



**THE CITY OF KEY WEST**  
3140 Flagler St,  
Key West, Florida 33040

**ADDENDUM #4**  
**Public Transit Facility**  
**Request for Proposal: 001-13**  
**2 November 2012**

This Addendum is issued as supplemental information to the bid package for clarification of certain matters of both a general and a technical nature. The referenced bid package is amended in accordance with the following items:

- See attached Questions and Clarifications (Addendum #4)
- See attached SWTE as-builts

All Bidders shall acknowledge receipt and acceptance of this Addendum No 4 by acknowledging Addendum in their proposal or by submitting the addendum with the bid package. Bids submitted without acknowledgement or without this Addendum may be considered non-responsive

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Name Of Business

**CITY OF KEY WEST**  
**Public Transportation Facility Project**  
**Addendum No. 4**  
**November 2, 2012**

**CLARIFICATIONS**

- Air compressor shall be screw-type compressor. Size shall be 60 CFM @ 150 psi.

**QUESTIONS**

**Q1. Incinerator stack and other drawings** - CH2MHill Drawing D-02 Legend Note 6 for incinerator stack refers to drawing SC4. Notes in lower left hand section of D-02 (note 4 and 5) refer to drawings CE 1-3, SC and S drawings. None of these were issued with the RFP documents. Please provide.

*A. All as-built drawings are included in Addendum No. 4.*

**Q2. Server/Telephone room cooling** requirements - the electronic equipment to be housed in the Server/Telephone room is not described in detail. Typically, cooling for this type of equipment can be critical to maintaining function. Please provide a list of the equipment located in the Server/Telephone room and the BTU load for each item.

*A. The City has a VOIP telephone system that is housed at a different facility. One server and one switch will be located in the server/telephone room.*

**Q3.** Section 6.3.3.10 provides a specification as to the quality and type of casework (millwork) to be installed on the project; however, no reference in the bid package is made as to the extent of millwork to be installed. Can a millwork schedule or description of desired millwork furnishings be provided so that pricing may be incorporated into our proposal?

*A. Description is provided in aforementioned section; conceptual minimum extent is as follows:*

- 1. Break Rooms upper and base cabinets as shown in plan,*
- 2. Fare Box Cannister Room base cabinets as shown in plan,*
- 3. Parts Room full height cabinets as shown in plan,*
- 4. Mech Rec/Manuals/Comp Station work surface counter along south and west walls with minimum 3 double-door base cabinets dispersed along length with intermittent knee space,*
- 5. Dispatcher work surface counter along east and approximately two-thirds of south wall with minimum 3 double-door base cabinets dispersed along length*

*with intermittent knee space,*

6. *Ops Report Room work surface counter along west and south walls and along approximately two-thirds of east and north walls with minimum 4 base cabinets dispersed throughout with intermittent knee space.*

**Q4.** According to Addendum 2, the vehicle lifts are being provided by the city. Can you provide the number of units, manufacturer and model number(s) for the existing lifts?

- A. *Number of units was provided in Addendum No. 3. Manufacturer should be Rotary Lift or approved equal. Minimum bay floor thickness shall be 6.0 inches (surface mount model).*

**Q5.** Is there a small/local business participation requirement for this project?

- A. *There is no small/local business participation requirement, but per FTA Form 28 located in Appendix H, there is a national goal for participation of Disadvantaged Business Enterprises (DBE) of 10%.*

**Q6.** Please clarify whether the whole site will require 2 feet of clean fill as stated in section 6.2.2 of the Design Criteria or whether only the building foot prints will require the 2 feet of fill while the parking lot areas require 1 foot of fill as stated in the Geotechnical Report.

- A. *The whole site requires 2 feet of clean fill as stated in section 6.2.2 of the Design Criteria.*

**Q7.** Section 6.2.2 of the Design Criteria states that “Existing fire pump should be evaluated for reuse, but the Design-Builder is ultimately responsible for meeting fire flow requirements” – is this fire pump currently functioning, and if so, what is the flow capacity?

- A. *It is functional. We provided the pump information in Addendum No. 3.*

**Q8.** Proposed utility plan number C-03 has a note stating “Connect to existing sanitary sewer force main +/- 600 LF”. Please clarify the extent of this work either by drawings or other means to depict any obstructions or site conditions that should be taken into account that may affect the work.

- A. *The current facility utilizes a septic system for sanitary sewer disposal which will be disconnected and demolished. Key West Resort Utilities (KWRU) currently provides wastewater collection and treatment services within the area of the proposed development and has been contacted regarding the intent to connect to their wastewater collection system to service the proposed Public Transportation Facility development.*

*The work will be primarily along College Road. There is an **impact fee** that the Design/Builder will be responsible to pay. Please contact KWRU for impact fees.*

**Q9.** The RFP specified that the design-builder is to provide security, cctv and card access systems. Will these systems function on a stand-alone basis, or will they be tied-in to an existing City system?

*A. It should be a stand-alone system.*

**Q10.** No windows are shown in the first or second floor plans, but the elevations show what appear to be numerous windows. Please confirm that it is the City's intent is to have windows at the corresponding spaces, as shown in the building elevations.

*A. Windows are required at the corresponding spaces as shown in elevation.*

**Q11.** The floor plan for the second floor shows a Loggia with a cross-hatch pattern. Is this space intended to be an outdoor covered area, or as shown in the South Elevation, and enclosed, conditioned space with windows?

*A. The Loggia is an outdoor covered area (windows shown in the South Elevation are half-toned, indicating they and French doors to the Loggia are seen beyond.)*

**Q12.** No fenestrations are shown in plan or elevation at the Break Room, Common Work Room, Server Rm or Training Rooms. Please confirm that these spaces are not to have windows/openings.

*A. Windows are required at the corresponding spaces as shown in elevation and in each Break Room (1st & 2nd Floor.) (The Fare Box Room also requires a Transaction window, as shown in plan.)*

**Q13.** Demolition plans call out for the relocation of existing trees. Landscape plans do not show location of relocated trees. Please indicate location of existing trees to remain.

*A. Trees to be relocated within the project site. Refer to Sheet LD-100 for locations.*

**Q14.** Plans and RFP do not indicate if irrigation system is to be connected to an irrigation well, or City water. Please indicate source and location of irrigation water.

*A. Irrigation system is not required. Please refer to Section 6.2.9.*

**Q15.** Sheet LD-101 indicates a "Typical Roadway Buffer" with planting specification. This does not appear to match the planting shown on Sheet LD-100. Please indicate if we are

to follow the planting shown in plan, or if we are expected to provide the planting indicated in the detail.

A. *Design/Builder to follow the planting shown on plan.*

**Q16.** Is a survey of the site available? If not, will one be provided?

A. *Design/Builder will be responsible for site survey.*

**Q17.** The heights indicated on the elevation drawings do not match the written information of section 6 of the RFP. Please indicate which design heights we are to follow.

A. *Use design heights indicated on conceptual drawings.*

**Q18.** Are building sections available?

A. *Building sections are not available.*

**Q19.** Are conceptual mechanical, electrical, plumbing and fire protection drawings available?

A. *No. These drawings are not available.*

**Q20.** Does the City have requirements for finish hardware and master keying?

A. *Information will be provided on a future date.*

**Q21.** Please provide additional information for the Bus Wash for design and pricing purposes. We are in need of the following:

a. How many busses will be washed per day?

*Four (4) buses per day.*

b. How many busses does the City own?

*The facility will hold (20) buses. Currently, Transit fleet consist of (14) 30' buses (Seven - 2001 Gillig Models & Seven - 2003 Gillig Models) and two (2) 35' buses (2008 Gillig buses) .*

c. What is the length of the typical bus to be washed?

*See information in Part b.*

**Q22.** Shall the bus wash contain an incorporated water reclamation system?

A. *Yes, the bus wash system shall have a Reclaim Water System.*

- Q23. Bus Wash, Fuel Storage & General Site Sustainability Goals** -RFP 1.1.8 page 103 indicates "the facility will be designed and constructed to qualify for Certification under LEED 2009". On sites with multiple buildings, it is possible to exclude some from LEED consideration if planning is done accordingly. Please advise if the term "facility" is intended to refer to the Administration/Maintenance building only, or if the Bus Wash, Fuel Storage, and general site are intended to comply with LEED 2009.
- A. *"Facility" is inclusive of all the buildings on the site (e.g. Administration/Maintenance building, bus wash, etc.)*
- Q24. Vehicle lift pits** - Addendum 2, Q17 response indicates that vehicle lifts are not the responsibility of the D/B. Chen Moore floor plan for First Level shows two rectangles - one at a Repair Bay and one at a Tire Bay. There is a concern that sunken pits may be required at these locations for vehicle lifts, or that the rectangles are significant in some way. Please advise
- A. *Please see answer to Question No. 4. The rectangles in the conceptual plan represent bus dimensions. Sunken pits are not required.*
- Q25.** Location of existing sewer facilities that the project will connect to
- A. *Please refer to Sheet C-03. It is located 600' along College Road.*
- Q26.** Is there a route survey for the sewer force main from the site to the point of connection. If not do we provide a budget number for the survey
- A. *There is no survey. Design/Builder will be responsible for it.*
- Q27.** Do we provide a budget number for the permit and processing fees
- A. *Design/Builder will be responsible for permit and processing fees. Please refer to Section 3.2.*
- Q28.** Which grading and drainage plan do we go by (there are three versions attached to the RFQ)
- A. *For grading, please refer to Addendum No. 3, Question No. 40. For drainage, Sheet C-02 in Appendix A dated October 2011. Design/Builder should coordinate any warranted modifications to the SFWMD Permit.*
- Q29.** Do we provide fencing around the retention areas as the grading plan reflects a three foot drop from proposed grade to the bottom of the retention area
- A. *Design/Builder will be responsible to finalize construction documents to meet code*

*requirements. The City would rather not have a fence around the retention areas.*

**Q30.** Do we provide a support (i.e. 1' to 2' layer of limerock) as a support for the utilities (water, sewer, drainage) that will installed under the 2' cap that will be placed over the existing landfill.

*A. Please refer to Design Criteria Section 5.2.5.9, and 5.4.13.2.*

**Q31.** What will the sewer flow generated by the site be based on so the pump station can be sized

*B. Design/Builder is ultimately responsible for calculating sewer flow and sizing lift station pumps.*

**Q32.** Does the water main need to be looped thru the site and does each bldg. require a sprinkler system for fire protection

*A. Water main needs to be looped as shown on the plans. Design/Builder is responsible to determine sprinkler system requirements.*

**THIS IS A FORMAL ADDENDUM THAT HAS TO BE ACKNOWLEDGED IN THE BID ADDENDA ACKNOWLEDGEMENT FORM. IF A BIDDER FAILS TO ACKNOWLEDGE RECEIPT OF THIS ADDENDUM AS PART OF ITS BID SUBMISSION, THE CITY RESERVES THE RIGHT TO REQUEST, AND THE BIDDER MUST COMPLY WITHIN TWO (2) BUSINESS DAYS AFTER RECEIPT OF WRITTEN REQUEST FROM THE CITY.**











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1000 JOURNAL OF CLIMATE



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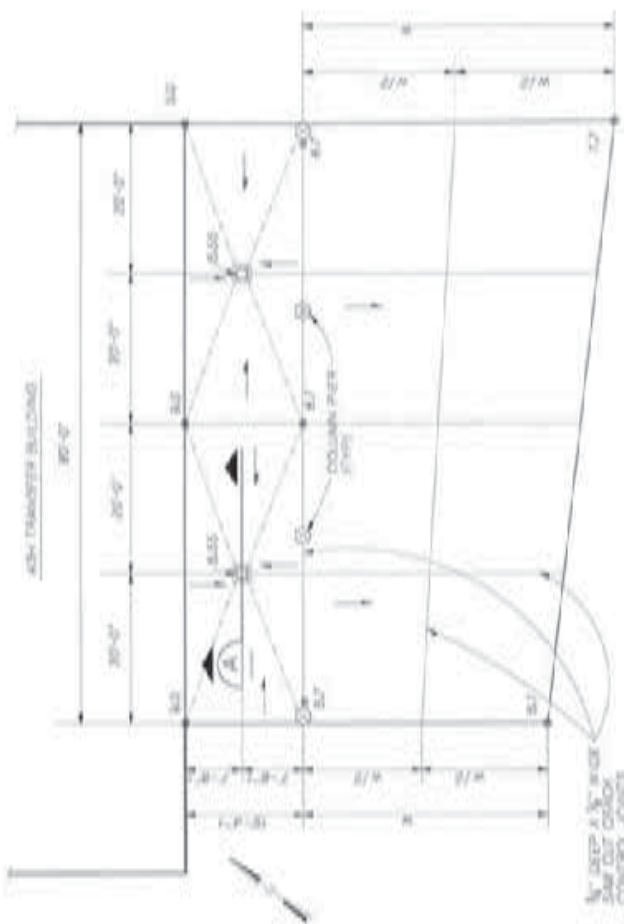




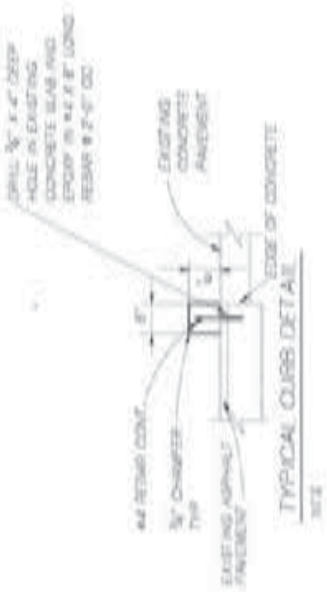
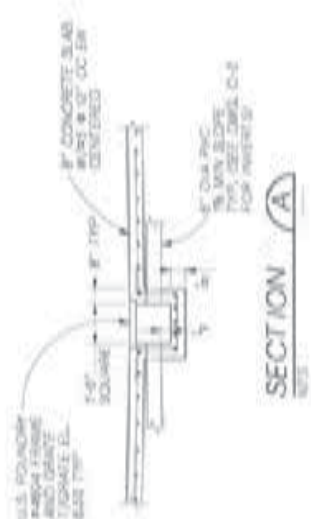




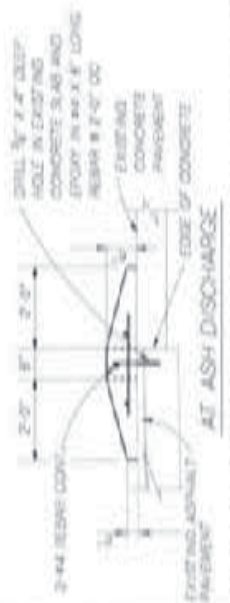




### CONCRETE PAVEMENT PLAN



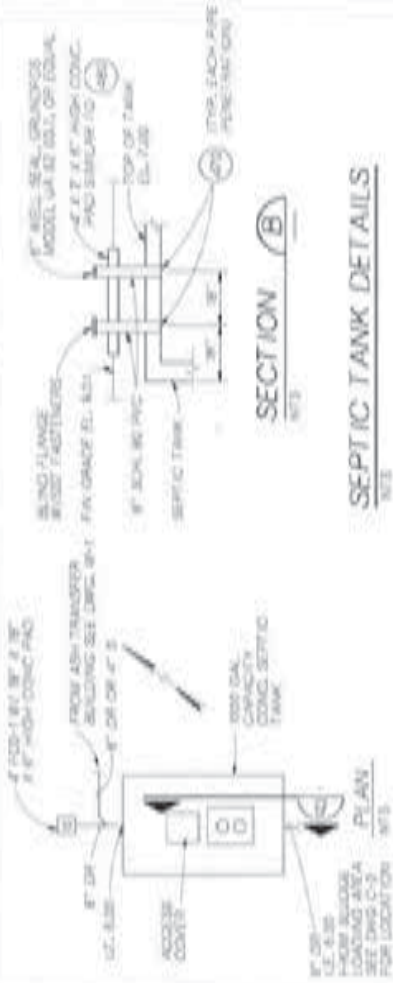
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INCINERATOR BUILDING CURB DETAIL

CONCRETE CURB  
DETAIL



SECTION B

SEPTIC TANK DETAILS

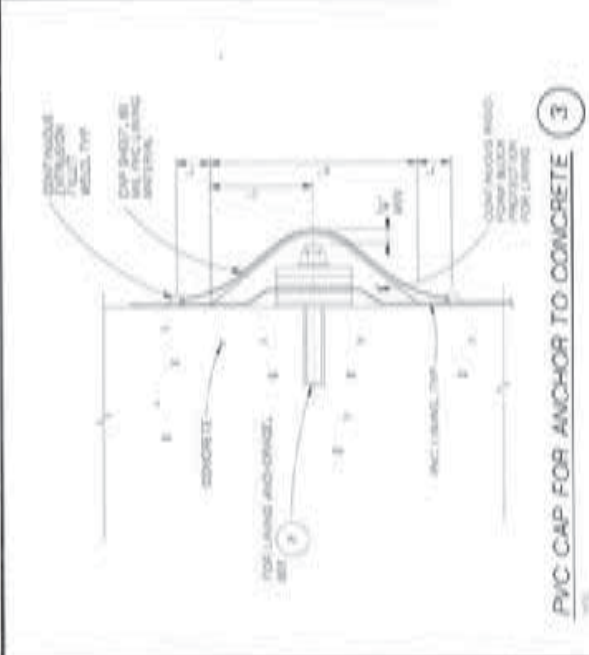
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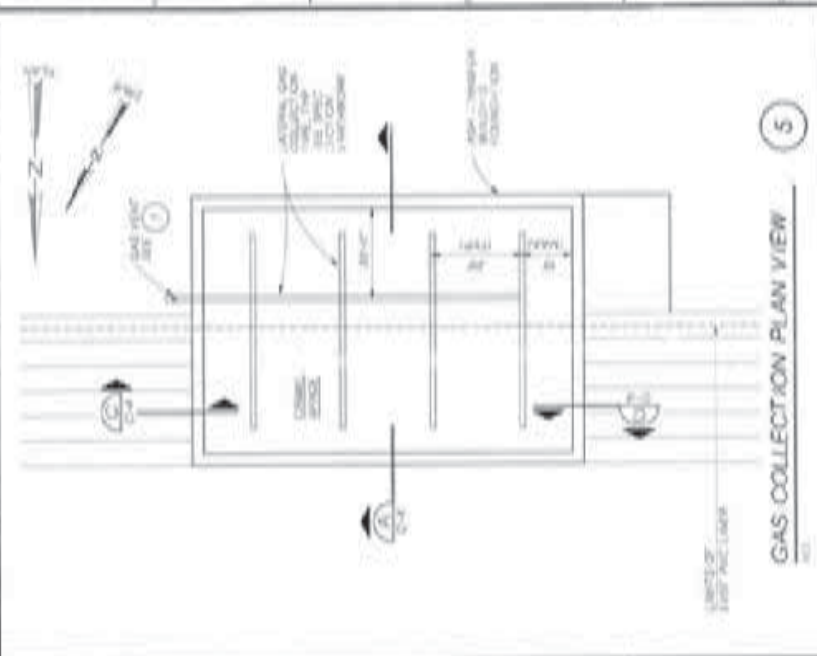




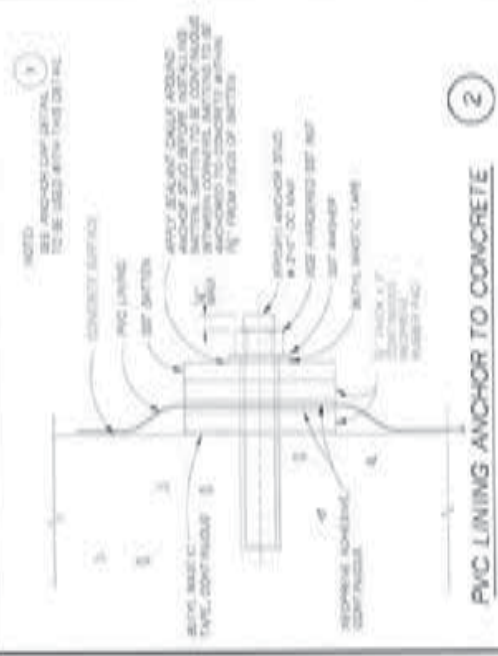
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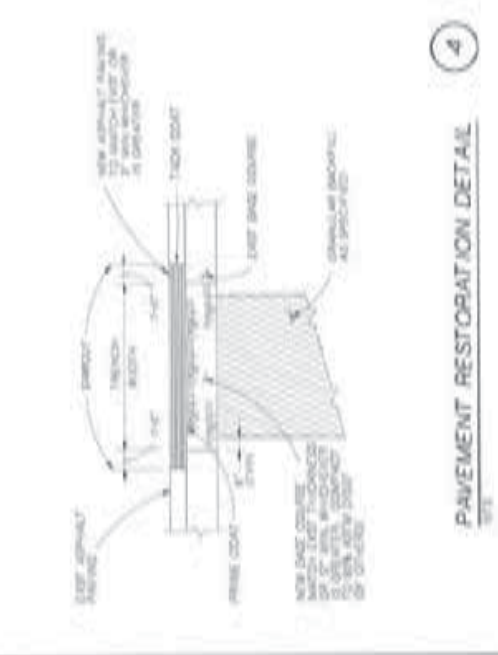
**PVC CAP FOR ANCHOR TO CONCRETE**  
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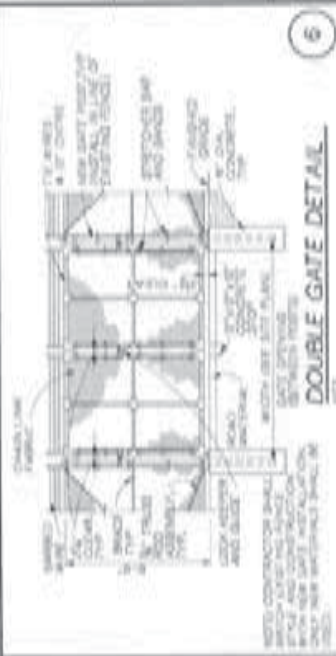
**GAS COLLECTION PLAN VIEW**  
5



