

**THE CITY OF KEY WEST  
PLANNING BOARD  
Staff Report**



**To:** Chairman and Planning Board Members

**Through:** Thaddeus Cohen, Planning Director

**From:** Patrick Wright, Planner II

**Meeting Date:** March 17, 2016

**Agenda Item:** **Variance – 626 Grinnell Street (RE # 00011020-000000; AK # 1011312)** - A request for a variance to minimum rear yard setback, maximum building coverage and standards for fences and hedges in order to extend an existing trellis and construct an 7'5" fence along the rear and south side property lines on property located within Historic High Density Residential (HHDR) zoning district pursuant to Section 90-395, 122-630(6)(c), 122-630(4)(a) and 122-1183 (d) (1) (c) of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

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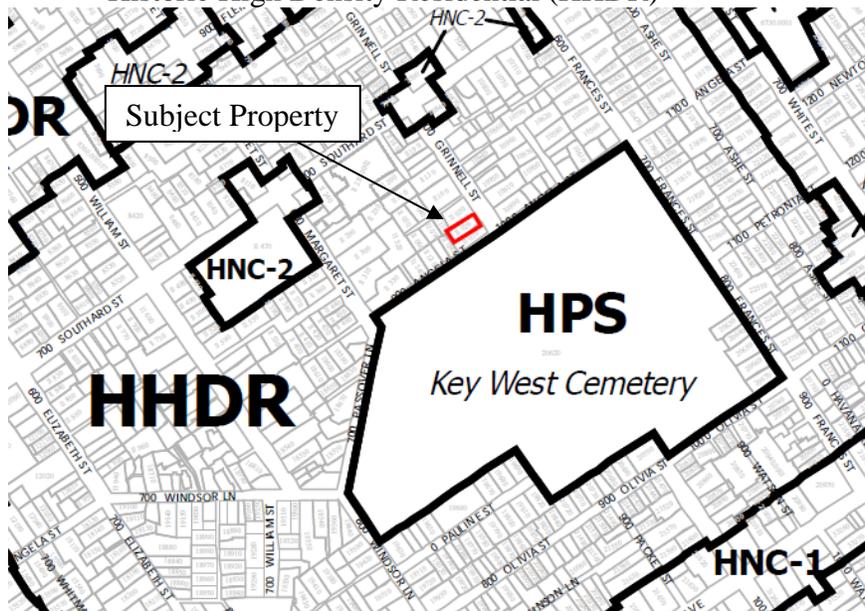
**Request:** Variance to minimum rear yard setback, building coverage and standards for fences and hedges in order to extend an existing trellis and construct an 7'5" fence along the rear and south side property lines on property.

**Applicant:** One Call Construction Inc.

**Owner:** Christopher C. Belland

**Location:** 626 Grinnell Street (RE # 00011020-000000; AK # 1011312)

**Zoning:** Historic High Density Residential (HHDR)



**Background and Request:**

The subject property is located on the 600 block of Grinnell Street toward the southern intersection of Grinnell and Angela Streets within the HHDR Zoning District. The property currently consists of a historic contributing single family residence.

The applicant is proposing to extend an existing wood trellis within the required rear yard setback as well as construct a new 7' 5" shadow box fence along the rear portions of the side and rear yards. According to the submitted plans the fence would extend a total of roughly 83.5 linear feet around the rear portions of the side and rear yards. The applicant is proposing the submitted additions for purposes of privacy.

The applicant is requesting a variance to rear yard setback requirements, maximum building coverage and standards for fences and hedges as part of the proposed construction.

<b>Relevant Land Development Regulations: Code Section 122-630 &amp; 122-1183 (d)</b>				
<b>Dimensional Requirement</b>	<b>Required/ Allowed</b>	<b>Existing</b>	<b>Proposed</b>	<b>Change / Variance Required?</b>
Standards for fences & hedges	6' fence	6' fence	7' 5" fence	<b>Variance Requested</b>
Rear yard setback	20'	4.5'	4.5'	<b>Variance Requested</b>
Building Coverage	50% (3,456 sq. ft.)	69% (2,408.8 sq. ft.)	73% (2,546 sq. ft.)	<b>Variance Requested</b>

**Process:**

**Planning Board Meeting:**

February 18, 2016

**Local Appeal Period:**

30 days

**DEO Review Period:**

Up to 45 days

**Analysis – Evaluation for Compliance with The Land Development Regulations:**

The criteria for evaluating a variance are listed in Section 90-395 of the City Code. The Planning Board before granting a variance must find all of the following:

- 1. *Existence of special conditions or circumstances.* That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.**

The proposed continuation of the trellis and new 7' 5" fence does not constitute a special condition. The circumstances of the lot are not peculiar as it is a single family developed lot common to the HHDR zoning district. Therefore special conditions or circumstances do not exist.

NOT IN COMPLIANCE.

- 2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.***

The existing conditions are created by the applicant. The applicant is proposing extend the trellis which is already within the required rear yard setback. The lot is currently over built by 19% in terms of building coverage. The applicant currently maintains a 6 foot solid fence and is requesting to construct a new 7' 5" fence which is not permitted by the Land Development Regulations.

NOT IN COMPLIANCE.

- 3. Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.***

Sections 122-630(6) (c), 122-630(4) (a) and 122-1182(d) (1) (c) of the Land Development Regulations states the required rear yard setback and maximum permitted fence height. Therefore, granting a variance to rear setback and fence requirements would confer special privileges upon the applicant.

NOT IN COMPLIANCE.

- 4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.***

The applicant is proposing to extend the trellis structure which in an existing nonconformity as it exists today, expanding the trellis in the setback does not constitute a hardship. The decision of the property owner to construct a new 7' 5" fence which in not permitted by the Land Development regulations does not create a hardship. The applicant could replace the existing 6 foot fence and not require a variance. The trellis is attached to the principal structure which requires that principal structure setbacks be maintained. If the trellis was detached from the principal structure a 5 foot accessory structure setback would be required rather than the 20 foot principal structure setback. The lot is currently over built in terms of building coverage, granting this variance would allow the applicant to exceed maximum building coverage by 23%. The denial of the requested variance would not deprive the applicant of rights commonly enjoyed by other properties in the HHDR Zoning District. Therefore, hardship conditions do not exist.

NOT IN COMPLIANCE.

- 5. Only minimum variance granted. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.***

The variance requested is not the minimum required that will make possible the reasonable use of the land, building, or structure. However, they are the minimum necessary to accommodate the request.

NOT IN COMPLIANCE.

6. ***Not injurious to the public welfare. That the granting of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.***

Due to not being in compliance with all of the standards for considering variances, the granting of the requested variances would be injurious to the area involved and otherwise detrimental to the public interest.

NOT IN COMPLIANCE.

7. ***Existing nonconforming uses of other property not the basis for approval. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.***

Existing non-conforming uses of other properties, use of neighboring lands, structures, or buildings in the same district, or other zoning districts, are not the basis for this request.

IN COMPLIANCE.

**Concurrency Facilities and Other Utilities or Service (Section 108-233):**

It does not appear that the requested variance will trigger any public facility capacity issues.

**The Planning Board shall make factual findings regarding the following:**

**That the standards established by Section 90-395 of the City Code have been met by the applicant for a variance.**

The standards established by Section 90-395 of the City Code have not been fully met by the applicant for the variance requested.

**That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.**

The Planning Department has not received public comment regarding the requested variance.

**The planning board shall not grant a variance to permit a use not permitted by right or as a conditional use in the zoning district involved or any use expressly or by implication prohibited by the terms of the ordinance in the zoning district.**

No use not permitted by right or as a conditional use in the zoning district involved or any use expressly or by implication prohibited by the terms of the ordinance in the zoning district would be permitted.

**No nonconforming use of neighboring lands, structures, or buildings in the same zoning district and no permitted use of lands, structures, or buildings in other zoning districts shall be considered grounds for the authorization of a variance.**

No such grounds were considered.

**No variance shall be granted that increases or has the effect of increasing density or intensity of a use beyond that permitted by the comprehensive plan or these LDRs.**

No density or intensity of a use would be increased beyond that permitted by the comprehensive plan or these LDRs.

**RECOMMENDATION:**

Based on the criteria established by the Comprehensive Plan and the Land Development Regulations, the Planning Department recommends the request for variances be **denied**.

# Application



# Application For Variance

**RECEIVED**

City of Key West, Florida • Planning Department

3140 Flagler Avenue • Key West, Florida 33040-4602 • 305-809-3720 • www.keywestcity.com

DEC 15 2015

CITY OF KEY WEST  
PLANNING DEPT.

**Application Fee: \$1,150.00 / After-the-Fact: \$2,150.00**  
(includes \$100.00 advertising/noticing fee and \$50.00 fire review fee)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3720.

