



# VARIANCE AND AFTER THE FACT VARIANCE APPLICATION

CITY OF KEY WEST, FLORIDA • PLANNING DEPARTMENT

Address: 1300 White Street • Key West, Florida 33040

Phone: 305-809-3764

Website: [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov)



Application Fee Schedule	
Variance Application Fee	\$ 2,680.19
Advertising and Noticing Fee	\$ 376.81
Fire Department Review Fee	\$ 134.01
<b>Total Application Fee</b>	<b>\$ 3,191.01</b>

After the Fact Application Fee Schedule	
After the Fact Variance Application Fee	\$ 5,360.39
Advertising and Noticing Fee	\$ 376.81
Fire Department Review Fee	\$ 134.01
<b>Total Application Fee</b>	<b>\$ 5,871.21</b>

### Please read the following carefully before filling out the application

This application and all required attachments should be submitted to the City Planning Department at 1300 White Street.

- Owners and applicants are notified of their scheduled Planning Board hearing date.
- Attendance at the formal public hearing is mandatory.
- Notice of Public Meeting is published in the newspaper.
- Owners of property within 300 feet of the subject property or parcels are notified by mail.
- Notice of public hearing will be posted on the property and must be left up until after the hearing.
- Variances are quasi-judicial hearings, and it is improper to speak to a Planning Board and/or Board of Adjustment member about the variance outside of the hearing.

### Application Process

- Prior to submittal, the applicant will schedule a pre-application meeting with staff to review the application and suggest any modifications that may be necessary before submittal. A pre-application meeting is free of charge and should be the final step before submittal. To schedule a pre-application meeting, please call the Planning Department at (305) 809-3764.
- After submittal, the application will be reviewed by staff and additional modifications to the site plan may be necessary at that time. Any modifications within eight (8) days of the scheduled Planning Board meeting may result in the item being postponed till the following Planning Board meeting.
- The applicant will be responsible for submitting a landscape approval letter from the Urban Forestry Program Manager and a Stormwater approval letter from the Director of Engineering.
- **When the application is determined to be complete**, it will be brought forth to the Planning Board. If the application is approved, there is a 10-day appeal period.
- After the 10-day appeal period, the application will be sent to the Department of Environmental Opportunity (DEO) for rendering. The rendering period is 45 days.

**Please include the following with this application:**

1. A copy of the most recent warranty deed with the Book and Page numbers from the office of the Clerk of Circuit Court for Monroe County containing a legal description of the subject parcel. The application forms must be signed by all owners listed on the deed. For business/corporate ownership, please attach authorization for name of executive authorized to make the application.
2. An application fee is determined according to the attached fee schedule. Make the check payable to the City of Key West and include the site address on the memo portion of the check. Be advised that upon review by the Planning Department, additional or fewer variances may be required necessitating a different fee.
3. Sign and Sealed site plan(s) of the subject site, indicating the following:
  - a. **Existing and proposed** lot coverage including buildings, pools, spas, driveways and other walkways, patios, porches, covered areas, and decks.
  - b. Location and identification/names of existing trees of 3.5 inches diameter or greater on the property or extending over the proposed work (including access routes and stormwater areas). Please provide photos.
  - c. All proposed changes to what exist, including those which make the variance(s) necessary.
  - d. Lot dimensions on all drawings and the distance from all property lines of all existing and proposed structures.
  - e. Dimensions (**existing and proposed**) of all the items in (a) above, including the height and number of stories of the structure.
  - f. Parking spaces and dimensions (**existing and proposed**).
  - g. Easements or other encumbrances on the property.
4. A survey of the property no more than ten years old
5. Elevation drawings or proposed structures, indicating finished height above established grade as measured from crown of road
6. Floor Plans of existing and proposed development
7. Stormwater management plan
8. PDF version of application and all required materials submitted to the Planning Department

The attached Verification and Authorization Forms must be notarized. This can be done at City Hall or the Planning Department. Identification is required. An out-of-state notarization is acceptable, if necessary.

**Make sure that the applicable application and authorization forms are signed by all people listed as owners on the recorded Warranty Deed.**

Be advised that the City will not grant a variance unless the City Impact Fees of sewer and solid waste services are paid in full.

For assistance, please call the Planning Department at (305) 809-3764.



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Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3764.

**PROPERTY DESCRIPTION:**

Site Address: 3990 S Roosevelt Blvd

Zoning District: HDR

Real Estate (RE) #: 00066180-007000

Property located within the Historic District?  Yes  No

**APPLICANT:**  Owner  Authorized Representative

Name: Rick Milelli Mailing Address: 13 Bamboo Terrace

City: Key West State: FL Zip: 33040

Home/Mobile Phone: 305-481-0400 Office: \_\_\_\_\_ Fax: \_\_\_\_\_

Email: nseflkeys@gmail.com

**PROPERTY OWNER: (if different than above)**

Name: RLJ BDT Key West LLC Mailing Address: 3 Bethesda Metro Ste 1000

City: Bethesda State: MD Zip: 20814

Home/Mobile Phone: \_\_\_\_\_ Office: \_\_\_\_\_ Fax: \_\_\_\_\_

Email: \_\_\_\_\_

**Description of Proposed Construction, Development, and Use:** Construction of HVAC equipment on an existing roof on the Doubletree Resort in Key West. The construction consists of four (4) ventilation units placed on the roof.

**List and describe the specific variance(s) being requested:**

A variance for exceeding the height limitation is requested. The equipment will be located on the roof which already exceeds the height limit. The equipment will be located approximately 6'-3" below the existing elevator tower.

Are there any easements, deed restrictions or other encumbrances attached to the property?  Yes  No

If yes, please describe and attach relevant documents: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Will any work be within the dripline (canopy) of any tree on or off the property?  Yes  No  
 If yes, provide date of landscape approval, and attach a copy of such approval.

Is this variance request for habitable space pursuant to Section 122-1078?  Yes  No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. *provide square footages and percentages.*

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	HDR	6 Acres		
Flood Zone	AE-8			
Size of Site	1 Acre			
Height	40 FT	56'-3"	50'-0"	Yes
Front Setback	30 FT			
Side Setback	25 FT			
Side Setback	25 FT			
Street Side Setback	25 FT			
Rear Setback	25 FT			
F.A.R	N/A			
Building Coverage	60%			
Impervious Surface	40%			
Parking				
Handicap Parking				
Bicycle Parking				
Open Space/ Landscaping	20%			
Number and type of units				
Consumption Area or Number of seats				

Note: Height assumes an average crown of road average of approximately 4'-0"

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at [http://www.municode.com/Library/FL/Key\\_West](http://www.municode.com/Library/FL/Key_West) under Subpart B.

\*Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.

**Standards for Considering Variances**

**Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met: Please print your responses.**

- 1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures, or buildings in the same zoning district.

The Doubletree Resort is already non-conforming for the CKW height regulation. The ventilation equipment is required to meet fresh air requirements. The equipment cannot be located at grade level because of the proximity of the parking area and exposure to automobile exhaust. In addition, the ducting for the ventilation system can be only accessed from the roof.

- 2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

The Doubletree Resort was originally constructed above the height limit and is currently non-conforming. The roof is the only location for the equipment. The roof is currently located approximately 1'-11" above the height limit.

- 3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings, or structures in the same zoning district.

Special privileges are not conferred. The structure already exceeds the height limit and the equipment will not be visible from ground level. The new equipment will be lower than the existing elevator tower.

- 4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

A hardship exists since the equipment can't be located at ground level due to automobile exhaust. The equipment has to be mounted on the roof for air quality and proximity to duct work.

- 5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

Only the minimum variance is requested. The equipment will be lower than the elevator tower and not visible from ground level.

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

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The proposed work is not injurious to the public welfare since the equipment will be located on an existing roof out of sight from the public.

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7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

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Other existing nonconforming uses of the neighboring properties is not considered as the basis for approval. Complexes like Las Salinas exceed the height limit and have their HVAC equipment mounted on the roof as well.

