

APPLICATION



VARIANCE AND AFTER THE FACT VARIANCE APPLICATION

CITY OF KEY WEST, FLORIDA • PLANNING DEPARTMENT

Address: 1300 White Street • Key West, Florida 33040

Phone: 305-809-3764

Website: www.cityofkeywest-fl.gov



Application Fee Schedule

Variance Application Fee	\$ 2,552.56
Advertising and Noticing Fee	\$ 358.87
Fire Department Review Fee	\$ 127.63
Total Application Fee	\$ 3,039.06

After the Fact Application Fee Schedule

After the Fact Variance Application Fee	\$ 5,105.13
Advertising and Noticing Fee	\$ 358.87
Fire Department Review Fee	\$ 127.63
Total Application Fee	\$ 5,591.63

Please read the following carefully before filling out the application

This application and all required attachments should be submitted to the City Planning Department at 1300 White Street.

- Owners and applicants are notified of their scheduled Planning Board hearing date.
- Attendance at the formal public hearing is mandatory.
- Notice of Public Meeting is published in the newspaper.
- Owners of property within 300 feet of the subject property or parcels are notified by mail.
- Notice of public hearing will be posted on the property and must be left up until after the hearing.
- Variances are quasi-judicial hearings, and it is improper to speak to a Planning Board and/or Board of Adjustment member about the variance outside of the hearing.

Application Process

- Prior to submittal, the applicant will schedule a pre-application meeting with staff to review the application and suggest any modifications that may be necessary before submittal. A pre-application meeting is free of charge and should be the final step before submittal. To schedule a pre-application meeting, please call the Planning Department at (305) 809-3764.
- After submittal, the application will be reviewed by staff and additional modifications to the site plan may be necessary at that time. Any modifications within eight (8) days of the scheduled Planning Board meeting may result in the item being postponed till the following Planning Board meeting.
- The applicant will be responsible for submitting a landscape approval letter from the Urban Forestry Program Manager and a Stormwater approval letter from the Director of Engineering.
- **When the application is determined to be complete**, it will be brought forth to the Planning Board. If the application is approved, there is a 10-day appeal period.
- After the 10-day appeal period, the application will be sent to the Department of Environmental Opportunity (DEO) for rendering. The rendering period is 45 days.

Please include the following with this application:

1. A copy of the most recent warranty deed with the Book and Page numbers from the office of the Clerk of Circuit Court for Monroe County containing a legal description of the subject parcel. The application forms must be signed by all owners listed on the deed. For business/corporate ownership, please attach authorization for name of executive authorized to make the application.
2. An application fee is determined according to the attached fee schedule. Make the check payable to the City of Key West and include the site address on the memo portion of the check. Be advised that upon review by the Planning Department, additional or fewer variances may be required necessitating a different fee.
3. Sign and Sealed site plan(s) of the subject site, indicating the following:
 - a. **Existing and proposed** lot coverage including buildings, pools, spas, driveways and other walkways, patios, porches, covered areas, and decks.
 - b. Location and identification/names of existing trees of 3.5 inches diameter or greater on the property or extending over the proposed work (including access routes and stormwater areas). Please provide photos.
 - c. All proposed changes to what exist, including those which make the variance(s) necessary.
 - d. Lot dimensions on all drawings and the distance from all property lines of all existing and proposed structures.
 - e. Dimensions (**existing and proposed**) of all the items in (a) above, including the height and number of stories of the structure.
 - f. Parking spaces and dimensions (**existing and proposed**).
 - g. Easements or other encumbrances on the property.
4. A survey of the property no more than ten years old
5. Elevation drawings or proposed structures, indicating finished height above established grade as measured from crown of road
6. Floor Plans of existing and proposed development
7. Stormwater management plan
8. PDF version of application and all required materials submitted to the Planning Department

The attached Verification and Authorization Forms must be notarized. This can be done at City Hall or the Planning Department. Identification is required. An out-of-state notarization is acceptable, if necessary.

Make sure that the applicable application and authorization forms are signed by all people listed as owners on the recorded Warranty Deed.

Be advised that the City will not grant a variance unless the City Impact Fees of sewer and solid waste services are paid in full.

For assistance, please call the Planning Department at (305) 809-3764.



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Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3764.

PROPERTY DESCRIPTION:

Site Address: 1605 Bahama Dr., Key West, FL 33040

Zoning District: Single Family

Real Estate (RE) #: 00070270-000000

Property located within the Historic District?

☐ Yes

☒ No

APPLICANT:

☐ Owner

☒ Authorized Representative

Name: Smith Hawks, PL

Mailing Address: 138 Simonton St.

City: Key West

State: FL

Zip: 33040

Home/Mobile Phone: 305-296-7227

Office: _____

Fax: _____

Email: aj@smithhawks.com

PROPERTY OWNER: (if different than above)

Name: Patsy Castro Living Trust

Mailing Address: 1605 Bahama Dr.

City: Key West

State: FL

Zip: 33040

Home/Mobile Phone: 305-797-8509

Office: _____

Fax: _____

Email: fsu2622@aol.com

Description of Proposed Construction, Development, and Use:

Reenforcement of existing porch roof and columns

List and describe the specific variance(s) being requested:

Side setback

Are there any easements, deed restrictions or other encumbrances attached to the property? ☐ Yes ☒ No

If yes, please describe and attach relevant documents: _____

Will any work be within the dripline (canopy) of any tree on or off the property? ☐ Yes ☒ No
If yes, provide date of landscape approval, and attach a copy of such approval.

Is this variance request for habitable space pursuant to Section 122-1078? ☐ Yes ☒ No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. *provide square footages and percentages.*

Site Data Table See Site Plan

	Code Requirement	Existing	Proposed	Variance Request
Zoning				
Flood Zone				
Size of Site				
Height				
Front Setback				
Side Setback				
Side Setback				
Street Side Setback				
Rear Setback				
F.A.R				
Building Coverage				
Impervious Surface				
Parking				
Handicap Parking				
Bicycle Parking				
Open Space/ Landscaping				
Number and type of units				
Consumption Area or No. of seats				

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at http://www.municode.com/Library/FL/Key_West under Subpart B.

***Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.**

Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met: Please print your responses.

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures, or buildings in the same zoning district.

The porch has existed since at least 1985, and it is proposed to be improved in same 3D envelope.

Applicant has been paying taxes on the improvement value of the of the porch since at least 1992, as evidenced by the 1992 Property Appraiser Property Record Card provided. No site statistic is being altered.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

The roof on existing porch was damages with holes. Conditions requiring improvement were not created by Applicant.

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings, or structures in the same zoning district.

The granting of the variance will nnot grant any special privileges.

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

Our position is that the literal interpretation of the land development regulations would not require a variance for the improvements to the porch that has existed since at least 1985.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

Only the minimum variance is requested to allow the improvement of the porch.

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

The granting of the variance will not be injurious to the public welfare.

7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Existing nonconforming uses at other properties shall not be considered as the basis for approval.

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

REQUIRED SUBMITTALS: All of the materials listed below must be submitted in order to have a complete application. Applications will not be processed until all materials are provided. Please submit one (1) paper copy of the materials to the Planning Department and one (1) electronic version in PDF format.

- ☒ Correct application fee, made payable to "City of Key West."
- ☐ Pre-application meeting form *N/A - Several meetings*
- ☒ Notarized verification form signed by property owner or authorized representative. *Tab A*
- ☒ Notarized authorization form signed by property owner, if applicant is not the owner. *Tab A*
- ☒ Copy of recorded warranty deed *Tab B*
- ☒ Monroe County Property record card *Tab C*
- ☒ Signed and sealed survey (Survey must be within 10 years from submittal of this application) *Tab D*
- ☒ Sign and sealed site plan (sign and sealed by an Engineer or Architect) *Tab E*
- ☐ Floor plans *N/A - Exterior*
- ☒ Any additional supplemental information necessary to render a determination related to the variance request
- ☒ Aerial photo from 1985 *Tab F*
- ☒ Recent Aerial photo showing hole in porch roof *Tab G*
- ☒ 1992 Monroe County Property Appraiser Property Record Card showing porch dimensions *Tab H*

