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## Staff Report for Item 13b

**To:** Chairman Bryan Green and Historic Architectural Review  
Commission Members

**From:** Kelly Perkins, MHP  
HARC Assistant Planner

**Meeting Date:** March 22, 2016

**Applicant:** Anthony Architecture

**Application Number:** H16-03-0020

**Address:** #1216 Margaret Street

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### Description of Work:

Partial demolition of roof. Demolition of rear sheds, rear addition, and side addition.

### Site Facts:

The house at 1216 Margaret Street is a contributing resource that was constructed in 1943 according to the survey. Built in a mission style with a textured stucco exterior, the duplex first appears on the 1948 Sanborn map as a one-story building with a front porch. A photograph dated c.1965 shows that the structure is mostly unchanged. The duplex has small additions on the rear and on the side.

### Ordinances and Guidelines Cited in Review:

Sec. 102-217 (2): Demolition of non-historic or non-contributing buildings

Sec. 102-218 (a): Criteria for demolition of a historic or contributing building.

Sec. 102-218 (b): Criteria for demolitions.

Demolitions and Relocations (page 39), specifically guideline 1.

## Staff Analysis

This Certificate of Appropriateness proposes the partial demolition of a contributing structure's main roof in order to a new second floor addition. Staff feels that these elements meet numbers 1, 3, 5, 6, 8, of the following criteria stated in Sec.102-218(a):

(1) The roof does embody distinctive characteristics and is significant and distinguished entity. The contributing structure's flat roof has not been altered in form and is a character-defining feature.

(2) The roof is not specifically associated with events that have made a significant contribution to local, state, or national history;

(3) The roof has significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past. The structure's flat is a significant aspect of the contributing duplex. It represents the character of the small, Mission-style structures, which are not a very common resource in the Key West Historic District.

(4) The roof to be demolished is not the site of a historic event with a significant effect upon society;

(5) The roof does exemplify the historic heritage of the city;

(6) The roof does portray the environment in an era of history characterized by a distinctive architectural style. The structure still represents a certain type of building style that was constructed in the 1940s and 1950s in Key West.

(7) The roof is not related to a square, park, or other distinctive area.

(8) The roof is a physical characteristic which represents an established and familiar visual feature of its neighborhood and of the city.

(9) The roof has not yielded, and is not likely to yield, information important in history.

Because the roof meets some of the criteria, the proposed demolition is inconsistent with the ordinance, and staff cannot recommend demolition. As it is historic, two readings will be required for demolition if approved.

The project also proposes the demolition of a non-historic carport and sheds. Staff believes the demolition will not result in the following items:

- (1) The demolition will not diminish the overall historic character of a district or neighborhood;
- (2) Nor will it destroy the historic relationship between buildings or structures and open space.
- (3) This demolition will not affect the front building façade.

(4) Staff does not believe elements that are proposed to be demolished will qualify as contributing as set forth in Sec. 1021-62(3).

Therefore this application can be considered for demolition. As these items are not historic, only one reading is required for demolition.

# APPLICATION

# COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE



## City of Key West

3140 FLAGLER AVENUE  
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

[www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov)

HARC PERMIT NUMBER		BUILDING PERMIT NUMBER		INITIAL & DATE
FLOODPLAIN PERMIT				REVISION #
FLOOD ZONE	PANEL #	ELEV. L. FL.	SUBSTANTIAL IMPROVEMENT ___ YES ___ NO ___ %	

ADDRESS OF PROPOSED PROJECT:

1216 Margaret Street

# OF UNITS  
**2**

RE # OR ALTERNATE KEY:

00029580-000000

NAME ON DEED:

MS Keys Investments, LLC

PHONE NUMBER  
305.923.4890

OWNER'S MAILING ADDRESS:

1212 Margaret Street

EMAIL  
creoconstruction@aol.com

Key West, Florida 33040

CONTRACTOR COMPANY NAME:

N/A

PHONE NUMBER  
N/A

CONTRACTOR'S CONTACT PERSON:

N/A

EMAIL  
N/A

ARCHITECT / ENGINEER'S NAME:

Anthony Architecture, LLC

PHONE NUMBER  
305.395.2846

ARCHITECT / ENGINEER'S ADDRESS:

1615 United Street

EMAIL  
Anthony@AnthonyArchitecture.com

Key West, Florida 33040

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING:  YES  NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT:

N/A

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT TYPE:  ONE OR TWO FAMILY  MULTI-FAMILY  COMMERCIAL  NEW  REMODEL  
 CHANGE OF USE / OCCUPANCY  ADDITION  SIGNAGE  WITHIN FLOOD ZONE 'X'  
 DEMOLITION  SITE WORK  INTERIOR  EXTERIOR  AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC.,

Project includes demolition of non-historic

side and rear additions, removal of accessory buildings, rear first floor addition, second floor addition with roof deck, and site work

to include inground pool, parking, outdoor kitchen, exterior decking, and landscaping for the existing duplex.

I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOV'T AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT.

OWNER PRINT NAME:

QUALIFIER PRINT NAME:

Anthony D. Sarno

OWNER SIGNATURE:

QUALIFIER SIGNATURE:

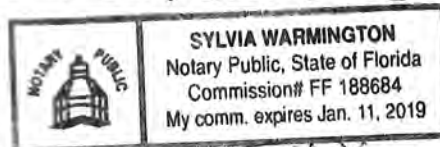
Notary Signature as to owner:

Notary Signature as to qualifier:

STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME  
THIS 31 DAY OF December, 2015.

[Refer to enclosed Authorization and Verification forms](#)



Personally known or produced \_\_\_\_\_ as identification.

Personally known or produced FIDC as identification.

**PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS**

PROPERTY STRUCTURES AFFECTED BY PROJECT:  MAIN STRUCTURE  ACCESSORY STRUCTURE  SITE

ACCESSORY STRUCTURES:  GARAGE / CARPORT  DECK  FENCE  OUTBUILDING / SHED

FENCE STRUCTURES:  4 FT.  6 FT. SOLID  6 FT. / TOP 2 FT. 50% OPEN

POOLS:  INGROUND  ABOVE GROUND  SPA / HOT TUB  PRIVATE  PUBLIC

PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.  
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING:  NEW  ROOF-OVER  TEAR-OFF  REPAIR  AWNING  
 5 V METAL  ASPLT. SHGLS.  METAL SHGLS.  BLT. UP  TPO  OTHER

FLORIDA ACCESSIBILITY CODE:  20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE:  # OF SINGLE FACE  # OF DOUBLE FACE  REPLACE SKIN ONLY  BOULEVARD ZONE  
 POLE  WALL  PROJECTING  AWNING  HANGING  WINDOW

SQ. FT. OF EACH SIGN FACE: \_\_\_\_\_

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL:  DUCTWORK  COMMERCIAL EXH. HOOD  INTAKE / EXH. FANS  LPG TANKS  
 A / C:  COMPLETE SYSTEM  AIR HANDLER  CONDENSER  MINI-SPLIT

ELECTRICAL:  LIGHTING  RECEPTACLES  HOOK-UP EQUIPMENT  LOW VOLTAGE  
 SERVICE:  OVERHEAD  UNDERGROUND  1 PHASE  3 PHASE \_\_\_\_\_ AMPS

PLUMBING:  ONE SEWER LATERAL PER BLDG.  INGROUND GREASE INTCPTRS.  LPG TANKS

RESTROOMS:  MEN'S  WOMEN'S  UNISEX  ACCESSIBLE

**PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS**

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100  
 PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.  
**ATTENTION:** NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: [harc@cityofkeywest-fl.gov](mailto:harc@cityofkeywest-fl.gov)  
 INDICATE TYPE OF CERTIFICATE. OF APPROPRIATENESS:  GENERAL  DEMOLITION  SIGN  PAINTING  OTHER  
 ADDITIONAL INFORMATION: [Refer to enclosed documents](#)

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA		
ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:
Jalousie Windows	Jalousie Windows	Aluminum Impact Windows
Wood Door with Jalousie Window	Wood Door / Window	Aluminum Impact Door
Metal Shingle Roof	Metal Shingle Roof	V-Crimp Galvanized Roof

**DEMOLITION:** PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.  
 DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B)  BUSINESS SIGN  BRAND SIGN  OTHER: \_\_\_\_\_

BUSINESS LICENSE # \_\_\_\_\_ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE \_\_\_\_\_

SIGN SPECIFICATIONS		
SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY:                      INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.		

<b>OFFICIAL USE ONLY:</b>			<b>HARC STAFF OR COMMISSION REVIEW</b>		
<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION <input type="checkbox"/> TABLED FOR ADD'L. INFO.					
HARC MEETING DATE:		HARC MEETING DATE:		HARC MEETING DATE:	
REASONS OR CONDITIONS:					
STAFF REVIEW COMMENTS:					
HARC PLANNER SIGNATURE AND DATE:			HARC CHAIRPERSON SIGNATURE AND DATE:		

### PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS

FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

FLORIDA STATUTE 469: ABESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT ATHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USDEP ON STRUCTURES BUILT PRIOR TO 1978.

<b>OFFICIAL USE ONLY BY PLANS EXAMINER OR CHIEF BUILDING OFFICIAL:</b>				<b>CBO OR PL. EXAM. APPROVAL:</b>	
HARC FEES:	BLDG. FEES:	FIRE MARSHAL FEE:	IMPACT FEES:		
				DATE:	

**CITY OF KEY WEST**  
**CERTIFICATE OF APPROPRIATENESS**  
**APENDIX FOR DEMOLITIONS**  
APPLICATION NUMBER H-\_\_\_\_-\_\_\_\_-\_\_\_\_-\_\_\_\_\_



This document applies only to those properties located within the City of Key West Historic Zoning Districts, properties outside the historic zoning districts which are listed as contributing in the Historic Architectural Survey and or properties listed in the National Register of Historic Places.

Applications must meet or exceed the requirements outlined by the Secretary of the Interior’s Standards for Rehabilitation and Guidelines for Rehabilitation and the Key West’s Historic Architectural Guidelines. Once submitted, the application shall be reviewed by staff for completeness and scheduled for presentation to the Historic Architectural Review Commission for the next available meeting, unless the demolition request is for a *bona fide* Code Compliance case, in which case staff may review and approve the demolition request. **The applicant must be present at this meeting. Any person that makes changes to an approved Certificate of Appropriateness must submit a new application with such modifications.**

The filing of this application does not ensure approval as submitted. Applications that do not possess the required submittals or documentation will be considered incomplete and will not be reviewed for approval.

**CRITERIA FOR DEMOLITIONS**

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies);

- (1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:

- (a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

The proposed demolition is to remove non-historic elements from the existing duplex and site.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**OR THAT THE BUILDING OR STRUCTURE;**

- (a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

The non-historic elements proposed for demolition are not significant and distinguishable.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- (b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.

The non-historic elements proposed for demolition are not associated with events that have made a contribution to local, state, or national  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



- (c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.

The non-historic elements proposed for demolition do not have significant character, interest, or value as part of the city, state, or nation and is not associated with the life of a person significant in the past.

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- (d) Is not the site of a historic event with a significant effect upon society.

The non-historic elements proposed for demolition are not on the site of a historic event.

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- (e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.

The non-historic elements proposed for demolition does not exemplify the cultural, political, economic, social, or historic heritage of the city

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- (f) Does not portray the environment in an era of history characterized by a distinctive architectural style.

The non-historic elements proposed for demolition does not portray the environment in an era of history characterized by a distinctive architectural style.

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- (g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.

The non-historic elements proposed for demolition are not part of or related to a square, park, or other distinctive area.

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- (h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

The non-historic elements proposed for demolition do not have a unique location or singular physical characteristics which represents and established and familiar visual feature of its neighborhood or of the city and does not exemplify the best remaining architectural type in the neighborhood.

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- (i) Has not yielded, and is not likely to yield, information important in history.

The non-historic elements proposed for demolition have not and are not anticipated to yield information important to history.

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**CITY OF KEY WEST**  
**CERTIFICATE OF APPROPRIATENESS**  
**APENDIX FOR DEMOLITIONS**  
APPLICATION NUMBER H-\_\_\_\_-\_\_\_\_-\_\_\_\_-\_\_\_\_\_



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(2) For a contributing historic or noncontributing building or structure, a complete construction plan for the site is approved by the Historic Architectural Review Commission.

(a) A complete construction plan for the site is included in this application

\_\_\_\_\_ Yes Number of pages and date on plans \_\_\_\_\_

No Reason Plans included are conceptual, with full construction plans to be submitted upon successful approval by HARC.

The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies);

(1) Removing buildings or structures that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.

The proposed demolition are to non-historic elements.

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(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space; and

The proposed demolition are to non-historic elements.

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**AND**

(3) Removing an historic building or structure in a complex; or removing a building facade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

The proposed demolition are to non-historic elements.

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(4) Removing buildings or structures that would otherwise qualify as contributing.

The proposed demolition are to non-historic elements.

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**Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.**

*I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit, approval **PRIOR to proceeding with the work outlined above** and that there will be a final inspection required under this application. I also understand that any changes to an approved Certificate of Appropriateness must be submitted for review.*

PROPERTY OWNER'S SIGNATURE: 

DATE AND PRINT NAME: March 6, 2016 - Anthony D. Sarno

**OFFICE USE ONLY**

**BUILDING DESCRIPTION:**

Contributing    Year built \_\_\_\_\_    Style \_\_\_\_\_    Listed in the NRHP     Year \_\_\_\_\_  
 Not listed    Year built \_\_\_\_\_    Comments \_\_\_\_\_

Reviewed by Staff on \_\_\_\_\_

Notice of hearing posted \_\_\_\_\_

First reading meeting date \_\_\_\_\_

Second Reading meeting date \_\_\_\_\_

**TWO YEAR EXPIRATION DATE** \_\_\_\_\_

Staff Comments



Anthony D. Sarno, R.A., NCARB

Professional Registration Architecture \_ AA26003135  
Professional Registration Interior Design \_ IB26001703  
Florida Architecture License \_ AR95308

March 1, 2016

City of Key West Planning Department  
3140 Flagler Avenue  
Key West, Florida 33040  
Attn: Enid Torregrosa, Historic Preservation Planner

RE: 1216 Margaret Street  
HARC Application Cover Letter

Dear Enid,

Enclosed, please find the HARC Application for a Certificate of Appropriateness for 1216 Margaret Street, an addition and interior renovation project of this existing contributing, historic duplex. The scope of work includes:

- Demolition of existing side and rear non-historic additions;
- Demolition of existing accessory buildings at the rear of the property;
- Construction of a first floor rear addition and second floor with roof deck, replacing the existing asphalt flat roof;
- Site work including fencing, landscaping, pavement, rear deck with pool, and outdoor kitchen.