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**The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:**

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

**REQUIRED SUBMITTALS: All of the materials listed below must be submitted in order to have a complete application. Applications will not be processed until all materials are provided. Please submit one (1) paper copy of the materials to the Planning Department and one (1) electronic version in PDF format.**

- Correct application fee, made payable to "City of Key West."
- Pre-application meeting form
- Notarized verification form signed by property owner or authorized representative.
- Notarized authorization form signed by property owner, if applicant is not the owner.
- Copy of recorded warranty deed
- Monroe County Property record card
- Signed and sealed survey (Survey must be within 10 years from submittal of this application)
- Sign and sealed site plan (sign and sealed by an Engineer or Architect)
- Floor plans
- Any additional supplemental information necessary to render a determination related to the variance request





**City of Key West  
Planning Department  
Verification Form**  
*(Where Applicant is an entity)*

I, Richard Milelli, in my capacity as President  
*(print name)* *(print position; president, managing member)*  
of Northstar Engineering  
*(print name of entity)*

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

3990 S. Roosevelt Blvd.  
*Street address of subject property*

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that I am the Authorized Representative of the property involved in this application; that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

*Signature of Applicant*

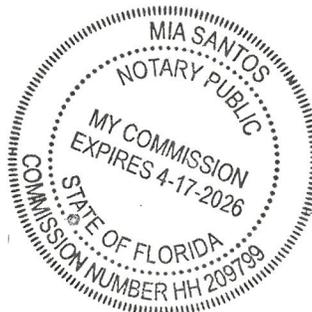
Subscribed and sworn to (or affirmed) before me on this 1/15/26 by  
*date*  
Richard J. Milelli  
*Name of Applicant*

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

*Notary's Signature and Seal*

MIA SANTOS  
*Name of Acknowledger typed, printed or stamped*

HH209799  
*Commission Number, if any*





**City of Key West  
Planning Department  
Verification Form**

*(Where Authorized Representative is an individual)*

I, Richard Milelli, being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

3990 S. Roosevelt Blvd

*Street address of subject property*

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

*Signature of Authorized Representative*

Subscribed and sworn to (or affirmed) before me on this 1/15/26 by  
*date*

Richard J Milelli  
*Name of Authorized Representative*

He is personally known to me or has presented \_\_\_\_\_ as identification.

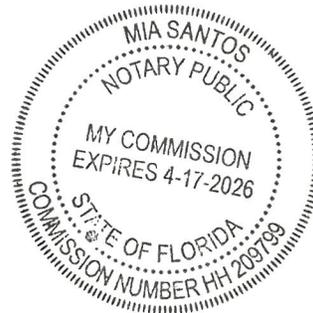
*Notary's Signature and Seal*

**MIA SANTOS**

*Name of Acknowledger typed, printed or stamped*

HH209799

*Commission Number, if any*





**City of Key West  
Planning Department**

**Authorization Form**  
*(Where Owner is a Business Entity)*

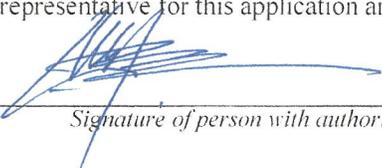
Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Craig Amos as  
*Please Print Name of person with authority to execute documents on behalf of entity*

Vice President of RLJ Lodging Trust  
*Name of office (President, Managing Member)* *Name of owner from deed*

authorize Richard Milelli  
*Please Print Name of Representative*

to be the representative for this application and act on my/our behalf before the City of Key West.

  
*Signature of person with authority to execute documents on behalf of entity owner*

Subscribed and sworn to (or affirmed) before me on this January 15, 2026  
*Date*

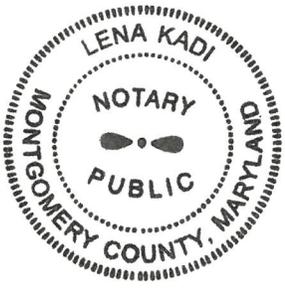
by Craig Amos  
*Name of person with authority to execute documents on behalf of entity owner*

He/She is personally known to me or has presented Personally Known as identification.

  
*Notary's Signature and Seal*

Lena Kadi  
*Name of Acknowledger typed, printed or stamped*

N/A  
*Commission Number, if any*



*L 1997364 09/12/2014*

Doc# 1997364 09/12/2014 8:23AM  
Filed & Recorded in Official Records of  
MONROE COUNTY AMY HEAVILIN

PREPARED BY, AND AFTER RECORDING  
RETURN TO:

Honigman Miller Schwartz and Cohn LLP  
39400 Woodward Avenue, Suite 101  
Bloomfield Hills, Michigan 48304-5151  
Attention: J. Adam Rothstein, Esq.

Property Appraiser's Parcel I.D. (Folio)  
Number (s):  
00066180000346725, Alternate Key No.  
8786841

09/12/2014 8:23AM  
DEED DOC STAMP CL: MT \$530,600.00

Doc# 1997364  
Bk# 2702 Pg# 1698

**SPECIAL WARRANTY DEED**

THIS SPECIAL WARRANTY DEED is made and entered into as of this 11<sup>th</sup> day of September, 2014, by KEY HOSPITALITY & HEALTHCARE LIMITED PARTNERSHIP, an Arkansas limited partnership (hereinafter called the "Grantor"), whose address is 4119 Massard Road, Fort Smith, Arkansas 72903, to RLJ DBT KEY WEST, LLC, a Delaware limited liability company (hereinafter called the "Grantee"), whose address is c/o RLJ Lodging Trust, 3 Bethesda Metro Center, Suite 1000, Bethesda, Maryland 20814.

**WITNESSETH:**

THAT the Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee all that certain land situate in Key West, Florida and being more particularly described on Exhibit A attached hereto and incorporated herein by this reference (the "Property").

TOGETHER with together with all improvements thereon and all rights, interests, tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple, forever.

This conveyance is subject to the items set forth on Exhibit B.

AND, the Grantor hereby covenants with the Grantee that the Grantor is lawfully seized of the Property in fee simple; that the Grantor has good right and lawful authority to sell and convey the Property; that the Grantor hereby fully warrants the title to the Property and will defend the same against the lawful claims of all persons whosoever claim by, through or under Grantor, and no others.

15496829.1

IN WITNESS WHEREOF, the ( day and year first above written.

Signed, sealed and delivered in the presence of:

*Leslie Kimer*  
\_\_\_\_\_  
Print Name: *Leslie Kimer*

*Colby Curry*  
\_\_\_\_\_  
Print Name: *COLBY CURRY*

STATE OF Arkansas  
COUNTY OF Sebastian

BE IT REMEMBERED that on  
Public in and for the said county and sta  
\_\_\_\_\_ of DDL Corporation, Inc., ar  
Hospitality & Healthcare Limited P  
personally known to me and who ackn  
that the same is his free and voluntary ac

IN TESTIMONY WHEREOF, I  
on the date and year above-mentioned.

*Affix Notary Stamp/Seal Below:*

**KELLI PETERS**  
**NOTARY PUBLIC - ARKANSAS**  
**SEBASTIAN COUNTY**  
**Commission # 12365182**

15496829.1

]

From the Northeast corner of Parcel #3 West, Monroe County, Florida" record Records, go North  $21^{\circ}22'20''$  West along 484.76 feet to a point; thence South  $68^{\circ}45'40''$  West 484.76 feet to a point, said point being a point in Official Records Book 564, Pages 56 Florida; thence along said Westerly boundary Beginning of the following described 484.76 feet to a point of curvature with central angle of  $0^{\circ}03'04''$  and a radius curve 2.09 feet; thence leaving said West - 459.40 feet; to a point of intersection right angles, and parallel with the W referenced Plat; thence North  $21^{\circ}14'2$  153.13 feet; thence South  $85^{\circ}59'07''$  E thence North  $60^{\circ}26'12''$  East 42.24 feet



**15496829.1**

1. Taxes and assessments for the year 2015 payable.
2. Any lien provided by County Ordinance, city, town, village or port authority for a gas system supplying the insured land s
3. Terms, conditions and obligations concerning SPC Development, Key West Seaside C September 15, 2000 in Official Records
3. Easement to Lawrence M. Marks Trust 27, 1973, in Official Records Book 563,
4. Phase III Access and Utilities Easement 1563, Page 638.

