

RESOLUTION NO. 2025-019

A RESOLUTION OF THE KEY WEST PLANNING BOARD RECOMMENDING APPROVAL OF A MAJOR DEVELOPMENT PLAN TO ALLOW FOR THE REDEVELOPMENT OF A 59 ROOM HOTEL, A BAR/LIQUOR STORE AND A RESTAURANT FOR PROPERTY LOCATED AT 1321 - 1325 SIMONTON STREET AND 625 SOUTH STREET (RE# 00035940-000000; RE# 00035950-000000; RE# 00038140-000000), IN THE HISTORIC COMMERCIAL TOURIST (HTC) ZONING DISTRICT PURSUANT TO CHAPTER 108, SECTION 108-91, AND ARTICLE III THROUGH IX; AND CHAPTER 122, ARTICLE IV, DIVISION 9, OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES OF THE CITY OF KEY WEST FLORIDA.

WHEREAS, Section 108-91(a) (2), of the Code of Ordinances (the "Code") of the City of Key West, Florida (the "City") provides that inside the Historic District, Major Development Plan is required for the construction of nonresidential floor area equal to or greater than 2,500 square feet of gross floor area; and

WHEREAS, the subject property is located in the Historic Commercial Tourist District (HCT) zoning district and consists of three parcels located at 1321 - 1325 Simonton Street and 625 South Street (RE# 00035940-000000; RE# 00035950-000000; RE# 00038140-000000), more particularly described in the specific purpose survey prepared by Florida Keys Land Surveying dated November 06, 2024; and

WHEREAS, Code Section 108-196(a) requires the Planning Board to review and approve, approve with conditions or deny the proposed Major Development Plan;

WHEREAS, this matter came before and was recommended for approval with conditions by the Planning Board at a duly noticed public hearing on March 27, 2025; and

WHEREAS, the granting of the proposed Major Development Plan is consistent with the criteria of the Code of Ordinances; and

WHEREAS, the Planning Board finds that the granting approval of the proposed Major Development Plan is in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

NOW, THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. The request for a major development plan approval for the redevelopment of a fifty-nine-room hotel, a bar/liquor store and a restaurant, for property located at **1321 - 1325 Simonton Street and 625 South Street (RE# 00035940-000000; RE# 00035950-000000; RE# 00038140-000000)**, in the Historic Commercial Tourist (HTC) Zoning pursuant to Chapter 108, Section 108-91, and Article III through IX; and Chapter 122, Article IV, Division 9, of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida, is hereby recommended for approval with the following conditions:

General conditions:

1. The proposed development shall be consistent with the plans dated January 21, 2025, by Bender & Associates Architects P.A., and the landscape plans dated October 21, 2024, by Community Solutions Group.
2. Final landscape plan approval is required from the Tree Commission or the Urban Forestry Manager prior to placement on the City Commission agenda.
3. Building plans shall be subject to the review and approval of the Historic Architectural Review Commission (HARC) prior to the issuance of any permits.
4. The hours of construction shall follow City Code.
5. During all phases of construction, temporary fencing shall be installed and maintained. All adjacent City streets and sidewalks shall be kept clean and clear of construction debris unless the required right-of-way permit is obtained.
6. If construction costs exceed \$500,000, the applicant shall coordinate with the Art in Public Places Board and set aside one percent (1%) of the construction costs for public art in compliance with City Code Section 2-487.

Section 3. Full, complete and final application for all permits required for which this resolution is wholly or partly necessary, shall be submitted in its entirety within 12 months after the date hereof.

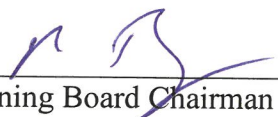

Section 4. This Major Development Plan application approval by the Planning Board does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of the applicant's assertion of legal authority respecting the property.

Section 5. This Resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Board.


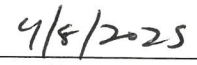
Section 6. This Resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order shall be rendered to the Florida Department of Commerce. Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not effective for 45 days after it has been properly rendered to the DOC with all exhibits and applications attached to or incorporated by reference in this approval; that within the 45-day review period, the DOC can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this 27th day of March, 2025.

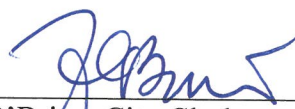

Authenticated by the Chairman of the Planning Board and the Planning Director.


Peter Batty, Planning Board Chairman

Date

Attest:


Katie Halloran, Planning Director

Date

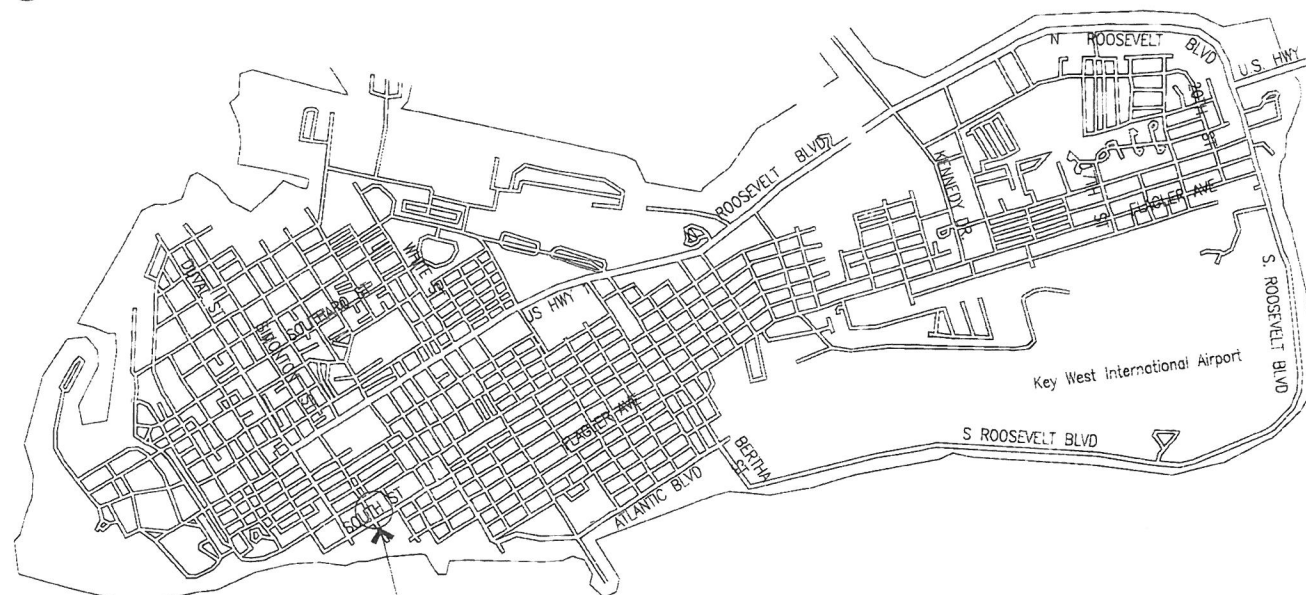
Filed with the Clerk:


Keri O'Brien, City Clerk

Date

SOUTHWINDS MOTEL

KEY WEST, FL 33040
DEVELOPMENT SUBMITTAL

SITE MAP - TAVERNIER



SITE LOCATION:
1321 SIMONTON ST,
FL 33040

Not to Scale

PROJECT DIRECTORY

PROJECT: SOUTHWINDS MOTEL

ARCHITECT'S PROJECT No.: 2240

CONTACT: ---
Address: 1321 Simonton St.
Key West, FL 33040

Tel: ---
Email: ---

ARCHITECT: BENDER & ASSOCIATES ARCHITECTS, P.A.
Address: 410 Angela Street, Key West, FL 33040
Tel: (305) 296-1347 Fax: (305) 296-2727
E-mail: info@benderarchitects.com
Architect: Haven Burke
Designer/Associate: Ana Catalina Alvarez

DESCRIPTION OF WORK:

NEW 54 ROOM HOTEL

GENERAL NOTES

1. All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:

FLORIDA BUILDING CODE Building 2023 EDITION
FLORIDA BUILDING CODE Existing 2023 EDITION
FLORIDA BUILDING CODE Residential 2023 EDITION
FLORIDA BUILDING CODE Plumbing 2023 EDITION
FLORIDA BUILDING CODE Fuel Gas 2023 EDITION
FLORIDA BUILDING CODE Mechanical 2023 EDITION
FLORIDA BUILDING CODE - Energy Conservation 2023 EDITION
NATIONAL ELECTRICAL CODE 2023 EDITION
NFPA 101 LIFE SAFETY CODE w/ Florida modifications
6TH EDITION FLORIDA FIRE PREVENTION CODE 6TH EDITION

This project is designed in accordance with A.S.C.E. 7-22 to resist wind loads of 180 mph (3 second gusts) and in accordance with ASCE 24-14 Flood Resistant Design and Construction.

- Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.
- Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.
- Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.
- Dimensions shall take precedence over scale.
- All new utilities shall be underground.
- Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.
- After completion of construction remove all debris and construction equipment. Restore site to original condition.
- Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.
- Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.
- Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.

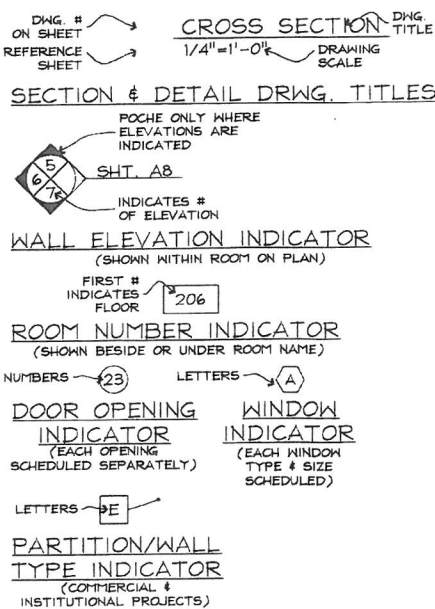
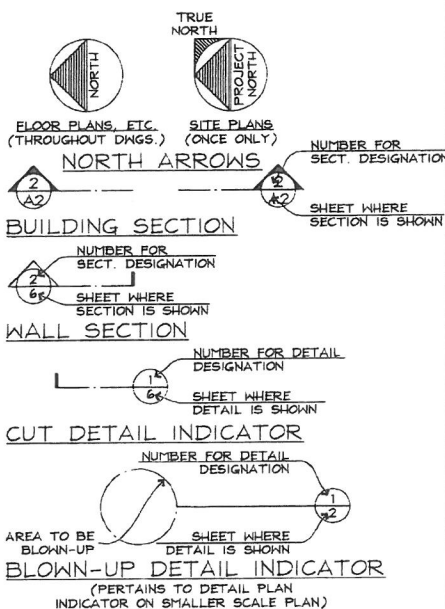
FLORIDA ADMINISTRATIVE CODE

61G1-16.005 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be continued to obligate his partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 61G1-29, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof.
Specific Authority: 481.2055, 481.221 FS. Law Implemented: 481.221, 481.225(1)(c), (d), (e), (f), (g), (h), (i) FS. History-New 12-23-74, Formerly 21B-16.05, Amended 7-27-89, Formerly 21B-16.025, Amended 11-21-94, 4-18-00.