The work will occur within the limits of the existing building footprint and maintain the pervious / impervious areas.

I submit this application and supporting photographs, drawings, and documents for your consideration, allowing this project to proceed directly to HARC given compliance with the Land Development Regulations for the new work.

Should you have any questions, please do not hesitate to contact me.

Regards,

A handwritten signature in blue ink that reads "Anthony D. Sarno".

Anthony D. Sarno, R.A., NCARB, President  
Anthony Architecture, LLC

**City of Key West  
Planning Department**



**Authorization Form**  
*(Individual or Joint Owner)*

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, MS KEYS INVESTMENTS LLC. authorize  
*Please Print Name(s) of Owner(s) as appears on the deed*

Anthony D. Sarno of Anthony Architecture, LLC  
*Please Print Name of Representative*

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]  
*Signature of Owner*

[Signature]  
*Signature of Joint/Co-owner if applicable*

Subscribed and sworn to (or affirmed) before me on this 2-24-16  
*Date*

by MS Keys Investments, LLC, Peter Sulek managing member  
*Name of Owner*

He/She is personally known to me or has presented FL, DL as identification.

[Signature]  
*Notary's Signature and Seal*



April SERPA  
*Name of Acknowledger typed, printed or stamped*

FF130247  
*Commission Number, if any*

**City of Key West  
Planning Department**



**Verification Form**

*(Where Authorized Representative is an entity)*

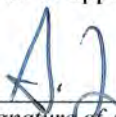
I, Anthony D. Sarno, in my capacity as President  
*(print name)* *(print position; president, managing member)*  
of Anthony Architecture, LLC  
*(print name of entity serving as Authorized Representative)*

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

1216 Margaret Street, Key West, Florida 33040

*Street Address of subject property*

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

  
*Signature of Authorized Representative*

Subscribed and sworn to (or affirmed) before me on this January 21, 2016 by  
ANTHONY D. SARNO  
*Name of Authorized Representative*  
*date*

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

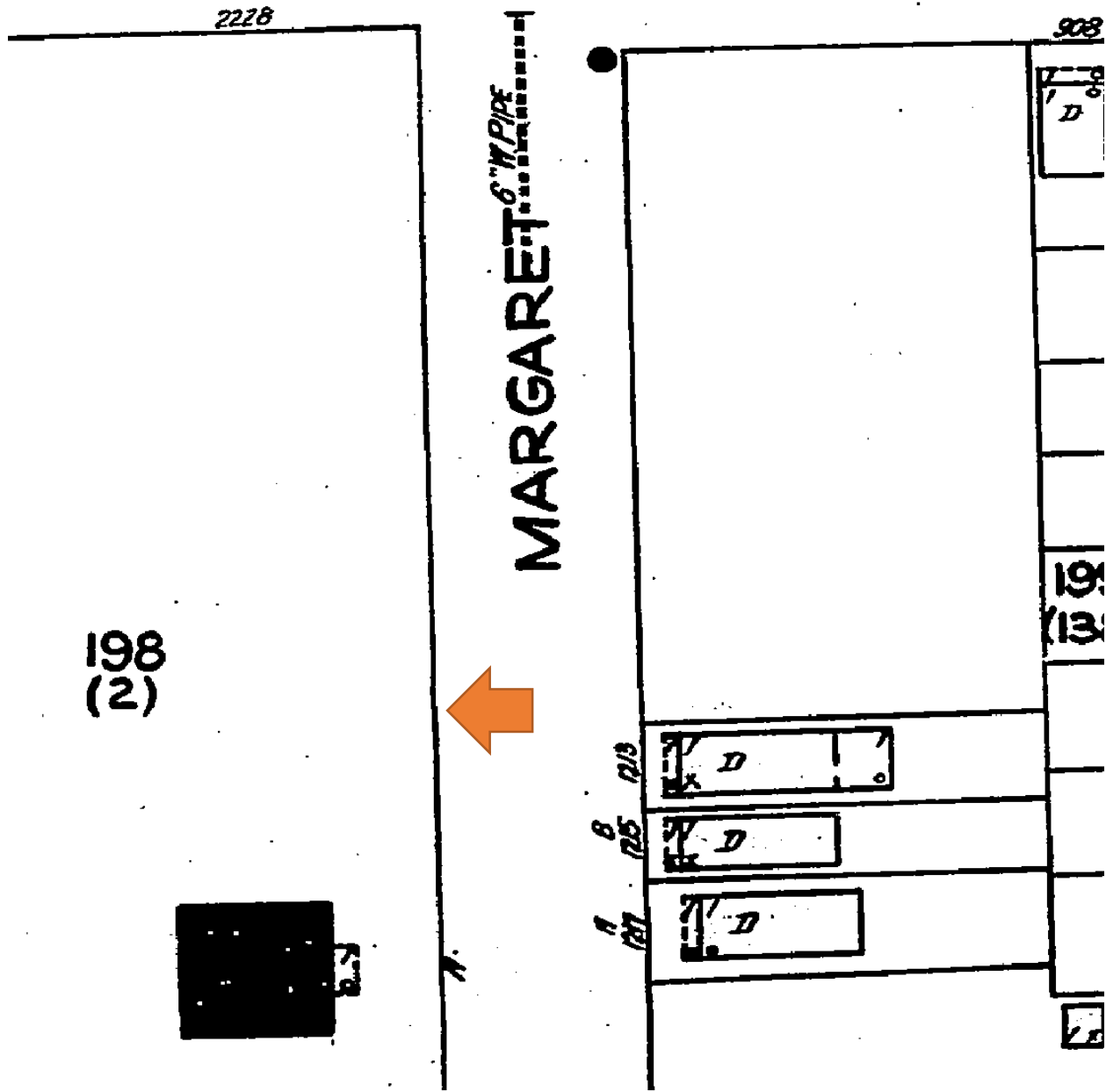
  
*Notary's Signature and Seal*



STACY L. GIBSON  
*Name of Acknowledger typed, printed or stamped*

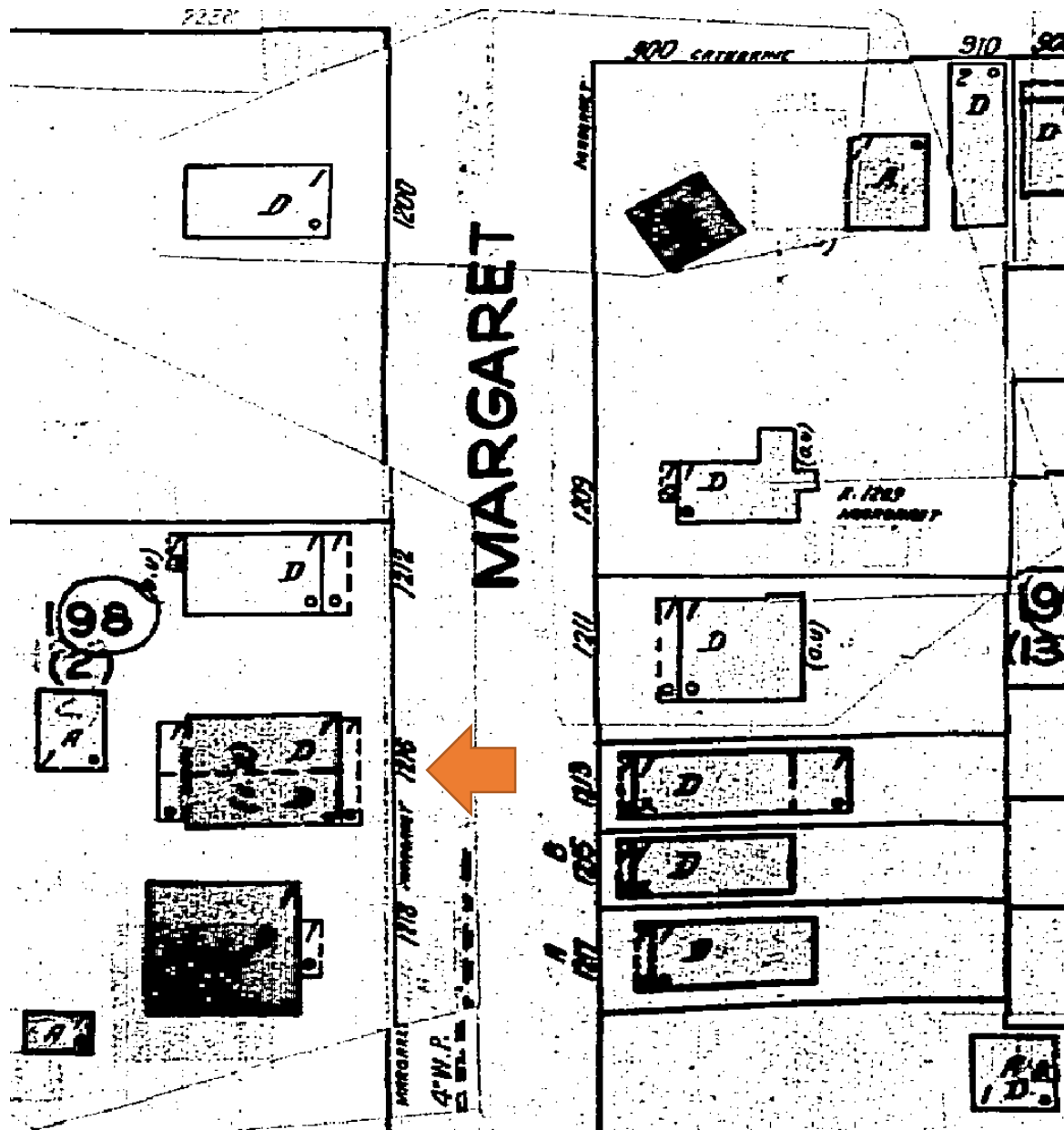
FF # 170806  
*Commission Number, if any*

# SANBORN MAPS

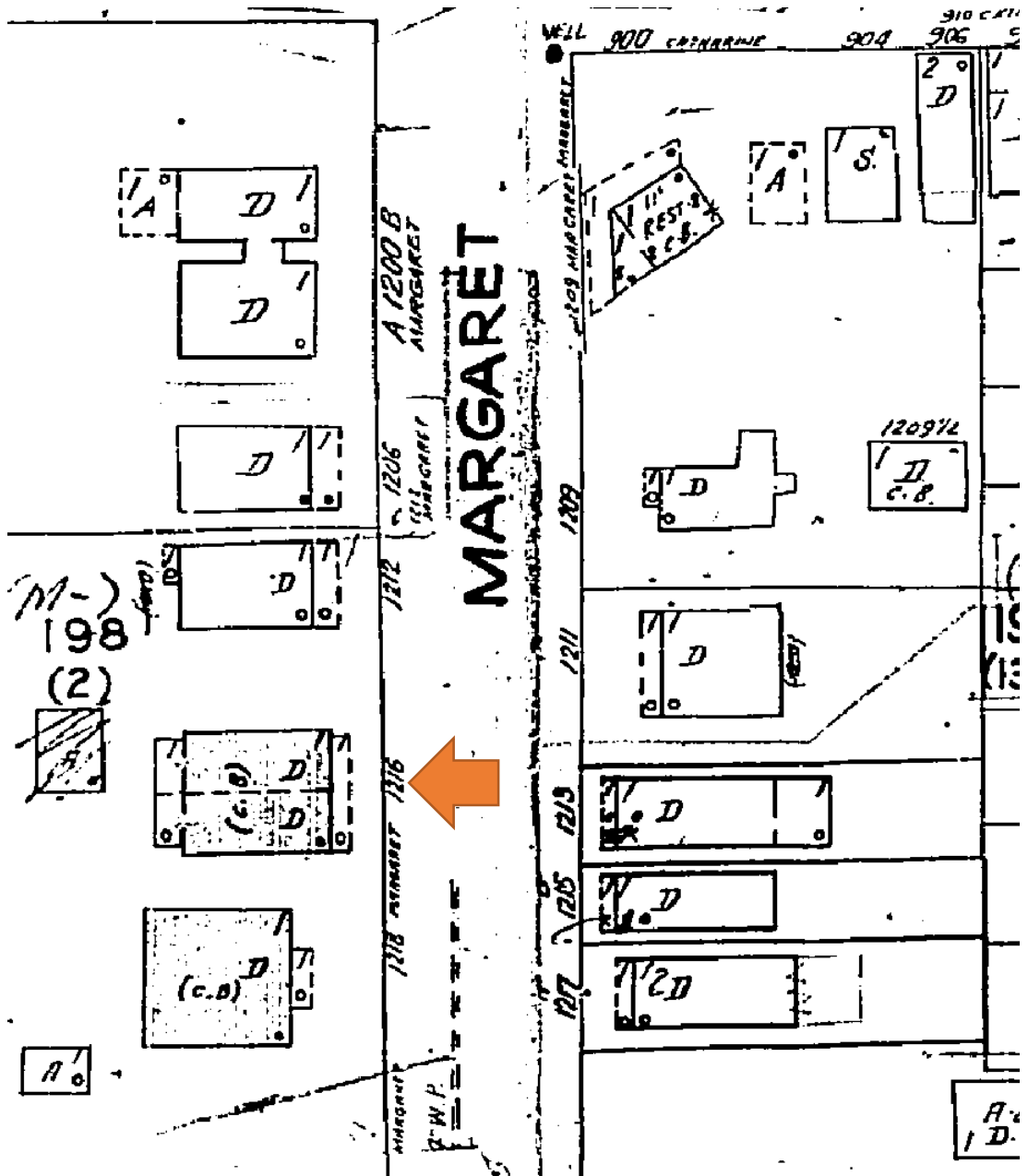


1926 Sanborn Map





1948 Sanborn Map



1962 Sanborn Map

# PROJECT PHOTOS

**PHOTO DOCUMENTATION PACKAGE: 1216 MARGARET STREET**



HISTORIC PHOTO FROM LIBRARY ARCHIVES – 1216 MARGARET STREET

**PHOTO DOCUMENTATION PACKAGE: 1216 MARGARET STREET**



**CURRENT VIEW – FRONT FAÇADE**

**PHOTO DOCUMENTATION PACKAGE: 1216 MARGARET STREET**



**VIEW ALONG RIGHT SIDE**

**PHOTO DOCUMENTATION PACKAGE: 1216 MARGARET STREET**



**VIEW ALONG LEFT SIDE**

**PHOTO DOCUMENTATION PACKAGE: 1216 MARGARET STREET**



**CLOSE UP OF JALOUSIE WINDOWS**



**PHOTO DOCUMENTATION PACKAGE: 1216 MARGARET STREET**



**NON-HISTORIC REAR ADDITIONS**

**PHOTO DOCUMENTATION PACKAGE: 1216 MARGARET STREET**



**TRANSITIONS OF HISTORIC DUPLEX AND NON-HISTORIC ADDITION**

**PHOTO DOCUMENTATION PACKAGE: 1216 MARGARET STREET**



**ACCESSORY STRUCTURES AT REAR OF PROPERTY**

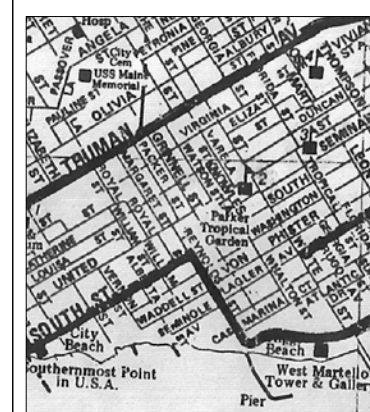
**PHOTO DOCUMENTATION PACKAGE: 1216 MARGARET STREET**