5. Terms, conditions and obligations con  
Marks, Stanley Marks, Paul Marks, Her  
Trust #3840 recorded December 18, 198

6. Phase III Access and Utilities Easeme  
Records Book 1145, Page 749.

7. Grant of Easement recorded June 20,

**MONROE  
OFFICE**

15496829.1

# Monroe County, FL

## \*\*PROPERTY RECORD CARD\*\*

### Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

### Summary

**Parcel ID** 00066180-000700  
**Account#** 8786841  
**Property ID** 8786841  
**Millage Group** 10KW  
**Location** 3990 S ROOSEVELT Blvd, KEY WEST  
**Address**  
**Legal** KW 2 SHEETS PB4-69 PLAT OF SURVEY ON TWO SHEETS PART OF LANDS  
**Description** FORMERLY OWNED BY KEY WEST IMPROVEMENT INC PT PARCEL 38 (6.0692 AC)  
 (PHASE III-B) OR1145-746/748 OR1145-861/870 OR1252-121/6C/T OR1338-267/9  
 OR1338-270/2 OR1338-1420/3AFF OR1542-493/97 OR1563-638/648(AGREE)  
 OR1821-2188/90 OR2702-1698/1701  
 (Note: Not to be used on legal documents.)  
**Neighborhood** 31100  
**Property Class** HOTEL - FLAG (3901)  
**Subdivision**  
**Sec/Twp/Rng** 34/67/25  
**Affordable** No  
**Housing**



8786841-20241120

### Owner

[RLJ DBT KEY WEST LLC](#)  
 C/O RLJ LODGING TRUST  
 3 Bethesda Metro Ste 1000  
 Bethesda MD 20814

### Valuation

	2025 Certified Values	2024 Certified Values	2023 Certified Values	2022 Certified Values
+ Market Improvement Value	\$22,509,062	\$29,549,229	\$28,162,914	\$27,018,443
+ Market Misc Value	\$11,454,685	\$12,809,015	\$4,023,273	\$3,859,778
+ Market Land Value	\$42,667,178	\$41,641,756	\$48,279,281	\$46,317,330
= Just Market Value	\$76,630,925	\$84,000,000	\$80,465,468	\$77,195,551
= Total Assessed Value	\$55,651,805	\$50,592,550	\$45,993,228	\$41,812,026
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$76,630,925	\$84,000,000	\$80,465,468	\$77,195,551

### Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$41,641,756	\$29,549,229	\$12,809,015	\$84,000,000	\$50,592,550	\$0	\$84,000,000	\$0
2023	\$48,279,281	\$28,162,914	\$4,023,273	\$80,465,468	\$45,993,228	\$0	\$80,465,468	\$0
2022	\$46,317,330	\$27,018,443	\$3,859,778	\$77,195,551	\$41,812,026	\$0	\$77,195,551	\$0
2021	\$17,104,920	\$19,005,466	\$1,900,547	\$38,010,933	\$38,010,933	\$0	\$38,010,933	\$0
2020	\$17,104,920	\$19,005,466	\$1,900,547	\$38,010,933	\$38,010,933	\$0	\$38,010,933	\$0
2019	\$19,233,079	\$17,309,771	\$1,923,308	\$38,466,158	\$37,702,435	\$0	\$38,466,158	\$0
2018	\$18,133,277	\$16,319,949	\$1,813,328	\$36,266,554	\$34,274,941	\$0	\$36,266,554	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

### Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	264,375.00	Square Foot	0	0

**Buildings**

<b>Building ID</b>	44236	<b>Exterior Walls</b>	C.B.S.
<b>Style</b>		<b>Year Built</b>	2000
<b>Building Type</b>	HOTELS/MOTEL A / 39A	<b>EffectiveYearBuilt</b>	2001
<b>Building Name</b>		<b>Foundation</b>	
<b>Gross Sq Ft</b>	197200	<b>Roof Type</b>	FLAT OR SHED
<b>Finished Sq Ft</b>	126563	<b>Roof Coverage</b>	MEMBRANE
<b>Stories</b>	5 Floor	<b>Flooring Type</b>	
<b>Condition</b>	GOOD	<b>Heating Type</b>	
<b>Perimeter</b>	2655	<b>Bedrooms</b>	0
<b>Functional Obs</b>	0	<b>Full Bathrooms</b>	0
<b>Economic Obs</b>	0	<b>Half Bathrooms</b>	0
<b>Depreciation %</b>	33	<b>Grade</b>	500
<b>Interior Walls</b>		<b>Number of Fire Pl</b>	0

Code	Description	Sketch Area	Finished Area	Perimeter
CAN	CANOPY	1,406	0	150
CPF	COVERED PARKING FIN	6,614	0	802
EUF	ELEV UNFIN FD	24,057	0	1,132
OPX	EXC OPEN PORCH	9,150	0	3,724
CBF	FINISHED CABAN	611	0	134
FLA	FLOOR LIV AREA	126,563	126,563	5,124
OPF	OP PRCH FIN LL	136	0	66
PTO	PATIO	17,417	0	660
PDO	PATIO DIN OPEN	5,520	0	356
SBF	UTIL FIN BLK	180	0	56
SBU	UTIL UNFIN BLK	5,546	0	362
<b>TOTAL</b>		<b>197,200</b>	<b>126,563</b>	<b>12,566</b>

**Yard Items**

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
WATER FEATURE	2000	2001	0 x 0	1	1 UT	1
WATER FEATURE	2000	2001	0 x 0	1	1 UT	5
CUSTOM PATIO	2000	2001	4 x 274	1	1096 SF	4
FENCES	2000	2001	10 x 115	1	1150 SF	5
BRICK PATIO	2000	2001	5 x 418	1	1881 SF	2
TIKI	2000	2001	14 x 14	1	196 SF	5
FENCES	2000	2001	6 x 435	1	2610 SF	5
CUSTOM POOL	2000	2001	54 x 60	1	3240 SF	2
TIKI	2000	2001	19 x 19	1	361 SF	4
TIKI	2000	2001	6 x 8	1	48 SF	1
TIKI	2000	2001	6 x 8	1	48 SF	3
TIKI	2000	2001	6 x 8	1	48 SF	3
TIKI	2000	2001	6 x 8	1	48 SF	3
TIKI	2000	2001	6 x 8	1	48 SF	3
ASPHALT PAVING	2000	2001	0 x 0	1	78586 SF	1

**Sales**

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
9/3/2014	\$75,800,000	Warranty Deed		2702	1698	39 - Unqualified	Improved		
10/1/2002	\$6,700,000	Quit Claim Deed		1821	2188	J - Unqualified	Improved		
10/21/1998	\$8,000,000	Warranty Deed		1542	0493	U - Unqualified	Vacant		
1/1/1995	\$1,750,000	Warranty Deed		1338	0267	Q - Qualified	Vacant		
9/1/1990	\$2,516,600	Warranty Deed		1145	746	Q - Qualified	Vacant		

**Permits**

Number	Date Issued	Status	Amount	Permit Type	Notes
BLD2025-3018	12/02/2025	Active	\$5,300	Commercial	EMERGENCY REPLACEMENT OF POOL FENCE BEFORE HOLIDAY. 6' TALL SEMI PRIVACY PVC FENCE TO REPLACE WHAT WAS REMOVED FOR RENOVATIONS, GATE TO SWING OUTWARDS, NOT PRIMARY EGRESS ROUTE
BLD2025-2696	10/23/2025	Active	\$800,125	Commercial	REMOVE EXISTING UNITS; INSTALL 4 NEW AAON RTU 100% OUTSIDE AIR
BLD2025-2406	09/25/2025	Active	\$105,000	Commercial	PARTIAL FACADE RESTORATION AND REPAIRS. STUCCO REMOVAL/REPLACEMENT/REPAIR AND COATINGS.
BLD2025-1153	08/28/2025	Active	\$30,000	Commercial	REPLACE LIGHT FIXTURES, RECEPTACLES, AND DEVICES PER ELECTRICAL DRAWINGS.
BLD2025-1812	07/21/2025	Active	\$3,000	Commercial	UPDATE ADA ROOM 330, 334

