



Historic Architectural Review Commission Staff Report for Item 6

To: Chairman Haven Burkee and Historic Architectural Review
Commission Members

From: Enid Torregrosa-Silva, MSHP
Historic Preservation Planner

Meeting Date: November 18, 2024

Applicant: Richard McChesney, Applicant

Application Number: H2024-0050

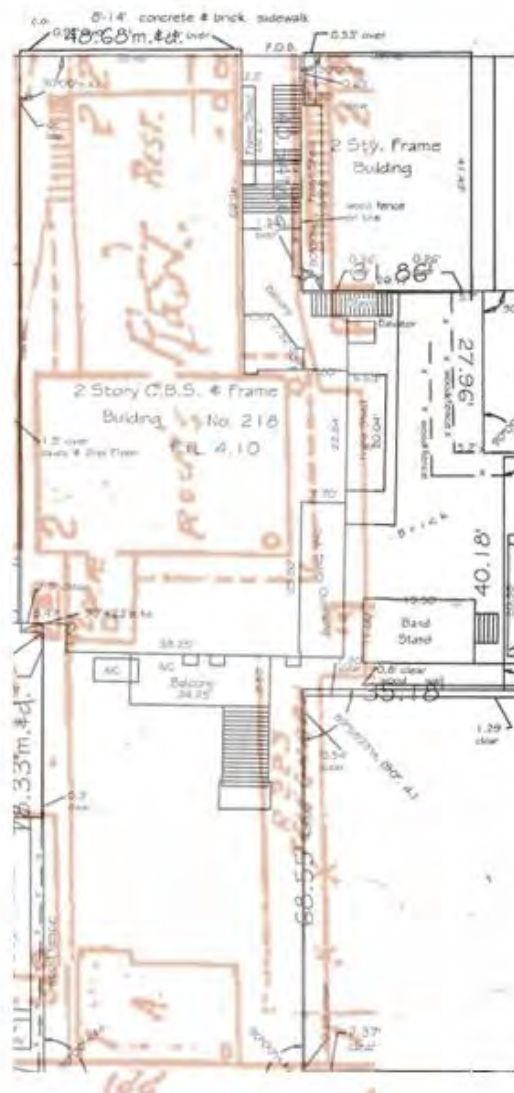
Address: 218 Duval Street

Description of Work:

New pavilion with bar underneath and site improvements including pavers, turf, and fencing.

Site Facts:

The site under review faces Duval Street on its northeast side and Telegraph Lane on its southwest boundary. The site contains a two-story commercial contributing building built circa 1889. Through the years the historic building has been altered by the addition of a new two-story one-bay porch on the northeast corner of the main façade. Alterations to the side and rear have changed the building form of this historic building. Historically, the site used to have a one-story frame structure dedicated to cars on its southwest side, and facing Telegraph Lane.



1962 Sanborn Map and Survey of the property. Lower portion depicts the accessory structure dedicated to cars facing Telegraph Lane.

This application is for the development of the rear portion of the site. On recent years a chikee was built behind the principal building, without a Certificate of Appropriateness for commercial purposes. Bricks and turf were also installed without a COA. A Certificate of Appropriateness was approved for the demolition of the chikee and partial removal of pavers. In 2021 a six-foot picket aluminum fence and gate were approved at staff level to be installed at the rear, facing Telegraph Lane. The existing aluminum fence and gate will be removed and replaced with an appropriate aluminum picket fence and gates.

This project will require Planning Board and City Commission review and approval as it is considered a Minor Development Plan due to the scope of work and square footage.



Site under review before September 2024.



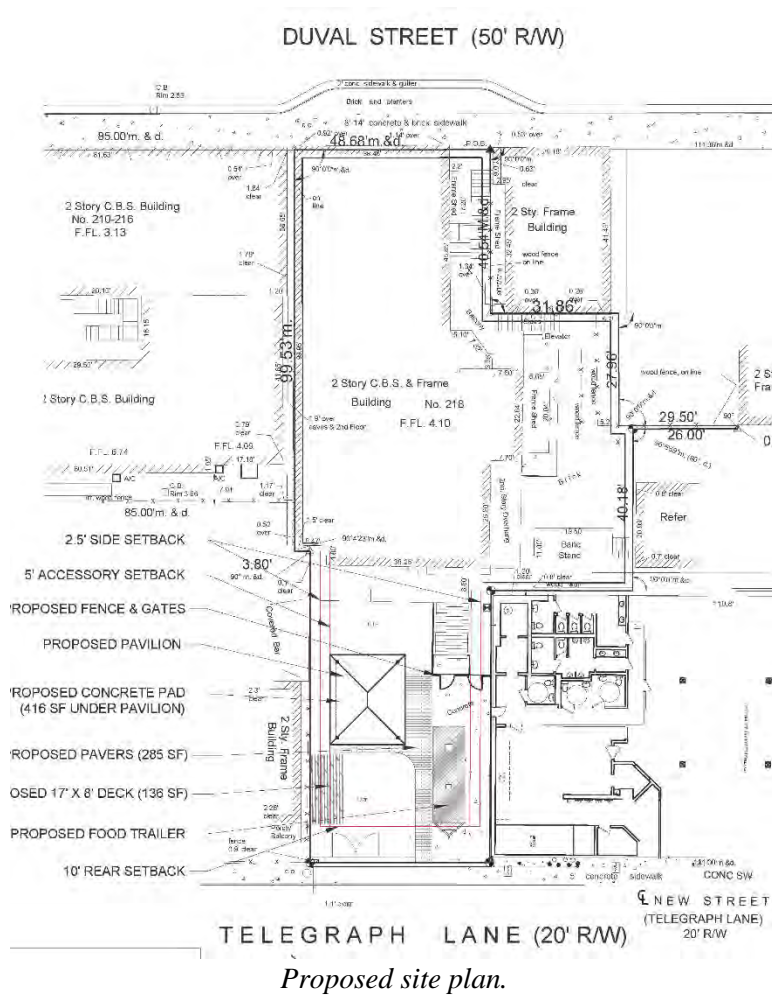
Current view of the site under review.

Guidelines Cited on Review:

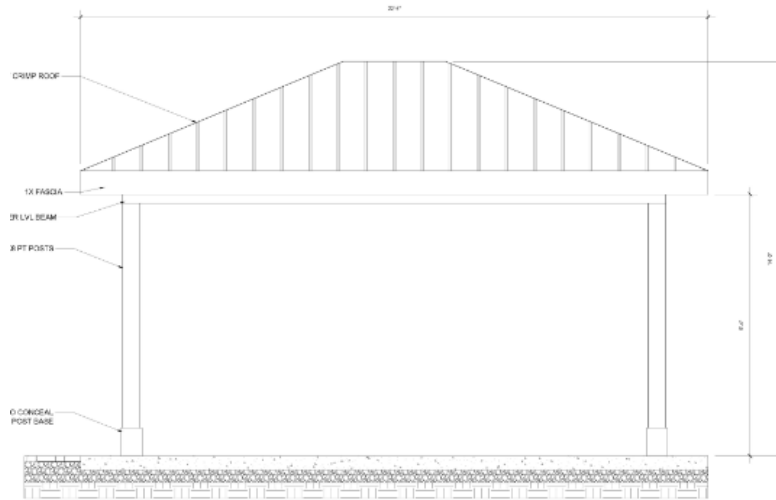
- Guidelines for New Construction (pages 38a-38q), specifically guidelines 1, 2, 5, 11, 12, 13, 18, 22 and 23.
- Guidelines for Outbuildings: Carports, Gazebos, garages, Sheds, Shelters, and Accessory Structures (pages 40-41), specifically first two paragraphs of page 40, guidelines 1, 3, 4, 9, 10 and 11.
- Fences and walls (pages 41-42), specifically guidelines 2, 4, 8, and 9.

Staff Analysis:

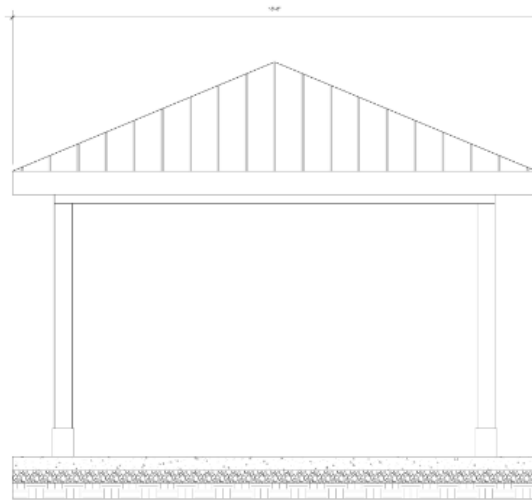
A Certificate of Appropriateness under review is for the construction of a new pavilion on the northwest portion of the site and facing Telegraph Lane. The structure will be a wood frame construction with four 8” by 8” posts supporting a hip roof. The maximum height of the structure will be 14’-0”, and the roof will be covered with 5 v-crimp metal panels. Overall width of the structure will be approximately 22’-4”. The proposed pavilion will be approximately 32 feet from the Telegraph Lane property line and will be five feet setback from the side property line.



The plan also includes the installation of artificial turf and a 136 square feet wood deck ten feet setback from Telegraph Lane property line. Brick pavers will be installed for walkways. A six-foot-tall wood picket fence is proposed around the existing rear staircase of the building that gives access to the second floor.



1
A-2 **SOUTHEAST ELEVATION**
SCALE: 1/2" = 1'



2
A-2 **NORTHEAST ELEVATION**
SCALE: 1/2" = 1'

Proposed front and side elevations.

Consistency with Cited Guidelines:

It is staff's opinion that the proposed pavilion is appropriate in design, size, scale, and materials. Though it will be visible from Telegraph Lane, the proposed pavilion will have a building form

that will be harmonious with its urban context. Staff find that the proposed brick pavers are in keeping with the site. The proposed six-foot tall fence and gate surrounding the existing stairs also meet required regulations, The guidelines are silent, pertaining to the use of artificial turf.

As this project requires Planning Board approval, as it is a minor development plan, if approved, staff have the following recommendation.

1. Any conditions requested by the Planning Board that will affect the exterior design under review will require HARC review, either by the Commission or their staff, depending on the extent of the change in the plans.

APPLICATION

SEP 30 2024

BY: TK

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS



City of Key West
1300 White Street
Key West, Florida 33040

Table with 3 columns: HARC COA #, REVISION #, INITIAL & DATE, FLOOD ZONE, ZONING DISTRICT, BLDG PERMIT #. Handwritten entries: HARC 2024 0050, TK 9/30/24.

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

Form with fields for ADDRESS OF PROPOSED PROJECT, NAME ON DEED, OWNER'S MAILING ADDRESS, APPLICANT NAME, APPLICANT'S ADDRESS, APPLICANT'S SIGNATURE, and DATE. Includes handwritten details for 218 Duval St., Ramlo Development Corp., and Richard McChesney.

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS, RELOCATION OF A STRUCTURE, ELEVATION OF A STRUCTURE. PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES NO. INVOLVES A HISTORIC STRUCTURE: YES NO. PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES NO.

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC. GENERAL: New 14' Pavilion w/ bar underneath; New sitework including pavers and installation of turf; Proposed concrete pad under pavilion; Proposed fence and gate around existing stair case.

