

**THE CITY OF KEY WEST  
PLANNING BOARD  
Staff Report**



**To:** Chairman and Planning Board Members

**From:** Kevin Bond, AICP, LEED Green Associate, Planner II

**Through:** Donald Leland Craig, AICP, Planning Director

**Meeting Date:** January 23, 2014

**Agenda Item:** **Variance – 3930 South Roosevelt Boulevard (RE # 00066180-000400, AK # 8781644)** – A request for variances to the minimum open space and maximum impervious surface ratio in order to construct a community and fitness center building on property located within the High Density Residential (HDR) Zoning District pursuant to Sections 108-346(b) and 122-330(4)b. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida

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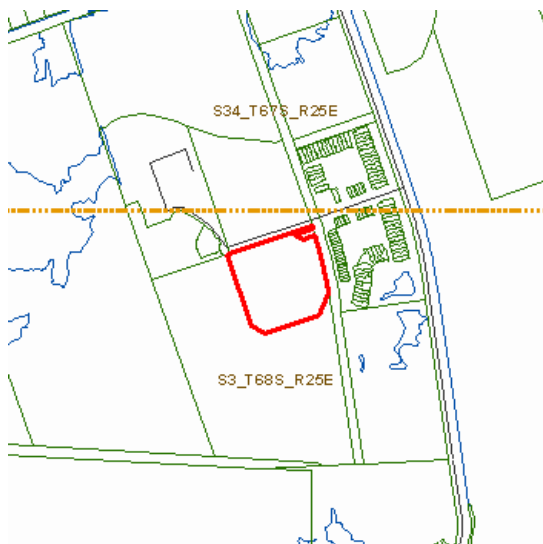
**Request:** Variances to the minimum open space and maximum impervious surface ratio in order to construct a community and fitness center building.

**Applicant:** Gregory Oropeza, Smith | Oropeza, P.L.

**Property Owner:** Las Salinas Condominium Association, Inc.

**Location:** 3930 South Roosevelt Boulevard (RE # 00066180-000400, AK # 8781644)

**Zoning:** High Density Residential (HDR)



**Background:**

The property, which is located near the corner of Seaside Drive and South Roosevelt Boulevard, is comprised of the 216-unit Las Salinas Condominium. The condo building was constructed in 1991 and includes an accessory pool and recreation center. The property is currently nonconforming to the maximum density, maximum height, maximum impervious surface ratio, minimum side setback, minimum rear setback and minimum street side setback within the HDR Zoning District, as well as the minimum open space ratio for residential uses. The applicant proposes to construct a new 1,501 square foot community center building that would include fitness and community rooms, adjacent to the existing pool. The proposed location of the new building in an area of existing vegetated open space would further increase impervious surface area and reduce open space, thereby increasing the nonconformities. The following table summarizes the requested variances and site conditions.

<b>Relevant HDR Zoning District Dimensional Requirements: Code Section 122-330</b>				
<b>Dimensional Requirement</b>	<b>Required/ Allowed</b>	<b>Existing</b>	<b>Proposed</b>	<b>Variance Request</b>
Maximum density	22 dwelling units per acre	47.6 units/acre (nonconforming)	No change	N/A
Maximum floor area ratio	N/A	N/A	No change	N/A
Maximum height	40 feet	43'-4" (nonconforming)	No change	N/A
Maximum building coverage	40%	34.74%	35.5%	N/A
Maximum impervious surface	60%	74.55% (nonconforming)	75.24%	25.4% over requirement
Minimum lot size	1 acre	4.54 acres	No change	N/A
Minimum lot width	80 feet (multiple-family)	305.74 feet	No change	N/A
Minimum lot depth	100 feet	480.16 feet	No change	N/A
Minimum front setback	30 feet	37'-6"	30'-0"	N/A
Minimum side setback	25 feet	24'-10" (nonconforming)	No change	N/A
Minimum rear setback	25 feet	12'-10" (nonconforming)	No change	N/A
Minimum street side setback	25 feet	24'-8" (nonconforming)	No change	N/A
Minimum open space (residential)	35%	25.5% (nonconforming)	24.8%	29.1% under requirement

**Process:**

Development Review Committee Meeting: November 15, 2013  
Planning Board Meeting: January 23, 2014

**Analysis – Evaluation for Compliance With The Land Development Regulations:**

The standards for considering variances are set forth in Section 90-395(a) of the City of Key West (the “City”) Land Development Regulations (“LDRs”). Before any variance may be granted, the Planning Board must find all of the following:

- (1) Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.**

The land, structures and buildings involved are located on property within the HDR Zoning District, and were developed prior to the adoption of the current land development regulations (LDRs). Thus, all the existing nonconformities were legally established prior to the current LDRs. However, other land, structures and buildings within the HDR Zoning District were also developed prior to the adoption of the current LDRs. Therefore, there are no special conditions or circumstances that exist peculiar to the land, structures or buildings involved.

- (2) Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.**

The applicant is proposing to construct a new 1,501 square foot community center building, which would increase the already nonconforming impervious surface area from 74.5% to 75.2%, and decrease the nonconforming open space ratio from 25.5% to 24.8%. This is a circumstance resulting from the proposed action of the applicant, and could be avoided by locating the new building where it would not further increase the existing nonconformities on the property. Therefore, the conditions are created by the applicant.

- (3) Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.**

Granting the requested variances would confer special privileges upon the applicant that are denied by the LDRs to other lands, buildings and structures in the HDR Zoning District.

- (4) Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.**

The applicant currently enjoys the use of the property as a 216-unit multiple-family residential condominium, which is a common permitted use within the HDR Zoning District. The property also has accessory uses, including a swimming pool and recreation center. Denial of the requested variances would not deprive the applicant of rights commonly enjoyed by other properties in the HDR Zoning District because the applicant could locate the new building where it would not further increase the existing nonconformities, such as in an existing impervious surface or paved area.

- (5) Only minimum variance granted. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.**

The proposed development could be designed in a way so as to eliminate the requested variances. Furthermore, the applicant currently has reasonable use of the land, building and structures prior to the proposed development.

- (6) Not injurious to the public welfare. That the granting of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.**

Due to not being in compliance with all of the standards for considering variances, the granting of the requested variances would be injurious to the area involved and otherwise detrimental to the public interest.

- (7) Existing nonconforming uses of other property not the basis for approval. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.**

The applicant has not used existing nonconforming uses of other property in the HDR Zoning District or permitted uses of property in other zoning districts as the grounds for approval of the requested variances.

**Concurrency Facilities and Other Utilities or Service (Code Section 108-233):**

Based on comments received at the DRC, it does not appear that the requested variances would trigger any public facility capacity issues. Due to the proposed increase in impervious surface area, the applicant would be required to submit a code-compliant stormwater management plan.

**Pursuant to Code Section 90-395(b), the Planning Board shall make factual findings regarding the following:**

- (1) That the standards established by Code Section 90-395 have been met by the applicant for a variance.**

The standards for the granting of variances established by Code Section 90-395 have not all been met by the applicant.

- (2) That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.**

As of the writing of this report, public notices were not yet required. Staff is not aware of any objections at this time.

**Recommendation:**

Based on the above analysis of the standards for considering variances established by the Comprehensive Plan and the Land Development Regulations, the Planning Department recommends the requested variances be **DENIED**.

However, if the Planning Board approves the requested variances, the Planning Department recommends the following conditions:

**Conditions required to be completed prior to the issuance of a building permit:**

1. The applicant shall obtain approval of a stormwater management plan and a landscape plan.

Conditions required to be completed prior to a Certificate of Occupancy and/or final inspection:

2. One additional ADA-accessible parking space shall be provided in order to fully comply with City Code Section 108-650.

# **Draft Resolution**

**PLANNING BOARD  
RESOLUTION NO.**

**A RESOLUTION OF THE CITY OF KEY WEST PLANNING BOARD GRANTING WITH CONDITIONS VARIANCES TO MINIMUM OPEN SPACE RATIO AND MAXIMUM IMPERVIOUS SURFACE RATIO ON PROPERTY LOCATED AT 3930 SOUTH ROOSEVELT BOULEVARD (RE # 00066180-000400, AK # 8781644) IN THE HIGH DENSITY RESIDENTIAL (HDR) ZONING DISTRICT PURSUANT TO SECTIONS 108-346(B) AND 122-330(4)B. OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES OF THE CITY OF KEY WEST, FLORIDA**

**WHEREAS**, the applicant proposes to construct a new 1,501 square foot community center building on property located at 3930 South Roosevelt Boulevard (RE # 00066180-000400, AK # 8781644); and

**WHEREAS**, the property is currently nonconforming to the maximum density, maximum height, maximum impervious surface ratio, minimum side setback, minimum rear setback and minimum street side setback within the High Density Residential (HDR) Zoning District, as well as the minimum open space ratio for residential uses; and

**WHEREAS**, Section 108-346(b) of the City of Key West (the “City”) Land Development Regulations (the “LDRs”) provides that the minimum open space ratio for residential uses is 35%; and

**WHEREAS**, Section 122-330(4)b. of the City LDRs provides that the maximum impervious surface ratio is 60%; and

**WHEREAS**, the proposed open space ratio is 24.8% and the proposed impervious surface

ratio is 75.2%; and

**WHEREAS**, the applicant requests variances to these proposed non-conformities; and

**WHEREAS**, this matter came before the Planning Board at a duly noticed public hearing on January 23, 2014; and

**WHEREAS**, the Planning Board finds that special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other land, structures or buildings in the same district; and

**WHEREAS**, the Planning Board finds that the special conditions do not result from the action or negligence of the applicant; and

**WHEREAS**, the Planning Board finds that granting the variances requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district; and

**WHEREAS**, the Planning Board finds that literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant; and

**WHEREAS**, the Planning Board finds that the variances granted are the minimum variances that will make possible the reasonable use of the land, building or structure; and

**WHEREAS**, the Planning Board finds that the granting of the variances will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare; and



**WHEREAS**, the Planning Board finds that no nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts are grounds for the issuance of the requested variances; and

**WHEREAS**, the Planning Board finds that the applicant has demonstrated a “good neighbor policy” by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Board of the City of Key West, Florida:

**Section 1.** That the above recitals are incorporated by reference as if fully set forth herein.

**Section 2.** An approval by Resolution of the Key West Planning Board for variances to allow the construction of a community center building per the attached plans dated November 14, 2013 by James C. Reynolds, P.E., on property located at 3930 South Roosevelt Boulevard (RE # 00066180-000400, AK # 8781644) in the HDR Zoning District pursuant to Sections 108-346(b) and 122-330(4)b. of the City of Key West Land Development Regulations with the following conditions:

Conditions required to be completed prior to the issuance of a building permit:

1. The applicant shall obtain approval of a stormwater management plan and a landscape plan.

Conditions required to be completed prior to a Certificate of Occupancy and/or final inspection:

2. One additional ADA-accessible parking space shall be provided in order to fully comply with City Code Section 108-650.

**Section 3.** It is a condition of these variances that full, complete and final application for all conditions of this approval for any use and occupancy for which these variances are wholly or partly necessary, shall be submitted in their entirety within two years after the date hereof; and further, that no application shall be made after expiration of the two-year period without the applicant obtaining an extension from the Planning Board and demonstrating that no change of circumstances to the property or its underlying zoning has occurred.

**Section 4.** The failure to fully and completely apply the conditions of approval for permits for use and occupancy pursuant to these variances in accordance with the terms of the approval as described in Section 3 hereof, shall immediately operate to terminate these variances, which variances shall be of no force or effect.

**Section 5.** These variances do not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

**Section 6.** This Resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

**Section 7.** This Resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Economic Opportunity. Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not

effective for forty five (45) days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period, the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this \_\_\_\_ day of \_\_\_\_\_, 2014.

Authenticated by the Chairman of the Planning Board and the Planning Director;

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Richard Klitenick, Planning Board Chairman

Date

**Attest:**

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Donald Leland Craig, AICP, Planning Director

Date

**Filed with the Clerk:**

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Cheryl Smith, City Clerk

Date

\_\_\_\_\_ Chairman

\_\_\_\_\_ Planning Director

# Application

Variance Application  
City of Key West Planning Department  
3140 Flagler Avenue, Key West, FL 33040  
(305) 809-3720



Variance Application

Please completely fill out this application and attach all necessary documents. This will help our staff to process your request quickly and obtain necessary information without delay. If you have any questions please call 305-809-3720 to schedule an appointment with a Planner.

Please print or type a response to the following:

1. Site Address 3930 S. Roosevelt Blvd
2. Name of Applicant Smith / Oropeza, P.L.
3. Applicant is: Owner \_\_\_\_\_ Authorized Representative
4. Address of Applicant 138-142 Simonton Street,  
Key West, FL 33040
5. Phone # of Applicant 305-296-7227 Mobile# \_\_\_\_\_
6. E-Mail Address greg@smithoropeza.com
7. Name of Owner, if different than above Las Salinas Condominium Assoc
8. Address of Owner 3930 South Roosevelt Blvd,  
Key West, FL 33040
9. Phone # of Owner 305-294-6020
10. Email Address lassalinas@bellsouth.net
11. Zoning District of Parcel HDR RE# 00066180-000506
12. Description of Proposed Construction, Development, and Use  
Please See Attached
13. List and describe the specific variance(s) being requested:  
Impervious surface

**Variance Application**  
**City of Key West Planning Department**  
 3140 Flagler Avenue, Key West, FL 33040  
 (305) 809-3720



14. Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	HDR			
Flood Zone	AE			
Size of Site				
Height	<40	43' 4"	43' 4"	None
Front Setback	30	37' 6"	37' 6"	none
Side Setback	25	24' 10"	24' 10"	none
Side Setback	25	N/A	N/A	N/A
Street Side Setback	25	24' 8"	24' 8"	none
Rear Setback	25	12' 10"	12' 10"	none
F.A.R	N/A	N/A	N/A	N/A
Building Coverage	40%	34.74%	35.50%	none
Impervious Surface	60%	74.5%	75.2%	0.7%
Parking	2 / DU	263	263	none
Handicap Parking	1 per 25 spaces	6	6	none
Bicycle Parking	10%	50	50	none
Open Space/ Landscaping	N/A	N/A	N/A	N/A
Number and type of units	22 DU/acre	216	214	none
Consumption Area or Number of seats	N/A	N/A	N/A	N/A

15. Is Subject Property located within the Historic District? Yes  No   
 If Yes, attach HARC approval and approved site plans

Meeting Date N/A HARC Approval # N/A

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16. Are there any easements, deed restrictions or other encumbrances attached to the subject property? Yes  No  If Yes, please describe and attach relevant documents

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17. Will the work be within the dripline (canopy) of any tree on or off the property?

YES  NO

If yes, provide date of landscape approval, and attach a copy of such approval.

This application is pursuant to Section 106-51 & 52 City of Key West Land Development Regulations.

If the applicant would like additional information, electronic version of the City's Code of Ordinances can be found either through [www.keywestcity.com](http://www.keywestcity.com), Planning Department archives or at [www.municode.com](http://www.municode.com). Once there, search Online Library/Florida/Key West/Chapter 122.

**\*Please note, variance approvals are quasi-judicial hearings, and it is improper for the owner or signatory to speak to a Planning Board member or City Commissioner about the hearing.**

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Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

Please see attached Letter.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

Please see attached Letter

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

Please see attached Letter



Variance Application  
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4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

See Attached Letter

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

See Attached Letter

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

See Attached Letter

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7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

see attached letter

**The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:**

- That the standards established in subsection (a) have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

Barton W. Smith, Esq.  
Managing Partner

# SMITH | OROPEZA, P.L.

Patrick Flanigan, Esq.

Gregory S. Oropeza, Esq.  
Partner

Richard McChesney, Esq.

138-142 Simonton Street  
Key West, Florida 33040  
Telephone : (305) 296-7227  
Facsimile : (305) 296-8448



VIA HAND DELIVERY

October 15, 2013

Donald L. Craig, AICP, Planning Director  
City of Key West Planning Department  
3140 Flagler Avenue  
Key West, Florida 33040

RE: Community and Fitness Center Addition at Las Salinas Condominium – 3930 South Roosevelt Boulevard, Key West, Florida 33040

Dear Mr. Craig,

Please allow this letter and supporting documentation to serve as my client, Las Salinas Condominium Association, Inc., a Florida not for profit corporation's ("Applicant") application for impervious surface ratio variance at 3930 South Roosevelt Boulevard, Key West, Florida 33040 ("Property"). By way of background, Las Salinas is a condominium complex built in 1991, consisting of 216 residential units. The Property contains a community pool and recreation center. The Applicant seeks to upgrade the pool and recreation center by developing a community center ("Community Center") appurtenant to the pool. The Community Center would be comprised of a fitness room and community room. Applicant also seeks to build entry staircases leading to the proposed Community Center. To help mitigate the water runoff and keeping with the spirit of the new BPAS Ordinance, while not required yet since the BPAS Ordinance has not been enacted, the Applicant is proposing to install a large scale on-site cistern below the proposed Community Center to store non-potable water for irrigation in an effort to mitigate the 0.70% impervious variance request. In support thereof, the Applicant states as follows with respect to the criteria for granting the variance.