### PROPERTY DESCRIPTION:

Site Address: 626 Grinnell St Key West FL 33040

Zoning District: HHDR Real Estate (RE) #: 00011020

Property located within the Historic District?  Yes  No

APPLICANT:  Owner  Authorized Representative

Name: Chris Belland

Mailing Address: 626 Grinnell St

City: Key West State: FL Zip: 33040

Home/Mobile Phone: 305-923-1987 Office: \_\_\_\_\_ Fax: \_\_\_\_\_

Email: cbelland@historictours.com

### PROPERTY OWNER: (if different than above)

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Home/Mobile Phone: \_\_\_\_\_ Office: \_\_\_\_\_ Fax: \_\_\_\_\_

Email: \_\_\_\_\_

Description of Proposed Construction, Development, and Use: Expansion of rear pool Trellis and Construction of 8' shadow box fence in rear of property and rear northside and southside of property extending 24' feet

### List and describe the specific variance(s) being requested:

Addition to trellis interferes with 20' setback but will satisfy 4.5' setback

Rear fence height exceeds limitations

Are there any easements, deed restrictions or other encumbrances attached to the property?  Yes  No

If yes, please describe and attach relevant documents: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

City of Key West • Application for Variance

Will any work be within the dripline (canopy) of any tree on or off the property?  Yes  No  
 If yes, provide date of landscape approval, and attach a copy of such approval.

Is this variance request for habitable space pursuant to Section 122-1078?  Yes  No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	HHDR			
Flood Zone				
Size of Site	3534 SF			
Height				
Front Setback	30'	5'	5'	
Side Setback	7'	5'	5'	
Side Setback	7'	5'	5'	
Street Side Setback	10'			
Rear Setback	20'	4.5'	4.5'	
F.A.R				
Building Coverage		1855 SF	1855	
Impervious Surface		2135 SF	2135 SF	
Parking				
Handicap Parking				
Bicycle Parking				
Open Space/ Landscaping		1690SF	1690SF	
Number and type of units				
Consumption Area or Number of seats				

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at [http://www.municode.com/Library/FL/Key\\_West](http://www.municode.com/Library/FL/Key_West) under Subpart B.

\*Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.

**Standards for Considering Variances**

**Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:**

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

Proposed trellis expansion and fence construction provides  
welcomed increased privacy for neighborhood and owner keeping the same structural  
line

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

The configuration of the lot is historic, pre-dating the current zoning regulations.  
Existing structure elements put the structural line in an area that exceeds the  
setback.

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

No special privileges will be conferred by granting the variances requested, since the zoning district contains many nearby properties that possess similar nonconformities  
As such nonconformities exist in the zoning district, including similar encroachments into the setbacks of neighboring lots that are commonplace in this  
densely-developed area, such variances conferred upon the applicant do not present any special privileges denied to other lands, buildings or structures in the same zoning district.

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

Denial of the requested variance would deprive the applicant of rights commonly enjoyed by other properties in the HHDR Zoning  
District. The replacement of the debilitated Trellis structure relies on the approval of this variance.  
The rear fence provides privacy for neighbor and owner and is therefore, also a hardship condition.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

The applicant would have to physically change the contributing pool foot print  
for the use of the land and building without the variance. The minimum variance granted  
is the minimum necessary to accommodate the applicant's request.

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

It does not appear that granting of the variance will be injurious to the area involved or otherwise detrimental to the public interest or welfare.

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7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Existing non-conforming uses of other properties, use of neighboring lands, structures, or buildings in the same district, or other zoning districts, are not the basis for this request.

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**The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:**

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

**REQUIRED SUBMITTALS: All of the following must be submitted in order to have a complete application. Please submit one paper copy and one electronic copy of all materials.**

- Correct application fee. Check may be payable to "City of Key West."
- Notarized verification form signed by property owner or the authorized representative.
- Notarized authorization form signed by property owner, if applicant is not the owner.
- Copy of recorded warranty deed
- Property record card
- Signed and sealed survey
- Site plan (plans MUST be signed and sealed by an Engineer or Architect)
- Floor plans
- Stormwater management plan

# Verification

City of Key West  
Planning Department



Verification Form

(Where Authorized Representative is an entity)

I, DAVE POULIOT, in my capacity as PRESIDENT  
(print name) (print position; president, managing member)

of ONE CALL CONSTRUCTION INC.  
(print name of entity serving as Authorized Representative)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

626 GRINWELL ST, KEY WEST, FL 33040  
Street Address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

[Signature]  
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 10/1/15 by  
David Pouliot  
Name of Authorized Representative

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

[Signature]  
Notary's Signature and Seal

Name of Acknowledger [Signature]

Commission Number, if any \_\_\_\_\_

# **Authorization**



**Deed**

Prepared by and return to:  
Gregory S. Oropeza, Esq.  
Attorney at Law  
Smith | Oropeza, P.L.  
138-142 Simonton Street  
Key West, FL 33040  
305-296-7227  
File Number: 2015-18  
Will Call No.:

Parcel Identification No. 00011020-000000

[Space Above This Line For Recording Data]

## **Warranty Deed**

(STATUTORY FORM - SECTION 689.02, F.S.)

**This Indenture** made this 26th day of March, 2015 between Michele P. Cote, a single woman whose post office address is 225 Sunny Ridge Road, Hendersonville, NC 28739 of the County of Henderson, State of North Carolina, grantor\*, and Christopher C. Belland and Piper L. Smith, husband and wife whose post office address is 626 Grinnell Street, Key West, FL 33040 of the County of Monroe, State of Florida, grantee\*,

**Witnesseth** that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Monroe County, Florida, to-wit:

**In the City of Key West, Monroe County, Florida, being a part of Lot One (1), Square Fifty-seven (57), of the Map of the Island of Key West, delineated in February 1829 by William A. Whitehead, but more particularly described as follows: COMMENCING at a point Three Hundred Thirty-five (335) feet from the corner of Southard and Grinnell Streets and running thence along said Grinnell Street in a Southeasterly direction Thirty-five (35) feet; thence at right angles in a Southwesterly direction One Hundred (100) feet; thence at right angles in a Northwesterly direction Thirty-five (35) feet; thence at right angles in a Northeasterly direction One Hundred (100) feet, back to the Point of Beginning. LESS AND EXCEPT : A parcel of land on the Island of Key West and known on William A. Whitehead's map of said Island delineated in February A.D. 1829, as a part of Lot One (1) in Square Fifty-seven (57), said parcel being further described by metes and bounds as follows: COMMENCING at the intersection of the NW'ly right of way line of Angela Street with the SW'ly right of way line of Grinnell Street and run thence NW'ly along the SW'ly right of way line of the said Grinnell Street for a distance of 32.0 feet to the Point of Beginning; thence SW'ly and at right angles for a distance of 61.52 feet to the SW'ly face of an existing one story frame structure; thence NW'ly at right angles and along the said structure for a distance of 1.10 feet; thence NE'ly with a deflection angle of 88°53' to the right and along the said structure for a distance of 20.8 feet; thence SE'ly at right angles and along the said structure for a distance of 0.30 feet; thence NE'ly at right angles and along the said structure and along an existing wood fence for a distance of 40.73 feet to the SW'ly right of way line of the said Grinnell Street; thence SE'ly and along the said Grinnell Street for a distance of 2.0 feet back to the Point of Beginning. AND ALSO: A parcel of land on the Island of Key West and known on William A. Whitehead's map of said Island delineated in February A.D. 1829, as a part of Lot One (1) in Square Fifty-Seven (57), said parcel being further described by metes and bounds as follows: COMMENCING at the intersection of the Southeasterly right of way line of Southard Street with the Southwesterly right of way line of Grinnell Street and run thence Southeasterly along the Southwesterly right of way line of the said Grinnell Street for a distance of 335.00 feet; thence Southwesterly and at right angles for a distance of 7.21 feet to the Northeasterly face of an existing open porch, said point also being the Point of Beginning; thence continue Southwesterly along the previously mentioned course for a distance of 38.51 feet to the Southwesterly face of an overhang on an existing two story frame structure; thence Northwesterly with a deflection angle of 88°44'20" to the right and along the said face of the overhang for a distance**

of 1.05 feet; thence Northeasterly and at right angles along the Northwesterly face of said overhang for a distance of 33.00 feet; thence Southeasterly and at right angles along the Northeasterly face of said overhang for a distance of 1.60 feet to the Northwesterly face of the said open porch; thence Northeasterly and at right angles along the Northwesterly face of said porch for a distance of 5.50 feet; thence Southeasterly and at right angles along the Northeasterly face of said open porch for a distance of 0.29 feet back to the Point of Beginning.

Also known as: 626 Grinnell Street, Key West, Florida 33040

Grantor warrants that at the time of this conveyance, the subject property is not the Grantor's homestead within the meaning set forth in the constitution of the state of Florida, nor is it contiguous to or a part of homestead property. Grantor's residence and homestead address is: 225 Sunny Ridge Road, Hendersonville, NC 28739.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

\* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Madison Fallon  
Witness Name: Madison Fallon

Michele P. Cote (Seal)  
Michele P. Cote

Richard McChesney  
Witness Name: Richard McChesney

State of Florida  
County of Monroe

The foregoing instrument was acknowledged before me this 25 day of March, 2015 by Michele P. Cote, who  is personally known or  has produced a driver's license as identification.