ABBREVIATIONS

AB	ANCHOR BOLT	MIN	MINIMUM
ABC	AGGREGATE BASE COURSE	NTS	NOT TO SCALE
A/C	AIR CONDITIONING	OA	OVERALL
BLKG	BLOCKING	OC	ON CENTER
BUR	BUILT UP ROOF	OD	OUTSIDE DIAMETER
CAB	CABINET	PCF	POUNDS PER CUBIC FOOT
CER	CERAMIC	PL	PROPETY LINE
CL	CENTER LINE	PLM	PLASTIC LAMINATE
CLG	CEILING	PLF	POUNDS PER LINEAL FOOT
CMU	CONCRETE MASONRY UNIT	PNL	PANEL
COL	COLUMN	PT	CCA PRESURE TREATED
CONC	CONCRETE	PVC	POINT
DBL	DOUBLE	R/A	POLYVINYLCHLORIDE
DIAG	DIAGONAL	R/R	RADIUS (OR) RISER
DS	DOWNSPOUT	REBAR	RETURN AIR
DTL	DETAIL	REFR	REFRIGERATOR
DWR	DRAWER	SF	SQUARE FOOT (FEET)
EJ	EXPANSION JOINT	SS	STAINLESS STEEL
EL	ELEVATION	SPEC	SPECIFICATION
ELEC	ELECTRIC	T	TREAD(S)
EQ	EQUAL	TYP	TYPICAL
EXH	EXHAUST	UNO	UNLESS NOTED OTHERWISE
FV	FIELD VERIFY	VCT	VINYL COMPOSITION TILE
GALV	GALVANIZED	VERT	VERTICAL
GI	GALVANIZED IRON	W/F	WOOD
HORZ	HORIZONTAL	W/H	WELDED WIRE FABRIC
HDW	HARDWARE	W/H	WATER HEATER
HVAC	HEATING VENTILATING & AIR CONDITIONING	W/O	WITHOUT
FOC	FACE OF CONCRETE		
FOS	FACE OF STUD		
FIN	FINISH		
FE	FIRE EXTINGUISHER		
FND	FOUNDATION		
FTG	FOOTING		
ID	INSIDE DIAMETER		
MAX	MAXIMUM		

SYMBOLS LEGEND



MATERIAL DESIGNATIONS

- CONCRETE MASONRY UNITS IN PLAN
- CONC., STUCCO, PLASTER IN ELEV./POURED CONC. IN PLAN
- METAL IN ELEVATION
- METAL IN SECTION
- FINISH WOOD IN ELEV. & IN SECTION
- DIMENSION LUMBER IN SECTION (CONTINUOUS)
- WOOD BLOCKING IN SECTION (DISCONTINUOUS)
- GYPSEUM WALL BOARD IN SECTION (LARGE SCALE)
- EARTH, NATURAL SUBSTRATE
- GRAVEL, AGGREGATE BASE COURSE, FILL
- FIBERGLASS BATT INSULATION
- RIGID INSULATION

PARTITIONS & WALLS

- CONCRETE MASONRY UNITS
- POURED CONCRETE
- WOOD FRAME
- METAL STUDS
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED

SHEET INDEX

SHEET INDEX
C COVER
S1 SURVEY
EX1 EXISTING SITE PLAN
A1 PROPOSED SITE PLAN
A2 PROPOSED GROUND FLOOR PLAN
A3 PROPOSED SECOND FLOOR PLAN
A4 PROPOSED THIRD FLOOR PLAN
A5 PROPOSED NORTH AND WEST ELEVATIONS
A6 PROPOSED SOUTH AND EAST ELEVATIONS
C-100 EROSION CONTROL PLAN
C-200 CONCEPTUAL DRAINAGE PLAN
C-300 CONCEPTUAL WATER AND SEWER PLAN
HS-101 HARDSCAPE PLAN-WEST
HS-102 HARDSCAPE PLAN-EAST
LA-100 LANDSCAPE SCHEDULE
LA-101 LANDSCAPE PLAN-WEST
LA-102 LANDSCAPE PLAN-EAST
LA-110 PLANT ID
LA-120 ELEVATIONS
L51 LIFE SAFETY GROUND FLOOR PLAN
L52 LIFE SAFETY SECOND FLOOR PLAN
L53 LIFE SAFETY THIRD FLOOR PLAN
L54 LIFE SAFETY CODE CALCULATIONS

SOUTHWINDS HOTEL
1321 SIMONTON ST
KEY WEST, FLORIDA

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Florida License AL0002022

Bender & Associates
ARCHITECTS
P.A.

Project No.: 2240

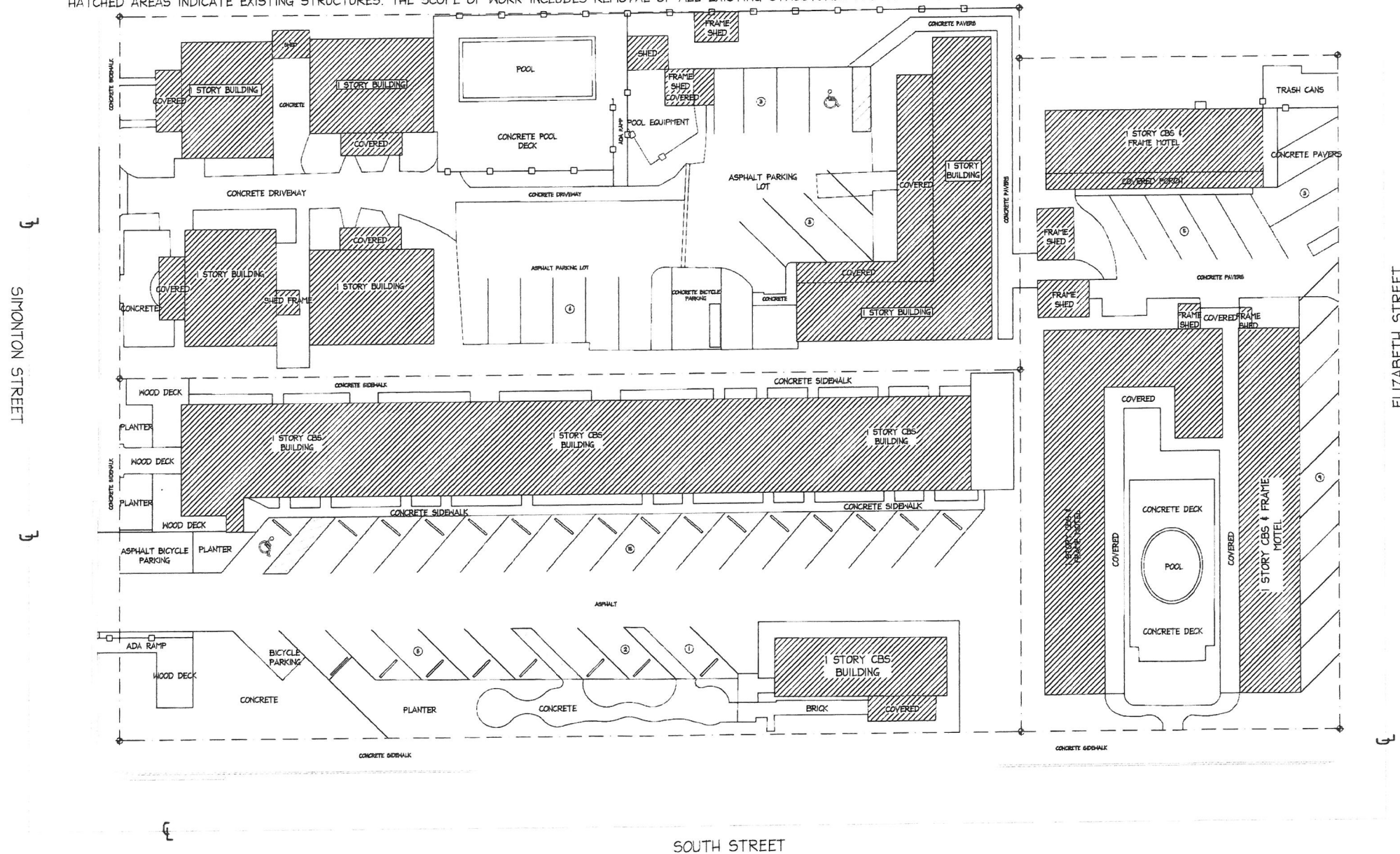
SITE MAP TAVERNIER
PROJECT DIRECTORY
GENERAL NOTES
SYMBOLS LEGEND
SHEET INDEX

Date: 11/06/2024

C

KPT
4/15/2025
1 of 24

HATCHED AREAS INDICATE EXISTING STRUCTURES. THE SCOPE OF WORK INCLUDES REMOVAL OF ALL EXISTING STRUCTURES AND EXISTING SITE FEATURES.



