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## Staff Report for Item 13b

**To:** Chairman Bryan Green and Historic Architectural Review  
Commission Members

**From:** Kelly Perkins  
HARC Assistant Planner

**Meeting Date:** August 25, 2015

**Applicant:** Robert Delaune

**Application Number:** H15-01-1123

**Address:** #817 Eaton Street Unit 4

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### Description of Work:

Demolition of non-historic wood staircase and deck.

### Site Facts:

The two-story, frame structure is listed as a contributing resource in the survey and was constructed circa 1892. Located at the corner of Gecko Lane and Eaton Street, the house currently has an exterior staircase on Gecko Lane. This staircase is not historic, as it does not appear in the 1962 Sanborn map nor in a 1965 historic photograph. The staircase is in poor condition and needs to be replaced. The proposed staircase and deck received a variance from the Planning Board on July 16, 2015.

### Ordinances Cited in Review:

Sec. 102-217 (2): Demolition of non-historic or non-contributing buildings, Sec. 102-218: Criteria for demolitions, Sec. 102-125: Historic architectural review commission findings precedent to issuance in the Land Development Regulations.

### Staff Analysis

The Certificate of Appropriateness in review proposes the demolition of a non-historic staircase on the east side of a contributing structure. It is staff's opinion that the proposed demolition will not cover historic elements. In addition, the stairs are in poor condition and need to be replaced. The stairs do not meet any of the criteria listed in Sec. 102-125 (1) through (9), and therefore can be considered for demolition. If the demolition is approved this will constitute the only review for this request.

# APPLICATION



**City of Key West**  
 3140 FLAGLER AVENUE  
 KEY WEST, FLORIDA 33040  
 Phone: 305.809.3956

HARC PERMIT NUMBER <b>15-01-1123</b>		BUILDING PERMIT NUMBER		INITIAL DATE <b>21 July 2015</b>
FLOODPLAIN PERMIT				REVISION #
FLOOD ZONE <b>AE-6</b>	PANEL # <b>1516K</b>	ELEV. L. FL. <b>6.55'</b>	SUBSTANTIAL IMPROVEMENT <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO _____ %	

ADDRESS OF PROPOSED PROJECT:	817 EATON STREET			# OF UNITS <b>5</b>
RE # OR ALTERNATE KEY:	RE#00003020-000102			
NAME ON DEED:	817 EATON ST., UNIT 4 LLC	PHONE NUMBER	919-624-0736	
OWNER'S MAILING ADDRESS:	120 PENLEY CIRCLE	EMAIL	CPLYLER@NC.RR.COM	
	RALEIGH, NC 27609			
CONTRACTOR COMPANY NAME:	T.B.P.	PHONE NUMBER		
CONTRACTOR'S CONTACT PERSON:		EMAIL		
ARCHITECT / ENGINEER'S NAME:	ROBERT L DELAUNE ARCHITECT PA	PHONE NUMBER	305-293-0364	
ARCHITECT / ENGINEER'S ADDRESS:	619 EATON STREET, SUITE 1	EMAIL	robdelaune@bellsouth.net	
	KEY WEST, FL 33040			

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING:  YES  NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L, LABOR & PROFIT:

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT TYPE:	<input type="checkbox"/> ONE OR TWO FAMILY	<input checked="" type="checkbox"/> MULTI-FAMILY	<input type="checkbox"/> COMMERCIAL	<input type="checkbox"/> NEW	<input checked="" type="checkbox"/> REMODEL
	<input type="checkbox"/> CHANGE OF USE / OCCUPANCY	<input type="checkbox"/> ADDITION	<input type="checkbox"/> SIGNAGE	<input checked="" type="checkbox"/> WITHIN FLOOD ZONE <b>AE-6</b>	
	<input type="checkbox"/> DEMOLITION	<input type="checkbox"/> SITE WORK	<input type="checkbox"/> INTERIOR	<input checked="" type="checkbox"/> EXTERIOR	<input type="checkbox"/> AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC., DEMOLISH AND RECONSTRUCT  
 WOOD STAIR AND DECK AT EAST SIDE OF STRUCTURE.

I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOV'T AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT:	
OWNER PRINT NAME:	QUALIFIER PRINT NAME:
OWNER SIGNATURE:	QUALIFIER SIGNATURE:
Notary Signature as to owner:	Notary Signature as to qualifier:
STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS _____ DAY OF _____, 20_____.	STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS _____ DAY OF _____, 20_____.
Personally known or produced _____ as identification.	Personally known or produced _____ as identification.

40634/24315 OL

**PART B:**

**SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS**

PROPERTY STRUCTURES AFFECTED BY PROJECT:  MAIN STRUCTURE  ACCESSORY STRUCTURE  SITE

ACCESSORY STRUCTURES:  GARAGE / CARPORT  DECK  FENCE  OUTBUILDING / SHED

FENCE STRUCTURES:  4 FT.  6 FT. SOLID  6 FT. / TOP 2 FT. 50% OPEN

POOLS:  INGROUND  ABOVE GROUND  SPA / HOT TUB  PRIVATE  PUBLIC  
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.  
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING:  NEW  ROOF-OVER  TEAR-OFF  REPAIR  AWNING  
 5 V METAL  ASPLT. SHGLS.  METAL SHGLS.  BLT. UP  TPO  OTHER

FLORIDA ACCESSIBILITY CODE:  20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE:  # OF SINGLE FACE  # OF DOUBLE FACE  REPLACE SKIN ONLY  BOULEVARD ZONE  
 POLE  WALL  PROJECTING  AWNING  HANGING  WINDOW  
 SQ. FT. OF EACH SIGN FACE:

**SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:**

MECHANICAL:  DUCTWORK  COMMERCIAL EXH. HOOD  INTAKE / EXH. FANS  LPG TANKS  
 A / C:  COMPLETE SYSTEM  AIR HANDLER  CONDENSER  MINI-SPLIT

ELECTRICAL:  LIGHTING  RECEPTACLES  HOOK-UP EQUIPMENT  LOW VOLTAGE  
 SERVICE:  OVERHEAD  UNDERGROUND  1 PHASE  3 PHASE \_\_\_\_\_ AMPS

PLUMBING:  ONE SEWER LATERAL PER BLDG.  INGROUND GREASE INTCPTRS.  LPG TANKS  
 RESTROOMS:  MEN'S  WOMEN'S  UNISEX  ACCESSIBLE

**PART C:**

**HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS**

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10  STAFF APPROVAL: \$50  COMMISSION REVIEW \$100

PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.

ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: [harc@cityofkeywest-fl.gov](mailto:harc@cityofkeywest-fl.gov)

INDICATE TYPE OF CERTIFICATE. OF APPROPRIATENESS:  GENERAL  DEMOLITION  SIGN  PAINTING  OTHER

ADDITIONAL INFORMATION: \_\_\_\_\_

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA		
ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:
STAIR & DECK COMPONENTS	WOOD	WOOD

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B)  BUSINESS SIGN  BRAND SIGN  OTHER: \_\_\_\_\_

Order: KEYWBLD      type: QC      Drawers: 1  
 Date: 7/21/15 53      Receipt no: 29336

BUSINESS LICENSE #

IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE

2015 1001123      \* BUILDING PERMITS-NEW  
 1.00      \$100.00  
 Trans number:      3057358  
 via VISA/MASTERC      \$100.00  
 Trans date: 7/21/15      Time: 10:21:03

**SIGN SPECIFICATIONS**

<b>SIGN COPY:</b>	<b>PROPOSED MATERIALS:</b>	<b>SIGNS WITH ILLUMINATION:</b>
		<b>TYPE OF LTG.:</b>
		<b>LTG. LINEAL FTG.:</b>
<b>MAX. HGT. OF FONTS:</b>		<b>COLOR AND TOTAL LUMENS:</b>
<b>IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY:</b>		<b>INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.</b>

<b>OFFICIAL USE ONLY:</b>			<b>HARC STAFF OR COMMISSION REVIEW</b>		
<input type="checkbox"/> <b>APPROVED</b>	<input type="checkbox"/> <b>NOT APPROVED</b>	<input type="checkbox"/> <b>DEFERRED FOR FUTURE CONSIDERATION</b>	<input type="checkbox"/> <b>TABLED FOR ADD'L. INFO.</b>	<input type="checkbox"/>	<input type="checkbox"/>
<b>HARC MEETING DATE:</b>	<b>HARC MEETING DATE:</b>	<b>HARC MEETING DATE:</b>			
<b>REASONS OR CONDITIONS:</b>					
<b>STAFF REVIEW COMMENTS:</b>					
<b>HARC PLANNER SIGNATURE AND DATE:</b>			<b>HARC CHAIRPERSON SIGNATURE AND DATE:</b>		

**PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS**

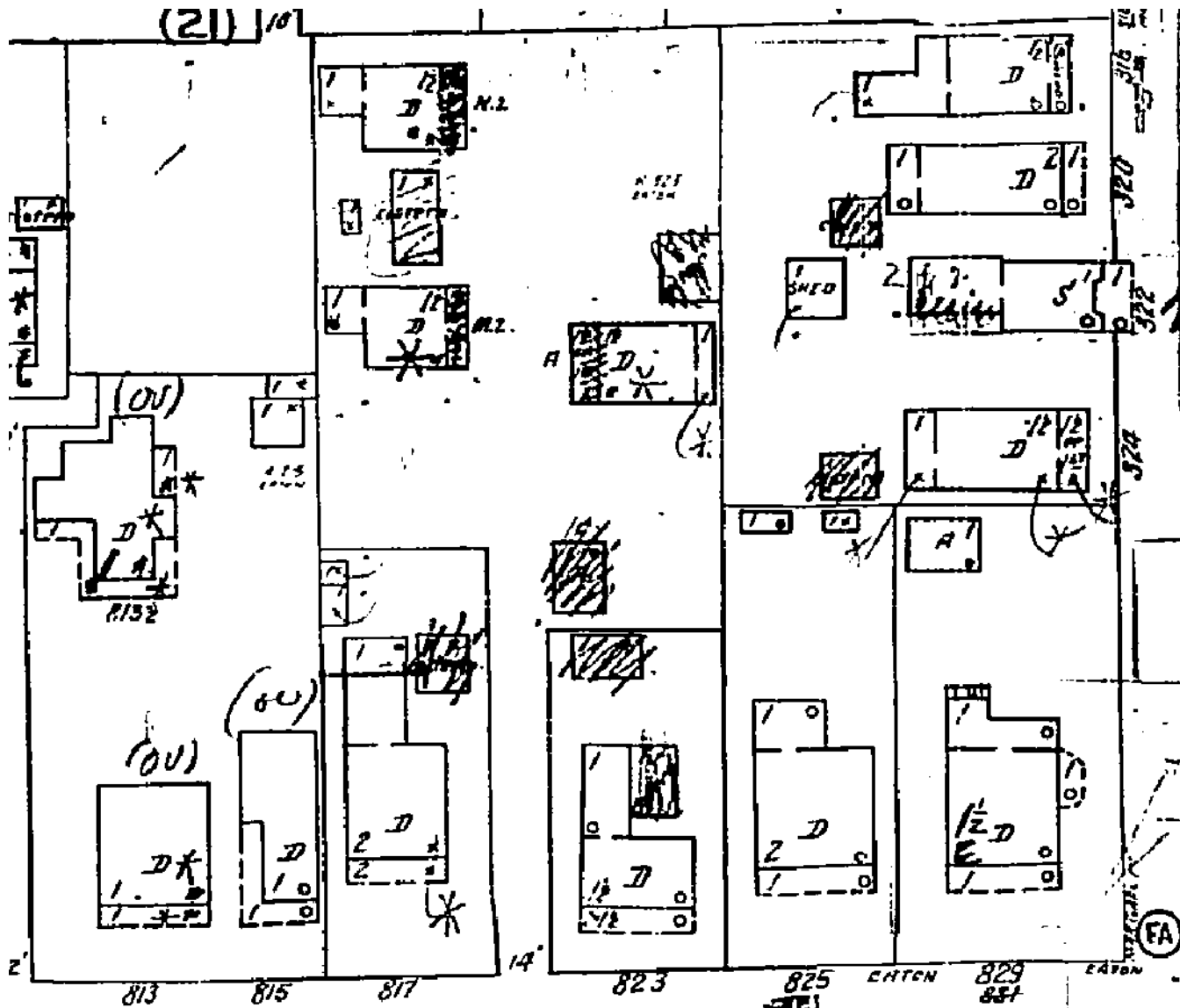
FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A "NOTICE OF COMMENCEMENT" MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

FLORIDA STATUTE 469: ABESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT AUTHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USDEP ON STRUCTURES BUILT PRIOR TO 1978.

<b>OFFICIAL USE ONLY BY PLANS EXAMINER OR CHIEF BUILDING OFFICIAL:</b>				<b>CBO OR PL. EXAM. APPROVAL:</b>	
<b>HARC FEES:</b>	<b>BLDG. FEES:</b>	<b>FIRE MARSHAL FEE:</b>	<b>IMPACT FEES:</b>		
				<b>DATE:</b>	

# SANBORN MAPS



1962 Sanborn Map

# PROJECT PHOTOS





Property Appraiser's Photograph, c. 1965. Monroe County Public Library.



817









2015/07/13 15:32



# SURVEY



# MAP OF BOUNDARY SURVEY PART OF LOT 1 IN SQUARE 21 WILLIAM A. WHITEHEAD'S MAP OF KEY WEST



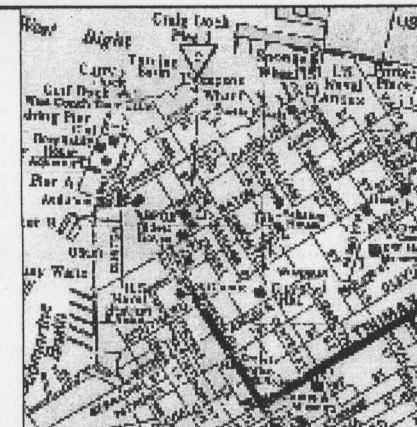
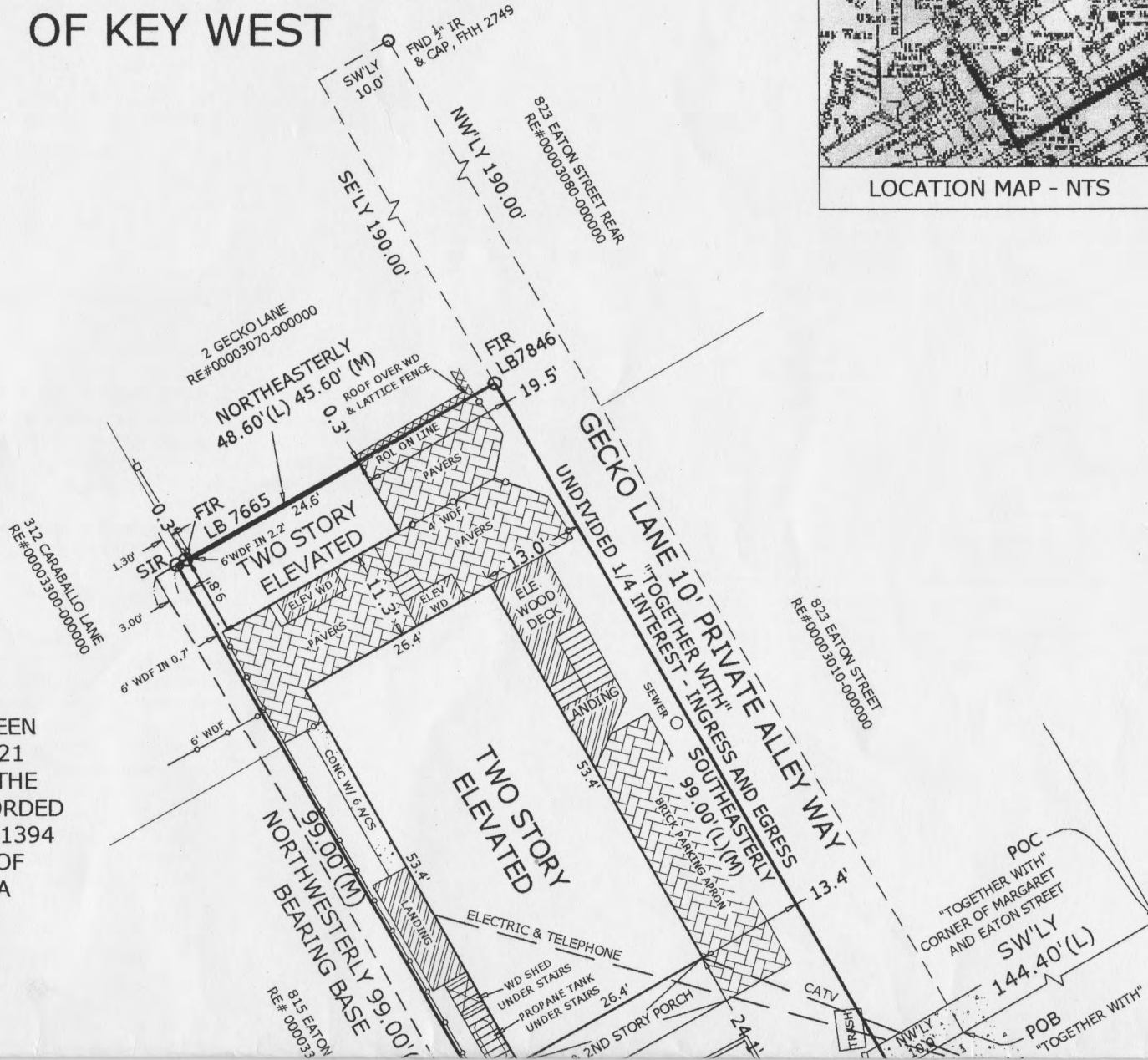
NORTH  
ASSUMED FROM  
LEGAL DESCRIPTION

SCALE: 1" = 20'

BEARING BASE:  
THE DIVIDING LINE BETWEEN  
LOTS 1 AND 4 IN SQUARE 21  
AS NORTHWESTERLY PER THE  
LEGAL DESCRIPTION RECORDED  
IN O.R. BOOK 2045, PAGE 1394  
OF THE PUBLIC RECORDS OF  
MONROE COUNTY, FLORIDA

ALL ANGLES DEPICTED  
ARE 90 DEGREES UNLESS  
OTHERWISE INDICATED

ADDRESS:



LOCATION MAP - NTS

**LEGAL DESCRIPTION -**

(O.R. BOOK 2045, PAGE 1394)

In the City of Key West and known on W.A. Whitehead's map of the Island and City of Key West, delineated in Feby, A.D. 1829, as part of Lot One (1) in Square Twenty-one (21), Commencing on Eaton Street at the dividing line between Lots One (1) and Four (4) in Square Twenty-one (21), and running thence Northwesterly along said dividing line Ninety-nine (99) feet to a point; thence Northeasterly at right angles Forty-eight and six tenths (48.60) feet to a point; thence in a Southeasterly direction at right angles Ninety-nine (99) feet to a point on Northerly right-of-way line of Eaton Street; thence Southwesterly along said line of Eaton Street Forty-eight and six tenths (48.60) feet to the Point of Beginning.

LESS: The Southerly 3.00 feet as per Court Order in May, 1982.