SITE PLAN

1605 BAHAMA - EXTERIOR PORCH REPAIRS

AREA WITHIN PROJECT SCOPE

SCOPE OF WORK:
REPLACEMENT OF EXISTING PORCH ROOF & COLUMNS

PROJECT LOCATION:
1605 BAHAMA DR.
KEY WEST, FL 33040

LEGAL DESCRIPTION:
LT 15 AMENDED PLAT OF RIVIERA SHORES-FIRST
ADDN PB5-88 OR584-917

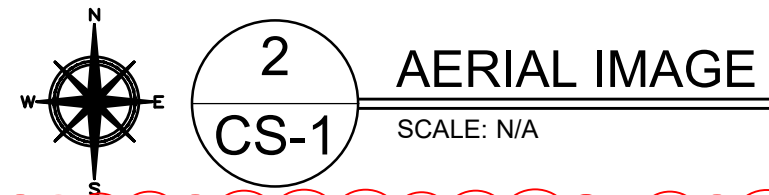
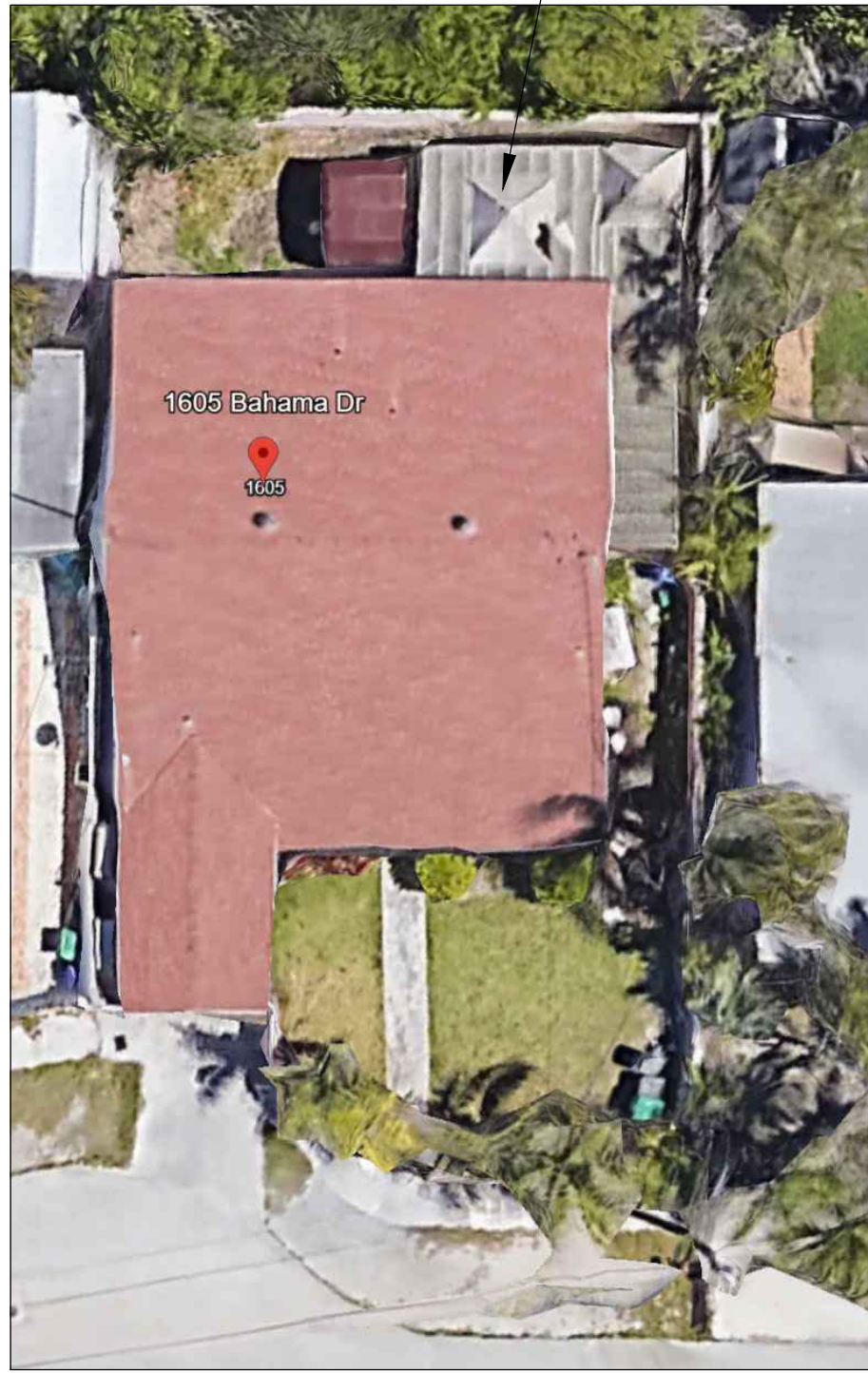
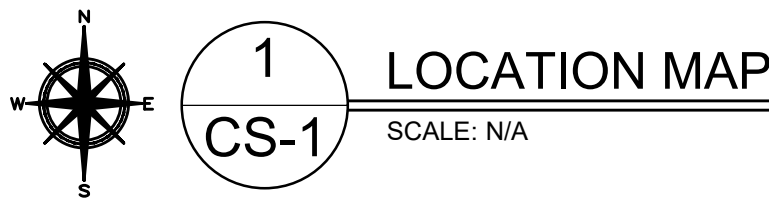
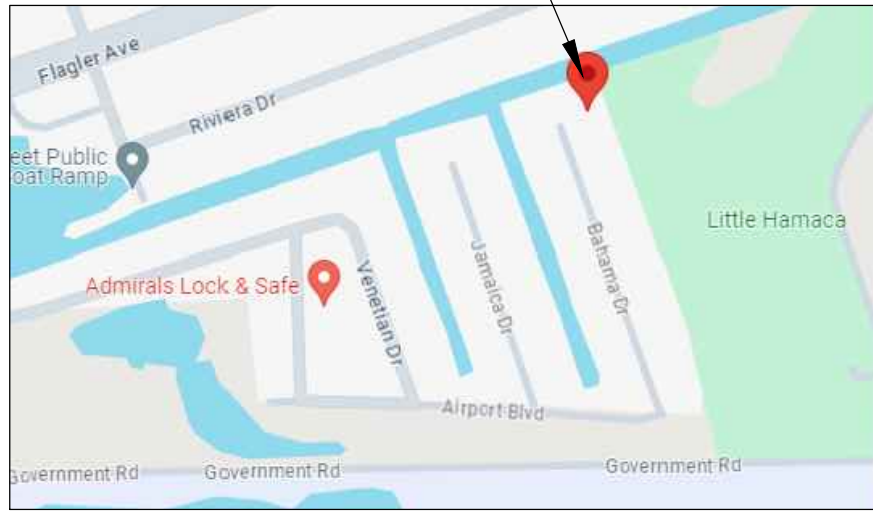
SEC/TWP/RANGE:
04/68/25