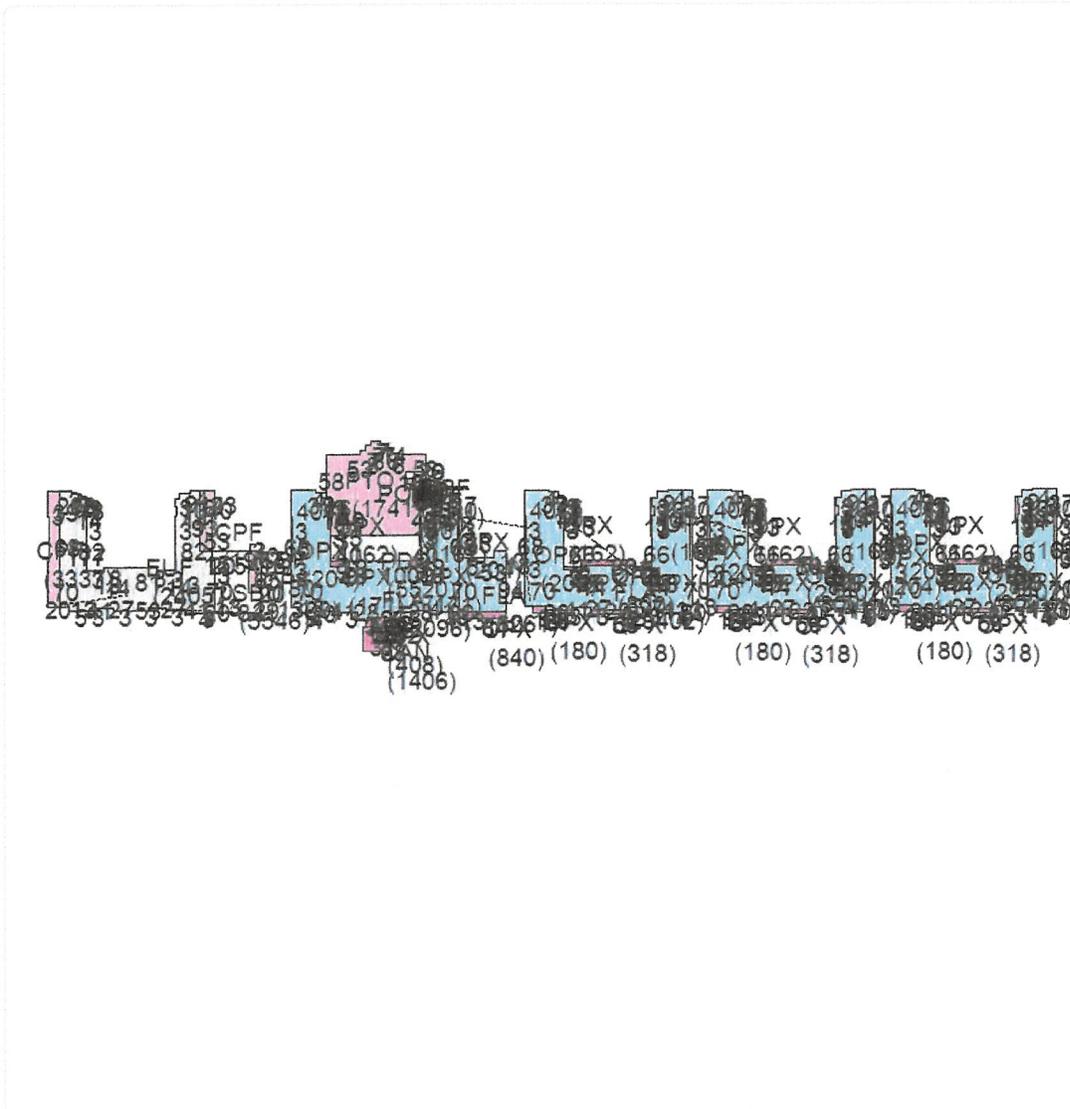
Number	Date Issued	Status	Amount	Permit Type	Notes
BLD2025-1841	07/21/2025	Active	\$1,800	Commercial	RELOCATE PULL BOX AND ANNUNCIATOR 18" TO THE RIGHT, MAINTAIN CURRENT HEIGHT
BLD2025-1201	05/20/2025	Completed	\$85,000	Commercial	DEMO & INSTALL 216 LAVATORIES FAUCETS, P TRAPS & SHOWER HEADS INSTALL 6 NEW LAVATORIES IN LIEU OF JACUZZI TUB.
BLD2025-1152	05/16/2025	Completed	\$50,000	Commercial	REMOVE AND REPLACE LIGHT FIXTURES AND RECEPTACLES PER ELECTRICAL DRAWINGS. HOTEL GUESTROOMS & CORRIDORS. MAIN PERMIT #BLD2024-2092.
BLD2024-2092	04/04/2025	Completed	\$3,107,566	Commercial	HOTEL GUESTROOMS & CORRIDORS RENOVATION INTERIOR FINISH RENOVATION, PAINTING, CARPET & GUESTROOMS FURNITURE REPLACEMENT NOC REQUIRED ***IF FURNITURE IS INCLUDED IN JOB VALUATION IT SHOULD BE REMOVED FOR A MORE ACCURATE SUBSTANTIAL IMPROVEMENT ANALYSIS ZP***
BLD2024-2106	10/31/2024	Completed	\$1,404,825	Commercial	Removal and replacement of existing ADA ramp, stairs, steps and pool deck that do not conform to codes pertaining to required slopes. Rework and replacement of same to conform with codes. Scope of work includes new site amenities such as synthetic turf and sun shades.
BLD2024-2116	10/31/2024	Completed	\$1,469,272	Commercial	Interior renovation of public areas including; paint, carpet, new furniture, select flooring and wall finishes, public restroom fixture replacement, replacement of decorative light fixtures and relocation of a portion of wall in the ballroom.
BLD2021-1722	08/24/2021	Completed	\$24,222	Commercial	REROOF - TORCH APPLIED PORTE OF COCHERE - DOUBLE TREE HOTEL. PORT OF COCHERE - 875 SQUARE FEET. **NOC RECEIVED W/THE APPLICATION
BLD2019-3237	09/11/2019	Completed	\$59,165	Commercial	This is direct replacement of existing "failing" equipment-removal and replacement of 25 water source heat pumps. Original equipment manufacture -Florida Heat Pump. New equipment manufactured by Trane.
18-2683	08/06/2018	Completed	\$616,000	Commercial	REPLACE EXTERIOR DOORS IN 216 ROOMS
17-1822	05/16/2017	Completed	\$335,726	Commercial	TEAR OFF 26, 974 SF EXISTING MODIFIED BITUMEN DOWN TO THE EXISTING LIGHTWEIGHT INSULATING CONCRETE AND INSTALL GAF FLEECE BACK ADHERED DIRECTLY TO THE LIGHTWEIGHT CONCRETE W/BONDING ADHESIVE.
17-0000935	03/08/2017	Expired	\$4,200	Commercial	CHANGE OUT ONE TWO TON CONDENSER UNIT LOCATED ON ROOF. UNIT BEING INSTALLED IN EXACT SAME PLACE AS OLD ONE. NOC EXEMPT.
16-00003692	10/07/2016	Completed	\$16,000	Commercial	RELOCATING AND EXTENDING EXISTING DRYER EXHAUST SYSTEML ADDING IN-LINE EXHAUST FAN (INTER WORK ONLY).
16-2669	07/07/2016	Expired	\$19,000	Commercial	REMOVE AND INSTALL 10 TON A/C AIR HANDLER
15-1922	09/21/2015	Completed	\$3,583,225	Commercial	REVISION #1. PERMIT PLANS CALL FOR NEW STORE FRONT SLIDING DOORS AT BUILDING ENTRY.
15-3167	07/31/2015	Completed	\$10,600	Commercial	PUBLIC SPACE: BATHROOM: INSTALL NEW FLOOR DRAIN (X1). GUESTROOM BATH: REMOVE AND REINSTALL NEW TUB SAME LOCATION (X137). REMOVE TUB INSTALL NEW SHOWER: SHOWER PANS (X61). SHOWER VALVES (X61)
15-2946	07/24/2015	Expired	\$21,000	Commercial	INSTALLATION OF BOXES, DEVICES, CONDUIT, CABLING FOR GUESTROOM, LOBBY AND BAR AREA VOICE/DATA: POS: AND TV REMODEL.
15-2948	07/23/2015	Expired	\$267,000	Commercial	INSTALLATION OF BOXES, DEVICES, COVERS, FIXTURES, BRANCH CIRCUITRY, OVER CURRENT PROTECTION FOR REMODEL OF GUESTROOM, LOBBY,BUFFET, FOOD SERVICE AREA AND CORRIDORS.
13-0394	03/05/2013	Completed	\$2,000	Commercial	INSTALL TWO (2) HANDICAP LIFTS BY POOL
13-0762	02/26/2013	Completed	\$1,000	Commercial	EQUIPMENT BONDING FOR BATTERY OPERATED POOL AND SPA LIFTS.
11-0995	03/25/2011	Completed	\$950	Commercial	REPLACE UNDERGROUND GAS LINE GOING TO BUILDING; DIG TRENCH ACROSS ROAD AND BURY LINE; RUN 1 1/4" GALV PIPE TO EXISTING SYSTEM
11-0513	02/16/2011	Completed	\$1,250	Commercial	INSTALL TWELVE (12) DUPLEX RECEPTACLES OUTLETS. 100 LN FT
11-0514	02/16/2011	Completed	\$500	Commercial	INSTALL TEN (10) INTERNET PHONE OUTLETS LOCATION (NEAR FRONT DESK ONLY)
10-0000040	01/22/2010	Completed	\$8,000	Commercial	ADD 9 HEAT DETECTORS, 4 CO DETECTORS, 1 GAS DETECTOR TO GAS DETECTOR TO FIRE ALARM SYSTEM IN GARAGE.
09-3857	11/09/2009	Completed	\$1,200	Commercial	INSTALL 4 POOL LIGHT J- BOXES. REPAIR POOL WIRING FOR THE J BOLTS
09-3354	09/30/2009	Completed	\$32,000	Commercial	RESURFACE POOL, TILE WORK ONLY
07-5278	12/05/2007	Completed	\$500	Commercial	INSTALL ONE VOICE & ONE DATA LINE FIRM TELECOM TO MAINTENANCE OFFICE
07-5279	12/05/2007	Completed	\$2,000	Commercial	REPLACE BULBS AND FIXTURE HOODS ON EXISTING LANDSCAPE LIGHTING
07-5193	11/28/2007	Completed	\$2,400	Commercial	RAISE MANHOLE COVER 2" TO BE AT ASPHALT LEVEL FOR STORM SEWER
07-4187	09/05/2007	Completed	\$2,150	Commercial	EMERGENCY WORK REPLACE 1 225 KVA TRANSFORMER
07-4159	09/04/2007	Completed	\$5,000	Commercial	CHANGE DESCRIPTION OF WORK TO 6"
07-4155	08/31/2007	Completed	\$2,500	Commercial	INSTALL MODIFIED RUBBER TO CRICKET 6 SQS
07-1070	03/05/2007	Completed	\$35,000	Commercial	INSTALLATION OF WATER & GAS PIPING ON EAST BOILERS FROM OLD LOCATION O NEW
07-0712	02/14/2007	Completed	\$7,300	Commercial	RELOCATE FEEDER FOR PUMP STATION TO NEW TRANSFORMER
07-0632	02/13/2007	Completed	\$5,500	Commercial	RE-ROOF PENETRATIONS WHERE BOILER EQUIPMENT IS
07-0690	02/13/2007	Completed	\$6,000	Commercial	INSTALL ELECTRIC ON ROOF FOR 3 BOILERS
07-0692	02/13/2007	Completed	\$7,000	Commercial	INSTALL CONDUIT FOR CO DETECTORS TO FIRE PANEL
07-0394	01/25/2007	Completed	\$20,000	Commercial	MOVE BOILERS TO ROOFAND DENMO TO EXISTING BOILERS
05-3530	08/19/2005	Completed	\$0	Commercial	REPAIR CONCRETE WALL DAMAGED BY AUTO
04-0137	06/09/2004	Completed	\$2,200	Commercial	TEMP TRAILER
03-4107	06/08/2004	Completed	\$790,000	Commercial	MEETING RM ADDITION 77X64
04-0050	01/15/2004	Completed	\$450	Commercial	TEMP ELECTRIC FOR SOUTHSIDE OF BUILDING
02-1382	11/07/2002	Completed	\$19,000	Commercial	ASPHALT
01-3229	09/24/2001	Completed	\$1,000	Commercial	DEDUCT METER
00-2605	10/03/2000	Completed	\$17,000	Commercial	INSTALL PREFAB WOOD BRIDGE.
00-2836	10/03/2000	Completed	\$0	Commercial	INSTALL ELECTRIC FOR GATE OPENING & INTERCOM.
00-2836	10/03/2000	Completed	\$4,000	Commercial	INSTALL NEW 16" COLUMNS & GATES AT ENTRY WAY, NEW CONCRETRE COLUMNS STUCCO, PAINT.