TOGETHER WITH an undivided 1/4 interest in the private alleyway adjacent to the above described parcel, which alleyway is described as follows:

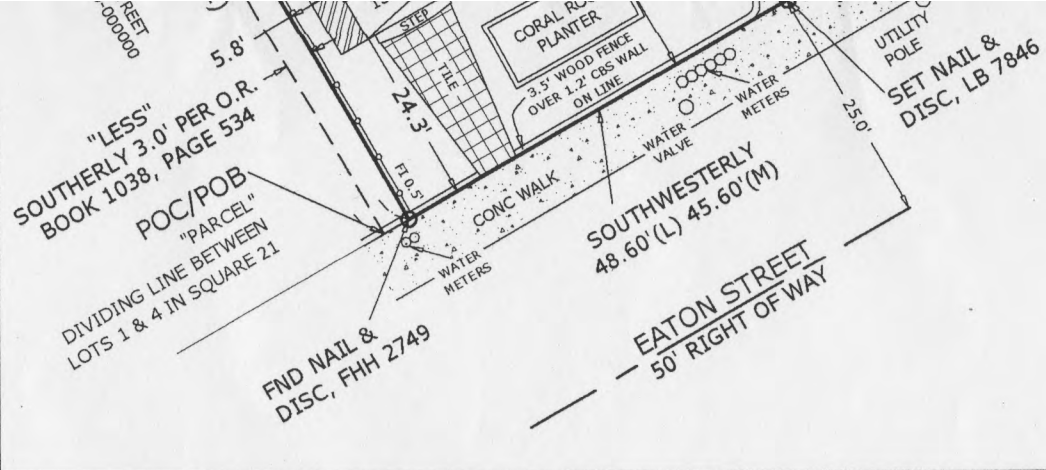
COMMENCING at the corner of Margaret Street and Eaton Street; thence running along Eaton Street in a Southwesterly direction 142.4 feet to a point of beginning; thence at right angles and in a Northwesterly direction 190.0 feet; thence at right angles and in a Southwesterly direction 10.0 feet; thence at right angles and in a Southeasterly direction 190.0 feet; thence at right angles and in a Northeasterly direction 10.0 feet to the point of beginning.

**CERTIFIED TO -**

**817 EATON STREET CONDOMINIUM ASSOCIATION INC.**

NOTE: THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE PARTIES LISTED HEREIN AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER. LIKEWISE, ANY REUSE OF THIS SURVEY FOR ANY PURPOSE OTHER THAN WHICH WAS ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF THE UNDERSIGNED SURVEYOR & MAPPER, WILL BE DONE SO AT THE RISK OF THE REUSING PARTY AND WITHOUT ANY LIABILITY TO THE UNDERSIGNED SURVEYOR & MAPPER.

LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS. THIS SURVEY DOES NOT PURPORT TO SHOW OWNERSHIP OF WALLS OR FENCES ALONG PROPERTY LINES. ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

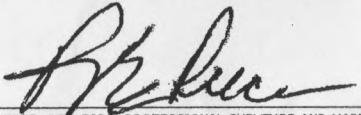


NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE. THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.

- |                                      |  |                                       |
|--------------------------------------|--|---------------------------------------|
| BFP = BACK-FLOW PREVENTER            | GI = GRATE INLET                               | PRC = POINT OF REVERSE CURVE          |
| BO = BLOW OUT                        | GL = GROUND LEVEL                              | PRM = PERMANENT REFERENCE MONUMENT    |
| C = CALCULATED                       | GW = GUY WIRE                                  | PT = POINT OF TANGENT                 |
| C&G = 2' CONCRETE CURB & GUTTER      | HB = HOSE BIB                                  | R = RADIUS                            |
| CB = CONCRETE BLOCK                  | IP = IRON PIPE                                 | ROL = ROOF OVERHANG LINE              |
| CBW = CONCRETE BLOCK WALL            | IR = IRON ROD                                  | ROWL = RIGHT OF WAY LINE              |
| CBRW = CONCRETE BLOCK RETAINING WALL | L = ARC LENGTH                                 | R/W = RIGHT OF WAY                    |
| CI = CURB INLET                      | LE = LOWER ENCLOSURE                           | SIR = SET 1/2" IRON ROD & CAP, LB7846 |
| CL = CENTERLINE                      | LP = LIGHT POLE                                | SCO = SANITARY CLEAN-OUT              |
| CLF = CHAINLINK FENCE                | LS = LANDSCAPING                               | SMH = SANITARY MANHOLE                |
| CM = CONCRETE MONUMENT               | M = MEASURED                                   | SPV = SPRINKLER CONTROL VALVE         |
| CONC = CONCRETE                      | MB = MAILBOX                                   | SV = SEWER VALVE                      |
| C/S = CONCRETE SLAB                  | MHWL = MEAN HIGH WATER LINE                    | TB = TELEPHONE BOX                    |
| CVRD = COVERED                       | MTLF = METAL FENCE                             | TBM = TIDAL BENCHMARK                 |
| D = DEED                             | NAVD = NORTH AMERICAN VERTICAL DATUM (1988)    | TTH = TELEPHONE MANHOLE               |
| DELTA = DELTA ANGLE                  | NGVD = NATIONAL GEODETIC VERTICAL DATUM (1929) | TOB = TOP OF BANK                     |
| DEASE = DRAINAGE EASEMENT            | NTS = NOT TO SCALE                             | TOE = TOE OF SLOPE                    |
| DMH = DRAINAGE MANHOLE               | OHW = OVERHEAD WIRES                           | TS = TRAFFIC SIGN                     |
| EB = ELECTRIC BOX                    | P = PLAT                                       | TYP = TYPICAL                         |
| EL = ELEVATION                       | P&M = PLAT & MEASURED                          | UEASE = UTILITY EASEMENT              |
| ELEV = ELEVATED                      | PC = POINT OF CURVE                            | UPC = CONCRETE UTILITY POLE           |
| EM = ELECTRIC METER                  | PCC = POINT OF COMPOUND CURVE                  | UPM = METAL UTILITY POLE              |
| ENCL = ENCLOSURE                     | PCP = PERMANENT CONTROL POINT                  | UPW = WOOD UTILITY POLE               |
| FFE = FINISHED FLOOR ELEVATION       | PI = POINT OF INTERSECTION                     | VB = VIDEO BOX                        |
| FH = FIRE HYDRANT                    | PK = PARKER KALON NAIL                         | WD = WOOD DECK                        |
| FI = FENCE INSIDE                    | PM = PARKING METER                             | WDF = WOOD FENCE                      |
| FIR = FOUND 1/2" IRON ROD            | POB = POINT OF BEGINNING                       | WL = WOOD LANDING                     |
| FND = FOUND                          | POC = POINT OF COMMENCEMENT                    | WM = WATER METER                      |
| FO = FENCE OUTSIDE                   |  | WRACK LINE = LINE OF DEBRIS ON SHORE  |
| FOL = FENCE ON LINE                  |  | WV = WATER VALVE                      |
| GB = GRADE BREAK                     |  |                                       |

SCALE:	1" = 20'
FIELD WORK DATE	04/22/15
REVISION DATE	-/-/-
SHEET	1 OF 1
DRAWN BY:	KK
CHECKED BY:	RER
INVOICE #:	15041301

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THIS SURVEY, WHEN SCHEDULE B HAS BEEN PROVIDED MEETS THE PROVISIONS OF FLORIDA ENDORSEMENT FORM 9, SUBPARAGRAPH 1(B) 1(SETBACKS), 1(B)3(ENCROACHMENTS), & 1(B)4(EASEMENTS), SCHEDULE "B" HAS NOT BEEN PROVIDED.

SIGNED   
ROBERT E. REECE, PSM 5632, PROFESSIONAL SURVEYOR AND MAPPER

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER

**REECE & ASSOCIATES**

PROFESSIONAL SURVEYOR AND MAPPER, LB 7846

127 INDUSTRIAL ROAD, BIG PINE KEY, FL 33043

OFFICE (305) 872 - 1348

FAX (305) 872 - 5622

# PROPOSED DESIGN

# NEW DECK & STAIR @ 817 STREET, KEY WEST, FLORIDA

**SHEET INDEX:**

<u>SHEET</u>	<u>TITLE</u>	<u>DATE</u>
1 OF 6	COVER SHEET	30 APRIL 2015
2 OF 6	EXISTING SITE PLAN	30 APRIL 2015
3 OF 6	PROPOSED SITE PLAN	30 APRIL 2015
4 OF 6	EXISTING DECK & STAIR PLAN	30 APRIL 2015
5 OF 6	PROPOSED DECK & STAIR PLAN	30 APRIL 2015
6 OF 6	EXISTING & PROPOSED ELEVATIONS	30 APRIL 2015

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In the City of Key West and known on W.A. Whitehead's map of the Island and City of Key West, delineated in February A.D. 1829, as part of Lot One (1) in Square Twenty-one (21), Commencing on Eaton Street at the dividing line between Lots One (1) and Four (4) in Square Twenty-one (21), and running then Northwesterly along said dividing line Ninety-nine (99) feet to a point; thence Northwesterly at right angles Forty-eight and six tenths (48.6) feet to a point; thence in a Southeasterly direction at right angles Ninety-nine (99) feet to a Point on Northerly right-of-way line of Eaton Street; thence Southwesterly along said line of Eaton Street Forty-eight and six tenths (48.60) feet to the Point of Beginning.

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**SITE DATA:**

LOT AREA: 4,811 S.F.