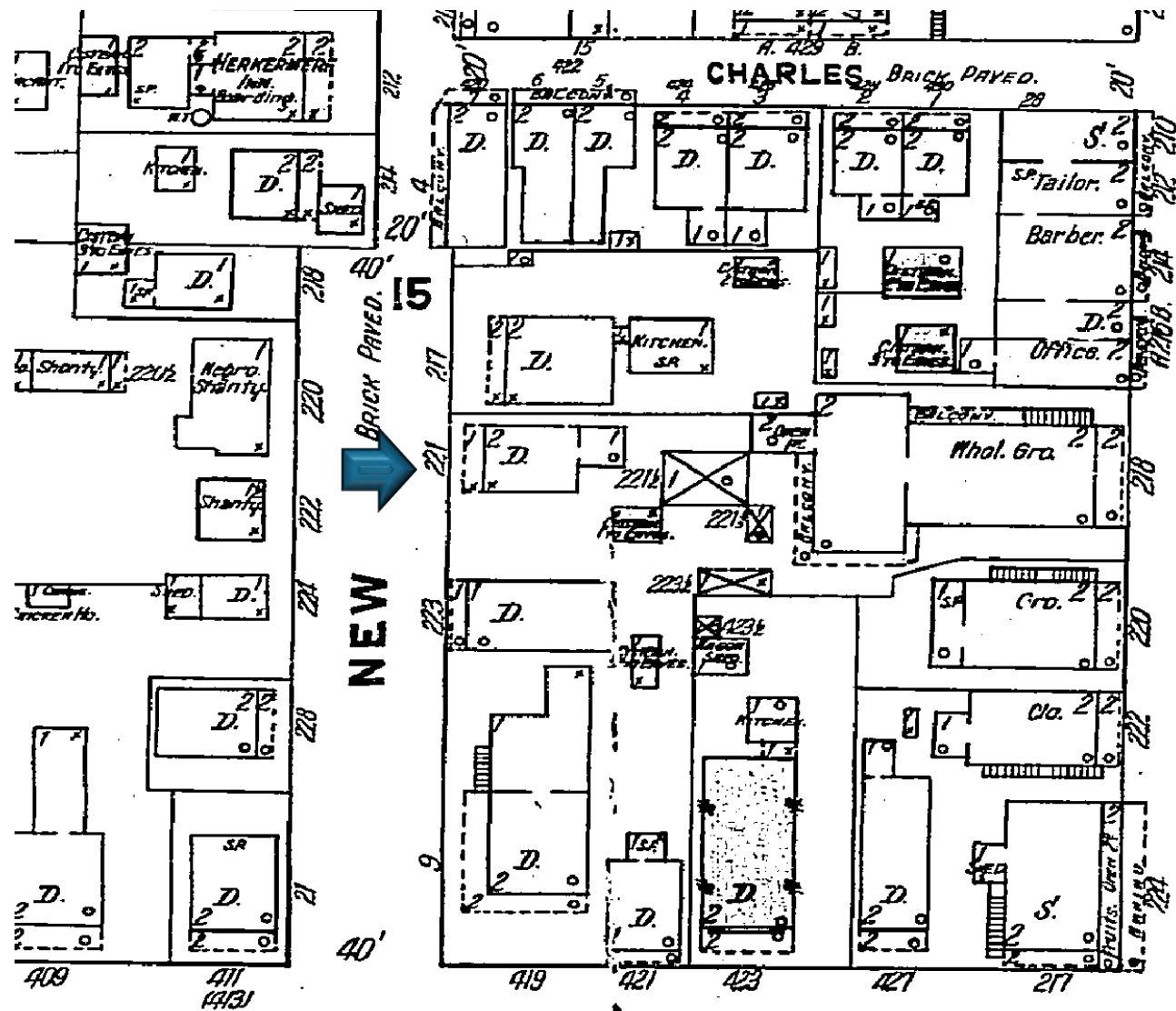
APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
 PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S): <i>See general description above.</i>	
PAVERS:	FENCES:
DECKS:	PAINTING:
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (INCLUDING EQUIPMENT):
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER:

OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

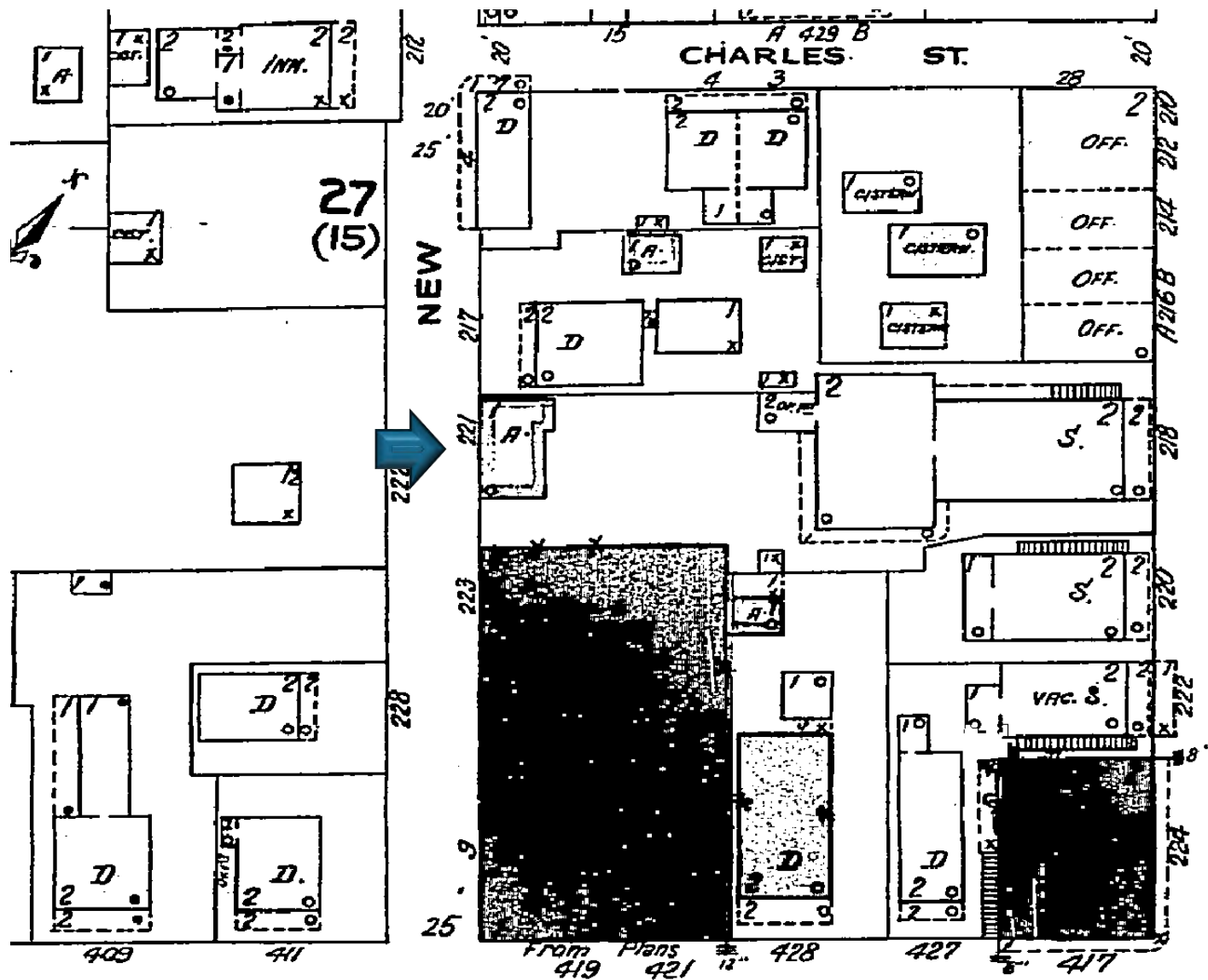
THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

SANBORN MAPS

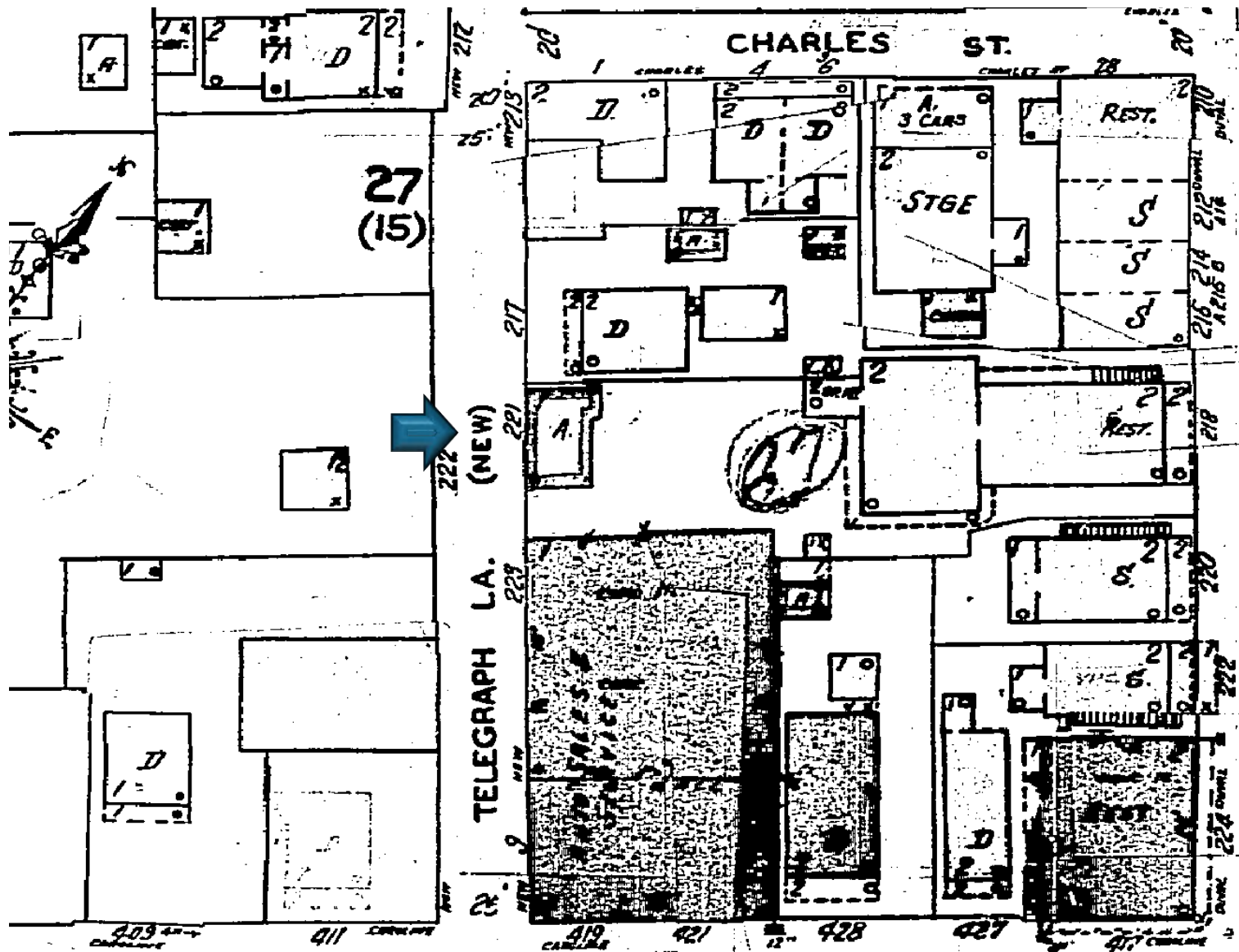


CAROLINE

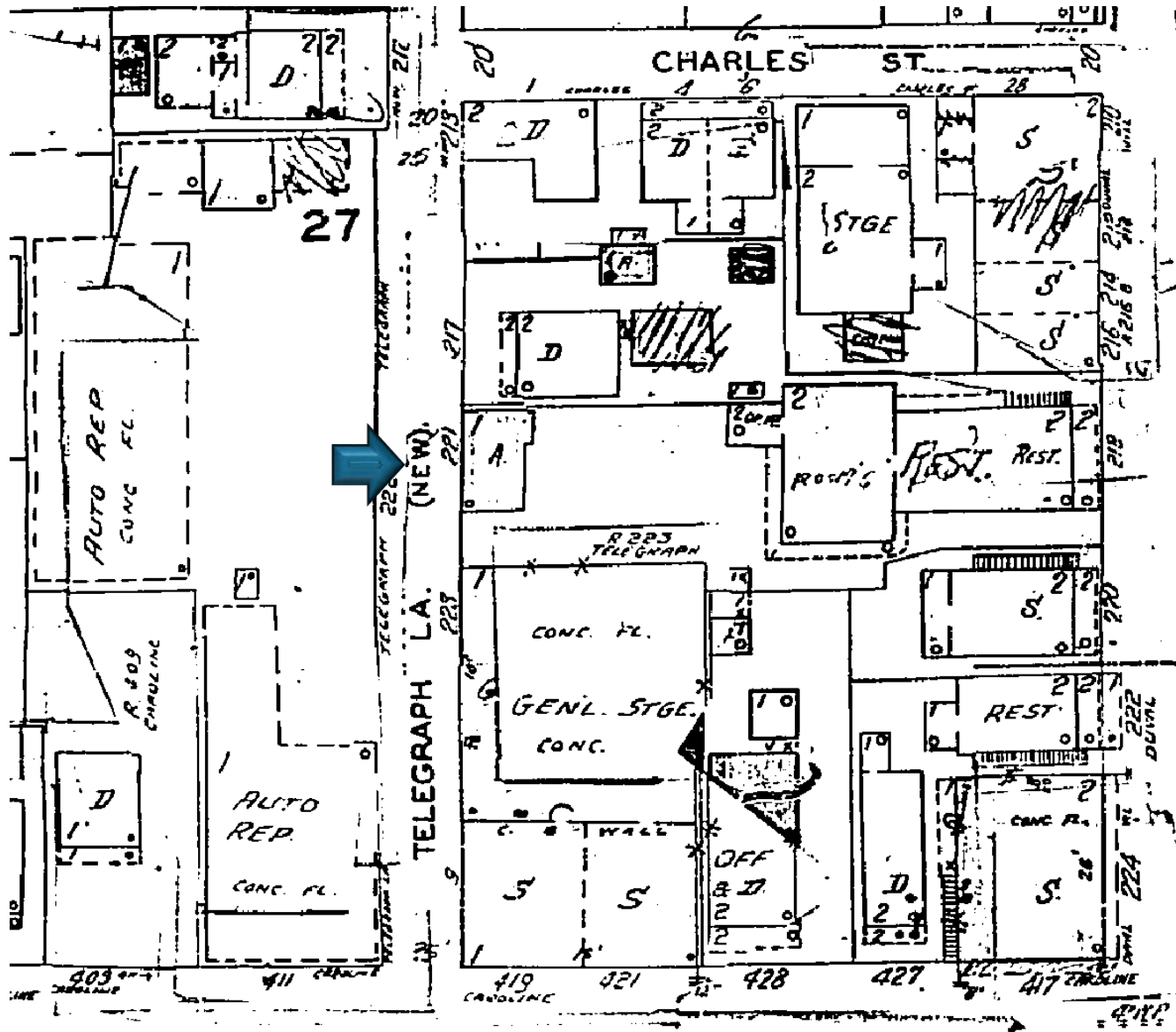
1912 Sanborn Map



1926 Sanborn Map



1948 Sanborn Map



1962 Sanborn Map

PROJECT PHOTOS



218 Duval Street main building circa 1912. Monroe County Library.



218 Duval Street rear of building circa 1965. Monroe County Library.



Google Earth photograph of rear of property before development.