[Notary Seal]



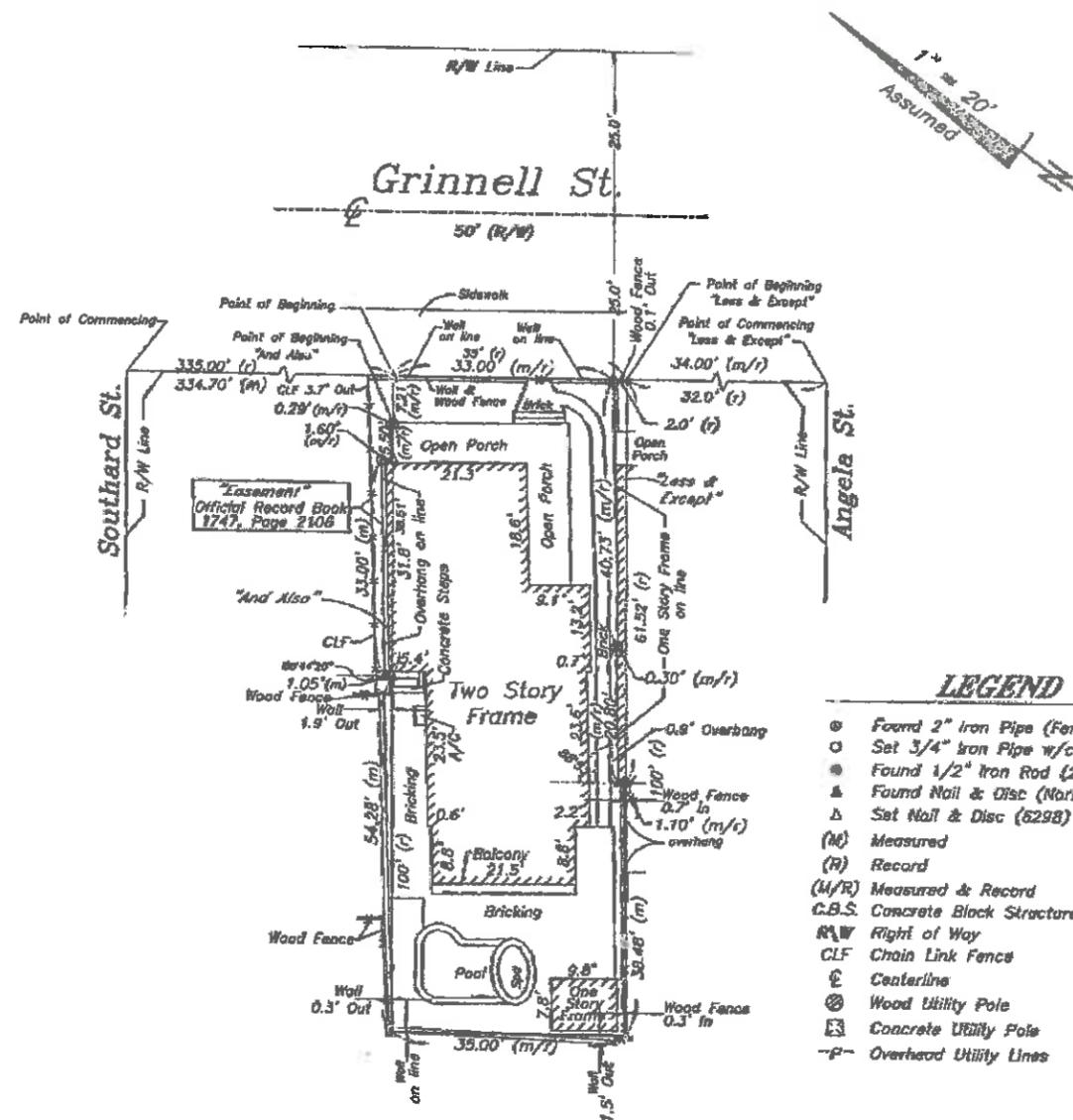
Madison Fallon  
Notary Public

Printed Name: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

# Survey

# Boundary Survey Map of part of Lot 1, Square 57, Island of Key West



### LEGEND

- Found 2" Iron Pipe (Fence Post)
- Set 3/4" Iron Pipe w/cap (6298)
- Found 1/2" Iron Rod (2853)
- ▲ Found Nail & Disc (North)
- △ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R/W Right of Way
- CLF Chain Link Fence
- ⊕ Centerline
- ⊙ Wood Utility Pole
- ⊖ Concrete Utility Pole
- P- Overhead Utility Lines

- NOTES:**
1. The legal description shown hereon was furnished by the client or their agent. This survey does not determine or imply ownership.
  2. Underground foundations and utilities were not located.
  3. All angles are 90° (Measured & Record) unless otherwise noted.
  4. Street address: 626 Grinnell Street, Key West, FL
  5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
  6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
  7. North Arrow is assumed and based on the legal description.
  8. Date of field work: March 2, 2015
  9. Ownership of fences is undeterminable, unless otherwise noted.
  10. Adjoiners are not furnished.
  11. The Survey Report is not full and complete without the attached Survey Map.
  12. All bricking and concrete is not shown.

**BOUNDARY SURVEY OF:** In the City of Key West, Monroe County, Florida, being a part of Lot One (1), Square Fifty-seven (57), of the Map of the Island of Key West, delineated in February 1829 by William A. Whitehead, but more particularly described as follows: COMMENCING at a point Three Hundred Thirty-five (335) feet from the corner of Southard and Grinnell Streets and running thence along said Grinnell Street in a Southeasterly direction Thirty-five (35) feet; thence at right angles in a Southwesterly direction One Hundred (100) feet; thence at right angles in a Northwesterly direction Thirty-five (35) feet; thence at right angles in a Northeasterly direction One Hundred (100) feet, back to the Point of Beginning.

**LESS & EXCEPT:**  
A parcel of land on the Island of Key West and known on William A. Whitehead's map of said Island delineated in February A.D. 1829, as a part of Lot One (1) in Square Fifty-seven (57), said parcel being further described by metes and bounds as follows: COMMENCING at the intersection of the NW'y right of way line of Angela Street with the SW'y right of way line of Grinnell Street and run thence NW'y along the SW'y right of way line of the said Grinnell Street for a distance of 32.0 feet to the Point of Beginning; thence SW'y and at right angles for a distance of 61.52 feet to the SW'y face of an existing one story frame structure; thence NW'y at right angles and along the said structure for a distance of 1.10 feet; thence NE'y with a deflection angle of 88°53' to the right and along the said structure for a distance of 20.8 feet; thence SE'y at right angles and along the said structure for a distance of 0.30 feet; thence NE'y at right angles and along the said structure and along an existing wood fence for a distance of 40.73 feet to the SW'y right of way line of the said Grinnell Street; thence SE'y and along the said Grinnell Street for a distance of 2.0 feet back to the Point of Beginning.

**AND ALSO:**  
A parcel of land on the Island of Key West and known on William A. Whitehead's map of said Island delineated in February A.D. 1829, as a part of Lot One (1) in Square Fifty-seven (57), said parcel being further described by metes and bounds as follows: COMMENCING at the intersection of the Southeasterly right of way line of Southard Street with the Southwesterly right of way line of Grinnell Street and run thence Southeasterly along the Southwesterly right of way line of the said Grinnell Street for a distance of 335.00 feet; thence Southwesterly and at right angles for a distance of 7.21 feet to the Northeasterly face of an existing open porch, said point also being the Point of Beginning; thence continue Southwesterly along the previously mentioned course for a distance of 38.51 feet to the Southwesterly face of an overhang on an existing two story frame structure; thence Northwesterly with a deflection angle of 88°44'20" to the right and along the said face of the overhang for a distance of 1.05 feet; thence Northeasterly and at right angles along the Northwesterly face of said overhang for a distance of 33.00 feet; thence Southeasterly and at right angles along the Northwesterly face of said overhang for a distance of 1.60 feet to the Northwesterly face of the said open porch; thence Northeasterly and at right angles along the Northwesterly face of said open porch for a distance of 5.50 feet; thence Southeasterly and at right angles along the Northwesterly face of said open porch for a distance of 0.29 feet back to the Point of Beginning.