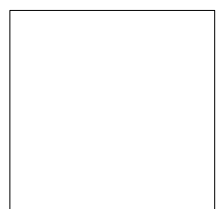
LAND USE DISTRICT: HISTORIC MEDIUM DENSITY RESIDENTIAL (HMDR)

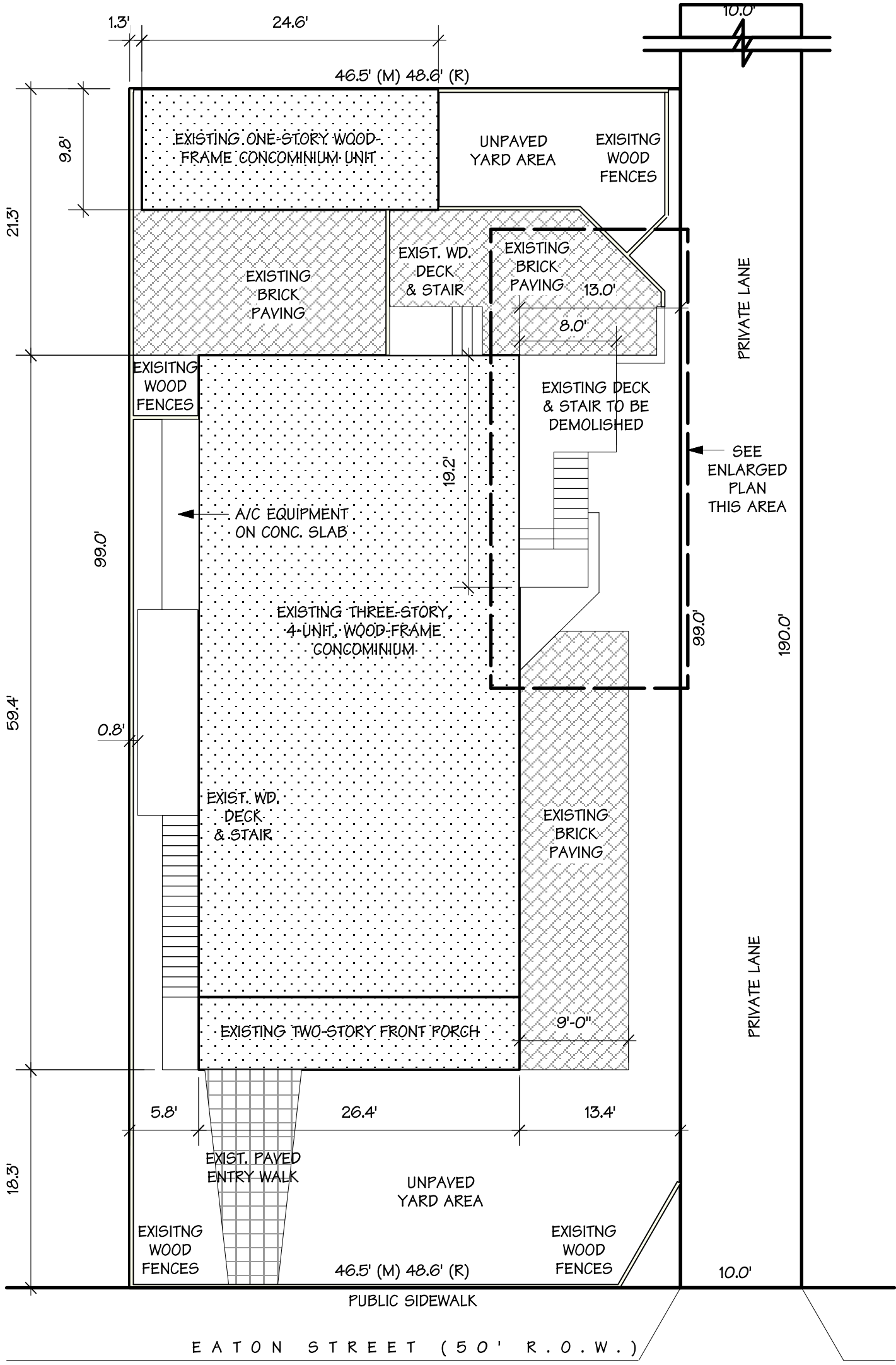
FEMA FLOOD ZONE: AE-6

	<u>ALLOWED</u>	<u>EXISTING</u>	<u>PROPOSED</u>
DENSITY:	2 DU	5 DU	NO CHANGE
BUILDING COVERAGE:	40%	2134 S.F. (44%)	2221 S.F. (46%)
IMPERVIOUS SURFACE RATIO:	60%	3064 S.F. (64%)	3151 S.F. (66%)
OPEN SPACE RATIO:	35%	36%	34.5%
SETBACKS:			
FRONT	10'	18'	NO CHANGE
L. SIDE	5'	0.8'	NO CHANGE
R. SIDE	5'	5'	2'
REAR	15'	ZERO	NO CHANGE
HEIGHT:	30'	32' +/-	NO CHANGE

**Robert L. Delaune, Architect, p.a.**

619 Eaton Street, Suite 1, Key West, FL 33040  
ph/fax: (305) 293-0364 FL Lic. #AA0003594



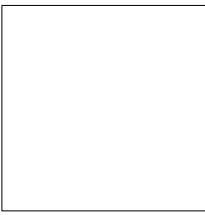


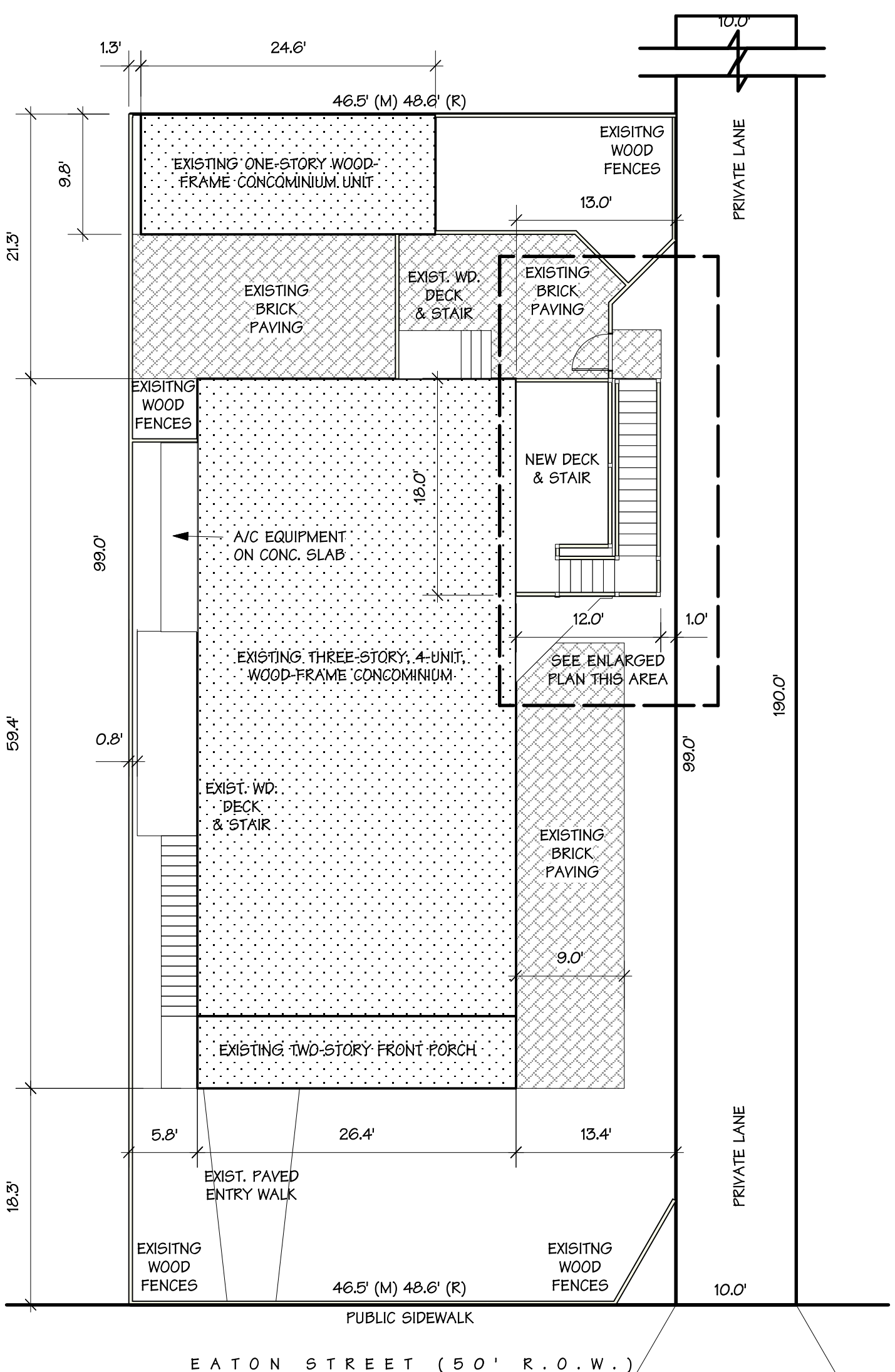
EXISTING SITE PLAN  
 scale: 1"=1'-0"

NEW DECK & STAIR @ 817 STREET, KEY WEST, FLORIDA

**Robert L. Delaune, Architect, p.a.**

619 Eaton Street, Suite 1, Key West, FL 33040  
 ph/fax: (305) 293-0364 FL Lic. #AA0003594





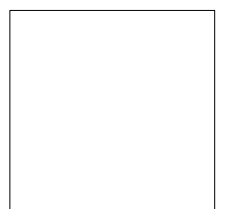
PROPOSED SITE PLAN  
 scale: 1"=1'-0"