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures, or buildings in the same zoning district.
  - a. Due to the number of units, the original development was required to pave a large scale portion of the condominium property to provide adequate parking for the unit

owners. A large-scale condominium building requires numerous parking spaces to accommodate the large number of owners and guests. Had any other building been erected on this site other than a large-scale condominium, impervious surface ratio would not be an issue. Therefore, special circumstances exist which are peculiar to the land and structure involved.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.
  - a. The condition is not created by the Applicant as the structure and curtilage was designed and constructed by the developer. Applicant is merely the condominium association seeking to provide better amenities to the numerous unit owners and City residents living on the property.
3. Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.
  - a. Allowing the addition of the Community Center, as proposed, would not confer special privileges upon the Applicant. In fact, many similar condominiums and high density residential complexes built after the Land Development Regulations were enacted have community centers and pools.
4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.
  - a. Hardship conditions exist depriving Applicant of rights commonly enjoyed by other properties in the same zoning district. Due to the size of the structure and number of units contained within, it is not possible for Applicant to provide a Community Center to the residents without the requested variance.
5. Only minimum variance granted. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.
  - a. The variance requested is the minimum variance that will make possible the continued use of the land, building, or structure.

6. Not injurious to the public welfare. That granting of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.
  - a. The granting of the variance does not appear to be injurious to the area involved or detrimental to the public interest. In fact, it will be extremely beneficial to the hundreds of unit owners who will be able to use the new Community Center.
  
7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming uses of neighboring lands, structures, or buildings in the same district and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.
  - a. The nonconformities of neighboring and surrounding properties do not have any affect or influence on this application and are not the basis for this request.

If you should have any questions, comments, or concerns, please do not hesitate to contact me.

Sincerely,



Gregory S. Oropeza, Esq.  
For the Firm

# Verification

**City of Key West  
Planning Department**



**Verification Form**

*(Where Authorized Representative is an entity)*

I, Gregory Oropeza, in my capacity as Attorney  
*(print name)* *(print position; president, managing member)*

of Smith | Oropeza, P.L.  
*(print name of entity serving as Authorized Representative)*

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

3930 South Roosevelt Blvd, Key West, FL. 33040  
*Street Address of subject property*

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Gregory Oropeza  
*Signature of Authorized Representative*

Subscribed and sworn to (or affirmed) before me on this 1/13/14 by  
*date*

Gregory Oropeza  
*Name of Authorized Representative*

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

Madison Fallon  
*Notary's Signature and Seal*

\_\_\_\_\_  
*Name of Acknowledger typed, printed or stamped*

\_\_\_\_\_  
*Commission Number, if any*



# **Authorization**



City of Key West  
Planning Department



Authorization Form  
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Andrew Dulcey as  
*Please Print Name of person with authority to execute documents on behalf of entity*

President of Las Salinas Condominium  
*Name of office (President, Managing Member)* *Name of owner from deed*

authorize Smith | Oropeza, P.L.  
*Please Print Name of Representative*

to be the representative for this application and act on my/our behalf before the City of Key West.

Mendoza - Gregory Oropeza  
*Signature of person with authority to execute documents on behalf on entity owner*

Subscribed and sworn to (or affirmed) before me on this 9/24/13 by  
*date*

[Signature]  
*Name of Authorized Representative*

He/She is personally known to me or has presented Personally known as identification.

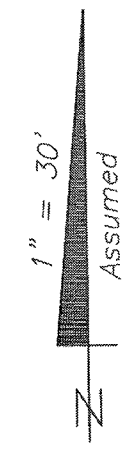
Madison Labrada  
*Notary's Signature and Seal*



*Name of Acknowledger typed, printed or stamped*

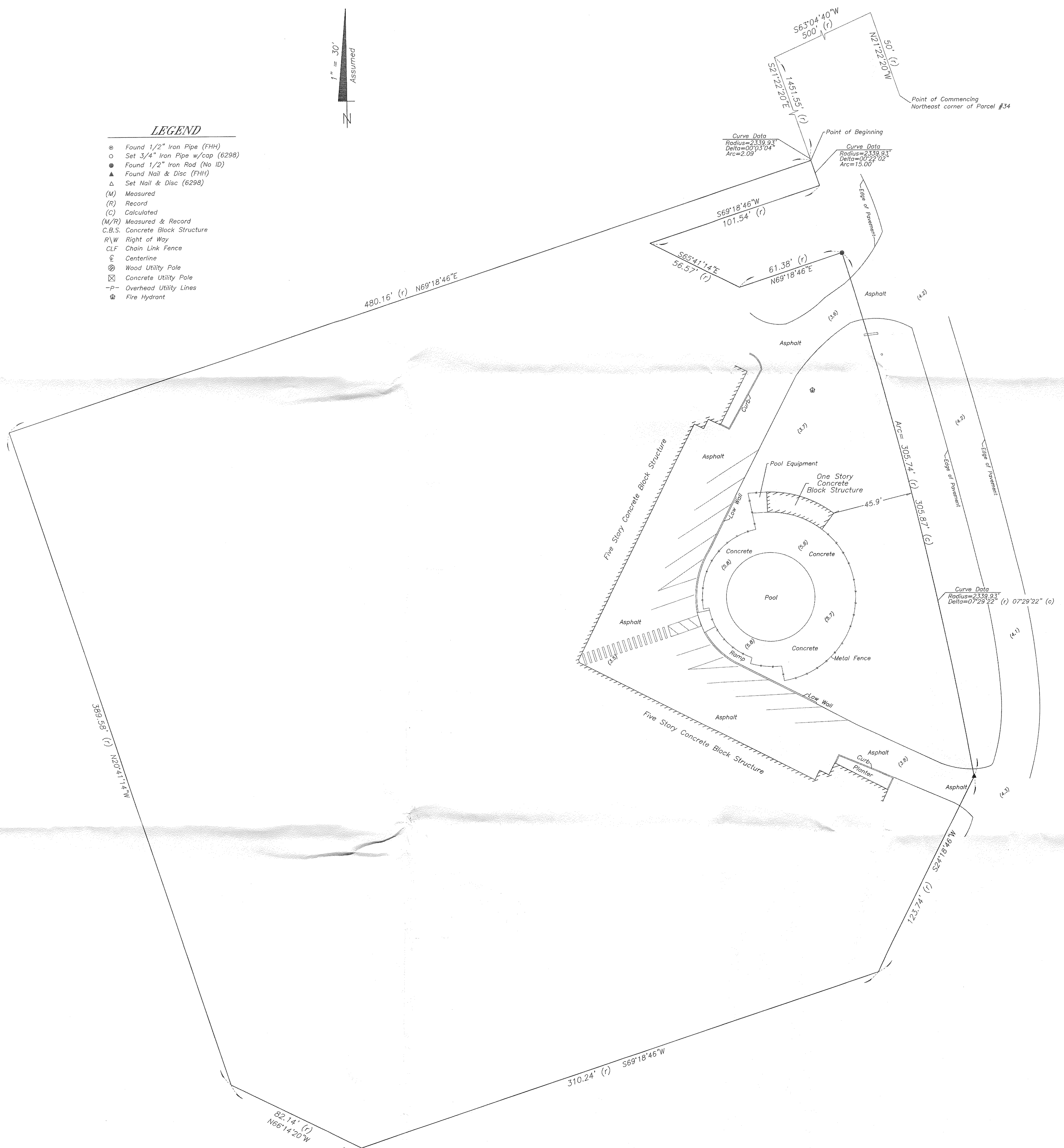
*Commission Number, if any*

# Survey



**LEGEND**

- Found 1/2" Iron Pipe (FHH)
- Set 3/4" Iron Pipe w/cap (6298)
- Found 1/2" Iron Rod (No ID)
- ▲ Found Nail & Disc (741)
- ▲ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (C) Calculated
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R/W Right of Way
- CLF Chain Link Fence
- ⊕ Centerline
- ⊕ Wood Utility Pole
- ⊕ Concrete Utility Pole
- P- Overhead Utility Lines
- ⊕ Fire Hydrant



- NOTES:**
1. The legal description shown hereon was furnished by the client or their agent.
  2. Underground foundations and utilities were not located.
  3. All angles are 90° (Measured & Record) unless otherwise noted.
  4. Street address: 3930 South Roosevelt Boulevard, Key West, FL
  5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
  6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
  7. Bearings are assumed and based on the West line of Roosevelt Blvd. as N21°22'20"W.
  8. Date of field work: May 14, 2012.
  9. Ownership of fences is undeterminable, unless otherwise noted.
  10. Adjoiners are not furnished.
  11. Elevations are shown in parenthesis and refer to Mean Sea Level N.G.V.D. 1929 Datum.
  12. Benchmark: "Q-121", Elevation: 7.49' N.G.V.D. 1929 Datum.
  13. Boundary shown hereon based upon Boundary Survey by Frederick H. Hildebrandt, dated 8/29/08.

**SPECIFIC PURPOSE SURVEY OF PART OF THE FOLLOWING LEGAL DESCRIPTION**

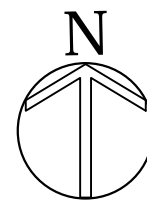
From the Northeast corner of Parcel #34 as shown on "Plat of Survey of Lands on Island of Key West, Monroe County, Florida" recorded in Plat Book 3 at Page 35 of Monroe County Official Records go N 21 degrees 22'20" W along the West line of Roosevelt Boulevard a distance of 50 feet to a point; thence S 63 degrees 04'40" W along the South bank of a canal a distance of 500 feet to a point; said point being a point on the Westerly boundary of a proposed road as recorded in Official Record Book 564 at Pages 561 thru 564 of the Public Records of Monroe County, Florida; thence along said Westerly boundary S 21 degrees 22'20" E for 1451.55 feet to a point of curvature of a circular curve, concave to the West and having for its elements a central angle of 0 degrees 03'04" and a radius of 2339.93 feet; thence Southerly along the arc of said curve 2.09 feet to the Point of Beginning of the following described parcel of land; thence continue Southerly along the arc of a circular curve concave to the West and having for its elements a central angle of 0 degrees 22'02" and a radius of 2339.93 feet for an arc distance of 15.00 feet; thence leaving said Westerly boundary of a proposed road S 69 degrees 18'46" W - 101.54 feet; thence S 65 degrees 41'14" E - 56.57 feet; thence N 69 degrees 18'46" E - 61.38 feet to a point of intersection with the aforementioned Westerly boundary of proposed road, said point being a point on a circular curve concave to the West, the center of which bears S 69 degrees 58'28" W and having a radius of 2339.93 feet and a central angle of 7 degrees 29'11" thence Southerly along the arc of said curve a distance of 305.74 feet; thence leaving said Westerly boundary of a proposed road S 24 degrees 18'46" W - 123.74 feet; thence S 69 degrees 18'46" W - 310.24 feet; thence N 66 degrees 14'20" W - 82.14 feet; thence N 20 degrees 41'14" W - 389.58 feet; thence N 69 degrees 18'46" E - 480.16 feet; to the Point of Beginning, containing 4.6192 acres, more or less.

BOUNDARY SURVEY FOR: Las Salinas;

J. LYNN O'FLYNN, INC.  
J. Lynn O'Flynn, PSM  
Florida Reg. #6298  
May 21, 2012

THIS SURVEY  
IS NOT  
ASSIGNABLE

# Site Plans



# COMMUNITY CENTER PLANNING

3930 SOUTH ROOSEVELT BOULEVARD  
 KEY WEST, FLORIDA 33040  
 LAS SALINAS CONDOMINIUMS

## DESIGN INFORMATION - LDR REQUIREMENTS

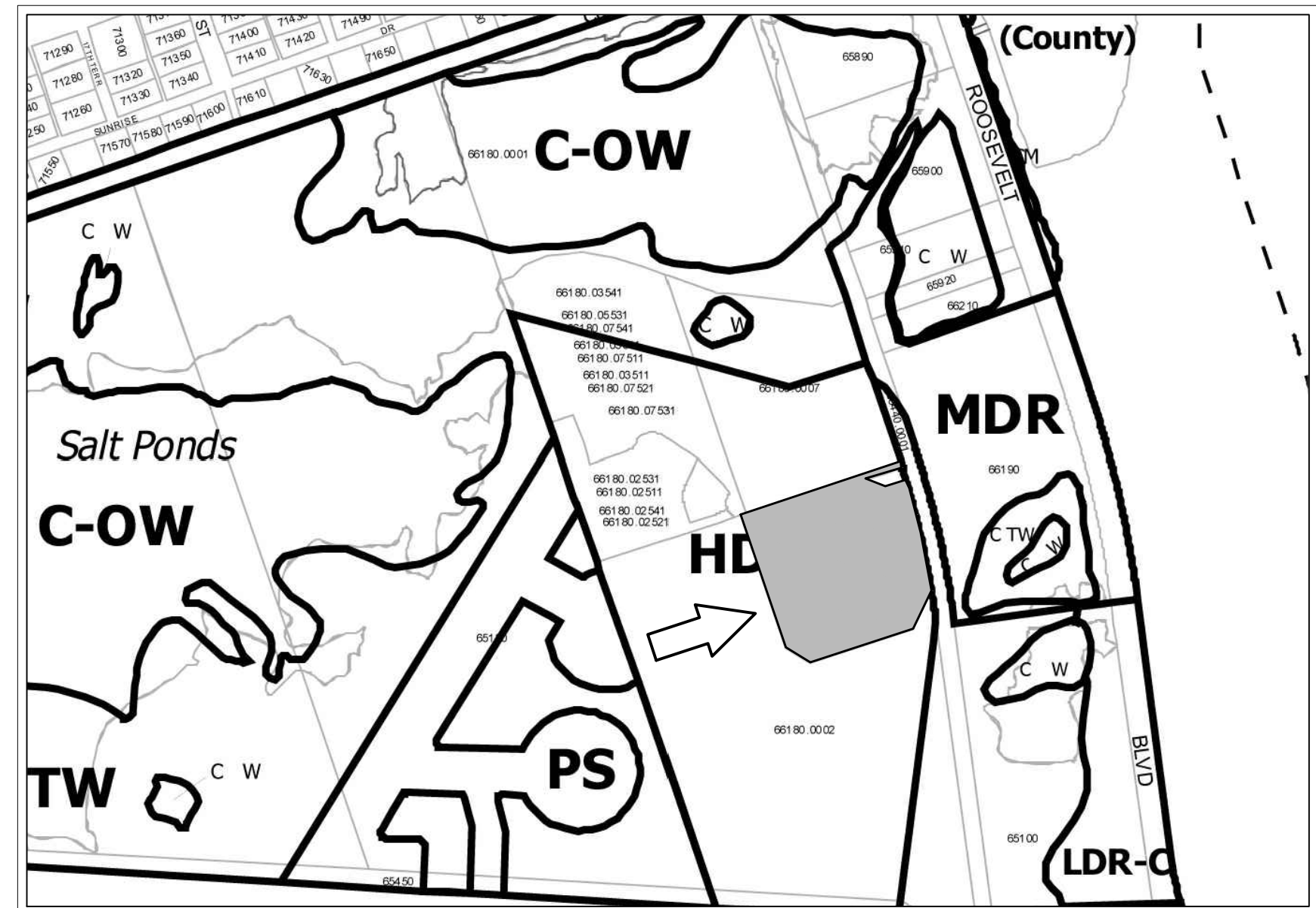
SITE DATA TABLE:	CODE:	EXISTING:	PROPOSED:	VARIANCE:
LAND USE ZONE	HDR	HDR	HDR	N / A
FLOOD ZONE	AE (EL 8)	EL 9	EL 9	N / A
SITE AREA	1 ACRE (MIN)	197763.21 SF	197763.21 SF	NO CHANGES
HEIGHT LIMIT	40'-0"	43'-4"	43'-4"	NO CHANGES
FRONT SETBACK	30'-0"	37'-6"	30'-0"	NONE
SIDE SETBACK	7'-0"	24'-10"	24'-10"	NO CHANGES
SIDE SETBACK	25'-0"	N / A	N / A	N / A
STREET SETBACK	25'-0"	24'-8"	24'-8"	NO CHANGES
REAR SETBACK	25'-0"	12'-10"	12'-10"	NO CHANGES
F.A.R.	N / A	N / A	N / A	N / A
BUILDING COVERAGE	40%	34.74%	35.50%	NONE
IMPERVIOUS COVERAGE	60%	74.55%	75.24%	YES
PARKING	2 / DU	263	263	NO CHANGES
HANDICAP PARKING	7	6	6	NO CHANGES
BICYCLE PARKING	27	50	50	NO CHANGES
OPEN SPACE	N / A	50333.75 SF	48961.79 SF	(-)1372 SF
NUMBER / TYPE UNITS	22 / ACRE	216	216	NO CHANGES
CONSUMPTION AREA	N / A	N / A	N / A	N / A

### EXISTING SITE CONDITIONS:

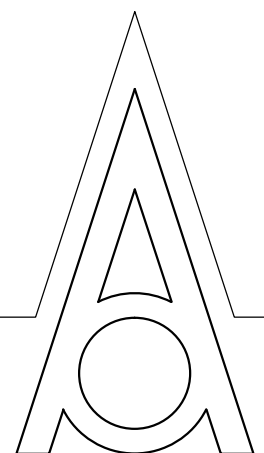
YEAR BUILT	1991	
TOTAL SITE	197763.2069 SF	
BUILDING	68701.422 SF	
OTHER IMPERVIOUS	78728.03 SF	
OPEN SPACE	50333.754 SF	
TOTAL BUILDING	68701.422SF	[34.74%]
TOTAL IMPERVIOUS	147429.45 SF	[74.55%]

## SHEET INDEX

SHEET	CONTENT
A-1	LOCATION PLAN & SHEET INDEX
A-2	EXISTING SITE PLAN
A-3	PROPOSED SITE PLAN
A-4	PROPOSED FLOOR PLAN
A-5	NORTH & SOUTH ELEVATIONS
A-6	LIFE SAFETY PLAN
A-7	NOTES AND SPECIFICATIONS



