BLDGS A / 86A  
 Building Name OLD COURT HOUSE  
 Gross Sq Ft 30916  
 Finished Sq Ft 29932  
 Stories 6 Floor  
 Condition AVERAGE  
 Perimeter 1724  
 Functional Obs 0  
 Economic Obs 0  
 Depreciation % 26  
 Interior Walls  
 Exterior Walls CONC BLOCK  
 Year Built 1890  
 EffectiveYearBuilt 2002  
 Foundation  
 Roof Type  
 Roof Coverage  
 Flooring Type  
 Heating Type  
 Bedrooms 0  
 Full Bathrooms 2  
 Half Bathrooms 4  
 Grade 500  
 Number of Fire PI 0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	740	0	0
FLA	FLOOR LIV AREA	29,932	29,932	0
OOU	OP PR UNFIN UL	100	0	0
OPF	OP PRCH FIN LL	144	0	0
<b>TOTAL</b>		<b>30,916</b>	<b>29,932</b>	<b>0</b>



**Building ID** 39503  
**Style**  
**Building Type** COUNTY BLDGS A / 86A  
**Building Name** JEFFERSON BROWNE COMPLEX  
**Gross Sq Ft** 31773  
**Finished Sq Ft** 26102  
**Stories** 4 Floor  
**Condition** EXCELLENT  
**Perimeter** 1442  
**Functional Obs** 0  
**Economic Obs** 0  
**Depreciation %** 38

Code	Description	Sketch Area	Finished Area	Perimeter
EPB	ENCL PORCH BLK	1,170	0	0
OPX	EXC OPEN PORCH	4,132	0	0
FLA	FLOOR LIV AREA	26,102	26,102	0
OPU	OP PR UNFIN LL	81	0	0
SBF	UTIL FIN BLK	288	0	0
<b>TOTAL</b>		<b>31,773</b>	<b>26,102</b>	<b>0</b>

**Exterior Walls** CONC BLOCK  
**Year Built** 1968  
**EffectiveYearBuilt** 1995  
**Foundation**  
**Roof Type**  
**Roof Coverage**  
**Flooring Type**  
**Heating Type**  
**Bedrooms** 0  
**Full Bathrooms** 0  
**Half Bathrooms** 0  
**Grade** 500  
**Number of Fire PI** 0

**Building ID** 39504  
**Style**  
**Building Type** COUNTY BLDGS B / 86B  
**Building Name** SALLY PORT  
**Gross Sq Ft** 21131  
**Finished Sq Ft** 20519  
**Stories** 4 Floor  
**Condition** AVERAGE  
**Perimeter** 1280  
**Functional Obs** 0  
**Economic Obs** 0  
**Depreciation %** 38

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	20,519	20,519	0
SBF	UTIL FIN BLK	612	0	0
<b>TOTAL</b>		<b>21,131</b>	<b>20,519</b>	<b>0</b>

**Exterior Walls** CONC BLOCK  
**Year Built** 1986  
**EffectiveYearBuilt** 1994  
**Foundation**  
**Roof Type**  
**Roof Coverage**  
**Flooring Type**  
**Heating Type**  
**Bedrooms** 0  
**Full Bathrooms** 0  
**Half Bathrooms** 0  
**Grade** 500  
**Number of Fire PI** 0

**Building ID** 39505  
**Style**  
**Building Type** COUNTY BLDGS C / 86C  
**Building Name** HISTORIC JAIL  
**Gross Sq Ft** 7643  
**Finished Sq Ft** 5945  
**Stories** 3 Floor  
**Condition** POOR  
**Perimeter** 528  
**Functional Obs** 0  
**Economic Obs** 0  
**Depreciation %** 30

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	5,945	5,945	0
PTO	PATIO	1,698	0	0
<b>TOTAL</b>		<b>7,643</b>	<b>5,945</b>	<b>0</b>

**Exterior Walls** CONC BLOCK  
**Year Built** 1988  
**EffectiveYearBuilt** 2000  
**Foundation**  
**Roof Type**  
**Roof Coverage**  
**Flooring Type**  
**Heating Type**  
**Bedrooms** 0  
**Full Bathrooms** 0  
**Half Bathrooms** 0  
**Grade** 500  
**Number of Fire PI** 0

### Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
RW2	1944	1945	0 x 0	1	872 SF	1
UTILITY BLDG	1969	1970	9 x 12	1	108 SF	5
CONC PATIO	1987	1988	0 x 0	1	2941 SF	2
UTILITY BLDG	2000	2001	14 x 22	1	308 SF	3
ASPHALT PAVING	2001	2002	0 x 0	1	14135 SF	2
CONC PATIO	2001	2002	0 x 0	1	3380 SF	2
BRICK PATIO	2001	2002	0 x 0	1	540 SF	2
CONC PATIO	2002	2003	5 x 25	1	125 SF	2

### Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
BLD2022-0352	8/11/2022	1/19/2023	\$23,681	Commercial	Fire Alarm system- final phase of the Historic Jail Museum Fire Dept. requested a separate permit for fire alarm and sprinkler
BLD2022-0350	7/19/2022	7/12/2023	\$714,631	Commercial	FOURTH PHASE OF THE HISTORIC JAIL MUSEUM BUILDING OUT AND CONSTRUCTION/REPAIRS FOR HISTORIC JAIL MECHANICAL, ELECTRICAL, PLUMBING WILL BE ON SEPARATE PERMITS
BLD2022-0353	6/28/2022	1/17/2023	\$52,115	Commercial	Mechanical for final phase of the Historic Jail Museum Breaking out MEP permitting for final Jail Museum phase
BLD2022-0354	6/28/2022	1/12/2023	\$165,000	Commercial	Breaking out Electrical permitting for final Jail Museum phase
BLD2022-0355	2/10/2022	4/25/2023	\$98,767	Commercial	Plumbing for final phase of the Historic Jail Museum.
BLD2021-3464	12/9/2021	3/3/2023	\$90,000	Commercial	Like for Like Door replacement and repair at the Historic Courthouse.
BLD2021-2471	8/26/2021	2/3/2022	\$200,000	Commercial	THIS IS AN EMERGENCY DEMO PROJECT MONROE COUNTY. WE WILL NEED TO CLOSE A PORTION OF FLEMING STREET DURING THE PROJECT. REMOVAL OF NW PARAPET WALL DOWN TO 1 FOOT