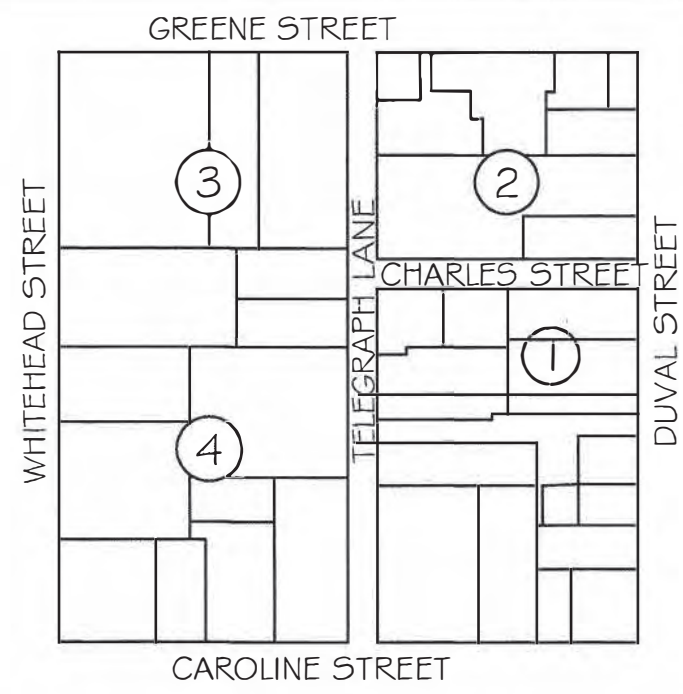


Chikee hut that was built without Certificate of Appropriateness currently demolished.



Current conditions of rear of property.

SURVEY



LOCATION MAP

Square 15, City of Key West

LEGAL DESCRIPTION:

Prepared by undersigned:

On the Island of Key West, Monroe County, Florida and a part of Lot Two (2), Square Fifteen (15) of William A. Whitehead's Map of said city delineated in 1829, and being more particularly described by metes and bounds as follows:
 COMMENCE at the intersection of the Northwestern Right-of-Way Line of Caroline Street and the Southwestern Right-of-Way Line of Duval Street; thence in a Northwestern direction along the said Southwestern Right-of-Way Line of Duval Street for 111.36 feet to the Point of Beginning;
 thence continue in a Northwestern direction along the said Southwestern Right-of-Way Line of Duval Street for 46.86 feet; thence at a right angle and in a Southwestern direction for 99.53 feet, thence at an angle of 90°04'23" to the right and in a Southeastern direction for 3.80 feet; thence at a right angle and in a Southwestern direction 78.33 feet to the Northeastern Right-of-Way line of Telegraph Alley; thence at a right angle and in a Southeastern direction along the said Northeastern Right-of-Way line of Telegraph Alley for 45.00 feet; thence at a right angle and in a Northeastern direction for 68.55 feet; thence at an angle of 89°56'23" to the left and in a Southeastern direction for 33.18 feet; thence at a right angle and in a Northeastern direction for 40.18 feet; thence at an angle of 90°05'59" to the left and in a Southeastern direction for 26.00 feet; thence at a right angle and in a Northeastern direction for 0.75 feet; thence at a right angle and in a Northwestern direction for 29.50 feet; thence at a right angle and in a Northeastern direction for 27.96 feet; thence at a right angle and in a Northwestern direction for 31.86 feet; thence at a right angle and in a Northeastern direction for 40.54 feet to the said Southwestern Right-of-Way line of Duval Street and the Point of Beginning.
 Containing 10,725.37 square feet, or 0.25 acres, more or less.

NOTE: Legal Description based on the following deeds:

- O.R. 1548 Pg. 1837-1838
- O.R. 1608 Pg. 1970-1971
- Surrounding deeds

SURVEYOR'S NOTES:

North arrow based on reference
 Reference Bearing: RW Duval Street
 3.4 denotes existing elevation
 Elevations based on N.G.V.D. 1929 Datum
 Bench Mark No.: Tidal Elevation: 5.29 (at 1st. Union Bank)

Monumentation:

- = Set P.K. Nail, P.L.S. No. 2749
- = Set 1/2" I.B., P.L.S. No. 2749
- = Fd. 1/2" I.B.
- = Fd. P.K. Nail

CERTIFICATION:

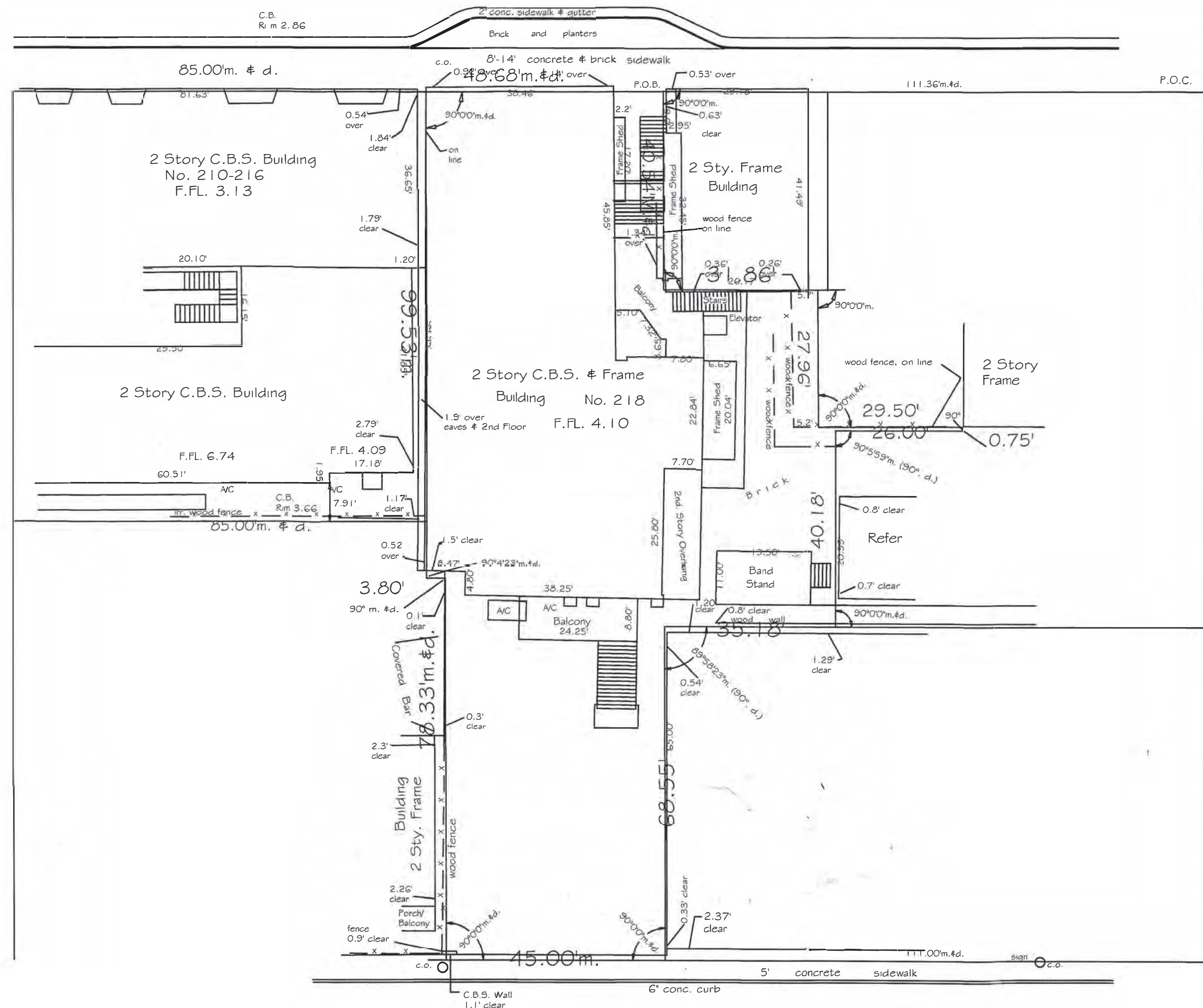
I HEREBY CERTIFY that the attached Boundary Survey is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 61G17-6, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT
 Professional Land Surveyor No. 2749
 Professional Engineer & Mapper No. 36810
 State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE

N.T.S.

CHARLES ST.



CAROLINE STREET

TELEGRAPH LANE (20' RW)

Abbreviations:

- | | | |
|-----------------------------|-----------------------------------|------------------------------------|
| Sty. = Story | o/h = Overhead | E. = Electric Utility Vault |
| RW = Right-of-Way | u/g = Underground | M.H. = Man Hole |
| fd. = Found | F.F.L. = Finish Floor Elevation | San. = Sanitary |
| p. = Plat | L.B. = Low Beam | C.B. = Storm Water Catch Basin |
| m. = Measured | Rad. = Radial | B.P.Z. = Backflow Prevention Valve |
| d. = Deed | Irr. = Irregular | P.V.C. = Polyvinyl Pipe |
| M.H.W. = Mean High Water | conc. = concrete | = Fire Hydrant |
| O.R. = Official Records | β = Baseline | = Light |
| N.T.S. = Not to Scale | C.B. = Concrete Block | = sign |
| ☉ = Centerline | C.B.S. = Concrete Block Stucco | Field Work performed on: 5/9/11 |
| Elev. = Elevation | covd. = Covered | |
| B.M. = Bench Mark | P.I. = Point of Intersection | |
| P.O.C. = Point of Commence | wd. = Wood | |
| P.O.B. = Point of Beginning | w.m. = Water Meter | |
| P.B. = Plat Book | Bal. = Balcony | |
| pg. = page | Pl. = Planter | |
| Elec. = Electric | Hydt. = Fire Hydrant | |
| Tel. = Telephone | F.W. = Fire Well | |
| AC = Air Conditioner | = Concrete Utility Pole | |
| M.W. = Monitoring Well | = Wood utility Pole | |
| ○ = Water Meter | = Wood Utility Pole with Guy wire | |
| ○ = Water Valve | | |
| E. = Electric Manhole | | |

OFFICE COPY

Block 15

Ramlo Development Corporation 218 Duval Street, Key West, Fl. 33040			
Boundary Survey		Dwn No.: 11-203	
Scale: 1"=20'	Ref. 203-47	Flood panel No. 1516K	Dwn. By: F.H.H.
Date: 5/18/11		Flood Zone: AE	Flood Elev. 6'
REVISIONS AND/OR ADDITIONS			
2/8/16: COPY, NOT UPDATED			
f:\data\red\dwg\keywest\block15\218duval			

ISLAND SURVEYING INC.
 ENGINEERS PLANNERS SURVEYORS

3152 Northside Drive
 Suite 201
 Key West, Fl. 33040

(305) 293-0466
 Fax: (305) 293-0237
 fhildeb1@bellsouth.net
 L.B. No. 7700

BUILDING WITH ALL CITY OF KEY WEST

PROPOSED DESIGN

218 DUVAL ST. - NEW PAVILION, BAR, DECK & PAVERS

SCOPE OF WORK:

- DEMOLITION OF EXISTING CHICKEE STRUCTURE
- CONSTRUCTION OF WOOD FRAMED PAVILION WITH BAR EQUIPMENT
- INSTALLATION OF PAVERS/CONCRETE (700 SF), WOOD DECK (136 SF) AND ARTIFICIAL TURF
- CONSTRUCTION OF PRIVACY FENCE AND GATES
- INSTALLATION OF MOBILE FOOD TRAILER

PROJECT LOCATION:

218 DUVAL ST.
KEY WEST, FL 33040

LEGAL DESCRIPTION:

KW PT LOT 1 SQR 15 D2-550 G3-130 G4-491
OR672-429

SEC/TWP/RANGE:

06/68/25

ZONING:

HRCC1

FLOOD CRITERIA:

FLOOD ZONE - AE-6
BASED UPON N.G.V.D. 1929

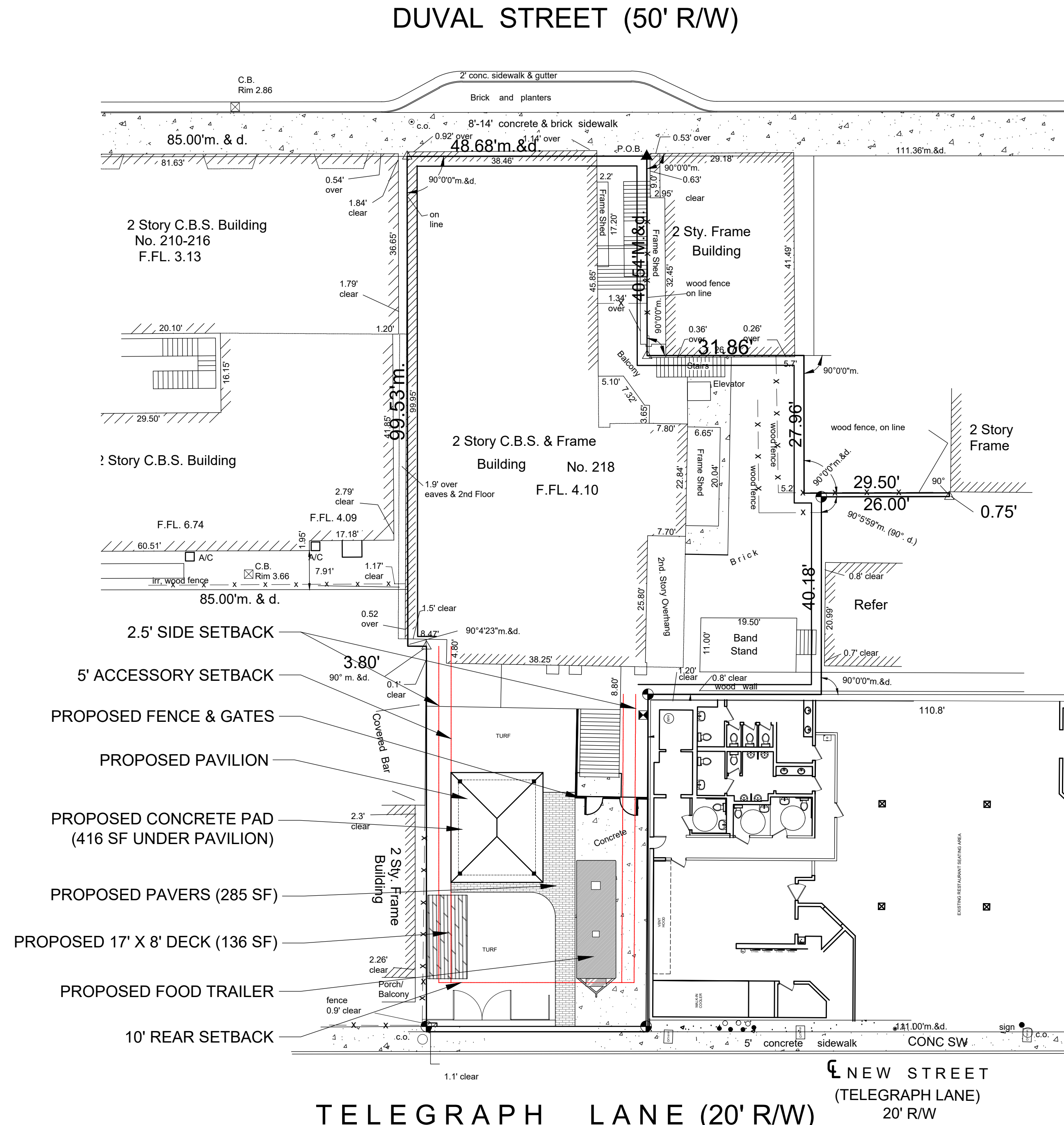
SHEET LIST:

- CS-1 COVER SHEET & SITE PLAN
- A-1 DEMO & SITE PLAN
- A-2 EXISTING SURVEY
- A-3 PROPOSED PAVILION ELEVATION
- A-4 BAR LAYOUT
- A-5 FOOD TRUCK PLAN

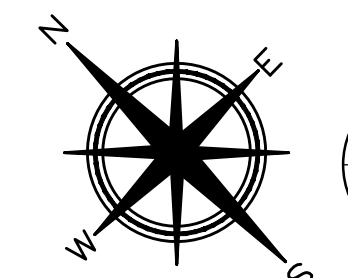
GENERAL NOTES:

CONTRACTOR TO NOTIFY ENGINEER OF ANY FIELD CHANGES OR UNFORSEEN CONDITIONS. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODES.

SITE DATA TABLE				
	CODE REQUIREMENT	EXISTING SITE	PROPOSED	NOTES
ZONING		HRCC1		N/A
FLOOD ZONE		AE-6		N/A
SIZE OF SITE		9,191		N/A
FRONT SETBACK	0'-0"	1'-1" OVER	UNCHANGED	N/A
SIDE SETBACK A	2'-6"	0'-6" OVER	UNCHANGED	N/A
SIDE SETBACK B	2'-6"	0'-0"	UNCHANGED	N/A
STREET SIDE SETBACK	0'-0"	N/A	N/A	N/A
REAR SETBACK	10'-0"	29'-3"	UNCHANGED	N/A
BUILDING COVERAGE	50%	72.4%	UNCHANGED	N/A
IMPERVIOUS SURFACE	70%	100.0%	86.9%	13.1% IMPROVEMENT



TELEGRAPH LANE (20' R/W)



1 CS-1
SCALE: 1/16" = 1'

STORMWATER NOTE: PROJECT REDUCES IMPERVIOUS SURFACES BY 13.3%

FIRE SPRINKLER NOTE: A NFPA 13 COMPLIANT FIRE SPRINKLER PLAN IS REQUIRED AND WILL BE SUBMITTED SEPARATELY BY LICENSED CONTRACTOR

GENERAL CONSTRUCTION NOTES

GENERAL REQUIREMENTS

- PRIOR TO STARTING ANY WORK THE CONTRACTOR SHALL REVIEW THESE PLANS AND SITE CONDITIONS AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
- QUALITY OF THE WORK SHALL MEET OR EXCEED INDUSTRY STANDARD PRACTICES.
- ANY DEVIATIONS FROM THESE PLANS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.

DESIGN DATA

APPLICABLE CODES: FLORIDA BUILDING CODE (2023), ANSI/APSP/ICC-5 2011, NFPA 70 (NEC), ASCE 24-14 FLOOD RESISTANT DESIGN AND CONSTRUCTION, ACI 318 LATEST EDITION AND ACI 301, AND ALL REFERENCED STANDARDS.

DESIGN LOADS: PER ASCI/SEI 7-16

FLOOR LIVE LOAD 40 PSF
ROOF LIVE LOAD 20 PSF (300 LB CONC.)
BASIC WIND SPEED 180 MPH
EXPOSURE C
STRUCTURAL CAT II

ALL PRESSURES SHOWN ARE BASED ON ASD DESIGN, WITH A LOAD FACTOR OF 0.6

SOILS AND FOUNDATIONS

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS ARE USED IN LIEU OF A COMPLETE GEOTECHNICAL EXPLORATION. FOUNDATIONS SHALL BE PLACED ON A "SEDIMENTARY AND FOLIATED ROCK" WITH AN ALLOWABLE LOAD BEARING PRESSURE OF 2,000 PSF. NOTIFY THE ENGINEER IF SOIL CONDITIONS ARE DIFFERENT. ADDITIONALLY:

- ALL FOUNDATIONS, SLABS AND FOOTERS SHALL BE PLACED ON STABILIZED UNDISTURBED SUBGRADE SOIL.
- MINIMUM FOUNDATION DEPTH SHALL BE 24" UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. IF OVER-EXCAVATED - FILL SHALL NOT BE PLACED BACK INTO THE TRENCH UNLESS APPROVED BY THE ENGINEER.
- FILL UNDER THE FOUNDATIONS SHALL BE USED ONLY IF APPROVED BY THE ENGINEER. CLEAN FILL MATERIAL SHALL BE PLACED IN 6"-8" LAYERS AND COMPACTED TO 98% DENSITY USING THE MODIFIED PROCTOR TEST.
- FILL MATERIAL SHALL BE CLEAN GRANULAR SAND OR LIMEROCK MIX WITHOUT ANY ORGANIC MATERIALS. CLAY, MUCK AND ROCKS LARGER THAN 4". BACKFILL SHALL NOT CONTAIN ANY WOOD OR CELLULOSE DEBRIS.

CONCRETE

- CONCRETE FOR PILES SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 5000 PSI. WATER/CEMENT RATIO SHALL NOT EXCEED W/C=0.40.
- ALL CONCRETE ELEMENTS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE IS SHOWN ON THE PLANS.
- ALL CAST-IN-PLACE CONCRETE SHALL BE CURED AND PROTECTED FROM OVERDRYING PER ACI 305R-10 "HOT WEATHER CONCRETING".
- ALL EXPOSED EDGES SHALL HAVE 1/2" CHAMFERS.
- NO COLD JOINTS ARE ALLOWED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- TESTING: ALL FIELD AND LABORATORY TESTING SHALL BE PERFORMED BY AN INDEPENDENT SPECIALIZED COMPANY PER ACI AND ASTM REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL SCHEDULING, COORDINATION AND COST OF THE TESTING COMPANY. THE RESULTS SHOULD BE DELIVERED TO THE ENGINEER.
- THREE (3) SAMPLES SHALL BE TAKEN AND TESTED EACH TIME. THE MINIMUM SAMPLING FREQUENCY:
 - EACH DAY OF CONCRETING FOR EVERY CONCRETE MIX
 - EVERY 50 CUBIC YARDS
 - EVERY 2000 SQ.FT. OF SLAB AREA
- CAST-IN-PLACE AND PRECAST MEMBER ERECTION TOLERANCES SHALL BE AS SPECIFIED IN THE TABLE 8.2.2 OR IN SECTION 8.3 OF "PCI DESIGN HANDBOOK/SIXTH EDITION".

REINFORCEMENT

- ALL REBAR SHALL BE DEFORMED CARBON-STEEL ASTM A615/A615M-13 GRADE 60 OR ASTM A1035 GRADE 100 (MMFX2) UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- ALL REQUIREMENTS FOR PLACEMENT, COVER, TOLERANCES, ETC. SHALL BE PER ACI 318-11.
- ALL HOOKS AND BENDS SHALL BE FACTORY MADE UNLESS FIELD BENDS ARE APPROVED BY THE ENGINEER.
- ONLY PLASTIC CHAIRS AND CENTRALIZERS SHALL BE USED FOR REBAR SUPPORT

HARDWARE

HARDWARE SHALL BE 304 STAINLESS STEEL OR BETTER OR ZMAX GALVANIZED FOR NON-EXPOSED SIMPSON PRODUCTS, UNLESS OTHERWISE SPECIFIED.

STRUCTURAL LUMBER

- ALL WOOD MEMBERS SHALL MEET OR EXCEED REQUIREMENTS SPECIFIED IN "ANSI/AF&PA NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION" AND ALL REFERENCED STANDARDS.
- ALL WOOD MEMBERS SHALL BE PRESSURE TREATED SOUTHERN PINE NO2 OR GREATER, KILN DRIED AS SPECIFIED IN THE STANDARDS, UNLESS OTHERWISE SPECIFIED.
- ALL WOOD MEMBERS EXPOSED TO EXTERIOR, IN DIRECT CONTACT WITH CONCRETE OR STEEL SHALL BE PRESSURE-TREATED (PT) UC3B GRADE PER AWWA STANDARDS.
- ALL FIELD CUTS IN PT LUMBER SHALL BE TREATED ON SITE.
- NAILING SHALL BE IN ACCORDANCE WITH FBC 7TH EDITION (2020). NAILS AND OTHER FASTENERS FOR PT WOOD SHALL BE STAINLESS STEEL OR ACQ APPROVED TREATED.
- SHEATHING SHALL BE 3/4" CDX PLYWOOD SHEATHING GRADE, UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. USE 10D RING-SHANK NAILS WITH SPACING OF 4" O.C. ON ALL EDGES AND 6" O.C. IN THE FIELD.

STRUCTURAL STEEL

- STRUCTURAL STEEL COMPONENTS SHALL BE AS DESCRIBED IN "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" AISC 360 OR LATER EDITION.
- HSS SHAPES (STRUCTURAL TUBING) SHALL BE ASTM A500 (FY=46 KSI).
- STEEL PLATES, FLANGES AND MISCELLANEOUS ELEMENTS SHALL BE ASTM A36 (FY=36 KSI) UNLESS NOTED OTHERWISE ON THE PLANS.
- W-SHAPES, C-SHAPES AND OTHER FORMED STEEL SHALL BE ASTM A992 (FY=50 KSI).
- ALL WELDING SHALL BE IN CONFORMANCE WITH THE LATEST SPECIFICATIONS AWS D1.1/D1.1M:2010, STRUCTURAL WELDING CODE - STEEL.