**BOUNDARY SURVEY FOR:** Chris Belland and Piper Smith;  
City National Bank of Florida;  
Smith Oropeza Hawks, P.L.;  
Old Republic National Title Insurance Company;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.  
*[Signature]*  
J. Lynn O'Flynn, PSM  
Florida Reg. #6298

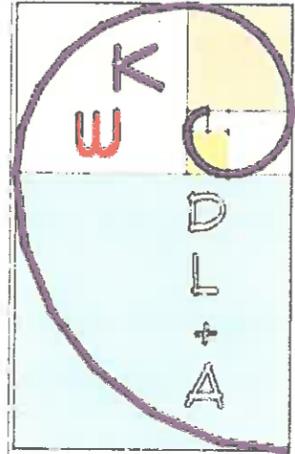
**THIS SURVEY  
IS NOT  
ASSIGNABLE**

March 6, 2015

Sheet Two of Two Sheets

**J. LYNN O'FLYNN, Inc.**  
Professional Surveyor & Mapper  
7211 7222

3438 Duck Ave., Key West, FL 33040  
(305) 296-7422 FAX (305) 296-2244



**KEY WEST DESIGN LAB  
+  
ASSOCIATES, LLC**  
AA26002848  
1901 FLAGLER AVENUE  
KEY WEST, FL 33040  
(305) 440-3960

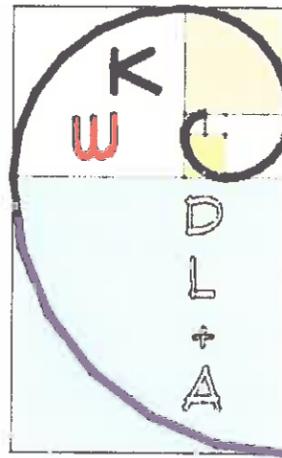
Exterior Improvements  
Chris Belland  
626 Grinnell St.  
Key West, FL 33040

Survey

09/10/15

# Site Plans

Chris Belland  
 626 Grinnell St.  
 Key West, FL 33040



KEY WEST DESIGN LAB

ASSOCIATES, LLC  
 AA26002848  
 1901 FLAGLER AVENUE  
 KEY WEST, FL 33040  
 (305) 440-3960

09/10/2015  
 DIC7B50ZED9QV

JAMES MARR HOFFMAN  
 AR 15,729 (615) 955-0975  
 AUBURNARCHITECT@GMAIL.COM

**Project Information:**

**Site Address:** 626 Grinnell St.  
 Key West, FL

**Owner:** Chris Belland

**APN:** 00011020000000

**Scope:** Trellis Variance Application

**Vicinity Map:**



**Sheet Index:**

- G-1 General Information
- G-2 Site Survey
- G-3 General Notes
- A-3.1 As-Built Rear Yard
- A-3.4 Proposed Trellis
- A-3.5 Trellis Details

RECEIVED

OCT 15 2015

CITY OF KEY WEST  
 PLANNING DEPT.

**ONE CALL CONSTRUCTION, INC.**

*One Call Does It All!*  
 1901 Flagler Ave - Key West, FL 33040  
 Tel: 305-234-0945 - Fax: 305-359-3226  
 E-mail: info@constructionkeywest.com

CGC1507029  
 CGC1327352  
 SL3188768

Exterior Improvements  
 Chris Belland  
 626 Grinnell St.  
 Key West, FL 33040

General Information

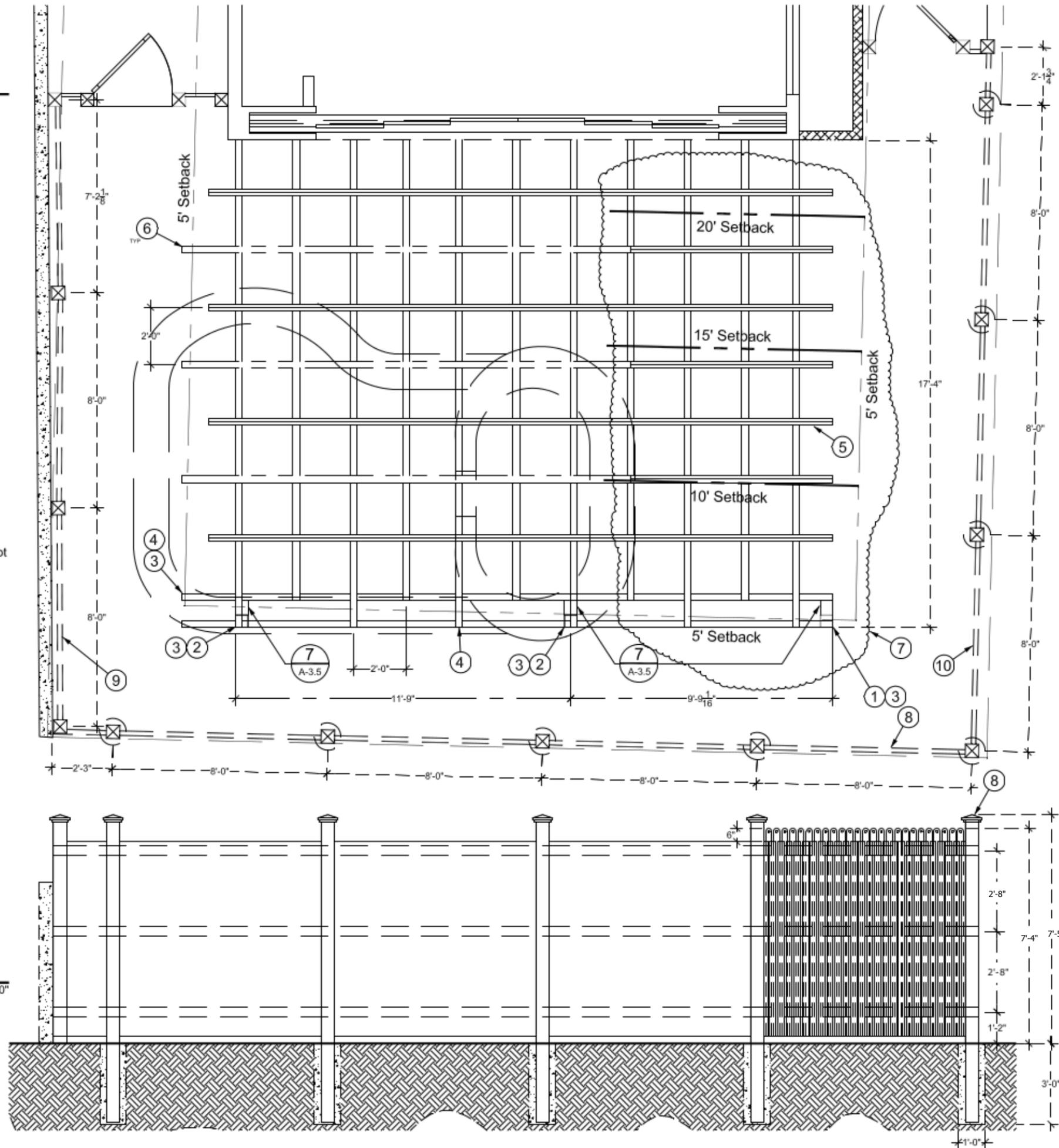
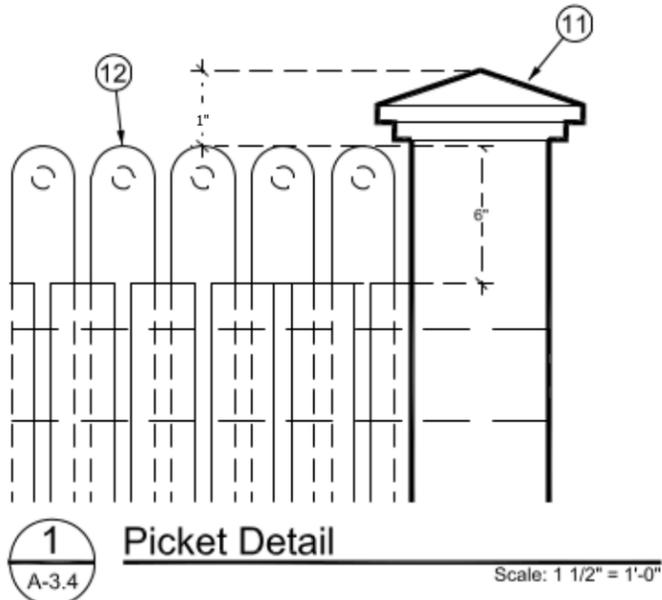
09/10/2015

**G-1**

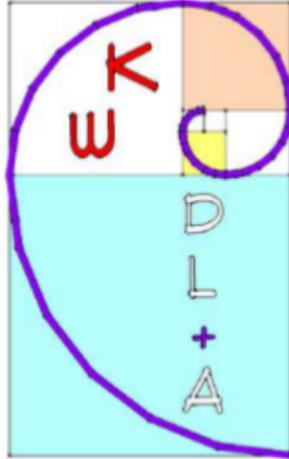
Sheet 01 of 06

**Notes/Scope of Work:**

- (1) Provide new PT 6x6 post - Provide new footing (B/A-3.2)
- (2) Modify existing 6x6 posts with lap joints as required to remove damaged material (See lap detail (3/A-3.5))
- (3) Provide PT 3x12 beam (See connection detail (5/A-3.5))
- (4) Provide PT 3x12 rafters 24" o.c. with rafter tail (see (6/3.5))
- (5) Provide PT 4x4 purlins every 24"oc with decorative ends (See (4/A-3.5))
- (6) Existing Trellis elements to remain -
- (7) Additional Trellis - Variance Request -
- (8) Replace Existing Concrete Wall/Fence at back/West property line - Provide New PT Fencing - Provide PT 6x6 Posts in 12" Dia Auger Footings - Provide 4,000 psi Concrete - Auger footings down 3' or to the top of Cap Rock - Provide PT 2x4 Runners as shown - Inset Runners into the back to PT 6x6 Posts - Provide PT 1x3 Pickets as shown in a Shadow Box layout - See detail below -
- (9) Provide similar detail to note (8) along North property line - Anchor PT 6x6 into existing concrete wall/fence w/ 1/2" stainless steel treaded rod @ 16"oc & epoxy set with a minimum embedment of 4" -
- (10) Provide similar detail to note (8) along South property line -
- (11) Provide post cap -
- (12) Provide 2 3/4" pickets with radius top & 1" hole as shown - Pickets on the exterior of the shadow box are square and do not have the radius detail - Radius detail only on the interior -