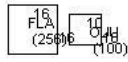
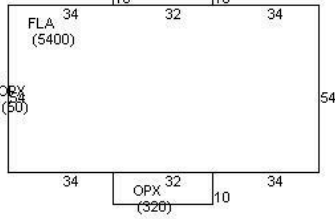
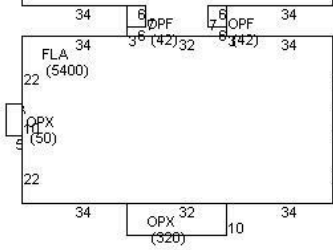
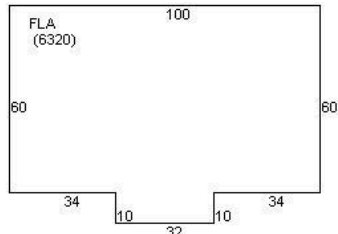
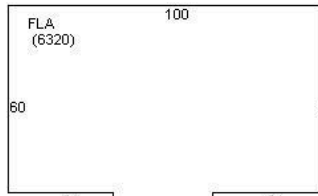
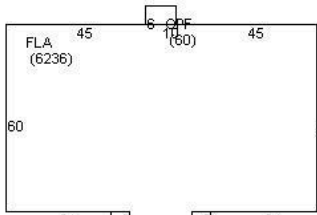
Number ↕	Date Issued ↕	Date Completed ↕	Amount ↕	Permit Type ↕	Notes ↕
BLD2021-0395	5/12/2021	11/12/2021	\$254,000	Commercial	RENOVATING HISTORIC JAIL IN 4 PHASES. THIS IS THE THIRD PHASE, WINDOWS/DOORS
BLD2020-3313	11/17/2020	2/9/2021	\$157,000	Commercial	SELECTIVE DEMOLITION ALONG WITH THE REMOVAL, MITIGATION, AND ABATEMENT OF ALL ASBESTOS, LEAD BASED PAINT, AND MOLD
BLD2020-2422	8/20/2020	11/16/2020	\$31,000	Commercial	REROOF BUILDING, REPLACE GUTTERS. GRACE UNDERLAYMENT, NEW FLASHING, REMOVE AND REPLACE METAL SHINGLES, REPLACE GUTTERS.
20-0558	2/18/2020	6/9/2020	\$0	Commercial	GUTTERS
20-0124	1/28/2020		\$4,151	Commercial	MECHANICAL HVAC
17-3668	1/4/2018		\$30,000	Commercial	RE-ROOFING OF CONNECTION BETWEEN HISTORIC COUNTY COURTHOUSE AND OFFICE ANNEX. TOTAL ROOF AREA IS APPROX 280 SQ FT.
14-0490	4/30/2014	3/6/2015	\$5,000	Commercial	ADA ACCESSIBILITY UPGRADES, REWORKING EXISTING PARKING AND CURBING TO PROVIDE COMPLIANT ACCESS ROUTE AND RAMP SYSTEM TO FRONT ENTRANCE OF BUILDING. ADA ACCESSIBILITY CODE COMPLIANCY WILL REQUIRE NEW SIGNAGE, COMPLIANT PARKING AND APPROACH TO ENTRANCE OF BUILDING.
13-2671	6/19/2013	4/23/2017	\$332,405	Commercial	140 Q TL REPLACE 74 SQS OF EXISTING STANDING SEAM METAL ROOF WITH GAL. FINISH.
12-1076	6/17/2013	6/28/2017	\$200,000	Commercial	REROOF BUILDING WITH METAL ROOF, GUTTERS AND DOWNSPOUTS.
12-3877	10/29/2012		\$9,150	Commercial	REPLACE 260SF OF T & G 2X6 WOOD DECKING ON SECOND FLOOR BALCONY. PAINT
04-3770	12/20/2004	12/31/2004	\$5,000	Commercial	
03-3635	11/13/2003	10/30/2003	\$258,400	Commercial	COOLING TOWER & ELECTRICA
03-3337	11/10/2003	12/31/2003	\$113,500	Commercial	REWIRE NEW ELECTRICAL ROO
03-0467	2/20/2003	1/1/2004	\$1,500	Commercial	REPLACE SIDEWALK
02-2325	1/3/2003	12/31/2003	\$8,000	Commercial	CONCRETE SIDEWALK
02-3249	1/2/2003	12/31/2003	\$5,000	Commercial	INSTALL WALLS
02/2325	8/26/2002	12/17/2002	\$2,000	Commercial	REPLACE RAMP
02/2028	8/8/2002	12/31/2003	\$4,500	Commercial	GLASS DOORS
0200499	4/23/2002	9/13/2002	\$110,000	Commercial	REPAIRS TO CLOCK TOWER
0103176	12/11/2001	9/13/2002	\$159,000	Commercial	HURRICANE SHUTTERS
0103176	9/20/2001	9/13/2002	\$3,014	Commercial	INSTALL HARDWARE FOE SHUT
0100987	3/1/2001	3/7/2001	\$91,013	Commercial	PAINT & WATERPROOF STRUCT
0003922	12/13/2000	3/7/2001	\$99,900	Commercial	UNDERGROUND STOR TANK
0001749	6/28/2000	3/7/2001	\$740,000	Commercial	PLUMBING
9802758	5/18/2000	3/7/2001	\$100,000	Commercial	CHANGE EQUIP SHELTER LOCA
0001144	5/8/2000	3/7/2001	\$600	Commercial	INSTALL EXHAUST FAN
0000887	4/7/2000	3/7/2001	\$3,000	Commercial	REPAIR ELECTRICAL LINES
0000018	3/15/2000	3/7/2001	\$25,000	Commercial	INSTALL FIRE DOORS
9904050	12/16/1999	3/7/2001	\$116,000	Commercial	133 SQS METAL SHINGLES
9903534	10/20/1999	3/7/2001	\$70,000	Commercial	INSTALL FIRE SPRINKLERS
9902408	8/24/1999	3/7/2001	\$29,850	Commercial	NEW ELECTRICAL
9900106	1/13/1999	3/7/2001	\$8,450	Commercial	REMOVE UNDERGROUND STORAG
9703503	12/17/1998	3/7/2001	\$4,900,000	Commercial	RENOVATION/DEMO/NEW ADDIT
9803854	12/8/1998	1/1/1999	\$1,000	Commercial	TEMP CONST TRAILER
9803790	12/1/1998	1/1/1999	\$100,376	Commercial	ROOFING
9802806	9/11/1998	1/1/1999	\$500	Commercial	INSTALL 94 LN FT GUTTER
9800697	7/27/1998	1/1/1999	\$315,712	Commercial	INSTALL AC UNIT
9800697	6/26/1998	1/1/1999	\$315,712	Commercial	OUTLETS/SWITCHES
9800697	6/25/1998	1/1/1999	\$315,712	Commercial	INSTALL 12 FIXTURES
9801896	6/25/1998	1/1/1999	\$564,000	Commercial	REPLACE EXISTING FIXTURES
9800697	6/18/1998	1/1/1999	\$315,712	Commercial	REMODEL PARKING AREA
9702685	8/11/1997	1/1/1999	\$40,000	Commercial	FIRE ALARM SYSTEM
9702858	8/1/1997	12/1/1997	\$2,200	Commercial	INTERIOR RENOVATIONS
9700870	4/4/1997	1/1/1999	\$650	Commercial	INSTALL NEW DOOR
9700762	3/27/1997	1/1/1999	\$750	Commercial	REPLACE REVOLVING DOOR
B953473	10/1/1995	12/1/1995	\$800	Commercial	REPAIR STEPS/DECK ON ROOF
B953679	10/1/1995	12/1/1995	\$8,000	Commercial	RENOVATION CLERKS OFF1CE
E953680	10/1/1995	12/1/1995	\$500	Commercial	ELECTRICAL/TELEPHONE
B952945	9/1/1995	12/1/1995	\$7,000	Commercial	PERMIT RENEWAL F/2 TRALER
B952349	7/1/1995	12/1/1995	\$2,500	Commercial	RENOVATE BATHROOMS TO ADA
B952365	7/1/1995	12/1/1995	\$9,000	Commercial	CEILING TILES
P952380	7/1/1995	12/1/1995	\$2,500	Commercial	6 PLUMBING FIXTURES
A951846	6/1/1995	12/1/1995	\$9,100	Commercial	15 SQRS RFG
M951595	5/1/1995	12/1/1995	\$13,000	Commercial	2-15TON A/C W/23 DROPS
M951675	5/1/1995	12/1/1995	\$3,250	Commercial	1-3 TON A/C W/4 DROPS
M951676	5/1/1995	12/1/1995	\$2,850	Commercial	REPLACE 3.5 TON A/C UNIT
M951757	5/1/1995	12/1/1995	\$9,300	Commercial	REPLACE 5 TON A/C
E951237	4/1/1995	12/1/1995	\$850	Commercial	ALARM SYSTEM
B944103	12/1/1994	12/1/1995	\$100,000	Commercial	RENOVATION OF COURTROOM
E944091	12/1/1994	12/1/1995	\$12,000	Commercial	ELECTRICAL
B943912	11/1/1994	12/1/1995	\$1,000	Commercial	MOVE INTERIOR WALLS
B942727	8/1/1994	12/1/1994	\$4,000	Commercial	RENEWAL FOR TRAILERS
B941522	5/1/1994	12/1/1994	\$4,000	Commercial	MAINTENANCE
B941144	4/1/1994	12/1/1994	\$3,500	Commercial	REPAIRS
B941288	4/1/1994	12/1/1994	\$3,500	Commercial	REPAIRS & MAINTENANCE
M940682	2/1/1994	12/1/1994	\$3,300	Commercial	3.5 TON AC