**PVC LINING ANCHOR TO CONCRETE**  
2



**PAVEMENT RESTORATION DETAIL**  
4



**DOUBLE GATE DETAIL**  
6

<p>REVISION OF DOCUMENTS</p> <p>NO. 1</p> <p>DATE</p> <p>BY</p> <p>CHKD</p>		<p>NO. 2</p> <p>DATE</p> <p>BY</p> <p>CHKD</p>		<p>NO. 3</p> <p>DATE</p> <p>BY</p> <p>CHKD</p>		<p>NO. 4</p> <p>DATE</p> <p>BY</p> <p>CHKD</p>		<p>NO. 5</p> <p>DATE</p> <p>BY</p> <p>CHKD</p>		<p>NO. 6</p> <p>DATE</p> <p>BY</p> <p>CHKD</p>	
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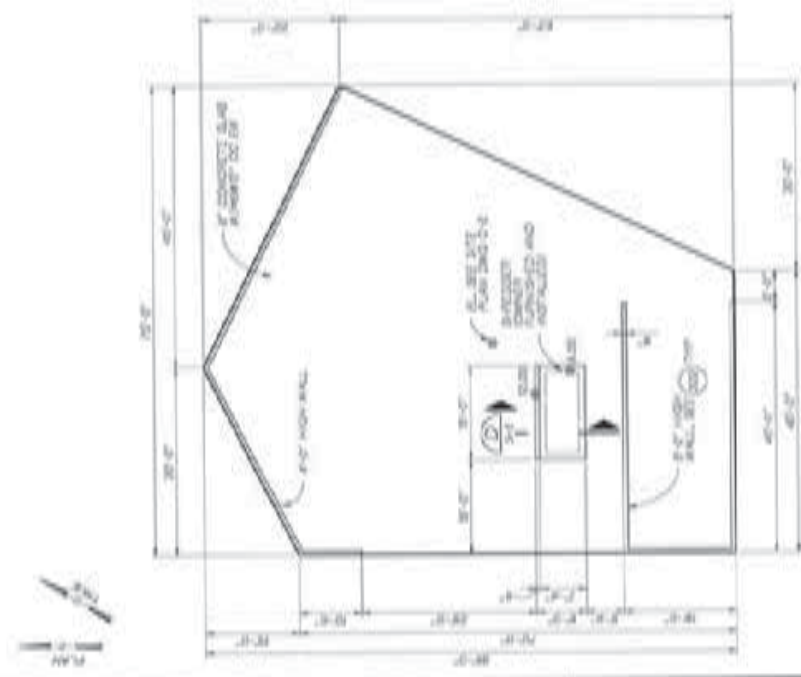
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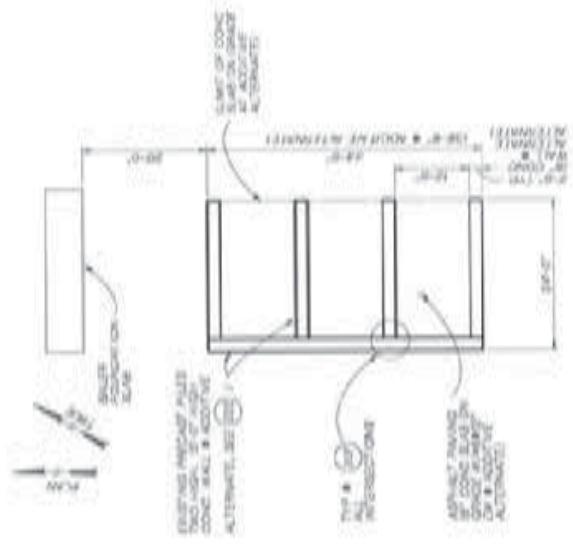
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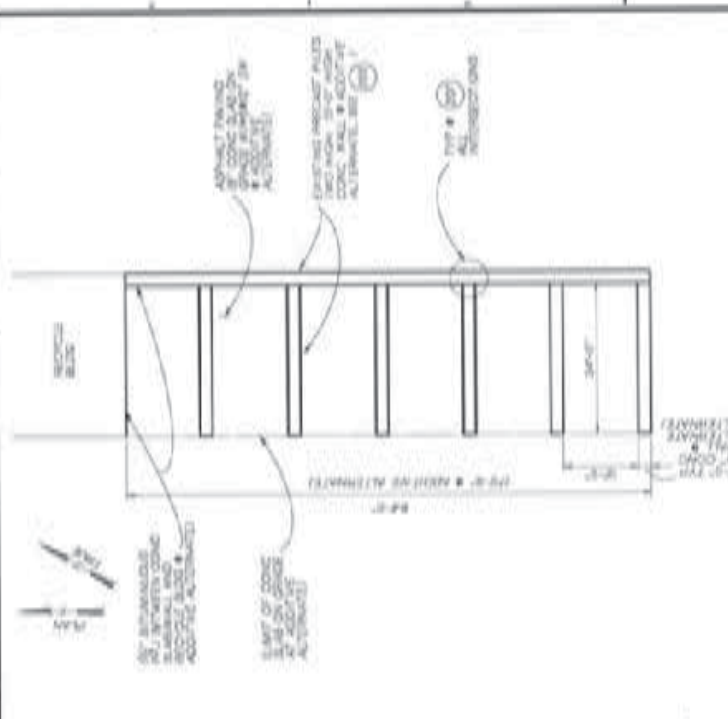
SHREDDER AREA PLAN  
F-152



SHREDDER AREA PLAN  
F-152



NOTE: SEE NOTES & GLASS RECYCLE BINS  
METAL RECYCLE BINS PLAN  
F-152



- NOTES:
1. EXISTING IMPACT PILES TWO (2) 12" DIA. 10' DEEP. SEE NOTES & GLASS RECYCLE BINS PLAN FOR DETAILS.
  2. EXISTING IMPACT PILES TWO (2) 12" DIA. 10' DEEP. SEE NOTES & GLASS RECYCLE BINS PLAN FOR DETAILS.
  3. EXISTING IMPACT PILES TWO (2) 12" DIA. 10' DEEP. SEE NOTES & GLASS RECYCLE BINS PLAN FOR DETAILS.

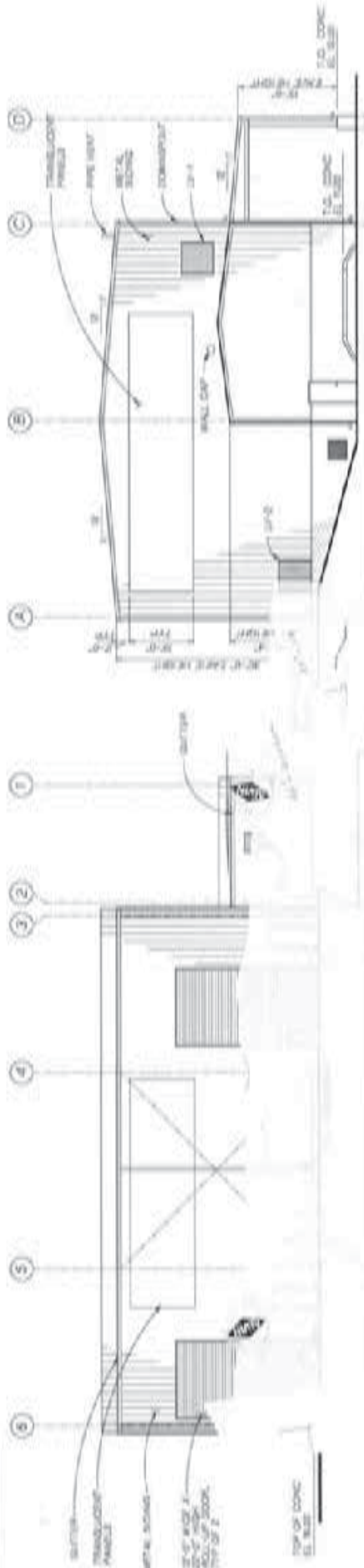
GLASS RECYCLE BINS PLAN  
F-152

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WEST ELEVATION



EAST ELEVATION

It's with a sinking glow, the  
light of day  
falling down  
across the lake.

**SOCIETY**

100

10

FUNCTIONAL  
ASH TRANSFER  
BUILDING / ELEVATIONS

AND TRAINER FACILITY  
THURSDAY EVENING 10:00  
STOCK MARKET (LIVE)

1




U. S. Coast Guard  
U. S. Navy



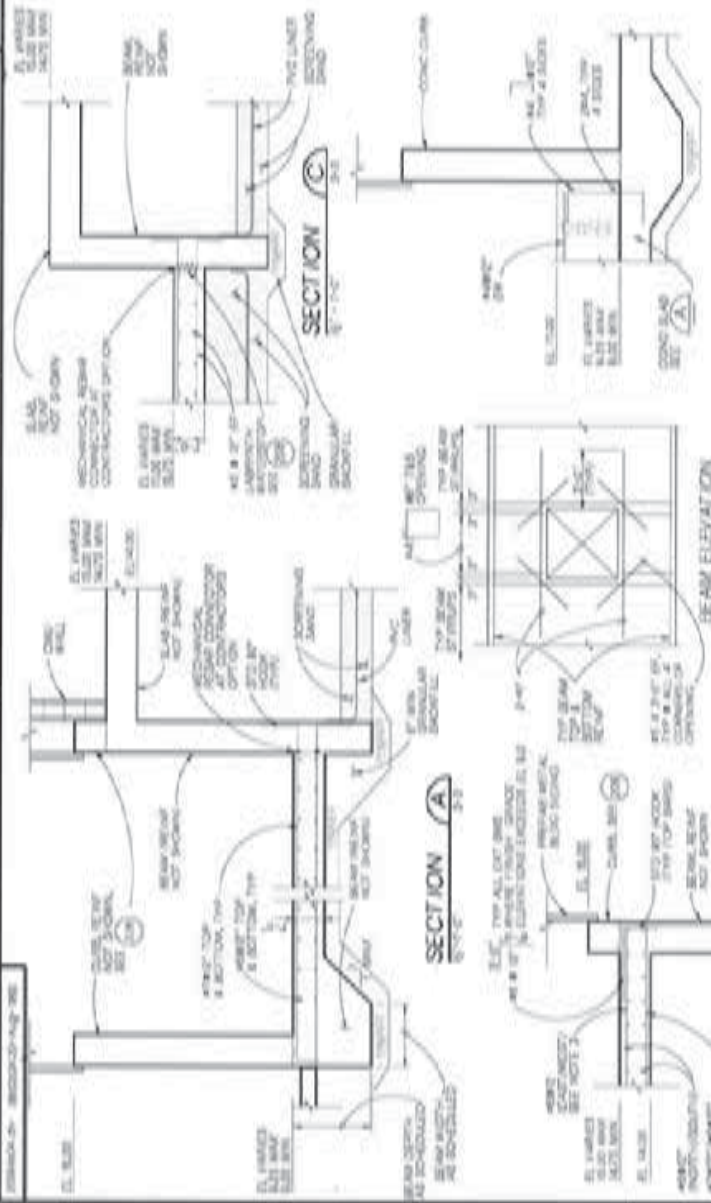
Source: *Survey of the U.S. Economy*, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676



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RANK IN 2010 NBA SENIOR CLASS	AGE		TOP RANK AT LEFT ALONG		BOTTOM RANK		TOP RANK AT RIGHT ALONG		2010 RANK		
	#	D	T	HC	HC	T	HC	T	HC	NO. SEAS.	BRONCO LEAD LEFT ALONG
1	54	30	—	3-43	3-43	3-43	3-43	3-43	3-43	3-43	3-43
2	54	30	302 300-1	2-43	2-43	302 300-1	2-43	2-43	2-43	3-43	3-43
3	54	30	302 300-2	2-43	2-43	302 300-2	2-43	2-43	2-43	3-43	3-43
4	54	30	—	2-43	2-43	2-43	2-43	2-43	2-43	3-43	3-43
5	54	30	302 300-4	4-43	4-43	—	—	—	—	2-43	3-43
6	54	30	—	2-43	2-43	3-43	3-43	3-43	3-43	3-43	3-43
7	54	30	—	2-43	2-43	4-43	4-43	3-43	3-43	3-43	3-43
8	54	30	302 300-6	4-43	4-43	2-43	2-43	2-43	2-43	3-43	3-43
9	54	30	2-43	2-43	2-43	2-43	2-43	—	—	3-43	3-43
10	54	30	—	2-43	2-43	2-43	2-43	—	—	3-43	3-43
11	54	30	—	2-43	3-43	3-43	3-43	—	—	3-43	3-43
12	54	30	—	2-43	4-43	4-43	4-43	—	—	3-43	3-43
13	54	30	—	2-43	2-43	2-43	2-43	—	—	3-43	3-43
14	54	30	302 300-14	2-43	2-43	—	—	—	—	3-43	3-43
15	54	30	302 300-15	2-43	2-43	—	—	—	—	3-43	3-43
16	54	30	302 300-16	2-43	2-43	—	—	—	—	3-43	3-43
17	54	30	302 300-17	2-43	2-43	—	—	—	—	3-43	3-43
18	54	30	302 300-18	2-43	2-43	—	—	—	—	3-43	3-43
19	54	30	302 300-19	2-43	2-43	—	—	—	—	3-43	3-43
20	54	30	302 300-20	2-43	2-43	—	—	—	—	3-43	3-43
21	54	30	—	2-43	2-43	—	—	—	—	3-43	3-43
22	54	30	302 300-22	2-43	2-43	—	—	—	—	3-43	3-43
23	54	30	302 300-23	2-43	2-43	—	—	—	—	3-43	3-43
24	54	30	—	2-43	2-43	—	—	—	—	3-43	3-43
25	54	30	—	2-43	2-43	—	—	—	—	3-43	3-43

1. LEFT SIDEWALK IS DEMARSHED BY THE SURFACE COLORED TO THE LEFT SIDE OF SHEET ON WHICH THE PLASTER PLAN IS DRAWN, UNLESS NOTED OTHERWISE ON PLAN.
2. PLANT ROOMS, STAIRS, BASES, BOTTOM REINFORCING DIRECTLY BELOW EAST/WEST BRIDGE PLANT ROOM REINFORCING WHERE BRIDGE INTERSECT AND THE SAME DIRECTION.
3. PLACE ADDITIONAL BRIDGE TOP REINFORCING DIRECTLY ABOVE EAST/WEST BRIDGE TOP REINFORCING WHERE BRIDGE INTERSECT.
4. EXTEND TO 4 IN. REINFORCING TO THE PLANT PLASTER AND TERMINATE BRIDGE WITH PLANT ROOM AT EAST END BRIDGE.
5. FOR BRIDGE DETAILS SEE  3.
6. WHERE NEW DEPTH EXCEEDS 48", OPTIMAL CONTACT ON JOINT AT 6" INTERVALS IS TO BE

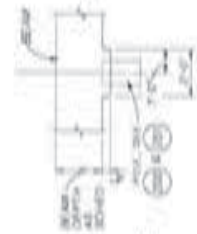
SECTION ION D

## DETAIL T



CORNER PLASTER

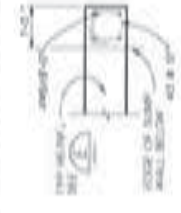
SIDEWALL PLASTER



DETAIL ③



1000



PLAN



DET

## SECTION 801.00

6. DO NOT INCREASE WEIGHT BEARING UNTIL ELASTICITY SLABS  
CONCRETE HAS REACHED SPECIFIED 28 DAY STRENGTH.

## DETAIL ②

**NOTE**

1. PROVIDE FULL WEIGHT SPACE BELOW
2. ALL FIVE STRUCTURAL ANALYSES MUST BE SUBMITTED

DETAIL 3

## SECTION (E)

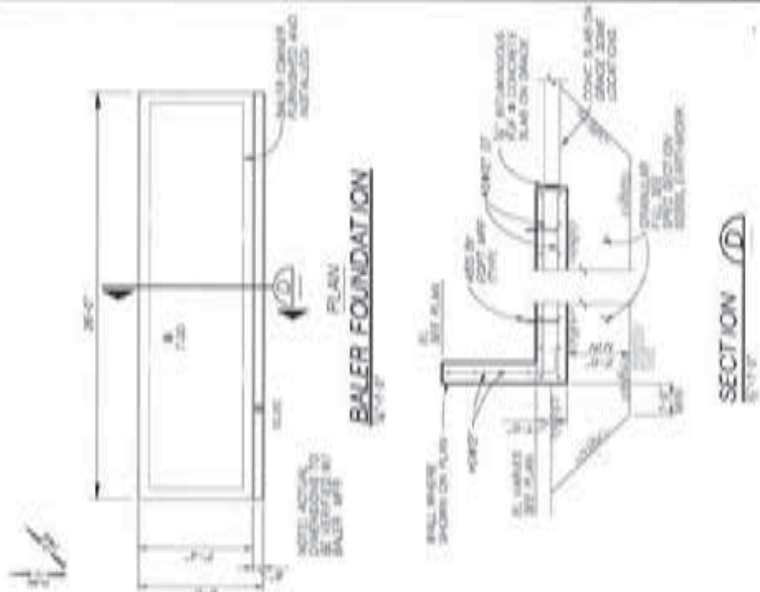
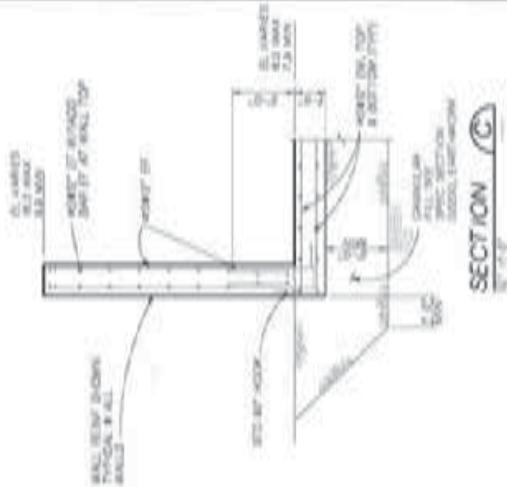
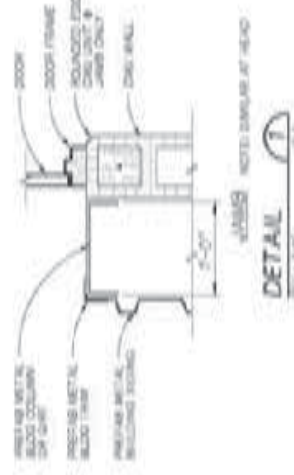
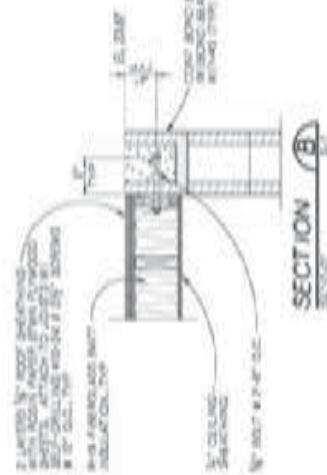
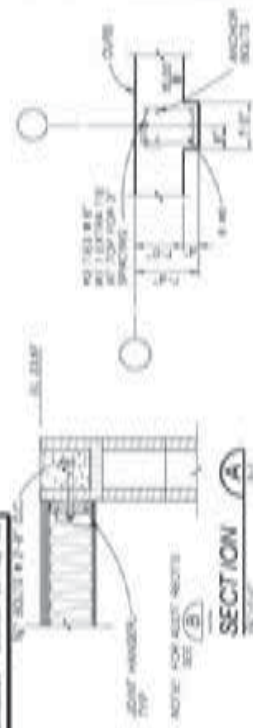
1530

PLAN  
DETAIL ④

100

DETAIL



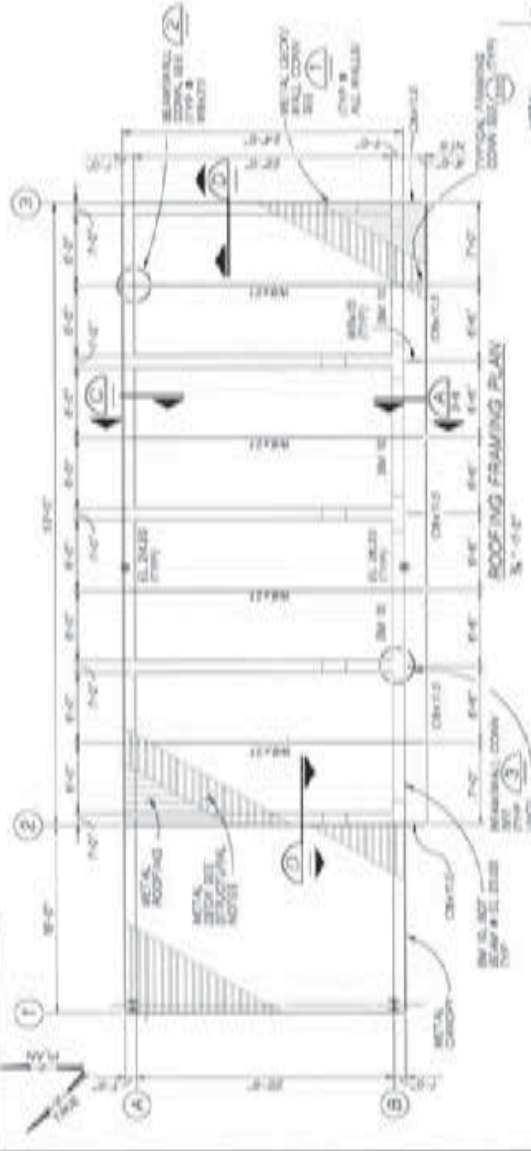


1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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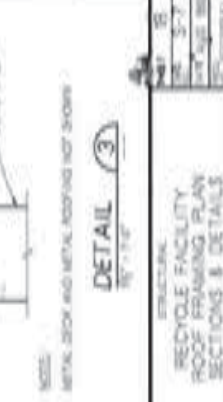
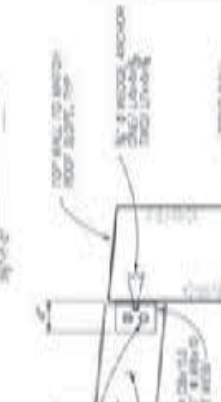
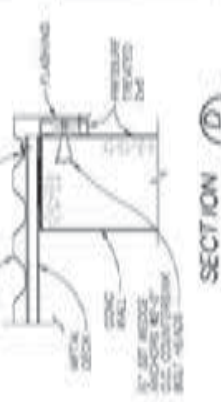
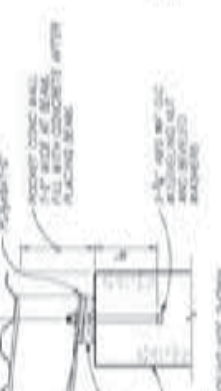
SECTION B - TRANSFER FACILITY



### BEAM SCHEDULE

BEAM NO.	SIZES	TOP-UP AT LEFT SUPPORT		BOTTOM AT LEFT SUPPORT		TOP-UP AT RIGHT SUPPORT		SPACING FROM LEFT SUPPORT
		#	D	#	D	#	D	
1	12	38	2-48	3-48	3-48	3-48	14-4	14-4
2	12	38	2-48	3-48	3-48	3-48	14-4	14-4
3	12	38	3-48	3-48	3-48	3-48	14-4	14-4
4	12	38	3-48	3-48	3-48	3-48	14-4	14-4
5	12	38	3-48	3-48	3-48	3-48	14-4	14-4
6	12	38	3-48	3-48	3-48	3-48	14-4	14-4
7	12	38	3-48	3-48	3-48	3-48	14-4	14-4
8	12	38	3-48	3-48	3-48	3-48	14-4	14-4
9	12	38	3-48	3-48	3-48	3-48	14-4	14-4
10	12	38	3-48	3-48	3-48	3-48	14-4	14-4

1. LEFT SUPPORT IS DETAIL 1 AS THE SUPPORT CLOSEST TO THE LEFT SIDE OF SECTION OF BEAM.
2. PURLIN SUPPORTS ARE BEAMS BOTTOM IS INDICATED DIRECTLY ABOVE END-USE BEAMS BOTTOM IS INDICATED BEAMS AND INTERIOR AND ARE THE SAME DETAIL.
3. PLACE NORTH-UP BEAMS TOP REINFORCING DIRECTLY UNDER EAST-WEST BEAMS TOP REINFORCING WHERE BEAMS INTERSECT.
4. FOR BEAM DETAILS SEE DETAIL 1.