Number	Date Issued	Status	Amount	Permit Type	Notes
00-2933	09/19/2000	Completed	\$0	Commercial	INSTALL CIRCUITS FOR LAUNDRY EQUIPMENT.
00-2934	09/19/2000	Completed	\$8,295	Commercial	SECURITY SHUTTERS
00-2892	09/15/2000	Completed	\$0	Commercial	INSTALL 6 NEW FIXTURES, 4 LAUNDRY WASHERS, 1 WATER HEATER, 1 SINK.
00-1399	06/29/2000	Completed	\$0	Commercial	CHANGE OF CEILING GRID AND LIGHTING PLAN.
00-1285	05/12/2000	Completed	\$159,000	Commercial	POOL & SPA
99-3699	11/18/1999	Completed	\$50,000	Commercial	POOL AND SPA
98-2881	07/12/1999	Completed	\$49,575	Commercial	INSTALL 48-2TON A/C'
99-0767	03/03/1999	Completed	\$1,000	Commercial	INSTALL TWO TEMPORY SERVICES
99-0664	02/25/1999	Completed	\$9,999,999	Commercial	NEW HOTEL - \$10,150,000
99-0261	01/25/1999	Completed	\$250	Commercial	INSTALL A TEMPORY TRAILER FOR 120 DAYS
98-2898	09/17/1998	Completed	\$1,000	Commercial	BUILD POOL & POOL HOUSE
98-2879	09/16/1998	Completed	\$2,490,000	Commercial	BUILDING II. 48 UNITS.FIVE STORY BUILDING 4 FLOORS LIVING OVER PARKING
98-2880	09/16/1998	Completed	\$2,490,000	Commercial	BUILDING III. 48 UNITS ONE 5STORY BUILDING 4 FLOORS LIVING OVER PARKING
98-2898	07/16/1998	Completed	\$2,490,000	Commercial	BUILD BUILDING IV. 48 TIMESHARES
97-3739	01/28/1998	Completed	\$9,999,999	Commercial	NEW HOTEL - \$10,150,000
97-4006	12/09/1997	Completed	\$12,000	Commercial	SITE WORK
97-3387	11/17/1997	Completed	\$3,900,000	Commercial	BUILD 5-STORY BUILDING

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)

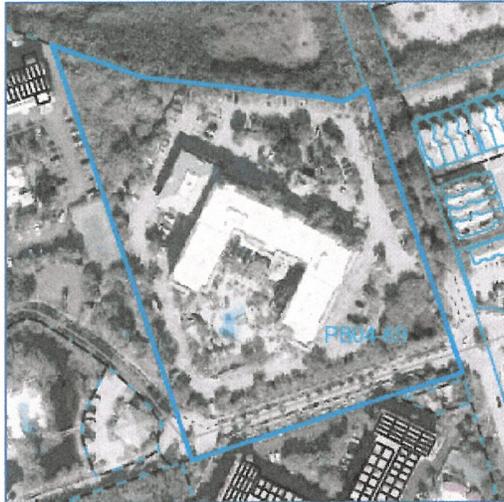


Photos



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Map



TRIM Notice

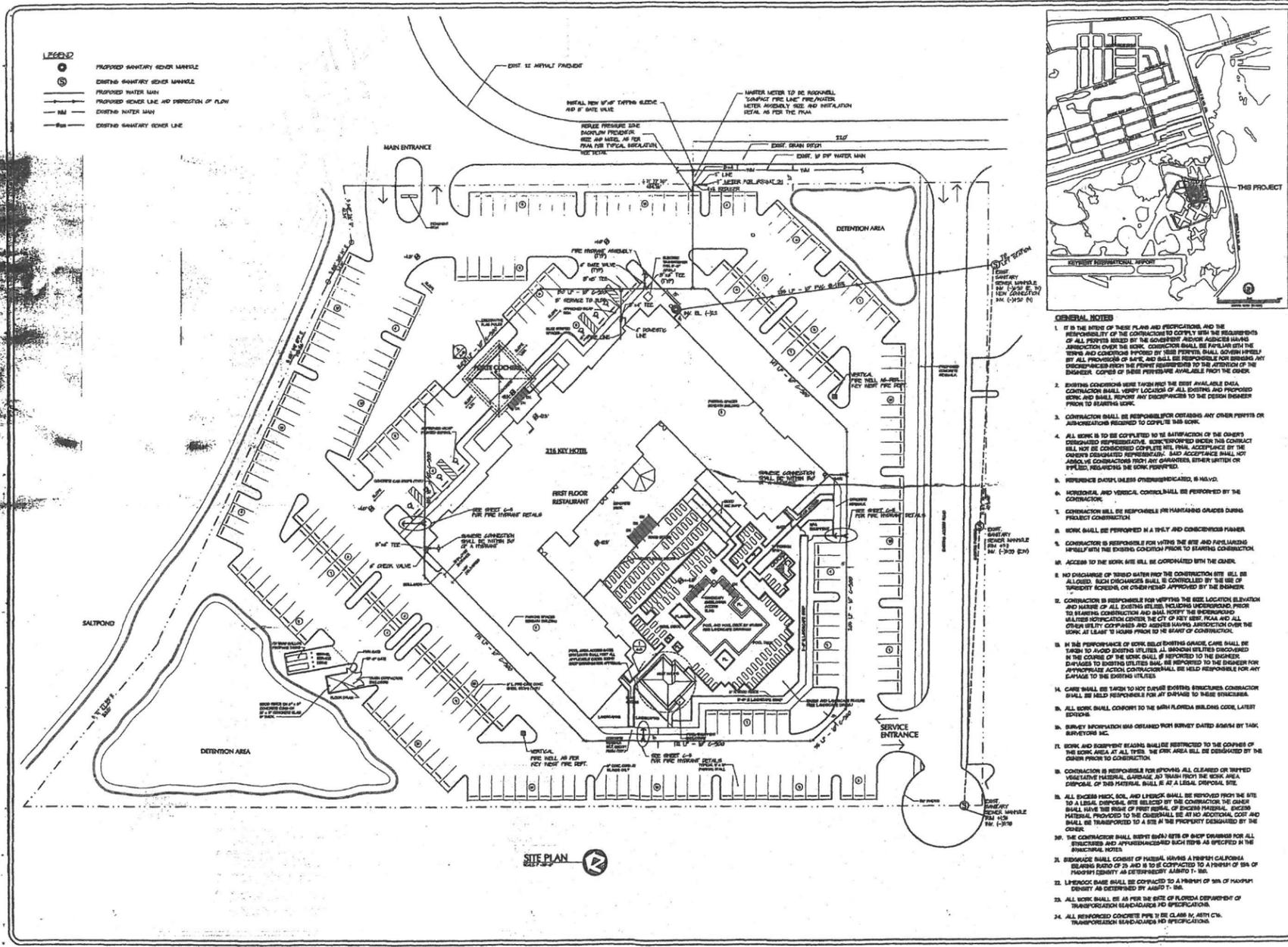
[2025 TRIM Notice \(PDF\)](#)