## View Tax Info

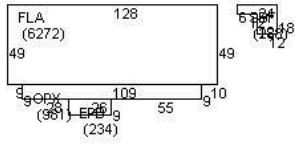
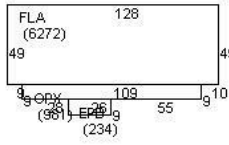
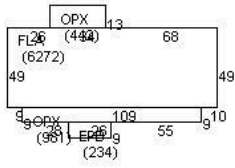
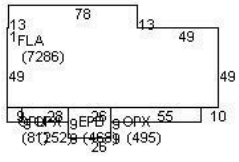
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## Sketches (click to enlarge)

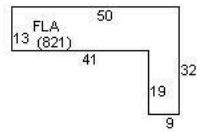
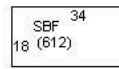
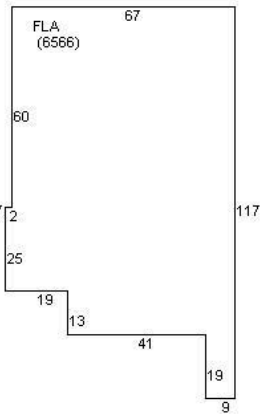
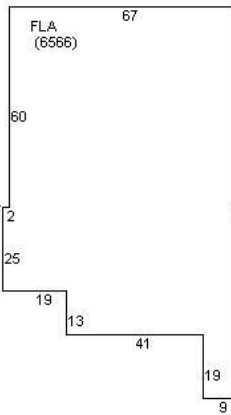
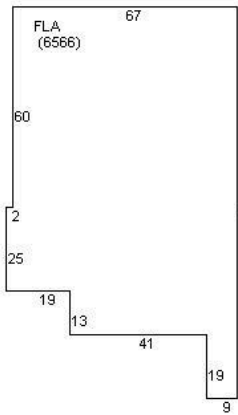