1 EXISTING SITE PLAN - DEMOLITION PLAN
EX1 SCALE: 1/16"=1'-0"

ELIZABETH STREET

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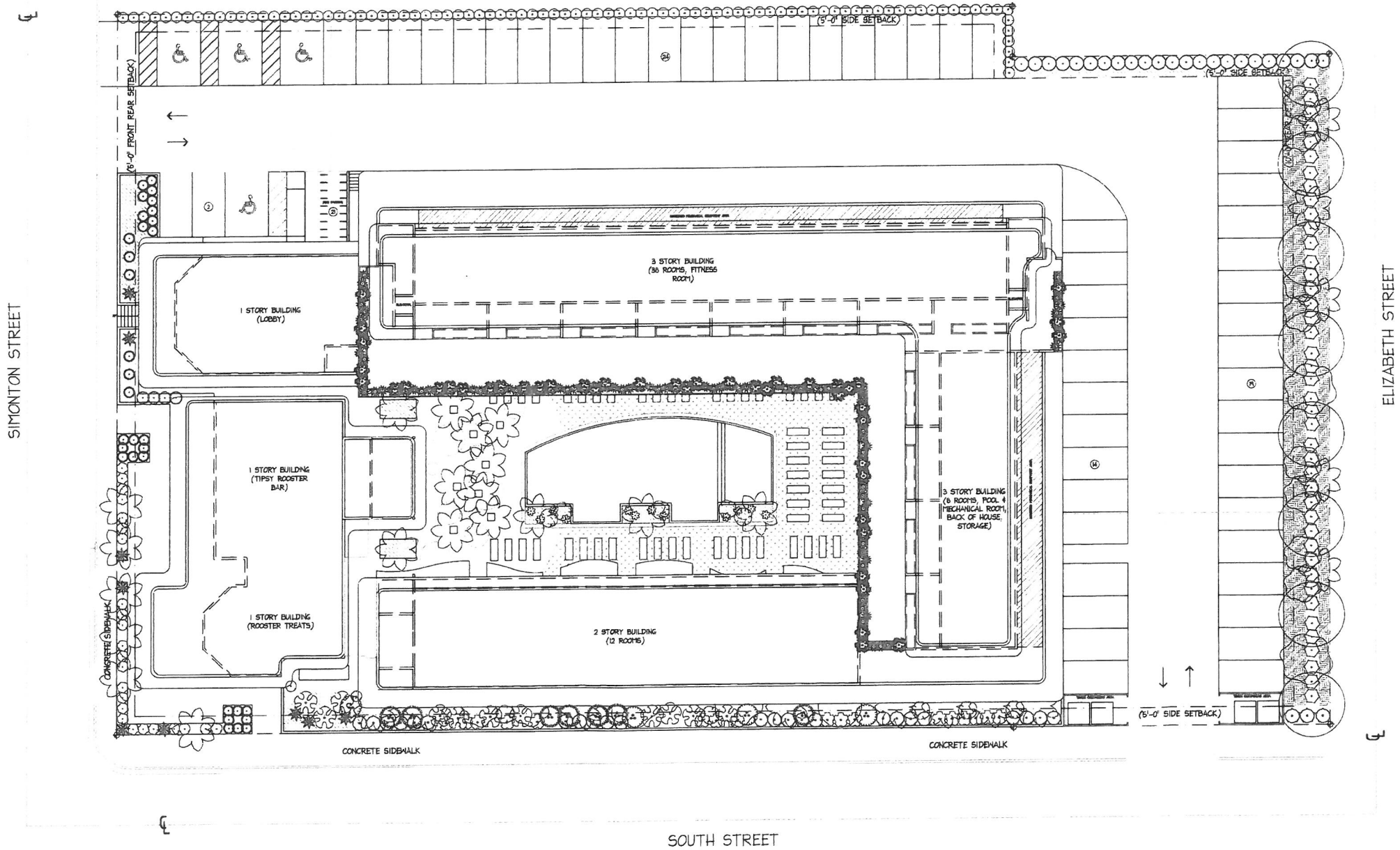
Bender & Associates
ARCHITECTS
p.a.

Project No. 2240
Date: 11/06/2001

EX1



PROJECT STATISTICS			NOTE: REQUIRED STATISTICS ARE BASED ON HCT ZONING DISTRICT
FEMA FLOOD ZONE	ZONE 'AE-1' PROPOSED NAVD88 (CURRENT 'AE' NAVD83)	NOTE: HOTEL FINISHED FLOOR AT 8'-0" NAVD88. ROOSTER TREATS & TIPS ROOSTER FINISHED FLOOR AT 5'-0" NAVD88 (FLOOD PROOFED TO 8'-0" NAVD88)	
ZONING DESIGNATION	HCT		
LOT SIZE	65,470 S.F.		
OCCUPANCY	RESIDENTIAL GROUP R-1 (HOTEL) PER FBC 2020		
	REQUIRED	EXISTING	PROPOSED
BUILDING COVERAGE	32,965 S.F. MAX.	25,484 S.F.	29,401 S.F.
65,470 S.F. X 50%			
IMPERVIOUS SURFACE	46,174 S.F. MAX.	52,874 S.F.	45,840 S.F. (w/parking at 100% pervious)
65,470 S.F. X 70%			
FRONT SETBACK (SIMONTON)	5'-0" MIN.	10'-0"	5'-0"
SIDE SETBACK (NORTH)	5'-0"	0'-0" (STORAGE SHED)	30'-0"
SIDE SETBACK (SOUTH)	5'-0"	3'-4"	12'-0"
REAR SETBACK (ELIZABETH)	10'-0" MIN.	10'-8"	74'-0"
MAXIMUM HEIGHT	35'-0" MAX.	--	35'-0"
F.A.R. (1.0)	1	.34	.55
OPEN SPACE (20%)	13,194 S.F.	10,232 S.F.	13,200 S.F.
PARKING SPACES	PER LDR SECTION 108-572	43	56
PARKING SPACES (ADA)	--	2	4
ROOM COUNT	--	84	84
BIKE PARKING	35% OF PARKING	--	20



1 SITE PLAN / ROOF PLAN
A1 SCALE: 1/8"=1'-0"

ELIZABETH STREET

SOUTHWINDS HOTEL
1321 SIMONTON ST
KEY WEST, FLORIDA

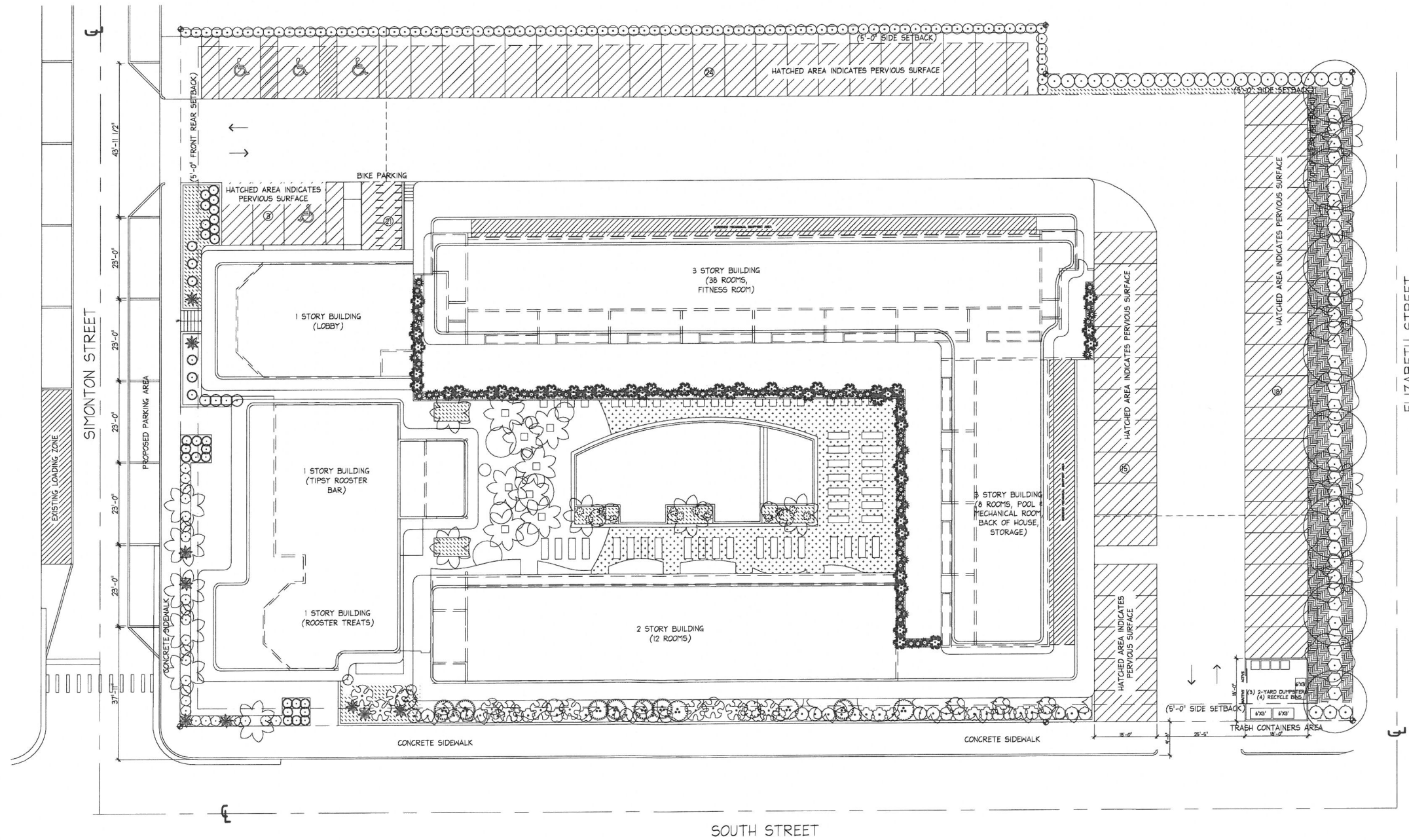
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p.a.

Project No: 2240
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A1





1 SITE PLAN / ROOF PLAN (PROPOSED PARKING AREA ONLY)
A1.1 SCALE: 1/16"=1'-0"

ELIZABETH STREET

01/22/2025
UPDATED PROPOSED STREET
PARKING, LOADING ZONE,
TRASH AREA, PERVIOUS
PARKING AREA

SOUTHWINDS HOTEL
1321 SIMONTON ST
KEY WEST, FLORIDA

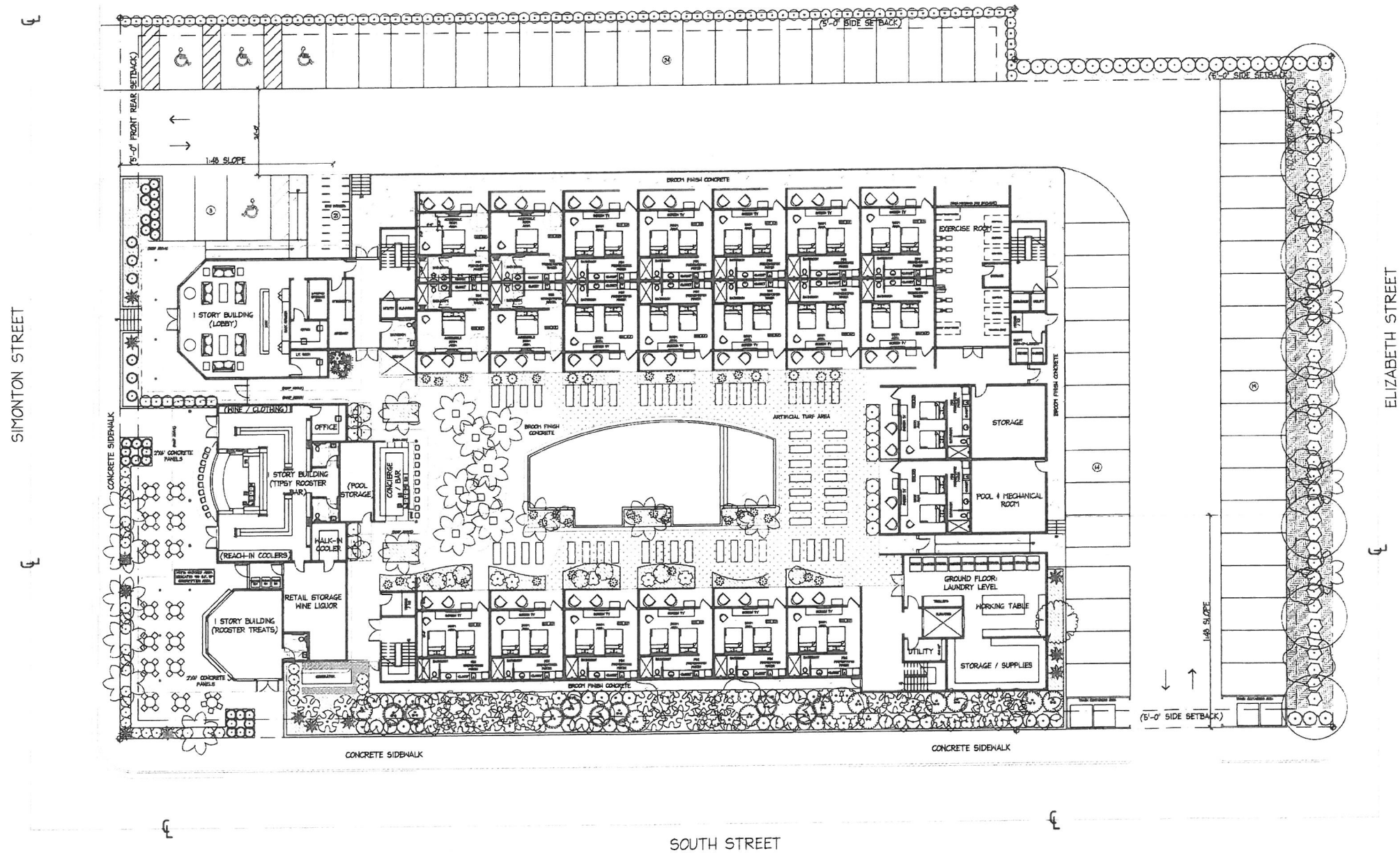
410 Angela Street
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Florida License AAC002022

Bender & Associates
ARCHITECTS
p.a.