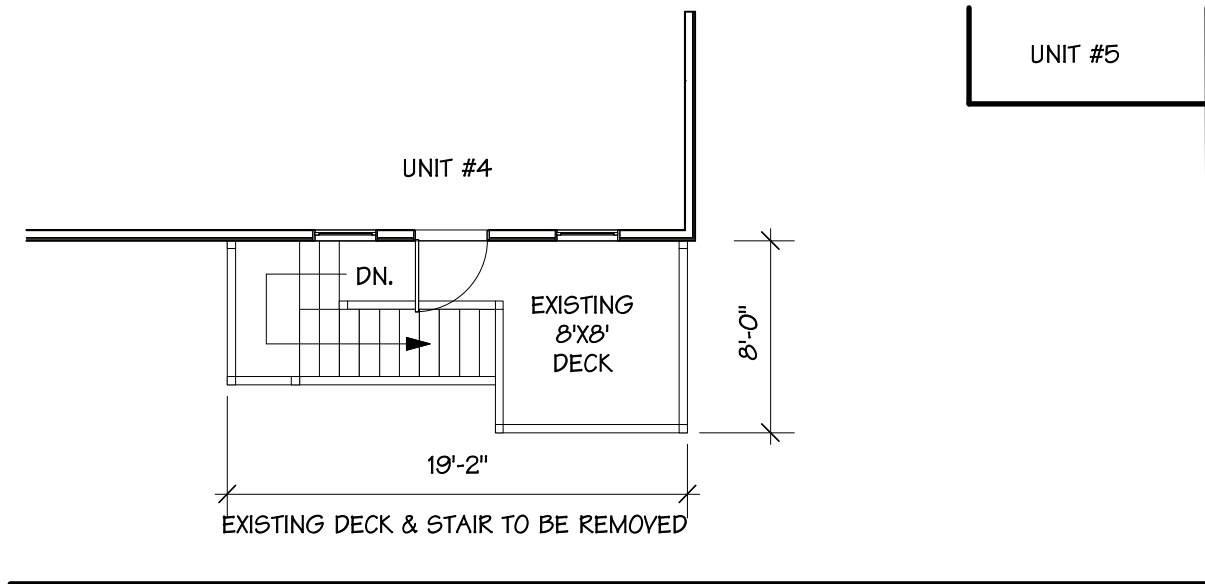
NEW DECK & STAIR @ 817 STREET, KEY WEST, FLORIDA

SHEET 3 OF 6

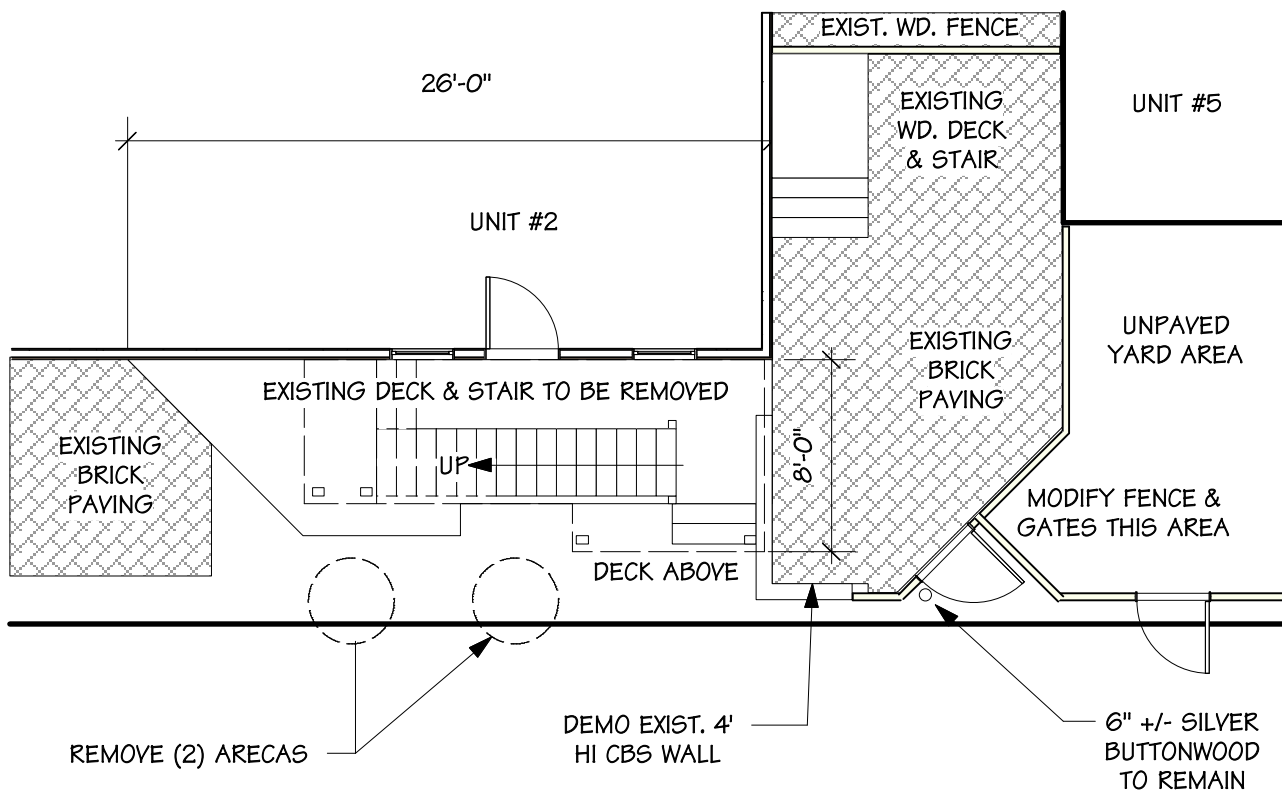
**Robert L. Delaune, Architect, p.a.**

619 Eaton Street, Suite 1, Key West, FL 33040  
 ph/fax: (305) 293-0364 FL Lic. #AA0003594





EXISTING SECOND FLOOR PLAN  
 scale: 1/8"=1'-0"

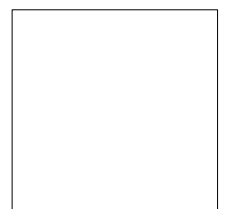


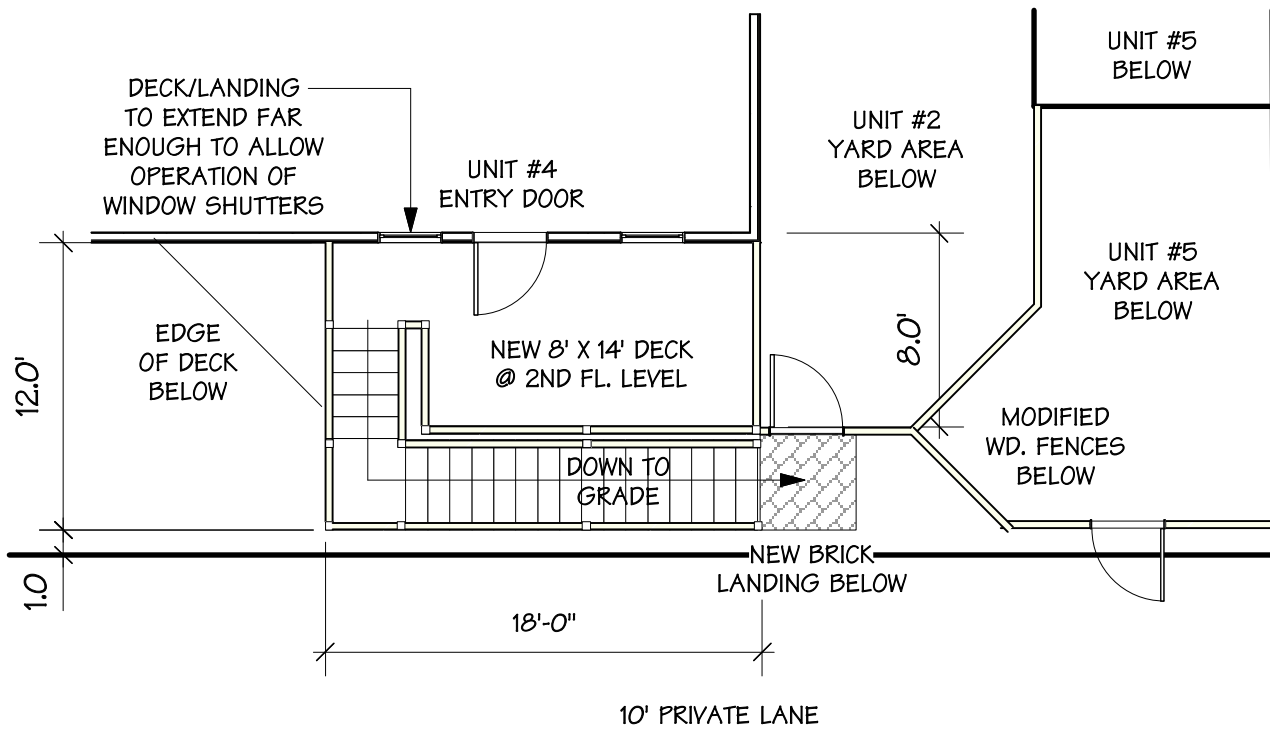
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 scale: 1/8"=1'-0"