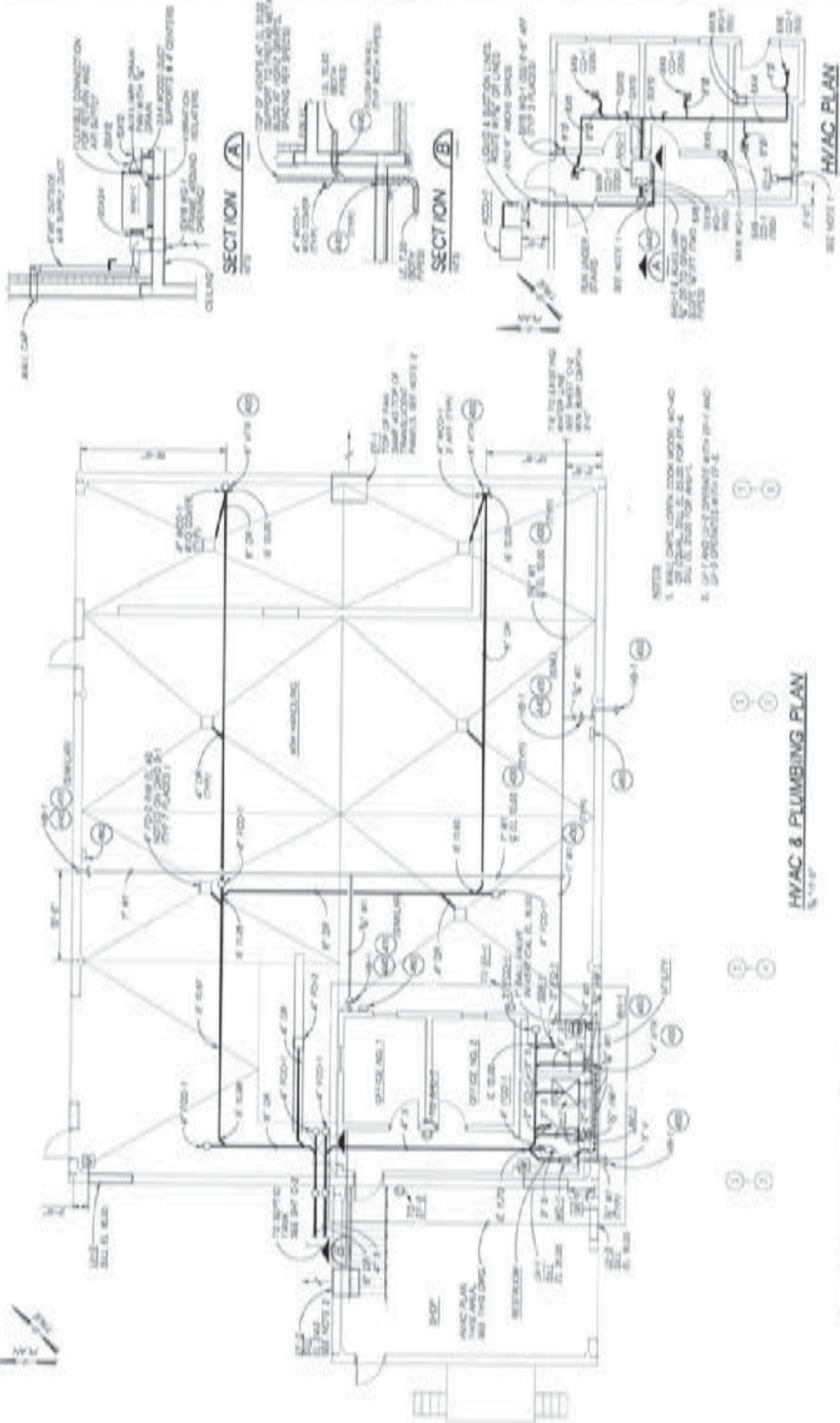












SECTION A

SECTION B

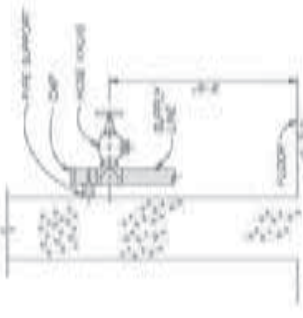
HVAC & PLUMBING PLAN

HVAC PLAN

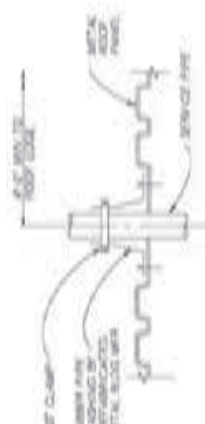
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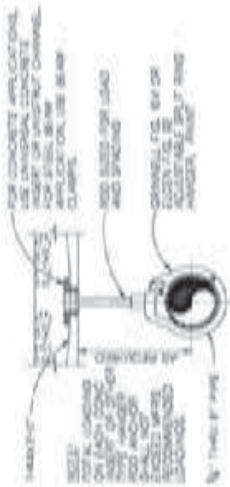
WALL HYDRANT



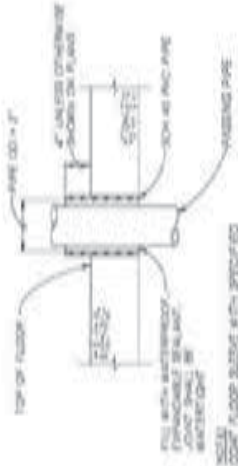
INTERIOR HOSE VALVE DETAIL



420  
ROOF PENETRATION DETAIL



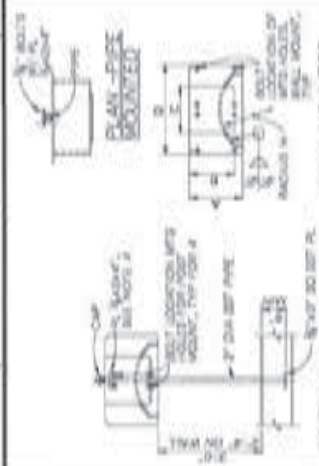
PIPE HANGER



FLOOR SLEEVE



### WATER HEATER DETAIL

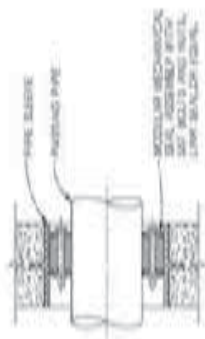


SECTION  
WALL MOUNTED

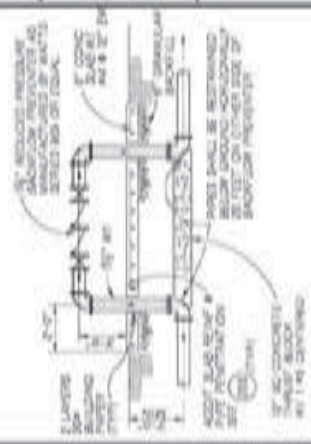
	Treatments in blocks					
	A	B	C	D	E	F
Block 1	1	2	3	4	5	6
Block 2	2	3	4	5	6	1
Block 3	3	4	5	6	1	2
Block 4	4	5	6	1	2	3
Block 5	5	6	1	2	3	4
Block 6	6	1	2	3	4	5

[illegible]

### HOSE PACK DETAILS



WALL PENETRATION  
SEAL DETAIL



REDUCED PRESSURE BACKFLOW  
PREVENTER DETAIL 480







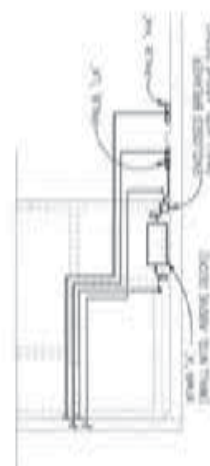
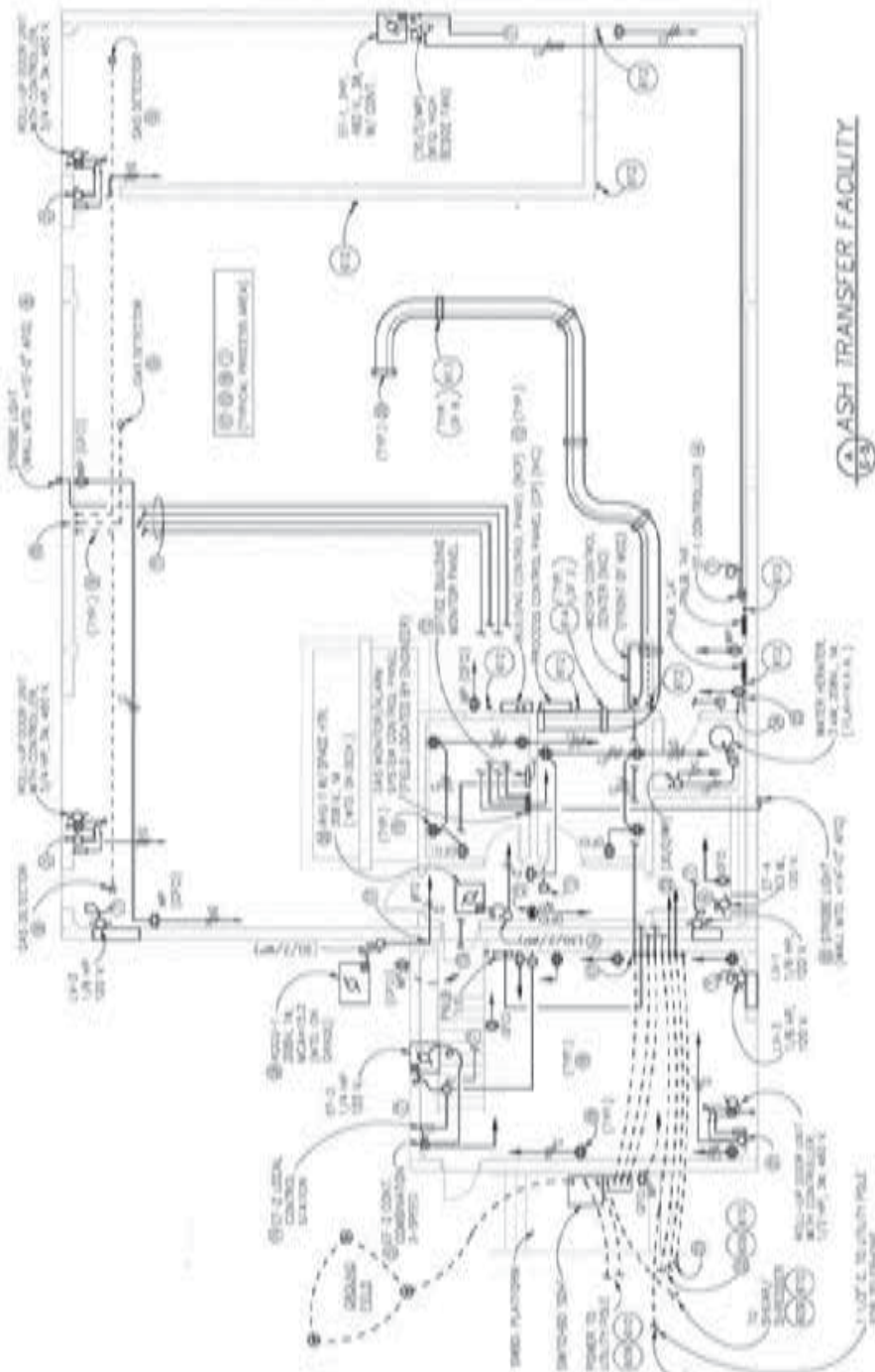












### DISTRIBUTION EQUIPMENT DETAIL

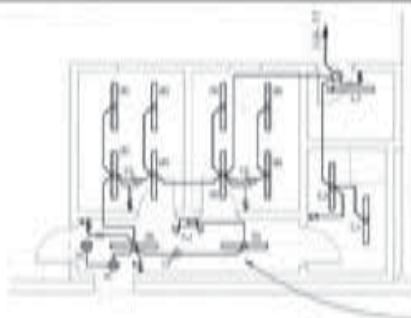
- NOTES:

- [illegible]

[illegible]

# PLAN NOTES:

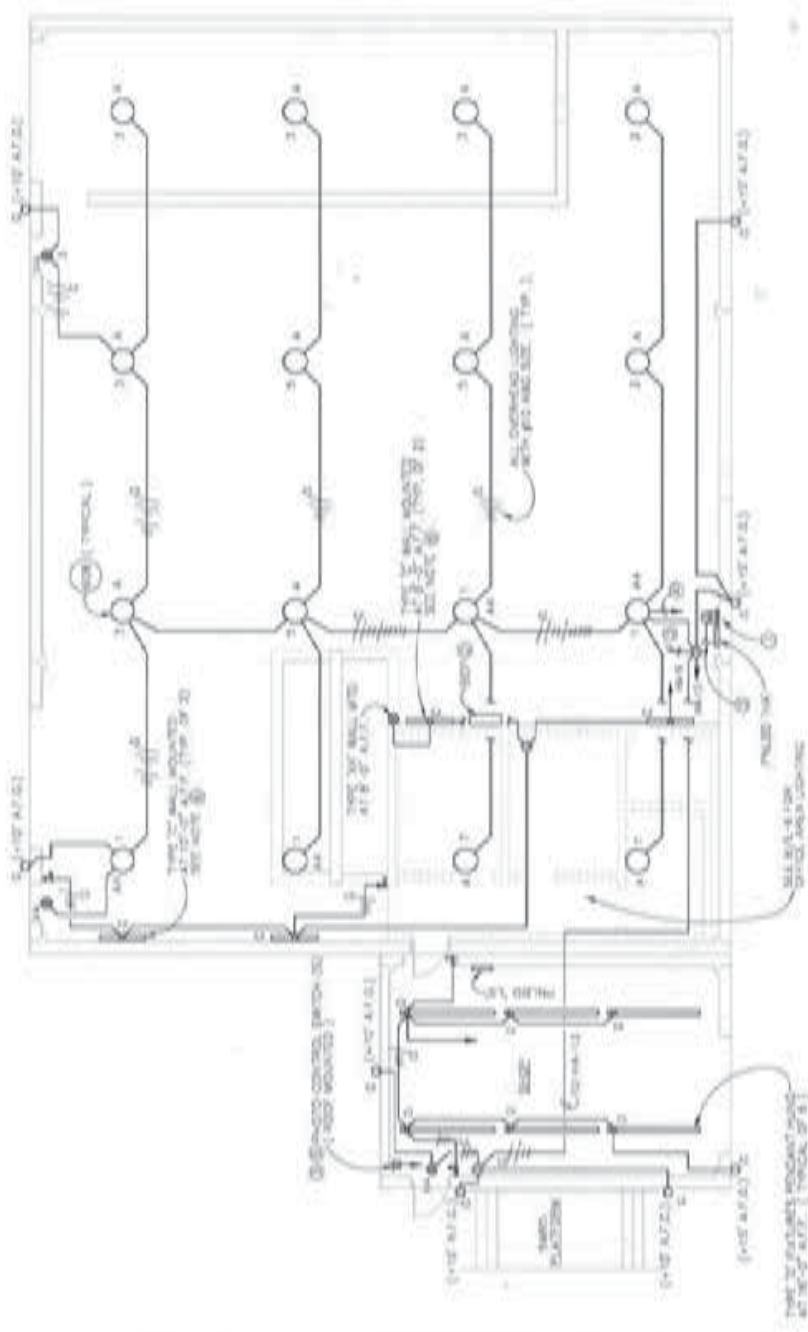
1. LIGHTING CONTROLS SHALL BE MOUNTED, EITHER TO WALLS (E-4) AND (E-5).
2. BUILDING CONTROLS, PAGES (B-1) THROUGH (B-4) CONTAIN A ROW OF 12 SWITCHES FOR THE FOLLOWING: 12-1 THROUGH 12-12. 12-1 THROUGH 12-4 ARE FOR THE BUILDING CONTROLS. 12-5 THROUGH 12-8 ARE FOR THE ALARM AREA. 12-9 THROUGH 12-12 ARE FOR THE SECURITY CONTROLS. 12-1 THROUGH 12-4 ARE FOR THE BUILDING CONTROLS. 12-5 THROUGH 12-8 ARE FOR THE ALARM AREA. 12-9 THROUGH 12-12 ARE FOR THE SECURITY CONTROLS.
3. CONTROL WIRING TO BOP AS REQUIRED.
4. ROUTE WIRING IN CONDUITS TO WALLS AND (E-4) AND (E-5).
5. PHOTO CONTROL SWITCHES MOUNTED IN ROOMS 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
6. TIME TO BE SET TO 12:00 A.M. AT THE TIME OF INSTALLATION.