STRUCTURAL STEEL COATING

- ALL SURFACES SHALL BE ABRASIVE BLAST CLEANED TO NEAR-WHITE METAL (PER SSPC-SP10)
- NON-EXPOSED STEEL SHALL BE COATED WITH 2 COATS OF A UNIVERSAL COMPATIBLE PRIMER
- EXPOSED STEEL
 - ALL SURFACES SHALL BE PRIMED WITH POLYAMIDE EPOXY - ONE COAT (8.0 MILS DFT).
 - APPLY SEALANT AT ALL LOCATIONS WHERE STEEL IS WELDED, LAPPED, ETC. SEALANT MATERIAL SHALL BE COMPATIBLE WITH THE PAINTING SYSTEM.
 - TOP LAYER SHALL BE TWO (2) COAT POLYURETHANE (3.0 MILS DFT EACH).
 - TOP PAINT SHALL BE UV RESISTANT OR HAVE A UV RESISTANT COATING.

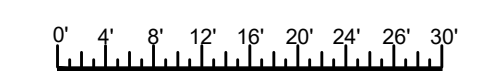
REINFORCED MASONRY (CMU)

- ALL MASONRY SHALL BE REINFORCED CONCRETE MASONRY UNIT IN ACCORDANCE WITH THE LATEST EDITION OF ACI 530/ASCE 5/TMS 402.
- INSTALL ALL BLOCKS IN RUNNING BOND.
 - MINIMUM MASONRY BLOCK (ASTM C90) STRENGTH SHALL (F'M) BE 2000 PSI.
 - TYPE "S" MORTAR (ASTM C270) SHALL BE USED USING 3/8" FULL BEDDING REINFORCED W/ 9 GAGE GALVANIZED LADDER WIRE EVERY 2ND ROW.
 - FILLED CELLS SHALL BE REINFORCED WITH #5 REBARS @ 24" O.C. (UNLESS OTHERWISE IS SPECIFIED ON THE PLANS).
 - GROUT SHALL BE PEA ROCK PUMP MIX (ASTM C476) WITH A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI (28 DAY) (ASTM C1019). TARGETED SLUMP SHALL BE 8"-11".
 - EACH GROUTED CELL SHALL HAVE CLEANOUT OPENINGS AT THE BOTTOM. THERE SHALL BE NO LOOSE MORTAR OR OTHER DEBRIS IN THE BOTTOM OF THE CELL. USE BLAST PRESSURE WASHING FOR SURFACE PREPARATION.

WINDOWS & DOORS

- ALL EXTERIOR WINDOWS SHALL BE LARGE AND SMALL MISSILE IMPACT RATED.
- ALL EXTERIOR WINDOWS SHALL HAVE FLORIDA PRODUCT APPROVAL AND NOA. PRODUCT APPROVAL LABELS SHALL BE PERMANENTLY ATTACHED TO THE FRAME.
- WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)

SCALE 1/16" = 1'



NOT VALID FOR CONSTRUCTION UNLESS DIGITALLY SIGNED WITH ORIGINAL SEAL.
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ROBERT HULEC, P.E.
LIC # 96937

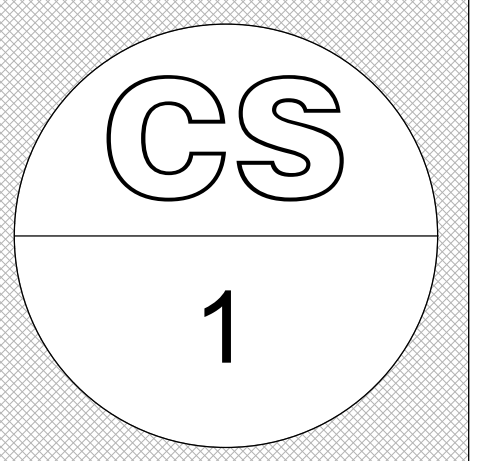


LAKEWOOD ENGINEERING
1211 WATSON ST.
KEY WEST, FL 33040
305-890-6284

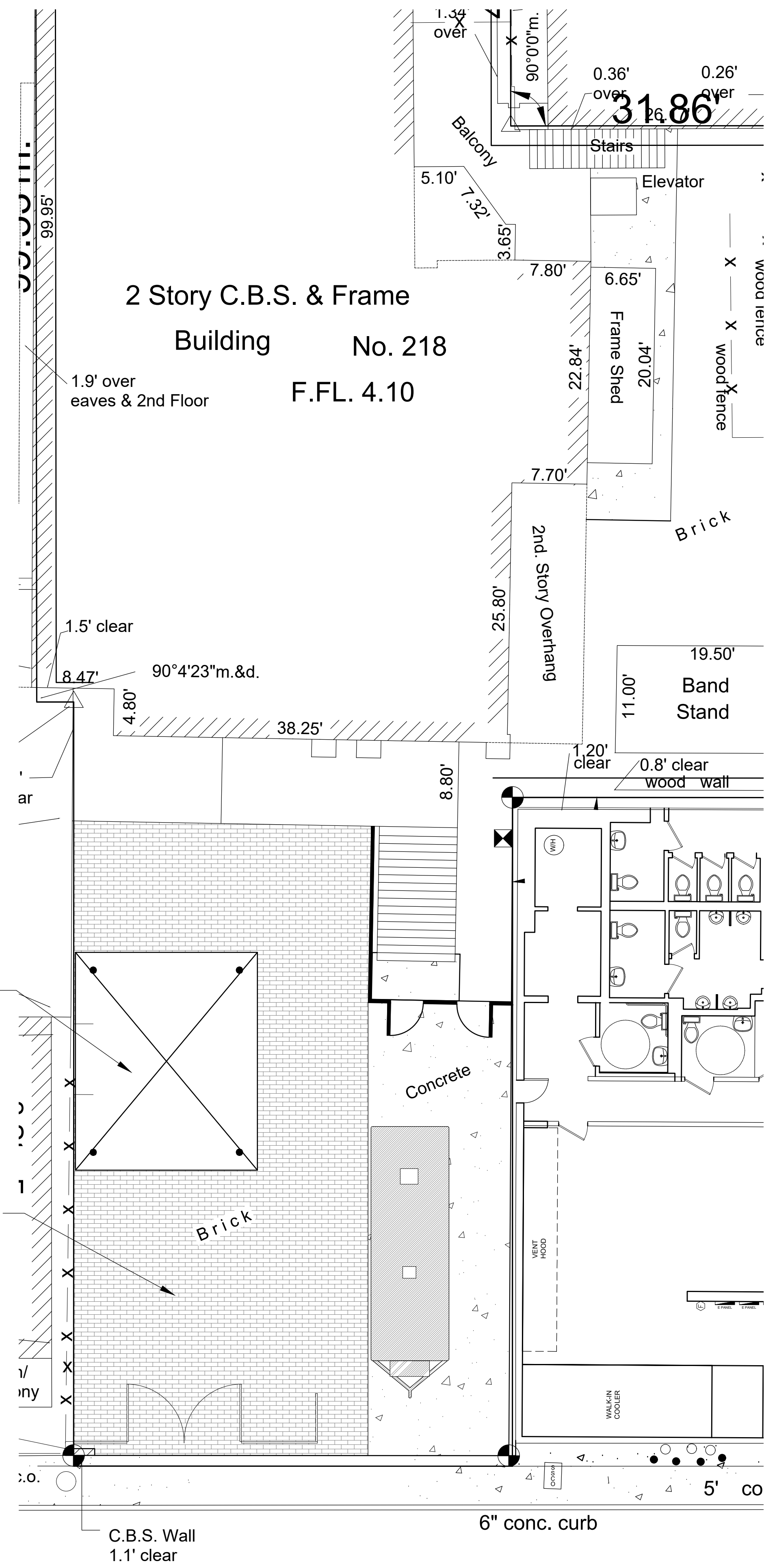
DATE: 09/30/24
REV SET DESCRIPTION
1 ISSUED HARC REVIEW SET

BAR BUILDOUT/RENOVATION
218 DUVAL ST.
KEY WEST, FL 33040

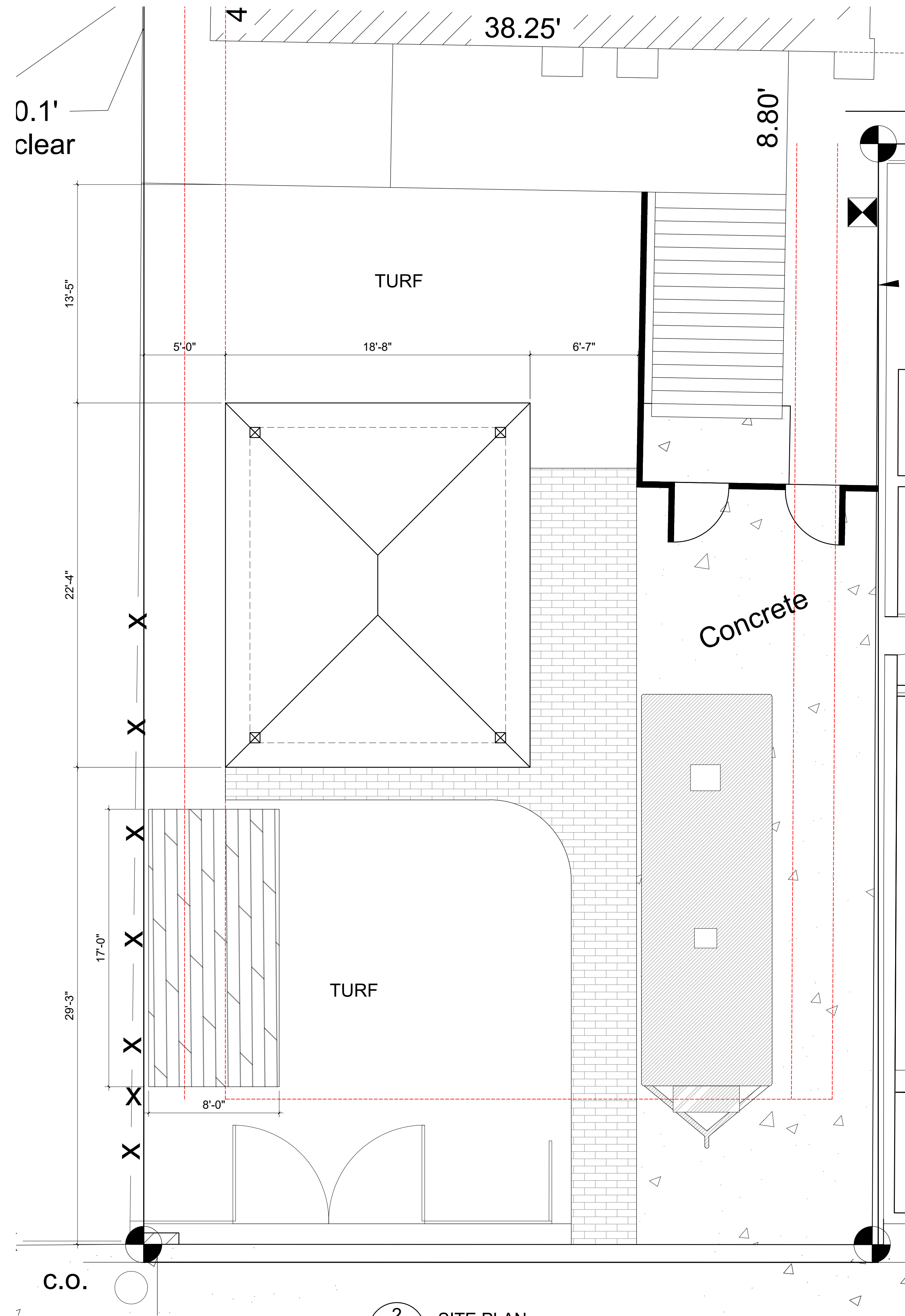
SHEET TITLE COVER & SITE PLAN



DRAWN BY: BH APPROVED BY: DB



1 DEMO PLAN
A-1 SCALE: 1/8" = 1'



2 SITE PLAN
A-1 SCALE: 1/4" = 1'

SCALE 1/4" = 1'

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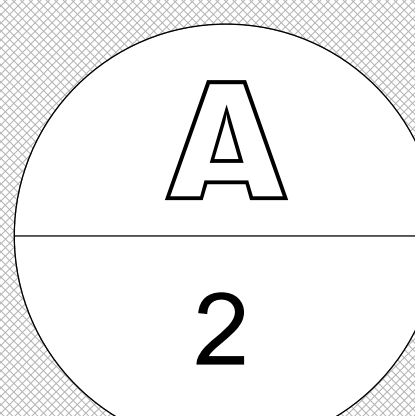