*THE SCOPE OF WORK FOR THESE DRAWINGS ENGAGES THE CONSTRUCTION PROPOSAL OF BOTH A COMMUNITY AND FITNESS CENTER AT LAS SALINAS CONDOMINIUMS, A HIGH-DENSITY RESIDENTIAL COMPLEX.*



305.797.2309

## COMMUNITY CENTER PLANNING

3930 SOUTH ROOSEVELT BOULEVARD  
 KEY WEST, FLORIDA 33040  
 LAS SALINAS CONDOMINIUM ASSOCIATION

## LOCATION PLAN AND PROJECT DESCRIPTION

SCALE: NOT TO SCALE

REYNOLDS ENGINEERING SERVICES  
 22330 LAFITTE DRIVE  
 CUDJOE KEY, FL 33042  
 PH: 305.394.5987  
 FL CA No. 26597

JAMES C. REYNOLDS, P.E.  
 FL LIC No. 46685

11. 14. 2013

A-7

1.) RESIDENTIAL BUILDING

2.) EXISTING POOL DECK

3.) COMMON UTILITY AREA

4.) LANDSCAPING

5.) ADA COMPLIANT PARKING STALL

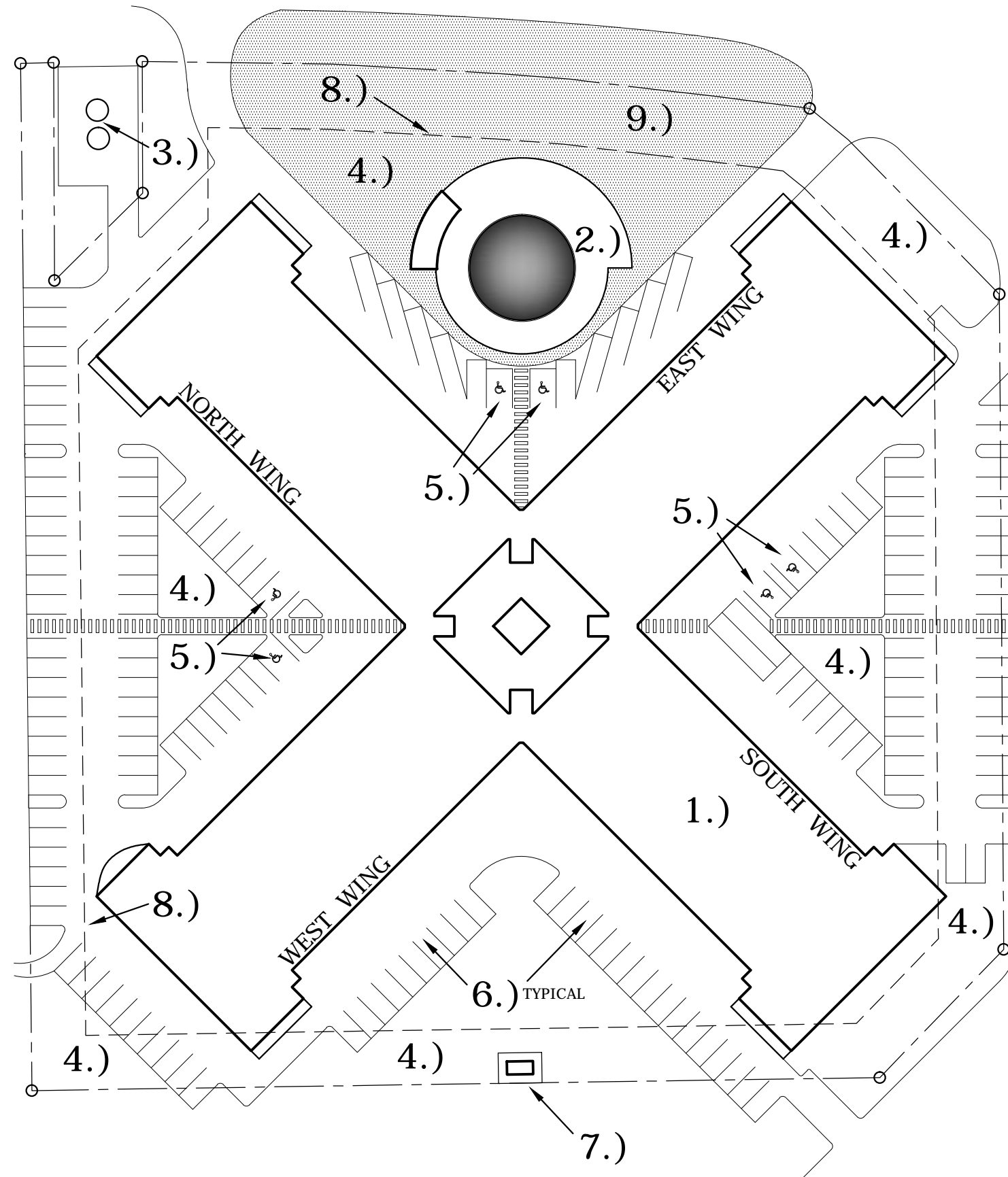
6.) PARKING STALL

7.) FIRE SUPPRESSION SYSTEM PUMP

8.) BUILDABLE SETBACKS

9.) EXISTING OPEN SPACE

EXISTING OPEN SPACE



SITE DRAINAGE:

SITE AREA: 197763.21 SF

1 IN/(12 IN /1 FT) = 0.0833 FT

STORMWATER RETENTION VOLUME:

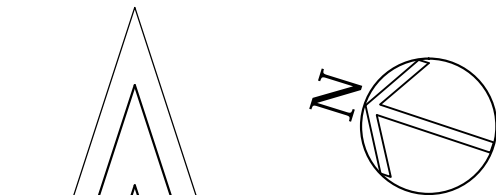
(197763.21 SF)X(0.0833 FT) = 16480.26 CF

FOR THE FIRST 1" OF RAINFALL OVER THE ENTIRE SITE; 16480.26 CF OF STORMWATER RETENTION WILL BE REQUIRED ON-SITE.

NOTE 1: PROPOSED SWALE LOCATION WILL BE CONSTRUCTED IN AREA OF CURRENT SWALE LOCATION. EXISTING SITE DRAINAGE WILL BE USED TO ACCOMMODATE PROPOSED STORMWATER DRY STORAGE AREA.

NOTE 2: THIS SITE PLAN WAS CREATED REFERENCING A SURVEY CONDUCTED BY FREDERICK HILDEBRANDT OF ISLAND SURVEYING INC.

1 EXISTING SITE PLAN  
A-2 SCALE: 1 : 60



# COMMUNITY CENTER PLANNING

3930 SOUTH ROOSEVELT BOULEVARD  
KEY WEST, FLORIDA 33040  
LAS SALINAS CONDOMINIUM ASSOCIATION

# EXISTING SITE PLAN

SCALE: 1 : 60

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11. 14. 2013

A-2

1.) RESIDENTIAL BUILDING

2.) EXISTING POOL DECK

3.) COMMON UTILITY AREA

4.) LANDSCAPING

5.) ADA COMPLIANT PARKING STALL

6.) PARKING STALL



7.) FIRE SUPPRESSION SYSTEM PUMP

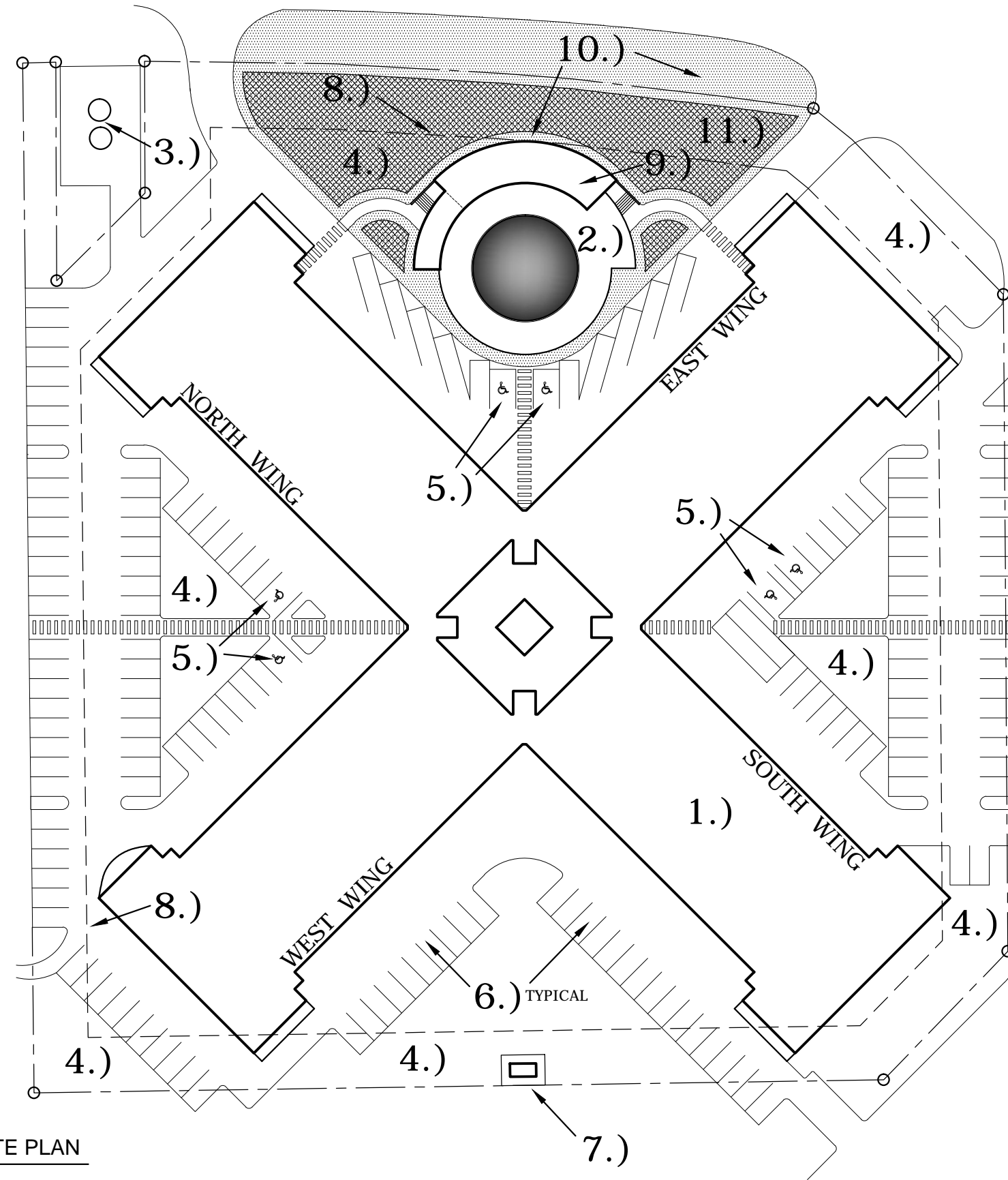
8.) BUILDABLE SETBACKS

9.) PROPOSED COMMUNITY CENTER

10.) EXISTING OPEN SPACE

11.) PROPOSED STORMWATER RETENTION SWALE:  
(16908 CF @ 2'-0" DEPTH)

-  EXISTING OPEN SPACE
-  PROPOSED SWALE AREA



CISTERN INFORMATION:

1 GALLON = 0.133681 CF

1000 GALLONS = 133.681 CF

KEY WEST = 40 IN AVERAGE ANNUAL RAINFALL

(40 IN)X(0.62) = 24.8 GALLONS / SQUARE FOOT

CATCHMENT AREA (ROOF OF PROPOSED)= 1918 SF

(1918 SF)X(24.8 GAL/SF) = 47566.4 GALLONS

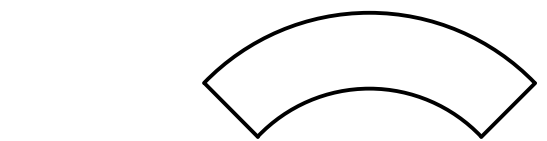
'1/3 RULE': (47566.4 GALLONS)X(1/3) =

15855.47 GALLONS (MAXIMUM CISTERN)

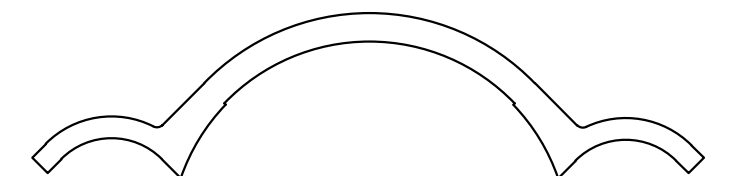
NOTE 1: WITH THE ABOVE INFORMATION, THE LAS SALINAS HOMEOWNERS' ASSOCIATION WISHES TO PROVIDE A CISTERN FOR ON-SITE STORAGE OF NON-POTABLE WATER FOR IRRIGATION, WHICH IS TO BE LOCATED IN A CRAWL-SPACE BENEATH THE PROPOSED AREA OF CONSTRUCTION. THIS CISTERN WILL BE IN ADDITION TO THE PROVIDED ON SITE STORMWATER RETENTION SWALE.

NOTE 2: 'ADDITIONAL IMPERVIOUS' DOES NOT EXCEED ALLOWABLE BUILDING SETBACKS. THIS REPRESENTS THE AREA IN ADDITION TO THE EXISTING IMPERVIOUS AREA, THAT IS WITHIN THE BUILDABLE SETBACKS.

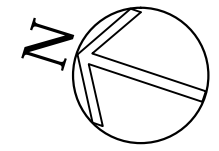
PROPOSED BUILDING AREA: 1501 SF



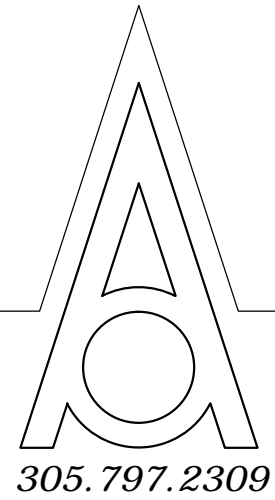
ADDITIONAL IMPERVIOUS AREA: 1372 SF



2  
A-3 LDR INFORMATION  
SCALE: NOT TO SCALE



1  
A-3 PROPOSED SITE PLAN  
SCALE: 1 : 60



COMMUNITY CENTER PLANNING

3930 SOUTH ROOSEVELT BOULEVARD  
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LAS SALINAS CONDOMINIUM ASSOCIATION

PROPOSED SITE PLAN

SCALE: 1 : 60

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FL CA No. 26597

JAMES C. REYNOLDS, P.E.  
FL LIC No. 46685

11. 14. 2013

A-3

1.) EXISTING BATHROOMS

PROPOSED BUILDING AREA: 1501 SF

ADDITIONAL IMPERVIOUS AREA: 1372 SF

2.) EXISTING POOL

3.) EXISTING POOL DECK

4.) PROPOSED COMMUNITY CENTER

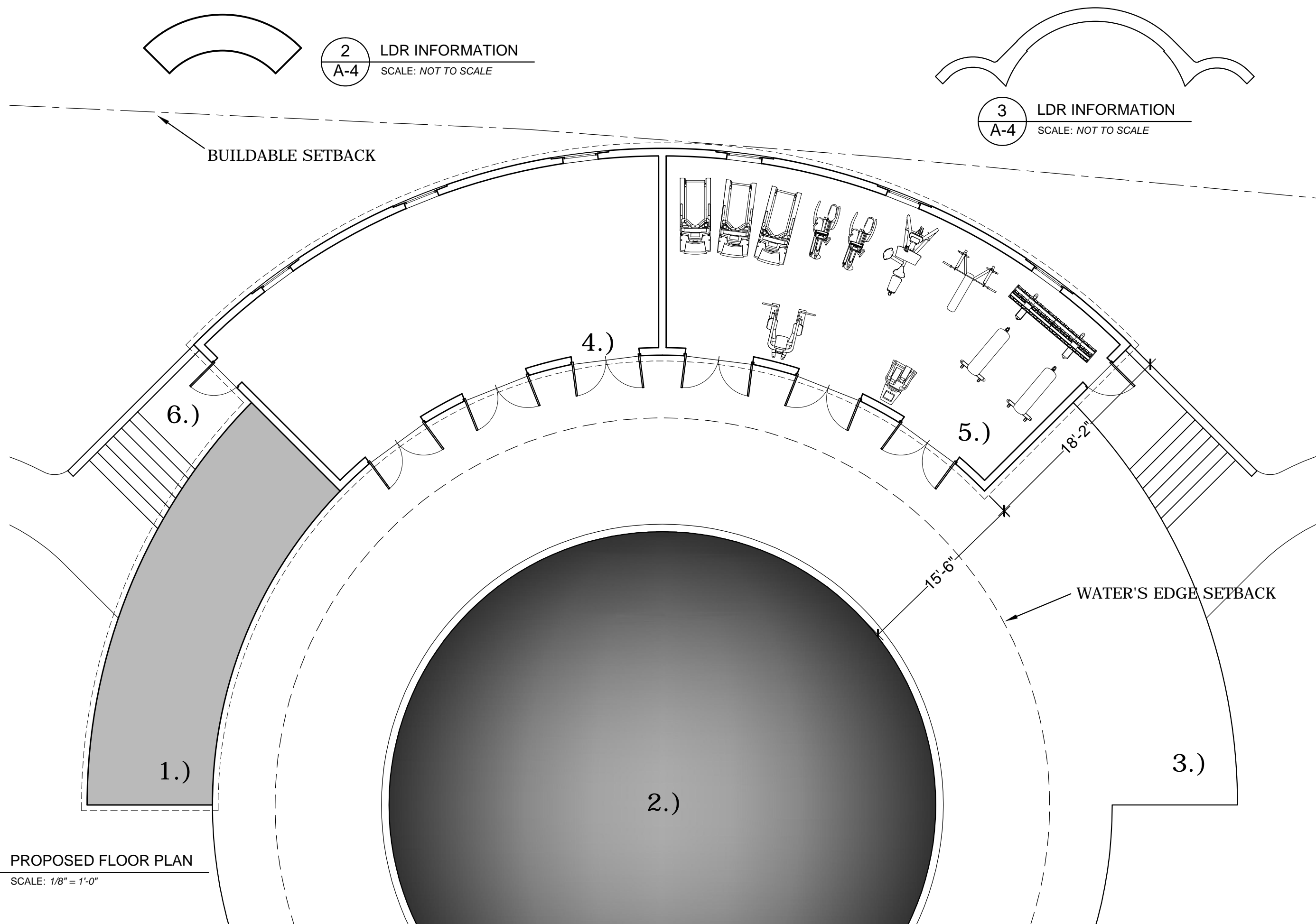
5.) PROPOSED FITNESS CENTER

6.) PROPOSED ENTRY STAIR

NOTE 1: EXISTING CODE COMPLIANT ACCESSIBLE RAMP WILL BE USED TO ACCESS NEW COMMUNITY AND FITNESS CENTER. NO CHANGES TO ACCESSIBILITY ARE PROPOSED AS A RESULT OF THIS PROJECT.