## OFFICE AREA

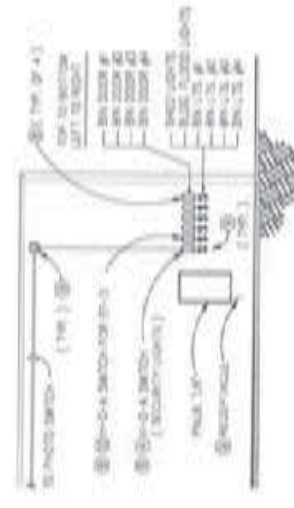
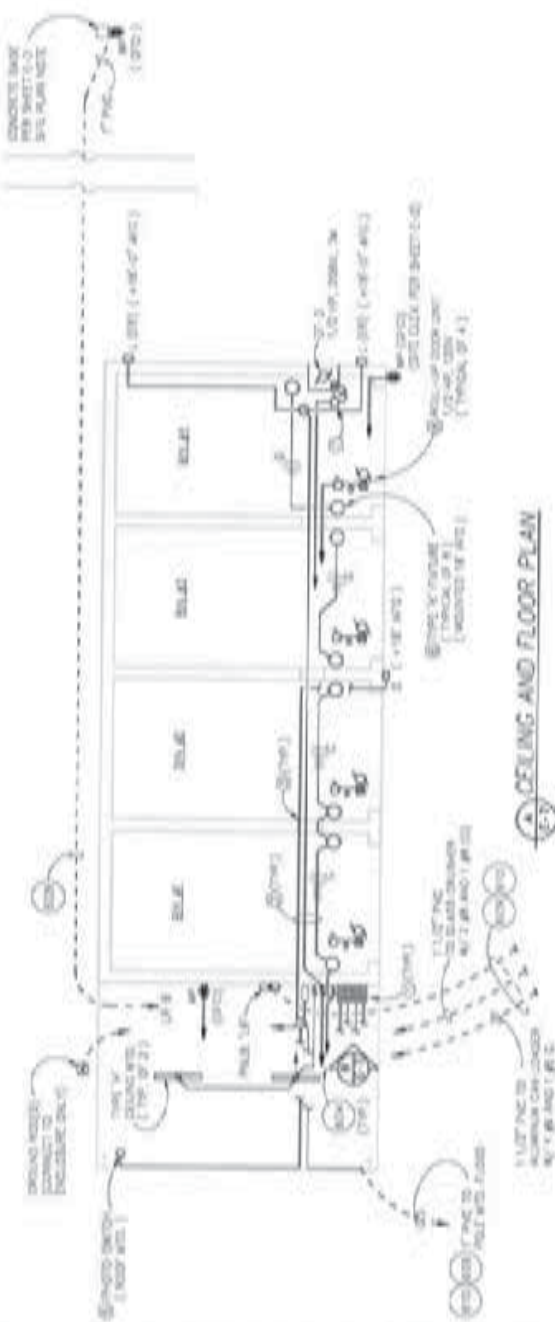


## BUILDING CONTROL PANEL (BCP)



## ASH TRANSFER FACILITY - REFLECTED CEILING PLAN

NO.	DATE	BY	CHKD.	REVISION	DESCRIPTION	REVISION	DATE	BY	CHKD.	REVISION	DESCRIPTION
1	10/1/88	J. L. JOHNSON			ASH TRANSFER FACILITY - REFLECTED CEILING PLAN						
2	10/1/88	J. L. JOHNSON			ASH TRANSFER FACILITY - REFLECTED CEILING PLAN						
3	10/1/88	J. L. JOHNSON			ASH TRANSFER FACILITY - REFLECTED CEILING PLAN						
4	10/1/88	J. L. JOHNSON			ASH TRANSFER FACILITY - REFLECTED CEILING PLAN						
5	10/1/88	J. L. JOHNSON			ASH TRANSFER FACILITY - REFLECTED CEILING PLAN						
6	10/1/88	J. L. JOHNSON			ASH TRANSFER FACILITY - REFLECTED CEILING PLAN						
7	10/1/88	J. L. JOHNSON			ASH TRANSFER FACILITY - REFLECTED CEILING PLAN						
8	10/1/88	J. L. JOHNSON			ASH TRANSFER FACILITY - REFLECTED CEILING PLAN						
9	10/1/88	J. L. JOHNSON			ASH TRANSFER FACILITY - REFLECTED CEILING PLAN						
10	10/1/88	J. L. JOHNSON			ASH TRANSFER FACILITY - REFLECTED CEILING PLAN						



- [illegible]

[illegible]



## GENERAL ELECTRICAL NOTES

[illegible]

## GENERAL ELECTRICAL NOTES

1. THE STUDENT WILL BE ABLE TO IDENTIFY THE DIFFERENT TYPES OF PLANTS AND ANIMALS THAT LIVE IN THE TROPICAL RAIN FOREST.
2. THE STUDENT WILL BE ABLE TO IDENTIFY THE DIFFERENT TYPES OF PLANTS AND ANIMALS THAT LIVE IN THE TROPICAL RAIN FOREST.
3. THE STUDENT WILL BE ABLE TO IDENTIFY THE DIFFERENT TYPES OF PLANTS AND ANIMALS THAT LIVE IN THE TROPICAL RAIN FOREST.
4. THE STUDENT WILL BE ABLE TO IDENTIFY THE DIFFERENT TYPES OF PLANTS AND ANIMALS THAT LIVE IN THE TROPICAL RAIN FOREST.
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6. THE STUDENT WILL BE ABLE TO IDENTIFY THE DIFFERENT TYPES OF PLANTS AND ANIMALS THAT LIVE IN THE TROPICAL RAIN FOREST.
7. THE STUDENT WILL BE ABLE TO IDENTIFY THE DIFFERENT TYPES OF PLANTS AND ANIMALS THAT LIVE IN THE TROPICAL RAIN FOREST.
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9. THE STUDENT WILL BE ABLE TO IDENTIFY THE DIFFERENT TYPES OF PLANTS AND ANIMALS THAT LIVE IN THE TROPICAL RAIN FOREST.
10. THE STUDENT WILL BE ABLE TO IDENTIFY THE DIFFERENT TYPES OF PLANTS AND ANIMALS THAT LIVE IN THE TROPICAL RAIN FOREST.

## GENERAL BRANCH CIRCUIT WIRING NOTES:

- [illegible]

	<b>REVIEW OF DOCUMENTS</b> THE DOCUMENTS AND THE SIGNATURES OF THE SIGNATORIES OF THE DOCUMENTS ARE HEREBY REVIEWED AND FOUND TO BE TRUE AND CORRECT AND TO BE IN ACCORD WITH THE ACTS OF THE LEGISLATURE OF THE STATE OF FLORIDA. WITNESS MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.		I, _____, SECRETARY OF THE FLORIDA DEPARTMENT OF REVENUE, DO HEREBY CERTIFY THAT THE ABOVE DOCUMENTS ARE TRUE AND CORRECT AND TO BE IN ACCORD WITH THE ACTS OF THE LEGISLATURE OF THE STATE OF FLORIDA.		I, _____, SECRETARY OF THE FLORIDA DEPARTMENT OF REVENUE, DO HEREBY CERTIFY THAT THE ABOVE DOCUMENTS ARE TRUE AND CORRECT AND TO BE IN ACCORD WITH THE ACTS OF THE LEGISLATURE OF THE STATE OF FLORIDA.		I, _____, SECRETARY OF THE FLORIDA DEPARTMENT OF REVENUE, DO HEREBY CERTIFY THAT THE ABOVE DOCUMENTS ARE TRUE AND CORRECT AND TO BE IN ACCORD WITH THE ACTS OF THE LEGISLATURE OF THE STATE OF FLORIDA.	
	DATE _____	TIME _____	PLACE _____	SIGNATURE _____	DATE _____	TIME _____	PLACE _____	SIGNATURE _____





<p>601</p> <p>NOT USED</p>	<p>602</p> <p>TYPE 'B' CONDUIT SLEEVE THRU WALLS AND FLOORS</p> <p>NOTE: DO NOT USE WIRE BASKET OR WIRE MESH FOR CONDUIT PROTECTION. USE ONLY APPROVED CONDUIT SLEEVES.</p>	<p>603</p> <p>CONCRETE PAD SECTION</p> <p>NOTE: DO NOT USE WIRE BASKET OR WIRE MESH FOR CONDUIT PROTECTION. USE ONLY APPROVED CONDUIT SLEEVES.</p>	<p>604</p> <p>WET LOCATION WALL OR COLUMN MOUNTED DEVICE</p> <p>NOTE: ALL MOUNTING HARDWARE SHALL BE GALVANIZED STEEL OR CONCRETE WALLS SHALL BE REINFORCED WITH #4 BARS AT 12\"/&gt; </p>	<p>605</p> <p>WET LOCATION WALL OR COLUMN MOUNTED DEVICE</p> <p>NOTE: ALL MOUNTING HARDWARE SHALL BE GALVANIZED STEEL OR CONCRETE WALLS SHALL BE REINFORCED WITH #4 BARS AT 12\"/&gt; </p>	<p>606</p> <p>TYPE 'A' CONDUIT ENTRY THRU WALLS AND FLOORS</p> <p>NOTE: DO NOT USE WIRE BASKET OR WIRE MESH FOR CONDUIT PROTECTION. USE ONLY APPROVED CONDUIT SLEEVES.</p>	<p>607</p> <p>TRAFFIC TRENCH AC TOPPING</p> <p>NOTE: DO NOT USE WIRE BASKET OR WIRE MESH FOR CONDUIT PROTECTION. USE ONLY APPROVED CONDUIT SLEEVES.</p>	<p>608</p> <p>LUMINAIRE MOUNTING DETAIL</p> <p>NOTE: DO NOT USE WIRE BASKET OR WIRE MESH FOR CONDUIT PROTECTION. USE ONLY APPROVED CONDUIT SLEEVES.</p>	<p>609</p> <p>TRENCH AND CONDUIT PLACEMENT</p> <p>NOTE: DO NOT USE WIRE BASKET OR WIRE MESH FOR CONDUIT PROTECTION. USE ONLY APPROVED CONDUIT SLEEVES.</p>	<p>610</p> <p>NON-TRAFFIC TRENCH AC TOPPING</p> <p>NOTE: DO NOT USE WIRE BASKET OR WIRE MESH FOR CONDUIT PROTECTION. USE ONLY APPROVED CONDUIT SLEEVES.</p>
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<p>REVISION OF DOCUMENTS</p> <p>NO. 1</p> <p>DATE</p> <p>BY</p> <p>DESCRIPTION</p>	<p>601</p> <p>602</p> <p>603</p> <p>604</p> <p>605</p> <p>606</p> <p>607</p> <p>608</p> <p>609</p> <p>610</p>	<p>601</p> <p>602</p> <p>603</p> <p>604</p> <p>605</p> <p>606</p> <p>607</p> <p>608</p> <p>609</p> <p>610</p>
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<div data-bbox="186 1785 211 2005" data-label="Text"> <p>DETAIL A 1/8" = 1'-0"</p> </div> <div data-bbox="219 1575 462 2005" data-label="Diagram"> </div> <div data-bbox="470 1533 511 1932" data-label="Caption"> <p><b>GROUND ELECTRODE</b> 612</p> </div>	<div data-bbox="535 1575 917 2005" data-label="Diagram"> </div> <div data-bbox="958 1533 998 1932" data-label="Caption"> <p><b>CABLE TRAY SUPPORT</b> 613</p> </div>	<div data-bbox="803 1155 998 1512" data-label="Diagram"> </div> <div data-bbox="998 1050 1039 1512" data-label="Caption"> <p><b>RECEPTACLE STATION MOUNT</b> 615</p> </div>	<div data-bbox="1364 1785 1388 2005" data-label="Text"> <p>DETAIL B 1/8" = 1'-0"</p> </div> <div data-bbox="1396 1575 1550 2005" data-label="Diagram"> </div> <div data-bbox="1559 1533 1599 1932" data-label="Caption"> <p><b>CABLE TRAY SUPPORT</b> 614</p> </div>
<div data-bbox="186 1365 211 1575" data-label="Text"> <p>DETAIL C 1/8" = 1'-0"</p> </div> <div data-bbox="219 1039 625 1575" data-label="Diagram"> </div> <div data-bbox="633 1050 673 1512" data-label="Caption"> <p><b>RECEPTACLE STATION MOUNT</b> 615</p> </div>	<div data-bbox="535 1365 917 2005" data-label="Diagram"> </div> <div data-bbox="958 1323 998 1932" data-label="Caption"> <p><b>CABLE TRAY SUPPORT</b> 613</p> </div>	<div data-bbox="803 1365 998 1932" data-label="Diagram"> </div> <div data-bbox="998 1050 1039 1932" data-label="Caption"> <p><b>RECEPTACLE STATION MOUNT</b> 615</p> </div>	<div data-bbox="1364 1365 1388 1575" data-label="Text"> <p>DETAIL D 1/8" = 1'-0"</p> </div> <div data-bbox="1396 1039 1550 1575" data-label="Diagram"> </div> <div data-bbox="1559 1323 1599 1932" data-label="Caption"> <p><b>CABLE TRAY SUPPORT</b> 614</p> </div>

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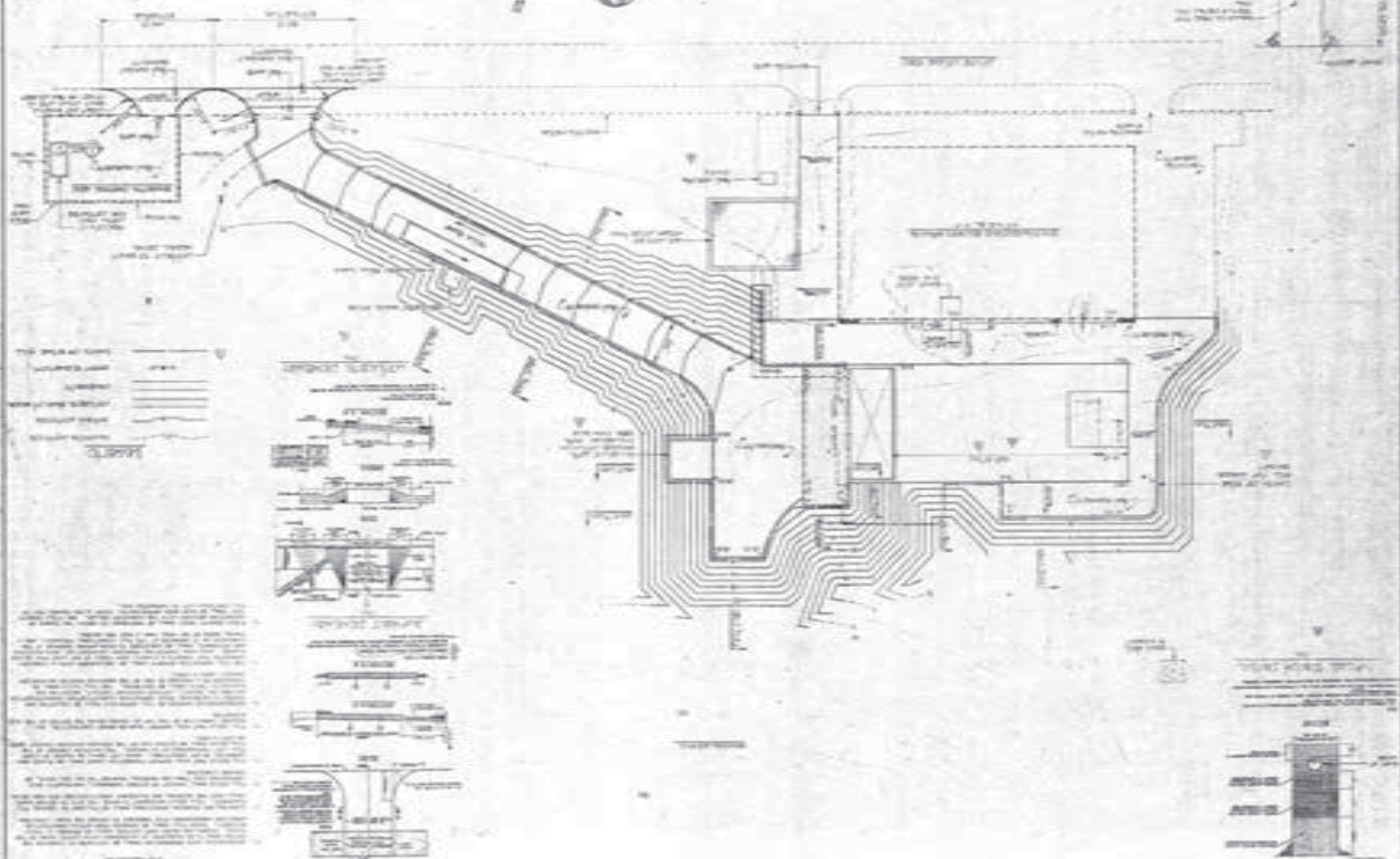
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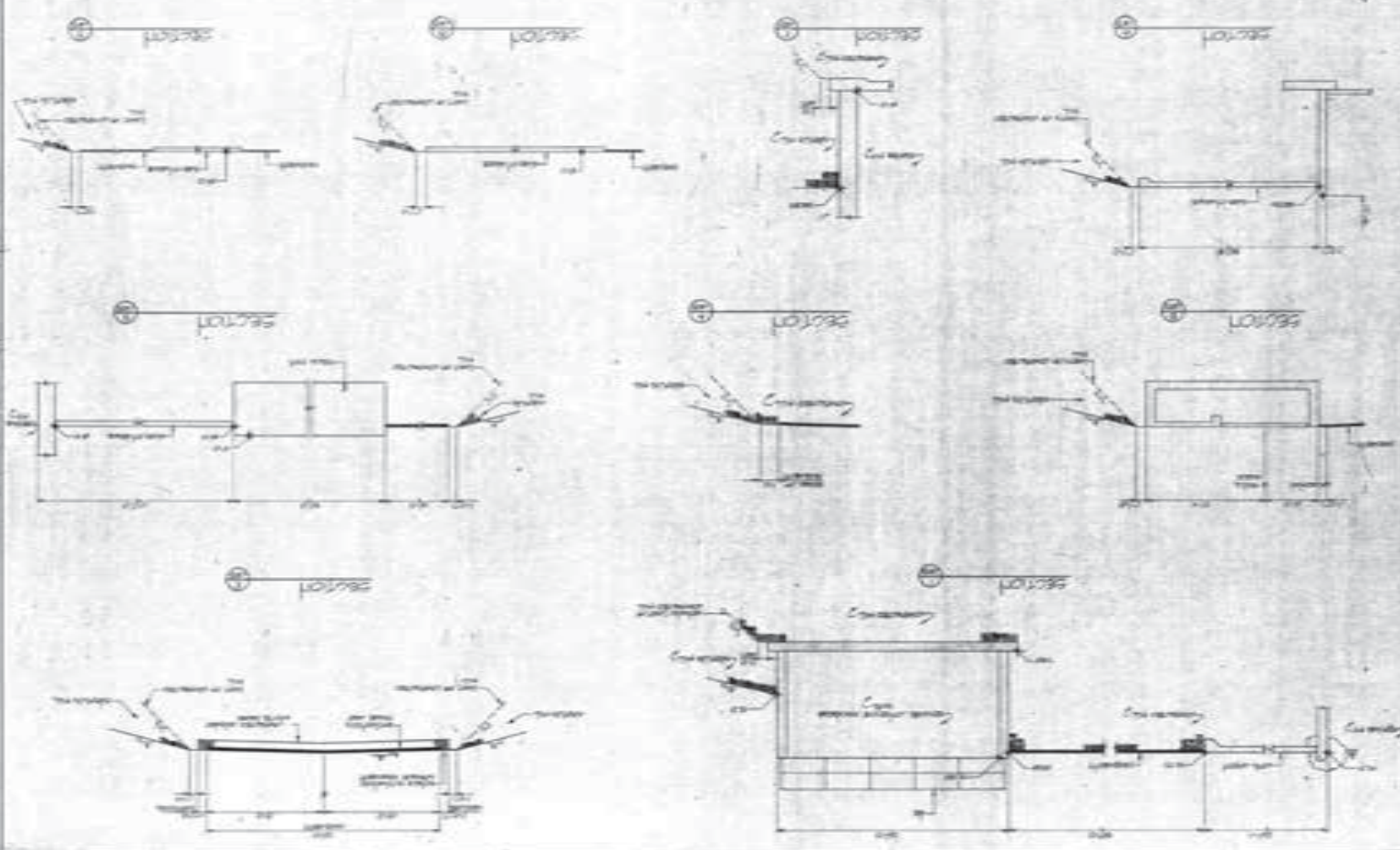




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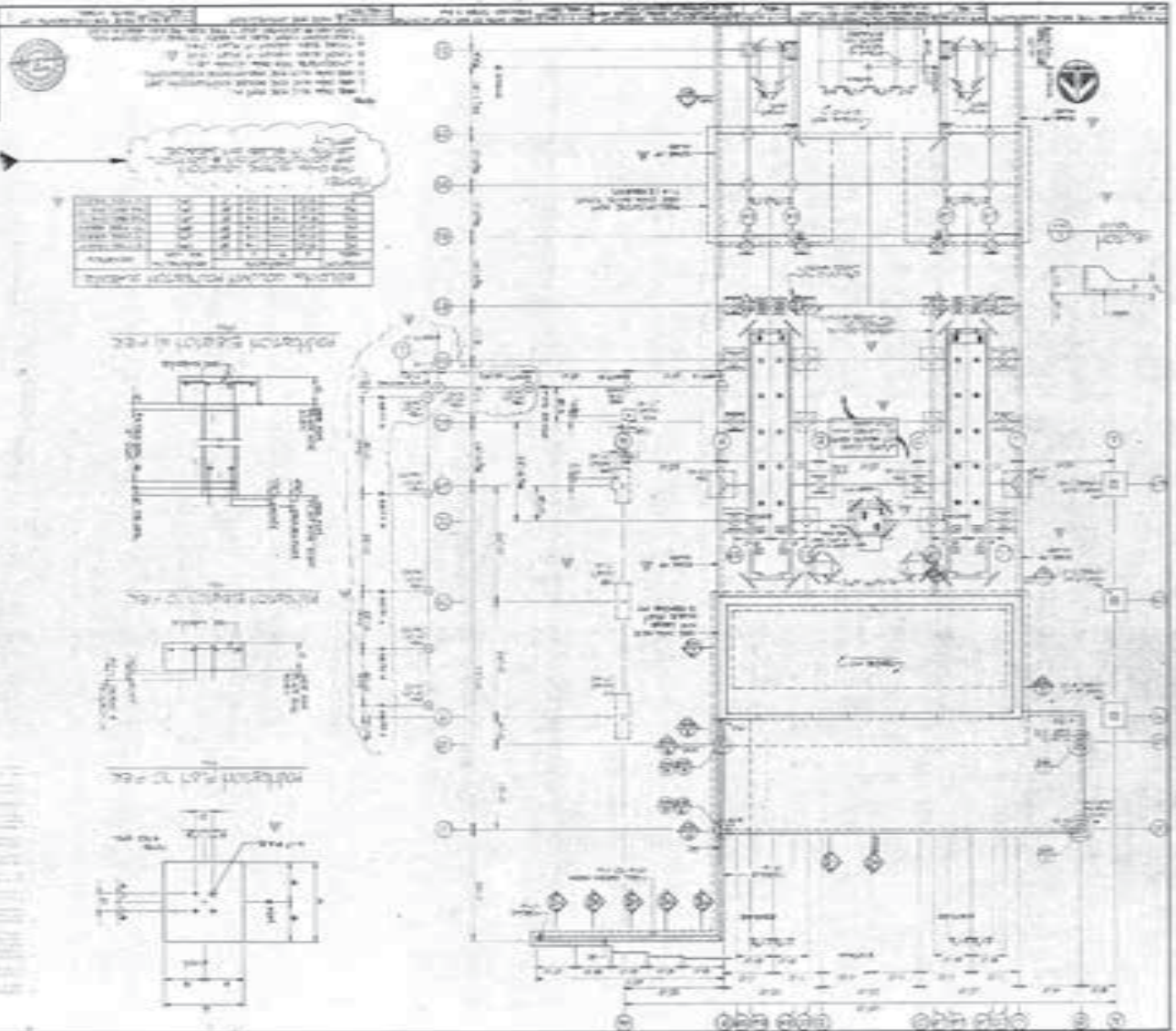


## 70.24 1'04 30645



1. General Information (Name, Address, Phone, etc.)  
2. Subject (What is the title of the report?)  
3. Summary (Briefly state the purpose and findings of the report.)  
4. Introduction (Provide background information and state the objectives of the study.)  
5. Methodology (Describe the methods used to collect and analyze data.)  
6. Results (Present the findings of the study, including any data tables or figures.)  
7. Discussion (Interpret the results and discuss their implications.)  
8. Conclusion (Summarize the main findings and provide recommendations.)  
9. References (List the sources used in the report.)  
10. Appendices (Include any additional information, such as raw data or detailed calculations.)