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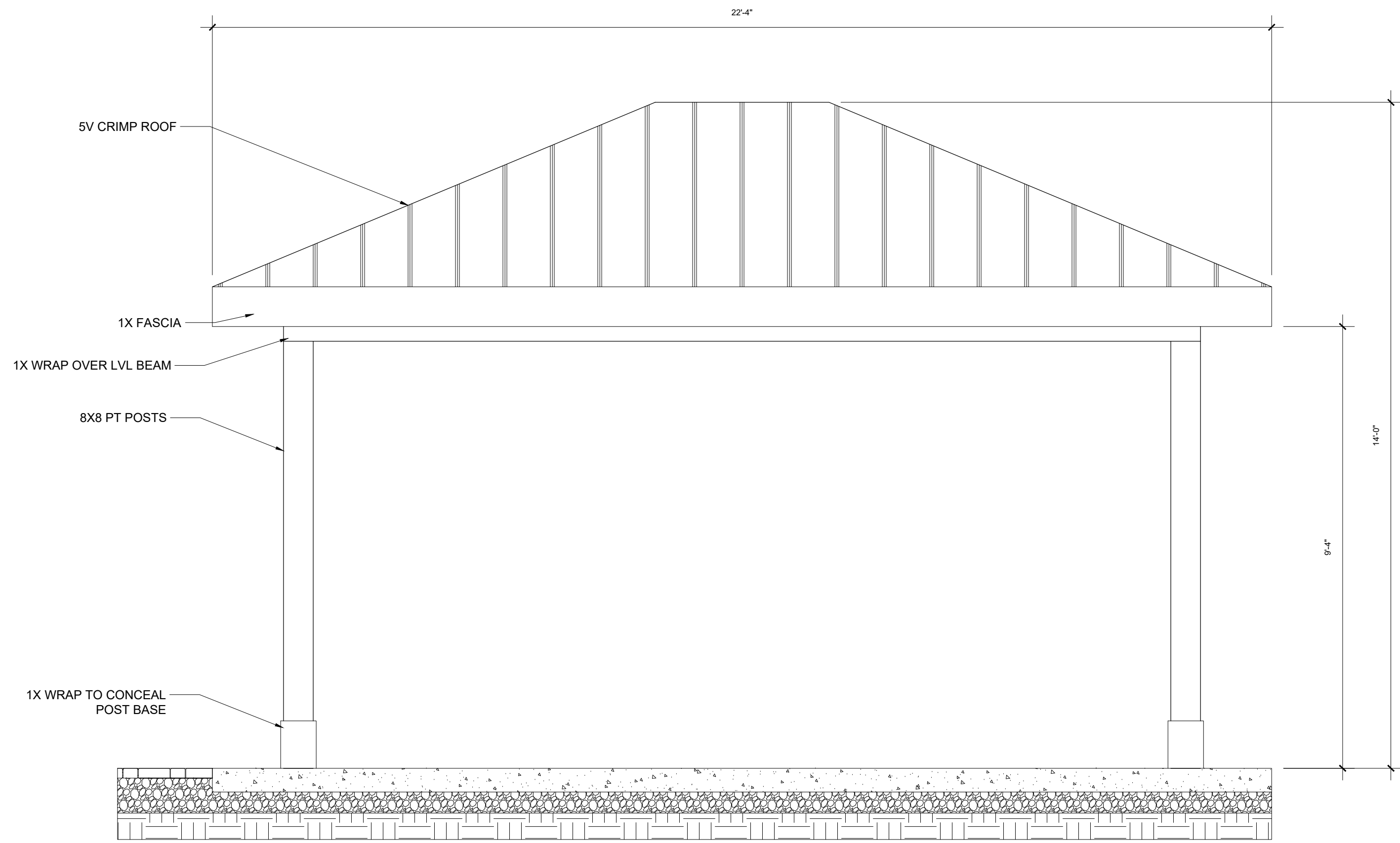
DATE	REV SET	DESCRIPTION
09/30/24	1	ISSUED HARC REVIEW SET

BAR BUILDOUT/RENOVATION
218 DUVAL ST.
KEY WEST, FL 33040

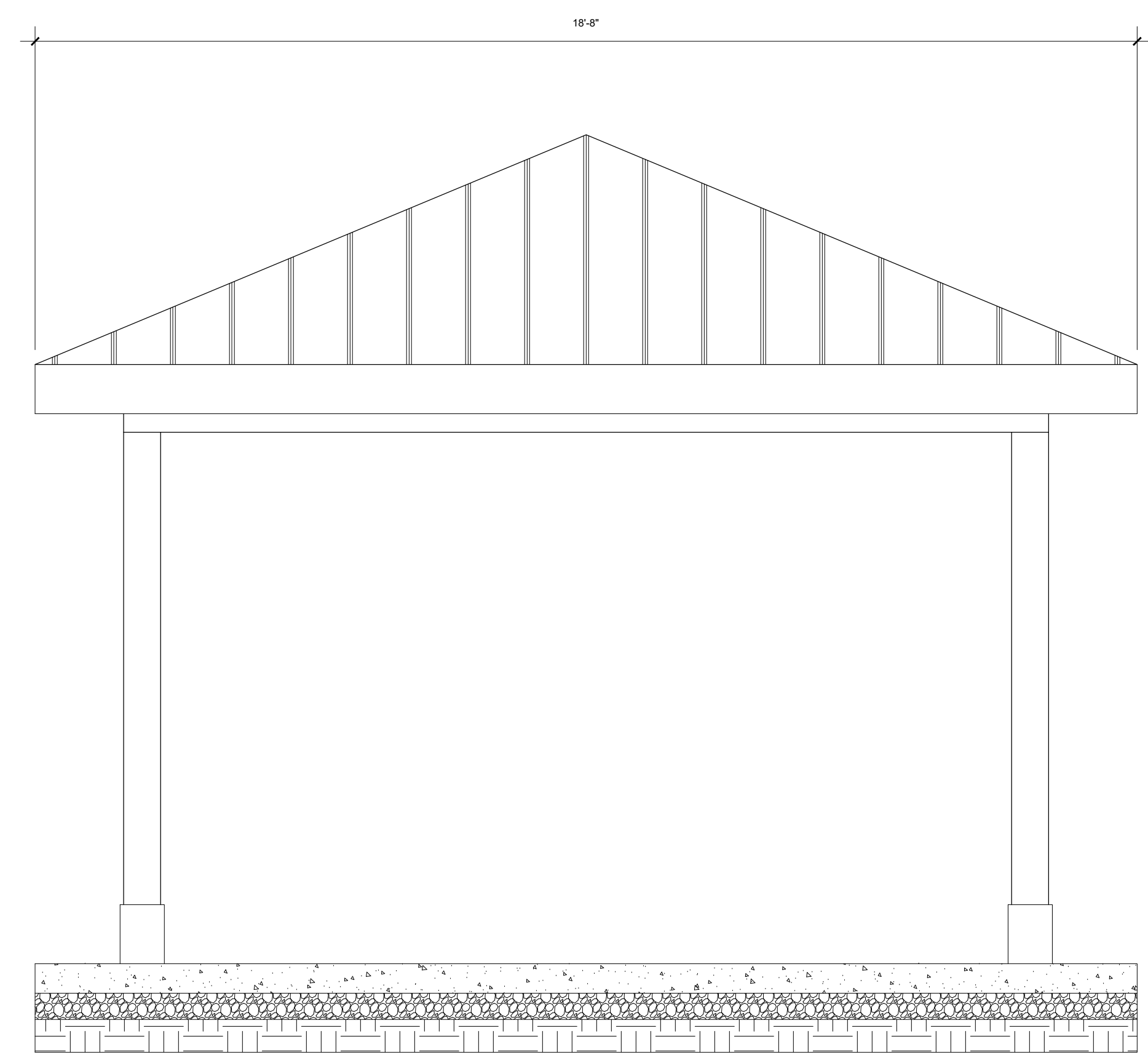
SHEET TITLE DEMO & SITE PLAN



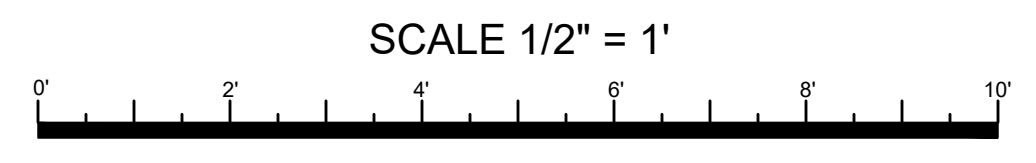
DRAWN BY: BH APPROVED BY: DB



1
A-2 **SOUTHEAST ELEVATION**
SCALE: 1/2" = 1'



2
A-2 **NORTHEAST ELEVATION**
SCALE: 1/2" = 1'



SEAL:

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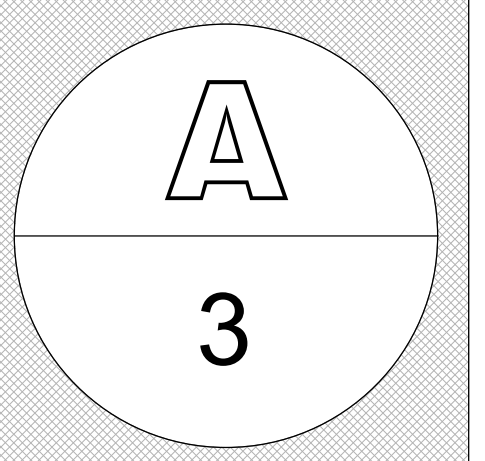


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DESIGN & CONSTRUCTION SERVICES
LAKEWOOD ENGINEERING
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KEY WEST, FL 33040
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DATE:	REV SET	DESCRIPTION
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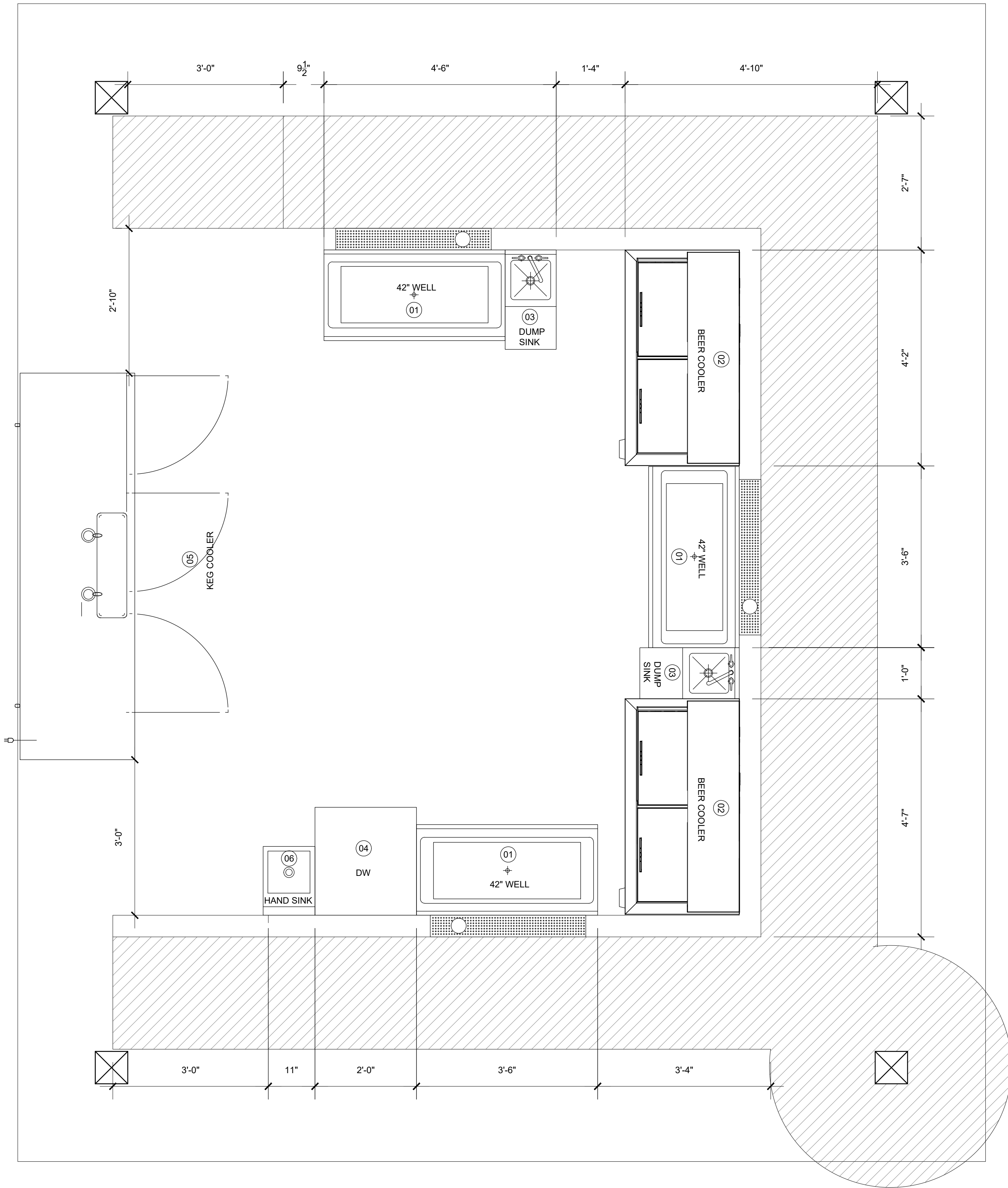
BAR BUILDOUT/RENOVATION
218 DUVAL ST.
KEY WEST, FL 33040