NOTE 2: PROPOSED BUILDINGS WILL BE PROTECTED BY CODE COMPLIANT FIRE SUPPRESSION SPRINKLERS.

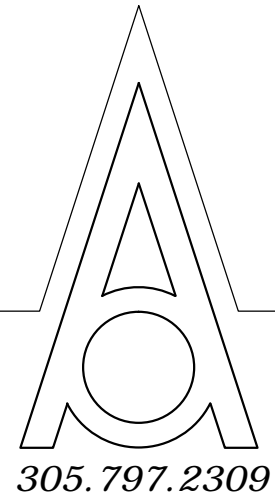
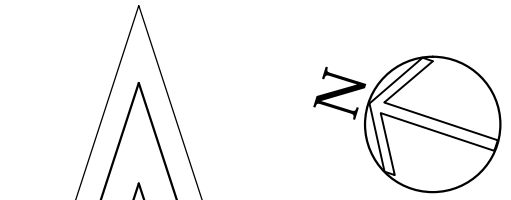
NOTE 3: 'ADDITIONAL IMPERVIOUS' DOES NOT EXCEED ALLOWABLE BUILDING SETBACKS. THIS REPRESENTS THE AREA IN ADDITION TO THE EXISTING IMPERVIOUS AREA, THAT IS WITHIN THE BUILDABLE SETBACKS.



2  
A-4 LDR INFORMATION  
SCALE: NOT TO SCALE

3  
A-4 LDR INFORMATION  
SCALE: NOT TO SCALE

1  
A-4 PROPOSED FLOOR PLAN  
SCALE: 1/8" = 1'-0"



### COMMUNITY CENTER PLANNING

3930 SOUTH ROOSEVELT BOULEVARD  
KEY WEST, FLORIDA 33040  
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### PROPOSED FLOOR PLAN

SCALE: 1/8" = 1'-0"

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FL LIC No. 46685

11. 14. 2013

A-4



1.) EXISTING BATHROOMS

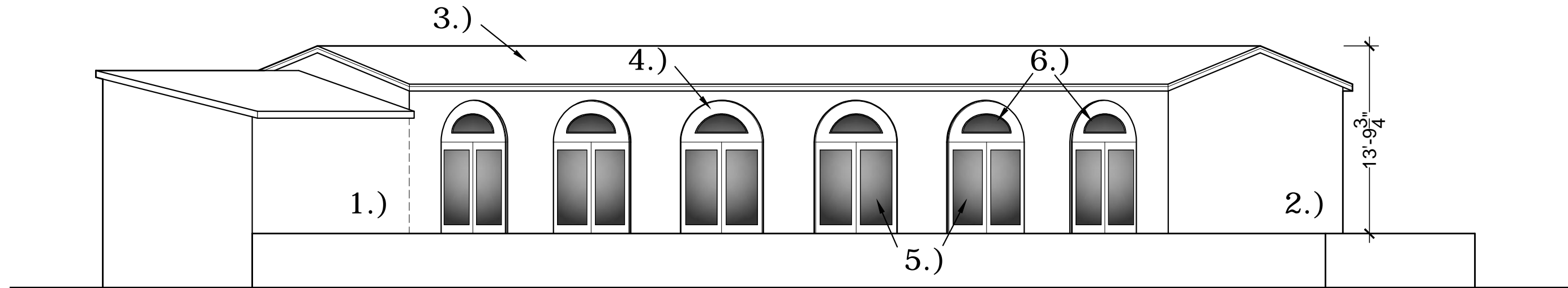
2.) STUCCO FINISH  
(MATCH EXISTING)

3.) METAL SHINGLE ROOF  
(MATCH EXISTING)

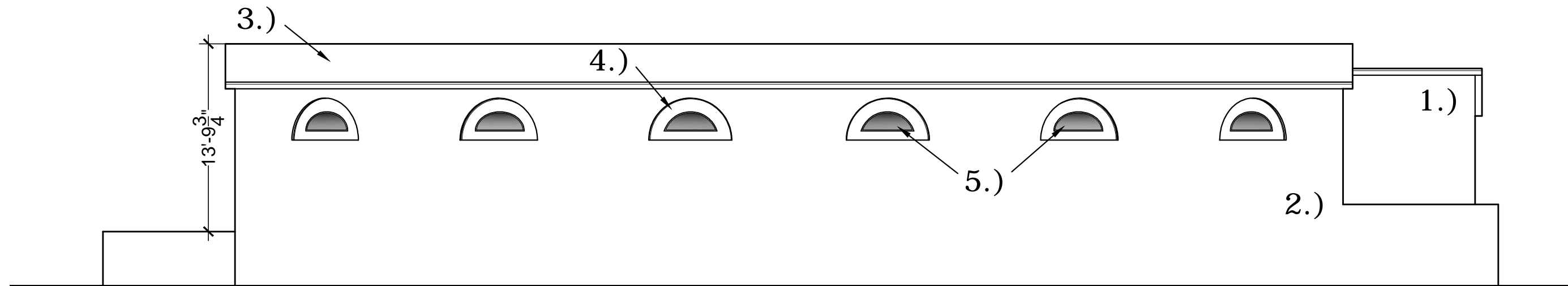
4.) STUCCO WINDOW INSET.

5.) ALUMINUM DOORS  
(IMPACT RESISTANT)

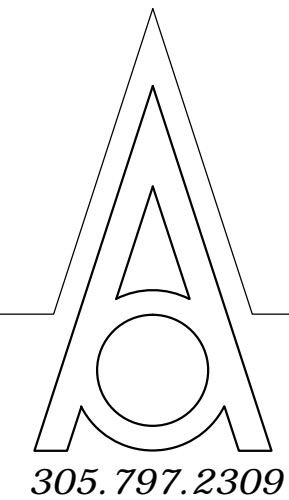
6.) ALUMINUM FIXED-PANE WINDOWS  
(IMPACT RESISTANT)



1 PROPOSED NORTH ELEVATION  
A-5 SCALE: 1/8" = 1'-0"



2 PROPOSED SOUTH ELEVATION  
A-5 SCALE: 1/8" = 1'-0"



**COMMUNITY CENTER PLANNING**  
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**NORTH & SOUTH ELEVATIONS**  
SCALE: 1/8" = 1'-0"

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FL LIC No. 46685

11. 14. 2013

**A-5**

**SYMBOL KEY**

LIFE SAFETY PLAN:

SYMBOL	DESCRIPTION
	FIRE EXTINGUISHER LOCATION
	FIRE ALARM LOCATION
	EMERGENCY EGRESS SIGN / LIGHTING NOTE: EMERGENCY EGRESS SIGNAGE / LIGHTING TO BE: GREEN LED, FULLY ADJUSTABLE HEADS, POLYCARBONATE COMBINATION UNIT (W/ BATTERY BACKUP).
	EMERGENCY LIGHTING NOTE: EMERGENCY LIGHTING TO BE: FULLY ADJUSTABLE HEADS, POLYCARBONATE UNIT (W/ BATTERY BACKUP).

ALLOWABLE HEIGHTS AND BUILDING AREAS TABLE 503 FBC  
OCCUPANCY CLASS: ASSEMBLY A-3 GROUP B

**CONSTRUCTION TYPE: TYPE III - A**

ITEM	EXISTING	FBC TABLE 503	PROPOSED	COMPLIANCE
CONSTRUCTION TYPE	N / A	TYPE III - A	TYPE III - A	YES
MAX HEIGHT (FEET)	N / A	65'-0"	17'-10"	YES
OCCUPANCY	N / A	GROUP A	GROUP A	YES
MAX STORIES	N / A	3	1	YES
MAX AREA	N / A	14000 SF	1501 SF	YES

**CALCULATED OCCUPANCY LOAD PER TABLE 1004.1.2 FBC  
OCCUPANCY CLASS: ASSEMBLY A-3 GROUP B**

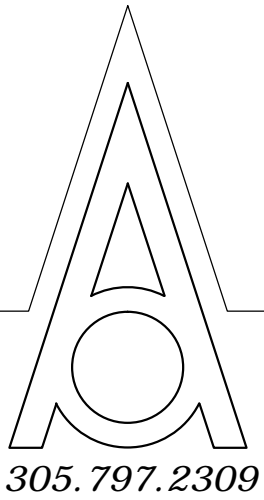
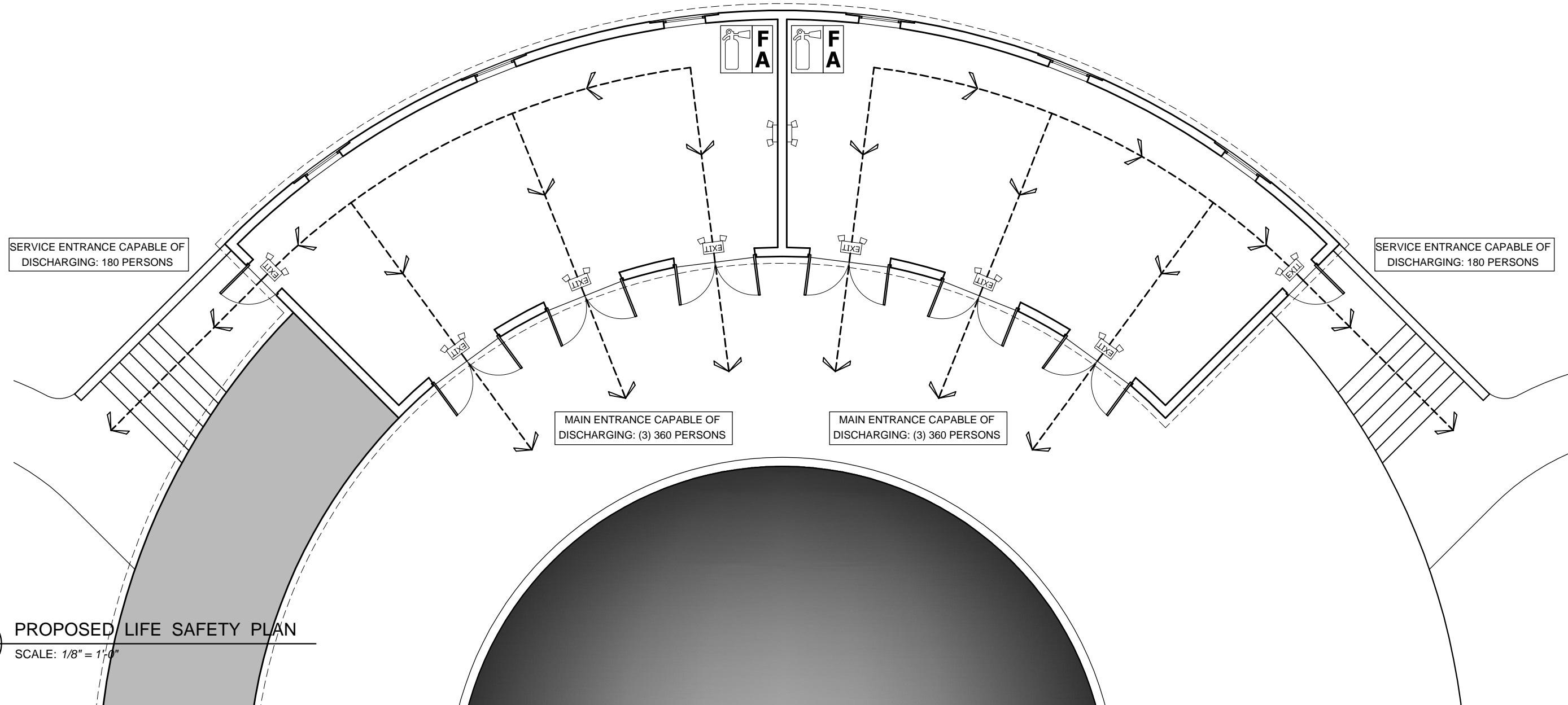
CONSTRUCTION TYPE: TYPE III - A	AREA	LOAD (PER 1004.1.1)	REQ. EGRESS (PER 1005.1)	PROVIDED	COMPLIANCE
ASSEMBLY, GRADE FLOOR	750.5 SF	50 (@ 1 PER 15 SF)	(50) X (0.20) = 10" WIDTH	252" (4-QTY)	YES
ASSEMBLY, GRADE FLOOR	750.5 SF	15 (@ 1 PER 50 SF)	(15) X (0.20) = 3" WIDTH	252" (4-QTY)	YES
TOTAL OCCUPANT LOAD		65 (COMBINED)	COMBINED = 13.0" WIDTH	504" (8-QTY)	YES

FIRE EXTINGUISHERS PROVIDED: 2 - CLASS A (INTERIOR)

**MAXIMUM EMERGENCY EGRESS TRAVEL DISTANCE  
(PER FBC TABLE 1016.1 TYPE - V GROUP B):**

ROUTE A:	35'-10"	(COMPLIANT)
ROUTE B:	24'-2"	(COMPLIANT)

NOTE: EXISTING CODE COMPLIANT ACCESSIBLE RAMP WILL BE USED TO ACCESS NEW COMMUNITY AND FITNESS CENTER. NO CHANGES TO ACCESSIBILITY ARE PROPOSED AS A RESULT OF THIS PROJECT.



**COMMUNITY CENTER PLANNING**  
3930 SOUTH ROOSEVELT BOULEVARD  
KEY WEST, FLORIDA 33040  
LAS SALINAS CONDOMINIUM ASSOCIATION

**LIFE SAFETY PLAN**  
SCALE: 1/8" = 1'-0"

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JAMES C. REYNOLDS, P.E.  
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11. 14. 2013

**A-6**

THE CONSTRUCTION DEPICTED ON THIS SET OF CONSTRUCTION DOCUMENTS WAS DESIGNED TO COMPLY WITH ALL APPLICABLE CITY AND STATE CODES AND ORDINANCES, INCLUDING THE 2010 FLORIDA BUILDING CODE; RESIDENTIAL, AND THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, FIRE CODE, AND LIFE SAFETY CODE.

## DESIGN INFORMATION - 2010 FLORIDA BUILDING CODE

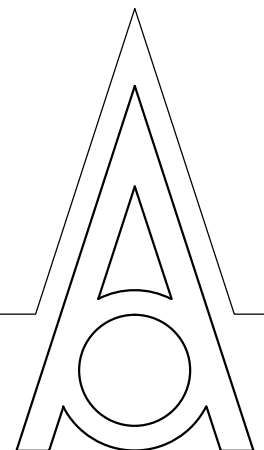
LAND USE ZONE	HDR	FRONT SETBACK	10'-0"/30'-0"	COVERAGE:	
FLOOR LOADS	40/10	REAR SETBACK	20'-0"/25'-0"	TOTAL SITE	197763.2069 SF
ROOF LOADS	20/10	SIDE SETBACK	7'-0"/25'-0"	BUILDING	68701.422 SF
CATEGORY	D	HEIGHT LIMIT	40'-0"	OTHER IMPERVIOUS	78728.03 SF
WIND ZONE	180 MPH (ULTIMATE)	STREET SETBACK	25'-0"	OPEN	50333.754 SF
FLOOD ZONE	AE (ELEVATION 8)	BUILDING COVERAGE	40%	TOTAL BUILDING	68701.422SF [34.74%]
DENSITY	22 / ACRE	IMPERVIOUS COVERAGE	60%	TOTAL IMPERVIOUS	147429.45 SF [74.55%]

## STORM-WATER RETENTION

SEE SHEET A - 3 FOR STORM-WATER RETENTION DEVICES.