**Proposed Trellis Plan & Fencing Replacement Plan**



**KEY WEST DESIGN LAB  
+  
ASSOCIATES, LLC**  
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(305) 440-3960



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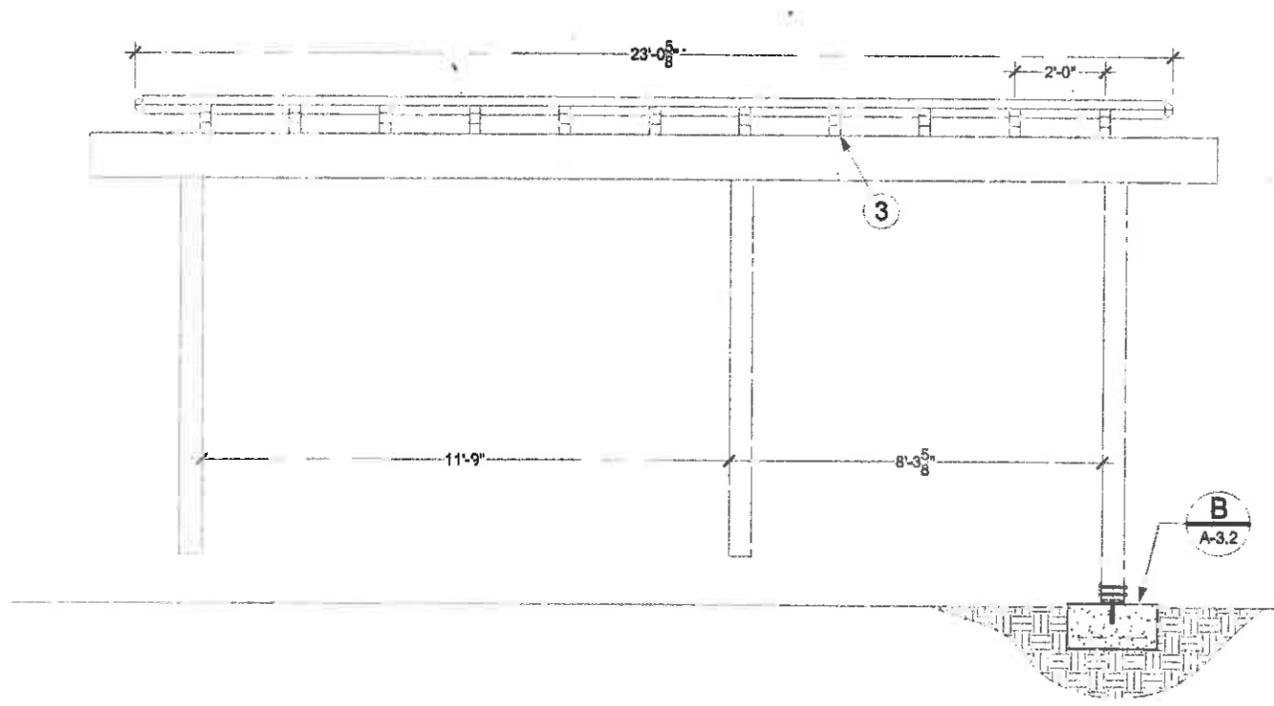
**Exterior Improvements**  
Chris Belland  
626 Grinnell St.  
Key West, FL 33040

03/02/2016  
Proposed Trellis

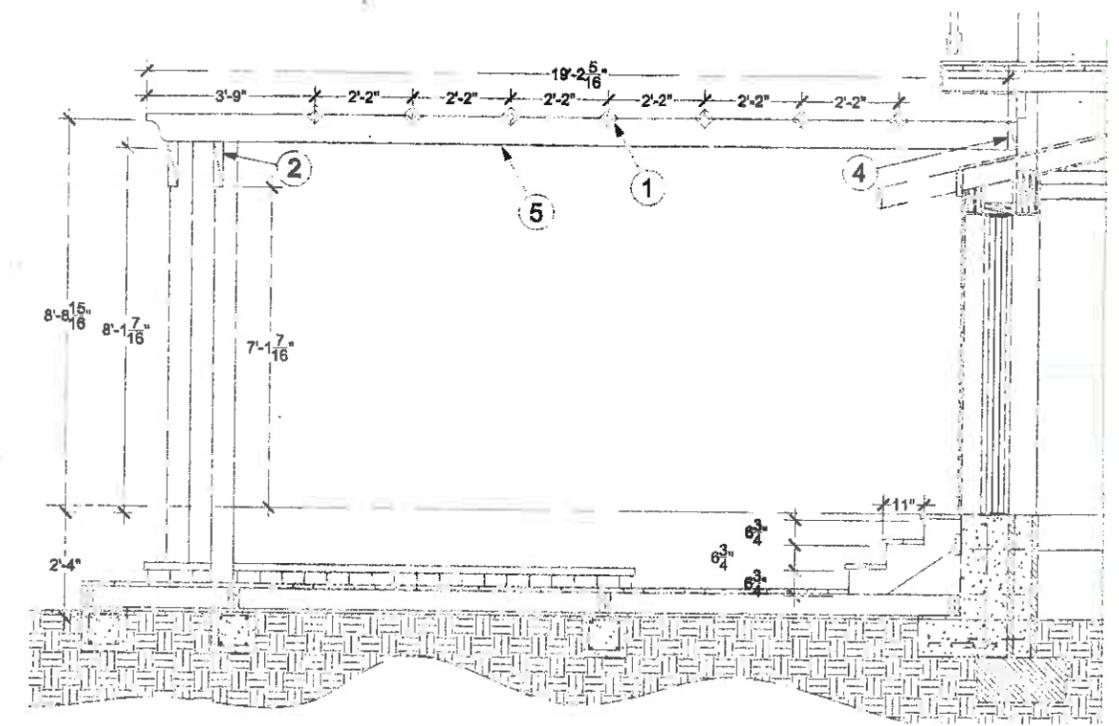
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**A-3.4**

Sheet 05 of 06



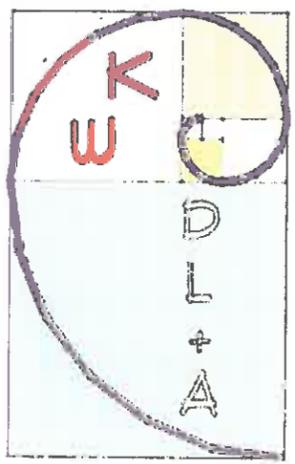
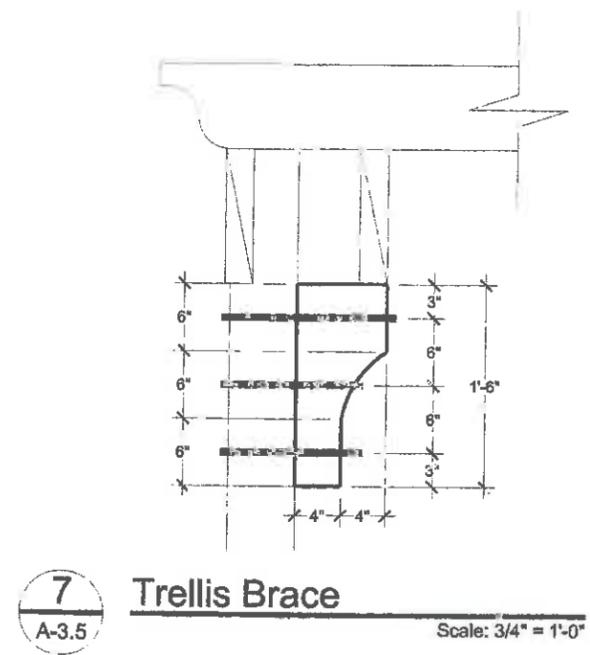
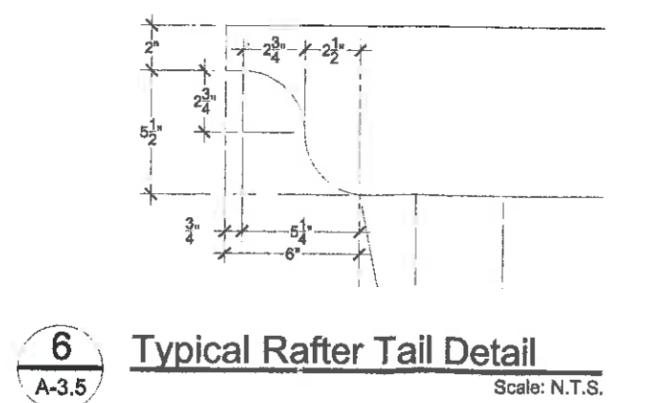
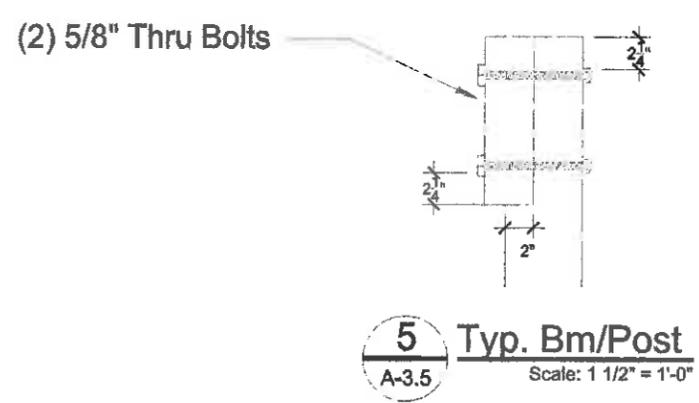
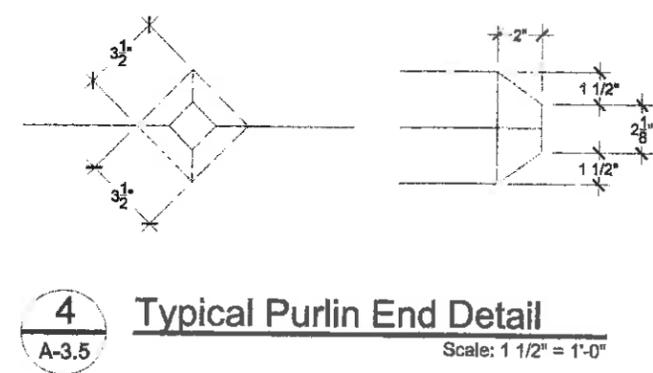
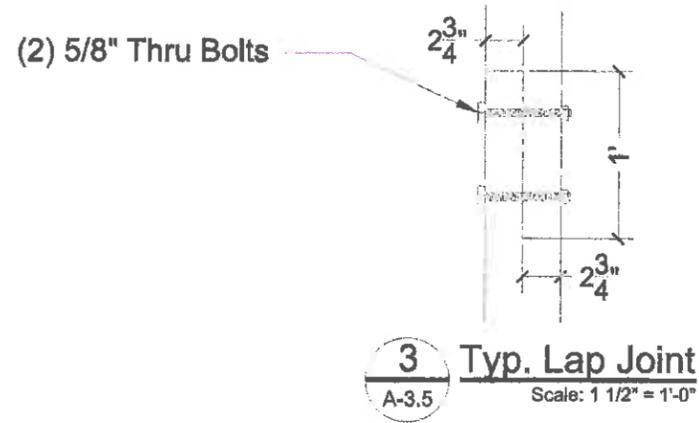
**1 Proposed Southwest Elevation**  
 A-3.5 Scale: 1/4" = 1'-0"