SHEET
TITLE ELEVATIONS

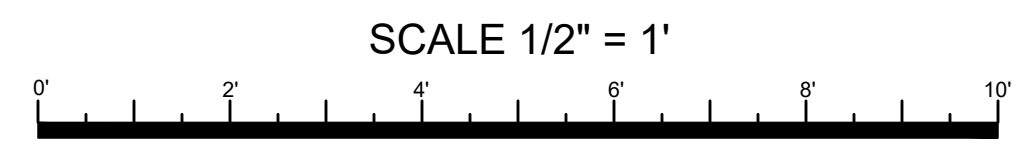


DRAWN BY: BH APPROVED BY: DB

TAG	NAME	EQUIPMENT DATA				UTILITIES REQ			
		MFG	WIDTH	DEPTH	HEIGHT	CW	HW	SAN	ELEC
01	42" WELL	REGENCY	42"	21"	33"	-	-	X	-
02	BOTTLE COOLER	BEVERAGE-AIR	50"	28"	34"	-	-	-	X
03	DUMP SINK	REGENCY	12"	23"	33"	X	X	X	-
04	DISHWASHER	MAIN STREET EQUIPMENT	24"	25"	33"	-	X	X	X
05	KEG COOLER	TRUE REFRIDGERATION	91"	27"	37"	-	-	-	X
06	HAND SINK	REGENCY	12"	16"	10"	X	X	X	-



1
A-3 BAR & EQUIPMENT LAYOUT
SCALE: 1/2" = 1'



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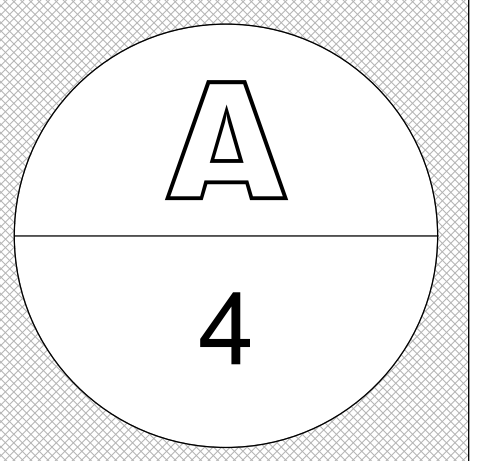


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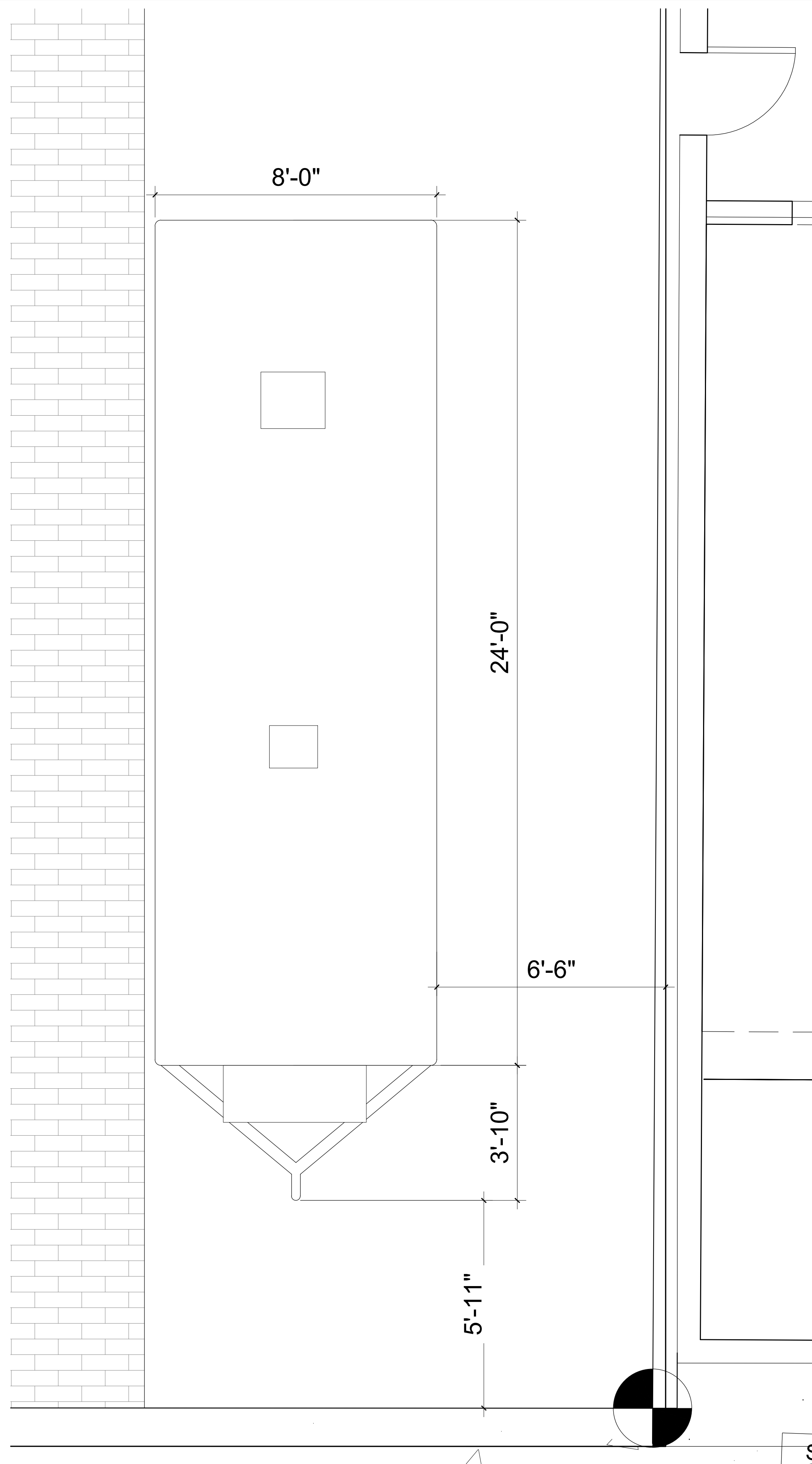
DATE:	REV SET	DESCRIPTION
09/30/24	1	ISSUED HARC REVIEW SET

BAR BUILDOUT/RENOVATION
218 DUVAL ST.
KEY WEST, FL 33040

SHEET TITLE: ELEVATIONS



DRAWN BY: BH APPROVED BY: DB



1 FOOD TRAILER LOC.
A-2 SCALE: 1/2" = 1'



2 PROPOSED TRAILER
A-2 SCALE: N/A

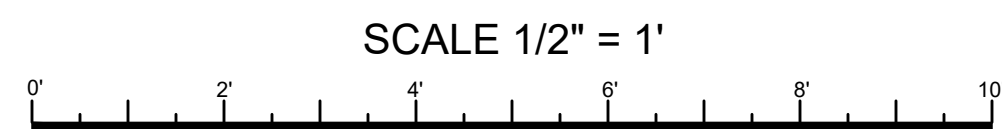
FOOD TRAILER NOTES

1. FEATURES INCLUDE:
- 1.1. SUB-PANEL WITH BREAKERS FOR INDIVIDUAL EQUIPMENT
 - 1.2. 42 GAL FRESHWATER TANK
 - 1.3. 58 GAL WASTE WATER TANK
 - 1.4. CITY WATER CONNECTION
 - 1.5. EXHAUST HOOD W/FAN
 - 1.6. PRO FIRE SUPPRESSION SYSTEM

- INCLUDED EQUIPMENT:
1. (2) REFRIGERATORS
 2. UPRIGHT FREEZER
 3. 4 BURNER STOVETOP
 4. OVEN
 5. FLAT GRILL
 6. (2) FRYERS
 7. FOOD WARMER
 8. BROILER

- SAFETY FEATURES
1. CONDITIONED MAKEUP AIR
 2. 8' EXHAUST HOOD
 3. PRO FIRE SUPPRESSION SYSTEM

- FEMA NOTE:
1. PER FEMA REQUIREMENTS, TRAILER WILL MOVED EVERY 180 DAYS



SCALE 1/2" = 1'

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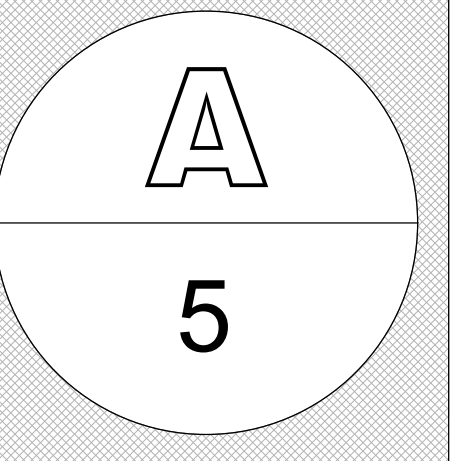
LAKESWOOD ENGINEERING
1211 WATSON ST.
KEY WEST, FL 33040
305-890-6284

DATE:	REV SET	DESCRIPTION
09/30/24	1	ISSUED HARC REVIEW SET

BAR BUILDOUT/RENOVATION

218 DUVAL ST.
KEY WEST, FL 33040

SHEET TITLE: FOOD TRAILER PLAN



DRAWN BY: BH APPROVED BY: DB

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., November 18, 2024, at City Hall, 1300 White Street**, Key West, Florida. In order to view the live feed of the meeting, you can tune in to Comcast channel 77, AT&T Uverse channel 99. If you wish to participate virtually, please contact HARC staff at 305-809-3973. The purpose of the hearing will be to consider a request for:

NEW PAVILION WITH BAR UNDERNEATH AND SITE IMPROVEMENTS INCLUDING PAVERS, TURF, AND FENCING.

#218 DUVAL STREET

Applicant – Richard McChesney Application #H2024-0050

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared Richard McChesney, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address: 218 Duval St., Rm, Key West, FL on the 11th day of November, 2024.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on November 18, 2024.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H2024-0050.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

Richard McChesney
Date: 11/12/24
Address: 500 Fleming St.
City: Key West,
State, Zip: FL 33040

The forgoing instrument was acknowledged before me on this 12th day of November, 2024.

By (Print name of Affiant) Richard McChesney who is personally known to me or has produced _____ as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: _____

Print Name: _____

Notary Public - State of Florida (seal)

My Commission Expires: _____





Tommy Bahama

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#218 DUVAL STREET

Applicant – Richard McChesney Application #H12024-0050

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

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Public Meeting Notice

The following information is available for public review at the public meeting on **September 12, 2011**, at **6:00 PM** at the **City of San Diego**, 1200 North La Jolla Village Drive, San Diego, CA 92161. For more information, please contact the City of San Diego, Planning Department, 1200 North La Jolla Village Drive, San Diego, CA 92161. The location of the meeting will be announced separately.

NEW PAVILION WITH BAR UNDERNATH AND SITE IMPROVEMENTS INCLUDING PAVERS, TUBE AND FENCING.

SHREVAL STREET

Applicant: Richard McCaskey **Application #:** 107224-0010
If you wish to see the application or have any questions, please call the Planning Department meeting support office located at 1200 North La Jolla Village Drive, San Diego, CA 92161. For more information, please contact the City of San Diego, Planning Department, 1200 North La Jolla Village Drive, San Diego, CA 92161. The location of the meeting will be announced separately.

