

SPOTTSWOOD, SPOTTSWOOD, SPOTTSWOOD & STERLING, PLLC

ATTORNEYS AND COUNSELORS AT LAW
500 FLEMING STREET
KEY WEST, FLORIDA 33040

JOHN M. SPOTTSWOOD, JR.
ERICA HUGHES STERLING
ROBERT A. SPOTTSWOOD, JR.
RICHARD J. McCHESNEY
ROBERT H. GEBALDE

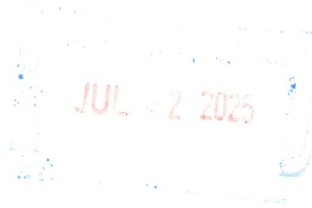
Telephone | 305-294-9556
Facsimile | 305-504-2696

OF COUNSEL:

JOHN M. SPOTTSWOOD (1920 – 1975)

July 18, 2025

VIA HAND DELIVERY AND
ELECTRONIC MAIL



Katie Halloran, Planning Director
City of Key West Planning Department
1300 White Street
Key West, Florida 33040

RE: Variance – 309 William Street, Key West, Florida 33040
RE# 00003170-000000

Dear Ms. Halloran,

Please allow this letter and supporting documentation to serve as my client's, The Craig A. Schmitz Trust dated 02/04/2016, ("Applicant"), application for variances at 309 William Street, Key West, Florida 33040 (the "Property") located in the Historic Medium Residential Density ("HMDR") zoning district. This variance request is made pursuant to Code Sec. 108-600(6) for minimum setbacks required.

The existing structure currently sits 1.5 feet over the rear property line and into the neighboring property. The Applicant is proposing to demolish the existing dilapidated structure and rebuild the single family home within improved setbacks.

Variances requested:

SETBACK	REQUIRED	EXISTING	PROPOSED	Variance Requested
Building Coverage	Max 40%	38%	52%	12% or 306.5 SF
Front	10'	12' - 10.25"	8' - 0.25" To accommodate front steps	1' - 11.75"
Rear	15'	(-1' - 7")	5' - 0" (Improvement)	10' - 0"
Street Side	7' - 6"	2' - 2.75"	5' - 0" (Improvement)	2' - 6"

In support of the request, the Applicant states as follows:

1. Existence of special conditions or circumstances. Special-- conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures, or buildings in the same zoning district.
 - a. Special conditions exist. The existing lot is located in one of the oldest areas of the City of Key West, dating back to the mid-1800's at least. As such, the lot size is substantially smaller than code requirement. The undersized lot creates a hardship for any owner to rebuild a home with a reasonable amount of livable space. Renovation of the existing structure would be challenging, if not impossible, given the location of the building within setback and onto the neighboring property.
2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.
 - a. The existing structure is currently noncompliant in setbacks and encroaches onto the neighboring property. The proposed new structure will improve upon the existing conditions on the site. The applicant did not construct this home in the location that it currently exists. The applicant is seeking to improve upon the existing conditions and limitations created by the Code.
3. Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.
 - a. Special privileges are not conferred. The LDRs provide a process for the replacement of a nonconforming structure with variance approval and recognize the improvements made for legal, non-conforming structures.
4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.
 - a. The hardship for this request is a combination of the legal, non-confirming small lot size which challenges the ability to create adequate living space for a family, along with the inability to improve the existing structure due to limitations on expanding nonconformities.
5. Only minimum variance granted. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.

- a. The current owner is proposing to build a new single family residence on an undersized lot while improving existing conditions. The variance requested is the minimum necessary to provide reasonable use of the property.
6. Not injurious to the public welfare. That granting of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.
 - a. The granting of the variance is not injurious to the area involved or detrimental to the public interest. The variance will provide for improved side and rear setbacks which increases space between adjacent properties.
7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming uses of neighboring lands, structures, or buildings in the same district and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.
 - a. The Applicant did not consider other nonconforming uses of other property in developing this application.

If you should have any questions, comments, or concerns, please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink, appearing to read "R. McChesney".

Richard J. McChesney, Esq.

Enc.:
As stated

Application



VARIANCE AND AFTER THE FACT VARIANCE APPLICATION

CITY OF KEY WEST, FLORIDA • PLANNING DEPARTMENT

Address: 1300 White Street • Key West, Florida 33040

Phone: 305-809-3764

Website: www.cityofkeywest-fl.gov

Application Fee Schedule

Variance Application Fee	\$ 2,552.56
Advertising and Noticing Fee	\$ 358.87
Fire Department Review Fee	\$ 127.63
Total Application Fee	\$ 3,039.06

After the Fact Application Fee Schedule

After the Fact Variance Application Fee	\$ 5,105.13
Advertising and Noticing Fee	\$ 358.87
Fire Department Review Fee	\$ 127.63
Total Application Fee	\$ 5,591.63

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3764.

PROPERTY DESCRIPTION:

Site Address: 309 William Street, Key West, FL 33040

Zoning District: HMDR

Real Estate (RE) #: 0003170-000000

Property located within the Historic District? ☒ Yes ☐ No

APPLICANT:

☐ Owner

☒ Authorized Representative

Name: Richard McChesney/Spottswood Law Firm

Mailing Address: 500 Fleming Street

City: Key West

State: FL

Zip: 33040

Home/Mobile Phone: _____

Office: 305-294-9556

Fax: _____

Email: Richard@spottswoodlaw.com

PROPERTY OWNER: (if different than above)

Name: Schhmitz Craig A Trust 02/04/2016

Mailing Address: 23 Windcastle Dr.

City: Saint Charles

State: MO

Zip: 63304

Home/Mobile Phone: c/o 305-294-9556

Office: _____

Fax: _____

Email: c/o Richard@spottswoodlaw.com

Description of Proposed Construction, Development, and Use:

Deomo existing residential structure and replace with newly constructed single family home.