**FOUNDATION PLAN**

NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	FOUNDATION	1	FOOTING	
2	FOUNDATION	1	FOOTING	
3	FOUNDATION	1	FOOTING	
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100	FOUNDATION	1	FOOTING	

**Section Control Joint Detail**

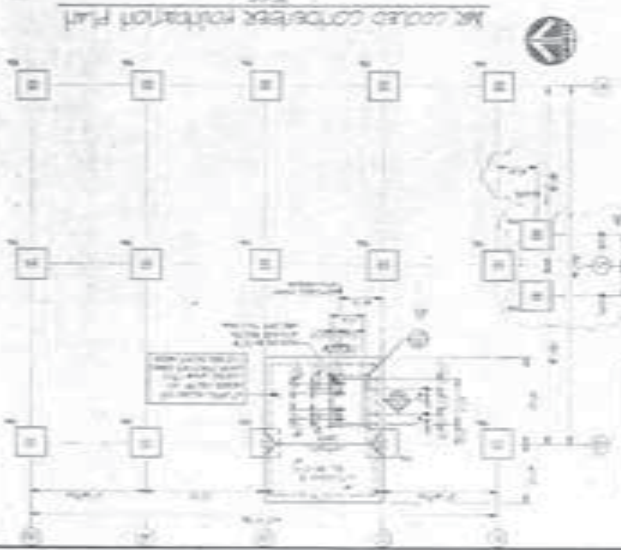
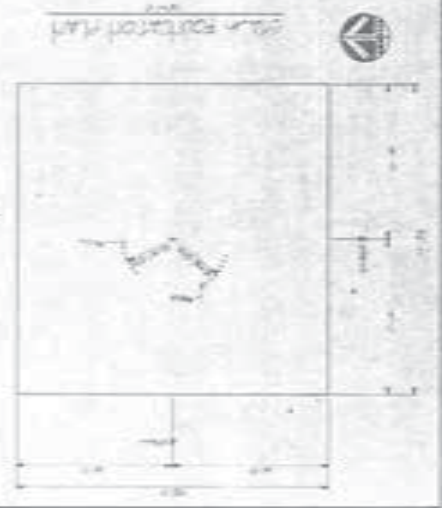
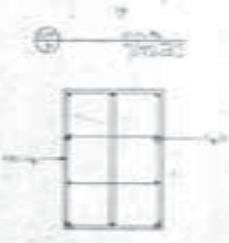
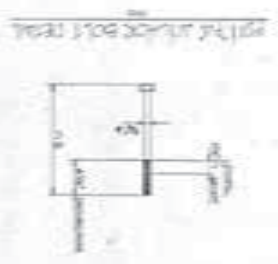
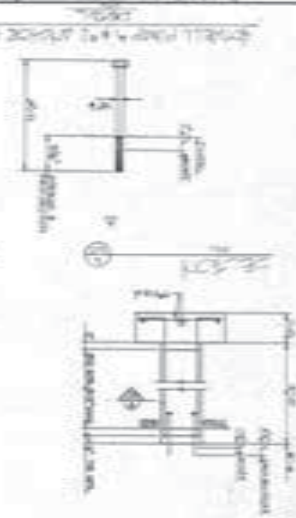
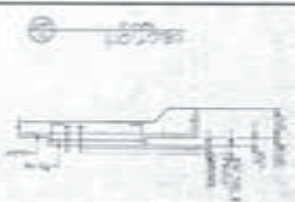