**2 Proposed Southeast Elevation**  
 A-3.5 Scale: 1/4" = 1'-0"

**Notes/Scope of Work:**

- (1) Anchor PT 4x4 purlins w/ 6" Timber Tech's (TYP) -
- (2) Provide PT 3x12 w/ (2) 5/8" thru bolt assemblies thru beam and post top (TYP) See (5/A-3.5)
- (3) Provide Simpson H2.5A both sides of rafter at rear beam -
- (4) Provide PT 3x8 Ledger w/ (2) 5/8" x 6" Galv Lag Bolts to Existing Posts -
- (5) Provide PT 3x8 Rafters - Provide appropriate Simpson hangers at ledger w/ reverse flanges -
- (6) Provide PT 6"x8"x18" Brace w/ (3) galv 5/8" thru bolt assemblies -



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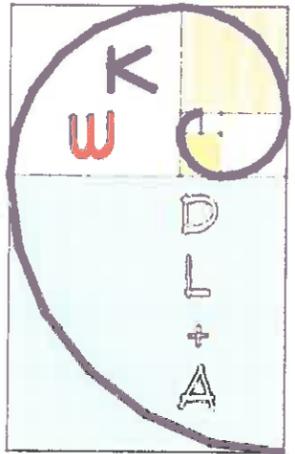
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Proposed Trellis  
 & Details  
 09/10/15

**A-3.5**



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11/16/2015  
 FM569212.HOWHX

JAMES MARR HOFFMAN  
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Exterior Improvements  
 Chris Belland  
 626 Grinnell Street  
 Key West, FL 33040

General Notes  
 &  
 ISR  
 11/16/2015

**G-3**

Sheet 03 of 04

**General Conditions:**  
 American Institute of Architects A201, General Conditions of the Contract for Construction, is hereby incorporated by reference and shall be the guideline for direction for subjects related to the work not expressly described in this document -

**Code Data - 2014 FBC - Existing Building**  
 This work shall comply with the 2014 Florida Building Code and with The City of Key West's ordinances, amendments, rules and regulations - This work shall also comply with ASCE/SEI 7-10, *Minimum Design Loads for Buildings and Other Structures* -

**2014 FBC - Existing Building:**  
 Chapter 7 - Alterations, Level 1  
 Alterations outlined in this scope of work shall comply with this chapter -

Chapter 15 - Construction Safeguards:  
 Project is not accessible to the public. Private SFR shall be maintained in a safe workmanlike manner during the execution of alterations -

1501.3 - Required exits, existing structural elements, fire protection devices, and sanitary safeguards shall be maintained at all times during repairs.

Prior to selective demolition of areas, walls, floors and roof structures shall be appropriately braced and shored to prevent collapse. Adjacent building areas are to be unoccupied during the demolition process.

**Hidden Conditions:**  
 During repairs, if structural components are determined to be damaged, damaged materials shall be removed and replaced with like kind and new connections/anchorage shall be made with appropriate *Simpson* hardware or conventional hardware as necessary -

Attachment Details	
Footers to Beams	Simpson HDSB
Internal Structural Framing	Simpson HUS Hangars*
Deck Framing	Simpson LUS Hangars*
Wall Framing Bottom Plate	Simpson SP1
Wall Framing Top Plate	Simpson SP2
Top Plate to Roof	Simpson MTS16 MIN
Flat Straps on all structural Headers from Jack to Cripple	Simpson HRS*

\*Use correct size hardware for lumber being utilized per Simpson.

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Impervious Surface Ratio		
Site Elements	Existing	Proposed
Lot Area	3,540	3,540
Building Area	1,850	1,850
Paving	270	287
Decking **	816	816
Impervious	2,120	2,137
Pervious	1,420	1,403
Impervious Surface Ratio	60%	60%
HHDR Allows	60%	60%

\*\* Decking is Considered Pervious

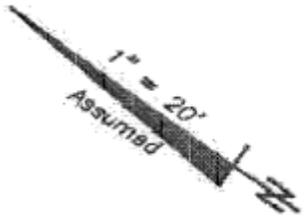
**1**  
**G-3** Impervious Surface Ratio NTS