List and describe the specific variance(s) being requested:

Variance to rear and side setbacks per code Sec. 122-600(6)a. front yard; c. rear yard and d. street side

Are there any easements, deed restrictions or other encumbrances attached to the property? ☐ Yes ☒ No

If yes, please describe and attach relevant documents: _____

Will any work be within the dripline (canopy) of any tree on or off the property? ☐ Yes ☒ No

If yes, provide date of landscape approval, and attach a copy of such approval.

Is this variance request for habitable space pursuant to Section 122-1078? ☐ Yes ☒ No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. *provide square footages and percentages.*

Site Data Table

	Code Requirement	Existing	Proposed	Variance Request
Zoning				
Flood Zone				
Size of Site				
Height				
Front Setback				
Side Setback				
Side Setback				
Street Side Setback	SEE ATTACHED SITE PLAN			
Rear Setback				
F.A.R				
Building Coverage				
Impervious Surface				
Parking				
Handicap Parking				
Bicycle Parking				
Open Space/ Landscaping				
Number and type of units				
Consumption Area or No. of seats				

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at http://www.municode.com/Library/FL/Key_West under Subpart B.

***Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.**

Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met: Please print your responses.

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures, or buildings in the same zoning district.

See attached cover letter

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

See attached cover letter

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings, or structures in the same zoning district.

See attached cover letter

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

See attached cover letter

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

See attached cover letter

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

See attached cover letter

7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

See attached cover letter

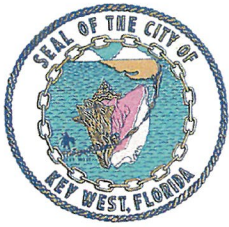
The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

REQUIRED SUBMITTALS: All of the materials listed below must be submitted in order to have a complete application. Applications will not be processed until all materials are provided. Please submit one (1) paper copy of the materials to the Planning Department and one (1) electronic version in PDF format.

- ☐ Correct application fee, made payable to "City of Key West."
- ☐ Pre-application meeting form
- ☐ Notarized verification form signed by property owner or authorized representative.
- ☐ Notarized authorization form signed by property owner, if applicant is not the owner.
- ☐ Copy of recorded warranty deed
- ☐ Monroe County Property record card
- ☐ Signed and sealed survey (Survey must be within 10 years from submittal of this application)
- ☐ Sign and sealed site plan (sign and sealed by an Engineer or Architect)
- ☐ Floor plans
- ☐ Any additional supplemental information necessary to render a determination related to the variance request

Authorization



**City of Key West
Planning Department**

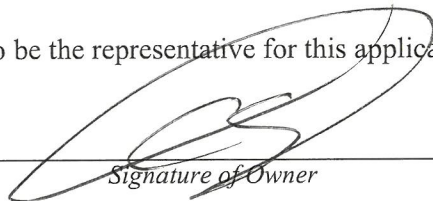
Authorization Form
(Individual or Joint Owner)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Craig Schmitz, as Trustee of the Craig A. Schmitz Trust dated 2/4/16 authorize
Please Print Name(s) of Owner(s) as appears on the deed

Richard J. McChesney, Esq. - Spottswood & Sterling PLLC
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.


Signature of Owner

Signature of Joint/Co-owner if applicable

Subscribed and sworn to (or affirmed) before me on this

July 14, 2025

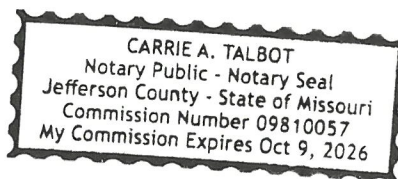
Date

by Craig A. Schmitz, Trustee
Name of Owner

He/She is personally known to me or has presented Missouri Driver's License as identification.


Notary's Signature and Seal

Carrie A Talbot
Name of Acknowledger typed, printed or stamped



09810057

Commission Number, if any

Verification Form



**City of Key West
Planning Department
Verification Form**
(Where Applicant is an entity)

I, Richard J. McChesney, in my capacity as Member
(print name) (print position; president, managing member)
of Spottswood, Spottswood, Spottswood & Sterling, PLLC
(print name of entity)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

309 William Street

Street address of subject property

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that I am the Authorized Representative of the property involved in this application; that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

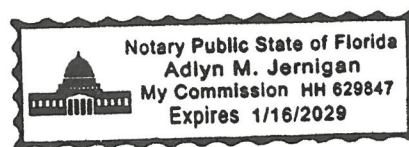
Richard J. McChesney
Signature of Applicant

Subscribed and sworn to (or affirmed) before me on this July 17, 2025 by
Richard McChesney
Name of Applicant

He/She is personally known to me or has presented _____ as identification.

Adlyn M. Jernigan
Notary's Signature and Seal

Adlyn Jernigan
Name of Acknowledger typed, printed or stamped



Commission Number, if any

Property Record Card

Monroe County, FL

PROPERTY RECORD CARD

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00003170-000000
Account# 1003298
Property ID 1003298
Millage Group 12KW
Location Address 309 WILLIAM St, KEY WEST
Legal Description KW PT LOT 3 SQR 21 OR147-87 OR844-1796 OR3279-1749 OR3279-1750 OR3297-2101 OR3303-158 OR3311-1655
(Note: Not to be used on legal documents.)
Neighborhood 6108
Property Class SINGLE FAMILY RESID (0100)
Subdivision
Sec/Twp/Rng 06/68/25
Affordable No
Housing