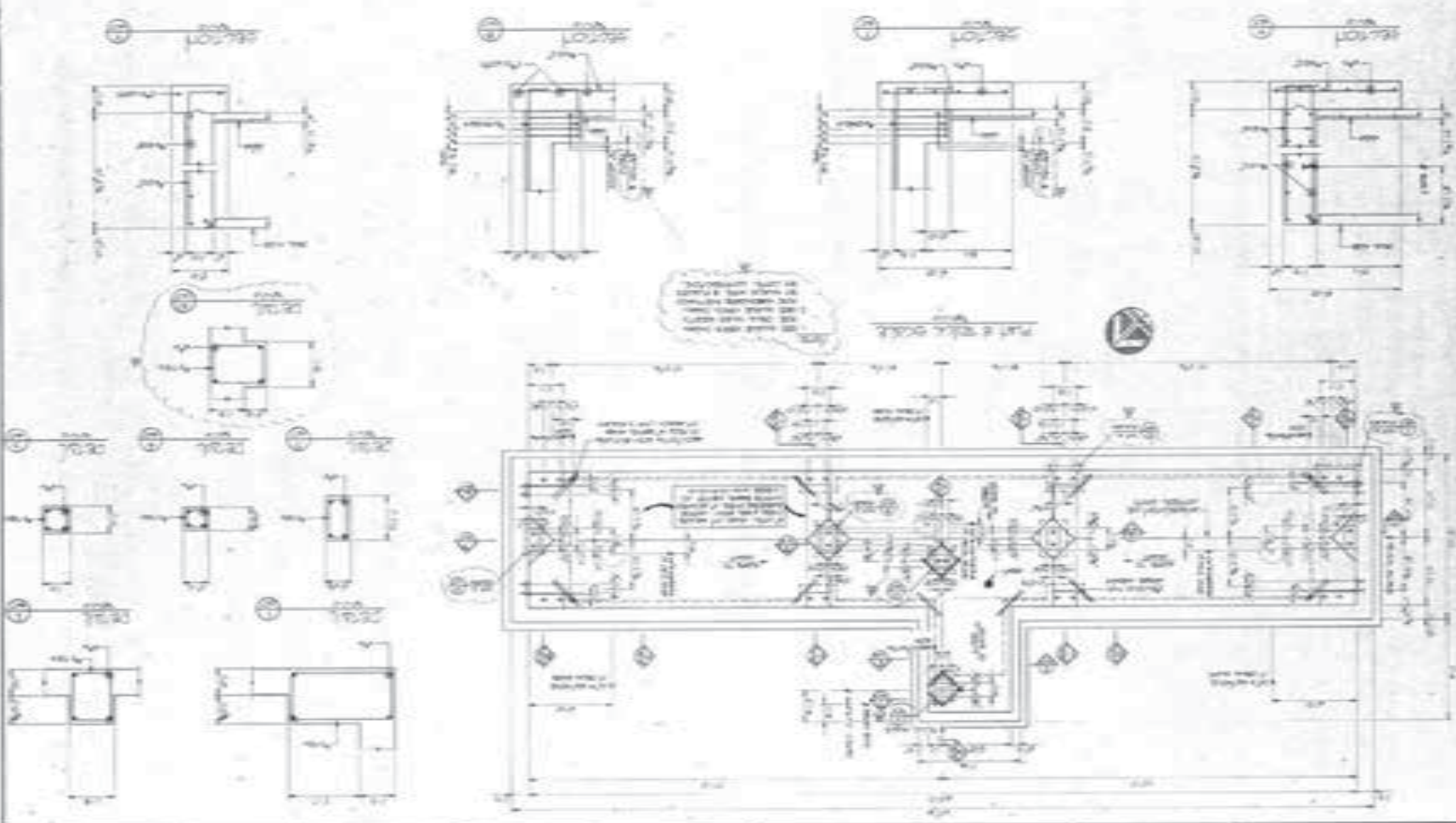
**Section Control Joint Detail**



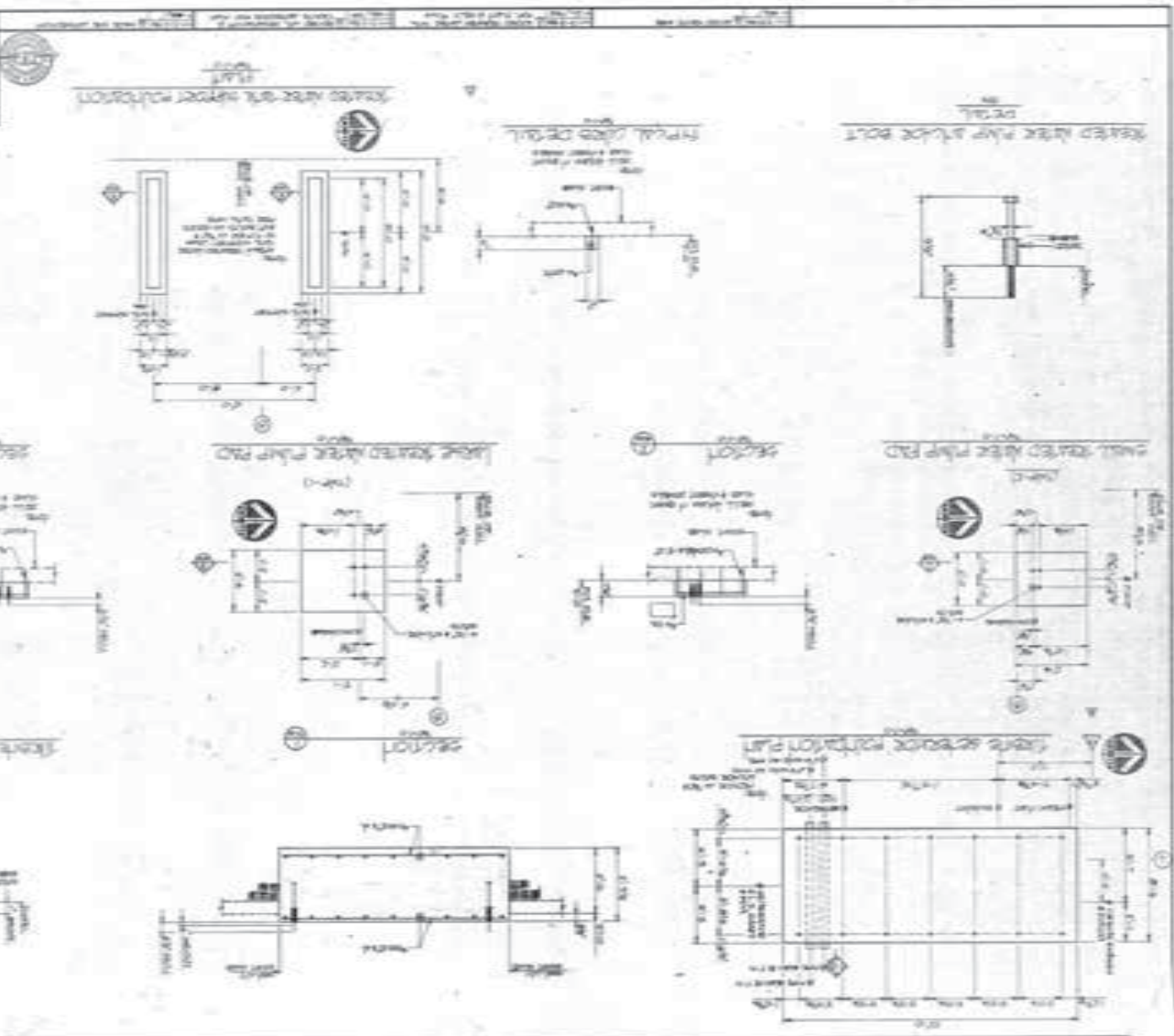
**Section Control Joint Detail**



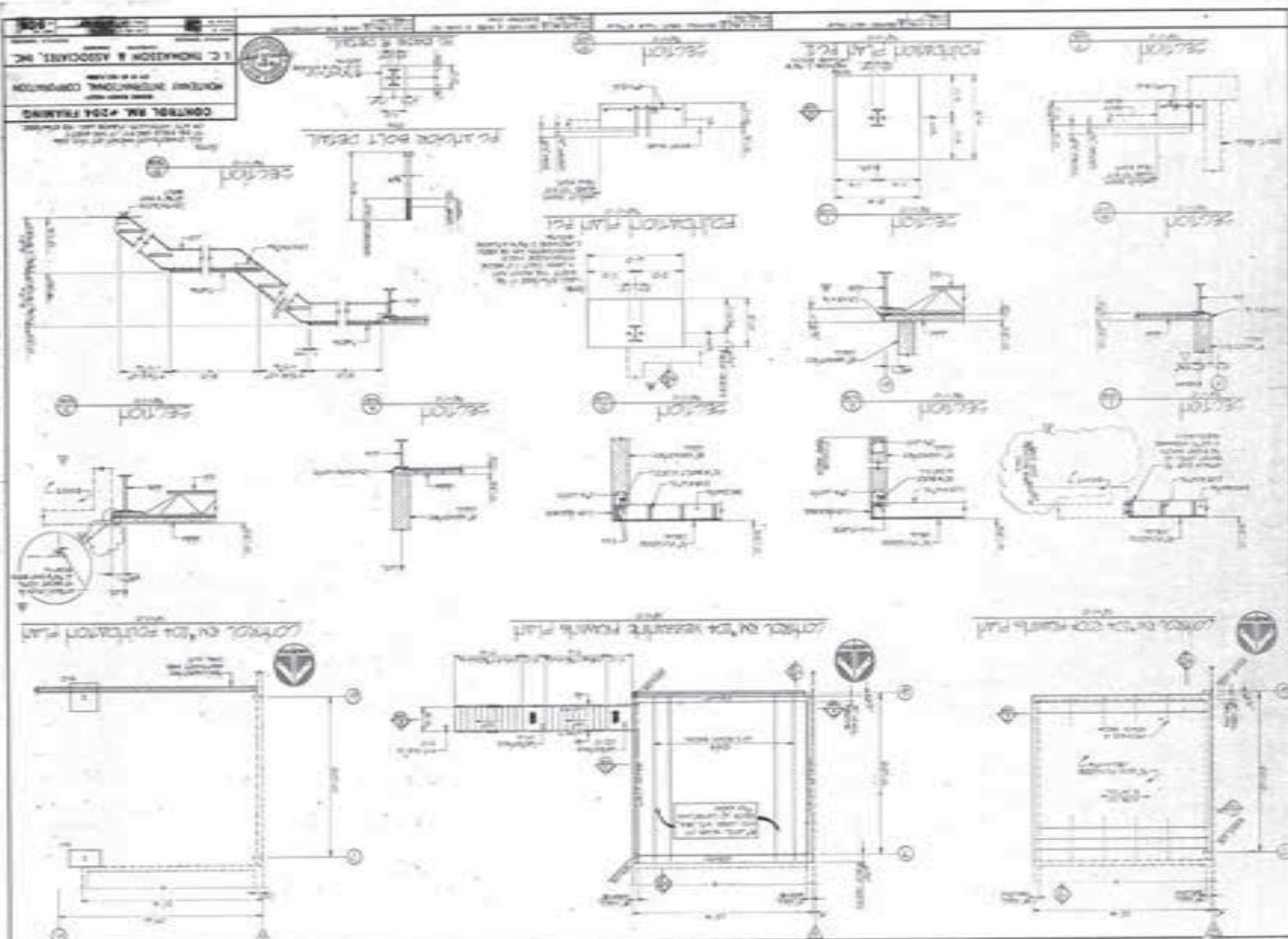




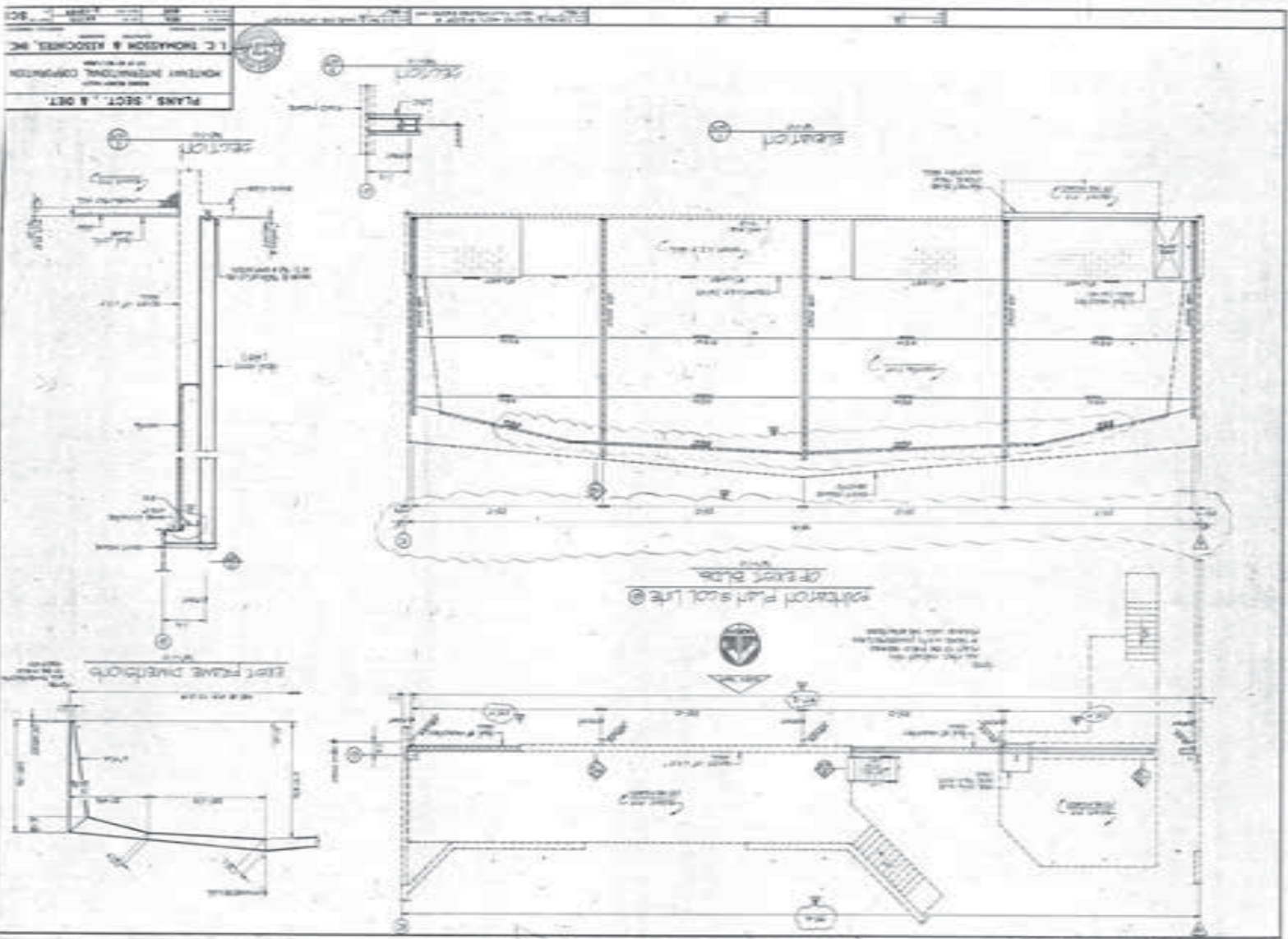




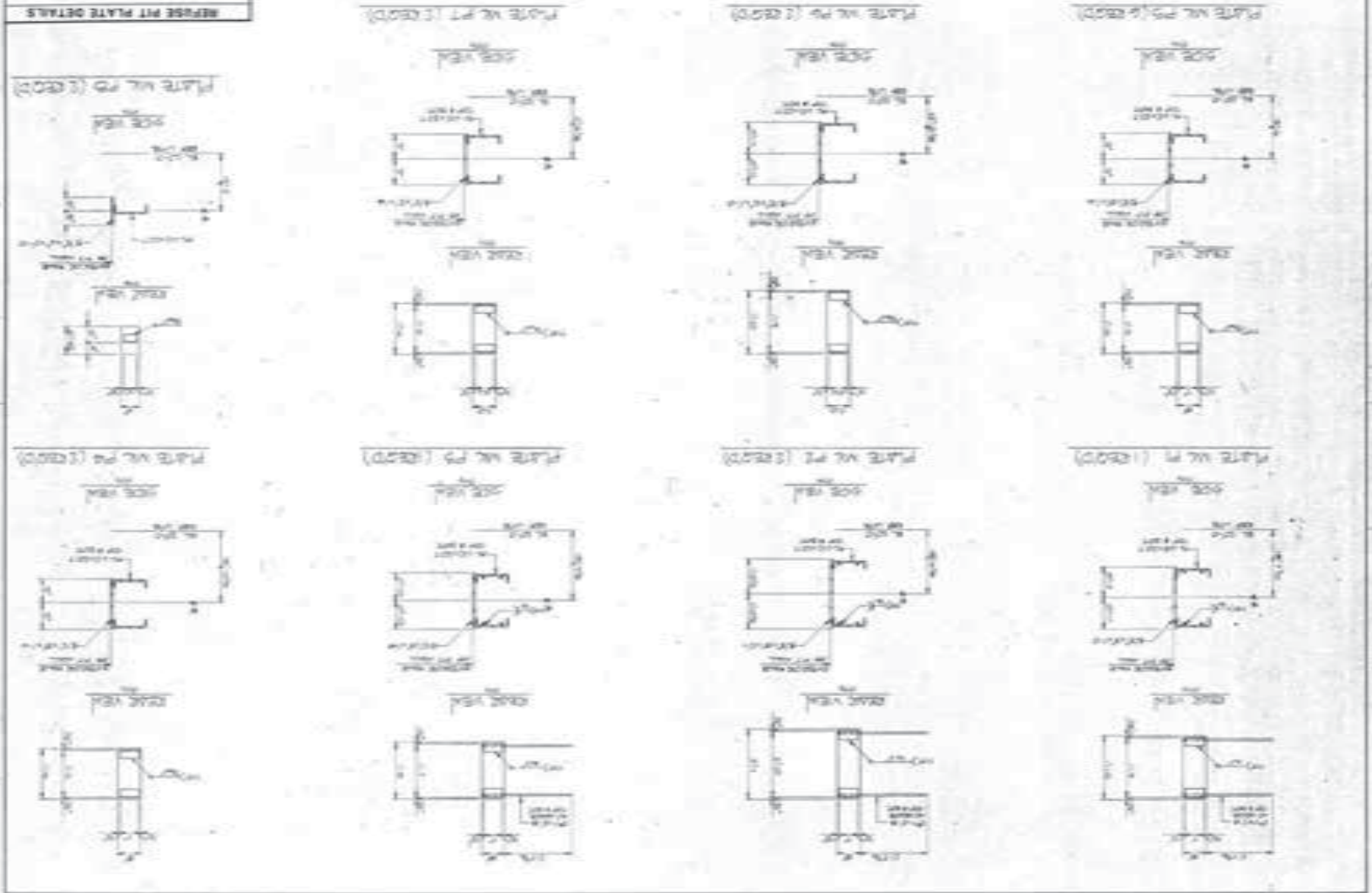




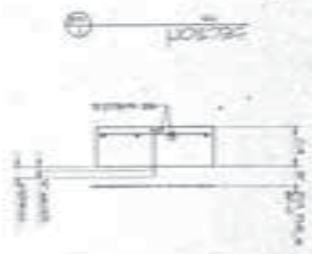




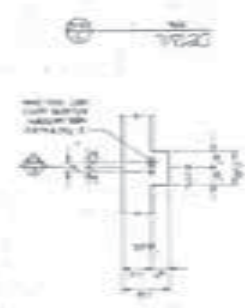
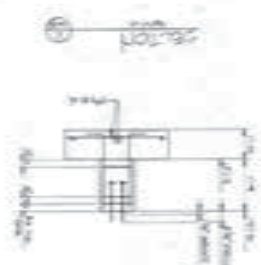
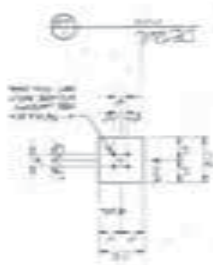
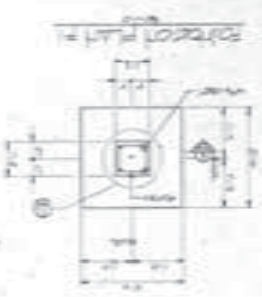
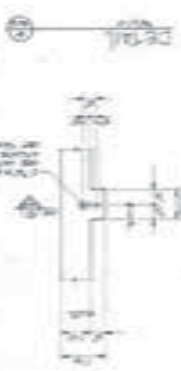
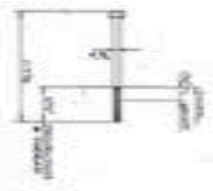
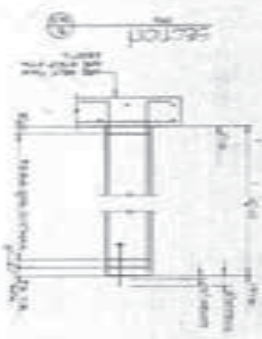
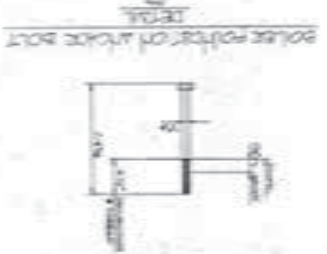


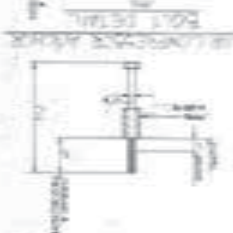
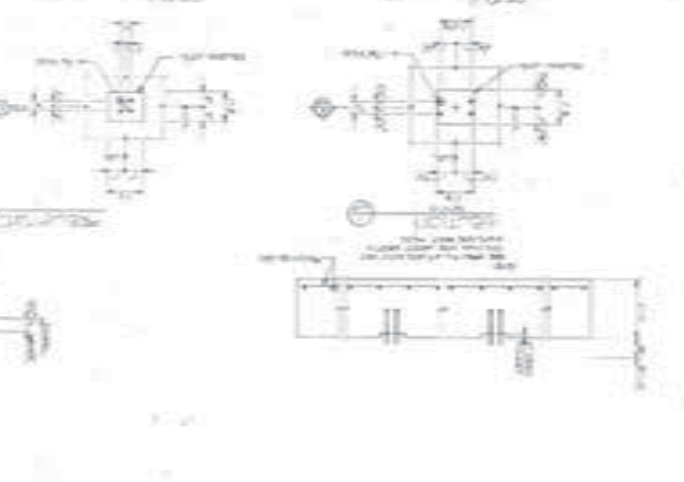
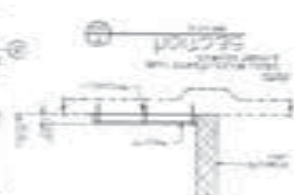
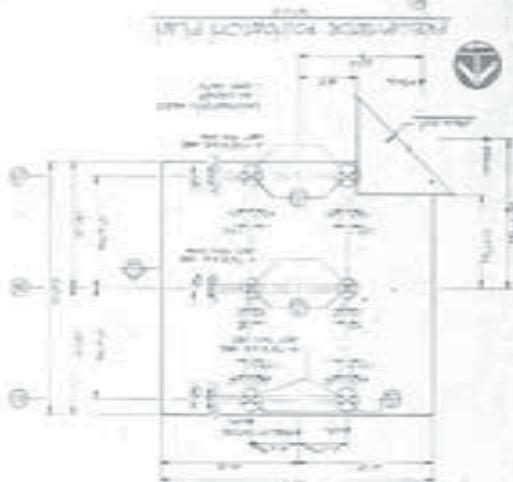




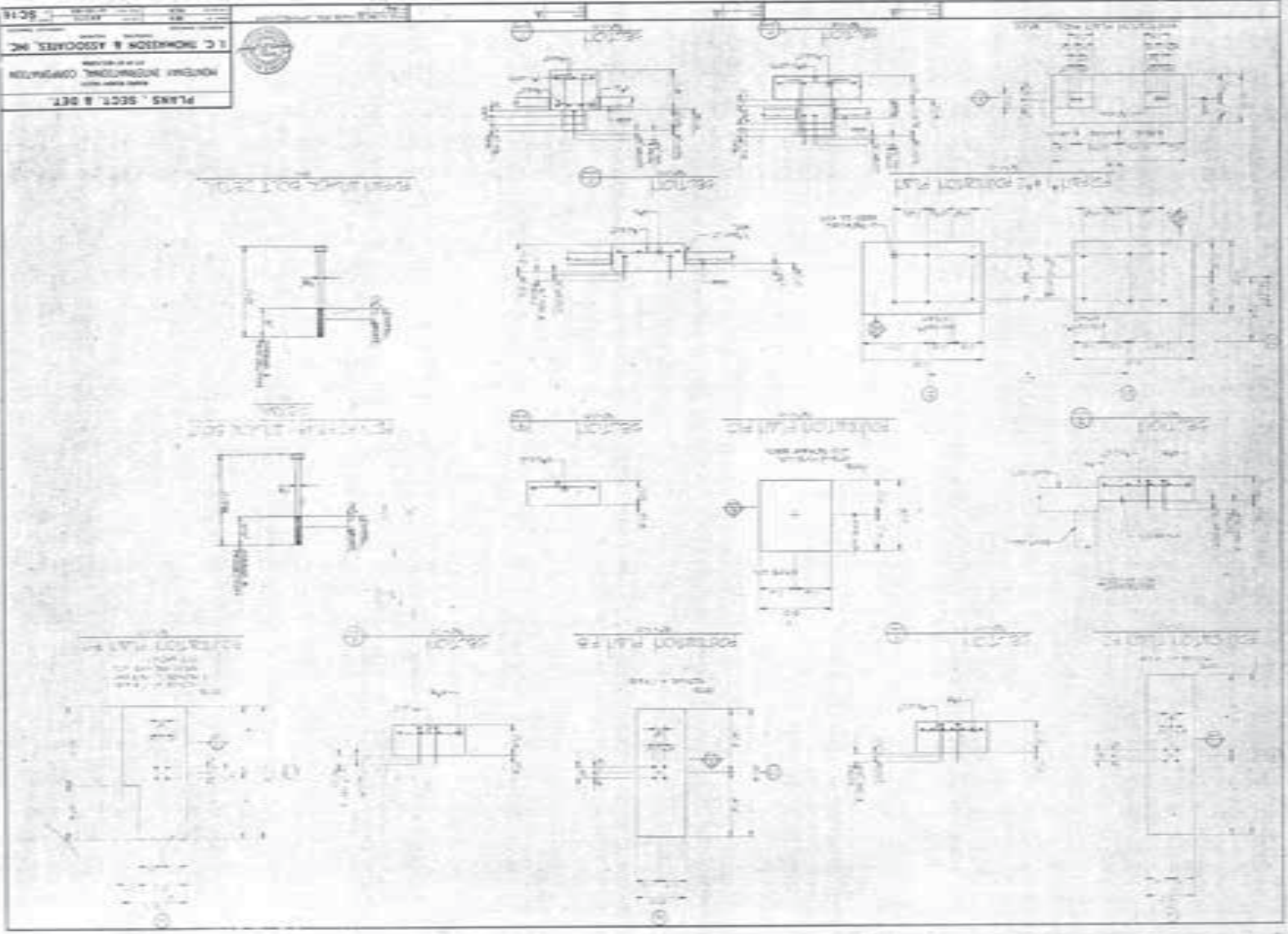


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1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"
1 1/2"	1 1/2"	1 1/2"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
2"	2"	2"	2"	2"	2"	2"
2 1/2"	2 1/2"	2 1/2"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
3"	3"	3"	3"	3"	3"	3"

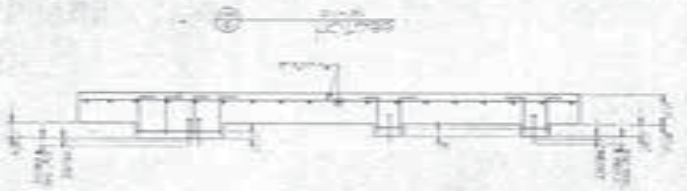
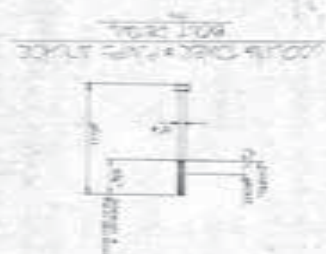
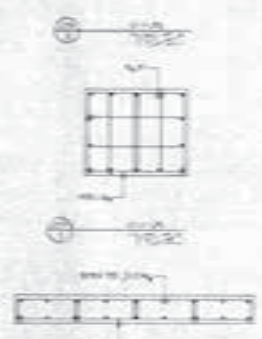
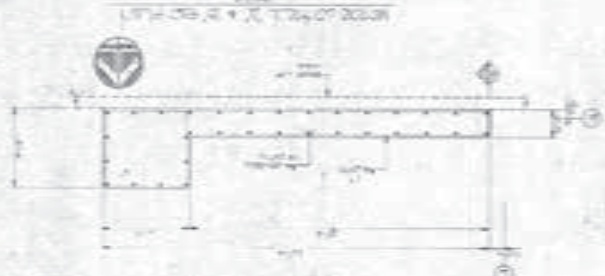
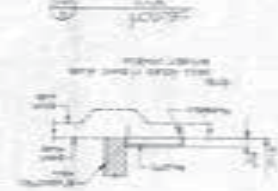
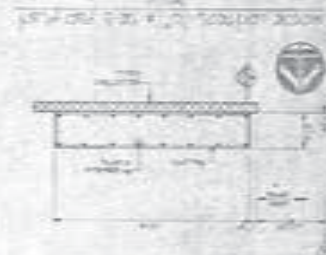
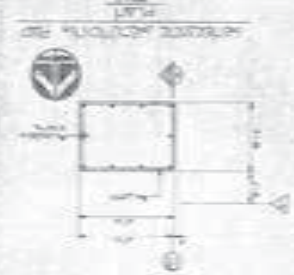




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 NONEMAX INTERNATIONAL CORPORATION  
 1 C. THOMAS & ASSOCIATES, INC.  
 8C11







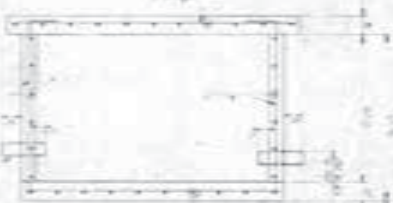
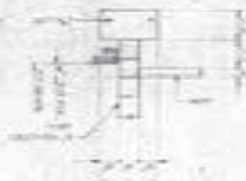
PLANS, SECT. & DET.  
NATIONAL INSTITUTIONAL CORPORATION  
L. C. THOMASON & ASSOCIATES, INC.



SECTION



SECTION



SECTION



SECTION



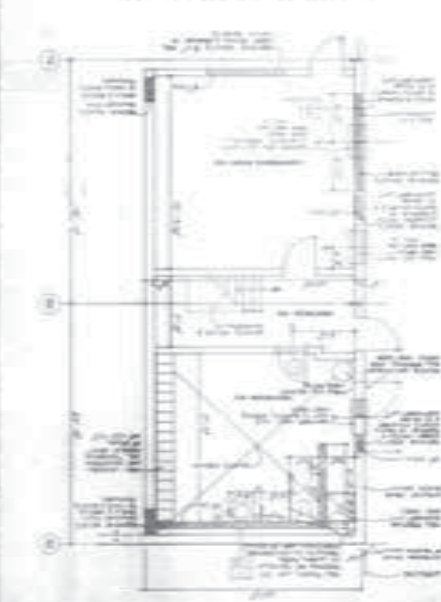
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**Earl Swenson, Architect**  
 1 C. THOMAS & ASSOCIATES, INC.  
 1000 WEST 10TH AVENUE  
 DENVER, COLORADO 80202



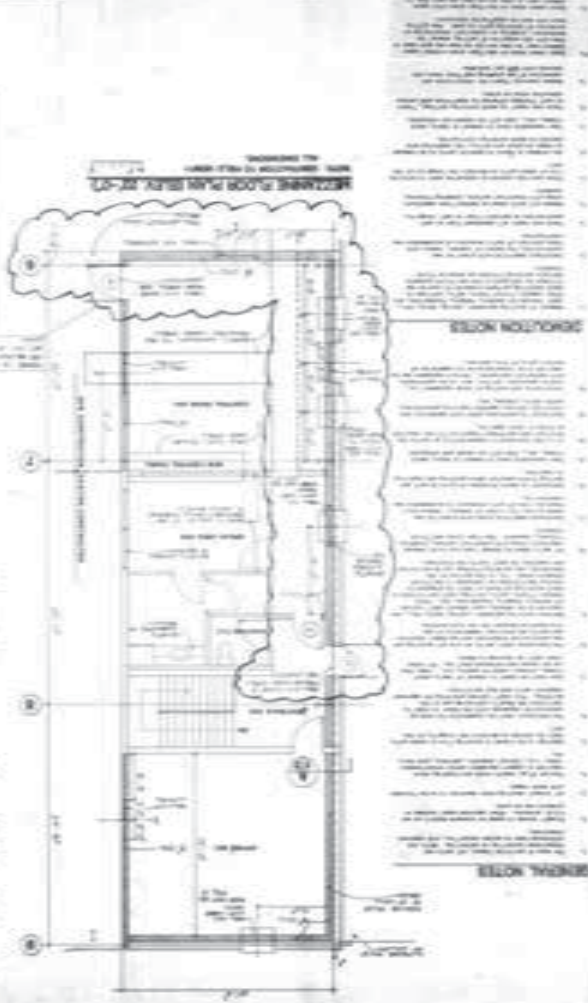
**GROUND FLOOR PLAN, SLAB #1**



**GROUND FLOOR PLAN, SLAB #2**



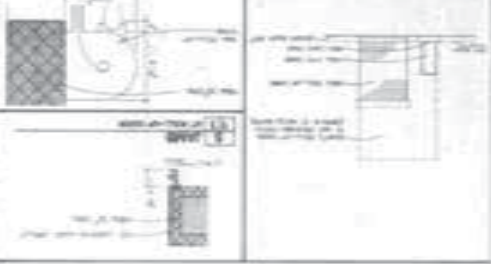
**REAR FLOOR PLAN, SLAB #3**



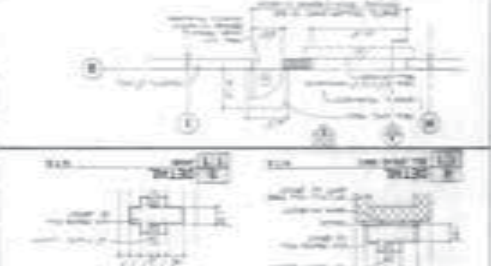
**REAR FLOOR PLAN, SLAB #4**



**SECTION 1**



**SECTION 2**



**SECTION 3**



**SECTION 4**



**SECTION 5**



**REVISION NOTES**

1. REVISED TO SHOW THE NEW ROOF LINE AND THE NEW FLOOR SLAB #1.

2. REVISED TO SHOW THE NEW ROOF LINE AND THE NEW FLOOR SLAB #2.

3. REVISED TO SHOW THE NEW ROOF LINE AND THE NEW FLOOR SLAB #3.

4. REVISED TO SHOW THE NEW ROOF LINE AND THE NEW FLOOR SLAB #4.

5. REVISED TO SHOW THE NEW ROOF LINE AND THE NEW FLOOR SLAB #5.

**REVISION NOTES**

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3. REVISED TO SHOW THE NEW ROOF LINE AND THE NEW FLOOR SLAB #3.

4. REVISED TO SHOW THE NEW ROOF LINE AND THE NEW FLOOR SLAB #4.

5. REVISED TO SHOW THE NEW ROOF LINE AND THE NEW FLOOR SLAB #5.

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3. REVISED TO SHOW THE NEW ROOF LINE AND THE NEW FLOOR SLAB #3.

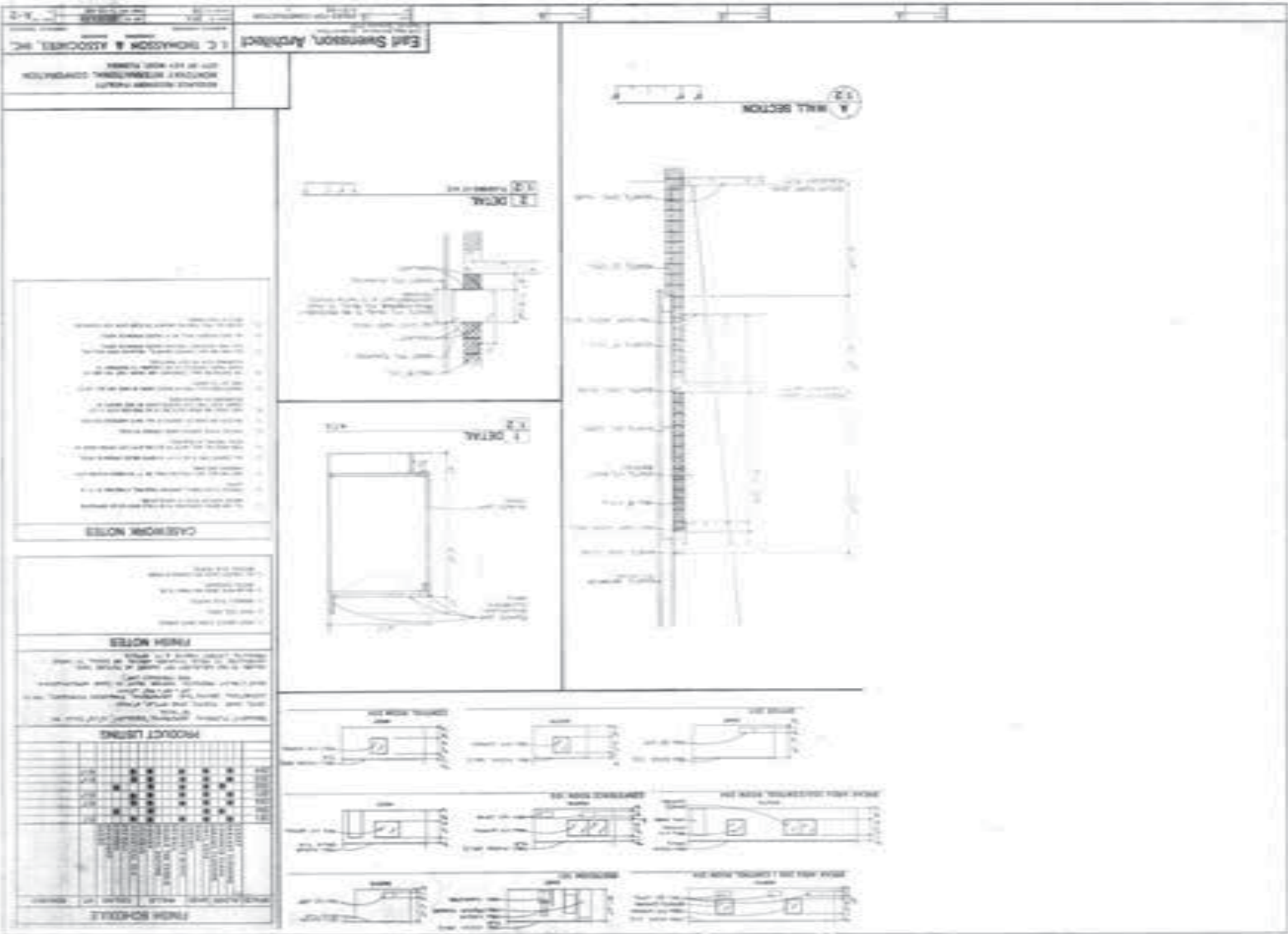
4. REVISED TO SHOW THE NEW ROOF LINE AND THE NEW FLOOR SLAB #4.