FLOOD CRITERIA:
FLOOD ZONE - AE-8
BASED UPON N.G.V.D. 1929

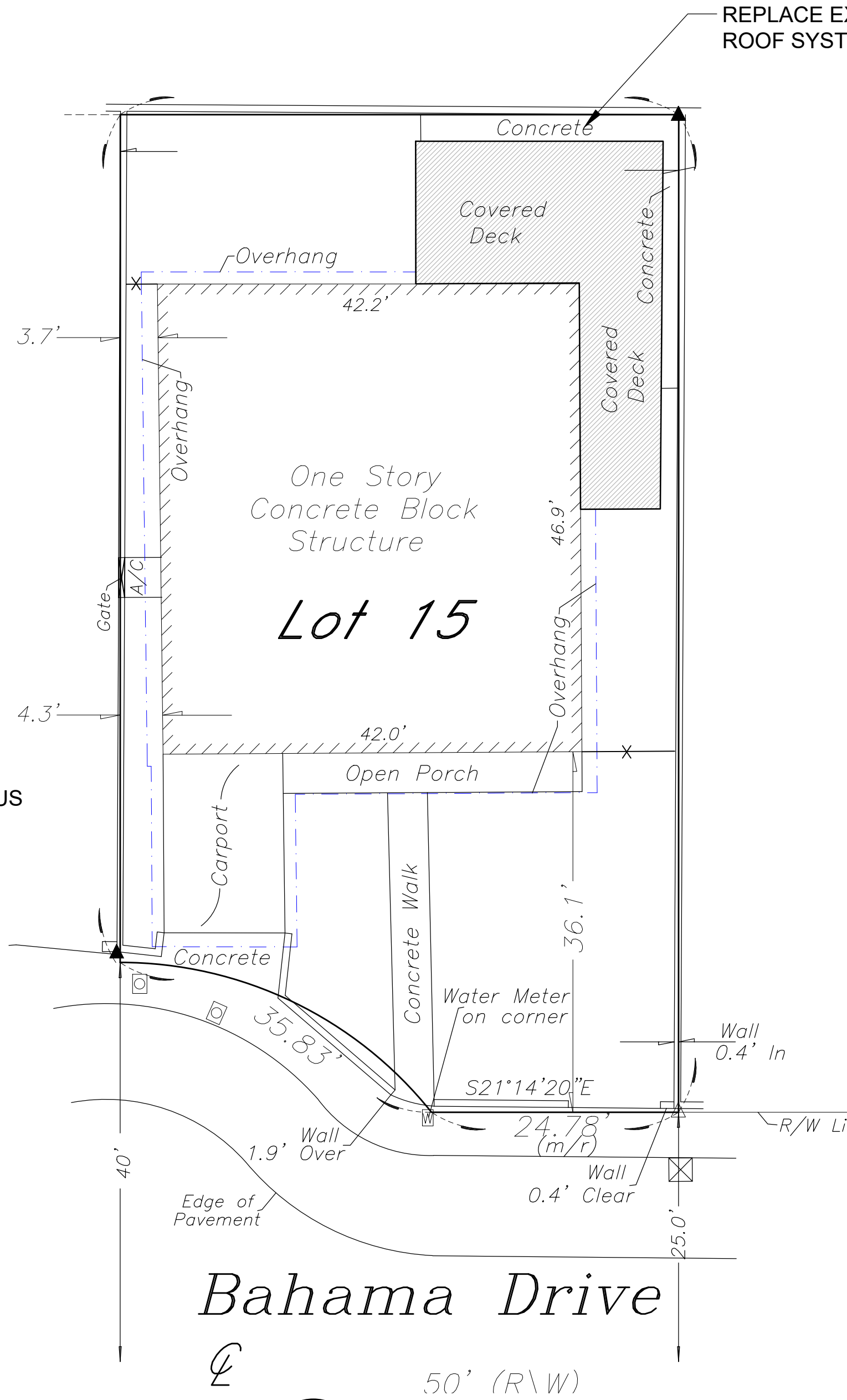
SHEET LIST:
CS-1 COVER SHEET & SITE PLAN
S-1 STRUCTURAL PLAN

GENERAL NOTES:
CONTRACTOR TO NOTIFY ENGINEER OF ANY
FIELD CHANGES OR UNFORSEEN CONDITIONS.
ALL WORK TO BE PERFORMED IN ACCORDANCE
WITH APPLICABLE CODES.

IMAGE SHOWS PREVIOUS
COVERED PORCH



SITE DATA TABLE				
	CODE REQUIREMENT	ORIGINAL	PROPOSED	COMMENTS
ZONING		SF		N/A
FLOOD ZONE		AE-8		N/A
SIZE OF SITE		5,277		N/A
FRONT SETBACK	30'-0"	1'-8"	1'-8"	NO CHANGE
SIDE SETBACK A	5'-0"	2'-2"	2'-2"	NO CHANGE
SIDE SETBACK B	5'-0"	1'-7"	1'-7"	NO CHANGE
REAR SETBACK	25'-0"	2'-8"	2'-8"	NO CHANGE
BUILDING COVERAGE	35%	53%	53%	NO CHANGE
IMPERVIOUS SURFACE	50%	58%	58%	NO CHANGE
OPEN SPACE/LANDSCAPING	35%	42%	42%	NO CHANGE
BUILDING HEIGHT (FROM CROWN)	25'	16'-8"	16'-8"	NO CHANGE
PORCH HEIGHT (FROM CROWN)	25'	9'-9"	9'-9"	NO CHANGE



3 SITE PLAN
SCALE: 3/32" = 1'

ORIGINAL COVERAGES		PROPOSED COVERAGES	
BUILDING			
MAIN HOUSE	1,982 SF	MAIN HOUSE	1,982 SF
REAR COVERED PORCH	538 SF	REAR COVERED PORCH	538 SF
FRONT COVERED PORCH	63 SF	FRONT COVERED PORCH	63 SF
CARPORT	216 SF	CARPORT	216 SF
TOTAL	2,799 SF 53.0%	TOTAL	2,799 SF 53.0%
IMPERVIOUS			
STRUCTURES	2,799 SF	STRUCTURES	2,799 SF
FRONT PORCH/WALK	175 SF	FRONT PORCH/WALK	175 SF
CONCRETE DRIVE	68	CONCRETE DRIVE	68 SF
AC PAD	15	AC PAD	15 SF
TOTAL	3,057 SF 57.9%	TOTAL	3,057 SF 57.9%

GENERAL CONSTRUCTION NOTES

GENERAL REQUIREMENTS
1. PRIOR TO STARTING ANY WORK THE CONTRACTOR SHALL REVIEW THESE PLANS AND SITE CONDITIONS AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
2. QUALITY OF THE WORK SHALL MEET OR EXCEED INDUSTRY STANDARD PRACTICES.
3. ANY DEVIATIONS FROM THESE PLANS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.

DESIGN DATA
APPLICABLE CODES: FLORIDA BUILDING CODE (2023), ANSI/APSP/ICC-5 2011, NFPA 70 (NEC), ASCE 24-14 FLOOD RESISTANT DESIGN AND CONSTRUCTION, ACI 318 LATEST EDITION AND ACI 301, AND ALL REFERENCED STANDARDS.

DESIGN LOADS: PER ASCI/SEI 7-16
FLOOR LIVE LOAD 40 PSF
ROOF LIVE LOAD 20 PSF (300 LB CONC.)
BASIC WIND SPEED 180 MPH
EXPOSURE C
STRUCTURAL CAT II

ALL PRESSURES SHOWN ARE BASED ON ASD DESIGN, WITH A LOAD FACTOR OF 0.6

SOILS AND FOUNDATIONS
PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS ARE USED IN LIEU OF A COMPLETE GEOTECHNICAL EXPLORATION. FOUNDATIONS SHALL BE PLACED ON A "SEDIMENTARY AND FOLIATED ROCK" WITH AN ALLOWABLE LOAD BEARING PRESSURE OF 2,000 PSF. NOTIFY THE ENGINEER IF SOIL CONDITIONS ARE DIFFERENT. ADDITIONALLY:

1. ALL FOUNDATIONS, SLABS AND FOOTERS SHALL BE PLACED ON STABILIZED UNDISTURBED SUBGRADE SOIL.
2. MINIMUM FOUNDATION DEPTH SHALL BE 24" UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. IF OVER-EXCAVATED - FILL SHALL NOT BE PLACED BACK INTO THE TRENCH UNLESS APPROVED BY THE ENGINEER.
3. FILL UNDER THE FOUNDATIONS SHALL BE USED ONLY IF APPROVED BY THE ENGINEER. CLEAN FILL MATERIAL SHALL BE PLACED IN 6"-8" LAYERS AND COMPACTED TO 98% DENSITY USING THE MODIFIED PROCTOR TEST.
4. FILL MATERIAL SHALL BE CLEAN GRANULAR SAND OR LIMEROCK MIX WITHOUT ANY ORGANIC MATERIALS, CLAY, MUCK AND ROCKS LARGER THAN 4". BACKFILL SHALL NOT CONTAIN ANY WOOD OR CELLULOSE DEBRIS.

CONCRETE
1. CONCRETE FOR PILES SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 5000 PSI.
2. ALL CONCRETE ELEMENTS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE IS SHOWN ON THE PLANS.
3. ALL CAST-IN-PLACE CONCRETE SHALL BE CURED AND PROTECTED FROM OVERDRYING PER ACI 305R-10 "HOT WEATHER CONCRETING".
4. ALL EXPOSED EDGES SHALL HAVE 1/2" CHAMFERS.
5. NO COLD JOINTS ARE ALLOWED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
6. TESTING: ALL FIELD AND LABORATORY TESTING SHALL BE PERFORMED BY AN INDEPENDENT SPECIALIZED COMPANY, PER ACI AND ASTM REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL SCHEDULING, COORDINATION AND COST OF THE TESTING COMPANY. THE RESULTS SHOULD BE DELIVERED TO THE ENGINEER.
7. THREE (3) SAMPLES SHALL BE TAKEN AND TESTED EACH TIME. THE MINIMUM SAMPLING FREQUENCY:
A) EACH DAY OF CONCRETING FOR EVERY CONCRETE MIX
B) EVERY 50 CUBIC YARDS
C) EVERY 2000 SQ. FT. OF SLAB AREA
8. CAST-IN-PLACE AND PRECAST MEMBER ERECTION TOLERANCES SHALL BE AS SPECIFIED IN THE TABLE 8.2.2 OR IN SECTION 8.3 OF "PCI DESIGN HANDBOOK/SIXTH EDITION".

REINFORCEMENT
1. ALL REBAR SHALL BE DEFORMED CARBON-STEEL ASTM A615/A615M-13 GRADE 60 OR ASTM A1035 GRADE 100 (MMFX2) UNLESS OTHERWISE SPECIFIED ON THE PLANS.
2. ALL REQUIREMENTS FOR PLACEMENT, COVER, TOLERANCES, ETC. SHALL BE PER ACI 318-11.
3. ALL HOOKS AND BENDS SHALL BE FACTORY MADE UNLESS FIELD BENDS ARE APPROVED BY THE ENGINEER.
4. ONLY PLASTIC CHAIRS AND CENTRALIZERS SHALL BE USED FOR REBAR SUPPORT

HARDWARE
HARDWARE SHALL BE 304 STAINLESS STEEL OR BETTER OR ZMAX GALVANIZED FOR NON-EXPOSED SIMPSON PRODUCTS, UNLESS OTHERWISE SPECIFIED.