Project N° : 2240
Date: 01/21/2025

A1.1





1 GROUND FLOOR PLAN
A2 SCALE 1/16"=1'-0"

ELIZABETH STREET

SOUTH STREET

SIMONTON STREET

SOUTHWINDS HOTEL
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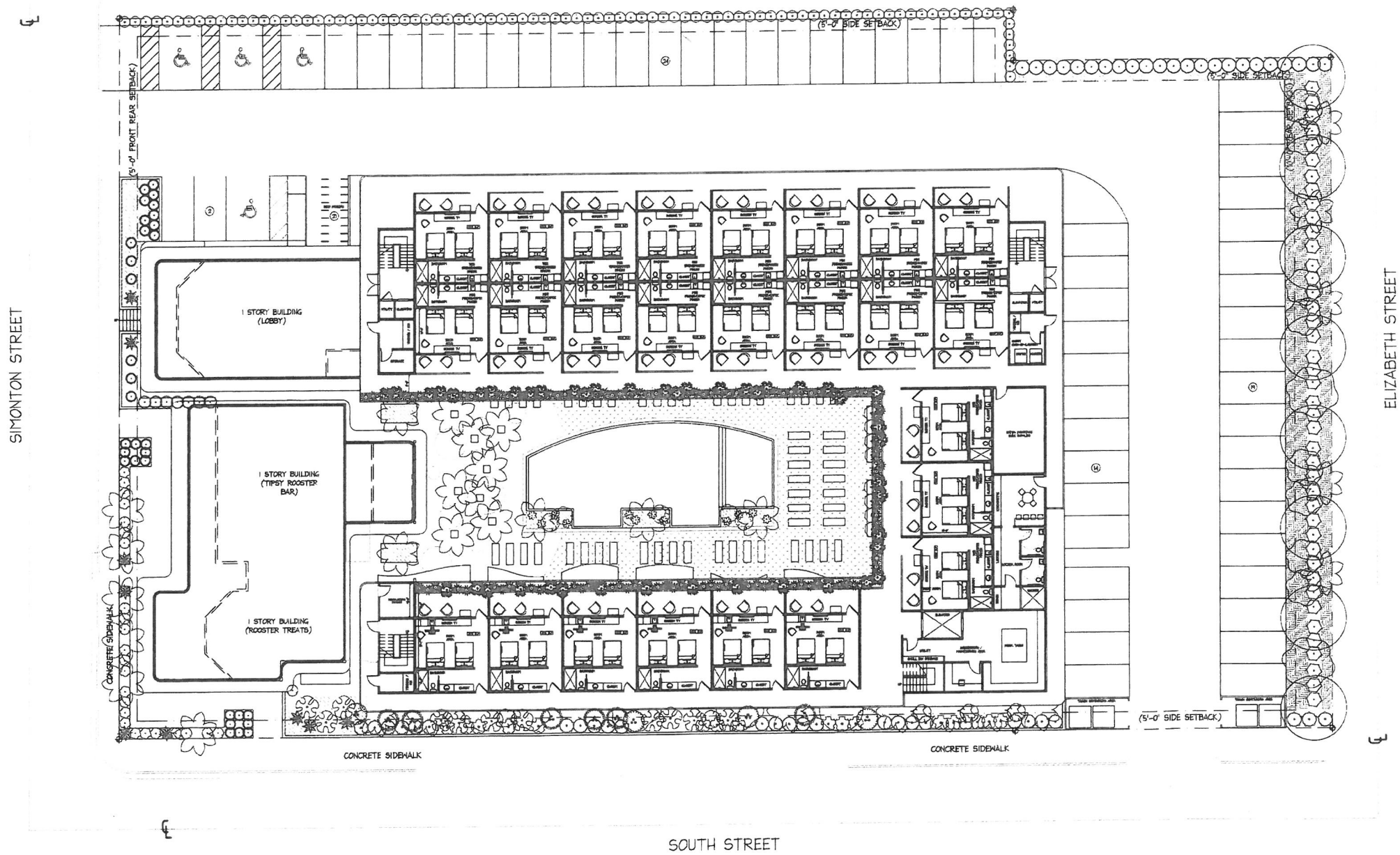
Project No: 2240

Date: 11/06/2024

A2



6



1 SECOND FLOOR PLAN
A3 SCALE 1/16"=1'-0"

ELIZABETH STREET

SOUTH STREET

SIMONTON STREET

SOUTHWINDS HOTEL
1321 SIMONTON ST
KEY WEST, FLORIDA

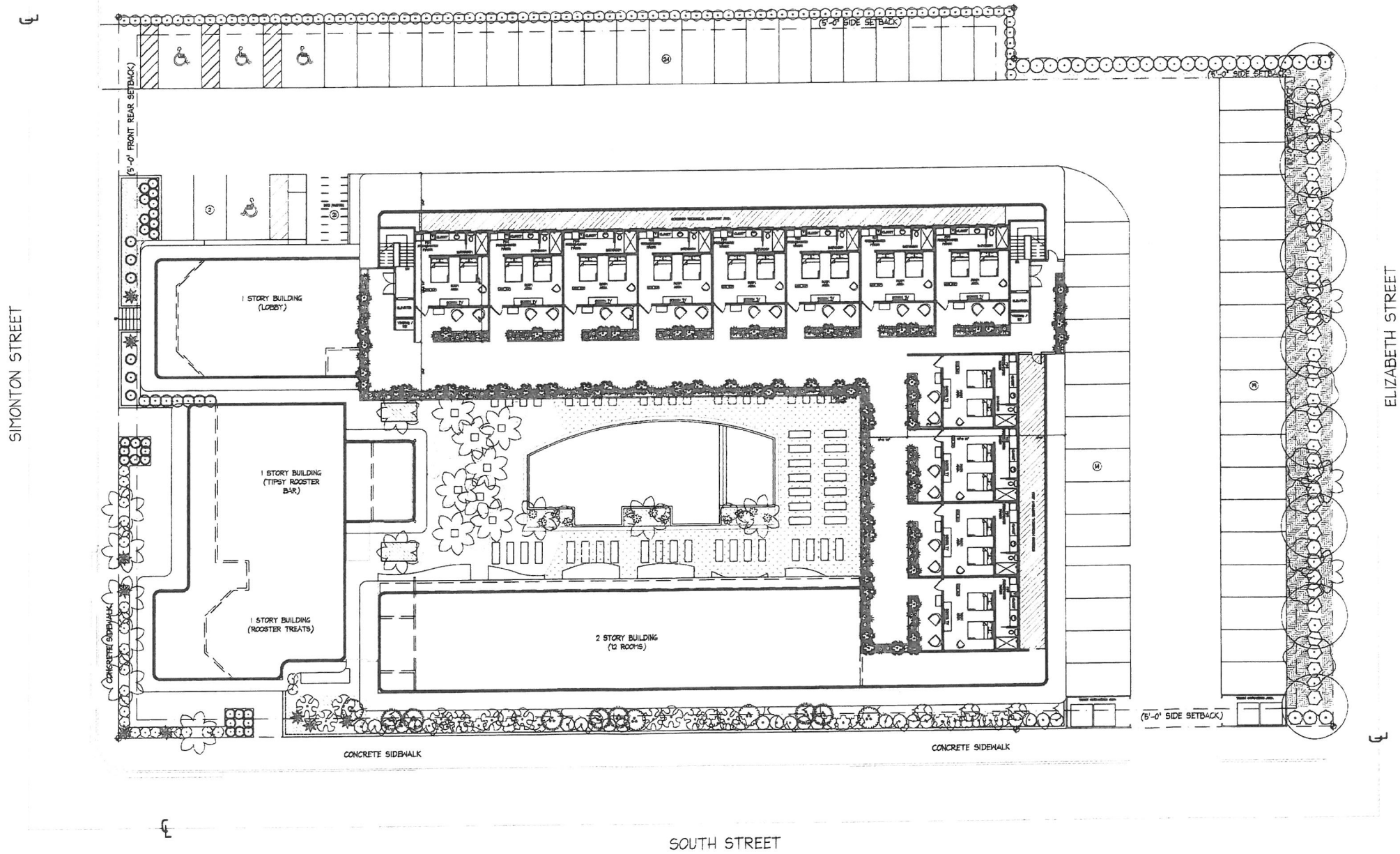
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p.d.

Project No: 2240
Date: 11/06/2024

A3





1 THIRD FLOOR PLAN
A4 SCALE: 1/16"=1'-0"

ELIZABETH STREET

SOUTH STREET

SOUTHWINDS HOTEL
1321 SIMONON ST
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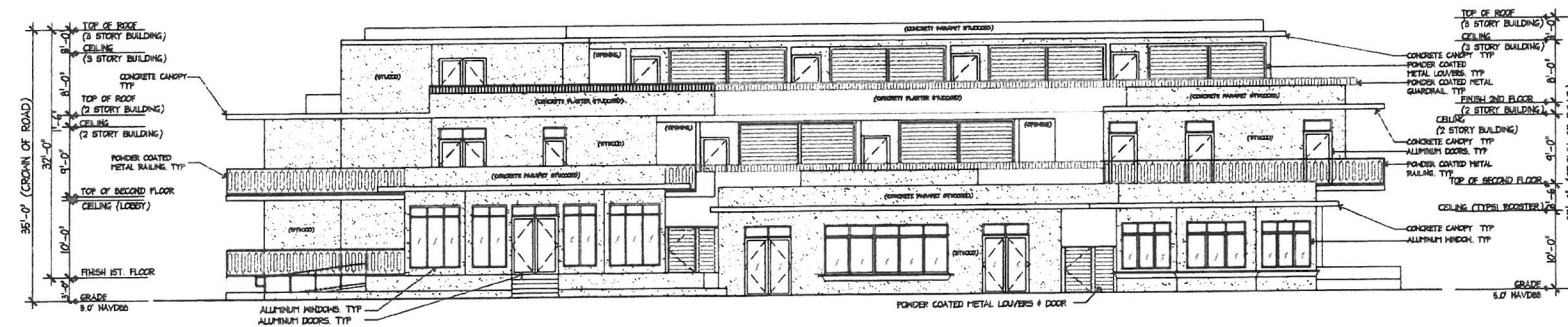
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p.d.