Owner

SCHMITZ CRAIG A TRUST 02/04/2016
 23 Windcastle Dr
 Saint Charles MO 63304

Valuation

	2024 Certified Values	2023 Certified Values	2022 Certified Values	2021 Certified Values
+ Market Improvement Value	\$101,085	\$95,285	\$95,285	\$83,628
+ Market Misc Value	\$394	\$394	\$394	\$394
+ Market Land Value	\$1,113,636	\$933,489	\$723,318	\$534,982
= Just Market Value	\$1,215,115	\$1,029,168	\$818,997	\$619,004
= Total Assessed Value	\$686,755	\$153,784	\$149,305	\$144,957
- School Exempt Value	(\$25,000)	(\$25,000)	(\$25,000)	(\$25,000)
= School Taxable Value	\$661,755	\$128,784	\$124,305	\$119,957

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$1,113,636	\$101,085	\$394	\$1,215,115	\$686,755	\$25,000	\$661,755	\$500,000
2023	\$933,489	\$95,285	\$394	\$1,029,168	\$153,784	\$25,000	\$128,784	\$500,000
2022	\$723,318	\$95,285	\$394	\$818,997	\$149,305	\$25,000	\$124,305	\$500,000
2021	\$534,982	\$83,628	\$394	\$619,004	\$144,957	\$25,000	\$119,957	\$474,047
2020	\$530,888	\$85,121	\$394	\$616,403	\$142,956	\$25,000	\$117,956	\$473,447
2019	\$559,548	\$86,614	\$394	\$646,556	\$139,742	\$25,000	\$114,742	\$500,000
2018	\$492,675	\$86,614	\$394	\$579,683	\$137,137	\$25,000	\$112,137	\$442,546

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	2,650.00	Square Foot	53	50

Buildings

Building ID	167	Exterior Walls	WD FRAME
Style	2 STORY ELEV FOUNDATION	Year Built	1924
Building Type	S.FR. - R1 / R1	EffectiveYearBuilt	1975
Building Name		Foundation	WD CONC PADS
Gross Sq Ft	1562	Roof Type	GABLE/HIP
Finished Sq Ft	860	Roof Coverage	METAL
Stories	1 Floor	Flooring Type	SFT/HD WD
Condition	GOOD	Heating Type	NONE with 0% NONE
Perimeter	128	Bedrooms	2
Functional Obs	0	Full Bathrooms	1
Economic Obs	0	Half Bathrooms	0
Depreciation %	49	Grade	450
Interior Walls	WALL BD/WD WAL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FHS	FINISH HALF ST	572	0	0
FLA	FLOOR LIV AREA	860	860	0
OPF	OP PRCH FIN LL	130	0	0
TOTAL		1,562	860	0

Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CH LINK FENCE	1949	1950	0 x 0	1	306 SF	1
CONC PATIO	1949	1950	0 x 0	1	40 SF	1

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
2/10/2025	\$1,125,000	Warranty Deed	2489539	3311	1655	19 - Unqualified	Improved		
12/9/2024	\$0	Order (to be used for Order Det. Heirs, Probate in	2482978	3303	158	19 - Unqualified	Improved		
10/25/2024	\$0	Order (to be used for Order Det. Heirs, Probate in	2478859	3297	2101	30 - Unqualified	Improved		