5. REVISED TO SHOW THE NEW ROOF LINE AND THE NEW FLOOR SLAB #5.

**ROOM SCHEDULE**

ROOM NO.	ROOM NAME	AREA (SQ. FT.)	FINISHES
101	REAR OFFICE	120	CEILING: POP; FLOOR: CARPET; WALLS: PAPER
102	REAR OFFICE	120	CEILING: POP; FLOOR: CARPET; WALLS: PAPER
103	REAR OFFICE	120	CEILING: POP; FLOOR: CARPET; WALLS: PAPER
104	REAR OFFICE	120	CEILING: POP; FLOOR: CARPET; WALLS: PAPER
105	REAR OFFICE	120	CEILING: POP; FLOOR: CARPET; WALLS: PAPER
106	REAR OFFICE	120	CEILING: POP; FLOOR: CARPET; WALLS: PAPER
107	REAR OFFICE	120	CEILING: POP; FLOOR: CARPET; WALLS: PAPER
108	REAR OFFICE	120	CEILING: POP; FLOOR: CARPET; WALLS: PAPER
109	REAR OFFICE	120	CEILING: POP; FLOOR: CARPET; WALLS: PAPER
110	REAR OFFICE	120	CEILING: POP; FLOOR: CARPET; WALLS: PAPER
111	REAR OFFICE	120	CEILING: POP; FLOOR: CARPET; WALLS: PAPER
112	REAR OFFICE	120	CEILING: POP; FLOOR: CARPET; WALLS: PAPER
113	REAR OFFICE	120	CEILING: POP; FLOOR: CARPET; WALLS: PAPER
114	REAR OFFICE	120	CEILING: POP; FLOOR: CARPET; WALLS: PAPER
115	REAR OFFICE	120	CEILING: POP; FLOOR: CARPET; WALLS: PAPER
116	REAR OFFICE	120	CEILING: POP; FLOOR: CARPET; WALLS: PAPER
117	REAR OFFICE	120	CEILING: POP; FLOOR: CARPET; WALLS: PAPER
118	REAR OFFICE	120	CEILING: POP; FLOOR: CARPET; WALLS: PAPER
119	REAR OFFICE	120	CEILING: POP; FLOOR: CARPET; WALLS: PAPER
120	REAR OFFICE	120	CEILING: POP; FLOOR: CARPET; WALLS: PAPER





<b>FINISH SCHEDULE</b>	
WALL	1.0
CEILING	2.0
FLOOR	3.0
DOOR	4.0
WINDOW	5.0
ROOF	6.0
BASE	7.0
FINISH	8.0
PAINT	9.0
GLASS	10.0
IRONWORK	11.0
MECHANICAL	12.0
ELECTRICAL	13.0
PLUMBING	14.0
HEATING	15.0
Cooling	16.0
Lighting	17.0
Acoustics	18.0
Security	19.0
Accessibility	20.0
Fire Protection	21.0
Life Safety	22.0
Energy Efficiency	23.0
Indoor Air Quality	24.0
Water Conservation	25.0
Material Selection	26.0
Construction Methods	27.0
Quality Control	28.0
Documentation	29.0
Communication	30.0

<b>PRODUCT LISTING</b>	
WALL	1.0
CEILING	2.0
FLOOR	3.0
DOOR	4.0
WINDOW	5.0
ROOF	6.0
BASE	7.0
FINISH	8.0
PAINT	9.0
GLASS	10.0
IRONWORK	11.0
MECHANICAL	12.0
ELECTRICAL	13.0
PLUMBING	14.0
HEATING	15.0
Cooling	16.0
Lighting	17.0
Acoustics	18.0
Security	19.0
Accessibility	20.0
Fire Protection	21.0
Life Safety	22.0
Energy Efficiency	23.0
Indoor Air Quality	24.0
Water Conservation	25.0
Material Selection	26.0
Construction Methods	27.0
Quality Control	28.0
Documentation	29.0
Communication	30.0

<b>FINISH NOTES</b>	
1. All finishes shall be in accordance with the latest edition of the National Building Code of Canada.	
2. All finishes shall be in accordance with the latest edition of the International Building Code.	
3. All finishes shall be in accordance with the latest edition of the International Fire Code.	
4. All finishes shall be in accordance with the latest edition of the International Energy Conservation Code.	
5. All finishes shall be in accordance with the latest edition of the International Green Building Code.	
6. All finishes shall be in accordance with the latest edition of the International Plumbing Code.	
7. All finishes shall be in accordance with the latest edition of the International Mechanical Code.	
8. All finishes shall be in accordance with the latest edition of the International Electrical Code.	
9. All finishes shall be in accordance with the latest edition of the International Fire and Safety Code.	
10. All finishes shall be in accordance with the latest edition of the International Life Safety Code.	
11. All finishes shall be in accordance with the latest edition of the International Energy Efficiency Code.	
12. All finishes shall be in accordance with the latest edition of the International Indoor Air Quality Code.	
13. All finishes shall be in accordance with the latest edition of the International Water Conservation Code.	
14. All finishes shall be in accordance with the latest edition of the International Material Selection Code.	
15. All finishes shall be in accordance with the latest edition of the International Construction Methods Code.	
16. All finishes shall be in accordance with the latest edition of the International Quality Control Code.	
17. All finishes shall be in accordance with the latest edition of the International Documentation Code.	
18. All finishes shall be in accordance with the latest edition of the International Communication Code.	

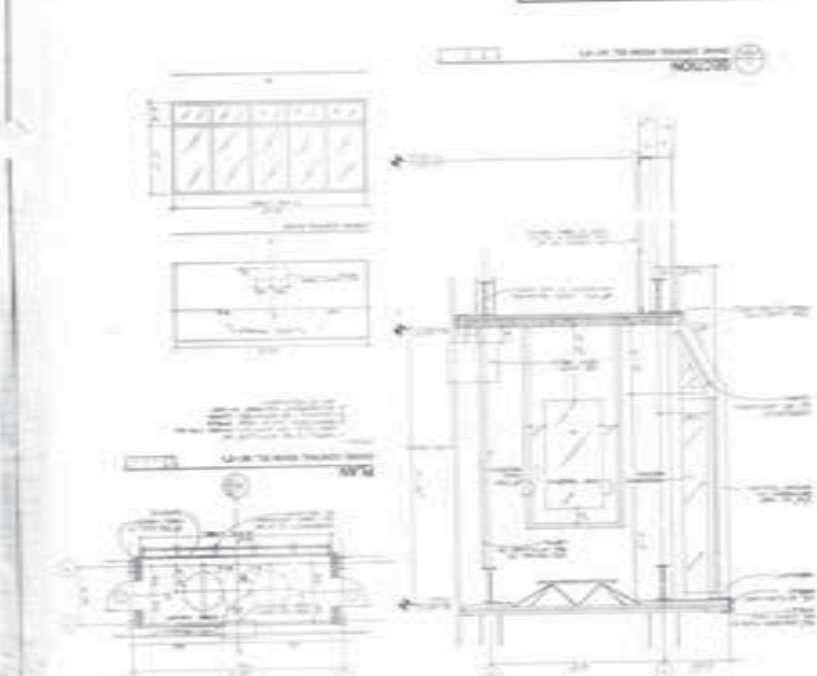
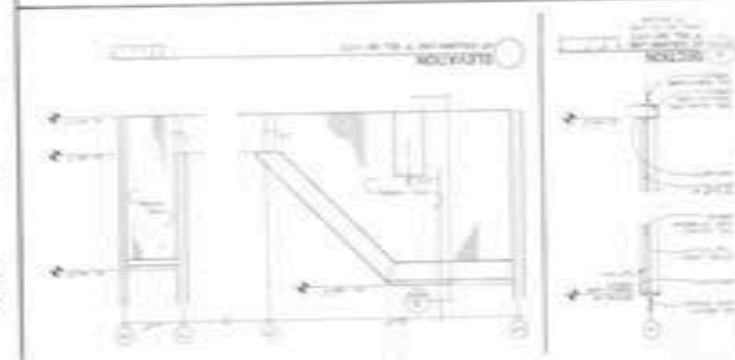
  

<b>CASWORK NOTES</b>	
1. All casework shall be in accordance with the latest edition of the National Building Code of Canada.	
2. All casework shall be in accordance with the latest edition of the International Building Code.	
3. All casework shall be in accordance with the latest edition of the International Fire Code.	
4. All casework shall be in accordance with the latest edition of the International Energy Conservation Code.	
5. All casework shall be in accordance with the latest edition of the International Green Building Code.	
6. All casework shall be in accordance with the latest edition of the International Plumbing Code.	
7. All casework shall be in accordance with the latest edition of the International Mechanical Code.	
8. All casework shall be in accordance with the latest edition of the International Electrical Code.	
9. All casework shall be in accordance with the latest edition of the International Fire and Safety Code.	
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12. All casework shall be in accordance with the latest edition of the International Indoor Air Quality Code.	
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14. All casework shall be in accordance with the latest edition of the International Material Selection Code.	
15. All casework shall be in accordance with the latest edition of the International Construction Methods Code.	
16. All casework shall be in accordance with the latest edition of the International Quality Control Code.	
17. All casework shall be in accordance with the latest edition of the International Documentation Code.	
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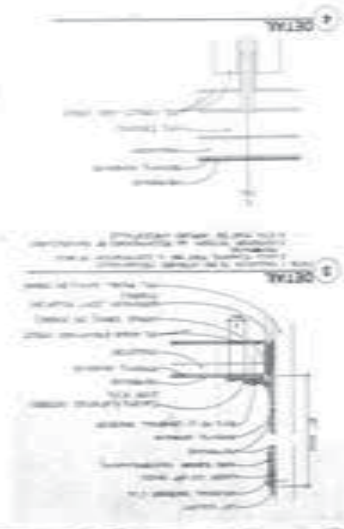
**E.C. THOMAS & ASSOCIATES, INC.**  
ARCHITECTS  
1000 10th Avenue  
New York, NY 10018  
Tel: 212-123-4567  
Fax: 212-123-4568  
www.ec-thomas.com

**East Swenson, Architects**  
1000 10th Avenue  
New York, NY 10018  
Tel: 212-123-4567  
Fax: 212-123-4568  
www.eastswenson.com

1. C. THOMAS & ASSOCIATES, INC.  
 ARCHITECTS  
 1000 W. 10TH AVENUE  
 DENVER, CO. 80202  
 PROJECT NO. 1000-1000-1000  
 SHEET NO. 1000-1000-1000



1. C. THOMAS & ASSOCIATES, INC. 1000 WEST 10TH AVENUE DENVER, COLORADO 80202		EAST SWENSON, ARCHITECT 1000 WEST 10TH AVENUE DENVER, COLORADO 80202	
PROJECT NO. 1000 SHEET NO. 1000		DATE: 10/10/00	







**THE CITY OF KEY WEST**

3140 Flagler St,  
Key West, Florida 33040

**ADDENDUM #5**  
**Public Transit Facility**  
**Request for Proposal: 001-13**  
**20 November 2012**

This Addendum is issued as supplemental information to the bid package for clarification of certain matters of both a general and a technical nature. The referenced bid package is amended in accordance with the following items:

- See attached Questions and Clarifications (Addendum #5)
- Page 1-24: Paragraph 1.6.2 Evaluation Panel Process: add the following
  - Oral Presentations: At City of Key West's sole discretion, the TEB may schedule oral presentations/question and answers with each team submitting a proposal. Present at this meeting shall be the key personnel assigned to the project from the General Contractor and A/E firm. At a minimum key project staff, should include the Project Manager, Lead Design Engineer, and Lead Architect. Presentation/question and answer period will be no longer than 45 minutes. These meetings are exempt from the Florida Sunshine Law as covered under FS 286.0113
- Page B-14: Part III-Technical Statement-Project Approach
  - B. Submit a copy of the "Teaming Agreement" between the General Contractor and A/E. If a teaming agreement does not exist, an explanation on how the organizations will function together shall be provided
- Page 1-25 Basis of Scoring: Add the following
  - Key Personnel and Subcontractors submitted to the City and used as a basis for scoring shall be the same used during the execution of the project. Substitution of Key Personnel and Subcontractors after award shall only be done with the approval of the City
- Page C-4: Total Base Bid Amount
  - A schedule of values should be submitted with the Cost Proposal Package. Please refer to sheet C-3. The schedule of values shall be in sufficient detail to allow the City to understand how the Design-Builder arrived at said Total Base Bid price and shall become part of the contract for basis of payment. The Schedule of Values shall include at a minimum the line items shown in the attached sheet.
- Bid Due Date: The Bid due date is hereby extended to 3:30pm, December 12, 2012. Questions will be received until 5pm, 27 November 2012

- Alternate Bid Item: D: Vehicle Lifts: The following shall be a part of this project:  
Procurement and Installation of:
  - 2 - Large Vehicle Maintenance Lifts: Rotary Lift: Heavy Duty Parellelogram 6 Leg 45/35S Model or equivalent approved equal.
  - 1 - Small Maintenance Lift: Rotary Lift: Y-Lift (YA12) Model (or approved equal)
  - Fluid Dispensing System for the Maintenance Service Bay: (3) drops.

A revised Attachment C: Cost Proposal will be issued with Addendum 6

- Technical Presentations: Technical presentations are limited to 50 pages double sided. Pages in excess of this amount will not be reviewed by the Technical Evaluation Board Members.

All Bidders shall acknowledge receipt and acceptance of this Addendum No 5 by acknowledging Addendum in their proposal or by submitting the addendum with the bid package. Bids submitted without acknowledgement or without this Addendum may be considered non-responsive

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Signature

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Name Of Business

**CITY OF KEY WEST**  
**Public Transportation Facility Project**  
**Addendum No. 5**  
**November 20, 2012**

**QUESTIONS**

- Q1.** There are several environmental and operational permits that will be required for this project. Will the Contractor be required to provide permits for any other than the construction permits?
- A. Design-Builder will be responsible for permits to complete the construction work. The Design/Builder will prepare an Operating/Maintenance and Contingency Plan to describe the operation of the facility. This document will be used for permitting purposes.*
- Q2.** The RFP appendices include a LEED checklist with several LEED credits identified for achieving credit compliance. Are the credits indicated required to be provided or can the credit checklist be adjusted depending on anticipated certification level achievement path (i.e., may the design/build teams elect to not pursue measurement and verification credit as indicated and instead pursue other credits)?
- A. The checklist is a suggestion and can be adjusted by the Design-Builder.*
- Q3.** Who is responsible for the permitting for the petroleum storage tanks and who pays for the registration?
- A. Design-Builder is responsible for the permit and registration fee.*
- Q4.** Who is responsible for getting the operating permit for the repair facility?
- A. The City will secure the operating permit for the repair facility.*
- Q5.** Is the repair facility equipped with floor gutters routed to an oil/water separator? If not where will the waste oil/grease that falls on the floor be directed. Spills during oil changes do happen and contingency plans must be made.
- A. The facility shall be fitted with oil water separators. Please see Section 5.2.5.11, 6.2., 6.5.2, and 6.5.4.*
- Q6.** Who is responsible for developing the “Spill Prevention Control and Countermeasure (SPCC) Plan for the facility?



- A. The Design/Builder will prepare an Operating/Maintenance and Contingency Plan to describe the operation of the PTF. This document will be used for both permitting purposes. Spill prevention Control Plan should be included under Fire and Safety Section. See Section 3.3.*
- Q7.** What are the requirements for the air compressor? To properly size the air compressor (and provide a bid price) either the required scfm and hp is required or the following information must be provided: The required number of drops, the locations of the drops and the required scfm at each drop.
- A. Air compressor technical information was provided in Addendum No. 4. The system should have (4) drops.*
- Q8.** Is a refrigerated dryer system required for the air compressor?
- A. No. A refrigerated dryer system is not required for the air compressor.*
- Q9.** The RFP indicates that a vehicle exhaust system is to be provided. Amendment 3 indicates that the direct capture type system is the preferred method to be provided in four bays. To properly estimate (and price) the required vehicle exhaust system, either the specifications for the desired system are required or more information in regards to the bus engine exhaust output is required.
- A. The system must provide min. 500 CFM at each drop.*
- Q10.** RFP Section 1.1.5 indicates to provide one 8,000 gallon AST for the fuel depot and to relocate an existing AST to the bus depot. Please provide information in regards to the existing tank to be relocated for bidding purposes.
- A. The existing tank is located at: 633 Palm Avenue Key West, FL 33040.*
- Q11.** RFP Section 6.5.1 indicates a total bio-diesel storage capacity of 8,000 gallons. Please verify total storage volume required for project.
- A. The facility will ultimately have (2) tanks at the fuel island. The base bid shall include relocating an existing tank. Alternate Bid Item C, on page C-6, specifies a second 8,000 gal tank.*
- Q12.** RFP Section 5.2.7 indicates a 1,500 gpm fire pump will be required for the project. To size and price the fire pump for proposal purposes, the existing site water pressures are required. Please provide fire flow test results for the existing site.
- A. It was stated at the pre-bid meeting that fire flow or water pressures will be the responsibility of the Design-Builder.*

**Q13.** RFP Section 6.5.5.3 requires the local AHJ to determine the fire protection requirement for the packaged Bus Wash Building. Please verify fire protection requirements for Bus Wash Building per the AHJ requirements as this information is required to provide a complete bid.

*A. Design/Builder is responsible to make this determination per local governing codes.*

**Q14.** Floor plan indicates a Server Room for the facility but does not indicate what will be provided in the server room in regards to computer equipment for determination of HVAC and power requirements. Please provide equipment that will be installed in the server room for determination of bid requirements.

*A. Information was provided in Addendum No. 4, Question No. 2.*

**Q15.** Will there be electric or hydraulic lifts in selected bays for raising the busses?

*A. Yes, refer to Alternate Bid Item D on page 1 of this addendum for more information.*

**Q16.** Will the fire pump be electric or diesel?

*A. The existing fire pump is diesel powered. See more information below.*









**Q17.** Which specific loads will need to be on emergency power? We assume that the bus wash is not. Will the generator service all loads in the administration and maintenance buildings in addition to the fuel farm?

*A. Please refer to “Standby Power Generation” on page 5.76 and Section 5.7.4.*

**Q18.** What equipment will be located in the machine room and in the maintenance bays? Will there be battery chargers located in the battery room?

*A. We do not anticipate any special equipment stored in the machine room. The welding station exhaust system was omitted in Addendum No. 3 Question No. 37. However, refer to Section 6.5.3.4 for min. ventilation requirements. There will be a battery charger in the battery room.*

**Q19.** What percentage of the fuel source should be bio-diesel. Various engine manufacturers have specific requirements on the use of bio-diesel in their systems. Many limit the percentage of bio-diesel to 5%. Some do not warranty the system if the bio-diesel portion is not filtered per their specifications. Please advise.

*A. The current bus fleet receives 100% bio-diesel.*

**Q20.** What is the size in KVA of the existing city-owned pad mount transformer?

*A. Design-Builder can contact Keys Energy to verify the KVA.*

**Q21.** Will the three vehicle gates have local entry control or will there be a master controller located in the main building?

*A. The vehicle gates should have a remote controller located in the main building.*

**Q22.** How are we supposed to gauge if the fill in certain areas on the site will be suitable for salvaging? Are there any tests being done on the material to help identify which areas will be suitable for reuse onsite?

*A. The whole site requires 2 feet of clean fill as stated in section 6.2.2 of the Design Criteria. As stated in Addendum No. 3 Question 22: "As stated in addendum #2, Appendix F, part 4.0 continues on to state "No soil contaminant concentrations were detected above industrial SCTLs; therefore, the recommendation for the SWTE Facility is to use materials remaining onsite after demolition as fill material and to cover with 2 feet of clean soil." For costing the work, the design builder shall assume that no soils are above the Industrial SCTL. The Design/Builder should assume that no soil sample testing is required."*

**Q23.** Is the 2 foot of clean suitable fill going to be placed above the "salvaged" material?

*A. See answer above.*

**Q24.** I haven't been able to locate the drawings D-04 and D-05 that are specified in the documents

*A. Please refer to Appendix E – Demolition Plans: CH2MHill Plans D-04 & D-05. They are pages 348 and 349 in the original PDF document.*

**THIS IS A FORMAL ADDENDUM THAT HAS TO BE ACKNOWLEDGED IN THE BID ADDENDA ACKNOWLEDGEMENT FORM. IF A BIDDER FAILS TO ACKNOWLEDGE RECEIPT OF THIS ADDENDUM AS PART OF ITS BID SUBMISSION, THE CITY RESERVES THE RIGHT TO REQUEST, AND THE BIDDER MUST COMPLY WITHIN TWO (2) BUSINESS DAYS AFTER RECEIPT OF WRITTEN REQUEST FROM THE CITY.**



**THE CITY OF KEY WEST**

3140 Flagler St,  
Key West, Florida 33040

**ADDENDUM #6**  
**Public Transit Facility**  
**Request for Proposal: 001-13**  
**21 November 2012**

This Addendum is issued as supplemental information to the bid package for clarification of certain matters of both a general and a technical nature. The referenced bid package is amended in accordance with the following items:

The information in Addendum 5 is modified as follows

- The Technical Proposal Package, Parts I thru III shall be limited to 85 pages, double-sided. This sheet count excludes city and FTA forms.