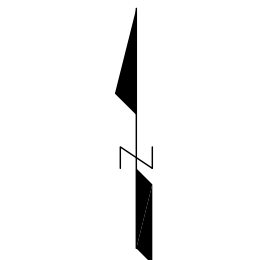
**VIEW OF EXISTING ASPHALT FLAT ROOF**

# SURVEY

MAP OF BOUNDARY SURVEY  
 LOT 8, SQUARE 2, TRACT 12  
 KEY WEST INVESTMENT CO.'S AMENDED DIAGRAM  
 ON THE ISLAND OF KEY WEST



LOCATION MAP - NTS



NORTH  
 ASSUMED FROM PLAT  
 OR LEGAL DESCRIPTION

SCALE: 1" = 10'

BEARING BASE:  
 90° LOT PER LEGAL DESCRIPTION

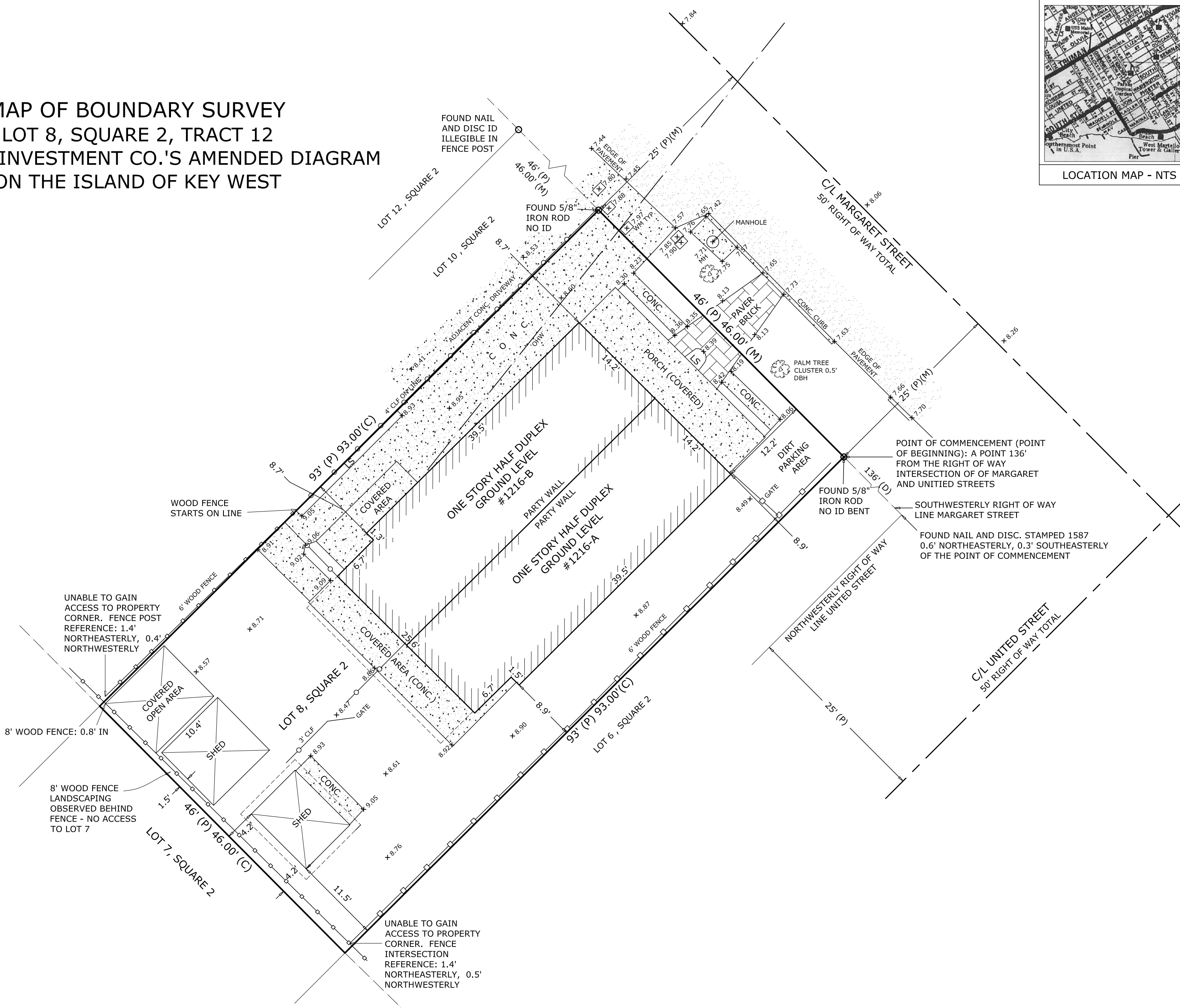
ALL ANGLES DEPICTED  
 ARE 90 DEGREES UNLESS  
 OTHERWISE INDICATED

ADDRESS:  
 1216 MARGARET STREET  
 KEY WEST, FL 33040

ELEVATIONS SHOWN AS  
 X.XX REFER TO NGVD29  
 VERTICAL DATUM

BENCHMARK USED: PID AA1653  
 STAMPING: U 397 1988  
 MARK LOGO: NGS  
 EL. 4.52', NGVD29

I HAVE CONSULTED THE FEDERAL  
 EMERGENCY MANAGEMENT AGENCY  
 FLOOD INSURANCE RATE MAP -  
 COMMUNITY NO.: 120168  
 MAP NO.: 12087C-1516K  
 MAP DATE: 02-18-05  
 REVISED EFFECTIVE DATE: 02-18-05  
 THE HERON DESCRIBED  
 PROPERTY APPEARS TO BE IN -  
 FLOOD ZONE: X  
 BASE ELEVATION: N/A.



LEGAL DESCRIPTION -

On the Island of Key West, and known as Lot Number Eight (8), in Square Number Two (2), of Tract Number Twelve (12), according to the Key West Investment Company's Amended Diagram of Part of Tract Twelve (12), recorded in Plat Book One, on Page 49, of Monroe County, Florida Records, and which lot is bounded and described as follows:

Commencing One Hundred Thirty-Six (136) feet from the corner of Margaret and United Streets, and running thence along Margaret Street in a Northwesterly direction Forty-Six (46) feet; thence at right angles in a Southwesterly direction Ninety-Three (93) feet; thence at right angles in a Southeasterly direction Forty-Six (46) feet; thence at right angles in a northeasterly direction Ninety-Three (93) feet to the point of beginning on Margaret Street.

CERTIFIED TO -  
 MS Keys Investments LLC

NOTES:

THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE PARTIES LISTED HEREIN AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER. LIKEWISE, ANY REUSE OF THIS SURVEY FOR ANY PURPOSE OTHER THAN WHICH WAS ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF THE UNDERSIGNED SURVEYOR & MAPPER, WILL BE DONE SO AT THE RISK OF THE REUSING PARTY AND WITHOUT ANY LIABILITY TO THE UNDERSIGNED SURVEYOR & MAPPER.

LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS.

THIS SURVEY DOES NOT PURPORT TO SHOW OWNERSHIP OF WALLS OR FENCES ALONG PROPERTY LINES.

ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

NOTE: MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE. FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.

- |                                      |  |                                    |                             |
|--------------------------------------|--|------------------------------------|-----------------------------|
| BFP = BACK-FLOW PREVENTER            | FI = FENCE INSIDE                              | PC = POINT OF CURVE                | TOB = TOP OF BANK           |
| BO = BLOW OUT                        | FND = FOUND                                    | PI = POINT OF INTERSECTION         | TOS = TOE OF SLOPE          |
| C = CALCULATED                       | FND&D = FOUND NAIL & DISK (#XXXX)              | PK = PARKER KALON NAIL             | TS = TRAFFIC SIGN           |
| C&G = 2" CONCRETE CURB & GUTTER      | FO = FENCE OUTSIDE                             | PM = PARKING METER                 | TYP = TYPICAL               |
| CB = CONCRETE BLOCK                  | FOL = FENCE ON LINE                            | POB = POINT OF BEGINNING           | UEASE = UTILITY EASEMENT    |
| CBW = CONCRETE BLOCK WALL            | GB = GRADE BREAK                               | POC = POINT OF COMMENCEMENT        | UPC = CONCRETE UTILITY POLE |
| CBRW = CONCRETE BLOCK RETAINING WALL | GI = GRATE INLET                               | PRM = POINT OF REVERSE CURVE       | UPM = METAL UTILITY POLE    |
| CI = CURB INLET                      | GL = GROUND LEVEL                              | PRM = PERMANENT REFERENCE MONUMENT | UPW = WOOD UTILITY POLE     |
| CL = CENTERLINE                      | GW = GUY WIRE                                  | PT = POINT OF TANGENT              | VB = VIDEO BOX              |
| CLF = CHAINLINK FENCE                | HB = HOSE BIB                                  | R = RADIUS                         | WD = WOOD DECK              |
| CM = CONCRETE MONUMENT               | IP = IRON PIPE                                 | ROL = ROOF OVERHANG LINE           | WLF = WOOD LANDING          |
| CONC = CONCRETE                      | IR = IRON ROD                                  | ROWL = RIGHT OF WAY LINE           | WM = WATER METER            |
| C/S = CONCRETE SLAB                  | LE = LOWER ENCLOSURE                           | R/W = RIGHT OF WAY                 | WL = WOOD LANDING ON SHORE  |
| CVRD = COVERED                       | LS = LANDSCAPING                               | SCD = SANITARY CLEAN-OUT           | WV = WATER VALVE            |
| DEASE = DRAINAGE EASEMENT            | M = MEASURED                                   | SN&D = SET NAIL & DISK LB 7846     | WBW = WATER VALVE           |
| DELT = DELTA ANGLE                   | MB = MAILBOX                                   | SIR = SET IRON ROD 1/2" LB 7846    | T = TREE                    |
| DNI = DRAINAGE MANHOLE               | MHWL = MEAN HIGH WATER LINE                    | SPV = SPRINKLER CONTROL VALVE      | TBW = BUTTWOOD              |
| EB = ELECTRIC BOX                    | NGVD = NATIONAL GEODETIC VERTICAL DATUM (1929) | SV = SEWER VALVE                   | TGL = GUMBO LIMBO           |
| EL = ELEVATION                       | NTS = NOT TO SCALE                             | TB = TELEPHONE BOX                 | TR = MAHOGANY               |
| ELEV = ELEVATED                      | OHW = OVERHEAD WIRES                           | TBM = TIDAL BENCHMARK              | TO = OAK                    |
| EM = ELECTRIC METER                  |  | TMH = TELEPHONE MANHOLE            | TPA = PALM                  |
| ENCL = ENCLOSURE                     |  |                                    | YRAC = COCONUT PALM         |
| FEE = FINISHED FLOOR ELEVATION       |  |                                    | TPOIN = ROYAL POINCIANA     |
| FI = FIRE HYDRANT                    |  |                                    | TSG = SCHEFFLERA            |
|                                      |  |                                    | TUNK = UNKNOWN              |

SCALE: 1" = 10'  
 FIELD WORK DATE: 02/02/16  
 REVISION DATE: -/-/  
 SHEET 1 OF 1  
 DRAWN BY: KB  
 CHECKED BY: RER  
 INVOICE #: 16020101

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THIS SURVEY, WHEN SCHEDULE B HAS BEEN PROVIDED MEETS THE PROVISIONS OF FLORIDA ENDORSEMENT FORM 9, SUBPARAGRAPH 1(B) 1 (SETBACKS), 1(B) 3 (ENCROACHMENTS), & 1(B) 4 (EASEMENTS), SCHEDULE "B" HAS NOT BEEN PROVIDED.

SIGNED: *Robert E. Reece*  
 NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER

**REECE & ASSOCIATES**  
 PROFESSIONAL SURVEYOR AND MAPPER, LB 7846  
 127 INDUSTRIAL ROAD, BIG PINE KEY, FL 33043  
 OFFICE (305) 872 - 1348  
 FAX (305) 872 - 5622

# PROPOSED DESIGN

# MS Keys Investments LLC

## RESIDENTIAL DUPLEX RENOVATION

1216 MARGARET STREET, KEY WEST, FLORIDA 33040

# HARC SUBMISSION SUPPLEMENT

MARCH 6, 2016

### TEAM

#### Contractor

Creo Construction  
1212 Margaret Street, Key West  
305.923.4890  
creoconstruction@aol.com

#### Owner

MS Keys Investments, LLC  
1212 Margaret Street, Key West  
305.923.4890  
creoconstruction@aol.com

#### A/E

Anthony Architecture, LLC  
1615 United Street, Key West  
305.395.2846  
Anthony@AnthonyArchitecture.com

### APPROVALS

#### DRC

Submitted: Not Required  
Meeting: Not Required  
Approval #: N/A

#### PLANNING

Submitted: Not Required  
Meeting: Not Required  
Approval #: N/A

#### TREE

Submitted: Not Required  
Meeting: Not Required  
Approval #: N/A

#### CITY COMMISSION

Submitted: Not Required  
Meeting: Not Required  
Approval #: N/A

#### HARC

Submitted: March 1, 2016  
Meeting (1st Reading): Pending  
Meeting (2nd Reading): Pending  
Approval #: Pending



Anthony Architecture, LLC  
info@AnthonyArchitecture.com | 305.395.2846

### SCOPE OF WORK

The project includes the demolition of non-historic side and rear additions, removal of accessory buildings, adding a rear first floor addition, adding a second floor and roof deck, and site work to include inground pool parking, outdoor kitchen, exterior decking, and landscaping for the existing duplex.