# Boundary Survey Map of part of Lot 1, Square 57, Island of Key West

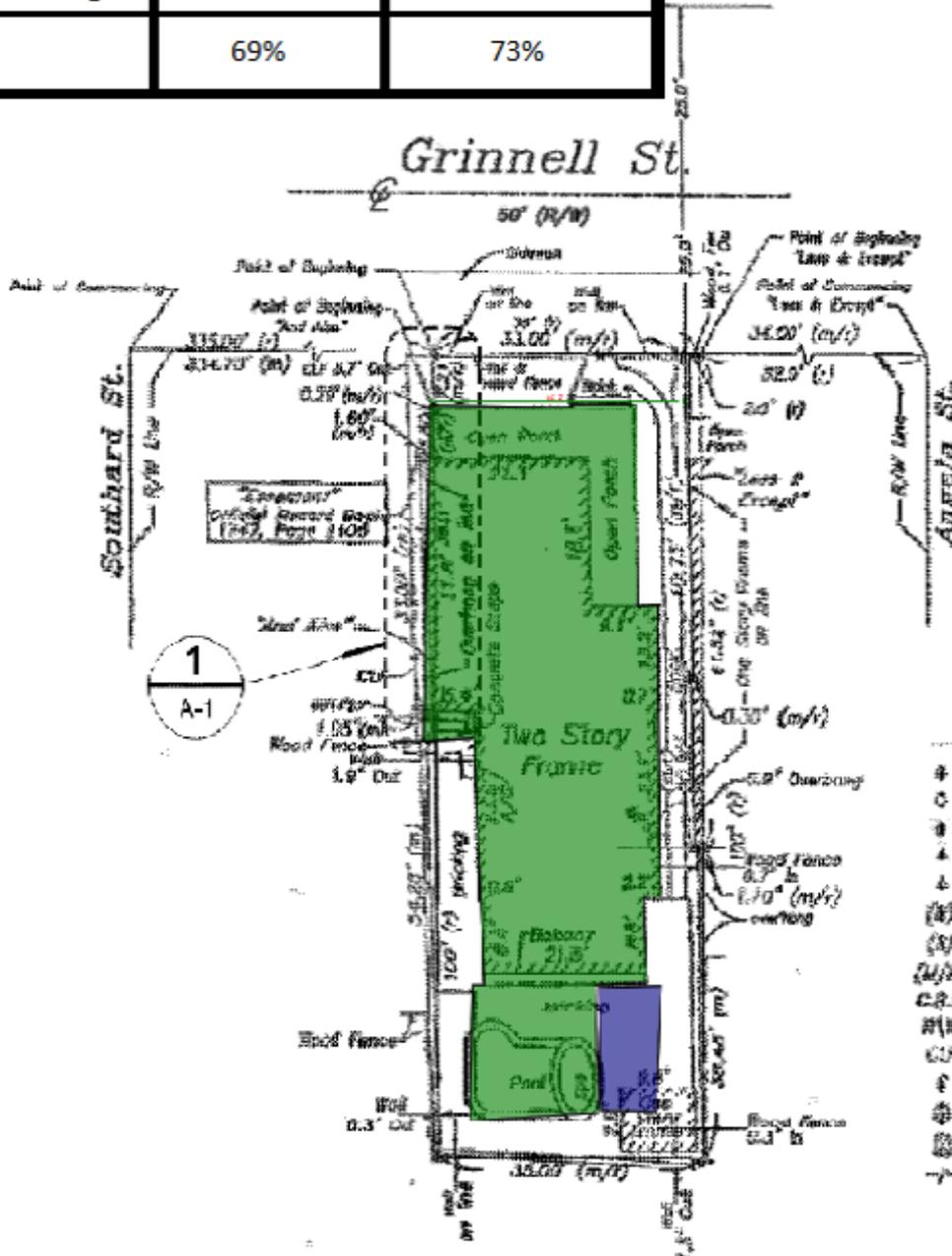
Existing

Proposed

Building Coverage	2,408.8 SQ FT	2546.2 SQ FT
	69%	73%



*Grinnell St.*



## LEGEND

- ⊕ Found 2" Iron Pipe (Fence Post)
- Set 3/4" Iron Pipe w/cap (6298)
- ⊙ Found 1/2" Iron Rod (2863)
- ⊕ Found Nail & Disc (Nails)
- ⊕ Set Nail & Disc (6295)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.C. Concrete Block Structure
- R(W) Right of Way
- CLF Chain Link Fence
- ⊕ Centerline
- ⊕ Wood Utility Pole
- ⊕ Concrete Utility Pole
- Overhead Utility Lines

# Site Photos







# **Property Appraiser Information**



**Scott P. Russell, CFA**  
**Property Appraiser**  
**Monroe County, Florida**

Key West (305) 292-3420  
 Marathon (305) 289-2550  
 Plantation Key (305) 852-7130

## Property Record Card

**Maps are now launching the new map application version.**

**Alternate Key: 1011312 Parcel ID: 00011020-000000**

### Ownership Details

**Mailing Address:**

BELLAND CHRISTOPHER C  
 626 GRINNELL ST  
 KEY WEST, FL 33040-7177

**All Owners:**

BELLAND CHRISTOPHER C, SMITH PIPER L HW

### Property Details

**PC Code:** 01 - SINGLE FAMILY

**Millage Group:** 10KW

**Affordable Housing:** No

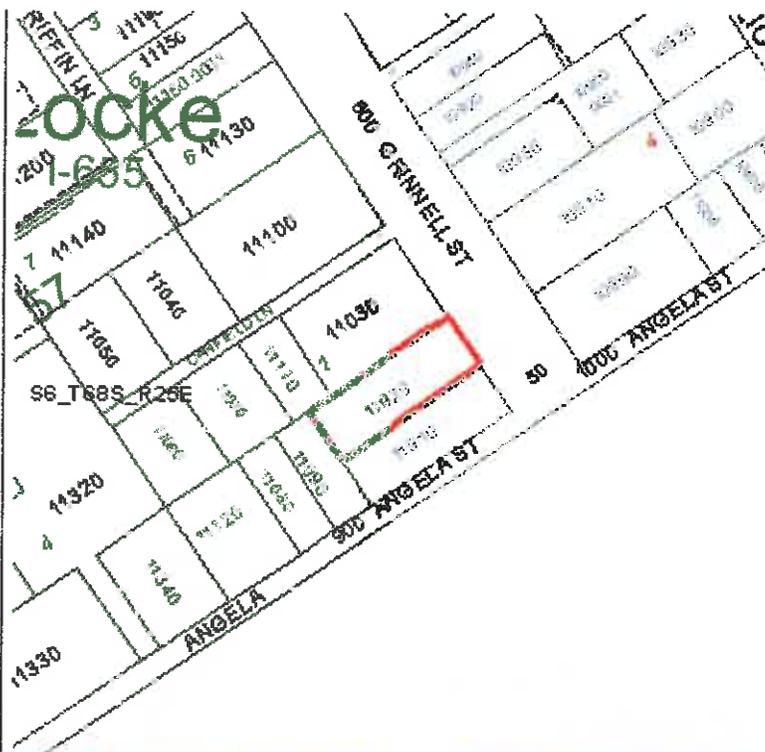
**Section-**

**Township- Range:** 06-68-25

**Property Location:** 626 GRINNELL ST KEY WEST

**Legal Description:** KW PT LOT 1 SQR 57 H3-98 OR64-371/72 OR249-513/14 OR665-454-459 OR910-2477AFF OR1039-1062/1063P/R OR1747-2095/96 OR1747-2097/99 OR1747-2100/01 OR1747-2102/03 OR1747-2104/05 OR1747-2106/11E OR1987-1343/45R/S OR1987-1346/48 OR2731-1383/84

**Click Map Image to open interactive viewer**



**Exemptions**

Exemption	Amount
44 - ADDL HOMESTEAD	25,000.00
39 - 25000 HOMESTEAD	25,000.00

**Land Details**

Land Use Code	Frontage	Depth	Land Area
01SD - RES SUPERIOR DRY	0	0	3,456.00 SF

## Building Summary

Number of Buildings: 1  
 Number of Commercial Buildings: 0  
 Total Living Area: 2529  
 Year Built: 1908

## Building 1 Details

Building Type R1  
 Effective Age 16  
 Year Built 1908  
 Functional Obs 0

Condition A  
 Perimeter 324  
 Special Arch 0  
 Economic Obs 0

Quality Grade 600  
 Depreciation % 18  
 Grnd Floor Area 2,529

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type IRR/CUSTOM

Roof Cover METAL

Foundation WD CONC PADS

Heat 1 FCD/AIR DUCTED

Heat 2 NONE

Bedrooms 2

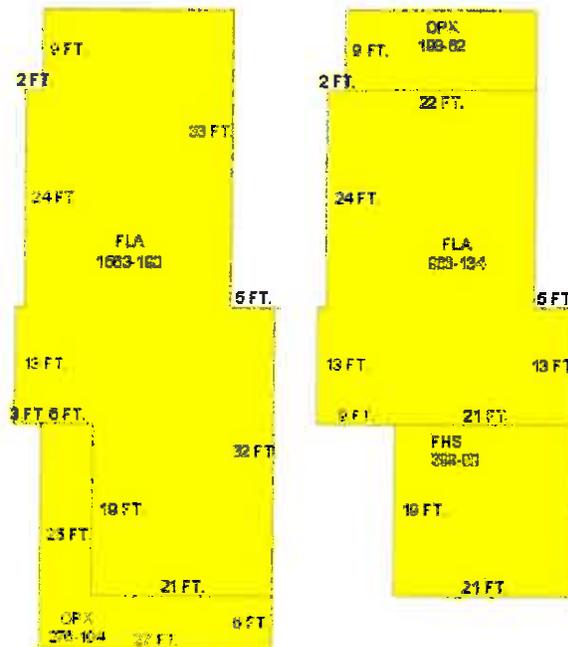
Heat Src 1 ELECTRIC

Heat Src 2 NONE

Extra Features:

2 Fix Bath 0  
 3 Fix Bath 2  
 4 Fix Bath 0  
 5 Fix Bath 0  
 6 Fix Bath 0  
 7 Fix Bath 0  
 Extra Fix 0

Vacuum 0  
 Garbage Disposal 0  
 Compactor 0  
 Security 0  
 Intercom 0  
 Fireplaces 0  
 Dishwasher 0



Sections:

Nbr Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
----------	----------	-----------	------------	-----------	------------	---------------------	------

1	FLA	12:ABOVE AVERAGE WOOD	1	1989	N	Y	0.00	0.00	1,563
2	OPX		1	1989			0.00	0.00	276
4	FLA	12:ABOVE AVERAGE WOOD	1	1989	N	Y	0.00	0.00	966
5	FHS	12:ABOVE AVERAGE WOOD	1	1989	N	Y	0.00	0.00	399
6	OPX		1	2002			0.00	0.00	198

### Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	FN2:FENCES	273 SF	39	7	1986	1987	2	30
3	FN2:FENCES	390 SF	65	6	1979	1980	4	30
6	FN2:FENCES	140 SF	35	4	1988	1989	2	30
7	PT5:TILE PATIO	24 SF	0	0	2002	2003	4	50
8	PT5:TILE PATIO	42 SF	0	0	2002	2003	1	50
9	PO4:RES POOL	128 SF	16	8	2002	2003	5	50
10	HT2:HOT TUB	1 UT	0	0	2002	2003	2	50