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Date: 11/06/2024

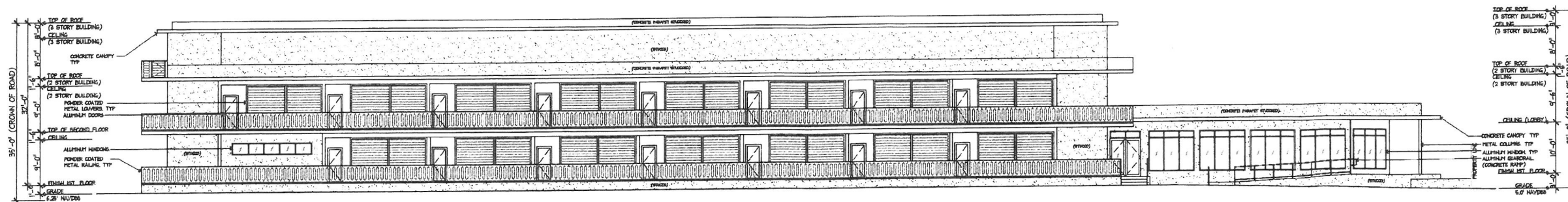
A4



8



1 PROPOSED WEST ELEVATION
A5 SCALE: 3/32"=1'-0"



1 PROPOSED NORTH ELEVATION
A5 SCALE: 3/32"=1'-0"

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Project No: 2240
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A5a

SOUTHWINDS HOTEL
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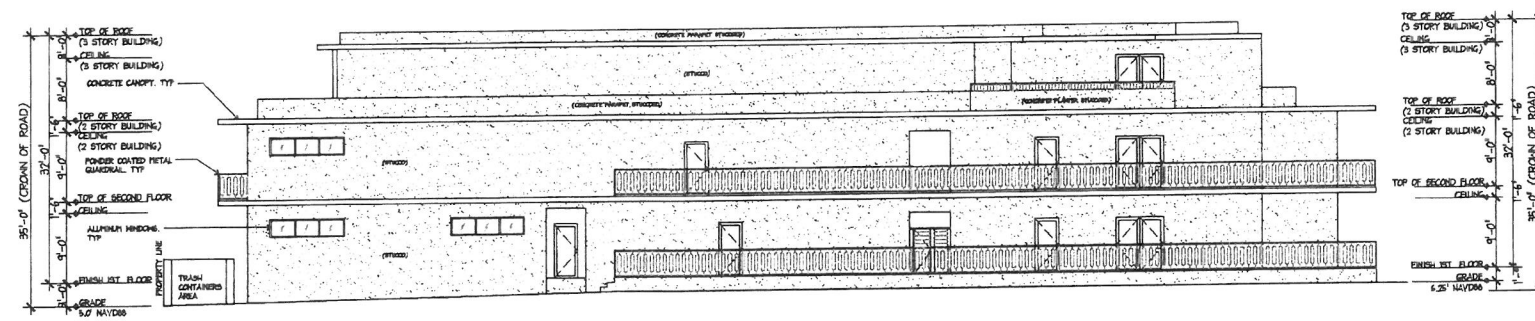
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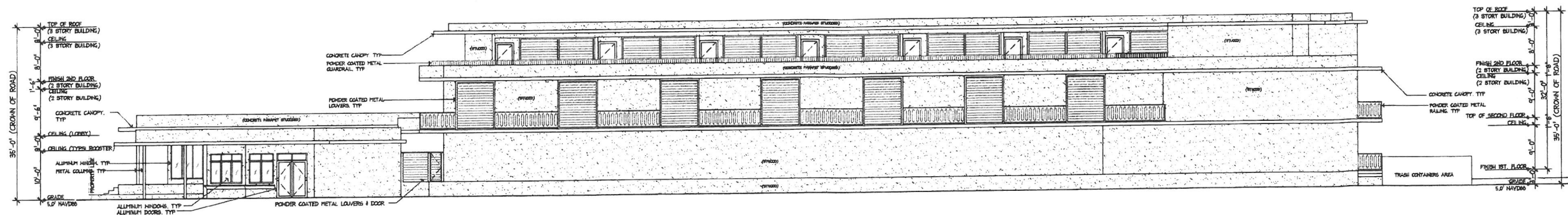
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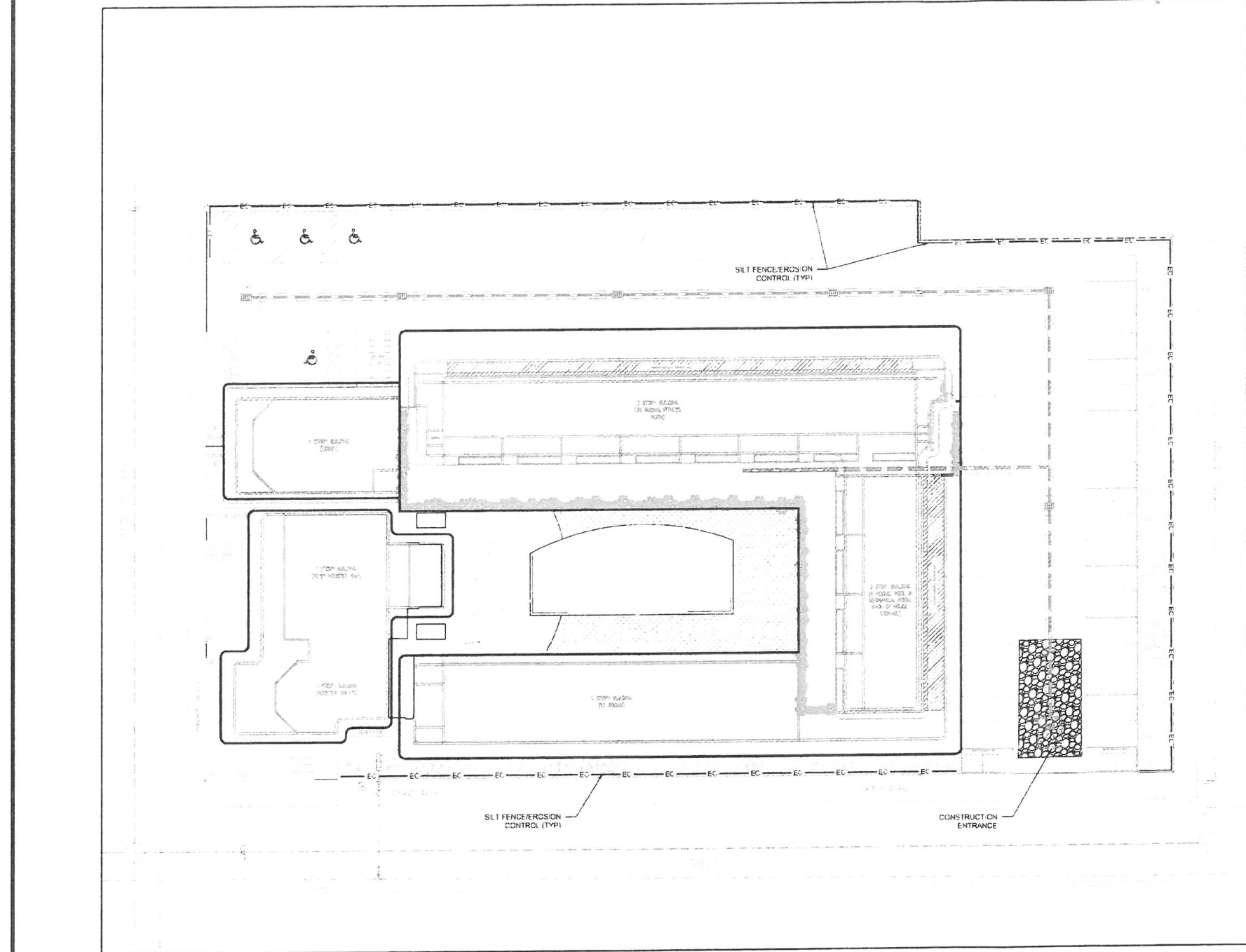
A610



1 PROPOSED EAST ELEVATION
A6 SCALE: 3/32"=1'-0"



1 PROPOSED SOUTH ELEVATION
A6 SCALE: 3/32"=1'-0"



EROSION CONTROL NOTES

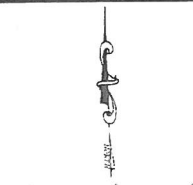
- 1 EROSION, SEDIMENT AND TURBID CONTROL MEASURES SHALL BE INSTALLED THROUGHOUT CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND REPAIRING ALL SLOPES AND SURFACE THROUGHOUT CONSTRUCTION AND UNTIL A STABLE SURFACE CONDITION EXISTS. THE CONTRACTOR SHALL MINIMIZE THE EXPOSED AREA AT ALL POINTS DURING CONSTRUCTION AS MUCH AS PRACTICAL.
- 2 FILTER FABRIC SILT FENCE SHALL BE IN CONFORMANCE WITH PERTINENT STANDARDS.
- 3 CONTRACTOR SHALL INSTALL EROSION CONTROL NOTED OVERLAYS AND APPLICABLE PERMITS. EROSION CONTROLS SHALL BE MAINTAINED UNTIL A PERMANENT STATE OF GRADES IS INSTALLED ON-SITE.
- 4 BULLET RAIL OR STRAIN BARRIERS SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH PERTINENT STANDARDS.
- 5 SILT FENCE LOCATIONS SHOWN HEREON ARE FOR ORIENTATION AND SHOULD BE CONSTRUCTED WITHIN PROPERTY LINES.
- 6 PROVIDE EROSION CONTROL MEASURES CONSISTING OF STAKED SILT FENCES AND FILTER SOCKS ALONG THE PROPOSED LIMITS OF CONSTRUCTION AND VEGETATION. THE DRAWINGS PROVIDE ADDITIONAL MEASURES AS NECESSARY TO AVOID ADVERSE IMPACTS TO JURISDICTIONAL AREAS (WETLANDS OF WATER BODIES) AND OFF SITE LANDS AND WATERBODIES. MAINTAIN THESE MEASURES DURING ALL PHASES OF CONSTRUCTION ACCEPTANCE BY THE OWNER AND THEIR REMOVAL AND LEGAL DISPOSAL OF SACK MEASURES.
- 7 EROSION CONTROL SHALL MAINTAINED THROUGHOUT CONSTRUCTION AREA BY QUALITY STABILIZING DISTURBED AREA TO PREVENT THE RELEASE OF SEDIMENT. THIS SHALL BE ACCOMPLISHED USING GRASSY COVER, FILTER SOCKS AND OTHER MEANS ACCEPTABLE TO OWNER, ENGINEER AND REGULATORY AGENCIES.
- 8 DURING CONSTRUCTION THE CONTRACTOR SHALL, AT THE REQUEST OF THE OWNER OR AT NECESSARY, MODIFY ADEQUATE THE EROSION FENCE AND/OR SILT FENCE TO ALLOW FOR ACCESS AND TO COMPLETE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ADEQUATE EROSION CONTROL AT ALL TIMES.