### BUILDING CODE REVIEW

2014 Florida Building Code, Residential

Refer to Site Data Table A1.2 for FEMA & LDR Compliance

### INDEX OF DRAWINGS

- A0.1 - Cover Sheet
- AE1.1 - Existing Site Plan
- AE1.2 - Existing Calc Plans and Data Table
- AE2.1 - Existing First Floor Plan
- AE3.0 - Existing Street Elevation
- AE3.1 - Existing Exterior Elevations
- A1.1 - Site Plan
- A1.2 - Site Calc Plans and Data Table
- A2.1 - First and Second Floor Plans
- A3.0 - Street Elevation
- A3.1 - Exterior Elevations

### PROJECT

Residential Renovation

- AT -

1216 Margaret Street

- FOR -

### CLIENT

MS Keys Investments, LLC  
1212 Margaret Street  
Key West, Florida 33040



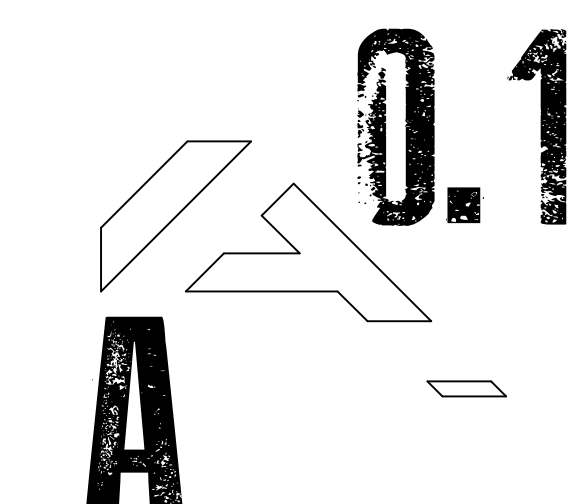
Anthony Architecture, LLC

1615 United Street  
Key West, Florida 33040  
305.395.2846

info@AnthonyArchitecture.com  
Prof. Reg. Arch. AA26003135  
Prof. Reg. ID. IB26001303

### REVISIONS

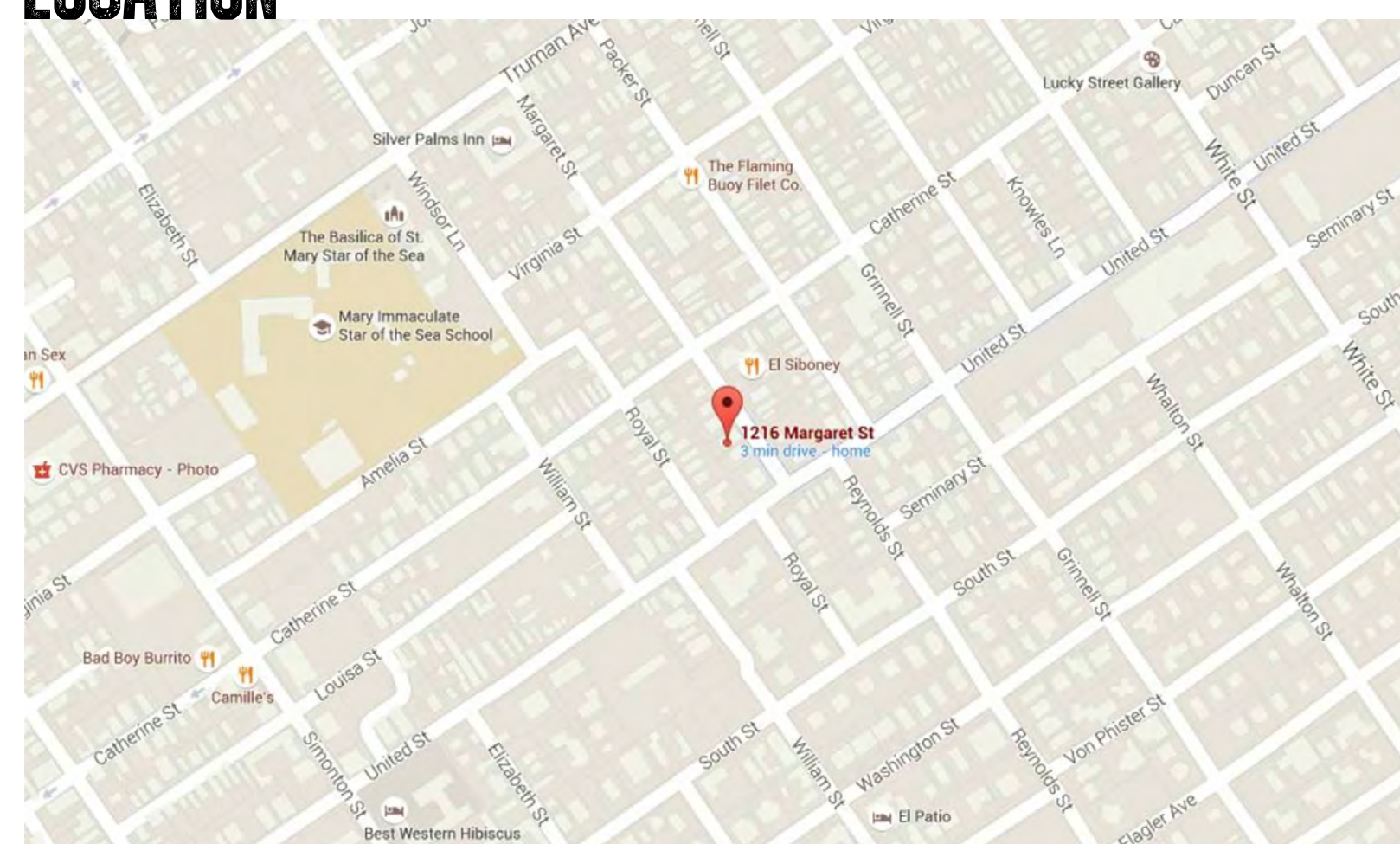
Anthony D. Sarno: License # AR95308  
Expiration Date: February 28, 2017



DATE  
March 6, 2016

PROJECT  
1216 Margaret Street, Key West, Florida 33040

### LOCATION







Anthony Architecture, LLC

Anthony D. Sarno: License # AR65308  
Expiration Date: February 28, 2017

1615 United Street  
Key West, Florida 33040  
305.395.2846

info@AnthonyArchitecture.com  
Prof. Reg. Arch. AA26003135  
Prof. Reg. ID. IB26001303

**PROJECT**  
1216 Margaret Street, Key West, Florida 33040

**CLIENT**  
MS Keys Investments, LLC

**DRAWING**  
EXISTING SITE PLAN

**DATE**  
March 1, 2016



REAR SETBACK - WEST  
REQUIRED: 15'-0"  
EXISTING: 0'-9"

SIDE SETBACK - NORTH  
REQUIRED: 5'-0"  
EXISTING: 0'-3"

ACCESSORY BUILDINGS TO BE REMOVED.

DASHED LINE REPRESENTS REQUIRED SETBACKS.

PROPERTY LINE.

AWNING OVER CONCRETE PATIO TO BE REMOVED.

LAUNDRY AND EQUIPMENT ROOM TO BE REMOVED.

93'-0"

93'-0"

1216  
MARGARET  
STREET

6'-0" WOODEN FENCE TO BE RELOCATED ON PROPERTY LINE.

CONCRETE DRIVEWAY TO BE REMOVED.

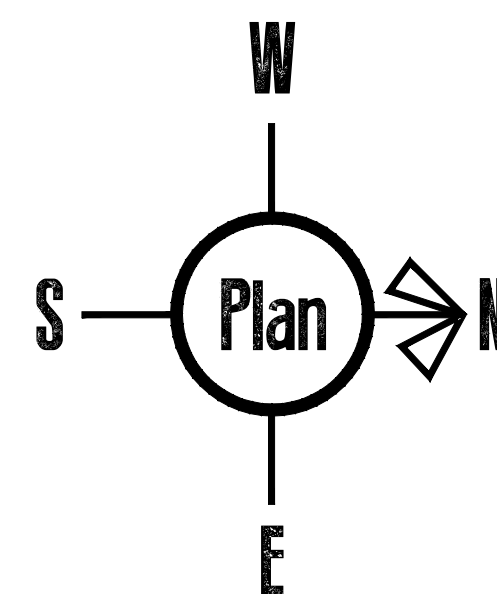
SIDE SETBACK - SOUTH  
REQUIRED: 5'-0"  
EXISTING: 8'-11"

CONCRETE SIDEWALK TO BE REMOVED.

46'-0"

BRICK WALKWAY TO BE REMOVED.

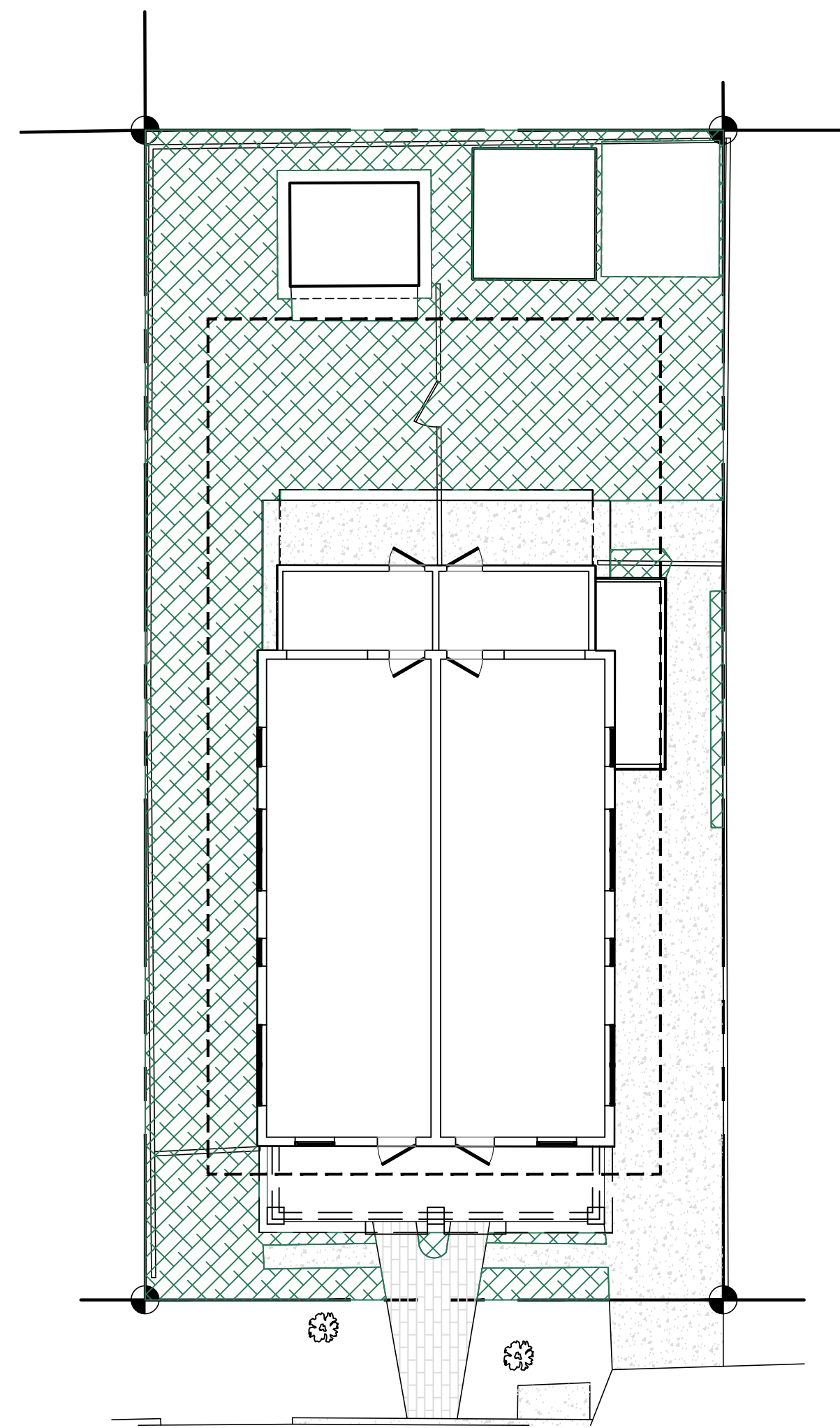
FRONT SETBACK - EAST  
REQUIRED: 10'-0"  
EXISTING: 5'-4"



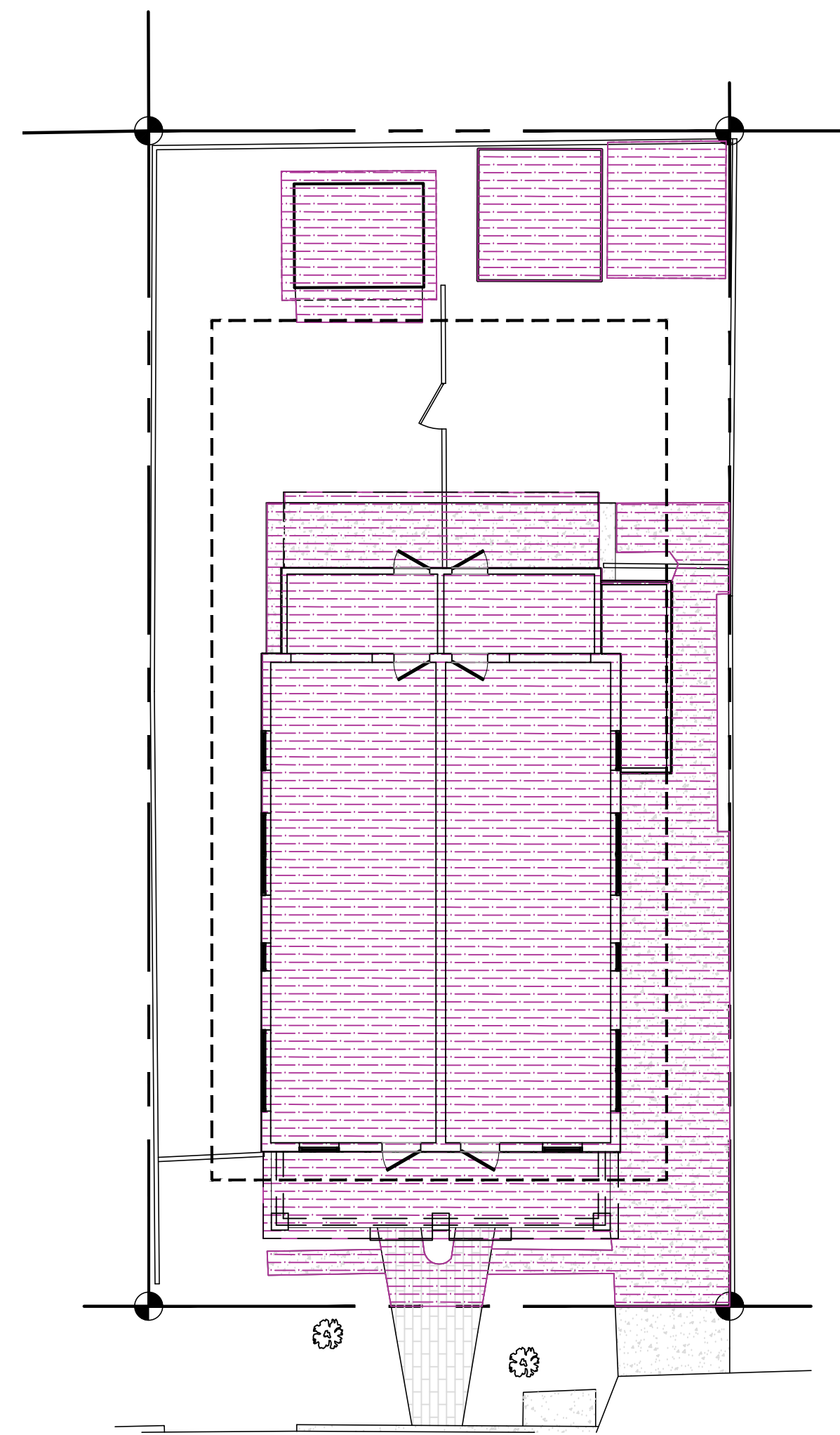
**01** Existing Site Plan  
1/8" = 1'-0"