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

[User Privacy Policy](#) | [GDPR Privacy Notice](#)  
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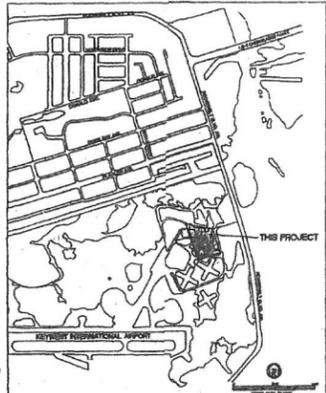
Contact Us





**LEGEND**

- PROPOSED SANITARY SEWER MANHOLE
- ⊙ EXISTING SANITARY SEWER MANHOLE
- PROPOSED WATER MAIN
- PROPOSED SEWER LINE AND DIRECTION OF FLOW
- FM EXISTING WATER MAIN
- EXISTING SANITARY SEWER LINE



- GENERAL NOTES**
1. IT IS THE INTENT OF THESE PLANS AND SPECIFICATIONS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE REQUIREMENTS OF ALL PERMITS ISSUED BY THE GOVERNMENT AND/OR AGENCIES HAVING JURISDICTION OVER THE WORK. CONTRACTOR SHALL BE FAMILIAR WITH THE TERMS AND CONDITIONS PREVIOUS BY SUCH PERMITS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE AGENCIES.
  2. EXISTING CONDITIONS WERE TAKEN FROM THE BEST AVAILABLE DATA. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING AND PROPOSED WORK, AND SHALL REPORT ANY DISCREPANCIES TO THE DESIGN ENGINEER PRIOR TO BEGINNING WORK.
  3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY OTHER PERMITS OR APPROVALS REQUIRED TO COMPLETE THIS WORK.
  4. ALL WORK IS TO BE COMPLETED TO THE SATISFACTION OF THE OWNER'S DESIGNATED REPRESENTATIVE. UNLESS OTHERWISE SPECIFIED IN THIS CONTRACT, ALL WORK SHALL BE CONSIDERED COMPLETE UPON FINAL ACCEPTANCE BY THE OWNER'S DESIGNATED REPRESENTATIVE. SUCH ACCEPTANCE SHALL NOT IMPLY OR CONSTITUTE ANY GUARANTEE, EITHER WRITTEN OR IMPLIED, REGARDING THE WORK PERFORMED.
  5. REFERENCES UNLESS OTHERWISE INDICATED, IS HAVING.
  6. HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE CONTRACTOR.
  7. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING GRADES DURING PROJECT CONSTRUCTION.
  8. WORK SHALL BE PERFORMED IN A THY AND CONSCIENTIOUS MANNER.
  9. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE SITE AND ADJACENT AREAS WITHIN THE EXISTING CONDITION PRIOR TO BEGINNING CONSTRUCTION.
  10. ACCESS TO THE WORK SITE SHALL BE COORDINATED WITH THE OWNER.
  11. NO DISCHARGE OF WASTE WATER FROM THE CONSTRUCTION SITE SHALL BE ALLOWED. SUCH DISCHARGE SHALL BE CONTROLLED BY THE USE OF TURBIDITY SCREENS OR OTHER MEANS APPROVED BY THE ENGINEER.
  12. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXISTING LOCATION, ELEVATION AND DEPTH OF ALL EXISTING UTILITIES INCLUDING UNDERGROUND, PRIOR TO STARTING CONSTRUCTION AND SHALL NOTIFY THE ENGINEER IMMEDIATELY IN WRITING OF ANY DISCREPANCIES. CONTRACTOR SHALL NOT ALTER OR DAMAGE EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
  13. IN THE PERFORMANCE OF WORK, EXISTING GRADES, CARE SHALL BE TAKEN TO AVOID DAMAGING UTILITIES. ALL UNKNOWN UTILITIES DISCOVERED IN THE COURSE OF THE WORK SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY IN WRITING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
  14. CARE SHALL BE TAKEN TO NOT DAMAGE EXISTING STRUCTURES. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO THESE STRUCTURES.
  15. ALL WORK SHALL CONFORM TO THE FLORIDA BUILDING CODE, LATEST EDITION.
  16. SURVEY INFORMATION WAS OBTAINED FROM SURVEY DATED 08/04/04 BY TANK SURVEYORS INC.
  17. WORK AND ADJACENT AREAS SHALL BE RESTRICTED TO THE OWNER'S DESIGNATED REPRESENTATIVE AT ALL TIMES. THE WORK AREA SHALL BE DEMARCAED BY THE OWNER PRIOR TO CONSTRUCTION.
  18. CONTRACTOR IS RESPONSIBLE FOR APPROVAL ALL CLEARED OR TRIPPED MATERIALS, EXCESS MATERIAL, GARBAGE AND TRASH FROM THE WORK AREA. DISPOSAL OF THIS MATERIAL SHALL BE AT A LEGAL DISPOSAL SITE.
  19. ALL EXCESS MUCK, SOIL, AND SPILLAGE SHALL BE REMOVED FROM THE SITE TO A LEGAL DISPOSAL SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REMOVAL OF EXCESS MATERIAL. EXCESS MATERIAL, PROVIDED TO THE OWNER, SHALL BE AT NO ADDITIONAL COST AND SHALL BE TRANSPORTED TO A SITE AT THE PROPERTY DESIGNATED BY THE OWNER.
  20. THE CONTRACTOR SHALL SUBMIT (S) SETS OF SHOP DRAWINGS FOR ALL STRUCTURES AND APPROPRIATELY SIGNED AND SEALED BY THE CONTRACTOR.
  21. SIDEWALK SHALL CONSIST OF 4" MINIMUM THICKNESS 1500 PSI PORTLAND CEMENT CONCRETE WITH 1" MINIMUM REINFORCING BARS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SIDEWALK CONSTRUCTION AS DETERMINED BY AUSTIN T. SMITH.
  22. SIDEWALK SHALL BE CONSTRUCTED TO A FINISH OF 1" MINIMUM PORTLAND CEMENT CONCRETE WITH 1" MINIMUM REINFORCING BARS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SIDEWALK CONSTRUCTION AS DETERMINED BY AUSTIN T. SMITH.
  23. ALL WORK SHALL BE AS PER THE SITE OF FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
  24. ALL REINFORCED CONCRETE SHALL BE AS PER THE SITE OF FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