STRUCTURAL LUMBER
1. ALL WOOD MEMBERS SHALL MEET OR EXCEED REQUIREMENTS SPECIFIED IN "ANSI/AF&PA NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION" AND ALL REFERENCED STANDARDS.
2. ALL WOOD MEMBERS SHALL BE PRESSURE TREATED SOUTHER PINE NO2 OR GREATER, KILN DRIED AS SPECIFIED IN THE STANDARDS, UNLESS OTHERWISE SPECIFIED.
3. ALL WOOD MEMBERS EXPOSED TO EXTERIOR, IN DIRECT CONTACT WITH CONCRETE OR STEEL SHALL BE PRESSURE-TREATED (PT) UC3B GRADE PER AWWA STANDARDS.
4. ALL FIELD CUTS IN PT LUMBER SHALL BE TREATED ON SITE.
5. NAILING SHALL BE IN ACCORDANCE WITH FBC 7TH EDITION (2020). NAILS AND OTHER FASTENERS FOR PT WOOD SHALL BE STAINLESS STEEL OR ACQ APPROVED TREATED.
6. SHEATHING SHALL BE 3/4" CDX PLYWOOD SHEATHING GRADE, UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. USE 10D RING-SHANK NAILS WITH SPACING OF 4" O.C. ON ALL EDGES AND 6" O.C. IN THE FIELD.

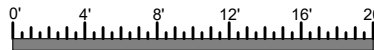
STRUCTURAL STEEL
1. STRUCTURAL STEEL COMPONENTS SHALL BE AS DESCRIBED IN "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" AISC 360 OR LATER EDITION.
2. HSS SHAPES (STRUCTURAL TUBING) SHALL BE ASTM A500 (FY=46 KSI).
3. STEEL PLATES, FLANGES AND MISCELLANEOUS ELEMENTS SHALL BE ASTM A36 (FY=36 KSI) UNLESS NOTED OTHERWISE ON THE PLANS.
4. W-SHAPES, C-SHAPES AND OTHER FORMED STEEL SHALL BE ASTM A992 (FY=50 KSI).
5. ALL WELDING SHALL BE IN CONFORMANCE WITH THE LATEST SPECIFICATIONS AWS D1.1/D1.1M:2010, STRUCTURAL WELDING CODE - STEEL.

STRUCTURAL STEEL COATING
1. ALL SURFACES SHALL BE ABRASIVE BLAST CLEANED TO NEAR-WHITE METAL (PER SSPC-SP10)
2. NON-EXPOSED STEEL SHALL BE COATED WITH 2 COATS OF A UNIVERSAL COMPATIBLE PRIMER
3. EXPOSED STEEL
A. ALL SURFACES SHALL BE PRIMED WITH POLYAMIDE EPOXY - ONE COAT (8.0 MILS DFT).
B. APPLY SEALANT AT ALL LOCATIONS WHERE STEEL IS WELDED, LAPPED, ETC. SEALANT MATERIAL SHALL BE COMPATIBLE WITH THE PAINTING SYSTEM.
C. TOP LAYER SHALL BE TWO (2) COAT POLYURETHANE (3.0 MILS DFT EACH).
D. TOP PAINT SHALL BE UV RESISTANT OR HAVE A UV RESISTANT COATING.

REINFORCED MASONRY (CMU)
ALL MASONRY SHALL BE REINFORCED CONCRETE MASONRY UNIT IN ACCORDANCE WITH THE LATEST EDITION OF ACI 530/ASCE 5/TMS 402.
1. INSTALL ALL BLOCKS IN RUNNING BOND.
2. MINIMUM MASONRY BLOCK (ASTM C90) STRENGTH SHALL (F'm) BE 2000 PSI.
3. TYPE "S" MORTAR (ASTM C270) SHALL BE USED USING 3/8" FULL BEDDING REINFORCED W/ 9 GAGE GALVANIZED LADDER WIRE EVERY 2ND ROW.
4. FILLED CELLS SHALL BE REINFORCED WITH #5 REBARS @ 24" O.C. (UNLESS OTHERWISE IS SPECIFIED ON THE PLANS).
5. GROUT SHALL BE PEA ROCK PUMP MIX (ASTM C476) WITH A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI (28 DAY) (ASTM C1019). TARGETED SLUMP SHALL BE 8"-11".
6. EACH GROUTED CELL SHALL HAVE CLEANOUT OPENINGS AT THE BOTTOM. THERE SHALL BE NO LOOSE MORTAR OR OTHER DEBRIS IN THE BOTTOM OF THE CELL. USE BLAST PRESSURE WASHING FOR SURFACE PREPARATION.

WINDOWS & DOORS
1. ALL EXTERIOR WINDOWS SHALL BE LARGE AND SMALL MISSILE IMPACT RATED.
2. ALL EXTERIOR WINDOWS SHALL HAVE FLORIDA PRODUCT APPROVAL AND NOA. PRODUCT APPROVAL LABELS SHALL BE PERMANENTLY ATTACHED TO THE FRAME.
3. WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)

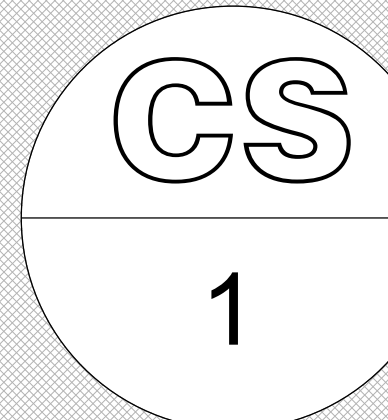
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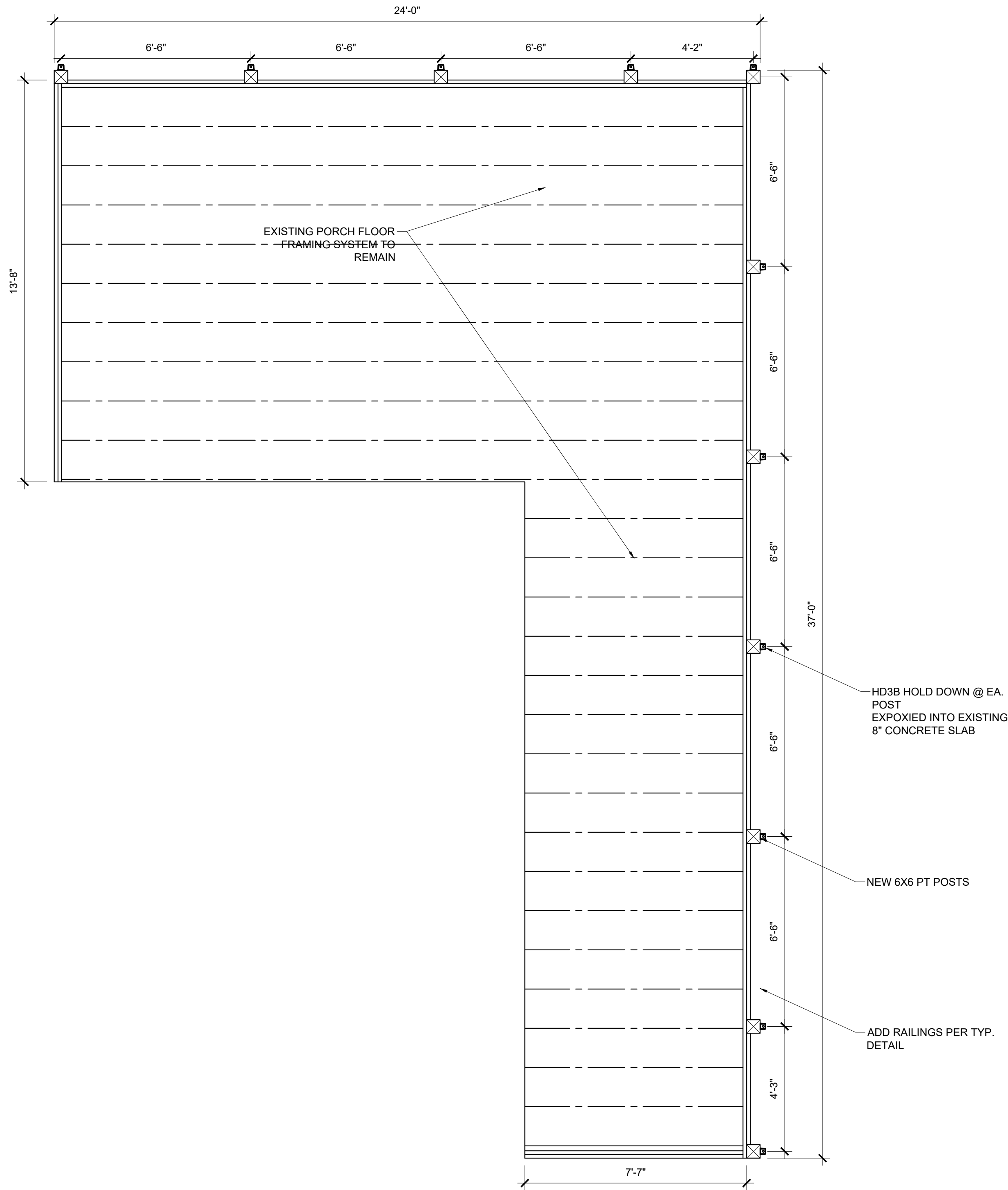
EXTERIOR PORCH REPAIRS