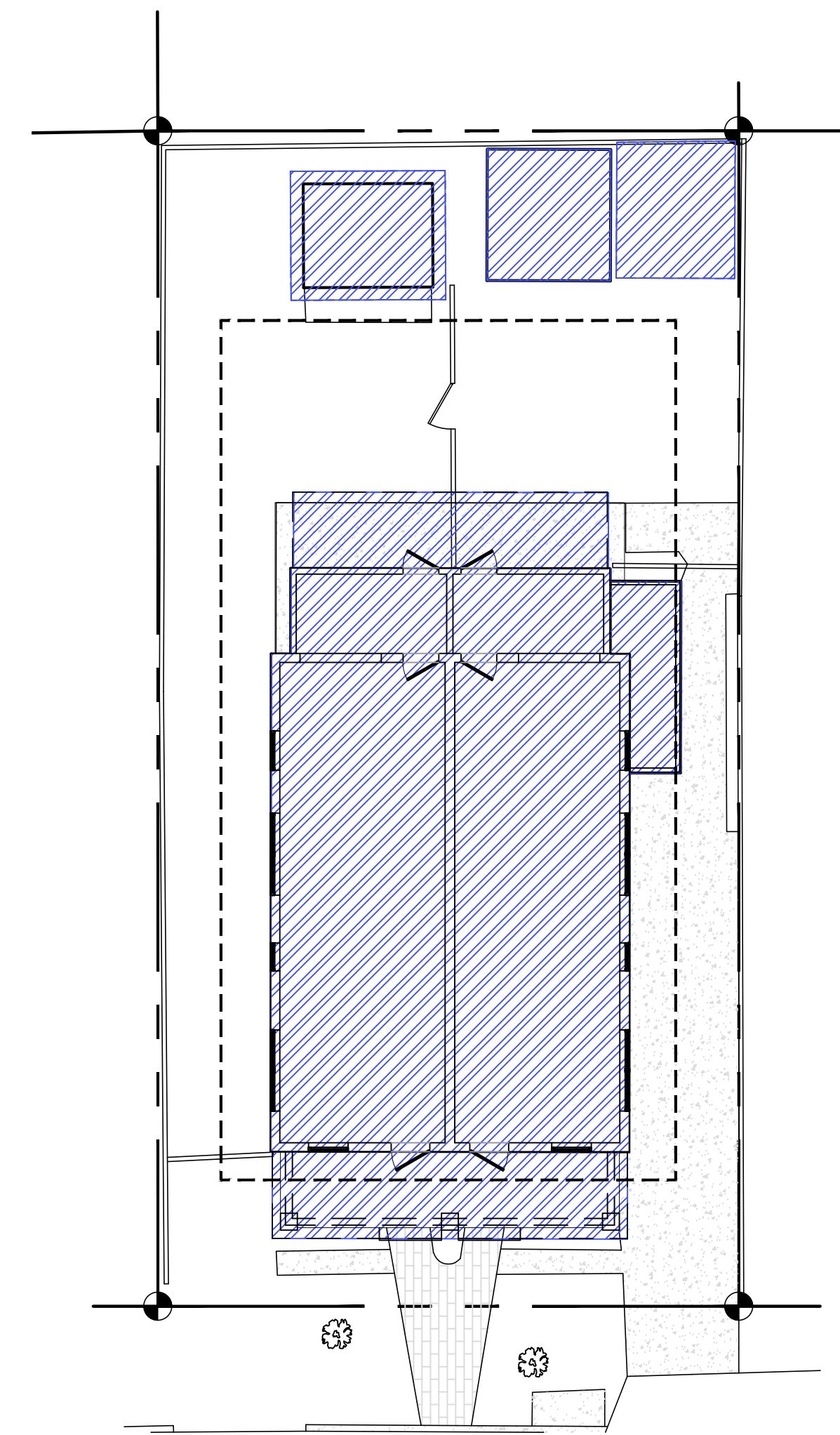
SITE DATA TABLE				
1216 Margaret Street				
	CODE REQUIREMENT	EXISTING	PROPOSED	VARIANCE REQUESTED
ZONING	Historic Medium Density Residential District (HMDR)			
FLOOD ZONE	ZONE X			
SIZE OF SITE	4,000 SF MIN	4,278 SQ FT	4,278 SQ FT	NONE
MINIMUM LOT WIDTH	40'-0"	46'-0"	46'-0"	NONE
MINIMUM LOT DEPTH	90'-0"	93'-0"	93'-0"	NONE
HEIGHT	30'-0"	12'-9"	22'-0"	NONE
FRONT SETBACK - EAST	10'-0"	5'-4"	5'-4"	NONE
SIDE SETBACK - NORTH	5'-0"	0'-3"	8'-8"	NONE
REAR SETBACK - WEST	15'-0"	0'-9"	5'-0"	IMPROVING
SIDE SETBACK - SOUTH	5'-0"	8'-11"	8'-11"	IMPROVING
FLOOR AREA RATIO	1.0 MAX (4,278 SQ FT)	0.32 (1,361 SQ FT)	0.56 (2,413 SQ FT)	NONE
BUILDING COVERAGE	40% MAX (1,711.20 SQ FT)	47.49% (2,031.70 SQ FT)	42.14% (1,802.60 SQ FT)	IMPROVING
IMPERVIOUS SURFACE	60% MAX (2,566.80 SQ FT)	52.81% (2,259.21 SQ FT)	57.65% (2,466.29 SQ FT)	NONE
OPEN SPACE LANDSCAPING	35% MIN (1,497.30 SQ FT)	38.92% (1,664.84 SQ FT)	35.23% (1,506.93 SQ FT)	NONE
<b>FLOOR AREA</b>				
FIRST FLOOR		1,361 SQ FT	1,361 SQ FT	
SECOND FLOOR		0 SQ FT	1,052 SQ FT	
FLOOR AREA TOTAL		1,361 SQ FT	2,413 SQ FT	



**03** Open Space Plan - Existing  
3/32" = 1'-0"  
1,664.84 Square Feet (38.92%)



**02** Impervious Surface Plan - Existing  
3/32" = 1'-0"  
2,259.21 Square Feet (52.81%)



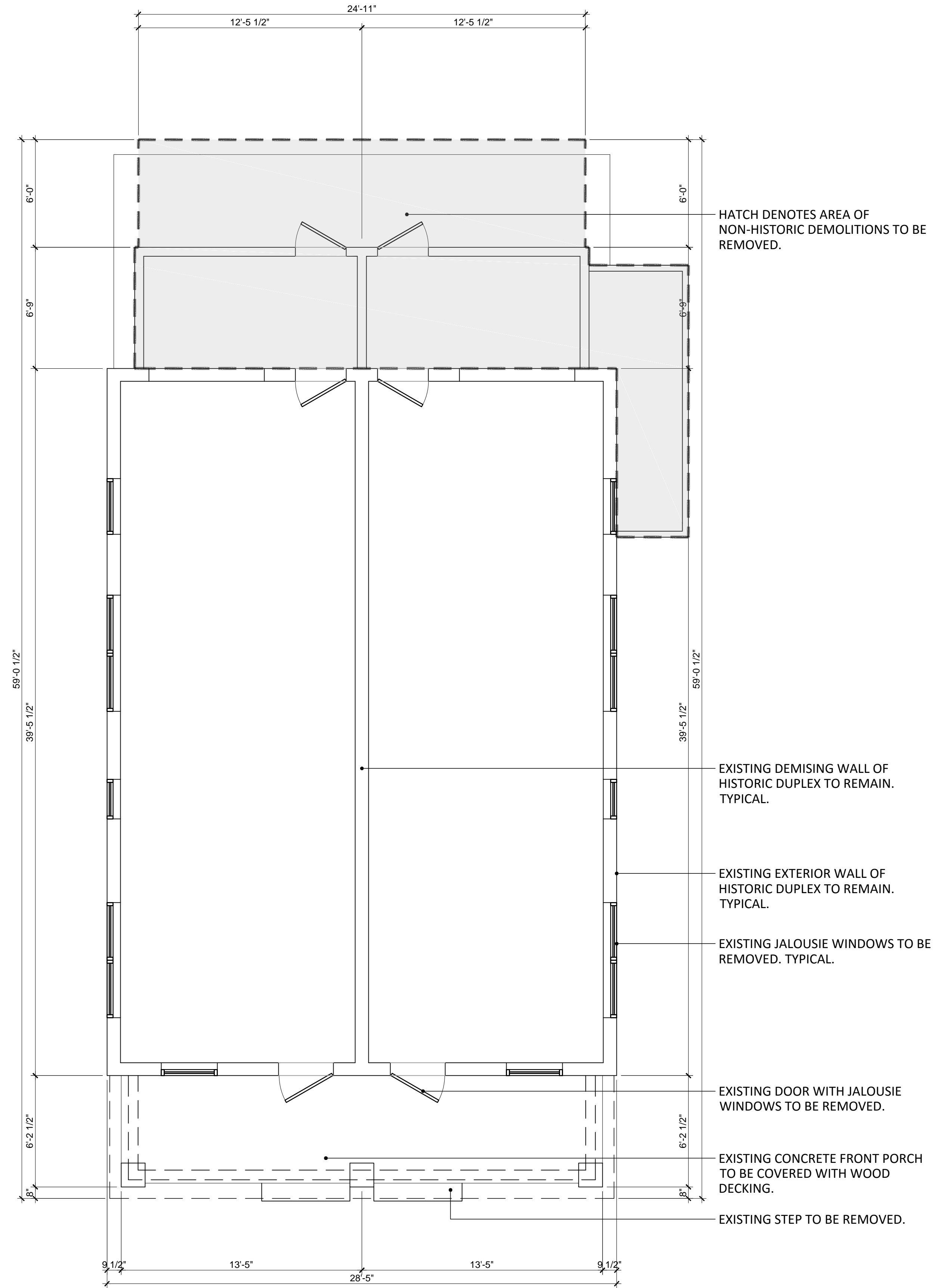
**01** Building Coverage Plan - Existing  
3/32" = 1'-0"  
2,031.70 Square Feet (47.49%)

**PROJECT**  
1216 Margaret Street, Key West, Florida 33040

**CLIENT**  
MS Keys Investments, LLC

**DRAWING**  
EXISTING CALC PLANS & DATA TABLE

**DATE**  
March 6, 2016



**01** Existing First Floor Plan  
1/4" = 1'-0"

**PROJECT**  
1216 Margaret Street, Key West, Florida 33040

**CLIENT**  
MS Keys Investments, LLC

**DRAWING**  
EXISTING FIRST FLOOR PLAN

**DATE**  
March 6, 2016



Anthony Architecture, LLC

Anthony D. Sarno: License # AR95308  
Expiration Date: February 28, 2017

1615 United Street  
Key West, Florida 33040  
305.395.2846  
info@AnthonyArchitecture.com

Prof. Reg. Arch. AA26003135  
Prof. Reg. ID. IB26001303

**PROJECT**  
1216 Margaret Street, Key West, Florida 33040

**CLIENT**  
MS Keys Investments, LLC

**DRAWING**  
EXISTING STREET ELEVATION

**DATE**  
March 6, 2016



1217 Royal Street (Behind)

1215 Royal Street (Behind)



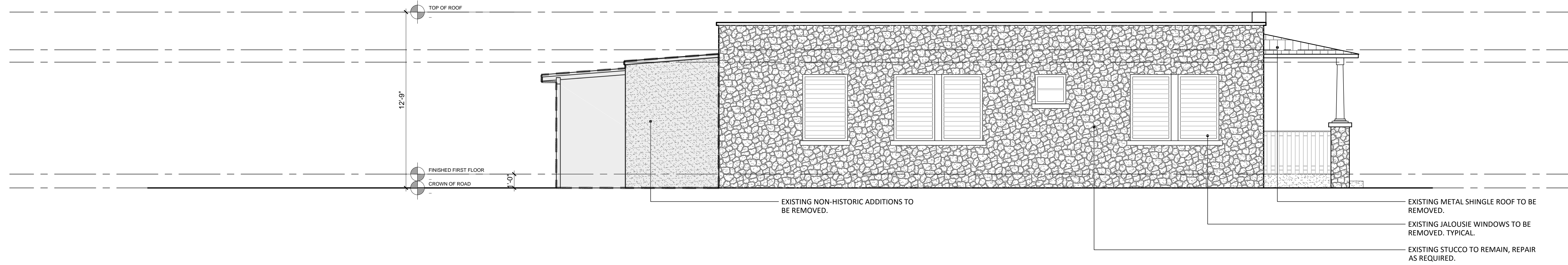
1218 Margaret Street

1216 Margaret Street

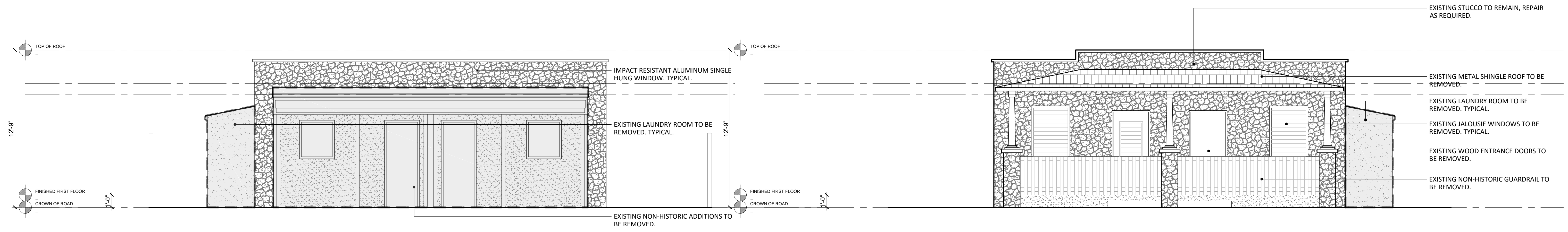
1212 Margaret Street

01 Existing Street Elevation - Margaret Street

1/4" = 1'-0"



**03 Existing South Elevation (North Elevation Mirrored)**  
1/4" = 1'-0"



**02 Existing West Elevation**  
1/4" = 1'-0"

**01 Existing East Elevation - Margaret Street**  
1/4" = 1'-0"

**PROJECT**  
1216 Margaret Street, Key West, Florida 33040

**CLIENT**  
MS Keys Investments, LLC

**DRAWING**  
EXISTING EXTERIOR ELEVATIONS

**DATE**  
March 6, 2016

REAR SETBACK - WEST  
REQUIRED: 15'-0"  
EXISTING: 0'-9"  
PROPOSED: 0'-9"

6'-0" WOODEN FENCE ON  
PROPERTY LINE.