## GENERAL NOTES AND SPECIFICATIONS

- 1.0 GENERAL DESIGN AND CONSTRUCTION: DESIGN AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE 2010 FLORIDA BUILDING CODE, IN ADDITION TO THE SPECIFIC REQUIREMENTS OF THE CITY OF KEY WEST, FLORIDA.
- 1.1 GENERAL: CONSTRUCTION METHODS, PROCEDURES, AND SEQUENCES ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE THE NECESSARY ACTIONS TO MAINTAIN AND PROTECT THE STRUCTURAL INTEGRITY AND SERVICEABILITY OF THE CONSTRUCTION, AND CONSTRUCTION SITE, AT ALL TIMES.
- 1.2 DESIGN CERTIFICATION: THE EXTENT OF THE ENGINEERING CERTIFICATION OF THESE DRAWINGS IS LIMITED TO THE SELECTED PARKING MAINTENANCE, WITHIN THE EXISTING PARKING FOOTPRINT ONLY.
- 1.3 CONSTRUCTION LOADS: STRUCTURAL MEMBERS, AS SHOWN IN THE CONSTRUCTION DOCUMENTS, HAVE BEEN DESIGNED TO SUPPORT THE CODE REQUIRED SERVICE LOADS ONLY. THE STRUCTURAL DESIGN OF THIS BUILDING HAS NOT ACCOUNTED FOR LOADS IMPOSED DURING CONSTRUCTION. SUCH LOADS MAY EXCEED THE DESIGNED SERVICE LOADS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EMPLOYING THE NECESSARY AND APPROPRIATE METHODS FOR SUPPORTING ALL ADDITIONAL LOADS ENCOUNTERED AS A RESULT OF CONSTRUCTION.
- 1.4 CONSTRUCTION COORDINATION: THE CONTRACTOR SHALL COORDINATE ALL WORK REQUIRED BY THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. IN ADDITION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND THE SIZES PERTAINING TO CHASES, INSERTS, OPENINGS, SLEEVES, FINISHES, DEPRESSIONS, AND OTHER PROJECT REQUIREMENTS NOT DISPLAYED IN THE CONSTRUCTION DOCUMENTS.
- 1.5 CONFLICTS: WHENEVER CONFLICTS, DISCREPANCIES, OR AMBIGUITIES ARISE WITHIN THE CONSTRUCTION DOCUMENTS, SCHEDULES, AND/OR NOTATIONS; SUCH ANOMALIES ARE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CORRECTION AND/OR CLARIFICATION.
- 1.6 ARCHITECT'S LIMITATION OF RESPONSIBILITY: THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE QUALITY OF THE COMPOSITION OF MATERIALS, PRODUCTION OF SHOP DRAWINGS, INSPECTION, SUPERVISION, REVIEW, OR ACCURACY PERTAINING TO CONSTRUCTION AND/OR SUBSEQUENT METHODS. NEITHER SHALL THE ARCHITECT BE LIABLE FOR THE CONSTRUCTION SITE, SAFETY OF THE SITE, NOR THE SAFETY OF CONSTRUCTION WORKERS. SITE AND CONSTRUCTION SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 1.7 ARCHITECT'S STATEMENT OF COMPLIANCE: TO THE BEST OF THE ARCHITECT'S INFORMATION, KNOWLEDGE, AND TRAINING THE STRUCTURAL DESIGN AND SPECIFICATIONS CONTAINED HEREIN COMPLY WITH APPLICABLE BUILDING CODES, STANDARDS, AND CONSTRUCTION PRACTICES.
- 1.8 LOCATION: THESE DOCUMENTS ARE INTENDED FOR THE SELECTED PARKING MAINTENANCE ON THE DESIGNATED SITE.
- 1.9 ADDENDUM: THERE SHALL BE NO DEVIATION FROM THESE CONSTRUCTION DOCUMENTS WITHOUT PRIOR APPROVAL BY THE ARCHITECT OF RECORD. ANY CHANGES MADE WITHOUT APPROVAL OF THE OWNER AND/OR ARCHITECT ARE SUBJECT CORRECTION AT THE EXPENSE OF THE CONTRACTOR.
- 1.10 DISCREPANCIES: THE CONTRACTOR SHALL INSPECT AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE SITE. ANY DISCREPANCIES OR CONDITIONS THAT ARE EITHER UNSAFE OR UNSATISFACTORY, SHALL BE REPORTED TO THE OWNER AND/OR ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.
- 1.11 SAFETY: THE CONTRACTOR SHALL PROVIDE FOR THE GENERAL WELFARE AND SAFETY OF THE SITE DURING CONSTRUCTION. IT IS HIS/HER RESPONSIBILITY TO PROVIDE FOR THE SAFETY OF ALL PERSONS AT WORK ON, OR VISITING THE SITE DURING CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE, AS A RESULT OF CONSTRUCTION, TO MATERIALS, EQUIPMENT, AND/OR ADJACENT BUILDINGS AND SITES.
- 1.12 DEBRIS: THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE REMOVAL OF DEBRIS, FROM THE SITE, AS TO MAINTAIN A SAFE AND ORDERLY WORKING ENVIRONMENT. UPON COMPLETION OF CONSTRUCTION, HE/SHE IS RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION EQUIPMENT AND REMAINING CONSTRUCTION DEBRIS.
- 1.13 OMISSIONS: INFORMATION THAT IS OMITTED, UNSPECIFIED, OR OTHERWISE NOT PRESENT IN THIS SET OF CONSTRUCTION DOCUMENTS IS NOT TO BE CONSIDERED OBSOLETE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE DESIGN INTENT THROUGHOUT CONSTRUCTION.
- 1.14 DIMENSIONS: THE CONTRACTOR SHALL NOT SCALE FROM CONSTRUCTION DOCUMENTS, DRAWINGS, OR NOTES. ANY INFORMATION THAT IS UNCLEAR OR UNDEFINED WITHIN THE CONSTRUCTION DOCUMENTS SHOULD BE OBTAINED/CLARIFIED BY THE ARCHITECT OF RECORD.
- 1.15 COORDINATION: THE CONTRACTOR SHALL OVERSEE AND COORDINATE WORK OF THE VARIOUS TRADES INVOLVED IN CONSTRUCTION, TO PREVENT ANY CONFLICTS.
- 1.16 CONSTRUCTION DOCUMENTS: THE CONTRACTOR SHALL FURNISH ALL SUB-CONTRACTORS WITH A COMPLETE SET OF CONSTRUCTION DOCUMENTS FROM WHICH TO WORK.
- 1.17 ELECTRICAL: ALL ELECTRICAL INSTALLATIONS SHALL COMPLY WITH THE LATEST NATIONAL ELECTRICAL AND SUBSEQUENT LOCAL BUILDING CODES.
- 1.18 SANITARY FACILITIES: PORTABLE SANITARY FACILITIES ARE TO BE PROVIDED BY THE CONTRACTOR WHERE SUCH FACILITIES DO NOT EXIST.
- 1.19 DRAINAGE: STORM WATER SHALL BE RETAINED ON THE PROPERTY.



305.797.2309

### COMMUNITY CENTER PLANNING

3930 SOUTH ROOSEVELT BOULEVARD  
KEY WEST, FLORIDA 33040  
LAS SALINAS CONDOMINIUM ASSOCIATION

### NOTES AND SPECIFICATIONS

SCALE: *NOT TO SCALE*

REYNOLDS ENGINEERING SERVICES  
22330 LAFITTE DRIVE  
CUDJOE KEY, FL 33042  
PH: 305.394.5987  
FL CA No. 26597

JAMES C. REYNOLDS, P.E.  
FL LIC No. 46685

11. 14. 2013

A-7

## Site Photos













**DRC**  
**Minutes & Comments**

# Minutes of the Development Review Committee

## Approved on December 20, 2013

No comments.

### **POLICE DEPARTMENT:**

No comments

### **HARC PLANNER:**

No Comments

### **ENGINEERING:**

No comment.

### **FIRE DEPARTMENT:**

Mr. Barroso stated that since a third story is being added on an existing building with side setbacks that limit accessibility, the Fire Department is requesting the second story be sprinkled. He encouraged the applicant to meet with the Fire Department.

### **BUILDING OFFICIAL:**

No comments.

### **SUSTAINIBILITY COORDINATOR:**

No comments.

### **KEYS ENERGY:**

No objections

2. **Variances – 3930 South Roosevelt Boulevard (RE # 00066180-000400; AK # 8781644) – A request for variances to the minimum open space, maximum impervious surface ratio and minimum setbacks in order to construct a community and fitness center building on property located within the High Density Residential (HDR) Zoning District pursuant to Sections 108-346(b), 122-330(4)b. and 122-330(6)b. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.**

Mr. Bond gave members an overview of the variance request. Mr. Bond stated that a setback variance was not required.

The applicant, Mr. Gregory Oropeza of Smith & Oropeza P.L. gave members an overview of the request.

### **DRC Member Comments:**

### **ART IN PUBLIC PLACES:**

No comments.

### **URBAN FORESTRY MANAGER:**

## Minutes of the Development Review Committee

Approved on December 20, 2013

The project involves developing in an area that is currently a landscaped area. The project will need to be reviewed by the Tree Commission to include the removal and the replacement of trees in the area.

### **POLICE DEPARTMENT:**

Mr. Torrence asked the applicant if there would be a telephone in the space for 911 emergencies; the applicant stated yes.

### **HARC PLANNER:**

No Comments

### **ENGINEERING:**

Stormwater Drainage

Sheet A-3 identifies the open space area east of the pool as the location of the existing swale and for the proposed swale.

Please design the swale depth so that the swale slope shall not exceed 4:1 ratio. The swale and retention basin shall be planted with sod or ground cover vegetation.

### **FIRE DEPARTMENT:**

Mr. Barroso stated that a general life safety plan has to be in place for a 1500sf building to include sprinkling. He encouraged the applicant to meet with the Fire Department.

### **BUILDING OFFICIAL:**

No comments.

### **SUSTAINABILITY COORDINATOR:**

No comments.

### **KEYS ENERGY:**

No objections to the variances. However, applicant will need to provide a site plan and Project Review Form for all electrical loads. Thus to ensure the applicant and surrounding customers have adequate power

## ADJOURNMENT

Meeting adjourned at 10:23am

Respectfully submitted by,  
*Stacy L. Gibson*  
*Administrative Assistant II*  
Planning Department

# **SunBiz Information**



## Detail by Entity Name

### Florida Non Profit Corporation

LAS SALINAS CONDOMINIUM ASSOCIATION, INC.

### Filing Information

**Document Number** N34399  
**FEI/EIN Number** 650198747  
**Date Filed** 09/26/1989  
**State** FL  
**Status** ACTIVE

### Principal Address

3930 SOUTH ROOSEVELT BLVD.  
NORTH 100  
KEY WEST, FL 33040

Changed: 04/20/2006

### Mailing Address

3930 SOUTH ROOSEVELT BLVD.  
NORTH 100  
KEY WEST, FL 33040

Changed: 04/05/2009

### Registered Agent Name & Address

DULCEY, ANDREW  
3930 S. ROOSEVELT BLVD  
NORTH 100  
KEY WEST, FL 33040

Name Changed: 04/19/2007

Address Changed: 07/22/2013

### Officer/Director Detail

#### **Name & Address**

Title P

DULCEY, ANDREW  
3930 S. ROOSEVELT BLVD. N-403  
KEY WEST, FL 33040

Title S

LYONS, RAYSHON R  
3930 S ROOSEVELT BLVD, W-104  
KEY WEST, FL 33040

## Title D

MORRIS, CYNTHIA  
 3930 S ROOSEVELT BLVD, E-104  
 KEY WEST, FL 33040

**Annual Reports**

Report Year	Filed Date
2011	01/03/2011
2012	02/27/2012
2013	01/25/2013

**Document Images**

<a href="#">07/22/2013 -- Reg. Agent Change</a>	View image in PDF format
<a href="#">01/25/2013 -- ANNUAL REPORT</a>	View image in PDF format
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<a href="#">06/19/1996 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">05/01/1995 -- ANNUAL REPORT</a>	View image in PDF format

[Frs|wikwE #dqg#Subvdf|#Srdf|lv](#)

Vvdwhr:##arubd/#G hsdump hqwhr:#/#vwh

**Public Notices**  
**(radius map & mailing list)**



# Public Meeting Notice

The Key West Planning Board will hold a public hearing at 6:00 p.m., January 23, 2014 at Old City Hall, 510 Greene Street, Key West, Florida, and (Behind Sloppy Joe's Bar). The purpose of the hearing will be to consider a request for:

**Variance – 3930 South Roosevelt Boulevard (RE # 00066180-000400; AK # 8781644) –**  
A request for variances to the minimum open space and maximum impervious surface ratio in order to construct a community and fitness center building on property located within the High Density Residential (HDR) Zoning District pursuant to Sections 108-346(b) and 122-330(4)b of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3720 or visit our website at [www.keywestcity.com](http://www.keywestcity.com).

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL AFTER PLANNING BOARD DETERMINATION**

## YOU ARE WITHIN 300 FEET OF THE SUBJECT PROPERTY

The City of Key West Planning Board will be holding a Public Hearing:

**Request: Variance – 3930 South Roosevelt Boulevard (RE # 00066180-000400; AK # 8781644)** – A request for variances to the minimum open space and maximum impervious surface ratio in order to construct a community and fitness center building on property located within the High Density Residential (HDR) Zoning District pursuant to Sections 108-346(b) and 122-330(4)b. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida..

**Applicant/Owner: Smith / Oropeza, P.L.**

**Project Location:** 3930 S. Roosevelt Blvd.

**Date of Hearing:** Thursday, January 23, 2014

**Time of Hearing:** 6:00 PM

**Location of Hearing:** Old City Hall, 510 Greene  
City Commission Chambers

Interested parties may appear at the public hearing(s) and be heard with respect to the applications. Packets can be viewed online at [www.keywestcity.com](http://www.keywestcity.com). Click on City Board & Committee Agendas. A copy of the corresponding application is available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm.

**Please provide written comments to the Planning Department, PO Box 1409, Key West, FL 33041-1409 , by FAX (305) 809-3978 or by email to Stacy L. Gibson at [sgibson@keywestcity.com](mailto:sgibson@keywestcity.com).**

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Planning Commission or the City Commission with respect to any matter considered at such hearing or meeting, one will need a record of the proceedings and for such purpose that person may need to ensure that a verbatim record of the proceedings is made; such record includes the testimony and evidence upon which the appeal is to be based.

ADA Assistance: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 305-809-1000 or the ADA Coordinator at 305-809-3951 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

## YOU ARE WITHIN 300 FEET OF THE SUBJECT PROPERTY

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**Request: Variance – 3930 South Roosevelt Boulevard (RE # 00066180-000400; AK # 8781644)** – A request for variances to the minimum open space and maximum impervious surface ratio in order to construct a community and fitness center building on property located within the High Density Residential (HDR) Zoning District pursuant to Sections 108-346(b) and 122-330(4)b. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida..

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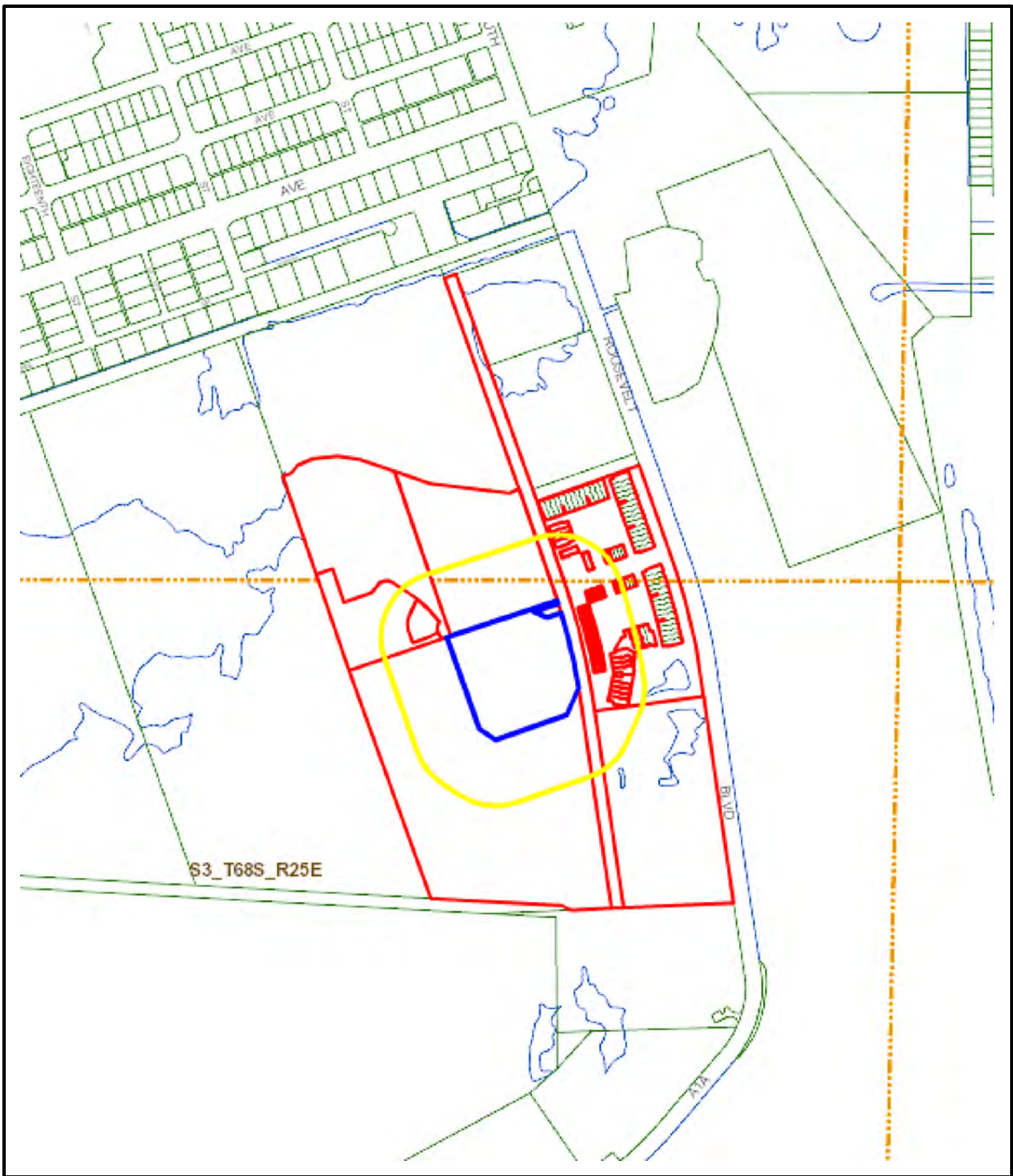
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# Monroe County, Florida

**3930 S Roosevelt**

Printed: Jan 09, 2014



DISCLAIMER: The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.



NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
PISERCHIA REGINA B	3414 17TH ST N APT 5		ARLINGTON	VA	22207-3694	
MARSHALL PATRICK T AND SANDRA L	3635 SEASIDE DR APT 302		KEY WEST	FL	33040-5304	
CAVALLARO JOSEPHINE A	55 STATION LNDG APT 436		MEDFORD	MA	02155-5031	
CHOLAK DAVID	P O BOX 608841		ORLANDO	FL	32860	
POLLACK JOAN E	3655 SEASIDE DR APT 430		KEY WEST	FL	33040-5356	
BARTILOTTA FRANK	7232 W CLARENCE AVE		CHICAGO	IL	60631-1925	
GARFIELD BENJAMIN AND AMY	3675 SEASIDE DR APT 137		KEY WEST	FL	33040-5358	
CASADY BRUCE AND PATRICIA	2705 BITTERSWEET PL		BURLINGTON	IA	52601	
CAREY ELAINE L	3635 SEASIDE DR APT 117		KEY WEST	FL	33040-5298	
LAPLANTE LEWIS	3635 SEASIDE DR APT 402		KEY WEST	FL	33040-5310	
SATEK LARRY C AND PAMELA A	160 LANE 620 LAKE JAMES		FREMONT	IN	46737	
ADAMS SHAREN M	3655 SEASIDE DR APT 425		KEY WEST	FL	33040-5356	
ON POINTE REAL ESTATE HOLDING LLC	211 DUVAL ST STE C		KEY WEST	FL	33040-6583	
GOKLANEY RAMESH U AND HEERU R	114 HICKORY TRCE APT 3		CLARKSVILLE	TN	37040-8481	
CAPEK WAYNE AND MARY	23094 BONITO LN		SUMMERLAND KI	FL	33042-4332	
TSAGANIS OLGA	3635 SEASIDE DR APT 217		KEY WEST	FL	33040-5304	
DARMON JOHN	104 COOKSMILL RD RR 2		GUELPH	ONTAF	N1H 6H8	CANADA
CREIGHTON JOHN F	3533 FLAGLER AVE		KEY WEST	FL	33040-4609	
LAYVA LAURA R	14 PINEBROOK LN		MORGANTOWN	WV	26508-6241	
PREVETT JAMES R	129 MANOMET AVE		HULL	MA	02045-2128	
OPIPARI ANTEO C AND JOANNE	3635 SEASIDE DR APT 403		KEY WEST	FL	33040-5310	
GRIFFITH JEAN	3635 SEASIDE DR APT 417		KEY WEST	FL	33040-5310	
SCOTT GORDON	3635 SEASIDE DR APT 203		KEY WEST	FL	33040-5298	
LEAYCRAFT FREDRICK J	418 GORGE RD		CLIFFSIDE PARK	NJ	07010-2826	
SENN BRUCE AND KAREN	1276 LAKESHORE DR		MENASHA	WI	54952-1355	
HUTZ EDWARD T	730 WILLOPENN DR		SOUTHAMPTON	PA	18966	
SUNRISE SUITES 208 LLC	3625 SEASIDE DR		KEY WEST	FL	33040-5225	
HORMOZI DARAB	12252 MANOR RD		GLEN ARM	MD	21057	
CANODE DUANE AND ROBIN	1963 MOUND HILL RD		DIXON	IL	61021-9736	
QUILLEN JOYCE D AND WILLIAM S	16417 TURNBURY OAK DR		ODESSA	FL	33556-2888	
LOPEZ JOSE L AND TANYA C	2 SEASIDE SOUTH CT		KEY WEST	FL	33040	
RACHELL STEPHEN AND SUSAN	9 EAST PARK DR		OLD BETHPAGE	NY	11804	
KRIER KEVIN C	59 SEASIDE SOUTH CT		KEY WEST	FL	33040	
STAPLETON BLANCHE M	100 ADMIRALS LANE		KEY WEST	FL	33040	

NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
FOUNTAIN DAVID C AND SHIRLEY A	3930 S ROOSEVELT BLVD	UNIT N301	KEY WEST	FL	33040	
BADWEY LINDA A	50 WINONA AVE		FAIRHAVEN	MA	2719	
GONZALEZ ARMANDO H	1107 KEY PLZ	PMB 220	KEY WEST	FL	33040-4086	
MULLIS MARK A	3930 S ROOSEVELT BLVD	APT 113S	KEY WEST	FL	33040-5181	
JAMRA LARRY J	PO BOX 2584		TOLEDO	OH	43606	
TORRES ARIEL LORENZO AND GITTE KVIST	17712 NW 87TH PL		HIALEAH	FL	33018-6616	
WALLACH EMILY J	100 FALLSGROVE BLVD	APT 2309	ROCKVILLE	MD	20850-4791	
VANDYKE SANDRA J	11962 YORKSHIRE		RICHLAND	MI	49083	
ZERA GARY A AND RHONDA B	15415 CEDARWOOD LN	APT 202	NAPLES	FL	34110-7024	
LOUSAL ONE LLC	3424 CIRCLE DR		TOWSHIP	MI	48382	
WILSON JOANNE TARANTINO	1002 WASHINGTON ST		KEY WEST	FL	33040-4848	
GOLAN STEPHEN L	244 BUTLER DR		LAKE FOREST	IL	60045	
ARCHER SANDRA GALE ALLEN DEC OF TRUST 7/8/97	2911 PATTERSON AVE		KEY WEST	FL	33040	
NEW SMALL BATSON LLC	1331 ELMWOOD AVE	STE 150A	COLUMBIA	SC	29201-2156	
ROJAS WILLIAM	3930 S ROOSEVELT BLVD	APT 109E	KEY WEST	FL	33040-5202	
BISKUPICH MICHAEL J	21 KEY HAVEN TER		KEY WEST	FL	33040	
BOLAM CHARLES W L/E	PO BOX 502865		INDIANAPOLIS	IN	46250-7865	
WANG BEVERLEE	3635 SEASIDE DR	APT 111	KEY WEST	FL	33040-5298	
CRAIN ANTHONY E	3675 SEASIDE DR	APT 233	KEY WEST	FL	33040-5358	
RICHARDS LORI A	3635 SEASIDE DR	APT 206	KEY WEST	FL	33040-5298	
HAIGHT FAMILY TRUST UNDER AGR 6/28/2012	PO BOX 276		CASCADE LOCKS	OR	97014-0276	
HAMILTON ANDY B	6401 MALONEY AVE		KEY WEST	FL	33040	
HUTSCHALA GUENTER AND SIEGRUM	AM GEWENN 8		WETTENBERG		35435	GERMANY
TAYLOR JAMES D AND SARAH F	CMR 427 BOX 2703		APO	AE	09630-0028	
GORECKI THOMAS E AND JANICE R	652 SKYLINE FOREST DR		FRONT ROYAL	VA	22630-7758	
BRAUN FERNAND R AND PATRICIA J	PO BOX 430660		BIG PINE KEY	FL	33043-0660	
SOTO LAURA	3930 S ROOSEVELT BLVD	APT 102N	KEY WEST	FL	33040-5206	
MATHER ALAN AND MARCI	16802 VILLAGE CORNER CT		HOUSTON	TX	77059-5599	
SHILLING SAMUEL J AND HIROKO	442 E BUTLER ST		MERCER	PA	16137-1141	
GUY GREGORY B	3675 SEASIDE DR	APT 331	KEY WEST	FL	33040-5361	
BATTA JOHN P	68 SUNSET KEY		KEY WEST	FL	33040	
DELAURO FRANK A	3635 SEASIDE DR	APT 104	KEY WEST	FL	33040-5298	
POLICASTRO GREGORY	3675 SEASIDE DR	APT 342	KEY WEST	FL	33040-5361	
BOLLINGER JOHN	P O BOX 1738		KEY WEST	FL	33041	

NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
H AND C SALT POND CONDOS LLC	4119 MASSARD RD		FORT SMITH	AR	72903-6223	
YOUNGQUIST DAVID AND COLLEEN	1041 SOUTHVIEW DR		HASTINGS	MN	55033-3466	
WEINHOFER JOANNA L	PO BOX 2081		KEY WEST	FL	33045-2081	
MCQUILKIN MICHAEL T AND MELISSA J	3635 SEASIDE DR APT 317		KEY WEST	FL	33040-5304	
MEZHINSKIY KIRILL	3635 SEASIDE DR APT 416		KEY WEST	FL	33040-5310	
ASHE REBEKAH	918 KENNEDY DR		KEY WEST	FL	33040-4017	
KINNUNE DINA DELL	5 SEASIDE SOUTH CT		KEY WEST	FL	33040	
QUINONES ELVIN	3930 S ROOSEVELT BLVD APT 104N		KEY WEST	FL	33040-5206	
GRASSI JOSEPH A AND AGATHA	19 ORCHARD ST		MENDHAM	NJ	7945	
SANDERS CARL M	20 SEASIDE SOUTH CT		KEY WEST	FL	33040	
KATAJA LEILA A	24 SEASIDE SOUTH CT		KEY WEST	FL	33040	
ROJAHN KURTIS E AND JUNE F REV TR AG DTD 10/23/06	1718 MILWAUKEE ST		DELAFIELD	WI	53018	
LOYET HELEN CAROL	3635 SEASIDE DR APT 311		KEY WEST	FL	33040-5304	
SANTOS TODD CHARLES REV TR 03/26/2008	6012 NETTLE CIR		WILMINGTON	NC	28405	
MCCARTHY LISA MARIE	3655 SEASIDE DR APT 219		KEY WEST	FL	33040-5353	
H AND C SALT PONDS CONDOS LLC	4119 MASSARD RD		FORT SMITH	AR	72903-6223	
SEAMAN PETER	54 ROTUNDA LN		SOUTH RIVER	NJ	08882-2714	
DARROW RANDY J AND TRACI J	18770 FREEDOM RD		CHEBOYGAN	MI	49721-9352	
NICHOLS JAMES J AND GLENDA M	3675 SEASIDE DR APT 435		KEY WEST	FL	33040-5361	
SCHONECK DAN H II AND JOANNA A	2525 PATTERSON AVE		KEY WEST	FL	33040-3918	
SUNRISE SUITES RESORTS LLC	3340 N ROOSEVELT BLVD STE 6		KEY WEST	FL	33040-8021	
PROTOPSALTIS E DEBORAH LIVING TRUST 10/22/2010	11 DRIFTWOOD DR		KEY WEST	FL	33040-6216	
WILLINGER RICHARD THOMAS	955 GREEN VALLEY CRES		OTTAWA	ON	K2C 3V4	CANADA
RAMIREZ WILLIAM	10501 SW 122ND CT		MIAMI	FL	33186-3632	
MADRO KRZYSTOF W AND BOZENA J	PO BOX 2028		KEY WEST	FL	33045-2028	
MEIGGS ROBERT E III	3655 SEASIDE DR APT 225		KEY WEST	FL	33040-5353	
FEESER DON C AND PENNY C	PO BOX 694		GULF BREEZE	FL	32562-0694	
GLINSKI DR RONALD AND ROSELEEN	195 PINE LN		WHITEVILLE	NC	28472-8719	
MECK PAMELA J	PO BOX 2949		KEY WEST	FL	33045-2949	
HOLTZ ROGER D	6936 BERKEY SOUTHERN RD		WHITEHOUSE	OH	43571-9741	
KNABE EDNA ALICE TRUST AGR 1/23/1997	111 VIA DUOMO		NEW SMYRNA BE	FL	32169-5108	
CASADY BRUCE E AND PATRICIA D	2705 BITTERSWEET PL		BURLINGTON	IA	52601	
KURENT EDWARD	613 ASHDALE DR		BEAUFORT	SC	29907-2517	
LAVENDER THOMAS L LIV TR 06/20/2005	PO BOX 4004		KEY WEST	FL	33041-4004	

NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
TERRIS PATRICIA A	1415 1ST ST NORTH	UNIT 401	JACKSONVILLE B	FL	32250	
VILLAGRA ASCENSION & ALVAREZ SERGIO T/C	11313 NW 55TH LANE		MIAMI	FL	33178	
THIEL KENNETH G	6775 LAKE CLARK DR		LAKELAND	FL	33813-4542	
RAINS RICK L AND STEPHANIE S	3930 S ROOSEVELT BLVD UNIT N206		KEY WEST	FL	33040	
HEAVILAND MICHAEL A	3930 S ROOSEVELT BLVD APT 313N		KEY WEST	FL	33040-5178	
ROBINSON NANCY	60 CAMMETT WAY		MARSTONS MILL	MA	02648-1505	
TUNER MARY E	3930 S ROOSEVELT BLVD APT 310N		KEY WEST	FL	33040-5177	
STEWART JESSEE ENTERPRISES LLC	1107 KEY PLZ PMB 210		KEY WEST	FL	33040-4086	
ATWELL DEREK RAY	3930 S ROOSEVELT BLVD APT 402S		KEY WEST	FL	33040-5185	
BOLTON PETER E	3930 S ROOSEVELT BLVD APT 409S		KEY WEST	FL	33040-5185	
MORRIS CYNTHIA A	3930 S ROOSEVELT BLVD UNIT E104		KEY WEST	FL	33040	
HALAWANI BARBARA	3930 S ROOSEVELT BLVD APT 208E		KEY WEST	FL	33040-5158	
WALSH THERESE K	3 GREELEY RD		LONDONDERRY	NH	03053-3648	
LYONS MICHAEL A	3930 S ROOSEVELT BLVD UNIT 104W		KEY WEST	FL	33040	
MIDFIRST BANK	999 NW GRAND BLVD		OKLAHOMA CITY	OK	73118-6116	
ZIMMERMAN BRENDA	1600 RIVERSIDE DR		TRENTON	NJ	08618-5837	
SPLESCIA THOMAS A	390 CLOCKS BLVD		MASSAPEQUA	NY	11758	
ROBINSON MICHAEL D AND CRISTI S	3930 S ROOSEVELT BLVD APT 302W		KEY WEST	FL	33040-5205	
MIRA ROBERTA ANDREWS REV TR 7/16/2007	2928 STAPLES AVENUE		KEY WEST	FL	33040	
EISEN SCOTT TRUST AGR 6/29/98	3930 S ROOSEVELT BLVD APT 101N		KEY WEST	FL	33040-5206	
DUDLAR GANNON	243 W SCOTT ST APT 2		CHICAGO	IL	60610-1865	
FARMCHEM CORPORATION	PO BOX 309		FLOYD	IA	50435-0309	
DUDLAR FRANCIS P	3675 SEASIDE DR	STE 432	KEY WEST	FL	33040	
SUNRISE SUITES RESORT LLC	3340 N ROOSEVELT BLVD STE 6		KEY WEST	FL	33040-8021	
DILLON MATTHEW R AND ANN MARIE	3 SEASIDE SOUTH CT		KEY WEST	FL	33040-5293	
KOPELMAN ANDREA S	7 SEASIDE SOUTH CT		KEY WEST	FL	33040	
BOEHNLEIN SCOTT	2361 VALLETTA LN		LOUISVILLE	KY	40205	
CHANDLER WILLIAM G AND MARY	933 MENOMONIE LN		MADISON	WI	53704	
LAVENDER THOMAS L LIV TR 06/20/2005	PO BOX 4004		KEY WEST	FL	33041-4004	
WONG STEVE P	3930 S ROOSEVELT BLVD APT 112E		KEY WEST	FL	33040-5133	
BYRNE BRENDAN P	8710 SILKWOOD DR		GERMANTOWN	TN	38138	
WASHBURN JAMES N AND SUZANNE L	917 THOMAS ST		KEY WEST	FL	33040	
PETERS KATHERINE M	PO BOX 6522		KEY WEST	FL	33040	
LAS SALINAS CONDOMINIUM ASSOCIATION INC	3930 S ROOSEVELT BLVD APT 405E		KEY WEST	FL	33040-5203	

NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
TARRANTINO JOANNE	1002 WASHINGTON ST		KEY WEST	FL	33040	
COWARD PATRICIA K REV TRUST 09/03/2004	3930 S ROOSEVELT BLVD APT 302N		KEY WEST	FL	33040-5177	
WALKER MARY POPHAM	PO BOX 1508		CARROLLTON	GA	30112	
KERN STEVEN H	3930 S ROOSEVELT BLVD UNIT S209		KEY WEST	FL	33040	
FAIR ALLEN J	3 CONCORD PL		HAVRE DE GRAC	MD	21078	
MONROE COUNTY BOCC	1100 SIMONTON ST		KEY WEST	FL	33040-3110	
TARANTINO JOANNE	1002 WASHINGTON ST		KEY WEST	FL	33040-4865	
ELLIOTT KEVIN AND CAROL	101 SELLECK HILL RD		SALISBURY	CT	06068-1708	
BOADU FRED B	2518 SEIDENBURG AVE		KEY WEST	FL	33040	
KALB CHESTER H II	3930 S ROOSEVLET BLVD UNIT E105		KEY WEST	FL	33040	
ACKER KEVIN J	35 SEASIDE SOUTH CT		KEY WEST	FL	33040-5293	
ST PATRICK'S MONROE LAND TR DTD 12/27/05	115 CAMPBELL DR		WINTER HAVEN	FL	33881	
KEY HOPITALITY AND HEALTHCARE LIMITED PARTNERSH	4119 MASSARD RD		FORT SMITH	AR	72903-6223	
M P A OF KEY WEST LIMITED PARTNERSHIP	1433 12TH ST		KEY WEST	FL	33040	
DOWNEY DARLENE A	5835 NORHAM DR		ALEXANDRIA	VA	22315-4731	
SOUTH WILLIAM A	3930 S ROOSEVELT BLVD APT 207E		KEY WEST	FL	33040-5158	
URBANIK AXEL T	23 ARBUTUS DR		KEY WEST	FL	33040	
BATSON WILLIAM W	716 CLEM RD		GREENWOOD	SC	29649	
SEASIDE KEY WEST RESIDENCES HOMEOWNERS ASSOC	1 SEASIDE SOUTH CT		KEY WEST	FL	33040-5293	
SAWYER JEFFREY ALLEN	3635 SEASIDE DR APT 211		KEY WEST	FL	33040-5304	
HARTRANFT SCOTT A AND STACY M	4800 GREAT OAK RD		ROCKVILLE	MD	20853	
QUALEY KIMBERLY S	3930 S ROOSEVELT BLVD APT 112W		KEY WEST	FL	33040-5164	
MARTINEZ BELKIS L/E	3930 S ROOSEVELT BLVD APT 209W		KEY WEST	FL	33040-5166	
FECCA CARRIE D	3635 SEASIDE DR APT 101		KEY WEST	FL	33040-5298	
WALSIFER DAVID AND ROSEMARY	1003 E ST		BELMAR	NJ	7719	
FEDERAL NATIONAL MORTGAGE ASSOCIATION	3900 WISCONSIN AVE NW DRW 1099A		WASHINGTON	DC	20016-2892	
ROSS PATTY L	267 MARS LN		KEY WEST	FL	33040-6311	
HENSLEY JUDY	3930 S ROOSEVELT BLVD APT 102W		KEY WEST	FL	33040-5163	
MAYEN ALBERT	3635 SEASIDE DR APT 214		KEY WEST	FL	33040-5304	
WEINHOFER MICHAEL	P O BOX 430161		BIG PINE KEY	FL	33043-0161	
WIADROWSKI MARCIN P	3655 SEASIDE DR APT 230		KEY WEST	FL	33040-5353	
WHARTON SIDNEY C	3655 SEASIDE DR APT 220		KEY WEST	FL	33040-5353	
YOUNG JOHN L	3212 21ST ST SE		WASHINGTON	DC	20020-2806	
DULCEY ANDREW A	3930 S ROOSEVELT BLVD APT 403N		KEY WEST	FL	33040-5210	



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HYATT MARK B AND TERRI M	17021 STARFISH LN W		SUMMERLAND KI	FL	33042-3621	
GOLDNER BEVERLY REVOCABLE TRUST 8/1/2000	1500 ATLANTIC BLVD APT 405		KEY WEST	FL	33040-5075	
MARTIN MICHAEL	784 NE 35TH ST		BOCA RATON	FL	33431-6134	
KINSELLA PETER J	11633 SETHWARNER DR		GLEN ALLEN	VA	23059-4807	
SCHREIER BETH A	55 NEPTUNE PL		COLONIA	NJ	07067-2501	
BRADY MICHAEL J AND ELIZABETH A	PO BOX 4404		KEY WEST	FL	33041	
PAVELEK JIRI	PO BOX 5795		KEY WEST	FL	33045-5795	
LAVENDER THOMAS L	P O BOX 4004		KEY WEST	FL	33040	
EGAMBERDIEV OYBEK	3930 S ROOSEVELT BLVD APT 307N		KEY WEST	FL	33040-5177	
CUNIU ALICE J	3930 S ROOSEVELT BLVD APT 401N		KEY WEST	FL	33040-5210	
YUSUPOV ANVAR A	3930 S ROOSEVELT BLVD APT 407N		KEY WEST	FL	33040-5210	
MARTIN DANNY L AND WANDA J	3930 S ROOSEVELT BLVD APT 410N		KEY WEST	FL	33040-5210	
LAS SALINAS CONDO ASSOC INC	3158 NORTHSIDE DR		KEY WEST	FL	33040-8025	
YOUNG JOHN AND JAMIE	2948 LEXINGTON RD		LOUISVILLE	KY	40206-2934	
SANTOS BRETT DYLAN SPECIAL NEEDS TR DTD 02/18/200	6012 NETTLE CIR		WILMINGTON	NC	28405-3782	
SUNRISE AT SEASIDE CONDOMINIUM	3625 SEASIDE DR		KEY WEST	FL	33040	
KRAUSS WILLIAM JOHN JR AND ELIZABETH K	200 HERON CV		GEORGETOWN	SC	29440-8501	
BRYNER JEFF T/C	10975 WHITCOMB ST		CROWN POINT	IN	46307-3608	
PERKINS MARK T	2828 STAPLES AVE		KEY WEST	FL	33040	
BASSETT KIMBERLY S	1998 OVERSEAS HWY APT 33A		MARATHON	FL	33050-2137	
DEROUIN MICHAEL AND HEATHER D	3635 SEASIDE DR APT 318		KEY WEST	FL	33040-5304	
ROUSH VICTORIA LYNN	3655 SEASIDE DR APT 120		KEY WEST	FL	33040-5353	
SONI JAYESH M AND PRAVINA J	3655 SEASIDE DR APT 228		KEY WEST	FL	33040-5353	
KORESSEL JOYCE A	3655 SEASIDE DR APT 326		KEY WEST	FL	33040-5356	
COCONUTS TRUST LAND TRUST	2923 TEMPLE TRL		WINTER PARK	FL	32789-1162	
BURRELL DUSTIN	3655 SEASIDE DR APT 124		KEY WEST	FL	33040-5353	
BAEDER LARRY	3655 SEASIDE DR APT 224		KEY WEST	FL	33040-5353	
JARDINE SUZETTE D AND RICHARD T	21 FAWN DR		WALLINGFORD	CT	06492-3343	
TSOKAS VASILIOS	3930 S ROOSEVELT BLVD APT 205E		KEY WEST	FL	33040-5158	
CHOU JEFF	2930 137TH ST APT 44		FLUSHING	NY	11354-2014	
VURAL ERICA N	3807 DONALD AVE		KEY WEST	FL	33040-4510	
LEYVA CARIDAD	17945 SW 188 ST		MIAMI	FL	33187-2010	
CHICK LOWELL J AND ALICE	115 SW 89TH WAY		POMPANO BEACH	FL	33071	
KEY PROPERTY LLC	512 NORTH WASHINGTON ST		ALEXANDRIA	VA	22314	

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ANDERSON JOHN H AND MICHELLE D	9 AZALEA DR		KEY WEST	FL	33040	
ERHARD DAVID	3930 S ROOSEVELT BLVD APT 401S		KEY WEST	FL	33040-5185	
VAZQUEZ HECTOR E AND LUISETTE M	3930 S ROOSEVELT BLVD APT 113E		KEY WEST	FL	33040-5133	
MORGENTHALER DARREN J AND GILLIAN A	3930 S ROOSEVELT BLVD APT 213E		KEY WEST	FL	33040-5159	
CASSADY BRUCE E	2705 BITTERSWEET PL		BURLINGTON	IA	52601-2512	
SALTPONDS CONDOMINIUM ASSOCIATION INC	3635 SEASIDE DR APT 103		KEY WEST	FL	33040-5298	
THOMPSON MELVIN K	3635 SEASIDE DR APT 213		KEY WEST	FL	33040-5304	
NYE BRADLEY	3635 SEASIDE DR APT 309		KEY WEST	FL	33040-5304	
MONTEFALCON ESTELA M	3635 SEASIDE DR APT 408		KEY WEST	FL	33040-5310	
PEKARIK JOHN L	3635 SEASIDE DR	APT 418	KEY WEST	FL	33040-5310	
TUNG YING-TI	48-65 189TH ST		FRESH MEADOW	NY	11365	
LESKO EDWARD G	1401 WILSON POINT RD		MIDDLE RIVER	MD	21220-5421	
SAIDALOEV SAIDAKROM	3930 S ROOSEVELT BLVD APT 206W		KEY WEST	FL	33040-5165	
ALBURY PEGGY	3930 S ROOSEVELT BLVD APT 208W		KEY WEST	FL	33040-5166	
LACRONE RICHARD E AND ERIN G	3153 GARVERS FERRY RD		APOLLO	PA	15613	
LOGINOV OLEKSIY	8 SEASIDE SOUTH CT		KEY WEST	FL	33040	
MCDONOUGH WILLIAM AND IRENE	1107 KEY PLAZA	PMB 303	KEY WEST	FL	33040	
RICHARDSON DAVID L	3635 SEASIDE DR APT 208		KEY WEST	FL	33040-5298	
JONES AMBROSE	15617 JERICHO DR		ODESSA	FL	33556-3016	
KLINE LOIS B ESTATE	3655 SEASIDE DR APT 323		KEY WEST	FL	33040-5356	
ABELTINS SANDRA	3996 COALINGO ST		NORTH PORT	FL	34291-6341	
CHAU JENNY ESTATE	3675 SEASIDE DR APT 240		KEY WEST	FL	33040-5358	
COBLE SHERRI L TRUST	5352 SILVER LEAF LN		SARASOTA	FL	34233-3204	
DARBONNE BRANDI	3930 S ROOSEVELT BLVD APT 206S		KEY WEST	FL	33040-5182	
HENRIQUEZ ARMANDO J AND JUDITH A	3615 SUNRISE DR		KEY WEST	FL	33040	
MUSMANNO VICTOR H II	1507 FLORIDA ST		KEY WEST	FL	33040	
NIXON ANN R	1234 HERMOSA DR		LAKESWOOD	NJ	8701	
WEAG JOANN	5180 MARTIN COVE		BOKEELIA	FL	33922	
HARRIS SANDRA K	2 FLORAL AVE		KEY WEST	FL	33040	
LIMA GAIL A	3635 SEASIDE DR APT 102		KEY WEST	FL	33040-5298	
BRANN MARK D	3312 NORTHSIDE DR APT 710		KEY WEST	FL	33040-4117	
TUBBS LINDA M	3635 SEASIDE DR APT 105		KEY WEST	FL	33040-5298	
BROCK CLIFORD L	3635 SEASIDE DR APT 114		KEY WEST	FL	33040-5298	
CHERRY RONALD R JR AND LISA M	3635 SEASIDE DR APT 315		KEY WEST	FL	33040-5304	

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HUTSCHALA GUNTER AND SIEGRUN B	AM GEWENN 8		WETTERNBERG		35435	GERMANY
MCNALLY MICHAEL J AND JOANNE M	326 CUSHMORE RD		SOUTHAMPTON	PA	18966-4104	
SCHWARTZ MYRON M	10 SEASIDE SOUTH CT		KEY WEST	FL	33040	
RODGER THOMAS J	3635 SEASIDE DR APT 207		KEY WEST	FL	33040-5298	
MAJOR PATRICIA T	44 PALMETTO DR		KEY WEST	FL	33040-5641	
DANCHO JOHN G	3655 SEASIDE DR APT 222		KEY WEST	FL	33040-5353	
WOZNIAK NANCY	119 NW WHITNEY GLN		LAKE CITY	FL	32055-7122	
HASKINS CHRISTOPHER MARK XAVIER	18651 SW 268TH ST		HOMESTEAD	FL	33031	
MURDOCK HILARY	3675 SEASIDE DR APT 341		KEY WEST	FL	33040-5361	
GRILL RANDALL AND JANICE	748 GREENDALE LN		SAINT PAUL	MN	55127-3513	
MASHTAKOV SERHIY	3635 SEASIDE DR APT 210		KEY WEST	FL	33040-5304	
SINDONE ERIC	1613 ROSE ST		KEY WEST	FL	33040	
REASONER HOWARD R	331 WILKES ST		ALEXANDRIA	VA	22314-3719	
KIRKPATRICK DONALD W AND JAIME L H/W	3675 SEASIDE DR APT 234		KEY WEST	FL	33040-5358	
WILEY SHARON	3655 SEASIDE DR APT 119		KEY WEST	FL	33040-5353	
SEILER MICHAEL B AND CYNTHIA G	41 BUNTING CT		CHILLICOTHE	OH	45601-1071	
DAVIS JOSEPH	224 MCCLELLAN ST		PHILADELPHIA	PA	19148-1919	
GADEMSKY MARK	PO BOX 26		BUFFALO	NY	14222	
SUNRISE SUITES 110 LLC	3685 SEASIDE DR		KEY WEST	FL	33040-5225	
OLIN ROBERT W	1803 ATLANTIC BLVD	UNIT 1	KEY WEST	FL	33040	
TORRES CLAUDE AND SEIKO	2500 SEIDENBERG AVE		KEY WEST	FL	33040-3947	
NOLAN ROBERT P	57 SEASIDE SOUTH CT		KEY WEST	FL	33040	
DEMBICZAK NANCY ZAPPOLA	15 SEASIDE SOUTH CT		KEY WEST	FL	33040	
TROPICAL PROPERTIES LLC	1616 ATLANTIC BLVD	UNIT 11	KEY WEST	FL	33040	
TRAVIS MICHAEL F AND SARAH B	402 MAIN ST		BEDFORD	IA	50833	
LOBOSCO FRANCIS	94 CHERRY BROOK DR		PRINCETON	NJ	8540	
VOGEL SCOTT EDWARD	3675 SEASIDE DR APT 442		KEY WEST	FL	33040-5361	
FULLERTON BRIAN D	2509 SEIDENBERG AVE		KEY WEST	FL	33040	
SPIEGELBERG WALT AND ADELL	11994 MAIN ST		WHITMORE LAKE MI		48189	
ASHE SHARON	14 SEASIDE SOUTH CT		KEY WEST	FL	33040	
BEACHAM ROBERT M AND GRACE A	312 EAST SEAVIEW DR		DUCK KEY	FL	33050	
LAYMAN PAUL E	8936 JAMESON ST		LORTON	VA	22079-3114	
HENRIQUEZ ARMANDO J	3615 SUNRISE DR		KEY WEST	FL	33040-4635	
MAIKELS ALLEN F	CTA 21 EVERETTE RD EXT		ALBANY	NY	12205	

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ALBIN CHRISTOPHER J	59 S 5TH ST		LOCUST VALLEY NY		11560	
SUNRISE SUITES 310 LLC	3685 SEASIDE DR		KEY WEST FL		33040-5225	
GOLAN DOUGLAS J	1920 HAVEN LN		LIBERTYVILLE IL		60048-1519	
ROPP SHIRLEY ANN	2040 STENNIS DR		PENSACOLA FL		32506-2931	
STEIN ARPINE H	190 GARFIELD PL	APT 5-E	BROOKLYN NY		11215	
GOLAN JAMES S	3 FIRST NATIONAL PLZ FL 21		CHICAGO IL		60602-5038	
MCCULLOUGH CYNTHIA AND JAMES	25 LAVENDER DR		SEWELL NJ		8080	
ANDREWS ROBERT JAMES	3930 S ROOSEVELT BLVD APT 212N		KEY WEST FL		33040-5176	
BARBICHE BRIAN A	184 PENNSYLVANIA AVE		FLEMINGTON NJ		08822-6015	
FAKHRIDDINOV MUKHIDDIN	PO BOX 5123		KEY WEST FL		33045-5123	
VALENTINE GREGORY J AND MARISOL	833 EGYPTIAN DR		CORPUS CHRIST TX		78412-3719	
LYONS DEBORAH	3930 S ROOSEVELT BLVD APT 205S		KEY WEST FL		33040-5182	
WANDRAS ROBERT W AND LORA M	3930 S ROOSEVELT BLVD APT 302S		KEY WEST FL		33040-5211	
LIMONGELLO SUSAN	8 BROOKSIDE DR		GARRISON NY		10524	
KAFCSAK RONALD	11311 SW 78TH CIR		OCALA FL		34476-9329	
BADWAY JOHN A AND EVA M	26 WEST 480 CHURCHILL		WINFIELD IL		60190	
SALAS VICTOR AND ADELHEID	3930 S ROOSEVELT BLVD APT 106W		KEY WEST FL		33040-5163	
WALLACH EMILY JANE	100 FALLSGROVE BLVD APT 2309		ROCKVILLE MD		20850-4791	
SLITZAN ROBERT AND LYNN	40 MCLOUGHLIN ST		GLEN COVE NY		11542-2310	
YANNAcone PATRICIA ANN AND EMILIO J	3930 S ROOSEVELT BLVD APT 308E		KEY WEST FL		33040-5160	
WALSIFER JOHN AND DOROTHY JOINT REV TR AG 3/30/11	19 GEIGER RD		KEY WEST FL		33040-6361	
MELOT JOHN AND SHERI	2408 LAURISTON DR		NORMAN OK		73072-2261	
KING MARY ELLEN R	PO BOX 670 RR 3		WATFORD ONTAF		NOM 2S0	CANADA
NGO TRUNG	811 PEACOCK PLZ		KEY WEST FL		33040-4296	
CONSROE ROBERT N	PO BOX 884		KEY WEST FL		33041-0884	
YOUNG KEVIN	545 E BROADWAY		LONG BEACH NY		11561-4520	
ALINO GREGORY	26 PORT RD		BRICK NJ		08723-6727	
KOSOVA JANA	3675 SEASIDE DR APT 241		KEY WEST FL		33040-5358	
RYAN PETER AND JENNIFER	58 SEASIDE SOUTH CT		KEY WEST FL		33040-5293	
WEISE NIELS C	17 SEASIDE SOUTH CT		KEY WEST FL		33040-5293	
DEFELICE STEPHEN AND SAMANTHA E C	18 SEASIDE SOUTH CT		KEY WEST FL		33040	
RODRIGUEZ ALEJANDRO	3930 S ROOSEVELT BLVD APT 111N		KEY WEST FL		33040-5174	
VURAL GERTRUD E REVOCABLE TRUST AG 12/30/12	245 W 107TH ST APT 8C		NEW YORK NY		10025-3057	
GREGG KARL V DEC TR 2/15/1995	4803 QUEEN PALM LN		TAMARAC FL		33319-3543	