SWPPP GENERAL NOTES

- ALL AREAS WITHIN THE PROJECT LIMITS WILL BE SUBJECTED TO SOIL DISTURBANCE.
- THE ATTACHED BEST MANAGEMENT PRACTICES (BMP'S) DETAILS AND SPECIFICATIONS ARE ONLY A SUGGESTED APPROACH DEVELOPED FOR USE BY THE OWNER/CONTRACTOR TO ASSIST THEM IN IMPLEMENTING APPROPRIATE POLLUTION PREVENTION TECHNIQUES
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPAGATING THE SWPPP
- THE CONTRACTOR SHALL SUBMIT A "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES, DEP FORM 62-821.300(4)(B); ALSO KNOWN AS NOTICE OF INTENT OR NOI, TO THE DEPARTMENT AND SUBMIT THE PERMIT FEE
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE BEST MANAGEMENT PRACTICES AS OUTLINED IN THE CIVIL DOCUMENTS, THE STORMWATER POLLUTION PREVENTION PLAN, AND SEPARATION
- THE CONTRACTOR SHALL SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN FOR APPROVAL PRIOR TO STARTING CONSTRUCTION

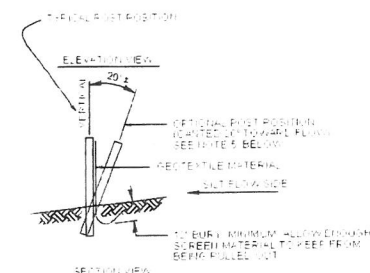
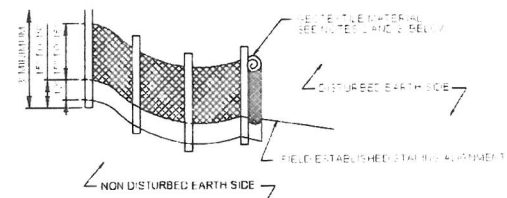


Know what's below.
Call before you dig.



SCALE 1"=20'

BARS TWO INCHES ON ORIGINAL DRAWINGS &
NOT TWO INCHES ON THIS SHEET* ADJUST SCALES

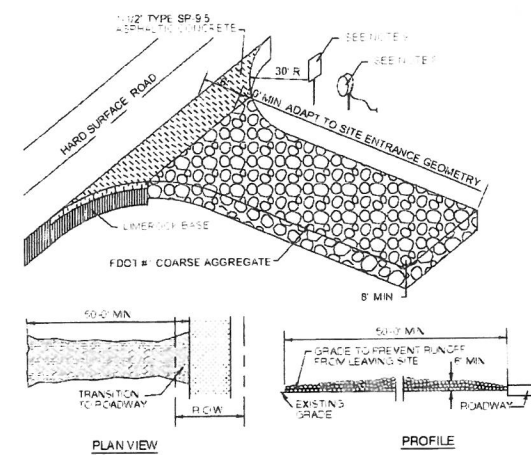


NOTES

- NOTES:
1. POST: 2X2 WOOD FT. OR 2 1/2" STEEL AT 6 CENTERS MAXIMUM.
2. GEOTEXTILE: GRAB TENSILE AT 30 LBS. TRAPEZOIDAL TEAR AT 20 LBS. MULLEN BURST AT 15 LBS.
3. GEOTEXTILE MATERIAL SHALL BE BURIED IN THE GROUND A MINIMUM OF 12" AND BACK FILLED.
4. ALSO SEE FOOTING INDEX 132 "GEOTEXTILE FORTIFIED EROSION GLASS".
5. OPTIONAL POST POSITION REQUIRED WHEN SLOPE IS GREATER THAN 1:2.

1 Staked Silt Barrier Detail

NTS



PLAN VIEW

PROFILE

NOTES

1. STONE SIZE: 1/4" TO 1/2" - OPEN GRADED ROCK
2. LENGTH: AS EFFECTIVE BUT NOT LESS THAN 30 FEET
3. THICKNESS: NOT LESS THAN 24 INCHES
4. WIDTH: NOT LESS THAN FULL WIDTH OF ALL PORTIONS OF INGRESS OR EGRESS
5. WASHING OF ALL VEHICLES UNDER APPROACH, WHEEL WELLS AND WHEELS IS MANDATORY FOR PREVENTING SPILLAGE OF OILS, GREASES, AND OTHER FLUIDS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED STAFF OR SEWAGE BASIN. ALL SEWAGE SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, CULVERT OR WATER COURSE. USDS IS APPROVED.
6. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OF SEWAGE OR OTHER POLLUTANTS. ADDITIONAL STABILIZATION, CLEANING, AND REPAIR AND/OR CLEANING OF ANY AREAS REPOSED TO THAT SEWAGE ALL SEWAGE SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, CULVERT OR WATER COURSE. USDS IS APPROVED.
7. DRAINAGE: ENTRANCE MUST BE PROPERLY GRADED OR INDICATE DRAINAGE WAY TO PREVENT RUNOFF FROM LEAVING THE LOCAL IMPROVED SITE
8. PROVIDE WATER SUPPLY AND MINIMUM 100 FT LONG HOSE AND SPRING AT EACH DECONTAMINATION STATION ETC
9. PROVIDE SIGNAGE AT EACH DECONTAMINATION ETC RETURN OF WASHING OF ALL VEHICLES LEAVING SITE
10. LOCATION: LOCATIONS FOR SCHEMATIC PURPOSES ONLY AND ARE APPROXIMATE LOCATIONS TO COORDINATE ACTUAL LOCATIONS ACCORDING TO PHASING PLANS

② GRAVEL CONSTRUCTION ENTRANCE

PRELIMINARY - NOT FOR CONSTRUCTION



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A DEVELOPMENT, INC.

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1010 Kennedy Drive
Suite 202
Key West, Florida 33040
Tel: 305.293.9440
Fax: 305.296.0243
Email: aperez@perezeng.com
www.perezeng.com

Seal

ALLEN E PEREZ, P.E.
FL. P.E. NO. 51468

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SOUTHWINDS MOTEL
1321 Simonton Street, Key West, FL 33040
COMMERCIAL DEVELOPMENT

Consultants

Submissions

Job #:

Drawn By: AEP	Checked By: AEP
------------------	--------------------

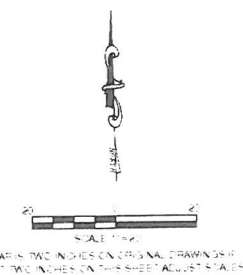
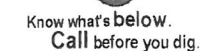
Title

EROSION
CONTROL PLAN.

Sheet Number:

C-100

Date: November 6, 2024



See

ALLEN E. PEREZ, P.E.
FL. P.E. NO. 51468

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COMMERCIAL DEVELOPMENT

Consultants

Submissions

	Job #: 24 1036
Drawn By: AEP	Checked By AEP

Title: CONCEPTUAL WATER AND SEWER PLAN

C-300

Date: November 6, 2024

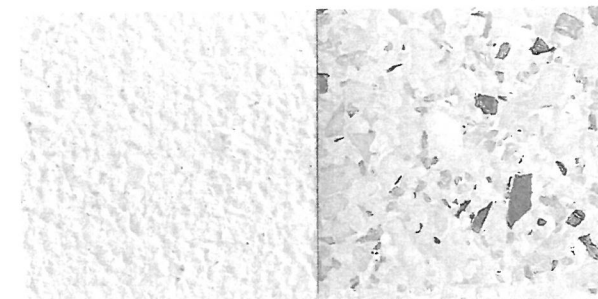
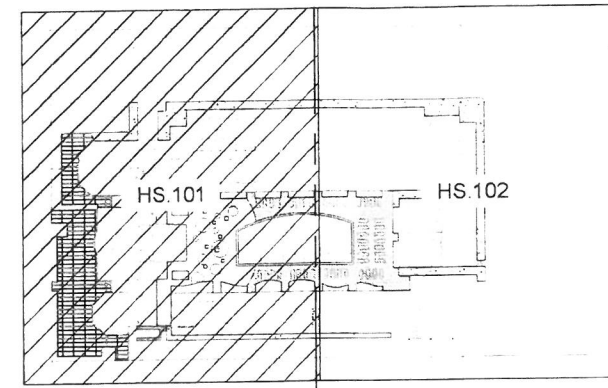
UTILITY NOTES:

- 1 THE LOCATIONS, SIZES, AND ELEVATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER TO OBTAIN ANY AVAILABLE RECORD DRAWINGS AND SHALL DETERMINE THE EXACT LOCATION AND ELEVATION IN THE FIELD. THE CONTRACTOR SHALL ANTICIPATE THAT SCANNING AND EXCAVATION USING LIGHT EQUIPMENT AND HAND METHODS WILL BE NECESSARY IN AREAS NEAR EXISTING UTILITIES AND STRUCTURES TO AVOID DAMAGING THESE FACILITIES
- 2 THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION OF UTILITIES IN THE FIELD PRIOR TO ORDERING NEW STRUCTURES AND PRIOR TO INSTALLING ANY NEW WORK THAT CROSSES OR CONNECTS TO EXISTING UTILITY SYSTEMS
- 3 ALL WATER MAIN WORK SHALL CONFORM TO THE LATEST FLORIDA KEY AOUEDUCT AUTHORITY'S STANDARDS AND SPECIFICATIONS
- 4 ALL SEWER WORK SHALL CONFORM TO THE LATEST CITY OF KEY WEST STANDARDS AND SPECIFICATIONS.