PROPERTY APPRAISER INFORMATION

Monroe County, FL

PROPERTY RECORD CARD

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00001400-000000
 Account# 1001422
 Property ID 1001422
 Millage Group 10KW
 Location Address 218 DUVAL St 101, KEY WEST
 Legal Description KW PT LOT 1 SQR 15 D2-550 G3-130 G4-491 OR672-429 OR677-51 OR677-52/53 OR677-54 OR677-56/57 OR677-58/59 OR677-60/61 OR866-19 OR866-20/21 OR866-22/23 OR884-1908/10
 (Note: Not to be used on legal documents.)
 Neighborhood 32010
 Property Class NIGHTCLUB (3300)
 Subdivision
 Sec/Twp/Rng 06/68/25
 Affordable No
 Housing



Owner

RAMLO DEVELOPMENT CORPORATION
 PO Box 1736
 Key West FL 33041

Valuation

	2024 Certified Values	2023 Certified Values	2022 Certified Values	2021 Certified Values
+ Market Improvement Value	\$935,069	\$934,559	\$934,559	\$979,779
+ Market Misc Value	\$13,279	\$13,344	\$12,637	\$12,703
+ Market Land Value	\$4,301,388	\$4,301,388	\$4,301,388	\$3,010,972
= Just Market Value	\$5,249,736	\$5,249,291	\$5,248,584	\$4,003,454
= Total Assessed Value	\$5,249,736	\$4,844,178	\$4,403,799	\$4,003,454
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$5,249,736	\$5,249,291	\$5,248,584	\$4,003,454

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$4,301,388	\$935,069	\$13,279	\$5,249,736	\$5,249,736	\$0	\$5,249,736	\$0
2023	\$4,301,388	\$934,559	\$13,344	\$5,249,291	\$4,844,178	\$0	\$5,249,291	\$0
2022	\$4,301,388	\$934,559	\$12,637	\$5,248,584	\$4,403,799	\$0	\$5,248,584	\$0
2021	\$3,010,972	\$979,779	\$12,703	\$4,003,454	\$4,003,454	\$0	\$4,003,454	\$0
2020	\$3,010,972	\$979,779	\$12,768	\$4,003,519	\$4,003,519	\$0	\$4,003,519	\$0
2019	\$3,345,524	\$1,009,927	\$12,834	\$4,368,285	\$4,368,285	\$0	\$4,368,285	\$0
2018	\$3,303,705	\$895,594	\$12,899	\$4,212,198	\$4,212,198	\$0	\$4,212,198	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(3300)	9,191.00	Square Foot	0	0

Buildings

Building ID 39146
 Style
 Building Type NIGHT CLUB, BARS B / 33B
 Building Name
 Gross Sq Ft 10712
 Finished Sq Ft 7987
 Stories 5 Floor
 Condition AVERAGE
 Perimeter 691
 Functional Obs 0
 Economic Obs 0
 Depreciation % 40
 Interior Walls
 Exterior Walls AB AVE WOOD SIDING
 Year Built 1928
 Effective Year Built 1993
 Foundation
 Roof Type
 Roof Coverage
 Flooring Type
 Heating Type
 Bedrooms 0
 Full Bathrooms 0
 Half Bathrooms 0
 Grade 450
 Number of Fire Pl 0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	273	0	0
FLA	FLOOR LIV AREA	7,987	7,987	0
OOU	OP PR UNFIN UL	84	0	0
OPF	OP PRCH FIN LL	258	0	0
OUF	OP PRCH FIN UL	56	0	0
PDO	PATIO DIN OPEN	2,022	0	0
SBF	UTIL FIN BLK	32	0	0
TOTAL		10,712	7,987	0

Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
BRICK PATIO	1983	1984	0x0	1	220 SF	2
WOOD DECK	1983	1984	0x0	1	235 SF	4
FENCES	1983	1984	0x0	1	264 SF	2
FENCES	1983	1984	0x0	1	270 SF	3
WOOD DECK	1983	1984	0x0	1	311 SF	3
WOOD DECK	1983	1984	0x0	1	378 SF	1
TIKI	1983	1984	0x0	1	385 SF	5
UTILITY BLDG	1985	1986	0x0	1	110 SF	1
CONC PATIO	1996	1997	18 x 18	1	324 SF	2

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
2/1/1976	\$75,000	Conversion Code		677	58	Q - Qualified	Improved		

Permits

Number	Date Issued	Status	Amount	Permit Type	Notes
2024-1399	05/21/2024	Completed	\$8,500	Commercial	Supply and install necessary drainage and waterlines for all bar sinks and hand wash sinks and floor drains
22-1398	08/25/2022	Active	\$6,800	Commercial	Fabricate and install new awning frame and fabric.
BLD2021-2373	08/27/2021	Completed	\$12,500	Commercial	FIRE ALARM SYSTEM
BLD2021-0842	05/10/2021	Active	\$4,868	Commercial	INSTALL A 1.5 TON MITSUBISHI MINI SPLIT A/C SYSTEM. CONDENSER ON ROOF
BLD2021-0422	03/29/2021		\$38,000	Commercial	CREATING A GRAB AND GO TACO STAND OUT OF EXISTING SPRINKLED SPACE. PUTTING TILE FLOORING DOWN. REPLACING 2 INTERIOR DOORS. REMOVING EXISTING EXTERIOR BI-FOLD DOORS ON FRONT OF UNIT AND REPLACING WITH NEW MATCHING
BLD2021-0042	03/10/2021	Completed	\$5,000	Commercial	ROUGH IN MOP SINK, HAND SINK, TRIPLE CONCEPT SINK, GREASE TRAP, ICE MAKER, TWO FLOOR DRAINS, DEMAND H.W.H., TIE TO EXISTING SEWER AND WATER
BLD2019-3363	09/19/2019	Completed	\$200	Commercial	WIRE UP- 100 VOLT ELECTRIC LINE FOR NEW SIGN
BLD2019-2420	08/23/2019	Active	\$400	Commercial	AFTER-THE-FACT - Remove and replace 5 outdoor lights
BLD2019-0750	06/24/2019	Active	\$1,965	Commercial	1 steel mounting bracket projecting 3rd sign. Sign must be 8' clear above sidewalk
16-00001761	02/06/2017	Expired	\$8,500	Commercial	INSTALL 3-ROLL DOWN SHUTTERS, PAINT FRONT AND SIDE OF BUILDING, WHITE TO MATCH EXISTING. RELOCATE EXISTING TEASER'S SIGN TO FRONT ENTRANCE. STAIRS BURGUNDY AWNMAX. (NOC REQUIRED) HARC #16-01-0619
16-1645	03/02/2016	Completed	\$28,500	Commercial	Interior remodel - walls, tile, paint, mirrors, bathroom ADA, 2 stages (entertainment). Interior ONLY no HARC. REVISION #1: REPLACE EXISTING BACK DOOR WITH NEW HOLLOW METAL FRAME AND SINGLE FLUSH DOOR. ADD 4-BOOTH'S INSIDE BACK. MOVE FRONT CONVERT 2-FEET. ADDITIONAL INFO/CLARIFICATION SHEET: REPLACE EXTERIOR EGRESS DOOR. LIFE SAFETY PLAN MOVE FRONT COUNTER 2 FT BACK INTO BUILDING
15-4784	11/24/2015	Completed	\$500	Commercial	ATF: REMOVE ILLEGALLY INSTALLED A/C ON N/S OF BLDG.
13-3524	10/16/2013	Completed	\$1,500	Commercial	NEON ON FRONT OF EXISTING SIGN ELEC SIGN: COYOTE UGLY SALOON
13-4408	10/10/2013	Completed	\$200	Commercial	INSTALL EXISTING LIGHTS REMOVED TO REPAIR DECKING
13-3933	09/13/2013	Completed	\$800	Commercial	FRONT FACADE REPAIR, FASCIA AND SOFFIT. REPAIR WOOD AT T & G ON BALCONY FLOOR. ROTTED WOOD TO REPALCE 30LF FASCIA, 70SF T & G FLOORING
12-2460	07/25/2012	Completed	\$1,500	Commercial	RELOCATING 10-15 OUTLETS, ADDING 5 CIRCUITS BEHIND BAR. RELOCATING 2-LIGHTS FOR NEW MERCHANDISE AREA.
12-2501	07/25/2012	Completed	\$40,000	Commercial	INSTALL HANDICAP RAMP (INTERIOR), NEW FULL LITE DOORS AND 13' X 8' PARTITIONS EXTEND BAR TOPS AS PER PLANS.
12-1265	06/20/2012	Completed	\$2,800	Commercial	INSTALL 700SF OF BRICK PAVER TO MATCH EXISTING.
12-1266	06/20/2012	Completed	\$400	Commercial	RELOCATE EXISTING FENCE 10' TOWARD ADJACENT BUILDING AND 13' TO TELEGRAPH LANE.
12-1847	06/18/2012	Completed	\$1,200	Commercial	INSTALL 100 A DISCONNECT AND PANEL. INSTALL TRAILER CORD AND OUTLET.
11-2828	08/05/2011	Completed	\$8,440	Commercial	INSTALL BUBBLE AWNING OVER STAIR LEADING UP TO 218 DUVAL UP. AWNING TO EXTEND FROM BOTTOM STEP TO ENTRY DOOR AS PER PLANS.
11-2615	08/03/2011	Completed	\$2,286	Commercial	REINSTALL RECOVERED AWNING FRAMES W/NEW COVERS OVER HALF ROUND WINDOWS
11-2679	08/03/2011	Completed	\$1,400	Commercial	1 HANGING SIGN, 1 CIGAR STATUE "ISLAND CIGAR" 60 X 12
11-2619	07/25/2011	Completed	\$7,500	Commercial	RELOCATE 3 EXISTING 5-TON A/C AIR HANDLERS AND ADD 1 5-TON A/C AIR HANDLER AND COMPRESSOR AT BACK OF SPACE.
11-2643	07/25/2011	Completed	\$2,000	Commercial	RELOCATE WIRING FOR 3 EXISTING 5-TON A/C AIR HANDLERS AND ADD 1 5-TON AIR HANDLER & COMPRESSOR AT BACK OF BUILDING
11-1682	05/23/2011	Completed	\$600	Commercial	REPLACE APPROX. 70LF OF EXISTING FENCE 5' HI AT RIGHT REAR OF BUILDING.
11-1666	05/20/2011	Completed	\$1,800	Commercial	DEMO FOR EXPLORATION ALL NON-STRUCTURAL INTERIOR, REMOVE TWO BARS, OPEN APPROX. 200 SF OF WALL FOR EXPLORATION REMOVE APPROX. 80 SF OF WALL FOR PLUMBING EXPLORATION AND MISC. BAR FIXTURES.
10-3442	10/19/2010	Completed	\$2,300	Commercial	AFTER THE FACT: REMOVE TILE IN REAR AND FLOAT FLOOR WITH 3" MIX TO LEVEL. FLOOR AND PAINT FLOOR.
08-0474	02/22/2008	Completed	\$450	Commercial	ELECTRICAL CKT. FOR FIRE ALARM
07-4382	10/15/2007	Completed	\$25,000	Commercial	INSTALL NEW FIRE SPRINKLE SYSTEM ON 1ST AND 2ND FLOOR.
07-2404	07/11/2007	Completed	\$8,000	Commercial	CONSTRUCT NEW 8' PASSAGE, DEMO EXISTING BAR. NEW 7' PARTITION WITH 2 SALON DOORS.
07-2071	04/30/2007	Completed	\$2,200	Commercial	NEW ELECTRIC FOR 7 COOLERS AND 20-TON A/C
07-1731	04/12/2007	Completed	\$21,000	Commercial	INSTALL WHEELCHAIR LIFT.
07-1041	03/22/2007	Completed	\$15,000	Commercial	WIRE UP 2ND FLOOR ADDITION, INSTALL 23 RECESS CAN LIGHTS, WIRE UP 3 BATHROOMS INSTALL EXHAUST FANS, SWITCHES, RECEPCLES AND SMOKE DETECTORS, EXIT SIGNS, WIRE UP TWO 5 TON A/C UNITS, WIRING ALL UP TO EXISTING 200 AMP PANEL.
07-801	03/22/2007	Completed	\$29,000	Commercial	INSTALL 20 TON A/C UNIT WITH DUCTWORK.
07-1100	03/05/2007	Completed	\$12,000	Commercial	RE-PIPE WATER LINES AND PARTIAL DRAINS IN 2 EXISTING BATHROOMS, RESET 4 TOILETS, 3 LAVATORIES & 3 URINALS, ROUGH AND TRIM OUT TWO NEW FIXTURES ONE TOILET AND ONE LAVATORY FOR ADA BATHROOM REPLACEMENT OF 10 EXISTING AND INSTALL TWO NEW ONES.
06-5020	09/07/2006	Completed	\$225,000	Commercial	CHANGE CONTRACTOR TO DUNN GENERAL CONTRACTORS
06-4694	08/08/2006	Completed	\$100	Commercial	TRANSFER OF CONTRACTOR
05-1389	04/11/2006	Completed	\$225,000	Commercial	BUILD NEW TRUSS ROOF TO COVER 2046SF OPEN BAR SPACE
06-2303	04/11/2006	Completed	\$4,000	Commercial	ADD GUTTERS AND SWALE TO EXISTING PROPERTY
06-1665	03/13/2006	Completed	\$1,000	Commercial	INSTALL ELECTRIC FOR NEW EXHAUST HOOD
06-1189	03/03/2006	Completed	\$1,500	Commercial	INSTALL NEW FIRE SUPPRESSION SYSTEM
05-3930	01/27/2006	Completed	\$4,000	Commercial	RELOCATE PIZZA SERVING AREA
05-2177	06/06/2005	Completed	\$2,400	Commercial	INSTALL CIRCUITS FOR DRINK MACHINES
05-1612	05/16/2005	Completed	\$1,000	Commercial	electrical alterations
04-3373	12/13/2004	Completed	\$25,000	Commercial	ELECTRICAL
04-2290	07/13/2004	Completed	\$1,800	Commercial	ELECTRIC
04-0189	02/10/2004	Completed	\$48,000	Commercial	BAR, BATHROOMS & DECK UPSTAIRS
03-3000	11/04/2003	Completed	\$30,000	Commercial	RENOVAT 2ND FLOOR
03-3815	11/04/2003	Completed	\$900	Commercial	ELE REPAIR
03-2814	08/13/2003	Completed	\$300	Commercial	REPAIR RISER
03-2680	08/08/2003	Completed	\$2,300	Commercial	STUCCO REPAIRS
03-2655	08/07/2003	Completed	\$15,000	Commercial	RENOVAT DANCE FLOOR
03-2460	07/24/2003	Completed	\$25,850	Commercial	RENOVAT ELE & PLUMBING
03-1774	05/27/2003	Completed	\$800	Commercial	SHUTTERS
03-1487	05/05/2003	Completed	\$13,500	Commercial	2- 7 1/2 TON A/C



Map



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