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NEAD NANCY LOUISE	105 NEEDHAM PL		ITHACA	NY	14850-2120	
RAMPELLO SUSAN D	3655 SEASIDE DR APT 223		KEY WEST	FL	33040-5353	
INDIAN KEY PROPERTIES LLC	7 HILTON HAVEN RD		KEY WEST	FL	33040-3833	
TIMS CATHERINE ELEANOR	3655 SEASIDE DR APT 126		KEY WEST	FL	33040-5353	
WALSIFER JOHN AND DOROTHY	19 GEIGER RD		KEY WEST	FL	33040-6361	
FUHRMAN SCOTT D AND SUMMERS KELLY D REV TRUST	31 SEASIDE SOUTH CT		KEY WEST	FL	33040	
CITY OF KEY WEST	P O BOX 1409		KEY WEST	FL	33041	
SPIECIA AMBROSE L	3229 POPLAR PL		WANTAGH	NY	11793-3824	
BLAIR NATASHA ANNE	3675 SEASIDE DR APT 335		KEY WEST	FL	33040-5361	
BLACKWELL CURRY R JR TRUST 5/26/2011	21 CYPRESS AVE		KEY WEST	FL	33040-6236	
ANDERSON DANIEL D AND BRENDA F	95 SEASIDE NORTH CT		KEY WEST	FL	33040	
WOOD FRANK E	152 SUGARLOAF DR		SUMMERLAND KI	FL	33042-3670	
TRAVIS MICHAEL F & SARAH B T/C	1511 220TH STREET		NEW MARKET	IA	51646-4078	
HACH CARLY	3655 SEASIDE DR APT 327		KEY WEST	FL	33040-5356	
LEDBETTER THOMAS H	3685 SEASIDE DR APT 201		KEY WEST	FL	33040-5225	
SALNAZ INVESTMENT CO INC	6890 REED CT		WEST BLOOMFIE	MI	48322-2965	
HOYLE ROBERT MARK	4409 CITYVIEW DR		PLANO	TX	75093	
HAMRLICEK LAURA A	59 GLADE RD		EAST HAMPTON	NY	11937	
GOFF BENJAMIN F 2004 REV TR 6/18/2004	18 POWERS FARM RD		RANDOLPH	MA	02368-2961	
VINCENT WILLIAM JR AND MARGARET	34 LONG VIEW DR		ORLEANS	MA	02653-3902	
WASHINGTON ROBERT	475 ARDEN RD		CONSHOHOCKE	PA	19428-2507	
MINOR MICHAEL WALTER	152 AIRPORT RD		CLARKSVILLE	TN	37042-4821	
CONCH ARCHITECTURAL LLC	7 HILTON HAVEN RD		KEY WEST	FL	33040-3833	
DENA JEFFREY F AND LAURA F	79 TULIPWOOD DR		COMMACK	NY	11725-5624	
HARTMAN JASON	5543 CARROLLTON AVE		INDIANAPOLIS	IN	46220-3122	
MCLEAN JOHNNY SHEROUSE AND KERRI LYNN	1-A SAPPHIRE DR		KEY WEST	FL	33040	
DEGRAAFF GERRIT ESTATE	26 DRIFTWOOD DR		KEY WEST	FL	33040-6233	
SHEARIN THOMAS	13 SEASIDE SOUTH CT		KEY WEST	FL	33040-5293	
HAWXHURST SUSAN	1616 UNITED ST		KEY WEST	FL	33040-3522	
DWORK FAMILY LIVING TRUST 03/23/2007	3639 N 29TH ST		PHOENIX	AZ	85016	
SINNOTT JOHN T IV AND BARBARA B	9666 OAK ST NE		ST PETERSBURG	FL	33702-2610	
HISH ANDREW AND FAITH	1711 ATLANTIC BLVD		KEY WEST	FL	33040-5303	
MONAHAN KERRY M	3 GLORY RD		MAMORA	NJ	8223	
KLIZA KEVIN GREGORY	3930 S ROOSEVELT BLVD APT 109W		KEY WEST	FL	33040-5163	

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GARBER H JEFFERY AND KATHLEEN A	7385 DALEVIEW RD		CINCINNATI	OH	45247	
DAVIS JOSEPH AND KRISTI F	PO BOX 310983		MIAMI	FL	33231-0983	
MCINTYRE WILLIAM E II	3930 S ROOSEVELT BLVD APT 207N		KEY WEST	FL	33040-5175	
VERA TETYANA GORDILLO	3930 S ROOSEVELT BLVD APT 201S		KEY WEST	FL	33040-5182	
SCHUCHMAN JAMES J AND GAIL L	46 MT SINAI AVE		MOUNT SINAI	NY	11766	
DERENZO GEORGE M AND MILDRED T	1618 LONGFELLOW DR		CHERRY HILL	NJ	8003	
RZAD STANLEY III AND KARON M	PO BOX 776		KEY WEST	FL	33041-0776	
SUNRISE SUITES 211 LLC	3685 SEASIDE DR STE 1		KEY WEST	FL	33040-5225	
HORAN DAVID PAUL AND KAREN R	608 WHITEHEAD ST		KEY WEST	FL	33040	
OUTTRIM GARRY L	401 N PROSPECT ST		HERKIMER	NY	13350-1912	
TPB LLC	2801 DOUGLAS ST		SAINT JOSEPH	MO	64506-2116	
CASAMAYOR RAYMOND III	3930 S ROOSEVELT BLVD APT 312W		KEY WEST	FL	33040-5167	
WALTON LOIS ANNE	3930 S ROOSEVELT BLVD APT 314W		KEY WEST	FL	33040-5167	
GOLAN JOHN F	70 W MADISON ST STE 1500		CHICAGO	IL	60602-4265	
MITCHELL WILLIAM J AND DARLENE S	113 BLISS ST		FLORENCE	MA	01062-2605	
MACDONALD CATHRYN AND JOSEPH R	4 THELMA DR		EXETER	NH	03833-4020	
ORCHARD PAUL	3655 SEASIDE DR APT 229		KEY WEST	FL	33040-5353	
MILLER BARBARA L REV TRUST 1/12/09	23784 HALLMARK RD		MARYVILLE	MO	64468	
WEINHOFER JOHN F AND PATRICIA F	19 SEASIDE SOUTH CT		KEY WEST	FL	33040	
CHONG RANDALL THOMAS	3625 SEASIDE DR UNIT 403		KEY WEST	FL	33040-5225	
BUTLER THOMAS E	97 SEASIDE NORTH CT		KEY WEST	FL	33040-5292	
MSSF	3835 SEASIDE DR		KEY WEST	FL	33040-5253	
BUJAK WLADYSLAW AND ANEILA	3675 SEASIDE DR APT 138		KEY WEST	FL	33040-5358	
CONDELLI LAURENCE T AND GLORIA R	9920 MARKHAM ST		SILVER SPRING	MD	20901-2233	
MICHAELSEN MICHAEL P AND NAIDA D	1682 ADVIEW RD SE		PALM BAY	FL	32909-6618	
NEPTUNE THOMAS R	49 WALHALLA RD		COLUMBUS	OH	43202	
FISCHER NORBERT AND ANNE	524 CHESTER RIVER BEACH RD		GRASONVILLE	MD	21638	
KARAVIDAS CONSTANCE	2562 N JADE AVE		ARLINGTON HEIGHTS	IL	60004-8433	
CONVERTINO MARIO AND NANCY	3675 SEASIDE DR	APT 440	KEY WEST	FL	33040-5361	
HISTORIC TOURS OF AMERICA INC	201 FRONT ST	STE 224	KEY WEST	FL	33040	
J AND M PROPERTIES OF KEY WEST LLC	PO BOX 421203		SUMMERLAND KEY	FL	33042-1203	
MOORE JUSTIN AND KRISTIN	6524 NW 98TH TER APT E25		TAMARAC	FL	33321-3346	
GRATTAN MICHAEL	3655 SEASIDE DR APT 123		KEY WEST	FL	33040-5353	
BOWES KEVIN T	3655 SEASIDE DR APT 322		KEY WEST	FL	33040-5356	

NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
GIORDANO JODI MARIE	3635 SEASIDE DR APT 106		KEY WEST	FL	33040-5298	
DONOGHUE JUSTIN	3635 SEASIDE DR APT 115		KEY WEST	FL	33040-5298	
WALTERS JO BRADLEY	819 PEACOCK PLAZA 533		KEY WEST	FL	33041	
GOLLY MARIE SUCCESSOR TRUSTEE	117 COCO PLUM DRIVE		MARATHON	FL	33050	
HENRIQUEZ DEBRA ANN	PO BOX 2283		KEY WEST	FL	33045-2283	
KOLLER DELORESE KAY	3046 SANTA MARCOS DR		CLERMONT	FL	34715-8017	
JB RESORT PROPERTIES LLC	PO BOX 394		LACKEY	VA	23694-0394	
KINCH ROBERT W JR AND ANN S	PO BOX 60186		HARRISBURG	PA	17106-0186	
SAVIANO DENNIS P TRUST	1910 N ROOSEVELT BLVD		KEY WEST	FL	33040-3632	
MCKEIRNAN GAVIN	16 SEASIDE SOUTH CT		KEY WEST	FL	33040-5293	
BYRD SARAH N REV TR 07/02/1990	1511 220TH ST		NEW MARKET	IA	51646-4078	
STODDARD JOHN S LIV TR DTD 01/26/05	209 JACQUE CIR		MCCORMICK	SC	29835	
RUIZ KENNETH A	1010 MATANZAS AVE		MIAMI	FL	33146-3342	
RUSSELL PAUL J AND JOYCE A	3930 S ROOSEVELT BLVD APT 311W		KEY WEST	FL	33040-5167	
MITCHELL WILLIAM J AND DARLENE	113 BLISS ST		FLORENCE	MA	01062-2605	
FIERSTEIN JOHN MICHAEL	2025 SUE CREEK DR		ESSEX	MD	21221-1931	
SCHOFIELD DEANN	19 GARWOOD TRL		DENVILLE	NJ	07834-2813	
LUEDTKE EDWARD O FAMILY TR 9/14/88	14 SUNSET KEY DR		KEY WEST	FL	33040-8382	
BERVALDI CHRISTINA M	3675 SEASIDE DR APT 134		KEY WEST	FL	33040-5358	
BAR AND RESTAURANT MANAGEMENT COMPANY	1475 WINTON RD		MOUNT PLEASANT	SC	29464-3921	
CASSELL JILL	3675 SEASIDE DR APT 235		KEY WEST	FL	33040-5358	
MCKENNA GEORGE AND MARGARET	4624 ROSEWOOD LN		WEST BLOOMFIELD	MI	48323	
YAO MAXWELL C AND VIVIAN M	13821 DAYTON MEADOWS CT		DAYTON	MD	21036	
GORANSON ROGER W AND REBECCA A	29580 GLENEAGLES RD APT C		PERRYSBURG	OH	43551-3514	
DANIELSON REGINA M	420 S 1ST ST		LINDENHURST	NY	11757-4913	
TEITSMA PHILIP J AND SUNG H	250 S SYKES CREEK PKWY APT 807		MERRITT ISLAND	FL	32952-3319	
WALKER WILLIAM J	78 GRANDVIEW RD		HUMMELSTOWN	PA	17036-9195	
MICHAELS KELLY A	3635 SEASIDE DR APT 118		KEY WEST	FL	33040-5298	
HALL KRISTOPHER	3635 SEASIDE DR APT 215		KEY WEST	FL	33040-5304	
DELIO LISA P	3635 SEASIDE DR APT 306		KEY WEST	FL	33040-5304	
DISTASI BRIDGET	109 SOUTHARD DR		MANAHAWKIN	NJ	8050	
REDD CARTER AND VENETIA R	13500 SCOTCHTOWN RD		BEAVERDAM	VA	23015	
BEHR LAWRENCE W AND JAYNE E	3930 S ROOSEVELT BLVD APT 110E		KEY WEST	FL	33040-5202	
NGUGEN ANH HUYEN	2720 N ROOSEVELT BLVD		KEY WEST	FL	33040	

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STAPLETON DAVID J	314 DALEWOOD AVE		WOOD DALE	IL	60191	
RONEY DARLENE R	1400 FLATLEY AVE STE H		KEY WEST	FL	33040-7040	
SCHOLL GREG M AND MARGARET C	3844 W GREENWOOD DR		BETHLEHEM	PA	18020-9655	
MADDOX ANDRE	3635 SEASIDE DR APT 112		KEY WEST	FL	33040-5298	
HAEGELIN DIANE M	3635 SEASIDE DR APT 202		KEY WEST	FL	33040-5298	
LUOMA STEPHEN R	PO BOX 452524		KEY WEST	FL	33045-2524	
MORRELL MARY JOSEFINA	3655 SEASIDE DR APT 129		KEY WEST	FL	33040-5353	
BLACKWELL CURRY R JR TRUST 5/26/11	21 CYPRESS AVE		KEY WEST	FL	33040-6236	
PAPAYCIK JAMES B AND JOYCE T	7106 RIDGE AVE		EGG HARBOR TC NJ		8234	
BURNS KATHLEEN	1514 5TH ST		KEY WEST	FL	33040-5106	
BUECHNER ROBERT K	7 VENTANA LN		KEY WEST	FL	33040-5429	
WALKER DAVID AND BEVERLY	3655 SEASIDE DR APT 330		KEY WEST	FL	33040-5356	
MAHER NATALIA	3655 SEASIDE DR APT 319		KEY WEST	FL	33040-5356	
WILEY BRIAN AND CHERYL	2069 GREENTREE CIR		JAMISON	PA	18929-1301	
MYERS SHARON	326 CEDAR GROVE TER		SCOTCH PLAINS NJ		7076	
STOINSKI RICKY W	837A SPRING CREEK CT		ELK GROVE VILL, IL		60007	
BEAURLINE ERICA	4 SEASIDE SOUTH CT		KEY WEST	FL	33040-5293	
DOWNS DOROTHY REV TRUST AGREE DTD 5/31/07	5650 SW 87TH ST		MIAMI	FL	33143	
LARSEN IVAR TRUST AGR 8/10/1998	60 CHESTNUT ST		FAIRHAVEN	MA	02719-2808	
MARTINDALE GEOFFREY A	3930 S ROOSEVELT BLVD APT 312N		KEY WEST	FL	33040-5178	
MAXWELL MARY D	3930 S ROOSEVELT BLVD UNIT 406N		KEY WEST	FL	33040	
ODOWD JOAN	3930 S ROOSEVELT BLVD APT 107S		KEY WEST	FL	33040-5180	
GALLEGOS MARITZA	12207 HOLM OAK DR		WALDORF	MD	20601-4530	
NEWCOMB JASON	3708 CINDY AVE		KEY WEST	FL	33040-4408	
KOBAN STEPHEN D	5 WATERSTOCK LN		GLEN MILLS	PA	19342-1657	
ZOTTOLA TONIA M	3930 S ROOSEVELT BLVD APT 309W		KEY WEST	FL	33040-5205	
BRAUN FERNAND R AND PATRICIA O	PO BOX 430660		BIG PINE KEY	FL	33043-0660	
ASH SHARI J	3930 S ROOSEVELT BLVD APT 407W		KEY WEST	FL	33040-5168	
BISHOP JANE A	6 SEASIDE SOUTH CT		KEY WEST	FL	33040	
BADGEROW ROBERT D AND DENA M	32 SEASIDE SOUTH CT		KEY WEST	FL	33040-5293	
MORUM PETRA	PO BOX 2234		KEY WEST	FL	33045-2234	
LAS SALINAS CONDOMINIUM ASSOC INC	3930 S ROOSEVELT BLVD STE 100N		KEY WEST	FL	33040-5186	
GRANIELA KEVIN	3930 S ROOSEVELT BLVD APT 204W		KEY WEST	FL	33040-5165	
D'AMATO NANCY J	2927 STAPLES AVE		KEY WEST	FL	33040	



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OROPEZA STEVEN PAUL	1450 KENNEDY DR		KEY WEST	FL	33040-4008	
NGAI HING S AND TATYANA	6726 EL RODEO RD		RANCHO PALOS	CA	90275	
SCHULDT PAMELA L	24 COUNTRY CLUB BLVD		LITTLE EGG HAR	NJ	08087-1830	
WILSON ALBERT	PO BOX 8039		BROOKINGS	OR	97415-8039	
SUNRISE SUITES 308 INC	3685 SEASIDE DR UNIT 1		KEY WEST	FL	33040-5225	
RODRIGUEZ TERESITA R	8530 109TH ST		RICHMOND HILL	NY	11418-1233	
CRICO OF OCEAN WALK LIMITED PARTNERSHIP	PO BOX 87407		CHICAGO	IL	60680	
HOLTKAMP ROGER H	3625 SEASIDE DR		KEY WEST	FL	33040	
MCKENNA GEORGE AND MARGARET	4624 ROSEWOOD LANE		WEST BLOOMFIE	MI	48323	
BACLE JENNY ANN	23 SEASIDE SOUTH CT		KEY WEST	FL	33040	
WALTERS CHARLES D	525 DUPONT LN		KEY WEST	FL	33040	