All Bidders shall acknowledge receipt and acceptance of this Addendum No 6 by acknowledging Addendum in their proposal or by submitting the addendum with the bid package. Bids submitted without acknowledgement or without this Addendum may be considered non-responsive

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Signature

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Name Of Business





**THE CITY OF KEY WEST**  
3140 Flagler St,  
Key West, Florida 33040

**ADDENDUM #7**  
**Public Transit Facility**  
**Request for Proposal: 001-13**  
**30 November 2012**

This Addendum is issued as supplemental information to the bid package for clarification of certain matters of both a general and a technical nature. The referenced bid package is amended in accordance with the following items:

- See attached Questions and Clarifications Sheet (Addendum 7)
- Cost Proposal Package: The cost proposal package (Attachment C) shall be replaced with the attached. See Questions and Clarifications for additional information
- Award: The city reserves the right to award any of the following
  - Demolition Only (Phase 1)
  - Demolition and Design (Phase 1 and 2)
  - Demolition, Design and Construction (Phase 1,2 and 3)
  - Demolition, Design, Construction and any of the Alternate Bid Items.
- The Bid due date DOES NOT change as a result of this addendum

All Bidders shall acknowledge receipt and acceptance of this Addendum No 7 by acknowledging Addendum in their proposal or by submitting the addendum with the bid package. Bids submitted without acknowledgement or without this Addendum may be considered non-responsive

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Signature

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Name Of Business

**CITY OF KEY WEST**  
**Public Transportation Facility Project**  
**Addendum No. 7**  
**November 30, 2012**

**CLARIFICATIONS AND REVISIONS**

- Request for Proposal, Section 1.2.3, Page 1-5, ADD the following after item. 7 “The City reserves the right to award any individual phase or combination of phases of the project listed in the RFP.” The intent is to allow the City to award any phase of the project, independently, in case that the bid amounts exceed the budget amount. Award will be made to a single Design-Builder. Contract award recommendation will follow the guidelines set in Section 1.6. In the Schedule of Values, Design-Builder should separate all costs under each Phase of the Project (e.g. Mobilization, General Conditions, Bond and Insurance, etc.). Permit allowances should not be
- Revised Attachment C – Cost Proposal Package No. 2 is included with this Addendum.
- Clarification: Under Addendum No. 5, “Fluid Dispensing System for the Maintenance Service Bay: (3) drops” was added under Alternate Bid Item D. The system should be included under the Base Bid. Please refer to Question 7 below.

**QUESTIONS**

**Q1.** Does the City have requirements for finish hardware and master keying?

- A. Provide a master key system for the facility. The Design-Builder shall coordinate a keying system meeting. The meeting shall produce a marked up copy of the floor plan indicating the doors to receive locks and the doors to be keyed together, and any master keying.*

**Q2.** Gate controls - Addendum 5, Q 21 was answered "the vehicle gates should have a remote controller located in the main building". This appears to indicate that there is also local control and/or communication at each gate. For example, each gate has a local controller keypad with intercom so that the vehicle operator can communicate with the main building and/or open the gate with a code when the main building operator person is not present. Please verify local/remote control requirements.

- A. The electronic vehicle access system should include remote controlled access, intercom, and automatic access to the Bus Fleet.*

**Q3.** Emergency Generator - Please indicate if the contractor is responsible to provide a full fuel tank for the emergency generator.

- A. Yes, design-builder will furnish and install the fuel tank for the emergency generator.*

- Q4.** Page 5-56 provides indoor design conditions of 75 deg but. does not state indoor humidity. Page 6-26 says 75 deg and 50% RH.for the Administration Building. It would be better to coordinate these two requirements and allow indoor humidity to be 60% or less. 60% is more typical. A requirement for 50% RH with no stated tolerance would require specialized equipment.
- A. The Engineer of Record should use his/her discretion to determine ideal system for compliance with current building codes and design conditions*
- Q5.** The requirements for continuous ventilation, building pressurization and humidity control will require a dedicated outside air dehumidification system. Verify that this interpretation of the requirements is correct.
- A. Ventilation system in service bays shall have ability to operate continuously; Clean spaces shall maintain positive air pressure, odorous spaces shall maintain negative pressure; Engineer of Record is responsible to design systems in compliance with current building codes.*
- Q6.** Page 6-23 requires MERV-13 air filters while page 6-26 requires 35% to 60% efficient filters. Please clarify.
- A. If the relevant LEED credits are pursued, MERV-13 filters would be required.*
- Q7.** Are there requirements for overhead lube lines and reels piped from the lube storage room? What about overhead air and water hose reels?
- A. Yes; See sections 5.5.2-5.5.4 & 6.3.1.2 for general reference. See more information below:*

#### **OVERHEAD LINES AND REELS SYSTEM EQUIPMENT**

1. Hose reels, lube pumps and overhead dispensing units should be included as part of the base bid.
2. Contractor will provide various pipe and fittings to install complete and operable systems.
3. All supplied lube equipment is manufactured by a subcontractor that specializes in lubrication systems installation.

#### **LUBE PUMPS**

1. All pumps are UL approved for pumping petroleum products.
2. Install lube pumps for the following:
  - a. Anti-freeze
  - b. Gear Oils
  - c. Motor Oil
  - d. Waste Oil
  - e. Windshield Washer Fluid

## HOSE REELS

1. Install lube and air reels for the following:
  - a. Gear Oils
  - b. Motor Oil
  - c. Air
  - d. Anti-Freeze
  - e. Windshield Washer Fluid

## HOSE OUTLETS

1. Install air, oil, and water control handles.

## ANTIFREEZE AND WINDSHIELD WASHER FLUID

1. Provide 3/4" hard temper, Type "L" copper tubing and wrought copper socket fittings with soldered joints in accordance with ASTM B-88.

## MOTOR OIL AND GEAR OIL TUBING

1. Provide 7/8" O.D. dead soft annealed, low carbon steel tubing with a minimum wall thickness of 0.049". Tubing shall conform to SAE J525 specifications.
2. Provide compression fittings to meet or exceed system working pressure rating.

## HYDRAULIC HOSE

1. Provide hydraulic hose with factory applied adapters sized and rated for intended uses.
2. Install in a manner so as to minimize friction wear within secondary pipe and to facilitate easy removal if leakage occurs.

## VALVES

1. Install valves at all equipment for isolation and maintenance.
2. Provide and install other valves as required. Valve shall be ball type, with lever handle, rated for system pressures.

## WASTE OIL EVACUATION PUMP

1. Install UL Listed diaphragm pump.
2. Install fluid hose with quick connector on the pump suction.
3. Provide and install hose hanger.
4. Locate valve to facilitate easy operation.
5. Connect pump discharge to piping system (valve provided).

**Q8.** RFP Section 6.5.4.3 indicates to provide toilets with no more than 0.6 gpf. Currently, there is no manufacturer that can meet this criteria. A dual flush tank-type water closet may be provided that can meet this requirement in one flush mode only. Please verify if this is the intent of the requirement or verify the actual water closet gpf that is required to be met.

A. *If LEED water efficiency credits are pursued, dual-flush fixtures (which average out to*



*lower-per-flush use) should be strongly considered, as the intent is to minimize potable water consumption; however, 1.6 gpf is the minimum efficiency required.*

**Q9.** Distribution Voltage- Normal fluorescent lighting is 277 Volts. Should the emergency lighting be 277 Volts as well. Emergency lighting can be incorporated in selected normal fixtures.

*A. This is up to the discretion of the Engineer of Record.*

**Q10.** From the RFP: 5.4.3 Design Loads: "Wind Loads: 150 mph....including current Florida Building Code and ASCE 7. Exposure C, Importance 1.15." This directs us to use the current FBC and ASCE 7, but states the wind speed and importance factor of the old code. According to the current Florida Building Code 2012 and ASCE 7-10, the design wind speed for a Risk Category III building should be 200 mph, exposure C . However, the City of Key West uses Exposure D. What is the correct Risk Category, Wind Speed and Exposure for the project?

*A. Design to the current applicable building codes; where conflicts exist, the more stringent requirements shall be followed.*

### **Attachments**

- Attachment C – Cost Proposal Package No. 2

**THIS IS A FORMAL ADDENDUM THAT HAS TO BE ACKNOWLEDGED IN THE BID ADDENDA ACKNOWLEDGEMENT FORM. IF A BIDDER FAILS TO ACKNOWLEDGE RECEIPT OF THIS ADDENDUM AS PART OF ITS BID SUBMISSION, THE CITY RESERVES THE RIGHT TO REQUEST, AND THE BIDDER MUST COMPLY WITHIN TWO (2) BUSINESS DAYS AFTER RECEIPT OF WRITTEN REQUEST FROM THE CITY.**

Attachment C  
Cost Proposal Package No. 2

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## PACKAGE NO. 2 - COST PROPOSAL

for

CITY OF KEY WEST PUBLIC TRANSPORTATION FACILITY  
KEY WEST, FLORIDA

NOTE TO PROPOSER: Use ink, preferably BLACK, for completing this proposal form.

To: City Clerk, City of Key West

Address: 3126 Flagler Avenue  
Key West, Florida 33040

Project Title: Public Transportation Facility  
Key West, Florida

CITY Project No.: RFP 001-13

PROPOSER'S person to contact for additional information on the Proposal:

Name: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

## **BIDDER'S DECLARATION AND UNDERSTANDING**

The undersigned hereinafter called the Design/Build Proposer, declares that the only persons or parties interested in this Proposal are those names herein, that this Proposal is, in all respects, fair and without fraud, that it is made without any connection or collusion with any person submitting another Proposal on this Contract.

The Proposer further declares that the Design/Build Proposer has carefully examined the Request for Proposal for design and construction of the Project, that the Proposer attended the Pre-proposal Meeting, that the Proposer has personally inspected the site, that the Proposer has satisfied himself as to the scope of the Project, including, but not limited to required design work, permitting conditions, conditions of construction work involved, quantities of equipment, materials, and building systems as well as the detailed requirements of the Contract, and that this Proposal is made according to the provisions and under the terms of the Contract. Furthermore, the Proposer acknowledges all information presented in the Instructions to Proposers.

The Proposer further agrees that the Proposer has exercised his own judgment regarding interpretation of the Design Criteria information and has utilized all data, which the Proposer believes pertinent from CITY and other sources in arriving at his conclusions.

### **Contract Execution and Bonds**

The Design/Build Proposer agrees that upon receiving notice of City's intent to accept this Proposal the Bidder will, within 15 working days after Notice of Award, sign the Contract, submit the executed Performance and Payment Bonds, and will, to the extent of his Proposal, furnish all design and machinery, tools, apparatus, and other means of construction and do the work and furnish all materials necessary to complete all work as specified or indicated in the Design Criteria and Contract and General and Supplementary Conditions.

### **Certificates of Insurance**

The Design/Build Proposer further agrees to furnish to the City, before signing of the Contract, the certificates of insurance as specified in the Request for Proposal Documents. The CITY shall be listed as additionally insured on all Insurance Certificates.

### **Start of Project and Contract Completion Time**

The Design/Build Proposer further agrees to begin work within ten (10) calendar days after the date of the Notice to Proceed and that construction shall be substantially complete and also completed and ready for final payment and acceptance by, the CITY as set forth in the Design/Build contract

### **Liquidated Damages**

Liquidated damages, in the amount and in accordance with the terms stated in the Agreement, shall be paid by the Proposer for each day from the time specified for the completion of the Contract until final acceptance of the Work in accordance with the Agreement. This is estimated as fixed damages to the CITY for failure to complete the Work in the time specified. This charge shall be made, unless the CITY shall grant an extension of time for the completion of the Work.



## **Addenda**

The Design/Build Proposer hereby acknowledges that he has received Addenda No's \_\_\_\_\_, \_\_\_\_\_, \_\_\_\_\_, \_\_\_\_\_ (Bidder shall insert No. of each Addendum received) and agrees that all Addenda issued are hereby made part of the Contract Documents, and the Bidder further agrees that the Proposal includes all impacts resulting from said Addenda.

## **Sales and Use Taxes**

The Design/Build Proposer agrees that all sales and use taxes are included in the stated bid prices for the work, unless provision is made herein for the Proposer to separately itemize the amount of sales tax.

## **Lump Sum Work**

The Design/Build Proposer further proposes to accept as full payment for the work proposed herein the amounts computed under the provisions of the Contract Documents and based on the following lump sum amounts, it being expressly understood that the amounts are independent of the exact quantities involved. The Design/Build Proposer agrees that the amounts represent a true measure of the labor and materials required to perform the work, including all allowances for overhead and profit for each type of work called for in these Contract Documents. The amounts shall be shown in both words and figures. In case of a discrepancy, the amount shown in words shall govern.

## **Preliminary Schedule of Values**

Preliminary Schedule of Values prepared in accordance with General Conditions, Paragraph 2.04.B.3 shall be attached to this Cost Proposal Package. Final Schedule of Values shall be developed in accordance with the Contract subject to approval of the City.

## **Public Entity Crimes**

"A person or affiliate who has been placed on the convicted vendor list following a conviction for a public entity crime may not submit a bid on a contract to provide any goods or services to a public entity, may not submit a bid on a contract with a public entity for the construction or repair of a public building or public work, may not submit bids on leases of real property to a public entity, may not be awarded or perform work as a contractor, supplier, subcontractor, or consultant under a contract with any public entity, and may not transact business with any public entity in excess of the threshold amount provided in Section 287.017, for CATEGORY TWO for a period of 36 months from the date of being placed on the convicted vendor list." See Attachment M.

## **Florida Trench Safety Act**

The Design/Build Proposer further acknowledges that, included in the various items of the Proposal and in the total bid price are costs for complying with the Florida Trench Safety Act (90-96, Laws of Florida) effective October 1, 1990. These costs shall not be paid for in a separate bid item. See Attachment O.

## **Permit Costs & Building Permit Allowance**

Design / Build Proposer shall obtain and pay for any permits required for execution of the work. Separate permits will be required by the City of Key West Building Department. No permits will be waived.

The City will compensate the Design / Builder for the actual cost of the City of Key West Building Department permit fee required for design and construction of the project. The allowance amount for this bid item shall be **(\$165,000)**. Amounts remaining unused in this allowance shall be credited back to CITY at project completion.

Design / Build proposer further acknowledges that this amount shows is an estimated amount to be included in the Total Base Bid for the Building Permit required by the City of Key West. Proposer acknowledges that payment will be based on actual costs for the permit(s)

Permits other than those required by the City of Key West may be required and contractors shall include the cost of these permits in their base bid.

## **Total Base Bid Amount**

The Design/Build Proposer agrees to accept as full payment for the Work proposed under this Project, as herein specified and as shown on the Drawings, the following Total Base Bid amount, including permit costs, and building permit allowance:

**BID SHEET**

**DEMOLITION (Phase 1)**

Permits and connection fees (other than those covered under the City of Key West Allowance):

Mobilization

General Conditions

Bond & Insurance

Clearing & Grubbing

Demolition of Structures

Salvage value of equipment and materials (deductive)

Grading and capping of site

Sodding of areas outside of new construction project limits

(	)

Subtotal (Phase 1)

--

**DESIGN (Phase 2)**

0% to 60% Design Document

60% to 90% Design Document

90% to 100% Design Documents (Upon Grant Agency Approval)


Subtotal (Phase 2)

--

**CONSTRUCTION (Phase 3)**

Permits and connection fees (other than those covered under the City of Key West Allowance):

Mobilization	
General Conditions	
Bond & Insurance	
Bus Wash station	
Fuel station	
Administrative Structure	
Maintenance Structure	
Underground Utilities	
Site Work	
Lighting	
Security fencing	
Landscaping	

Subtotal (Phase 3)

Permit Allowance for CKW  
Building Department \$ 165,000

TOTAL BASE BID: (Phase 1 +  
Phase 2+ Phase 3 + CKW  
Permit Allowance)

**TOTAL BASE BID - WRITTEN AMOUNT (Amount written in words has precedence)**



**ALTERNATES:**

Listed below are alternate options that will be considered by the City. These options, if accepted by the City will be additions to or deductions from the Total Base Bid Amount stated above. Acceptance of alternates will be authorized through a Change Order issued in accordance with General Conditions. Acceptance or rejection of alternates will be at the sole discretion of the City.

**ALTERNATE A - LEED CERTIFICATION - SILVER**

Under this alternate bid item, the Design/Builder must achieve certification of the project by the U.S. Green Building Council to LEED SILVER, under LEED 2009 for New Construction and Major Renovations.

The Project must satisfy all the prerequisites and qualify for a minimum number of points to attain the established project rating of LEED Silver. The team will be required to understand the point system and incorporate sustainable design into the project to support the goals. Research of products, systems or alternate options requested by the city shall be considered in the price.

Efforts will include: LEED certification registration, filing, and documentation process, commissioning, design, and all associated fees.

If the City accepts Alternate A - LEED Certification - Silver Level, Contract Price will be increased by:

\$ \_\_\_\_\_

\_\_\_\_\_ DOLLARS

(Amount written in words has precedence)

and \_\_\_\_\_ Cents

### **ALTERNATE B – LEED CERTIFICATION - GOLD**

Under this alternate bid item, the Design/Builder must achieve certification of the project by the U.S. Green Building Council to LEED GOLD, under LEED 2009 for New Construction and Major Renovations.

The Project must satisfy all the prerequisites and qualify for a minimum number of points to attain the established project rating of LEED Gold. The team will be required to understand the point system and incorporate sustainable design into the project to support the goals. Research of products, systems or alternate options requested by the city shall be considered in the price.

Efforts will include: LEED certification registration, filing, and documentation process, commissioning, design, and all associated fees.

If the City accepts Alternate B – LEED Certification – Gold Level, Contract Price will be increased by:

\$ \_\_\_\_\_  
\_\_\_\_\_ DOLLARS

(Amount written in words has precedence)

and \_\_\_\_\_ Cents

### **ALTERNATE C – SECOND 8,000 GAL ABOVEGROUND BIO-DIESEL STORAGE TANK**

Under this alternate bid item, the Design/Builder must furnish and install a second aboveground bio-diesel storage tank at the fuel island in lieu of relocating the existing tank. The tank shall meet criteria in technical specification Section 6.5.1.

If the City accepts Alternate C – New Aboveground Storage Tank, Contract Price will be increased by:

\$ \_\_\_\_\_  
\_\_\_\_\_ DOLLARS

(Amount written in words has precedence)

and \_\_\_\_\_ Cents

## **ALTERNATE D - VEHICLE LIFTS**

Under this alternate bid item, the Design/Builder must furnish and install:

- Two (2) - Large Vehicle Maintenance Lifts: Rotary Lift: Heavy Duty Parellelogram 6 Leg 45/35S Model or equivalent approved equal.
- One (1) - Small Maintenance Lift: Rotary Lift: Y-Lift (YA12) Model or approved equal

If the City accepts Alternate D - Vehicle Lifts, Contract Price will be increased by:

\$\_\_\_\_\_

\_\_\_\_\_ DOLLARS

(Amount written in words has precedence)

and \_\_\_\_\_ Cents





**SURETY**

The Performance and Payment Bonding will be furnished by a Surety. The Surety who will provide the Payment and Performance Bonding will be \_\_\_\_\_

Whose address is \_\_\_\_\_  
Street

City State Zip Code

**PROPOSER**

The name of the Design/Build Proposer submitting this Proposal is \_\_\_\_\_

\_\_\_\_\_, doing business at

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Street City State Zip Code

which is the address to which all communications concerned with this Proposal and with the Contract shall be sent.

The names of the principal officers of the corporation submitting this Proposal, or of the partnership, or of all persons interested in this Proposal as principals are as follows:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**If Sole Proprietor or Partnership**

IN WITNESS hereto the undersigned has set his (its) hand this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Signature of Design/Build Proposer: \_\_\_\_\_

Title: \_\_\_\_\_

**If Corporation**

IN WITNESS WHEREOF the undersigned corporation has caused this instrument to be executed and its seal affixed by its duly authorized officers this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

(SEAL)

\_\_\_\_\_  
Name of Corporation

By \_\_\_\_\_

Title \_\_\_\_\_

Attest \_\_\_\_\_

Secretary



**THE CITY OF KEY WEST**

3140 Flagler St,  
Key West, Florida 33040

**ADDENDUM #8**  
**Public Transit Facility**  
**Request for Proposal: 001-13**  
**5 December 2012**

This Addendum is issued as supplemental information to the bid package for clarification of certain matters of both a general and a technical nature. The referenced bid package is amended in accordance with the following items:

- Contractors are notified that after receipt of Proposal Packages; The City's point of contact will be Elizabeth Ignaffo who can be reached at [ignaffo@keywestcity.com](mailto:ignaffo@keywestcity.com)
- Clarification Page 1-23, 1.6 Evaluation Criteria: Add the following "The Financial /Surety Advisor and the Reference Verifier will perform their duties and submit a recommended score and narrative to the TEB Board Members. The TEB Board Members will each individually assign the score for Financial Stability and Past Performance and may or may not follow the advisor's recommendation"
- Clarification 1-25: First Paragraph: Change "Chairman" to "Cost Proposal Evaluator". Add: The City Clerk shall hold all Cost Proposal Packages unopened until such time that the Chairman has notified him/her that the Initial Ranking of the Technical Proposals is complete.
- Clarification Addendum #7: Clarifications and Revisions, First bullet, last sentence: Delete the sentence "Permit allowances should not be."
- Alternate Bid Item E: See attached sheet: FEEDWATER TANK shall be added to the COST PROPOSAL PACKAGE as an alternate bid item.

All Bidders shall acknowledge receipt and acceptance of this Addendum No 8 by acknowledging Addendum in their proposal or by submitting the addendum with the bid package. Bids submitted without acknowledgement or without this Addendum may be considered non-responsive

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Signature

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Name Of Business

Alternate Bid Item E: Feed Water Tank

Tank holds approximately 4,000 gallons of liquid which city maintenance staff has indicated is storm water runoff from the former Transfer Station dumping area.

Under this Alternate bid item, City will drain and dispose of tank contents. Contractor will deliver (load and unload) at a location behind the Key West Wildlife Center for a future use as a cistern. Access to the site is via a gravel roadway. City will perform all site work at the tanks location. Delivery would be 60 to 90 days after award

If the city accepts Alternate E: Feed Water Tank Contract price will be increased/decreased by:

Additive   Deductive   \$\_\_\_\_\_ (numeric)  
(circle one)

Written (has precedence/indicate additive/deductive)

\$\_\_\_\_\_ dollars and \_\_\_\_\_ Cents



Feed Water Tank



Wildlife Center

Delivery Location Site