1605 BAHAMA DR.
KEY WEST, FL 33040

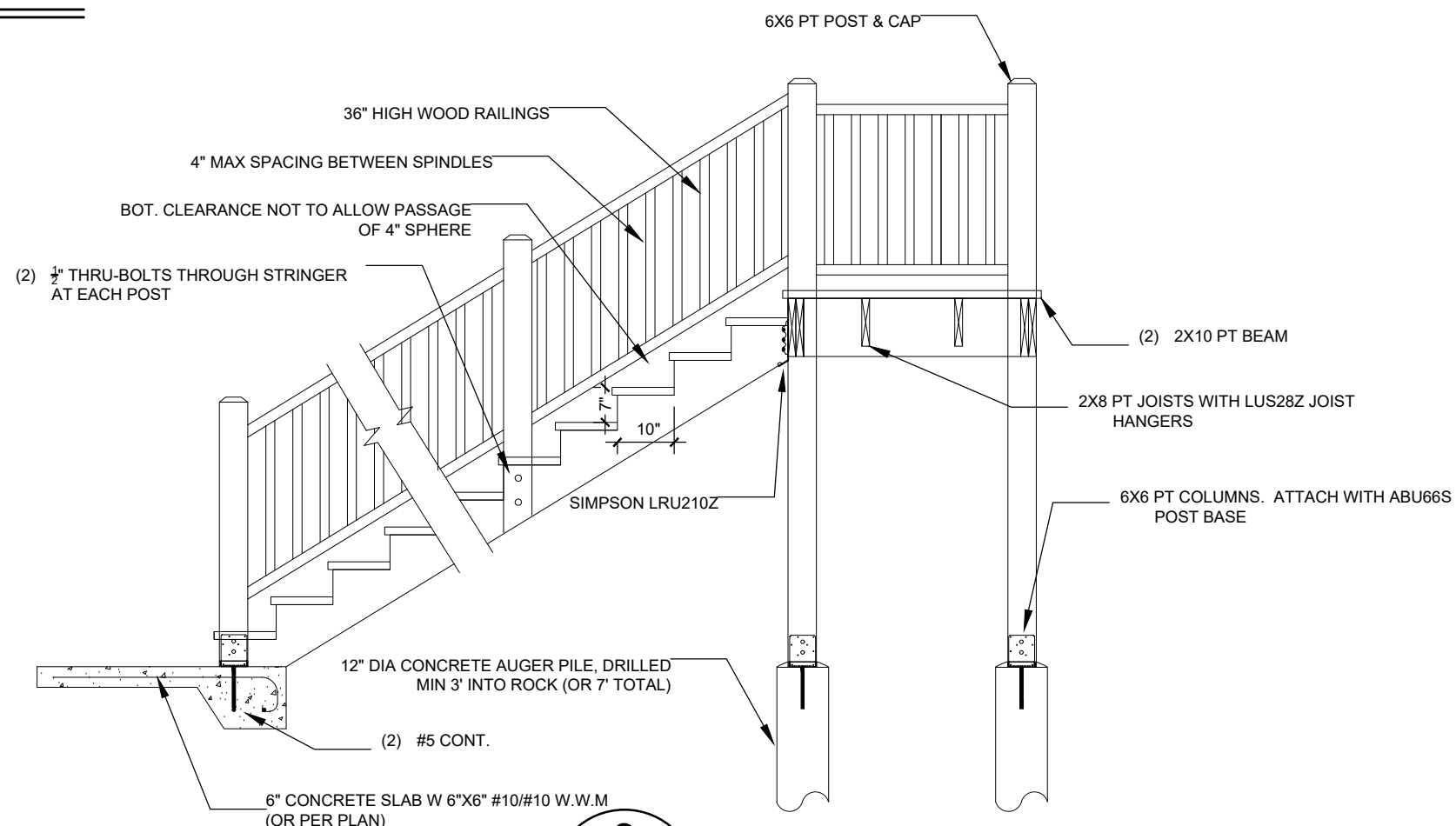
SHEET
TITLE COVER & SITE PLAN



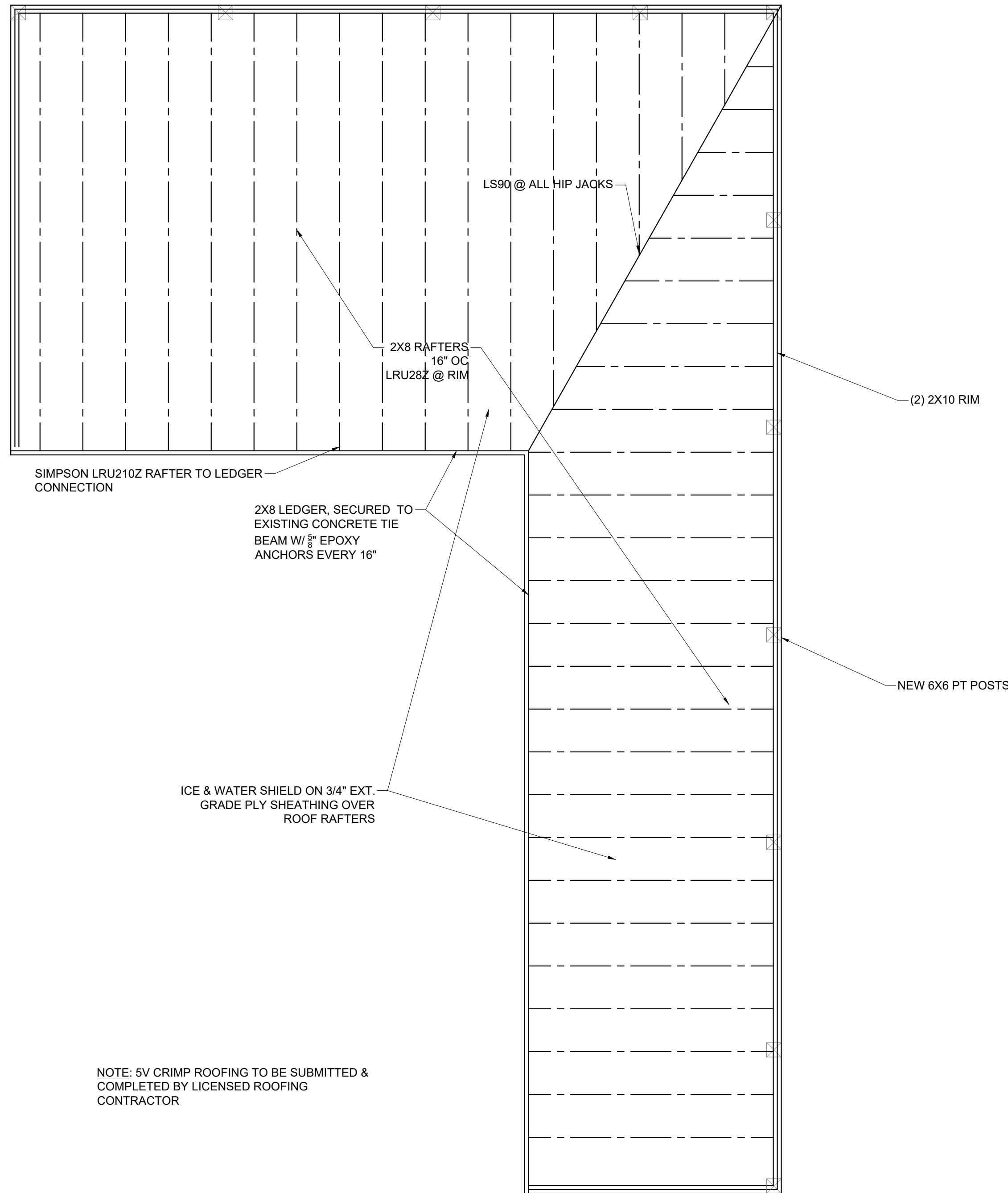
DRAWN BY: BH APPROVED BY: BG



1
S-1
PORCH FLOOR FRAMING PLAN
SCALE: 3/8" = 1'



3
S-1
TYP. STAIR/RAILING PLAN
SCALE: N/A



2
S-1
ROOF FRAMING PLAN
SCALE: 3/8" = 1'

Rafter/Truss Spacing		WIND SPEED															
		115 mph		120 mph		130 mph		140 mph		150 mph		160 mph		170 mph		180 mph	
		E	F	E	F	E	F	E	F	E	F	E	F	E	F	E	F
Exposure B																	
Rafter/Truss SG = 0.42		6	6	6	6	6	6	6	6	6	6	4	4	4	4	4	4
Rafter/Truss SG = 0.49		6	12	6	12	6	6	6	6	6	6	6	6	6	6	6	6
Exposure C																	
Rafter/Truss SG = 0.42		6	6	6	6	6	6	4	4	4	4	4	4	3	3	3	3
Rafter/Truss SG = 0.49		6	6	6	6	6	6	6	6	6	6	6	6	4	4	4	4
Exposure D																	
Rafter/Truss SG = 0.42		6	6	6	6	4	4	4	4	4	4	3	3	3	3	3	3
Rafter/Truss SG = 0.49		6	6	6	6	6	6	6	6	4	4	4	4	4	4	4	4