INGROUND SWIMMING POOL  
WITH WATER FEATURE WALL  
DIVIDING THE CENTER,  
ELEVATED 6'-0" ABOVE  
WATER SURFACE (7'-0"  
ABOVE GRADE).

WOOD DECK WITH BOARD  
SPACING FOR IMPERVIOUS,  
1'-0" ABOVE GRADE.

LINE OF SECOND FLOOR  
ADDITION ABOVE.

6'-0" WOODEN FENCE TO BE  
RELOCATED ON PROPERTY  
LINE.

SIDE SETBACK - SOUTH  
REQUIRED: 5'-0"  
EXISTING: 8'-11"  
PROPOSED: 8'-11"

4'-0" PICKET FENCE THIS  
AREA.

CONCRETE SIDEWALK.

4'-0" PICKET FENCE ALONG  
FRONT PROPERTY LINE.

LANDSCAPING PLANTED  
WITHIN WATER FEATURE  
WALL.

SIDE SETBACK - NORTH  
REQUIRED: 5'-0"  
EXISTING: 0'-3"  
PROPOSED: 8'-8"

OUTDOOR KITCHEN.

DASHED LINE REPRESENTS  
REQUIRED SETBACKS.

PROPERTY LINE.

LANDSCAPING, TYPICAL.

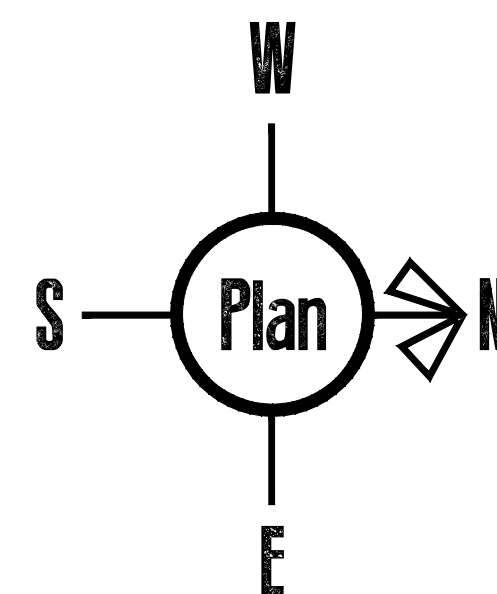
LAUNDRY AND EQUIPMENT  
ROOM TO BE REMOVED.

STEPPING STONE WALKWAY  
WITHIN LANDSCAPING.

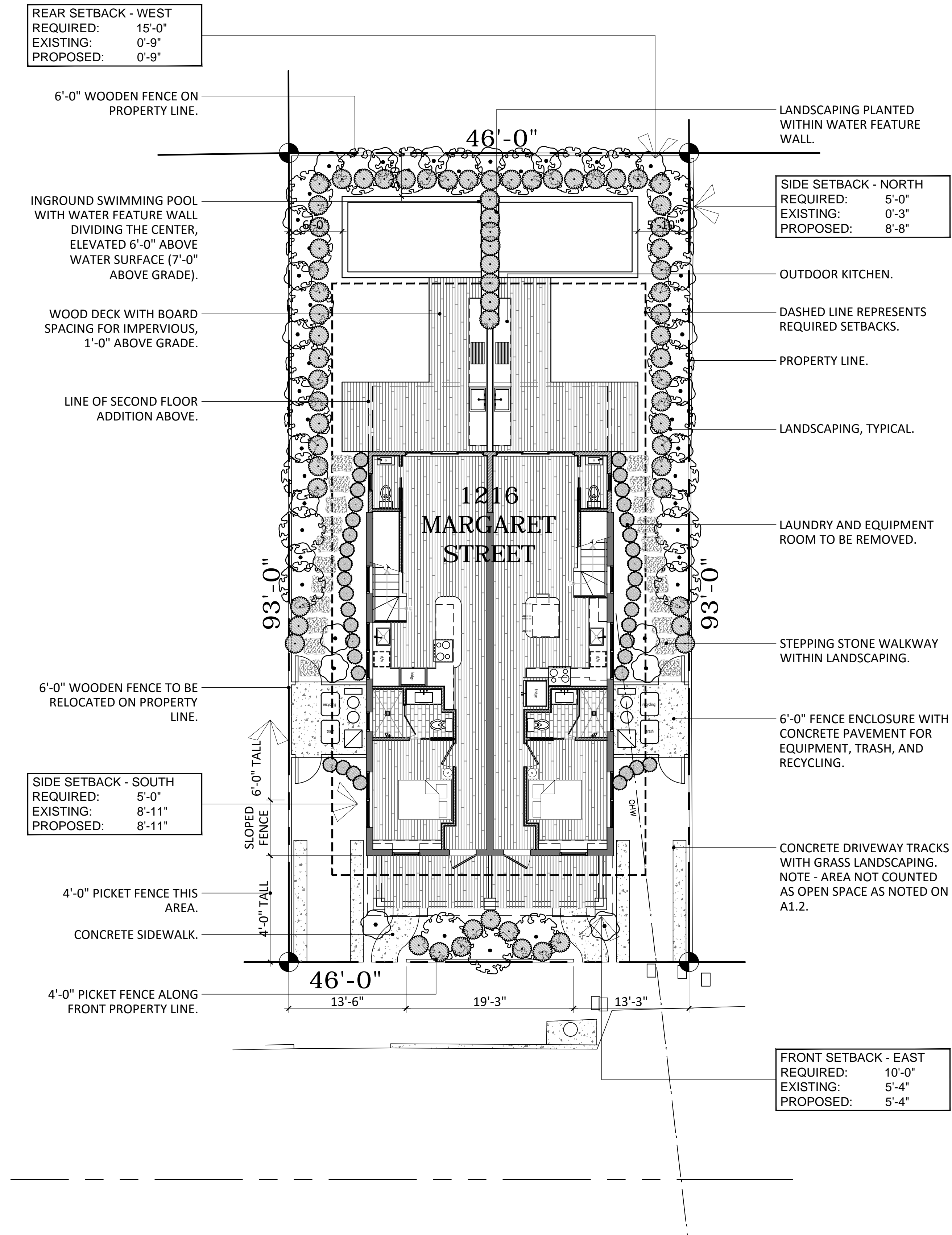
6'-0" FENCE ENCLOSURE WITH  
CONCRETE PAVEMENT FOR  
EQUIPMENT, TRASH, AND  
RECYCLING.

CONCRETE DRIVEWAY TRACKS  
WITH GRASS LANDSCAPING.  
NOTE - AREA NOT COUNTED  
AS OPEN SPACE AS NOTED ON  
A1.2.

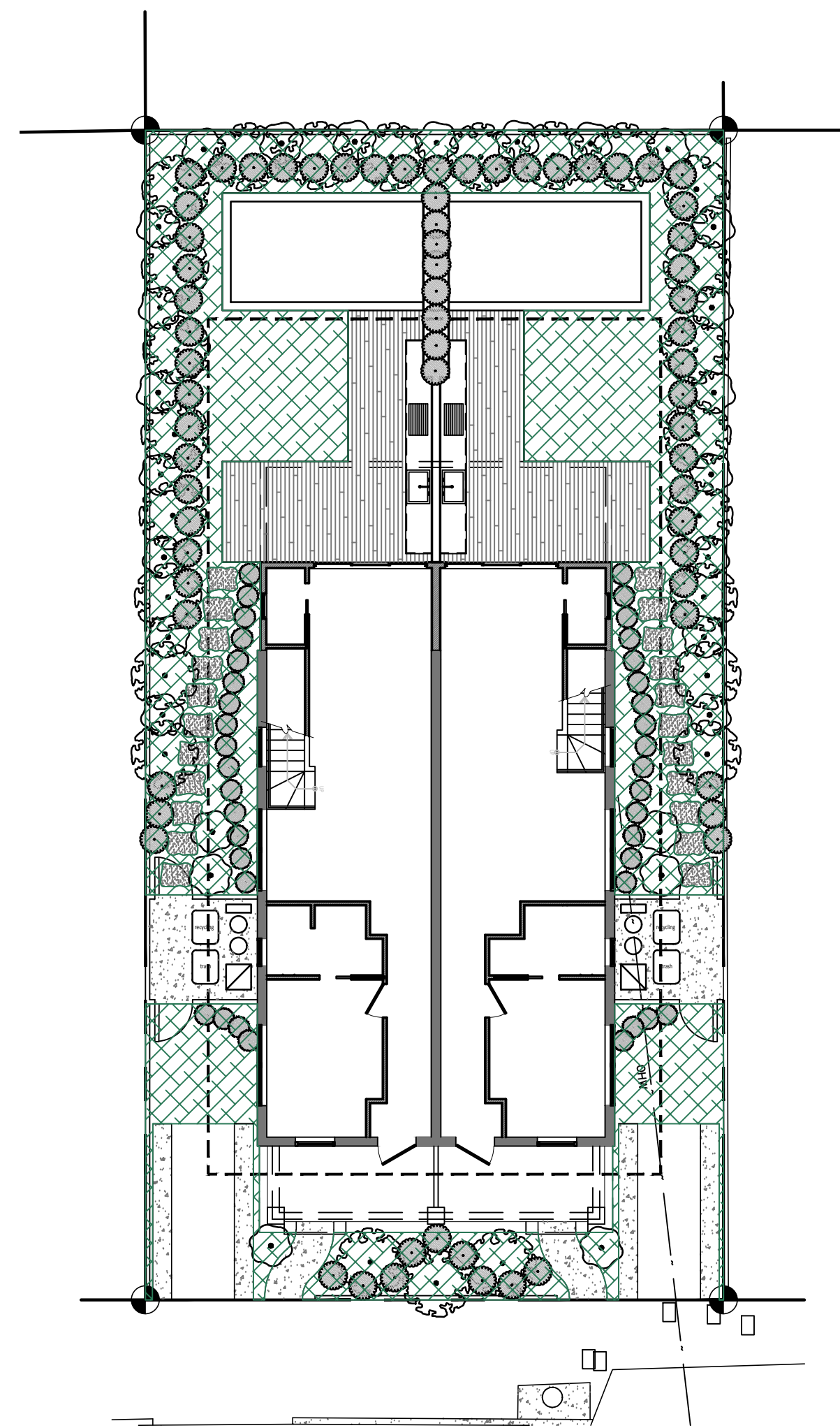
FRONT SETBACK - EAST  
REQUIRED: 10'-0"  
EXISTING: 5'-4"  
PROPOSED: 5'-4"



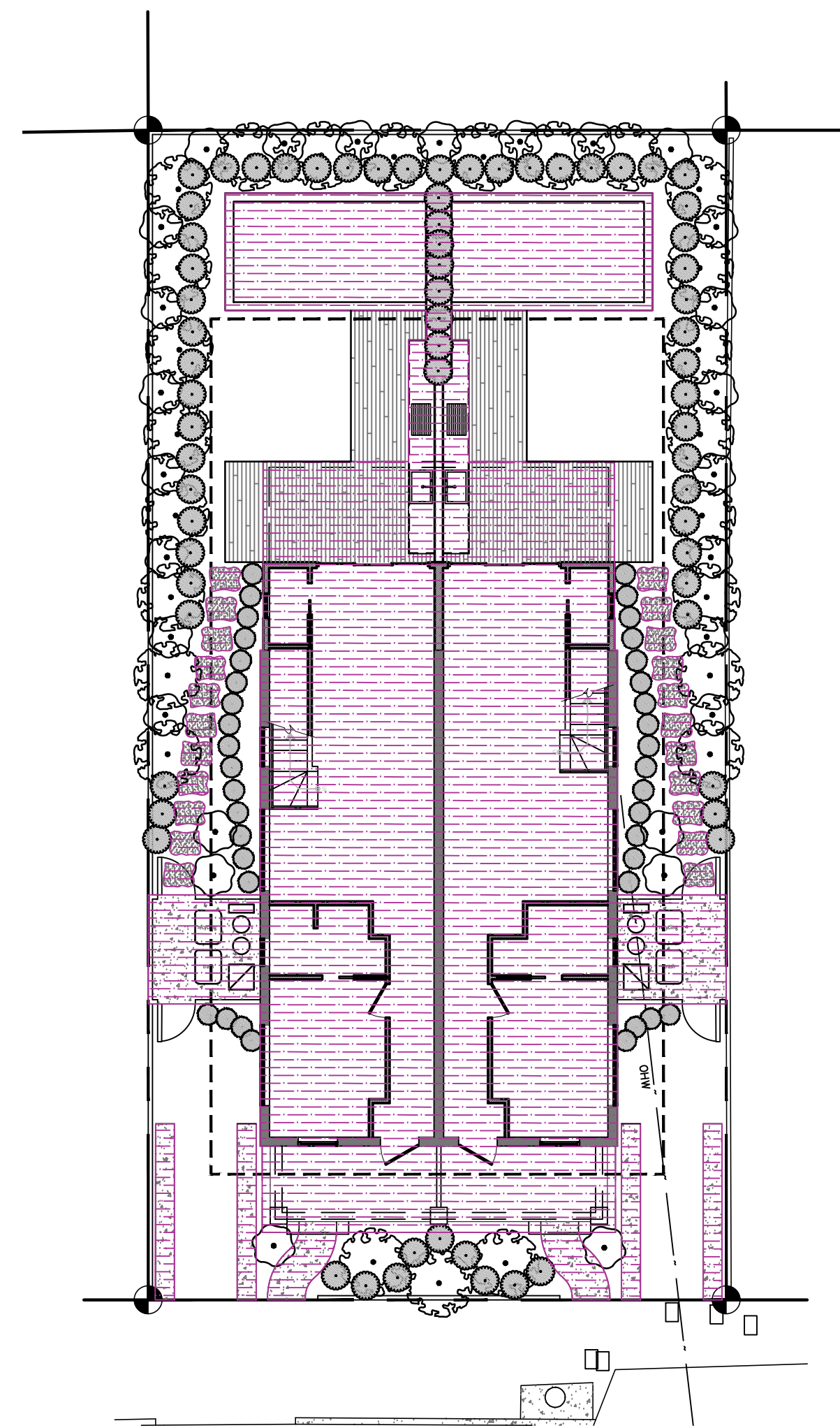
**01** Site Plan  
1/8" = 1'-0"