NEW DECK & STAIR @ 817 STREET  
 KEY WEST, FLORIDA

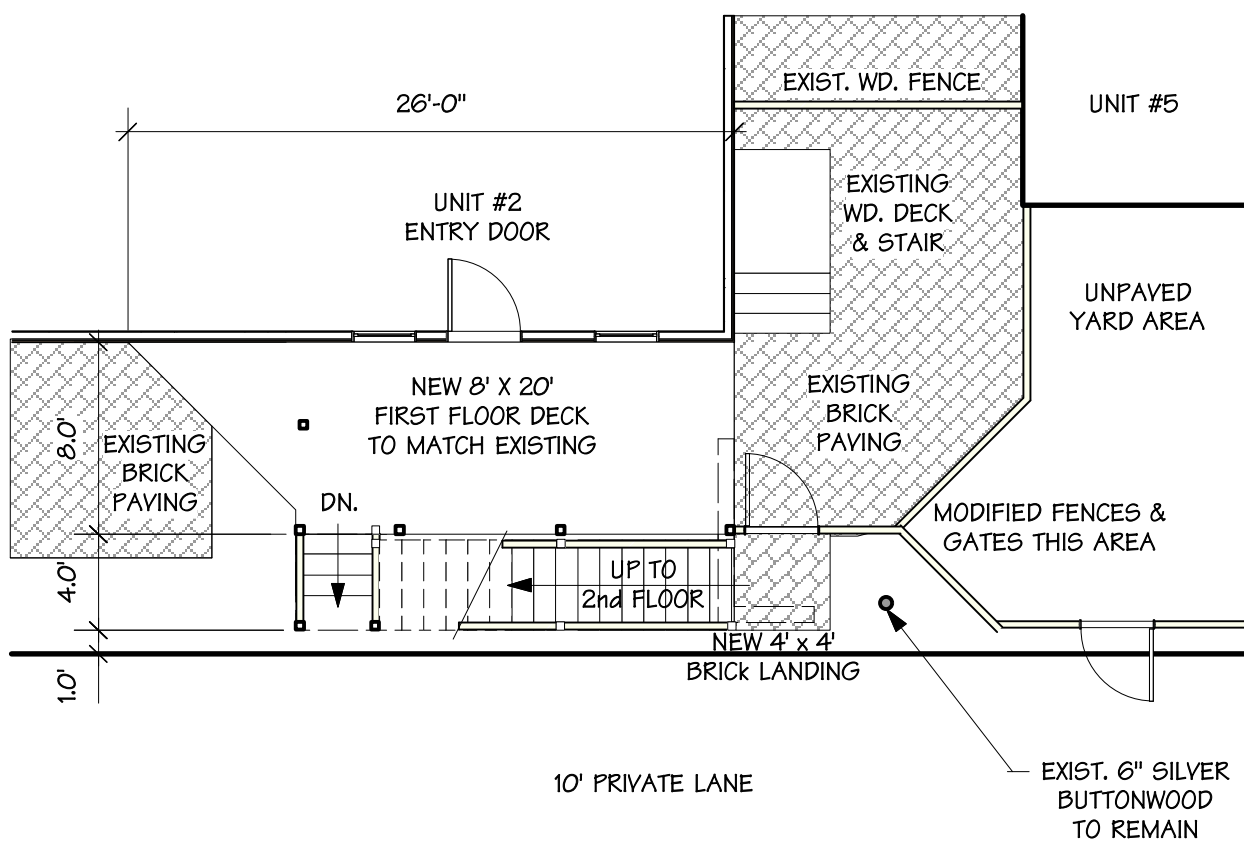
**Robert L. Delaune, Architect, p.a.**

619 Eaton Street, Suite 1, Key West, FL 33040  
 ph/fax: (305) 293-0364 FL Lic. #AA0003594





PROPOSED SECOND FLOOR PLAN  
 scale: 1/8"=1'-0"



PROPOSED FIRST FLOOR PLAN  
 scale: 1/8"=1'-0"

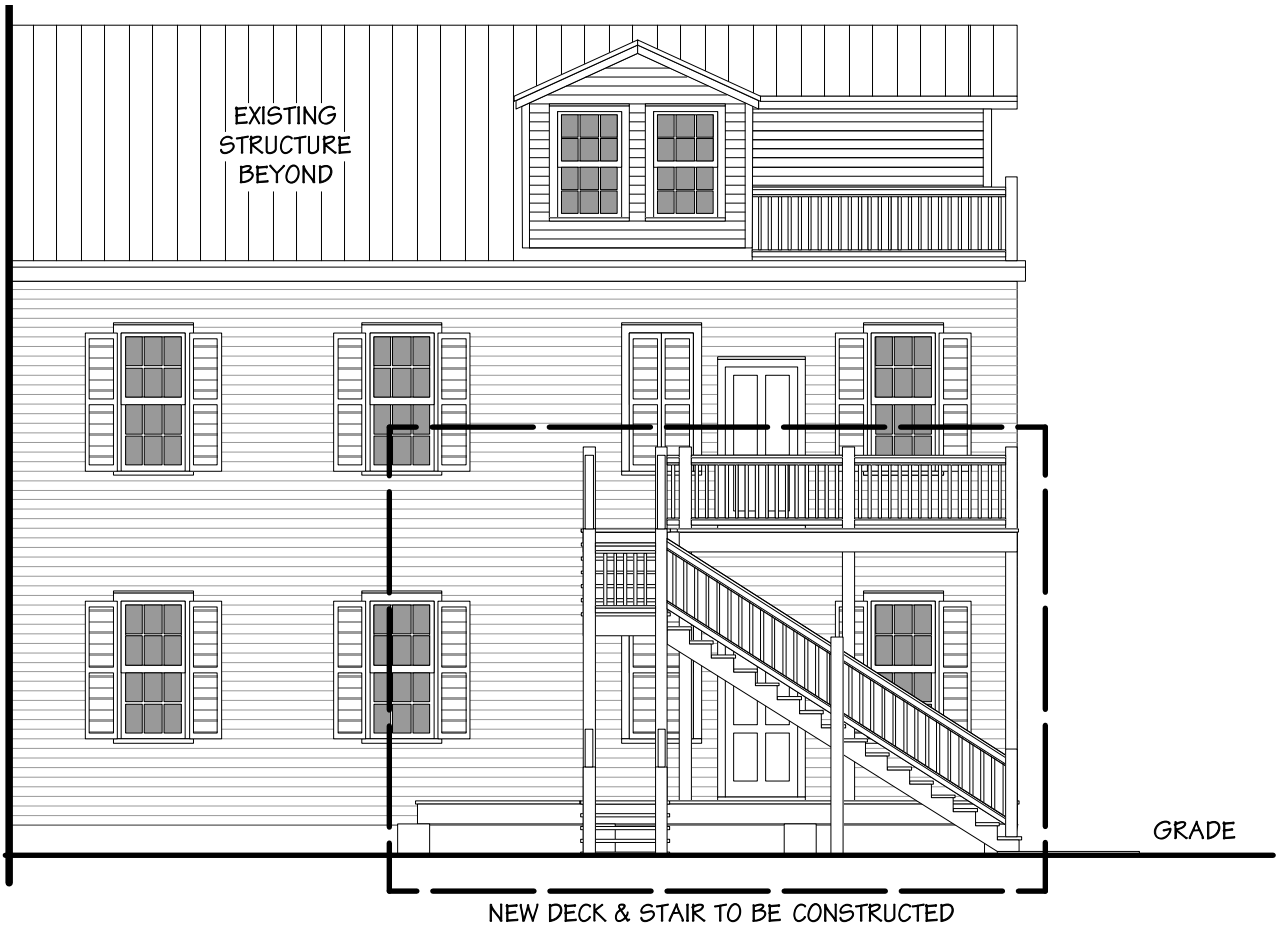
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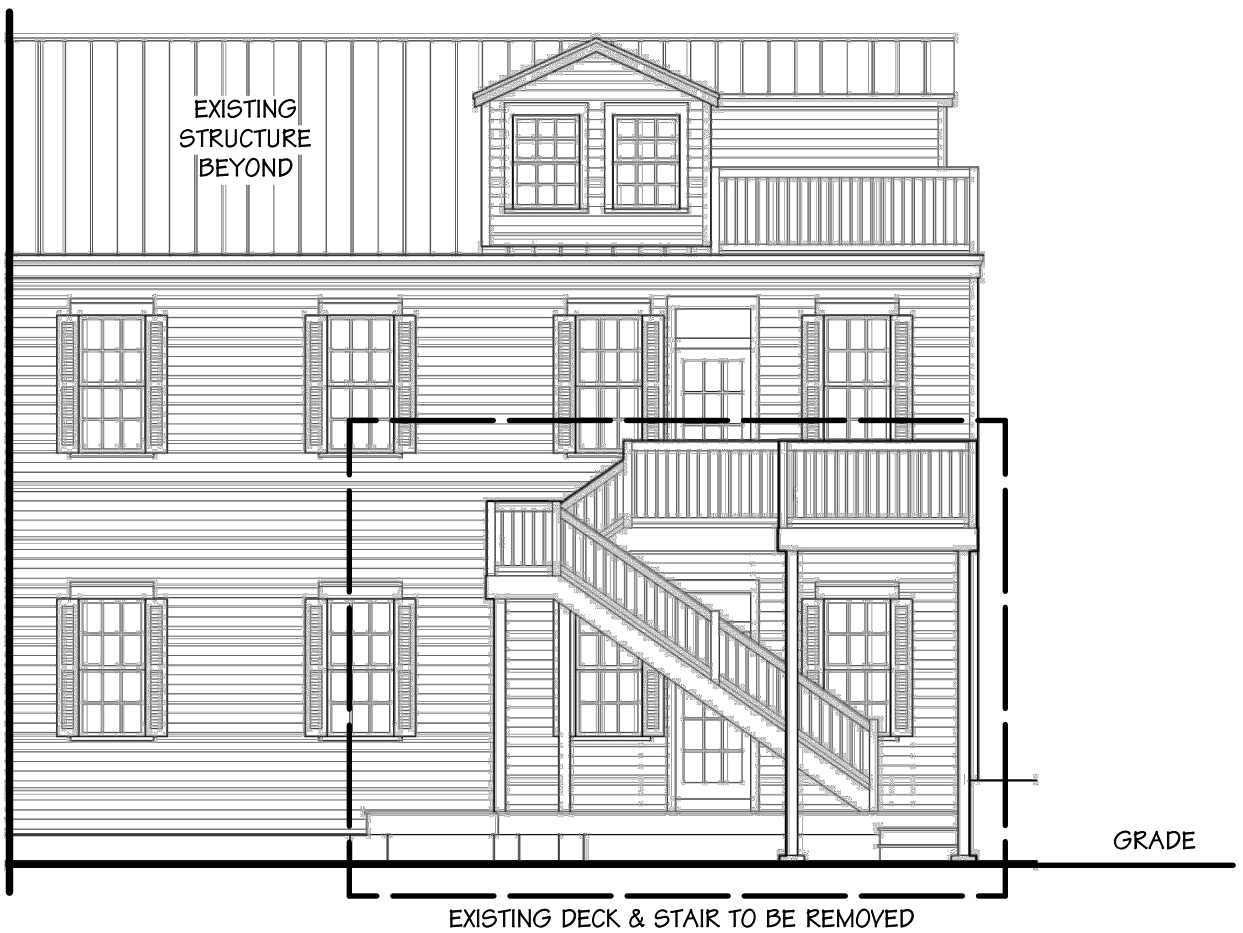