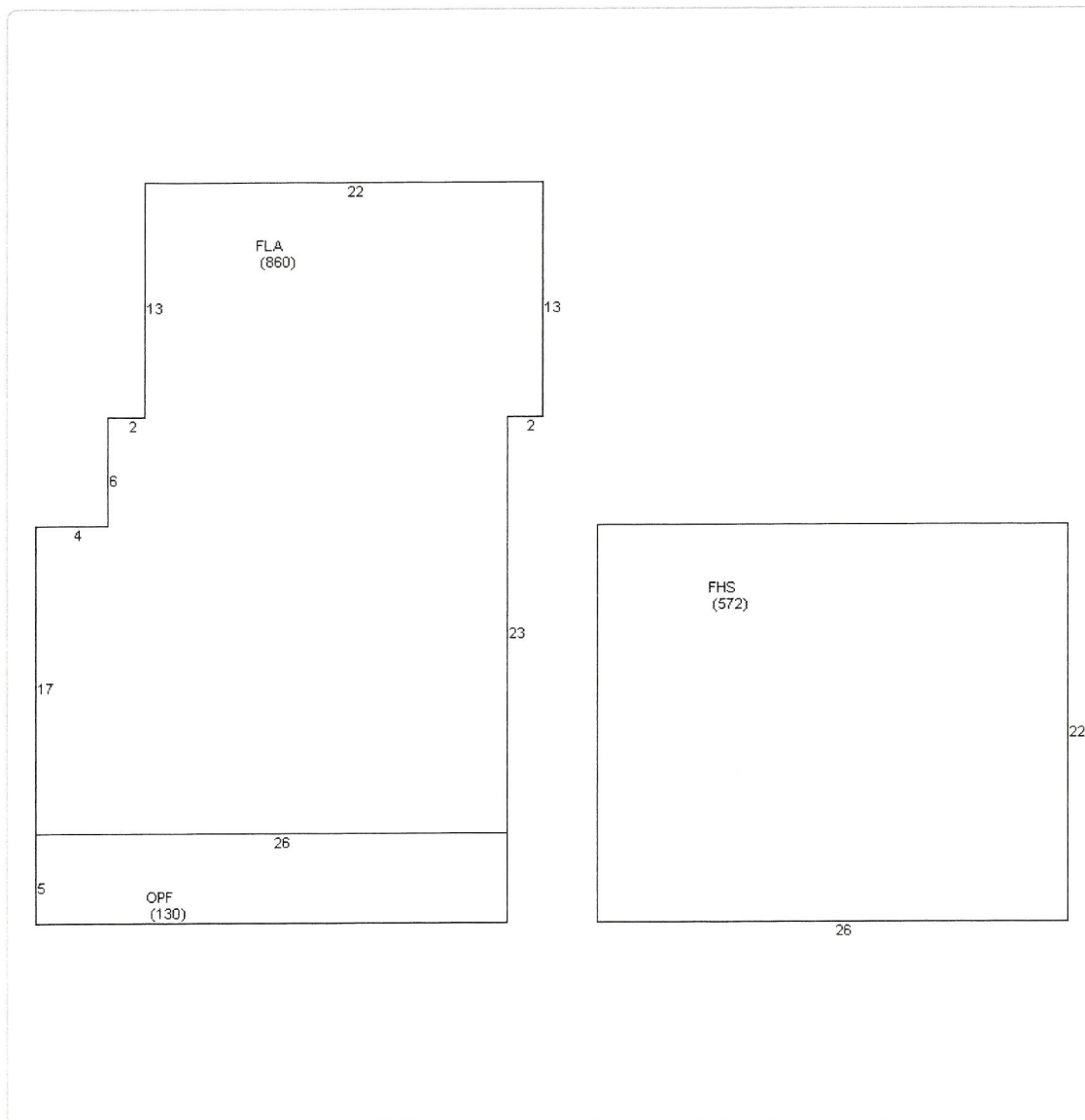
Permits

Number	Date Issued	Status	Amount	Permit Type	Notes
16-1868	05/12/2016	Completed	\$5,860		INSTALL 400SF OF VCRIMP ON FRONT ROOF
10-2412	07/26/2010	Completed	\$2,470		INSTALL 300sf 3 SQR5 OF VCRIMP ON REAR AREA OF MAIN ROOF

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



TRIM Notice



[User Privacy Policy](#) [GDPR Privacy Notice](#)
[Last Data Upload: 7/17/2025, 1:21:59 AM](#)

Deed

Doc # 2489539 Bk# 3311 Pg# 1655 Electronically Recorded 2/12/2025 at 9:42 AM Pages 3
 Filed and Recorded in Official Records of MONROE COUNTY KEVIN MADOK
 Electronically REC: \$27.00 Deed Doc Stamp \$7,875.00

Prepared by and return to:

Gregory S. Oropeza

Attorney

Oropeza Stones & Cardenas, PLLC

221 Simonton Street

Key West, FL 33040

(305) 294-0252

File Number: 25-34

Consideration: \$1,125,000.00

Parcel Identification No.: 00003170-000000

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 10th day of February, 2025 between **Carol Simeon**, whose post office address is 3724 Eagle Ave, Key West, FL 33040, of the County of Monroe, State of Florida, and **Alton K. Cates, Jr.** whose post office address is 13059 W Linebaugh Ave, Ste 102, Tampa, FL 33626 of the County of Hillsborough, State of Florida, grantor*, and **Craig A. Schmitz**, a single man, Individually and as Trustee of the **Craig A. Schmitz Trust** dated 02/04/2016 whose post office address is 23 Windcastle Dr, Saint Charles, MO 63304 of the County of Saint Charles, State of Missouri, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Monroe County, Florida** to-wit:

On the Island of Key West, Monroe County, Florida, and known on William A. Whitehead's map delineated in February 1829, as Part Lot Three (3), Square, Twenty-one (21), more particularly described by metes and bounds as follows:

Situate on the Northeasterly side of William Street beginning at a point on William Street Sixty-Five (65) feet from the point where the Southeasterly line of Caroline Street intersects said William Street; thence running Southeasterly along William Street Fifty (50) feet; thence Northeasterly at right angles with said William Street Fifty-Three (53) feet; thence Northwesterly and parallel with William Street Fifty (50) feet; thence Southwesterly and parallel with Caroline Street Fifty-Three (53) feet to the point of beginning on William Street.

Subject to taxes for 2025 and subsequent years; covenants, conditions, restrictions, easements, reservations, and limitations of record, if any.

THE PROPERTY CONVEYED HEREIN IS NEITHER THE DOMICILE NOR THE HOMESTEAD OF GRANTOR, NOR GRANTOR'S SPOUSE, NOR ANY OF GRANTOR'S IMMEDIATE HOUSEHOLD, AS DEFINED BY THE LAWS OF THE STATE OF FLORIDA. THE GRANTOR RESIDES AT THE ADDRESS SHOWN ABOVE.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Witness
 Printed Name: Gregory S. Oropeza
 Address: 221 Simonton Street
Key West, FL 33040

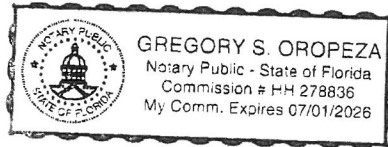
Carol Simeon
 Carol Simeon

Witness
 Printed Name: Laura Besson
 Address: 221 Simonton Street
Key West, FL 33040

State of Florida
 County of Monroe

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 10th day of February, 2025 by Carol Simeon, who ☐ is personally known or ☒ has produced a driver's license as identification.

[Notary Seal]



Notary Public


Printed Name: _____

My Commission Expires: _____

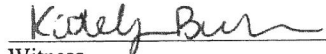
Doc. # 2489539 Page Number: 3 of 3

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


Witness
Printed Name: Jennifer Marino
Address: 19993 Stone Pine Circle
Unit E 33558 FL

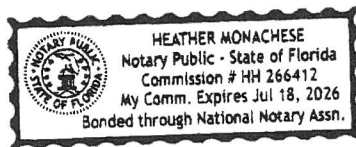

Alton K. Cates, Jr.