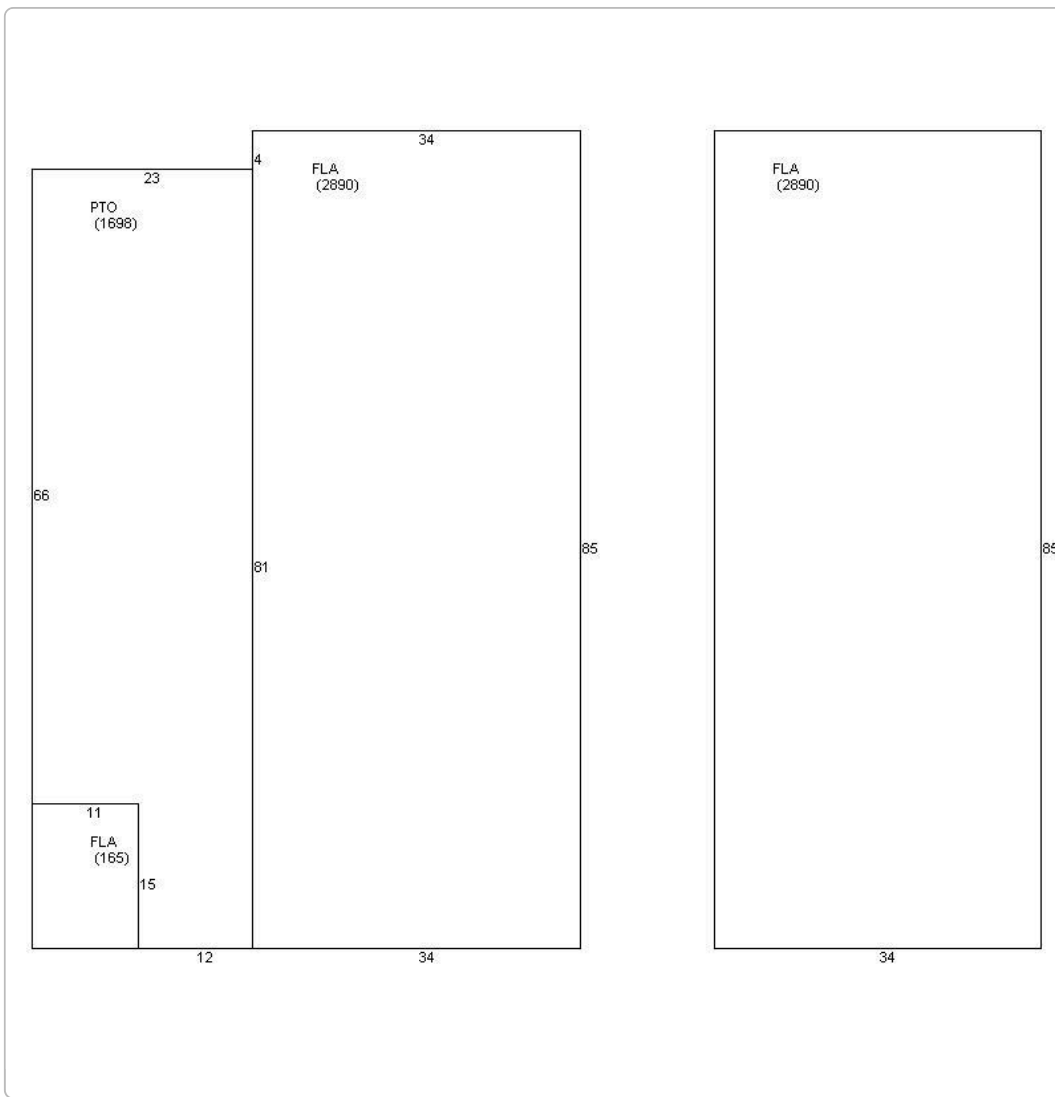




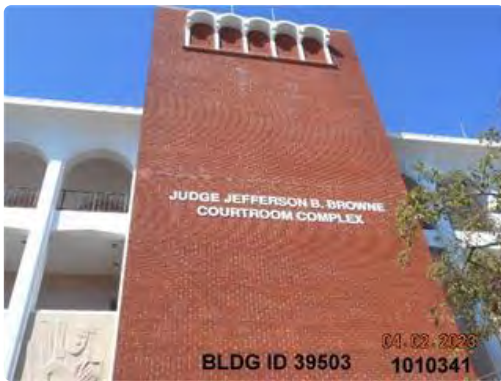








Photos







Map



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