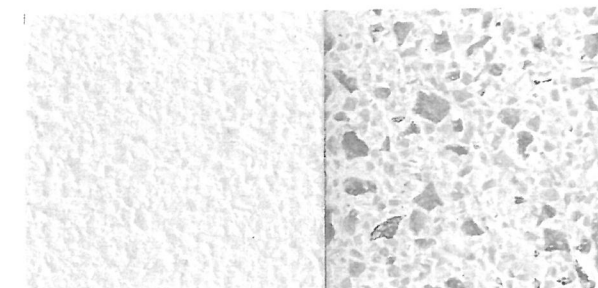
CONCEPTUAL WATER AND SEWER PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

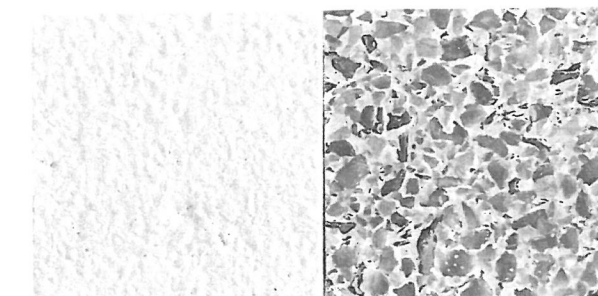
KEY PLAN



FRONT ENTRANCE PLAZA
WHITE CONCRETE W/ WAUSAU TECTURA TILE BG-304



POOL PATIO
WHITE CONCRETE W/ WAUSAU TECTURA TILE BG-304

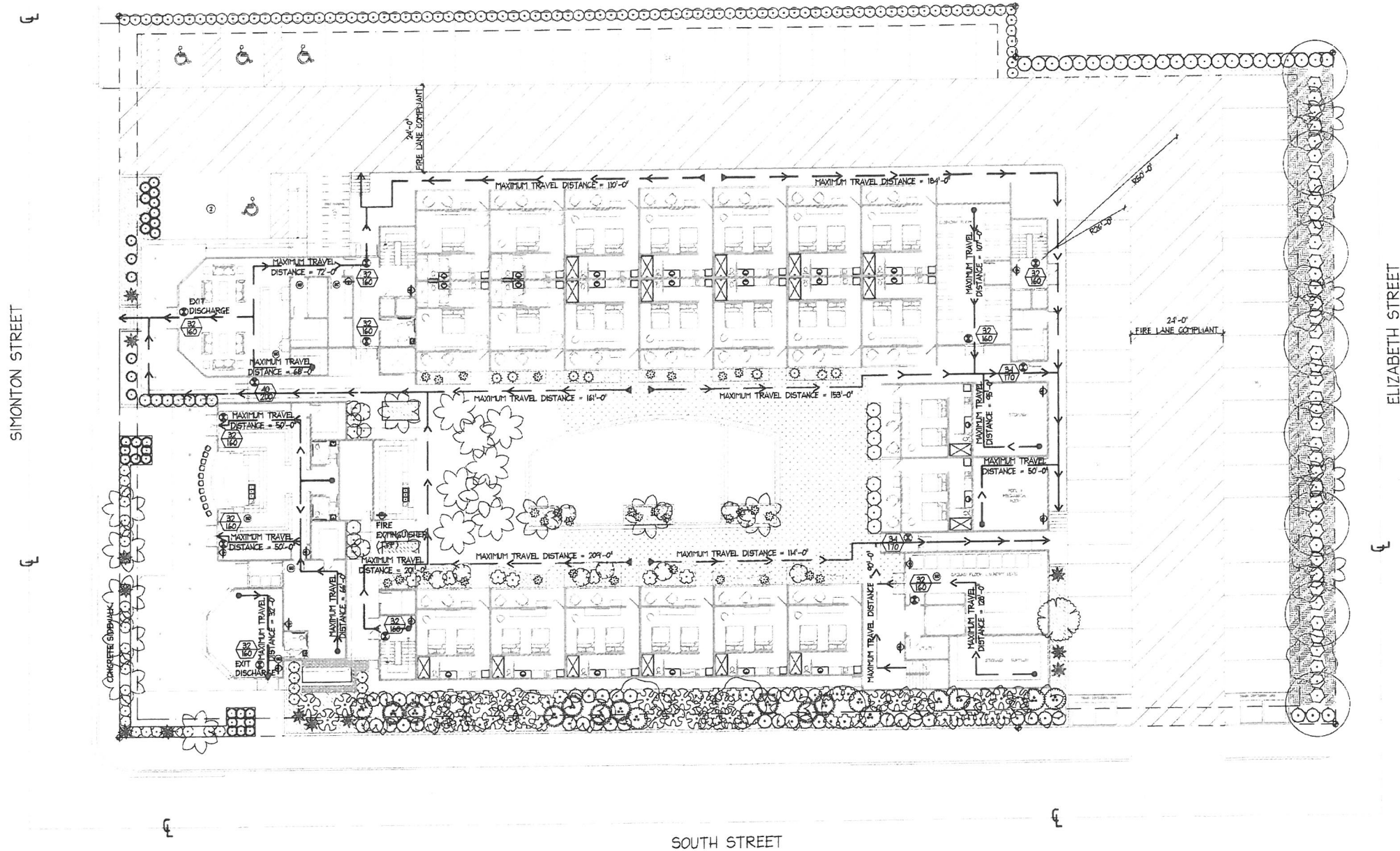


POOL PATIO
WHITE CONCRETE W/ WAUSAU TECTURA TILE WG-404

404

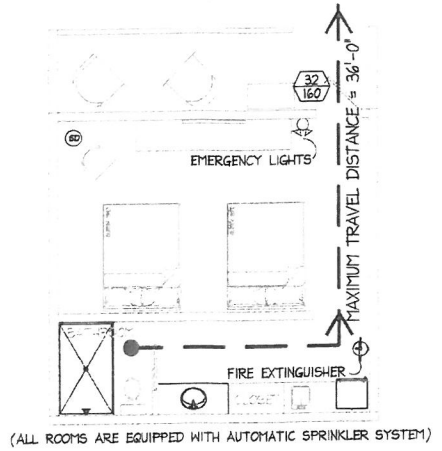
NOT FOR
CONSTRUCTION

74



1 PROPOSED LIFE SAFETY - GROUND FLOOR PLAN
LS1 SCALE: 1/8"=1'-0"

LIFE SAFETY SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	EMERGENCY EXIT SIGN & LIGHT
	EXIT SIGN (NO FLUOR)
	EXIT CAPACITY (N OF PERSONS)
	FIRE EXTINGUISHER (LARGEST TYPE-A OR EQUAL)
	PATH OF EXIT ACCESS
	EMERGENCY LIGHT



2 TYPICAL ROOM LIFE SAFETY PLAN
LS1 SCALE: 3/16"=1'-0"

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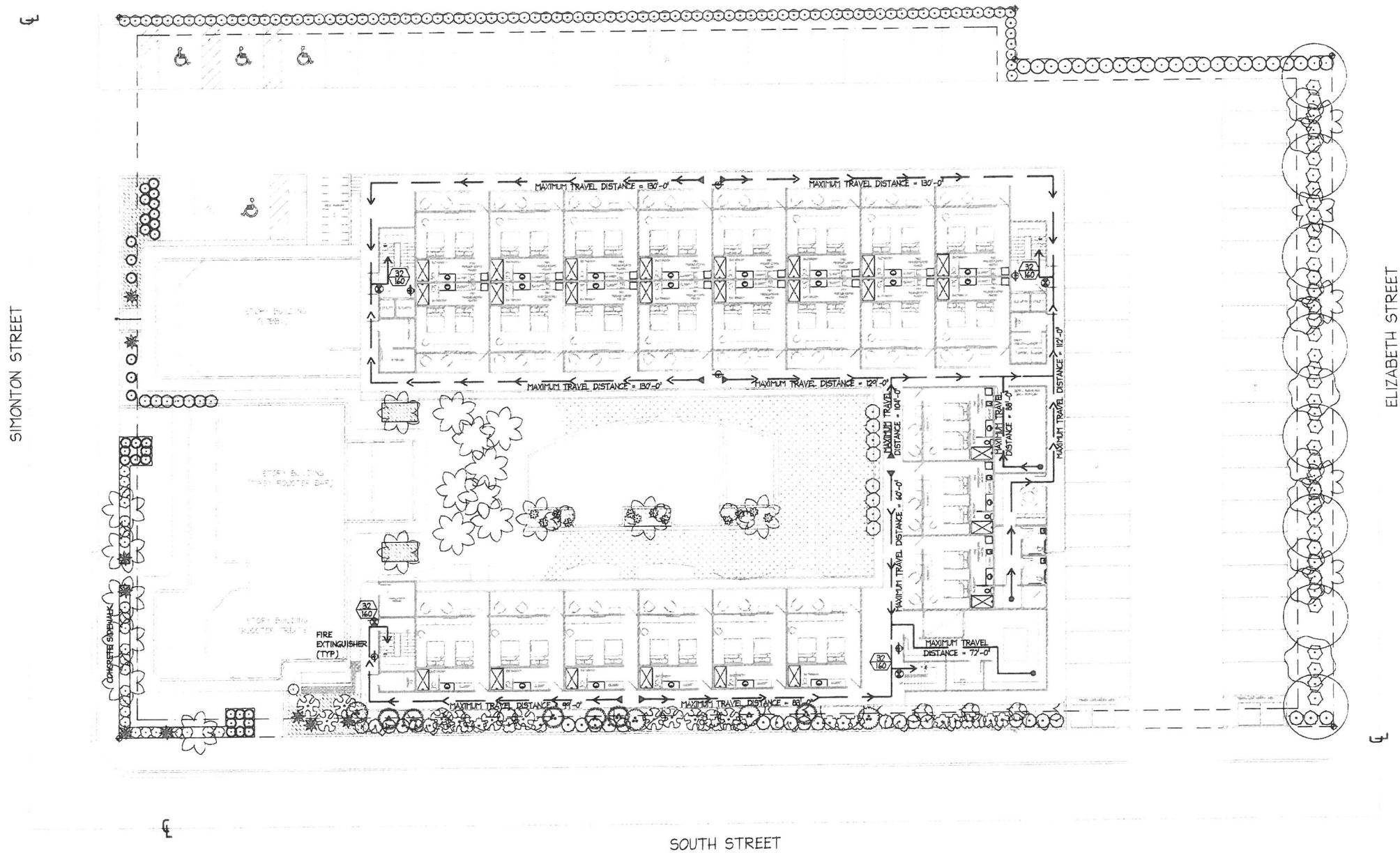
p.a.