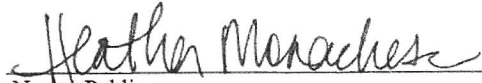

Witness
Printed Name: Katelyn Burt
Address: 1705 Hammock Pine Blvd
Clearwater, FL 33761

State of Florida
County of Florida (Hillsborough)

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 3rd day of February, 2025 by Alton K. Cates, Jr., who ☒ is personally known or ☐ has produced a driver's license as identification.

[Notary Seal]



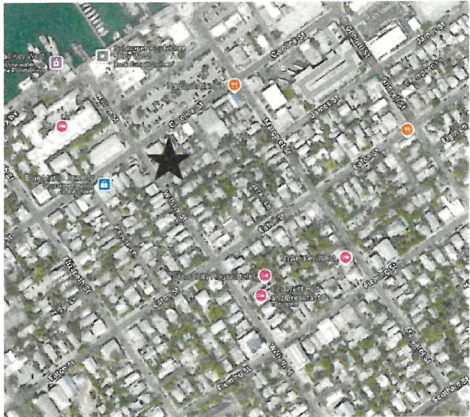

Notary Public

Printed Name: Heather Monachese

My Commission Expires: July 18, 2026

Plans

LOCATION MAP



BUILDING DATA

SCHMITZ CRAIG A TRUST 02/04/2016
23 WINDCASTLE DR
SAINT CHARLES MO 63304

CONTRACTOR GENERAL NOTES:

- ALL WORK TO BE IN ACCORDANCE WITH APPLICABLE CODES.
- WORKMANSHIP TO MEET OR EXCEED ACCEPTED STANDARDS OF RESPECTIVE TRADES.
- VERIFY ALL DIMENSIONS, ELEVATIONS, AND FIELD CONDITIONS BEFORE START OF CONSTRUCTION. NOTIFY ARCHITECT IF ANY CONFLICTS EXIST PRIOR TO COMMENCEMENT OF WORK.
- FOR ANY TYPE I OR TYPE II CONSTRUCTION PROJECTS FIRE RETARDANT TREATED WOOD (EXTERIOR OR INTERIOR GRADE) MUST BE USED IN ALL WOOD CONSTRUCTION MATERIALS.
- FOR ALL WALL SYSTEMS WITH EIFS USE EXTERIOR GRADE GLASS MATT SHEATHING OR CEMENTITIOUS BOARD ONLY.

FIRE EXTINGUISHERS WILL BE PROVIDED AS REQUIRED BY AUTHORITY HAVING JURISDICTION OR AS DIRECTED BY THE LOCAL FIRE DEPARTMENT.

WALL R-VALUE (CONTINUOUS) = 6
WALL R-VALUE (CAVITY) = 13
ROOF R-VALUE = 39

CONTRACTOR TO PROVIDE ESR REPORTS FOR CLOSED CELL SPRAY FOAM SELECTED FOR REVIEW BY DESIGN PROFESSIONAL.

SITE DATA:
ZONING

IS - IMPROVED SUBDIVISION

LEGAL DESCRIPTION:

On the Island of Key West, Monroe County, Florida, and known on William A. Whitehead's map delineated in February 1829, as Part Lot Three (3), Square, Twenty-one (21), more particularly described by metes and bounds as follows:

Situate on the Northeastly side of William Street beginning at a point on William Street Sixty-Five (65) feet from the point where the Southeastly line of Caroline Street intersects said William Street; thence running Southeastly along William Street Fifty (50) feet; thence Northeastly at right angles with said William Street Fifty Three (53) feet; thence Northwestly and parallel with William Street Fifty (50) feet; thence Southwestly and parallel with Caroline Street Fifty-Three (53) feet to the point of beginning on William Street.

RE #: 00003170-000000

SEC/TWP/RNG: 06/68/25

MAX BUILDING HEIGHT = 30' FROM COR OR LAG, WHICHEVER IS LOWER.

OCCUPANCY: R3

TYPE OF CONSTRUCTION: VB

FLOOD DESIGN CRITERIA: ASCE12.24

COMMUNITY NUMBER: 120168
MAP NUMBER: 12087C-1516K
MAP DATE: 02-18-2005
FLOOD ZONE: AE 7
DESIGN FLOOD ELEVATION: AE 8

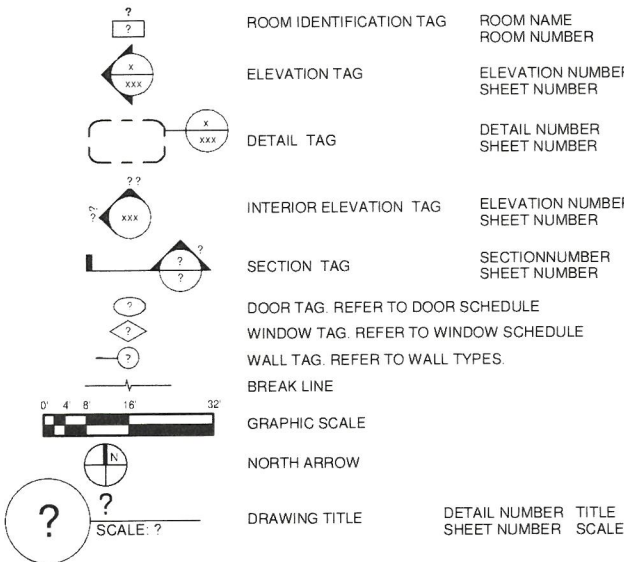
SCOPE OF WORK:

NEW RESIDENCE, POOL, PICKET FENCE, PICKET GATE, AND DRIVEWAY PER PLAN

GENERAL NOTES

- THESE PLANS ARE FOR THE CONSTRUCTION OF THE BUILDING AT THE LOCATION SO DESIGNATED HERE IN.
- NO CHANGES IN THE PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE DESIGN PROFESSIONAL.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB SITE AND REPORT ANY DISCREPANCIES OR UNSATISFACTORY CONDITIONS TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY, OR LOSS AT THE JOB SITE TO ALL PERSONS EMPLOYED TO DO WORK, PERSONS VISITING THE SITE AND THE GENERAL PUBLIC. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
- THE CONTRACTOR SHALL DO ALL THE WORK IN STRICT CONFORMANCE TO THE PLAN, 2023 FLORIDA BUILDING CODE, 8TH EDITION, LOCAL CODES AND ORDINANCES, MANUFACTURER'S RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. THE MOST STRINGENT REQUIREMENTS SHALL GOVERN WHEN CONDITIONS CONFLICT. HOWEVER THE ARCHITECT SHALL BE NOTIFIED OF ALL CONFLICTS.
- SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL SYSTEMS SHALL HAVE THE SEAL OF A REGISTERED FLORIDA ENGINEER AS REQUIRED BY BUILDING CODE AND SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER BY THE CONTRACTOR FOR REVIEW PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT HE CANNOT OBTAIN FROM DIMENSIONS, DETAILS, OR SCHEDULES, HE SHALL NOTIFY THE ARCHITECT.
- CONTRACTOR SHALL CHECK AND COORDINATE WORK OF VARIOUS TRADES TO PREVENT CONFLICTS.
- CONTRACTOR SHALL FURNISH SUBCONTRACTORS WITH A COMPLETE SET OF PLANS.
- PLUMBING AND A/C SHALL CONFORM TO THE STATE OF FLORIDA ENERGY CODE.
- ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE AND FLORIDA BUILDING CODE.
- PORTABLE REST ROOM FACILITIES SHALL BE PROVIDED AT SITE BY CONTRACTOR.
- COMPLETE HOT AND COLD WATER SYSTEMS, VENTS, WASTE AND DRAIN SYSTEMS TO SEPTIC TO CODE, SHALL BE FURNISHED.
- PROVIDE PLASTIC SLEEVES IN MASONRY, PARTITIONS, FOUNDATIONS, ETC., AS REQUIRED FOR UTILITY SERVICE.
- ALL BOLTS, CLIPS, HANGERS, ETC., SHALL BE GALVANIZED OR STAINLESS.
- NO PIPES, CONDUITS OR JUNCTION BOXES ARE TO BE PLACED IN SLABS OR COLUMNS, UNLESS SPECIFICALLY SHOWN ON STRUCTURAL DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR THE PROPER REMOVAL OF ALL DEBRIS.
- ALL ELEVATIONS ARE MEASURED FROM NGVD 1929.

SYMBOLS



CODE INFORMATION

BUILDING CODE:
MECHANICAL CODE:
PLUMBING CODE:
ELECTRICAL CODE:
FUEL GAS CODE:
ENERGY CODE:
STANDARD LOAD DESIGN CRITERIA

LOCAL BUILDING REQUIREMENTS:
FEMA REQUIREMENTS:
DESIGN FLOOD ELEVATION:
CURRENT ZONING:
MAX BUILDING HEIGHT:
USE GROUP:

2023 FLORIDA BUILDING CODE, 8TH EDITION
2023 FLORIDA MECHANICAL CODE
2023 FLORIDA PLUMBING CODE
2020 NATIONAL ELECTRIC CODE (NEC) NFPA
2023 FLORIDA FUEL GAS CODE
2023 FLORIDA ENERGY CONSERVATION CODE
ASCE 7-22

CITY OF KEY WEST CODES AND ORDINANCES
FLOOD ZONE: AE8 NGVD 1929
FLOOD ZONE: AE8 NGVD 1929
HMDR
30' FROM COR/LAG
R3

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
A/V	AUDIO VISUAL
BO	BOTTOM OF
CL	CENTERLINE
CLG	CILING
CMU	CONCRETE MASONRY UNIT
CO	CLEAN OUT
CONC	CONCRETE
D	DRYER
DIA	DIAMETER
DTLS	DETAILS
DW	DISHWASHER
E	ELECTRICAL METER
FBC	FLORIDA BUILDING CODE
FEC	FIRE EXTINGUISHER CABINET
GA	GAUGE
GAL	GALLON
GF	GROUND FLOOR IMPACT
GWB	GYP/SUM WALL BOARD
HB	HOSE BIB
HVAC	HEATING, VENTILATION, & AIR CONDITIONING
LHM	LOWEST HORIZONTAL MEMBER
MAX	MAXIMUM
MEP	MECHANICAL, ELECTRICAL, PLUMBING
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
O.C	ON CENTER
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
RCP	REFLECTED CEILING PLAN
RE	REFERENCE
REF	REFRIGERATOR
REQ'D	REQUIRED
RO	ROUGH OPENING
STL	STEEL
THK	THICK
TO	TOP OF
TOW	TOP OF WALL
TYP	TYPICAL
U.N.O	UNLESS OTHERWISE NOTED
VTR	VENT TO ROOF
W	WASHER
WC	WATER CLOSET
WD	WOOD
WD	WASHER DRYER
WP	WATERPROOF
WH	WATER HEATER

DRAWING INDEX

A 0	COVER SHEET
A 1	STREET ELEVATIONS
A 2	SITE PLAN
A 3	FIRST FLOOR PLANS
A 4	SECOND FLOOR PLAN
A 5	ROOF PLANS
A 6	ELEVATIONS
A 7	ELEVATIONS

DATE: 06/05/2025

REV: 01
DESCRIPTION: HARC SUBMITTAL SET

Single Family Residence
309 William Street
Key West, FL 33040

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COVER SHEET

SHEET TITLE

A 0

PROJECT NO: SCH2025
DRAWN BY: Author
APPROVED BY: Checker

HARC NOTES:

EXTERIOR SIDING TO BE HARDI BOARD
ROOFING TO BE 5V CRIMP MILL FINISH
EXTERIOR SOFFITS TO BE HARDI BOARD
EXTERIOR WINDOW/DOOR TRIM TO BE 1X4 HARDI
EXTERIOR FASCIA TO BE HARDI
ROOFING DRIP EDGE TO MATCH FINISH OF METAL ROOF
GUTTERS IF PROVIDED TO MATCH FINISH OF DRIP EDGE & ROOFING
EXTERIOR WINDOWS TO HAVE MUNTIN PATTERN APPROVED BY CITY OF KEY WEST HARC STAFF
CONTRACTOR TO RECEIVE APPROVAL FOR FINAL PAINT COLOR SELECTIONS
EXTERIOR SHUTTERS TO BE WOOD PTD AS APPROVED BY CITY OF KEY WEST HARC STAFF



1
A1
3DA

CAROLINE STREET

800 CAROLINE STREET

309 WILLIAM STREET

SAWYERS LANE

311 WILLIAM STREET

313 WILLIAM STREET

315 WILLIAM STREET

317 WILLIAM STREET

5
A1
STREET ELEVATION - PROPOSED
3/32" = 1'-0"

CAROLINE STREET

800 CAROLINE STREET

309 WILLIAM STREET

SAWYERS LANE

311 WILLIAM STREET

313 WILLIAM STREET

315 WILLIAM STREET

317 WILLIAM STREET

4
A1
STREET ELEVATION - EXISTING/DEMO
3/32" = 1'-0"

DATE: 2025 06 05
REV. SET DESCRIPTION
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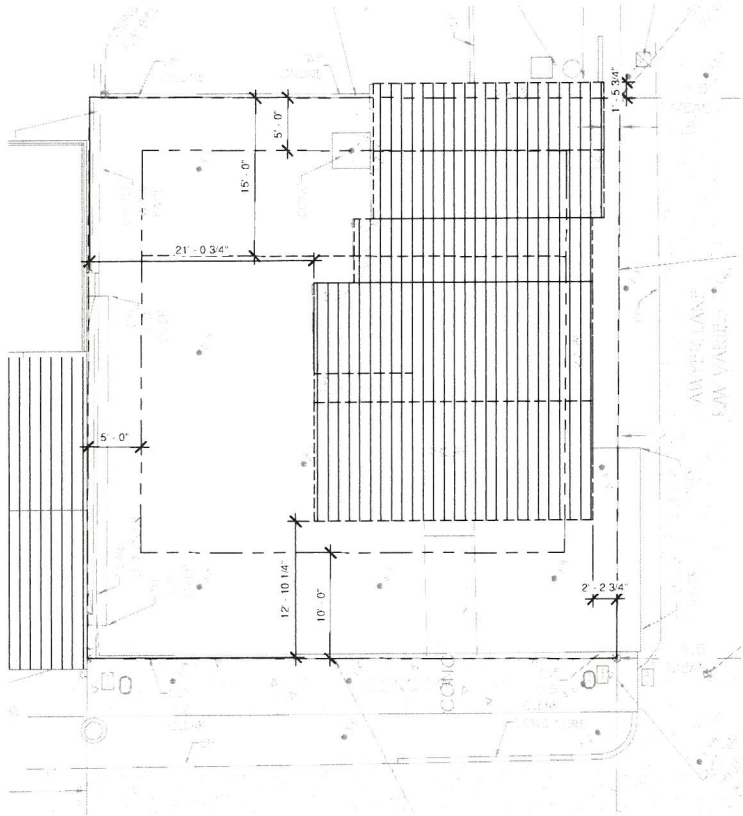