REVISION	DATE

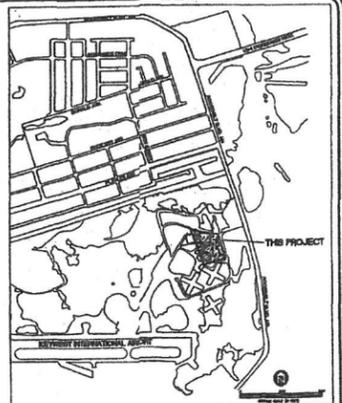
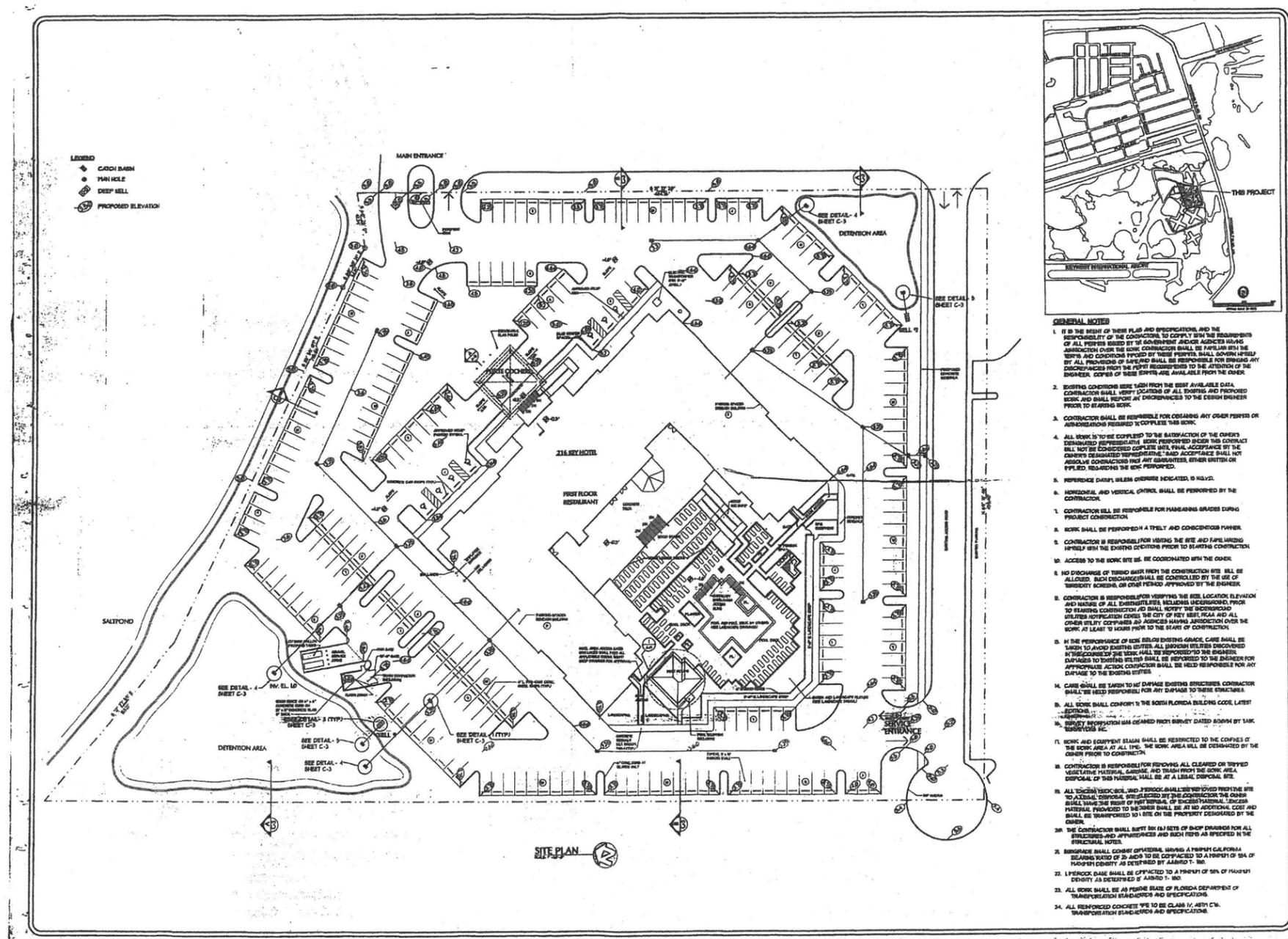
**WATER AND SEWER PLAN**

EAS ENGINEERING, INC.  
10000 W. BOULEVARD, SUITE 1000  
KEY WEST, FLORIDA 34290

KEY WEST MARriott  
KEY WEST, FLORIDA

FROM	AM
FILE NAME	202401
DATE	01/23/24
SCALE	AS SHOWN
DESIGNED BY	
CHECKED BY	
DATE	

ADV 1549



- GENERAL NOTES**
- IT IS THE INTENT OF THESE PLANS AND SPECIFICATIONS, AND THE RESPONSIBILITY OF THE CONTRACTOR, TO COMPLY WITH THE REQUIREMENTS OF ALL ORDINANCES AND REGULATIONS OF THE CITY OF KEY WEST, FLORIDA, AND THE STATE OF FLORIDA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRINGING ANY CHANGES FROM THE CITY OF KEY WEST TO THE ATTENTION OF THE ENGINEER. COPIES OF THESE ORDINANCES ARE AVAILABLE FROM THE CITY.
  - EXISTING CONDITIONS WERE TAKEN FROM THE BEST AVAILABLE DATA. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING AND PROPOSED WORK AND SHALL REPORT ANY DISCREPANCIES TO THE DESIGN ENGINEER PRIOR TO STARTING WORK.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY OTHER PERMITS OR APPROVALS NECESSARY TO COMPLETE THIS WORK.
  - ALL WORK IS TO BE COMPLETED TO THE SATISFACTION OF THE OWNER'S DESIGNATED REPRESENTATIVE. WORK PERFORMED UNDER THIS CONTRACT SHALL NOT BE CONSIDERED COMPLETE UNTIL FINAL ACCEPTANCE BY THE OWNER'S DESIGNATED REPRESENTATIVE. SAID ACCEPTANCE SHALL NOT CONSTITUTE A GUARANTEE OR WARRANTY, EITHER WRITTEN OR IMPLIED, REGARDING THE WORK PERFORMED.
  - REFERENCE DATES, UNLESS OTHERWISE INDICATED, IS NAVEE.
  - HORIZONTAL AND VERTICAL CONTROL SHALL BE PERFORMED BY THE CONTRACTOR.
  - CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING SERVICES DURING PROJECT CONSTRUCTION.
  - WORK SHALL BE PERFORMED IN A TRIMLY AND CONSIDERATE MANNER.
  - CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE SITE AND FAMILIARIZING HIMSELF WITH THE EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
  - ACCESS TO THE WORK SITE IS TO BE COORDINATED WITH THE OWNER.
  - NO DISCHARGE OF TURBID WATER FROM THE CONSTRUCTION SITE WILL BE ALLOWED. SUCH DISCHARGES SHALL BE CONTROLLED BY THE USE OF TURBIDITY SCREENS, OR OTHER PERMITS APPROVED BY THE ENGINEER.
  - CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE SITE LOCATION, ELEVATION AND MATTERS OF ALL UTILITIES, INCLUDING RECORDS, PRIOR TO STARTING CONSTRUCTION. THE CITY OF KEY WEST, FLORIDA, AND ALL OTHER UTILITY COMPANIES AND AGENCIES HAVING JURISDICTION OVER THE WORK, AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
  - IN THE PERFORMANCE OF WORK BELOW EXISTING GRADE, CARE SHALL BE TAKEN TO AVOID EXISTING UTILITIES. ALL WORK SHALL BE PROTECTED IN THE COURSE OF THE WORK. SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. DAMAGE TO EXISTING UTILITIES SHALL BE REPORTED TO THE ENGINEER FOR APPROPRIATE ACTION. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING UTILITIES.
  - CARE SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING STRUCTURES. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO THESE STRUCTURES.
  - ALL WORK SHALL CONFORM TO THE SOUTH FLORIDA BUILDING CODE, LATEST EDITION.
  - PERMITS NECESSARY FOR THIS WORK SHALL BE OBTAINED FROM THE CITY OF KEY WEST, FLORIDA.
  - WORK AND EQUIPMENT STAYS SHALL BE RESTRICTED TO THE COPIES OF THE WORK AREA AT ALL TIMES. THE WORK AREA SHALL BE DEMARCADED BY THE CONTRACTOR.
  - CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL CLEARED OR TRIPPED VEGETATION, MATERIAL, GARBAGE, AND TRASH FROM THE WORK AREA. DISPOSAL OF THIS MATERIAL SHALL BE AT A LEGAL DISPOSAL SITE.
  - ALL EXISTING UTILITIES AND SERVICES SHALL BE PROTECTED THROUGHOUT THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND SERVICES. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES AND SERVICES. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES AND SERVICES.
  - CONTRACTOR SHALL MAINTAIN SIX (6) FEET OF CLEARANCE FROM ALL STRUCTURES AND APPROVED AND SHALL BE AS SPECIFIED IN THE STRUCTURAL NOTES.
  - REBAR SHALL BE CORROSION RESISTANT, MEETING A MINIMUM CORROSION RESISTANCE OF 20 ANS TO BE COMPLIANT TO A MINIMUM OF 50% OF HAZARDOUS CORROSION AS DETERMINED BY ASTM F 149.
  - SPRECCO DATE SHALL BE OFFICED TO A MINIMUM OF 50% OF HAZARDOUS CORROSION AS DETERMINED BY ASTM F 149.
  - ALL WORK SHALL BE AS PER THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
  - ALL REINFORCED CONCRETE WILL BE CLASS IV, WITH CIVIL TRANSPORTATION STANDARDS AND SPECIFICATIONS.