PROPOSED EAST ELEVATION

scale: 1/8"=1'-0"



EXISTING EAST ELEVATION

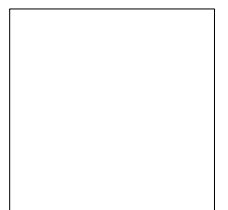
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NEW DECK & STAIR @ 817 STREET  
KEY WEST, FLORIDA

SHEET 6 OF 6

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# PLANNING BOARD RESOLUTION

**PLANNING BOARD  
RESOLUTION NO. 2015-36**

**A RESOLUTION OF THE CITY OF KEY WEST PLANNING BOARD GRANTING A VARIANCE TO MINIMUM SIDE YARD SETBACK, MAXIMUM BUILDING COVERAGE, MAXIMUM IMPERVIOUS SURFACE RATIO AND MINIMUM OPEN SPACE REQUIREMENTS ON PROPERTY LOCATED AT 817 EATON STREET (RE # 00003020-000102, 00003020-000104; AK # 9075210, 9075232) IN THE HISTORIC MEDIUM DENSITY RESIDENTIAL (HMDR) ZONING DISTRICT PURSUANT TO SECTIONS 90-395, 122-600 and 108-346(B) OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES OF THE CITY OF KEY WEST, FLORIDA**

**WHEREAS**, the applicant proposes to construct to reconstruct an existing wood deck and exterior stair on an existing multifamily residential building on property located at 817 Eaton Street (RE # 00003020-000102, 00003020-000104; AK # 9075210, 9075232); and

**WHEREAS**, Section 122-600 and 108-346(b) of the Land Development Regulations (the “LDRs”) of the Code of Ordinances (the “Code”) of the City of Key West, Florida (the “City”) provides that the minimum side yard setback is five (5) feet, maximum building coverage is 40%, maximum impervious surface ratio is 60% and minimum open space requirement is 35%; and

**WHEREAS**, the proposed is east side yard setback is 1 foot from the 5 feet minimum required, the proposed building coverage is 46%, the proposed impervious surface ratio is 66% and the proposed open space ratio is 34.5%; and

**WHEREAS**, the applicant requests a variance to the minimum side yard setback, maximum building coverage, maximum impervious surface ratio and minimum open space requirements; and

**WHEREAS**, this matter came before the Planning Board at a duly noticed public hearing

 Chairman  
 Planning Director

on July 16, 2015; and

**WHEREAS**, the Planning Board finds that special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other land, structures or buildings in the same district; and

**WHEREAS**, the Planning Board finds that the special conditions do not result from the action or negligence of the applicant; and

**WHEREAS**, the Planning Board finds that granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district; and

**WHEREAS**, the Planning Board finds that literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant; and

**WHEREAS**, the Planning Board finds that the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure; and

**WHEREAS**, the Planning Board finds that the granting of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare; and

**WHEREAS**, the Planning Board finds that no nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts are grounds for the issuance of the requested variance; and

**WHEREAS**, the Planning Board finds that the applicant has demonstrated a “good neighbor

  
Chairman  
  
Planning Director

policy” by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Board of the City of Key West, Florida:

**Section 1.** That the above recitals are incorporated by reference as if fully set forth herein.

**Section 2.** An approval by Resolution of the Key West Planning Board for minimum side yard setback, maximum building coverage, maximum impervious surface ratio and minimum open space requirements in order to reconstruct an existing wood deck and exterior stair on an existing multifamily residential building on property located within Historic Medium Density Residential (HMDR) Zoning District pursuant to Sections 90-395, 122-600 and 108-346(b) of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

**Section 3.** It is a condition of this variance that full, complete and final application for all conditions of this approval for any use and occupancy for which this variance is wholly or partly necessary, shall be submitted in their entirety within two years after the date hereof; and further, that no application shall be made after expiration of the two-year period without the applicant obtaining an extension from the Planning Board and demonstrating that no change of circumstances to the property or its underlying zoning has occurred.

**Section 4.** The failure to fully and completely apply the conditions of approval for permits for use and occupancy pursuant to this variance in accordance with the terms of the approval as described in Section 3 hereof, shall immediately operate to terminate this variance, which variance shall be of no force or effect.

 Chairman  
 Planning Director

**Section 5.** This variance does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

**Section 6.** This Resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

**Section 7.** This Resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Economic Opportunity. Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period, the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

  
Chairman  
  
Planning Director

Read and passed on first reading at a regularly scheduled meeting held this 16th day of July 2015.

Authenticated by the Chairman of the Planning Board and the Planning Director;



Richard Klitenick, Planning Board Chairman

7/27/15  
Date

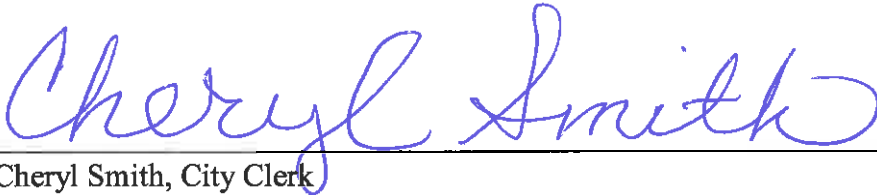
Attest:



Thaddeus Cohen, Planning Director

7/20/15  
Date

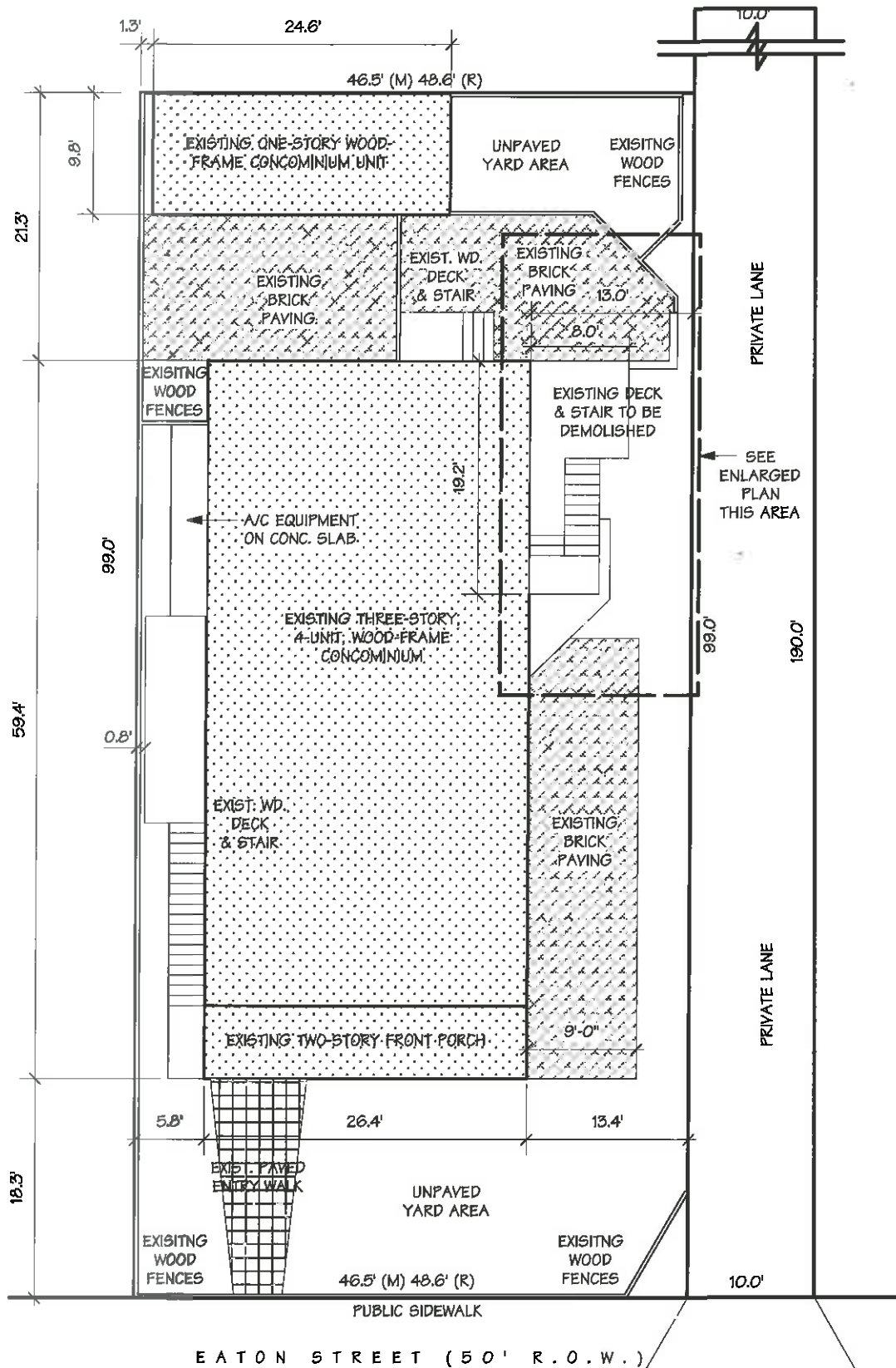
Filed with the Clerk:



Cheryl Smith, City Clerk

7/28/15  
Date

 Chairman  
Planning Director

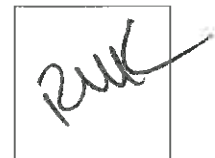


EXISTING SITE PLAN  
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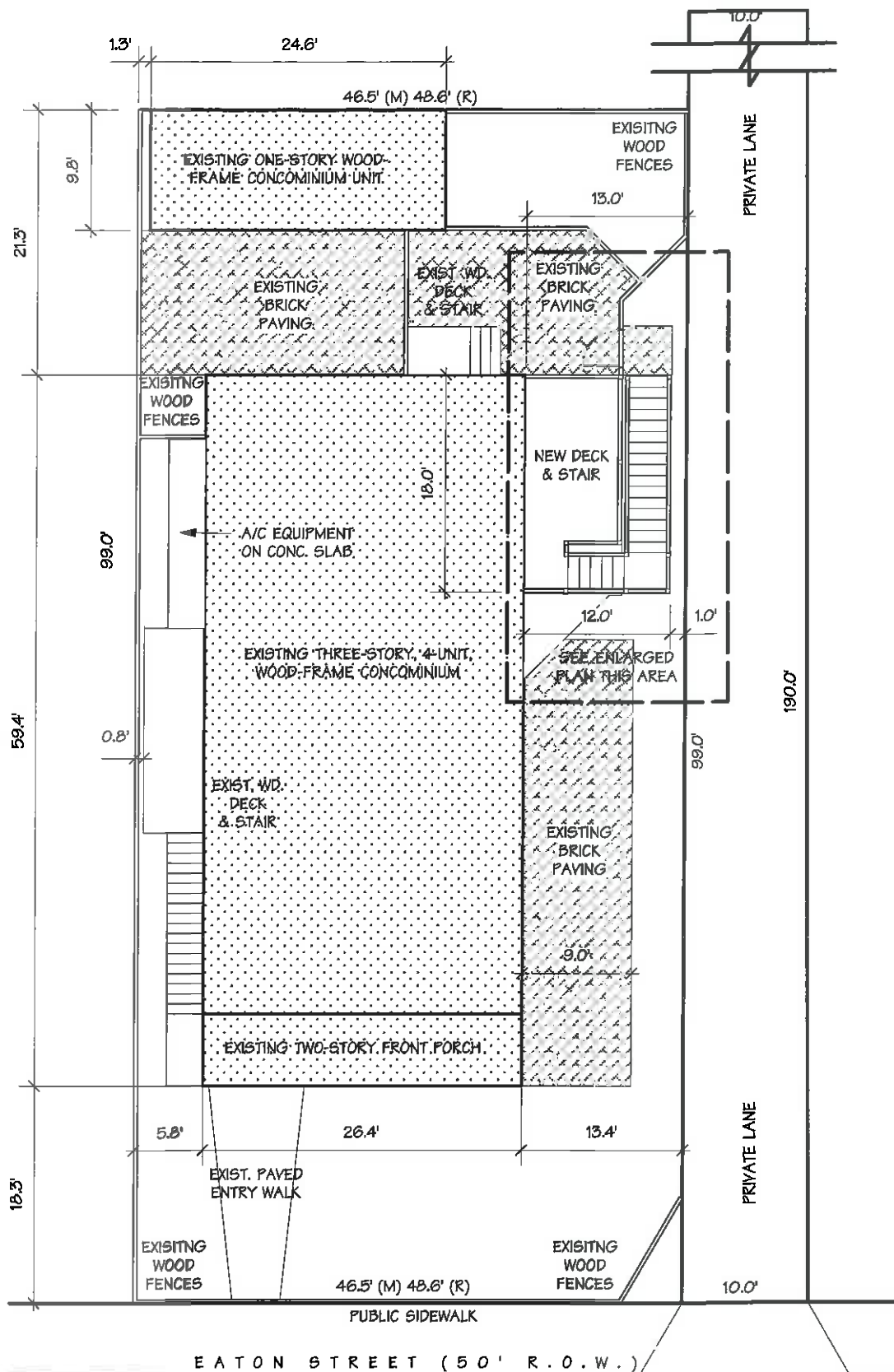
NEW DECK & STAIR @ 817 STREET, KEY WEST, FLORIDA

SHEET 2 OF 6

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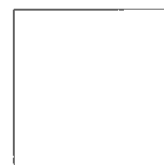


PROPOSED SITE PLAN  
 scale: 1"=1'-0"

NEW DECK & STAIR @ 817 STREET, KEY WEST, FLORIDA

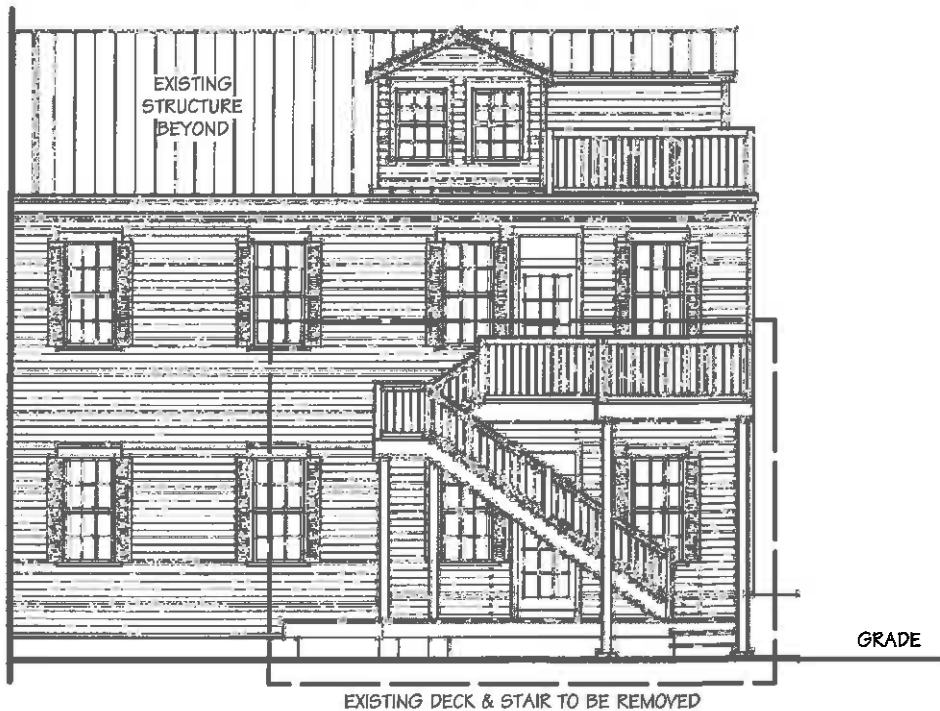
SHEET 3 OF 6

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PROPOSED EAST ELEVATION  
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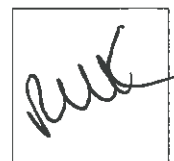


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KEY WEST, FLORIDA

SHEET 6 OF 6

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# NOTICING

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., August 25, 2015 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**CONSTRUCTION OF RE-DESIGNED WOOD DECK AND  
STAIRCASE AT EAST SIDE OF THE MAIN STRUCTURE.  
DEMOLITION OF NON-HISTORIC WOOD STAIRCASE AND DECK.**

**FOR- #817 EATON STREET UNIT 4**

**Applicant – Robert Delaune**

**Application #H15-01-1123**

**If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3975 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).**

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

**ADA ASSISTANCE:** It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

# PROPERTY APPRAISER INFORMATION



**Scott P. Russell, CFA**  
**Property Appraiser**  
**Monroe County, Florida**

Key West (305) 292-3420  
Marathon (305) 289-2550  
Plantation Key (305) 852-7130

**Property Record Card -**  
**Maps are now launching the new map application version.**

**Alternate Key: 9075232 Parcel ID: 00003020-000104**

**Ownership Details**

**Mailing Address:**

817 EATON STREET UNIT 4 LLC  
120 PENLEY CIR  
RALEIGH, NC 27609-7100

**Property Details**

**PC Code:** 04 - CONDOMINIUM

**Millage Group:** 10KW

**Affordable Housing:** No

**Section-Township-Range:** 06-68-25

**Property Location:** 817 EATON ST UNIT: 4 KEY WEST

**Legal Description:** UNIT 4 817 EATON STREET CONDOMINIUM OR2127-2078/79 OR2500-1345/47 OR2512-404/05

**Click Map Image to open interactive viewer**





## Condominium Details

**Condo Name:** 817 EATON STREET CONDO  
**Footage:** 1171      **Year Built:** 1929

## Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
12-0468	02/27/2012	12/31/2012	8,500	6 OVER 6 EXISTING WINDOWS WITH DOUBLE GLAZED WOODEN WINDOWS. BUILD AND INSTALL SHUTTERS.	
12-2000	06/28/2012	12/31/2012	8,000	REPLACE 10 METAL WINDOWS W / LAWSON IMPACT 6 OVER 6 ALUMINUM WINDOWS IN NON-HISTORIC DORMERS.	

## Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2015	354,485	0	0	354,485	354,485	0	354,485
2014	354,485	0	0	354,485	346,139	0	354,485
2013	322,259	0	0	322,259	314,672	0	322,259
2012	286,066	0	0	286,066	286,066	0	286,066
2011	289,987	0	0	289,987	289,986	25,000	264,987
2010	364,241	0	0	364,241	364,240	25,000	339,241
2009	455,301	0	0	455,301	455,301	25,000	430,301
2008	547,862	0	0	547,862	547,862	0	547,862
2007	648,180	0	0	648,180	648,180	0	648,180

<b>2006</b>	648,180	0	0	648,180	648,180	0	648,180
<b>2005</b>	812,305	0	0	701,500	701,500	0	701,500
<b>2004</b>	0	309,136	1	309,137	309,137	0	309,137

## Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
<b>4/5/2011</b>	2512 / 404	100	<u>WD</u>	<u>11</u>
<b>1/13/2011</b>	2500 / 1345	290,000	<u>WD</u>	<u>02</u>
<b>6/16/2005</b>	2127 / 2078	762,500	<u>WD</u>	<u>Q</u>

This page has been visited 219,938 times.

Monroe County Property Appraiser  
 Scott P. Russell, CFA  
 P.O. Box 1176 Key West, FL 33041-1176