E = NAIL SPACING ALONG PANEL EDGES (INCHES)
F = NAIL SPACING ALONG INTERMEDIATE SUPPORTS IN THE PANEL FIELD (INCHES)
A. FOR SHEATHING LOCATED A MINIMUM OF 4 FEET FROM THE PERIMETER EDGE OF THE ROOF, INCLUDING 4 FEET ON EACH SIDE OF RIDGES AND HIPPS, NAIL SPACING IS PERMITTED TO BE 6 INCHES ON CENTER ALONG PANEL EDGES AND 8 INCHES ON CENTER ALONG INTERMEDIATE SUPPORTS IN THE PANEL FIELD.
B. WHERE RAFTER/TRUSS SPACING IS LESS THAN 24 INCHES ON CENTER, ROOF SHEATHING FASTENING IS PERMITTED TO BE IN ACCORDANCE WITH THE AWC WFCM OR THE AWC NDS.

NOTE:
FOR SHEATHING WITH THICKNESS LESS THAN OR EQUAL TO 15/32", SHEATHING SHALL BE FASTENED WITH ASTM F1667 RSR-01 (2-3/8"x0.113") NAILS.

FOR SHEATHING WITH THICKNESS GREATER THAN 15/32", SHEATHING SHALL BE FASTENED WITH ASTM F1667 RSR-04 (3"x0.120") NAILS.

NOT VALID FOR CONSTRUCTION UNLESS
DIGITALLY SIGNED WITH ORIGINAL SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED AND THE SEA
AUTHENTICATION CODE MUST BE VERIFIED ON
ANY ELECTRONIC COPIES.

ROBERT HULEC, P.E.
LIC # 96937



LAKEWOOD ENGINEERING
1211 WATSON ST.
KEY WEST, FL 33040
305-890-6284

REV SET DESCRIPTION
1 ISSUED PERMIT SET
A ADDED BUILDING HEIGHT

EXTERIOR PORCH REPAIRS
1605 BAHAMA DR.
KEY WEST, FL 33040

NOTES & FOUNDATIONS

1

DRAWN BY: BH APPROVED BY: BG



Aerial Photograph from December 30, 1985, showing porch existing

Retrieved from the Florida Department of Transportation, Office of Surveying and Mapping



Aerial Photograph from August 19, 2022, showing hole in porch roof

8-132

PARCEL/NAME: 00070270-000000 CASTRO EDWIN L & PATSY T **L 10**

O A S I S - MONROE COUNTY

PROPERTY RECORD CARD

10/22/92

CASTRO EDWIN L & PATSY T
1605 BAHAMA DR

PARCEL 00070270-000000 01 01 01
ALTERNATE KEY 1074101 MILL GROUP 10KW

KEY WEST FL 33040

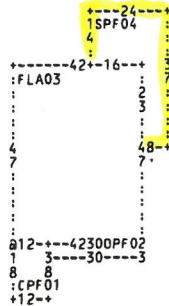
LAND DATA 01*****
LINE USE FRONT DEPTH ZONE NOTES NBR. UNITS TYP RATE DEPTH% LOC% SHP% PHY% JUS VAL
01 010D 0 0 5368.00 SF 8.25 100 100 100 100 44286
NEIGHBORHOOD 6249 RIVERA SHORES ADDN PB5-88 TOTAL LAND CLASSIFIED 0
1.100 TOTAL LAND JUST VALUE 44,286

LEGAL DESCRIPTION *****

KW AMENDED PLAT OF RIVIERA SHORES-FIRST ADDN. PB5-88
LOT 15

OR584-917 OR780-1810 OR883-1395

BUILDING SKETCH *****
BUILDING 01 OF 01



BUILDING 01 OF 01

CPF01=D18R12U18L12.R120PF02=R30D3L30U3.R
30FLA03=U47L42D47R42.U24SPF04=RBU37L24D1
4R16D23.

BUILDING CHARACTERISTICS

BUILDING 01 OF 01 APPRAISED BY 021 ERVIN A. HIGGS ON
EFF. AGE GROUP 2 TWO NEXT REVIEW 00/00
CONDITION G GAP YEAR BUILT 1975 FUNCTIONAL OBSOLESCENCE 0
QUALITY GRADE 500 GRADE 10 SPEC. ARC. CODE LOCATIONAL OBSOLESCENCE 0
IMPROVE. TYPE R1 S.F.R. PERIMETER 178.0

SECTION TYPE	ID	EXTERIOR WALL TYPE	NBR STORIES	ROLL YR	ATTIC FINISH	BASEMENT% FINISH	FINISHED BASEMENT%	FLOOR AREA
CPF	01	05 C.B.S.	1.0	89	N	0	0	216.0 SF
OPF	02	05 C.B.S.	1.0	89	N	0	0	90.0 SF

8-132 x 84 10-6

PARCEL/NAME: 00070270-000000 CASTRO EDWIN L & PATSY T **M 10**

FIA 03 05 C.B.S. 1.0 89 N 0 0 1,974.0 SF

B-132

CPF 01 05 C.B.S. 1.0 89 N 0 0 610.0 SF
OPF 02 05 C.B.S. 1.0 89 N 0 0 90.0 SF

PARCEL/NAME: 00070270-000000 CASTRO EDWIN L & PATSY T **M 10**

FLA 03 05 C.B.S. 1.0 89 N 0 0 1,974.0 SF
SPF 04 05 C.B.S. 1.0 89 N 0 0 520.0 SF

BUILDING REFINEMENTS

BUILDING 01 OF 01
ROOF TYPE 02 GABLE/HIP BEDROOMS 3 FIREPLACES 0 BUILT-IN KITCHEN N
ROOF COVER 03 ASPHALT SHINGL 2FIXBATH 0 DISHWASHER N AIR-CONDITIONING Y
FOUNDATION 05 CONCR FTR 3FIXBATH 2 VACUUM N GARBAGE DISPOSAL N
INT.FINISH 06 CERM/CLA 04 PLASTER 4FIXBATH 0 INTERCOM N COMPACTOR N
SRC. HEAT 04 NONE 00 XFIXTURE 3 SECURITY N
TYPE HEAT 01 NONE 00

MISCELLANEOUS IMPROVEMENTS *****
TYPE NUMBER UNITS UNIT TYPE LIFE YEAR IN GRADE LENGTH WIDTH DEP. VALUE
FN2 FENC 306.00 SF 30 1985 3 51.0 6.0 648
FN2 FENC 816.00 SF 30 1985 3 136.0 6.0 1,210
HT2 HOT 1.00 UT 50 1985 2 0.0 0.0 2,743
TOTAL 4,601

APPRAISER NOTES *****
1605 BAHAMA DRIVE

COST/MARKET METHOD*****

BLDG REPLACEMENT ADJUSTED BLDG. VALUES 91,942 06/15/89
COST REPLACEMENT COST M.I. VALUES 4,601 06/15/89
01 89,875 91,942 LAND VALUES 44,286 05/11/89
PROP VALUES 140,830

VALUE SELECTED *****

SPECIFIED BY ERVIN A. HIGGS ON 01/01/89 VALUE METHOD 1 COST/MARKET METHOD
VALUE 140,830

HISTORY OF TAXABLE VALUES *****

TAX YEAR	LAND VALUE	BUILDING VALUE	MISC. IMPR/ EQUIPVALUE	ASSESSED VALUE	EXEMPTION VALUE	TAXABLE VALUE
1982	13,739	43,433	0	57,172	25,000	32,172
1983	18,424	42,634	0	61,058	0	61,058
1984	18,424	56,791	0	75,215	25,000	50,215
1985	18,424	60,400	0	78,824	25,000	53,824
1986	18,950	62,862	0	81,812	25,000	56,812
1987	20,266	62,542	0	82,808	25,000	57,808
1988	28,952	63,295	0	92,247	25,000	67,247
1989	38,918	83,584	4,576	127,078	25,000	102,078
1990	40,260	91,942	4,873	137,075	25,000	112,075
1991	44,286	91,942	4,737	140,965	25,000	115,965
1992	44,286	91,942	4,601	140,830	25,000	115,830

SALES HISTORY *****

O.R. BOOK	O.R. PAGE	SALE DATE	INSTRUMENT	TRANSFER CODE	QUALIFIED UNQUALIFIED	VACANT IMPROVED	SALE PRICE
883	1395	06/83	WD WARRANTY	0	Q QUALIFIED	1	98,000
780	1810	02/79	00 CONVERSIO	0	Q QUALIFIED	1	70,000