REVISION	DATE

**PAVING GRADING AND DRAINAGE**

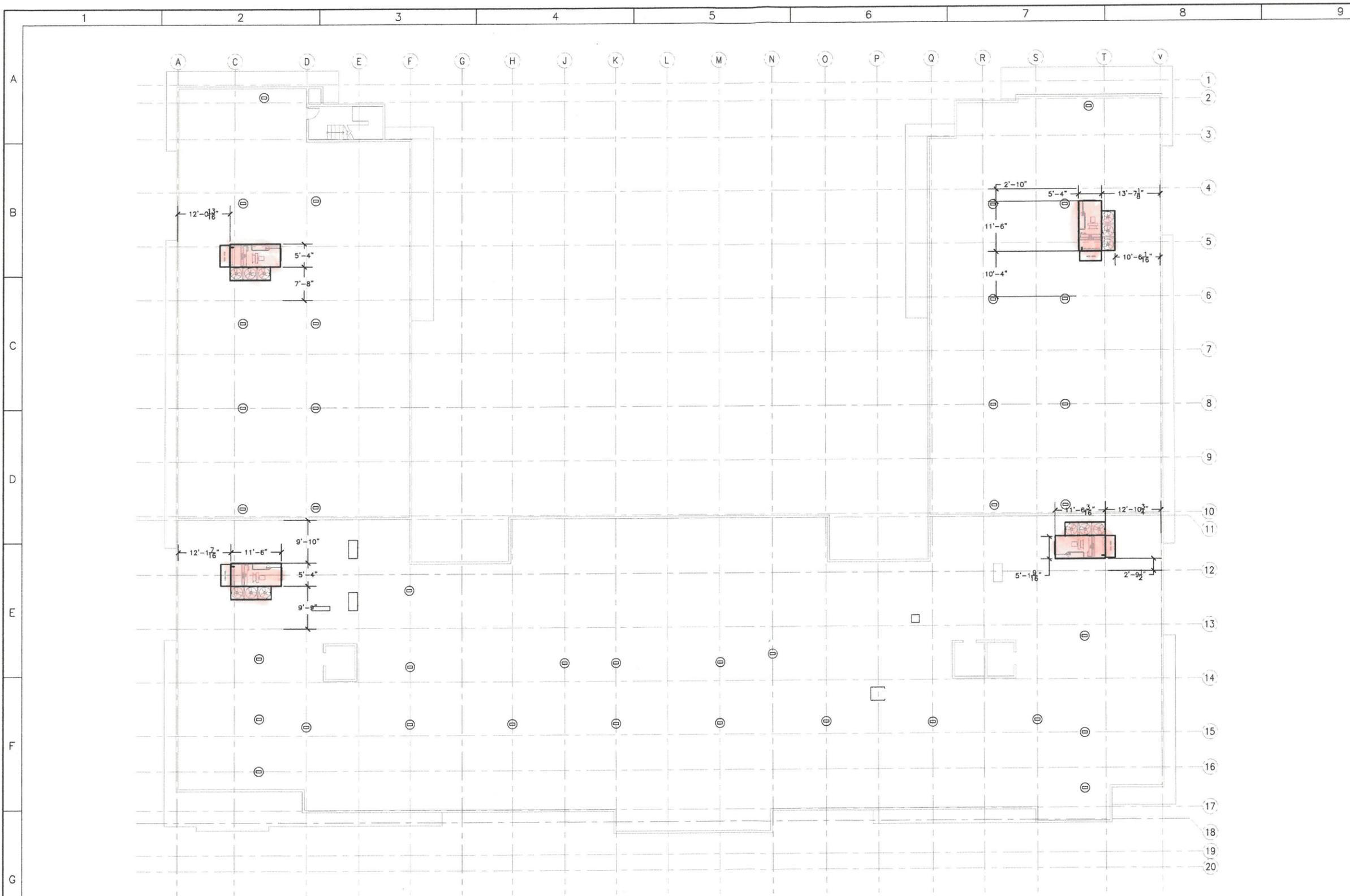
**EAS ENGINEERING, INC.**  
100 AIRWAY AVENUE, SUITE 200, KEY WEST, FLORIDA 34634

**KEY WEST MARPOTT**  
 KEY WEST, FLORIDA

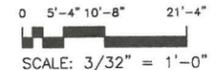
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JOB NO.  
2021  
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C-2  
OF 4 SHEETS

ADV 1547





**MECHANICAL NEW WORK GENERAL ARRANGEMENT-ROOF**



**GENERAL NOTES:**

1. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
2. COORDINATE WITH THE ROOFING COMPANY AND OBTAIN WRITTEN APPROVAL FROM THE ROOFING COMPANY FOR ANY WORK ASSOCIATED WITH THE ROOF IN ORDER TO ENSURE THAT THE ROOF WARRANTY IS NOT AFFECTED. CONTACT FOR ROOFING COMPANY - CENTIMARK CORPORATION: RICK LARSSON, E-MAIL: RICK.LARSSON@CENTIMARK.COM, PHONE: (410) 353-0215.

CUSTOMER

**DOUBLETREE RESORT BY HILTON HOTEL GRAND KEY - KEY WEST**  
3990 S ROOSEVELT BLVD., KEY WEST, FL 33040

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX THEIR PROFESSIONAL SEAL AND THE NOTATION ALTERED BY FOLLOWED BY THE LICENSEE'S SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

KEY PLAN

PROJECT NAME  
**VENTILATION SYSTEM UPGRADES**

0	09/18/2025	PERMIT SET
No.	DATE	REVISION

MEP ENGINEER

**netgains engineering p.c.**  
3000 MARCUS AVENUE, SUITE 1W08,  
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STRUCTURAL ENGINEER

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ARCHITECT

DOB EMPLOYEE STAMP

DRAWING TITLE:  
**MECHANICAL NEW WORK  
GENERAL ARRANGEMENT  
ROOF**

SCALE:

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THE DRAWINGS AND SPECIFICATIONS WHICH COMPRISE THE CONSTRUCTION DOCUMENTS FOR THIS PROJECT ARE IN COMPLIANCE WITH THE APPLICABLE CODES.

SEAL:	NETGAINS JOB No:
	DATE: 03-31-2025
	DRAWN BY: L.LARRAURI
	CHECKED BY: S.AJMERA
	DWG NUMBER: <b>M-305.00</b>
	CAD FILE NO. SHEET NO.



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# 3990 South Roosevelt Boulevard

Key West, FL 33040

Parcel ID: 00066180-000700

Overview   Records   Files

## Warnings

ⓘ Flood insurance requirement

## Flood info

Effective FIRM

Flood zone	AE
In Floodway	No
In CBRS	No
In OPA	No

Contributing Structures	-
Base Flood Elevation	8.0'
Design Flood Elevation ⓘ	9.0'
Datum	NGVD29
FIRM Panel Effective Date	2/18/2005
FIRM panel	12087C1517K
FEMA MSC Products	<a href="#">Link</a>
Initial FIRM date	9/3/1971
Pre or Post-FIRM	Post-FIRM

ⓘ **Disclaimer:** The determination shown above is for a given parcel, not for an individual structure. The final Base Flood Elevation or Design Flood Elevation may be subject to change based on updated FEMA FIRMs or local floodplain regulations. The data presented here is shown for informational purposes only and does not represent an official determination or compliance with local, state or federal floodplain regulations.

## Custom Layers

RLAA No

## Building info

NGVD29

Building diagram	5
Top of bottom floor	12.3'
Top of next higher floor	-
Bottom of the lowest horizontal structural member	-
Attached garage	-
Lowest elevation of machinery	-
Lowest adjacent grade	3.4'
Highest adjacent grade	4.8'
Lowest adjacent grade at deck or stairs	-

Lowest Floor Elevation

NFIP

Regulatory

12.3'

ⓘ Building attributes shown are from the most recent Elevation Certificate: 09-2004. Our Lowest Floor Elevations are determined using FEMA's Lowest Floor Guide. The determination may be impacted by surveyor errors within the Certificate. The information presented is for reference only and should be verified when used for regulation enforcement.

Parcel info

Parcel ID	00066180-000700
Structure year built	2000
Improvement value	\$30,549,229.00
Land value	\$43,641,756.00
Parcel value	\$50,592,550.00

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