### Appraiser Notes

2013-11-25 MLS \$1,379,000 2/3 VERY MOTIVATED SELLER; OFFERS ENCOURAGED. GRACIOUS HOME WITH LARGE, COMFORTABLE LIVING AREAS HIDDEN BEHIND THE FACADE OF A CONCH COTTAGE. CURRENTLY CONFIGURED AS A TWO BEDROOM /THREE FULL BATH HOME, THIS PROPERTY HAS THE POTENTIAL AND SQUARE FOOTAGE FOR RECONFIGURATION TO A THREE BEDROOM HOME. FORMAL LIVING AND DINING ROOMS, A MASTER BEDROOM WITH PRIVATE PORCH AND A HEATED POOL AND SPA IN A SECLUDED SETTING MAKE THIS A PROPERTY THAT SHOULD BE SEEN BY ANYONE INTERESTED IN THE OLD TOWN AREA. PLENTY OF STORAGE & CLOSET SPACE. HURRICANE SHUTTERS ALL AROUND, SOLAR ASSISTED HOT WATER AND FOUR ZONE A/C ARE AMONG THE MANY CONVENIENCE AND GREEN LIVING FEATURE

2011-04-26 MLS SEE626GRINNELL.COM

3/11/04: SOLD FOR \$1,325,000 - BKC

2012-03-09 MLS \$1,175,000 2/3 MAJOR PRICE REDUCTION. GRACIOUS HOME WITH LARGE, COMFORTABLE LIVING AREAS HIDDEN BEHIND THE FACADE OF A CONCH COTTAGE. CURRENTLY CONFIGURED AS A TWO BEDROOM /THREE FULL BATH HOME, THIS PROPERTY HAS THE POTENTIAL AND SQUARE FOOTAGE FOR RECONFIGURATION TO A THREE BEDROOM HOME. IT IS A SUPERB RENOVATION WITH PLENTY OF SPACES TO LIVE IN AND ENJOY, LOCATED IN A GREAT AREA. FORMAL LIVING AND DINING ROOMS, A MASTER BEDROOM WITH PRIVATE DECK AND A HEATED POOL AND SPA IN A SECLUDED SETTING MAKE THIS A PROPERTY THAT SHOULD BE SEEN BY ANYONE INTERESTED IN THE OLD TOWN AREA. PLENTY OF STORAGE & CLOSET SPACE. HURRICANE SHUTTERS ALL AROUND, SOLAR ASSISTED HOT WATER AND FOUR ZONE A/C ARE AMONG THE MANY CONVENIENCE AND GREEN LIVING FEATURE

2011-02-17 MLS \$1,389,400 2/3 CURRENTLY CONFIGURED AS A TWO BEDROOM /THREE FULL BATH HOME, THIS PROPERTY HAS THE POTENTIAL AND SQUARE FOOTAGE FOR RECONFIGURATION TO A THREE BEDROOM HOME. IT IS A SUPERB RENOVATION WITH PLENTY OF SPACES TO LIVE IN AND ENJOY, LOCATED IN A GREAT AREA. FORMAL LIVING AND DINING ROOMS, A MASTER BEDROOM WITH PRIVATE DECK AND A HEATED POOL AND SPA IN A SECLUDED SETTING MAKE THIS A PROPERTY THAT SHOULD BE SEEN BY ANYONE INTERESTED IN THE OLD TOWN AREA. HURRICANE SHUTTERS ALL AROUND, SOLAR ASSISTED HOT WATER AND FOUR ZONE A/C ARE AMONG THE MANY CONVENIENCE AND GREEN LIVING FEATURES

2002 - PROPERTY WAS CHANGED FROM A 2 FAMILY TO A SINGLE FAMILY. 2003-05-02 (005) ASKING \$1,375,000 FROM THE KWCITZEN

### Building Permits

Bldg Number	Date	Date	Amount	Description	Notes
-------------	------	------	--------	-------------	-------

	Issued	Completed		
15-1944	05/20/2015	1,800	WALL DEMO CONSISTS OF NON STRUCTURAL WALLS FOR BOTH FLOORS. GROUND FLOOR: REMOVAL OF ENTERTAINMENT CLOSET IN LIBRARY, KITCHEN FINISHES, WALL MATERIAL AS NECESSARY IN KITCHEN FOR ELECTRICAL AND PLUMBING UPGRADES AND WALL BETWEEN KITCHEN AND BREAKFAST NOOK. SECOND FLOOR: REMOVAL OF RAILING ON PORCH AREA, TWO VANITIES IN MASTER BATHROOM, BI-FOLD DOORS IN STUDD ( IN CLOSET), WALL IN STUDY BETWEEN BOTH CLOSETS, HALF RAILINGS ON TOP OF STAIRWAY, RAILINGS ON GUEST BEDROOM SIDE , CARPET IN MASTER BEDROOM AND CARPET IN GUEST BEDROOM TO EXPOSE WOOD FLOOR.	
15-2325	06/15/2015	7,500	100 AMP CIRCUIT PANEL, OUTLETS, KITCHEN AND LIBRARY FIXTURES, HARD-WIRE SMOKE DETECTORS. ( FULL DESCRIPTION ATTACHED TO PLANS)	
15-2274	06/15/2015	3,500	INSTALLATION OF ROUGH PLUMBUNG: FOR WET BAR IN FLORIDA ROOM, IN KITCHEN FOR SINK, FOR POT FILLER OVER KITCHEN STOVE, CLAW FOOT TUB WAS REMOVED. REMOVE AND REPLACE TOILET IN LOWER BATHROOM. REMOVAL OF VANITY IN MASTER BATH.	
15-2324	06/15/2015	55,000	INTERIOR RENOVATION : KITCHEN, WET BAR, LIBRARY, STUDY, M/B, MASTER BATH, UPPER BEDROOM, UPPER COMMON ROOM AND STAIRWAY. ATTACHMENT TO PLANS HAS FULL SCOPE.	
B941241	04/01/1994	12/01/1994	900	REPLACE SIDING & PAINT
0104049	01/02/2002	09/04/2002	10,000	CENTRAL AC
01-4076	01/04/2002	09/04/2002	20,000	MASTER BEDRM & BATH
02-0301	02/08/2002	09/04/2002	16,700	POOL
02-0512	03/01/2002	09/04/2002	15,000	RENOVATIONS
03-2104	06/13/2003	09/15/2003	18,000	METAL SHINGLE ROOF
03-2112	06/13/2003	09/15/2003	800	PORCH ROOF
04-0745	03/11/2004	09/29/2004	2,400	INTERIOR REPAIRS

### Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2015	354,195	18,389	679,983	1,052,567	758,397	25,000	733,397
2014	340,390	17,103	685,897	1,043,390	752,378	25,000	727,378
2013	348,400	17,488	573,537	939,425	741,259	25,000	716,259
2012	352,404	17,874	525,442	895,720	728,868	25,000	703,868
2011	352,404	18,259	598,257	968,920	707,639	25,000	682,639
2010	358,681	18,646	319,854	697,181	697,181	25,000	672,181
2009	403,012	19,031	486,178	908,221	908,221	25,000	883,221
2008	374,427	19,417	602,823	996,667	996,667	25,000	971,667
2007	529,834	16,711	459,867	1,006,412	1,006,412	25,000	981,412
2006	964,442	17,045	327,247	1,308,734	1,256,098	25,500	1,230,598
2005	909,331	17,382	292,800	1,219,513	1,219,513	25,500	1,194,013
2004	488,187	17,745	241,129	747,061	747,061	747,061	0

2003	468,321	18,116	124,180	610,617	610,617	610,617	0
2002	497,317	3,410	106,440	607,167	607,167	607,167	0
2001	432,834	3,454	105,000	541,288	250,655	25,000	225,655
2000	445,564	3,805	66,500	515,869	242,100	25,000	217,100
1999	376,820	3,294	66,500	446,614	228,495	25,000	203,495
1998	241,862	2,451	66,500	310,813	208,157	25,000	183,157
1997	219,363	2,322	59,500	281,186	201,501	25,000	176,501
1996	144,635	1,686	59,500	205,821	186,900	25,000	161,900
1995	131,779	1,598	59,500	192,876	181,312	25,000	156,312
1994	113,879	1,484	59,500	174,863	174,863	25,000	149,863
1993	113,879	1,548	59,500	174,926	174,926	25,000	149,926
1992	114,225	1,624	59,500	175,349	175,349	25,000	150,349
1991	114,225	1,698	59,500	175,424	175,424	25,000	150,424
1990	113,408	1,782	46,375	161,565	161,565	25,000	136,565
1989	61,783	1,505	45,500	108,788	108,788	25,000	83,788
1988	50,661	1,134	40,250	92,045	92,045	25,000	67,045
1987	39,895	0	23,975	63,870	63,870	25,000	38,870
1986	40,082	0	23,100	63,182	63,182	25,000	38,182
1985	39,021	0	14,245	53,266	53,266	25,000	28,266
1984	36,781	0	14,245	51,026	51,026	25,000	26,026
1983	36,781	0	14,245	51,026	51,026	25,000	26,026
1982	37,425	0	14,245	51,670	51,670	25,000	26,670

## Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
3/25/2015	2731 / 1383	1,300,000	<u>WD</u>	<u>02</u>
3/11/2004	1987 / 1343	1,325,000	<u>WD</u>	<u>Q</u>
11/30/2001	1747 / 2095	625,000	<u>WD</u>	<u>O</u>

This page has been visited 388,611 times.

Monroe County Property Appraiser  
 Scott P. Russell, CFA  
 P.O. Box 1176 Key West, FL 33041-1176