EQUIPMENT LINES *****

TYPE DESCRIPTION # UNITS UN RATE YEAR IN/PWT DEPR VALUE

PARCEL/NAME: 00070270-000000 CASTRO EDWIN L & PATSY T **N 10**

P-13

PARCEL/NAME: 00070270-000000 CASTRO EDWIN L & PATSY T **N 10**

TOTAL VALUES	TOT-EXPT-VAL	T-VALUE	PREV-TX-VAL	PREV-JUST	NEW-CON-VAL
TOTAL-J-VAL	140,830	25,000	115,830	115,830	140,830
					0

P-132 1 84 10-6

PARCEL/NAME: 00070280-000000 PARRINELLO SALVATORE

0 10

O A S I S - MONROE COUNTY

PROPERTY CARD

**
 PROPERTY RECORD CARD
 **

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00070270-000000
 Account# 1074101
 Property ID 1074101
 Millage Group 10KW
 Location 1605 BAHAMA Dr, KEY WEST
 Address
 Legal LT 15 AMENDED PLAT OF RIVIERA SHORES-
 Description FIRST ADDN PB5-88 OR584-917 OR780-1810
 OR883-1395 OR1786-455 OR3222-2279
 OR3223-1410
 (Note: Not to be used on legal documents.)
 Neighborhood 6249
 Property Class SINGLE FAMILY RESID (0100)
 Subdivision Amended Plat of Riviera Shores First Addn
 Sec/Twp/Rng 04/68/25
 Affordable No
 Housing



Owner

CASTRO PATSY T LIVING TRUST
 1605 Bahama Dr
 Key West FL 33040

Valuation

	2024 Certified Values	2023 Certified Values	2022 Certified Values	2021 Certified Values
+ Market Improvement Value	\$252,681	\$241,599	\$241,599	\$214,268
+ Market Misc Value	\$7,982	\$7,982	\$7,982	\$7,982
+ Market Land Value	\$389,073	\$471,685	\$314,456	\$281,145
= Just Market Value	\$649,736	\$721,266	\$564,037	\$503,395
= Total Assessed Value	\$268,134	\$260,325	\$252,743	\$245,382
- School Exempt Value	(\$30,000)	(\$30,000)	(\$25,000)	(\$25,000)
= School Taxable Value	\$238,134	\$230,325	\$227,743	\$220,382

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$389,073	\$252,681	\$7,982	\$649,736	\$268,134	\$30,000	\$238,134	\$381,602
2023	\$471,685	\$241,599	\$7,982	\$721,266	\$260,325	\$30,000	\$230,325	\$460,941
2022	\$314,456	\$241,599	\$7,982	\$564,037	\$252,743	\$25,000	\$227,743	\$311,294
2021	\$281,145	\$214,268	\$7,982	\$503,395	\$245,382	\$25,000	\$220,382	\$258,013
2020	\$275,816	\$217,244	\$7,982	\$501,042	\$241,995	\$25,000	\$216,995	\$259,047
2019	\$243,837	\$208,317	\$7,982	\$460,136	\$236,555	\$25,000	\$211,555	\$223,581
2018	\$247,834	\$214,268	\$7,982	\$470,084	\$232,145	\$25,000	\$207,145	\$237,939

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	5,277.00	Square Foot	56	100

Buildings

Building ID	5761	Exterior Walls	C.B.S.
Style	GROUND LEVEL	Year Built	1975
Building Type	S.F.R. - R1 / R1	EffectiveYearBuilt	2000
Building Name		Foundation	CONCR FTR
Gross Sq Ft	2800	Roof Type	GABLE/HIP
Finished Sq Ft	1974	Roof Coverage	ASPHALT SHINGL
Stories	1 Floor	Flooring Type	CONC ABOVE GRD
Condition	GOOD	Heating Type	FCD/AIR DUCTED with 0% NONE

Perimeter	178				Bedrooms	3
Functional Obs	0				Full Bathrooms	2
Economic Obs	0				Half Bathrooms	0
Depreciation %	32				Grade	500
Interior Walls	WD PANL/CUSTOM				Number of Fire PI	0
Code	Description	Sketch Area	Finished Area	Perimeter		
CPF	COVERED PARKING FIN	216	0	60		
FLA	FLOOR LIV AREA	1,974	1,974	178		
OPU	OP PR UNFIN LL	520	0	122		
OPF	OP PRCH FIN LL	90	0	66		
TOTAL		2,800	1,974	426		

Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CONC PATIO	1974	1975	4 x 25	1	100 SF	2
HOT TUB	1984	1985	0 x 0	1	1 UT	2
FENCES	1984	1985	6 x 51	1	306 SF	5
FENCES	1984	1985	6 x 136	1	816 SF	3

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
5/1/2023	\$100	Quit Claim Deed	2416348	3223	1410	11 - Unqualified	Improved		
6/1/1983	\$98,000	Warranty Deed		883	1395	Q - Qualified	Improved		
2/1/1979	\$70,000	Conversion Code		780	1810	Q - Qualified	Improved		

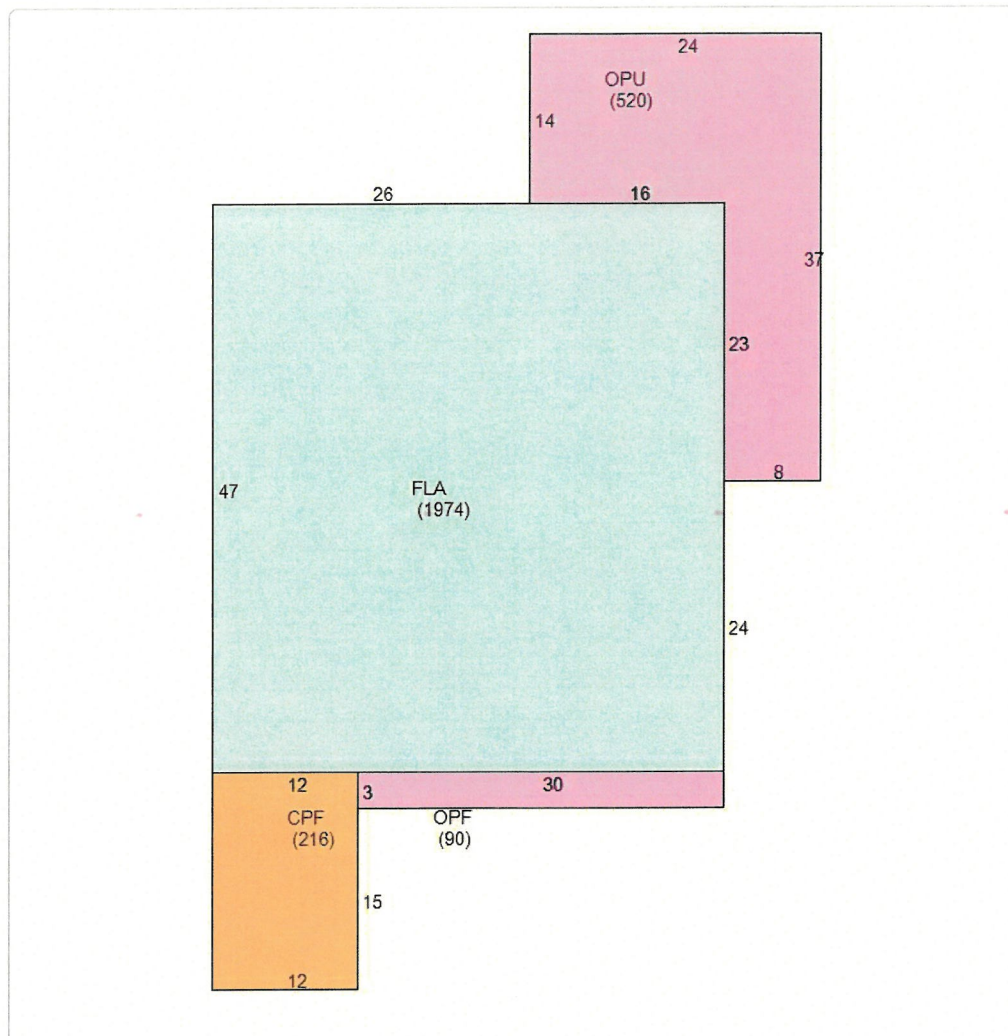
Permits

Number	Date Issued	Status	Amount	Permit Type	Notes
21-3057	11/02/2021	Completed	\$0	Residential	Replace kitchen cabinets same for same
10-0222	01/27/2010	Completed	\$16,000	Residential	REPLACE FACIA, SOFFIT AND VINYL SIDING REMOVE AND FILL JACUZZI
05-0698	03/17/2005	Completed	\$18,559	Residential	REPLACE WINDOWS & DOORS
9702806	08/01/1997	Completed	\$4,200	Residential	21 SQS TIMBERLINE SHINGLE
B-5386	04/01/1974	Completed	\$25,069	Residential	NEW SFR 1,414 SF

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



TRIM Notice

[2024 TRIM Notice \(PDF\)](#)

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 **SCHNEIDER**
GEO SPATIAL

AUTHORIZATION FORM



**City of Key West
Planning Department**

Authorization Form

(Individual or Joint Owner)


Please complete this form if someone other than the owner is representing the property owner in this matter.