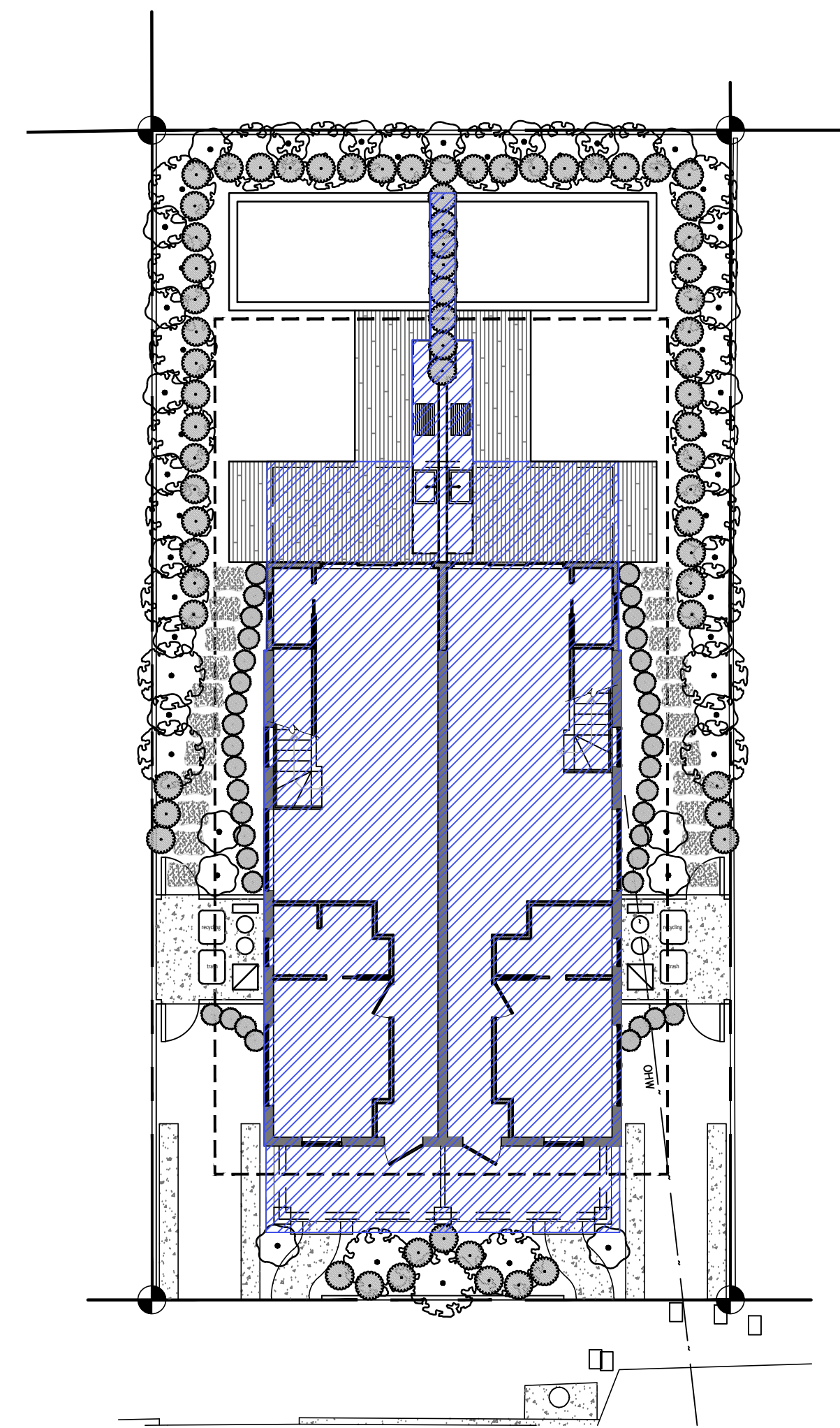
SITE DATA TABLE				
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MINIMUM LOT DEPTH	90'-0"	93'-0"	93'-0"	NONE
HEIGHT	30'-0"	12'-9"	22'-0"	NONE
FRONT SETBACK - EAST	10'-0"	5'-4"	5'-4"	NONE
SIDE SETBACK - NORTH	5'-0"	0'-3"	8'-8"	NONE
REAR SETBACK - WEST	15'-0"	0'-9"	5'-0"	IMPROVING
SIDE SETBACK - SOUTH	5'-0"	8'-11"	8'-11"	IMPROVING
FLOOR AREA RATIO	1.0 MAX (4,278 SQ FT)	0.32 (1,361 SQ FT)	0.56 (2,413 SQ FT)	NONE
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IMPERVIOUS SURFACE	60% MAX (2,566.80 SQ FT)	52.81% (2,259.21 SQ FT)	57.65% (2,466.29 SQ FT)	NONE
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<b>FLOOR AREA</b>				
FIRST FLOOR		1,361 SQ FT	1,361 SQ FT	
SECOND FLOOR		0 SQ FT	1,052 SQ FT	
FLOOR AREA TOTAL		1,361 SQ FT	2,413 SQ FT	



**03** Open Space Plan - Proposed  
3/32" = 1'-0"  
1,506.93 Square Feet (35.23%)



**02** Impervious Surface Plan - Proposed  
3/32" = 1'-0"  
2,466.29 Square Feet (57.65%)



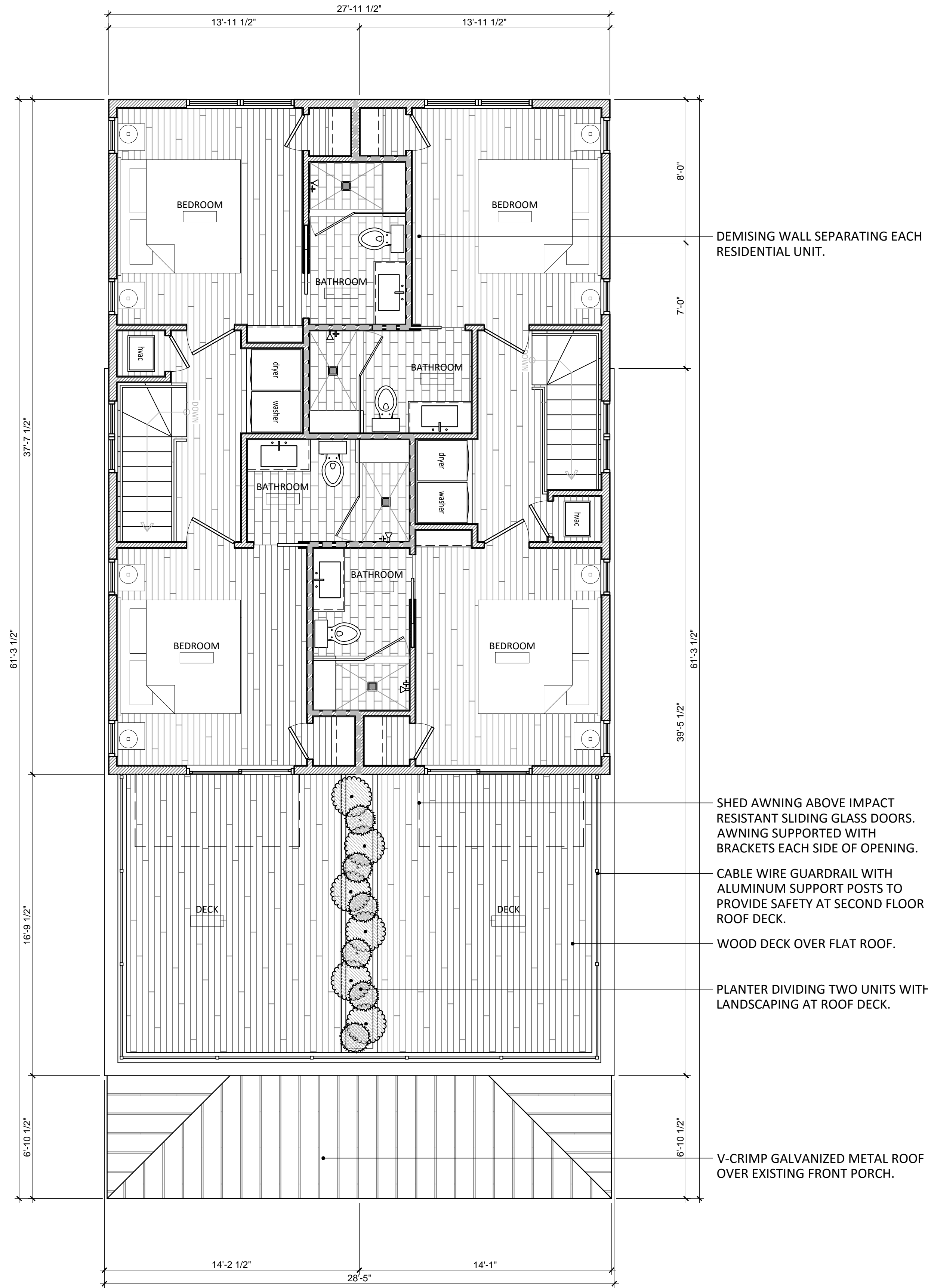
**01** Building Coverage Plan - Proposed  
3/32" = 1'-0"  
1,802.60 Square Feet (42.14%)