Project No: 2240

Date: 11/06/2024

LS1

410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License AAC02022



LIFE SAFETY SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	EMERGENCY EXIT SIGN & LIGHT
	CLER EGRESS WIDTH (DOORS) STAIRCASE CAPACITY (NO. OF PERSONS)
	FIRE EXTINGUISHER (LARGEST TYPE-A OR B-I-A)
	PATH OF EXIT ACCESS
	EMERGENCY LIGHT

1 PROPOSED LIFE SAFETY - SECOND FLOOR PLAN
LS2 SCALE: 1/16"=1'-0"

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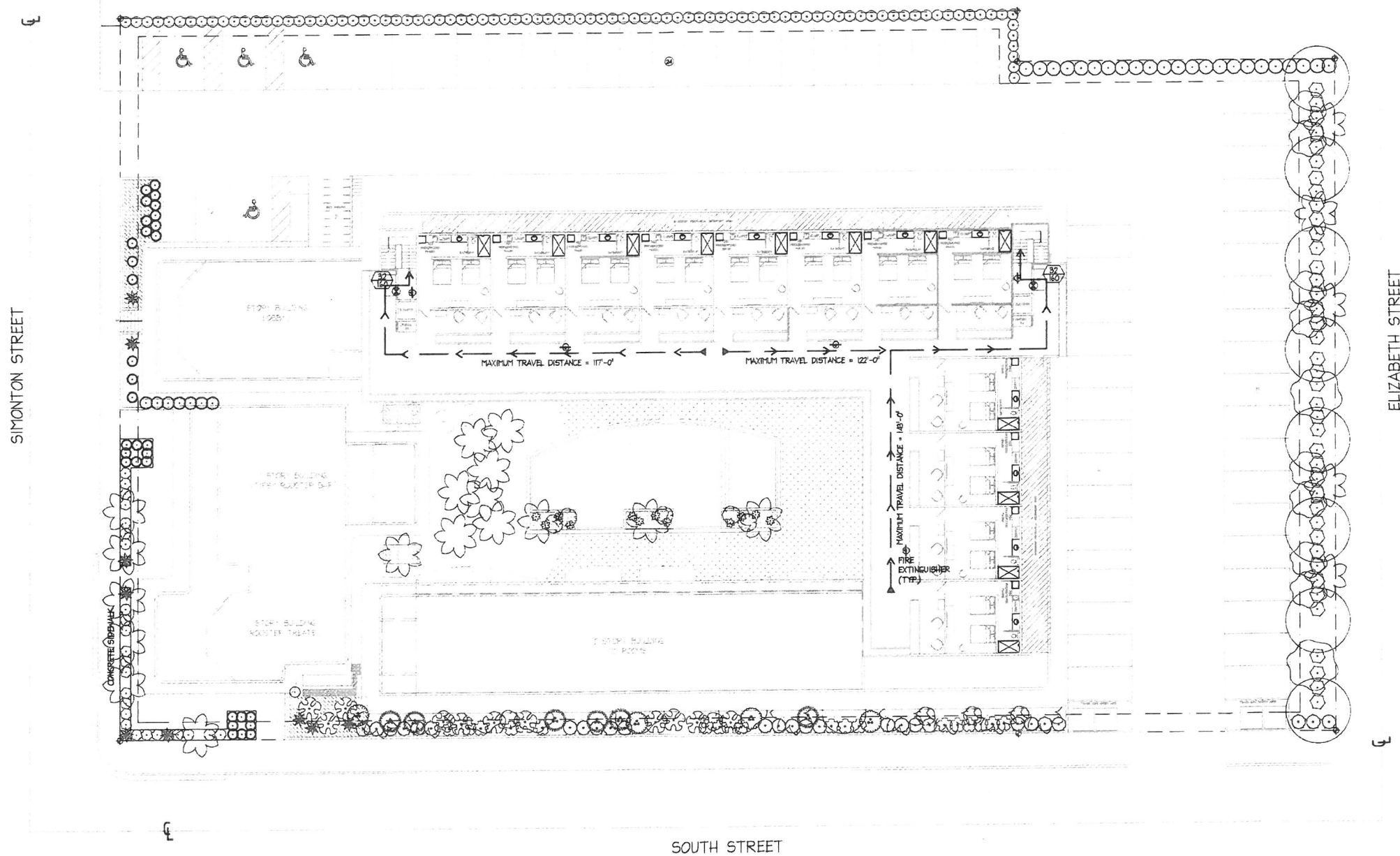
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Key West, Florida 33040
Telephone (305) 296-1917
Facsimile (305) 296-2727
Florida License: ALC0002022

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ARCHITECTS
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Project No: 2240

Date: 11/06/2024

LS2



LIFE SAFETY SYMBOL LEGEND	
	EMERGENCY EXIT SIGN & LIGHT
	EXIT WIDTH (FEET)
	EXIT CAPACITY (NUMBER OF PERSONS)
	FIRE EXTINGUISHER (LARGEST TYPE-A OR EQUAL)
	PATH OF EXIT ACCESS
	EMERGENCY LIGHT

1 PROPOSED LIFE SAFETY - THIRD FLOOR PLAN
LS3 SCALE: 1/16"=1'-0"

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Project No: 2240
Date: 11/06/2021

LS3

1321 SIMONTON ST LIFE SAFETY CODE CALCULATIONS:
FLORIDA BUILDING CODE 2023, BUILDING (HOTEL)

Section 304	Occupancy Classification:
	RESIDENTIAL: Group 'R-1' (1st, 2nd, 3rd floor)
	Building Area:
	1st Floor: 13,336 s.f.
	2nd Floor: 13,279 s.f.
	3rd Floor: 5,674 s.f.
	Total: 32,291 s.f.
Table 601	Construction Type: Type V-B construction, sprinklered.
	Primary structural frame: 0 hours.
	Exterior / Interior Bearing walls: 0 hours.
	Exterior Non-bearing walls: 0 hours.
	Interior Non-bearing walls: 0 hours.
	Floor construction / Secondary members: 0 hours.
	Roof construction / secondary members: 0 hours.
Section 503	Allowable Building Heights & Areas (Type V-B sprinklered):
	Group # Stories Allowed Area Allowed Bldg. Height
	Allowed:
	R-1 3 84,000 sf/Floor 60'
Table 509.1	Incidental Uses
	Laundry room over 100 s.f. = 1-hour separation or provide automatic sprinkler system
Table 1004.1.2	Occupancy Loads:
	1st Floor: R-1
	380 s.f.(per room)/200 gross X 22 ROOMS = 44 persons per room
	2nd Floor: R-1
	380 s.f.(per room)/200 gross X 25 ROOMS = 50 persons per room
	3rd Floor: R-1
	380 s.f.(per room)/200 gross X 12 ROOMS = 24 persons per room
	TOTAL 118 persons
Section 708 & 711	Fire Resistant Separations:
	Group: R-1 Separation: Separation between room occupancies to be 1-hour
Table 1006.2.1	Number of Exits: (sprinklered)
	1 EXIT PER ROOM, 75' max travel distance.
	1 Exit provided, 36' travel distance.
Table 1006.3.2	1st floor: 2 exits required per story (1-500 persons)
	4 provided
	2nd floor: 2 exits required per story (1-500 persons)
	4 provided
	3rd floor: 2 exits required per story (1-500 persons)
	2 provided
Section 1005.1	Egress Width: (Doors)
	1st Floor: 44 persons x .2' = 9' (33' provided)
	2nd Floor: 50 persons x .2' = 10' (33' provided)
	3rd Floor: 24 persons x .2' = 5' (33' provided)
Section 1005.3.1	Stairways:
	2nd Floor: 50 persons x .3' = 15' (45' provided)
	3rd Floor: 24 persons x .3' = 8' (45' provided)
Table 1017.2	Exit Access Travel Distance:
	Maximum 250' (sprinklered): 209' worst case provided
Table 1020.3	Corridors (5 hour resistance rating):
	1st Floor: 44' minimum required serving as an exit access in a mean of egress. (60' minimum provided)
	2nd Floor: 44' minimum required serving as an exit access in a mean of egress. (56' minimum provided)
	3rd Floor: 44' minimum required serving as an exit access in a mean of egress (64' minimum provided)

1321 SIMONTON ST LIFE SAFETY CODE CALCULATIONS:
FLORIDA BUILDING CODE 2023, BUILDING (LOBBY)

Section 304	Occupancy Classification:
	BUSINESS: Group 'B' (1st floor)
	Building Area:
	1st Floor: 1,697 s.f.
	Total: 1,697 s.f.
Table 601	Construction Type: Type V-B construction, sprinklered.
	Primary structural frame: 0 hours.
	Exterior / Interior Bearing walls: 0 hours.
	Exterior Non-bearing walls: 0 hours.
	Interior Non-bearing walls: 0 hours.
	Floor construction / Secondary members: 0 hours.
	Roof construction / secondary members: 0 hours.
Section 503	Allowable Building Heights & Areas (Type V-B sprinklered):
	Group # Stories Allowed Area Allowed Bldg. Height Allowed:
	B 1 45,000 sf/Floor 60'
Table 1004.1.2	Occupancy Loads:
	1st Floor: B
	1,697 s.f. / 150 gross = 12 persons
Section 708 & 711	Fire Resistant Separations:
	Group: B Separation: Fire resistance not less than 1-hour
Table 1006.2.1	Number of Exits: (sprinklered)
	1st floor: BUSINESS = 1 Exit allowed per space
	Maximum travel distance (100' sprinklered)
	2 Exit provided (33', 33')
	72' travel distance (worst case)
Section 1005.1	Egress Width (doors):
	1st Floor: 12 persons x .2' = 3' (33' provided)
Table 1020.3	Corridors (5 hour resistance rating):
	1st Floor: 44' minimum required serving as an exit access in a mean of egress. (60' minimum provided)
Table 1017.2	Exit Access Travel Distance:
	Maximum 250' (sprinklered): 72' worst case provided

1321 SIMONTON ST LIFE SAFETY CODE CALCULATIONS: FLORIDA BUILDING
CODE 2023, BUILDING (TIPSY ROOSTER & ROOSTER TREATS)

Section 303	Occupancy Classification:
	BUSINESS: Group 'B' (Per 303.1.1) (Rooster Treats)
	MERCANTILE Group 'M' (Tippy Rooster)
	Building Area:
Table 601	1st Floor: 2,006 s.f. (Tippy Rooster)
	549 s.f. (Rooster Treats)
	Total: 2,555 s.f.
Section 503	Construction Type: Type V-B construction, sprinklered.
	Primary structural frame: 0 hours.
	Exterior / Interior Bearing walls: 0 hours.
	Exterior Non-bearing walls: 0 hours.
	Interior Non-bearing walls: 0 hours.
	Floor construction / Secondary members: 0 hours.
	Roof construction / secondary members: 0 hours.
	Allowable Building Heights & Areas (Type V-B sprinklered):
	Group # Stories Allowed Area Allowed Bldg. Height
	Allowed:
	B 3 45,000 sf/Floor 60'
	M 2 45,000 sf/Floor 60'
Table 1004.1.2	Occupancy Loads:
	1st Floor: B
	549 s.f. / 150 gross = 4 persons
	1st Floor: M
	2,006 s.f. / 60 gross = 33 persons
	TOTAL = 37 persons
Section 708 & 711	Fire Resistant Separations:
	Group: B / M Separation: Separation between B & M occupancy to be 1-hour.
Table 1006.2.1	Number of Exits: (sprinklered)
	1st floor: BUSINESS OCCUPANCY = 1 Exit allowed per space
	Maximum travel distance (100' sprinklered)
	1 Exit provided, 32' travel distance (worst case)
	1st floor: MERCANTILE OCCUPANCY = 1 Exit allowed per space
	Maximum travel distance (75' sprinklered)
	2 Exit provided, 66' travel distance (worst case)
Section 1005.1	Egress Width:
	1st Floor: 4 persons x .2' = 1' (33' provided) (Rooster Treats)
	1st Floor: 33 persons x .2' = 7' (33' provided) (Tippy Rooster)
Table 1017.2	Exit Access Travel Distance:
	Maximum 250' (sprinklered): 72' worst case provided

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Date: 11/06/2024

LS4