I, PATSY T. CASTRO, Trustee of the Patsy T. Castro Living Trust authorize
Please Print Name(s) of Owner(s) as appears on the deed

Smith Hawks, PL

Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

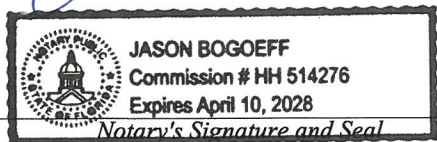

Signature of Owner

Signature of Joint/Co-owner if applicable

Subscribed and sworn to (or affirmed) before me on this 3/11/25
Date

by PATSY CASTRO
Name of Owner

He/She is personally known to me or has presented _____ as identification.



Jason Boyoff
Name of Acknowledger typed, printed or stamped

Commission Number, if any

**VERIFICATION
FORM**



**City of Key West
Planning Department
Verification Form**
(Where Applicant is an entity)

I, Anthony Davila, in my capacity as Attorney
(print name) (print position; president, managing member)
of Smith Hawks, PL
(print name of entity)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

1605 Bahama Street, Key West

Street address of subject property

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that I am the Authorized Representative of the property involved in this application; that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Anthony Davila
Signature of Applicant

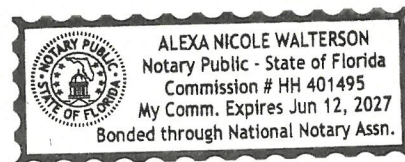
Subscribed and sworn to (or affirmed) before me on this 03/11/2025 by
date
Anthony Davila
Name of Applicant

He/She is personally known to me or has presented _____ as identification.

Alexa Walteson
Notary's Signature and Seal

Alexa Walteson
Name of Acknowledger typed, printed or stamped

HH401495
Commission Number, if any



DEED

Doc # 2416348 Bk# 3223 Pg# 1410 Recorded 5/2/2023 at 3:23 PM Pages 3
Filed and Recorded in Official Records of MONROE COUNTY KEVIN MADOK
REC: \$27.00 Deed Doc Stamp \$0.70

Prepared by and when recorded return to:
Law Ofc of Samuel J. Kaufman, P.A.
3130 Northside Drive
Key West, Florida 33040

Parcel ID No.: 00070270-000000

Consideration: None. Prepared to effectuate
estate plan of grantor.

(Space above this line reserved for recording office use only)

QUITCLAIM DEED

THIS INDENTURE is made on May 1, 2023, between PATSY T. CASTRO, an un-remarried widow (hereinafter referred to as "Grantor"), who resides at 1605 Bahama Drive, Key West FL 33040, for and in consideration of the sum of TEN and NO/100 DOLLARS (\$10.00) cash and other good and valuable consideration in hand paid by PATSY T. CASTRO, Trustee of the PATSY T. CASTRO LIVING TRUST (hereinafter referred to as "Grantee"), such Grantee having an address of 1605 Bahama Drive, Key West FL 33040, and such trust having been established under that certain revocable declaration of trust dated July 19, 2008, by PATSY T. CASTRO, as settlor and as co-trustee. Grantor hereby REMISES, RELEASES and QUITCLAIMS unto Grantee, all of Grantor's interest in and to the following described real estate in the County of Monroe and State of Florida:

See Exhibit A.

The Trustee has authority pursuant to the terms of The Trust to grant a beneficial interest for life and a right of possession sufficient for homestead exemption to PATSY T. CASTRO for the remainder of her life according to 196.041, Florida Statutes, and that the Trustee has, in fact, made such a designation and created such a possessory interest and by this document does hereby create said interest and that interest is in effect according to the terms of said trust instrument and until terminated, shall remain in effect during the remainder of the named beneficiary's lifetime.

Full power and authority are conferred upon Grantee, as trustee, to protect, conserve, sell, convey, lease, grant and encumber all interests conveyed by this instrument, and otherwise to manage and dispose of those interests, it being the intent of Grantor to vest in the trustee of the trust full rights of ownership as authorized by Section 689.073 of the Florida Statutes.

Further, the terms of the trust provide for the present possessory right of possession of any homestead property in accordance with the Department of Revenue Rule 12D-7.011 and this deed will be recorded in compliance with Section 196.031(1) of the Florida Statutes, thereby entitling any real property transferred to the trust to homestead exemption status if all of the requirements are met.

This deed was prepared without the benefit of title insurance.

TO HAVE AND TO HOLD the property, to the extent conveyed hereby, in fee simple forever, subject to the terms and provisions contained herein, together with each and every right,

privilege, hereditament and appurtenance in anywise incident or appertaining to the property.

The conveyance made hereby are made by Grantor and accepted by Grantee subject to the following matters, to the extent same are in effect at this time: any and all restrictions, covenants, conditions, liens, encumbrances, reservations, easements, and other exceptions to title, if any, relating to the property, but only to the extent they are still in force and effect and shown of record in Monroe County, Florida, and to all zoning laws, regulations and ordinances of municipal and/or other governmental or quasi-governmental authorities, if any, relating to the property and to all matters which would be revealed by an inspection and/or a current survey of the property.

Taxes for the current year have been prorated and are assumed by Grantee.

IN WITNESS WHEREOF, the Grantor has executed this Quitclaim Deed on the day and year first above written.

**Signed, Sealed and Delivered
in presence of**

Witness

PATSY T. CASTRO

(Printed Name)

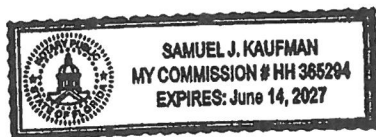
Witness

(Printed Name)

STATE OF FLORIDA §
COUNTY OF MONROE §

The foregoing instrument was acknowledged before me, the undersigned authority, by means of ☒ physical presence or ☐ online notarization, by PATSY T. CASTRO, who ☒ is personally known to me or ☐ has produced _____ (state type of identification) as identification, proving her to be the person whose name is subscribed to the foregoing instrument as Grantor.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, on
May 1, 2023.



Notary Public

Doc. # 2416348 Page Number: 3 of 3

EXHIBIT A

PIN: 00070270-000000

Address: 1605 Bahama Drive, Key West FL 33040

Legal Description:

On the Island of Key West and known as Lot 15, Amended Plat of Riviera Shores Five: Addition, according to the Plat thereof, recorded in Plat Book 5, page 88, of the Public Records of Monroe County, Florida.

SUBJECT TO conditions, restrictions, limitations and easements of record, if any, all applicable zoning regulations and taxes subsequent to date hereof.

SURVEY

Not a Part of this Plat

Could Not Access Corner

Wall 1.0' Out N21°14'20"W 56.00' (m/r) 0.7' Wall Out

Wall on line

Concrete

Covered Deck

Overhang

42.2'

3.7'

One Story Concrete Block Structure

Lot 16

S 68°45'40" W 85.00' (m/r)

Gate

Overhang

4.3'

42.0'

Open Porch

Carport

Wall 0.3' Out

Found Broken Nail 0.35' NW, 0.9' NE

Concrete

Concrete Walk

Water Meter (on corner)

52°14'20"E

36.1'

Overhang

46.9'

Lot 14

N 68°45'40" E 100.00' (m/r)

Wall 0.4' In

R/W Line

Curve Data

Radius=40'

Delta=51°19'22"

Arc=35.83'

1.0' Clear

Wall 1.9' Over

Edge of Pavement

24.78' (m/r)

0.4' Clear

25.0'

Bahama Drive

40' (m)

50' (R/W)

S 21°14'20" E

Assumed
 $1'' = 20'$

- Found 2" Iron Pipe (CLF Post)
- Set 3/4" Iron Pipe w/cap (6298)
- Found 1/2" Iron Rod (No ID)
- ▲ Found Nail & Disc (Nail)(RER)
- △ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R\W Right of Way
- CLF Chain Link Fence
- ℄ Centerline
- ⊗ Wood Utility Pole
- ⊠ Concrete Utility Pole
- P- Overhead Utility Lines
- ⊞ Sewer Cleanout
- Ⓢ Water Meter

1. The legal description shown hereon was furnished by the client or their agent. This survey does not determine or imply ownership.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 1605 Bahama Drive, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. Bearing are assumed and based on the centerline of Bahama Drive as S 21°14'20" E
8. Date of field work: August 13, 2024
9. Ownership of fences is undeterminable, unless otherwise noted.
10. Adjoiners are not furnished.

BOUNDARY SURVEY FOR: Patsy Castro;

J. LYNN O'FLYNN, INC.

THIS SURVEY
IS NOT
ASSIGNABLE

Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244