**PROJECT**  
1216 Margaret Street, Key West, Florida 33040

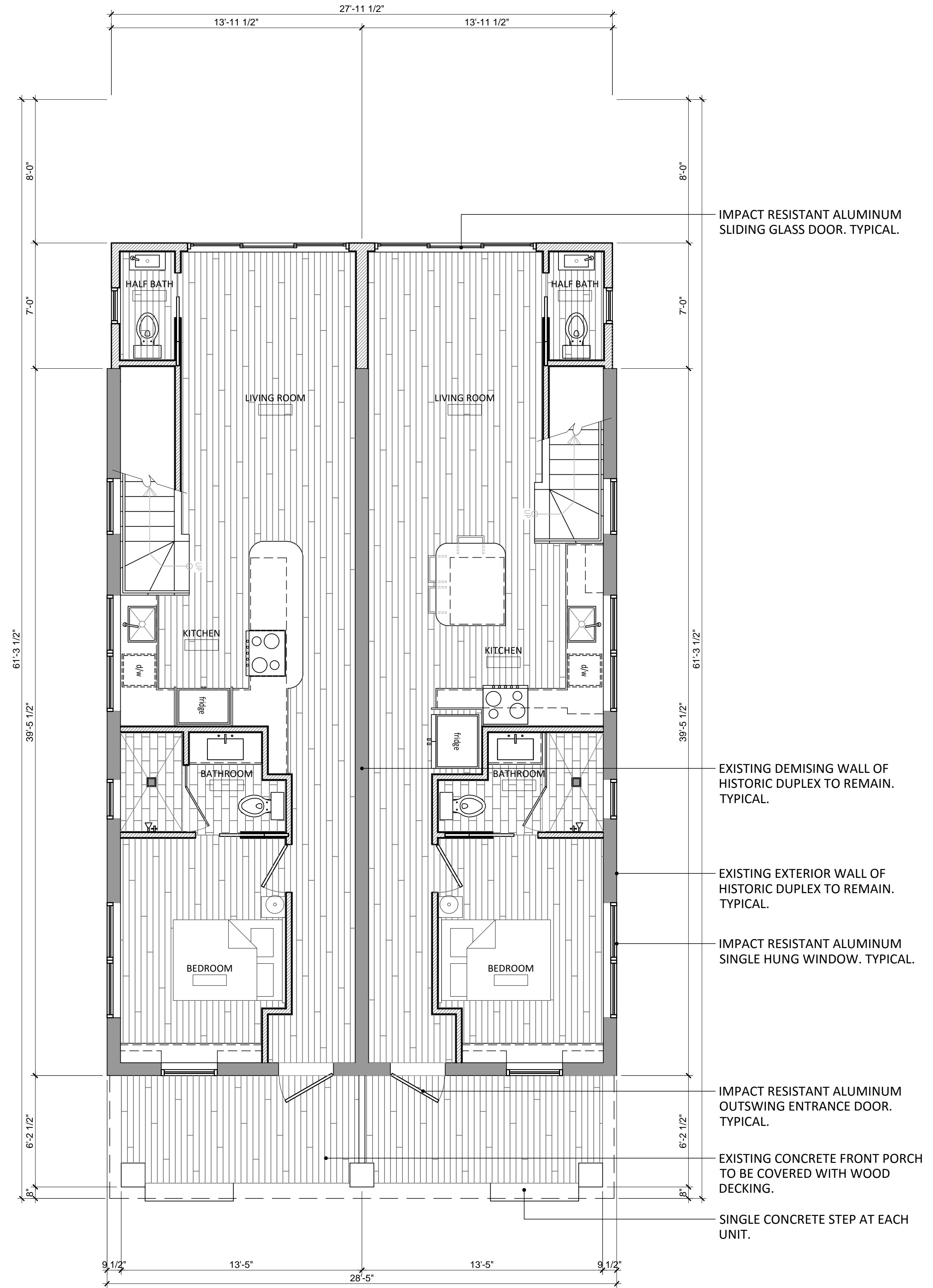
**CLIENT**  
MS Keys Investments, LLC

**DRAWING**  
PROPOSED CALC PLANS & DATA TABLE

**DATE**  
March 6, 2016



**02** Second Floor Plan  
1/4" = 1'-0"



**01** First Floor Plan  
1/4" = 1'-0"





Anthony Architecture, LLC

Anthony D. Sarno: License # AR95308  
Expiration Date: February 28, 2017

1615 United Street  
Key West, Florida 33040  
305.395.2846  
info@AnthonyArchitecture.com

Prof. Reg. Arch. AA26003135  
Prof. Reg. ID. IB26001303

**PROJECT**  
1216 Margaret Street, Key West, Florida 33040

**CLIENT**  
MS Keys Investments, LLC

**DRAWING**  
STREET ELEVATION

**DATE**  
March 6, 2016



1217 Royal Street (Behind)

1215 Royal Street (Behind)



1218 Margaret Street

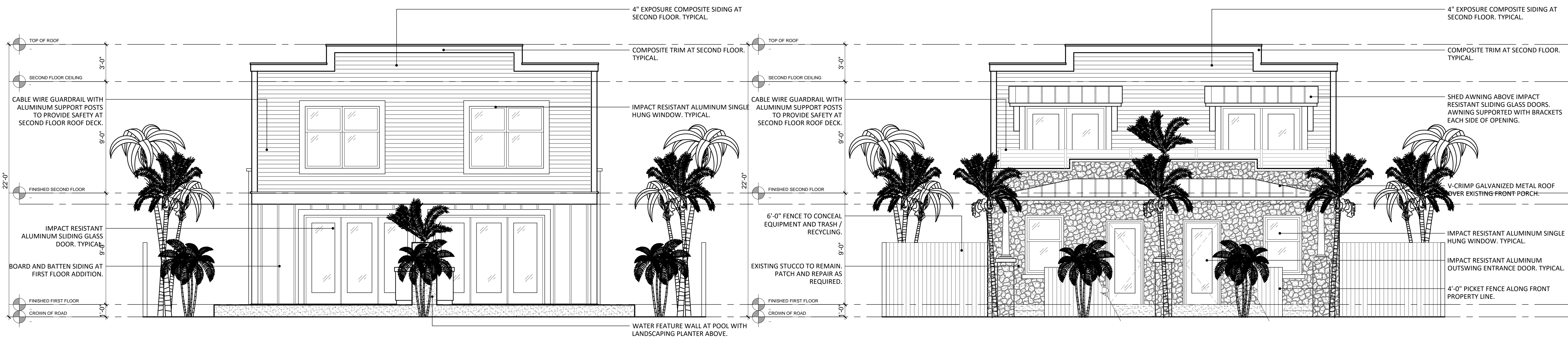
1216 Margaret Street

1212 Margaret Street

01 Street Elevation - Margaret Street  
1/4" = 1'-0"



**03** South Elevation (North Elevation Mirrored)  
1/4" = 1'-0"



**02** West Elevation  
1/4" = 1'-0"

**01** East Elevation - Margaret Street  
1/4" = 1'-0"

**PROJECT**  
1216 Margaret Street, Key West, Florida 33040

**CLIENT**  
MS Keys Investments, LLC

**DRAWING**  
EXTERIOR ELEVATIONS

**DATE**  
March 1, 2016

# NOTICING

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., March 22, 2016 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**RENOVATIONS TO CONTRIBUTING HOUSE. NEW SECOND FLOOR ADDITION WITH FRONT ROOF DECK. NEW SWIMMING POOLS AND SITE IMPROVEMENTS, INCLUDING TWO OFF STREET PARKING SPACES. PARTIAL DEMOLITION OF ROOF. DEMOLITION OF REAR SHEDS, REAR ADDITION, AND SIDE ADDITION.**

**FOR- #1216 MARGARET STREET**

**Applicant – Anthony Architecture**

**Application #H16-03-0020**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3975 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

**ADA ASSISTANCE:** It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

# PROPERTY APPRAISER INFORMATION



**Scott P. Russell, CFA**  
**Property Appraiser**  
**Monroe County, Florida**

Key West (305) 292-3420  
Marathon (305) 289-2550  
Plantation Key (305) 852-7130

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## Property Record Card -

**Maps are now launching the new map application version.**

**Alternate Key: 1030325 Parcel ID: 00029560-000000**

### Ownership Details

**Mailing Address:**

MS KEYS INVESTMENTS LLC  
1212 MARGARET ST  
KEY WEST, FL 33040-3214

### Property Details

**PC Code:** 08 - MULTI FAMILY LESS THAN 10UNITS

**Millage Group:** 10KW

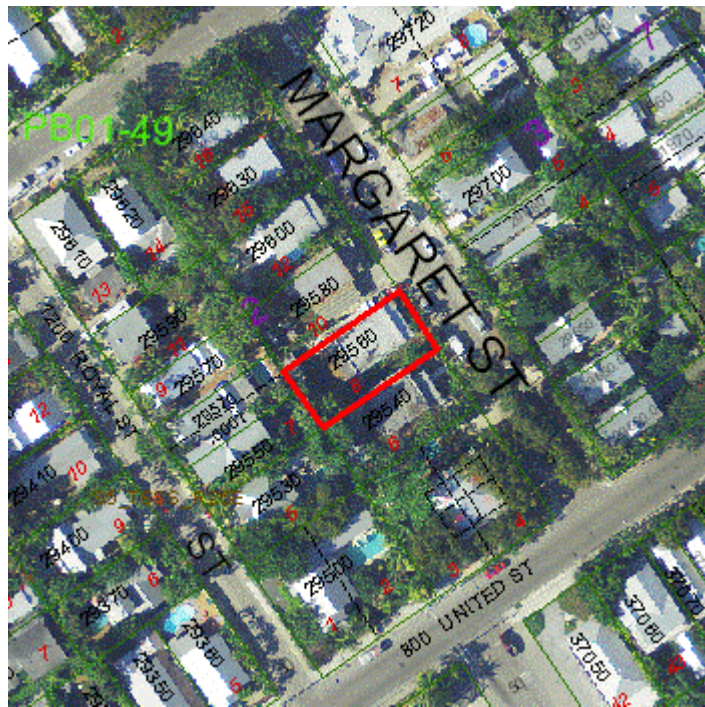
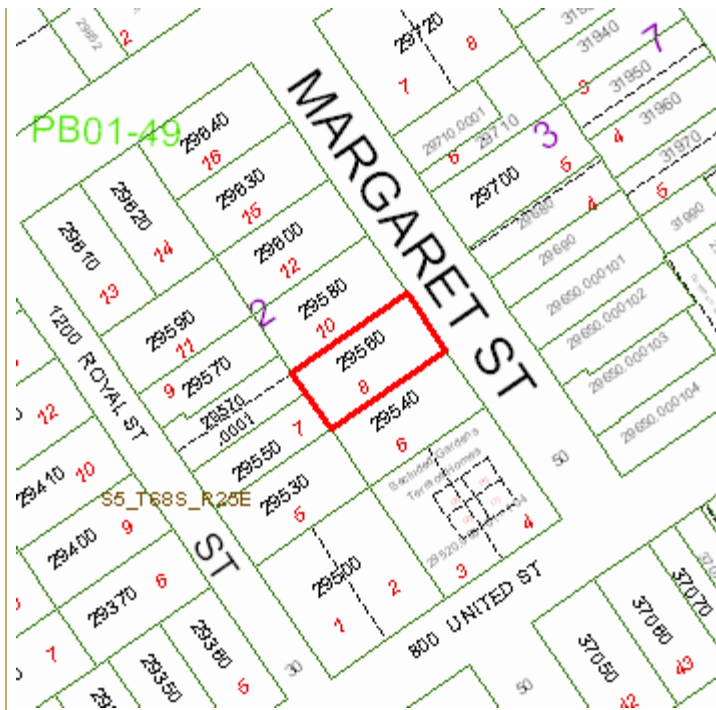
**Affordable Housing:** No

**Section-Township-Range:** 05-68-25

**Property Location:** 1216 MARGARET ST KEY WEST

**Legal Description:** KW INVESTMENT CO SUB PB1-49 LOT 8 SQR 2 TR 12 OR192-584/85 OR368-607/08 OR757-27/28 OR774-41 OR777-966 OR2628-659D/C OR2759-574ORD OR2773-1872/73ORD OR2780-1822/25

**Click Map Image to open interactive viewer**



### Land Details

Land Use Code	Frontage	Depth	Land Area
080D - MULTI RES DRY	46	93	4,278.00 SF

### Building Summary

Number of Buildings: 1  
 Number of Commercial Buildings: 0  
 Total Living Area: 1267  
 Year Built: 1943

## Building 1 Details

**Building Type** R2  
**Effective Age** 52  
**Year Built** 1943  
**Functional Obs** 0

**Condition** P  
**Perimeter** 148  
**Special Arch** 0  
**Economic Obs** 0

**Quality Grade** 400  
**Depreciation %** 51  
**Grnd Floor Area** 1,267

**Inclusions:** R2 includes 2 3-fixture baths and 2 kitchens.

**Roof Type** FLAT OR SHED

**Roof Cover** TAR & GRAVEL

**Foundation** CONCR FTR

**Heat 1** NONE

**Heat 2** NONE

**Bedrooms** 4

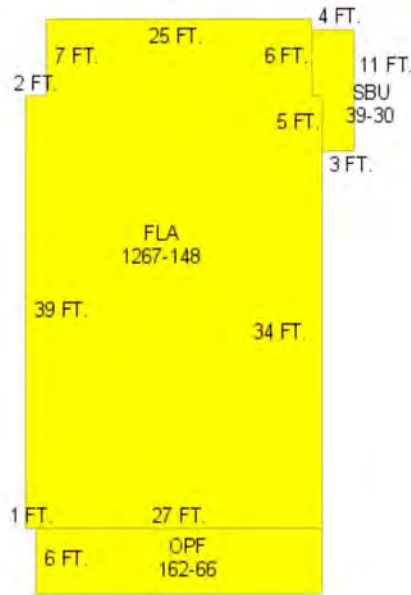
**Heat Src 1** NONE

**Heat Src 2** NONE

**Extra Features:**

**2 Fix Bath** 0  
**3 Fix Bath** 0  
**4 Fix Bath** 0  
**5 Fix Bath** 0  
**6 Fix Bath** 0  
**7 Fix Bath** 0  
**Extra Fix** 0

**Vacuum** 0  
**Garbage Disposal** 0  
**Compactor** 0  
**Security** 0  
**Intercom** 0  
**Fireplaces** 0  
**Dishwasher** 0



**Sections:**

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	OPF	5:C.B.S.	1	1989	N	N	0.00	0.00	162
2	FLA	5:C.B.S.	1	1989	N	N	0.00	0.00	1,267
3	SBU	5:C.B.S.	1	1989	N	N	0.00	0.00	39

## Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
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0	PT3:PATIO	414 SF	46	9	1943	1944	2	50
2	UB2:UTILITY BLDG	80 SF	10	8	1988	1989	3	50
3	PT5:TILE PATIO	60 SF	12	5	1994	1995	5	50

## Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
14-5758	12/22/2014	02/06/2015	100		REMOVE ELECTRIC FROM ROOM THAT IS GOING TO BE DEMOLISHED
14-5846	01/22/2015	03/08/2016	300		DEMO ILEGAL PORCH IN REAR
9700604	02/01/1997	08/01/1997	1,500		ELECTRICAL

## Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2015	118,594	2,680	438,230	559,504	277,890	25,000	350,026
2014	111,963	2,518	264,639	379,120	260,533	25,000	259,078
2013	111,963	2,600	187,283	301,846	244,044	25,000	219,044
2012	113,660	2,681	187,283	303,624	243,376	25,000	218,376
2011	115,356	2,763	186,988	305,107	238,998	25,000	216,451
2010	115,356	2,844	154,712	272,912	224,039	25,000	199,039
2009	128,629	2,926	289,067	420,622	295,591	25,000	270,591
2008	118,630	3,007	363,630	485,267	327,829	25,000	302,829
2007	159,537	2,504	491,970	654,011	409,720	25,000	384,720
2006	237,672	2,596	342,240	582,508	371,951	25,000	346,951
2005	207,963	2,698	256,680	467,341	312,018	25,000	287,018
2004	133,097	2,792	256,680	392,569	265,541	25,000	240,541
2003	133,097	2,884	98,394	234,375	185,153	25,000	160,153
2002	120,508	2,986	98,394	221,888	177,317	25,000	152,317
2001	102,125	3,079	98,394	203,598	167,127	25,000	142,127
2000	103,351	4,455	72,726	180,532	153,691	25,000	128,691
1999	99,266	4,408	72,726	176,400	149,958	25,000	124,958
1998	84,936	3,726	72,726	161,388	141,479	25,000	116,479
1997	76,442	2,430	64,170	143,042	131,290	25,000	106,290
1996	52,580	1,798	64,170	118,548	117,303	25,000	92,303
1995	49,749	1,740	64,170	115,659	114,443	25,000	89,443
1994	44,491	1,592	64,170	110,252	110,252	25,000	85,252
1993	44,491	1,627	64,170	110,288	110,288	25,000	85,288
1992	54,278	1,662	64,170	120,111	120,111	25,000	95,111
1991	54,278	1,698	64,170	120,147	120,147	25,000	95,147

<b>1990</b>	54,278	1,734	43,850	99,862	99,862	25,000	74,862
<b>1989</b>	34,289	0	42,780	77,069	77,069	25,000	52,069
<b>1988</b>	28,094	0	34,224	62,318	62,318	25,000	37,318
<b>1987</b>	27,767	0	23,101	50,868	50,868	25,000	25,868
<b>1986</b>	27,916	0	23,101	51,017	51,017	25,000	26,017
<b>1985</b>	26,887	0	15,401	42,288	42,288	25,000	17,288
<b>1984</b>	25,250	0	15,401	40,651	40,651	25,000	15,651
<b>1983</b>	25,250	0	15,401	40,651	40,651	25,000	15,651
<b>1982</b>	25,755	0	13,347	39,102	39,102	25,000	14,102

## Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
<b>1/29/2016</b>	2780 / 1822	490,000	<u>WD</u>	<u>30</u>
<b>1/18/2015</b>	2773 / 1872	0	ORDER	<u>11</u>
<b>10/1/1978</b>	777 / 966	12,000	00	<u>Q</u>

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Monroe County Property Appraiser  
 Scott P. Russell, CFA  
 P.O. Box 1176 Key West, FL 33041-1176