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STREET ELEVATIONS

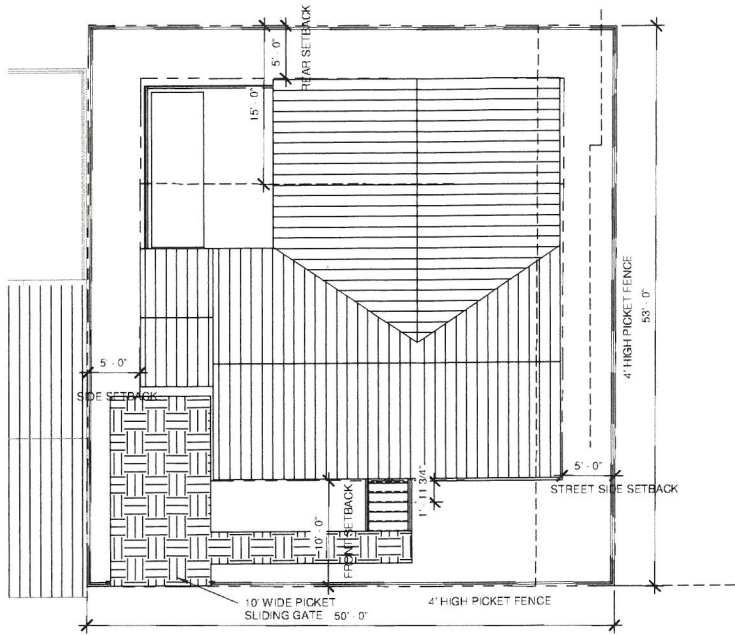
SHEET TITLE

A 1

PROJECT NO: SCH2025
DRAWN BY: Author
APPROVED BY: Checker



1 SITE PLAN - EXISTING/DEMO
A 2 1/8" = 1'-0"



2 SITE PLAN - PROPOSED
A 2 1/8" = 1'-0"

SITE DATA TABLE				
	CODE REQUIREMENT	EXISTING SITE	PROPOSED	VARIANCE REQUEST
Zoning	HMDR	HMDR	HMDR	N/A
Flood Zone	AE-7	AE-7	AE-7	N/A
Size of Site	2,655	2,650	2,650	N/A
Minimum Lot Size	4,000	2,650	2,650	N/A
Height	30'-0"	16'-3.25"	24'-10"	N/A
Front Setback	10'-0"	12'-10.25"	10'-0"	FOR STAIRS (1' 11.75", 4' WIDE)
Side Setback A	5'-0"	6.8"	5'-0"	N/A
Street Side Setback	7'-6"	2'-2.75"	5'-0"	YES (2.5')
Rear Setback	15'-0"	NEG. 1.6'	5'-0"	YES (10')
Density	1 DU/ACRE	N/A	N/A	N/A
Building Coverage	40%	38%	52%	YES (12% OR 306.5 SF)
Impervious Surface	60%	40%	11%	N/A
Open Space	35%	60%	37%	N/A
Breakdowns (SF)				
Lot Area	2,655			
Existing Coverages		EXISTING		
Impervious Surface	1,069.06		Front Walkway	60.06
Impervious Surface (%)	40%		Existing House	1009.00
Building Coverage	1009.00			
Building Coverage (%)	38%			
Open Space	1,585.94			
Open Space (%)	60%			
Proposed Developments		PROPOSED		
Impervious Surface	301.00		SFR	1040.00
Impervious Surface (%)	11%		Front Porch	127.50
Building Coverage	1,368.50		Pool	72.00
Building Coverage (%)	52%		Pool Deck	129.00
Open Space	985.50		Driveway & Path	229.00
Open Space (%)	37%			

DATE: 2025 07 21
REV. SET DESCRIPTION
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SITE PLAN

SHEET TITLE

A 2

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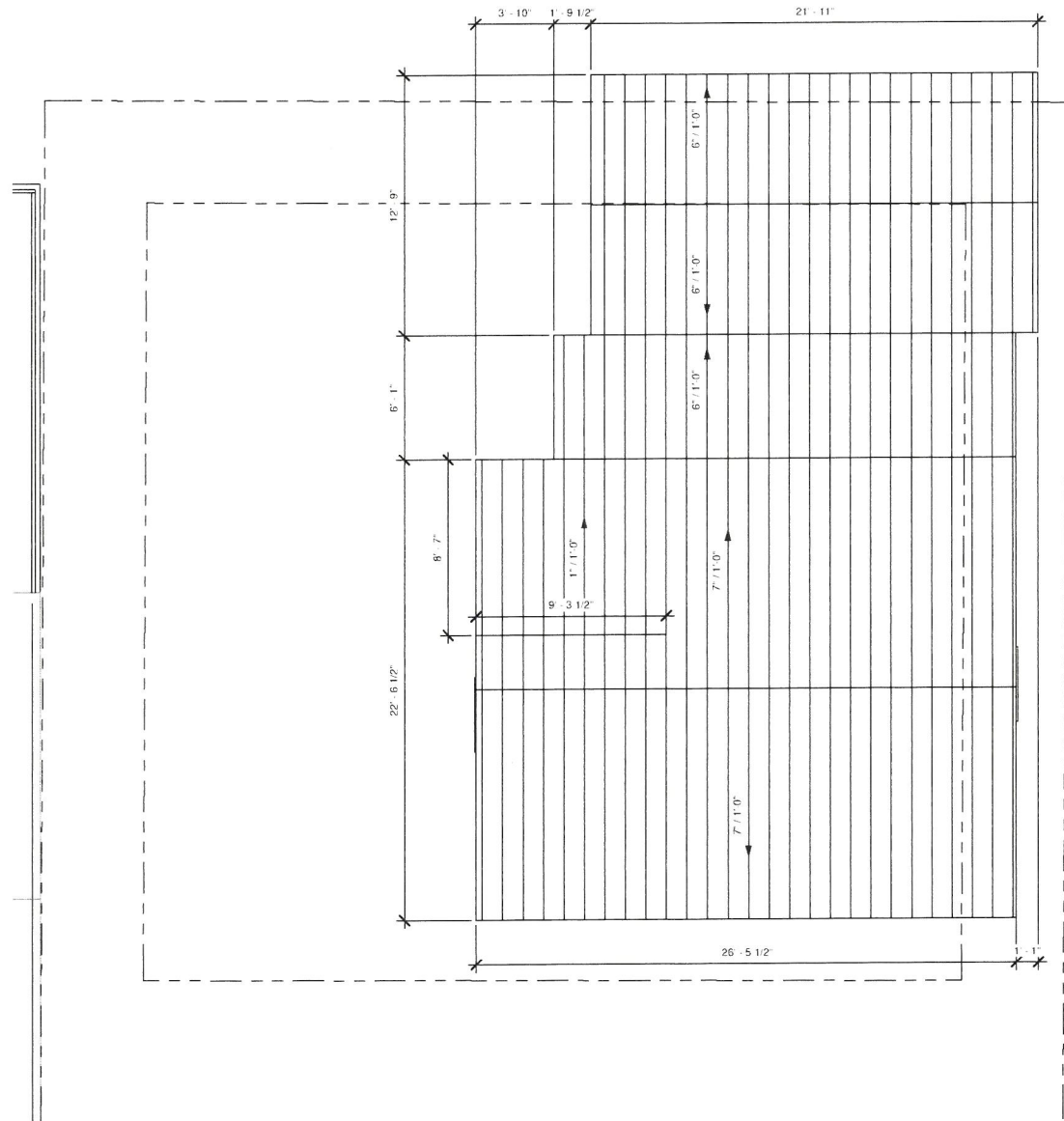


SECOND FLOOR PLAN

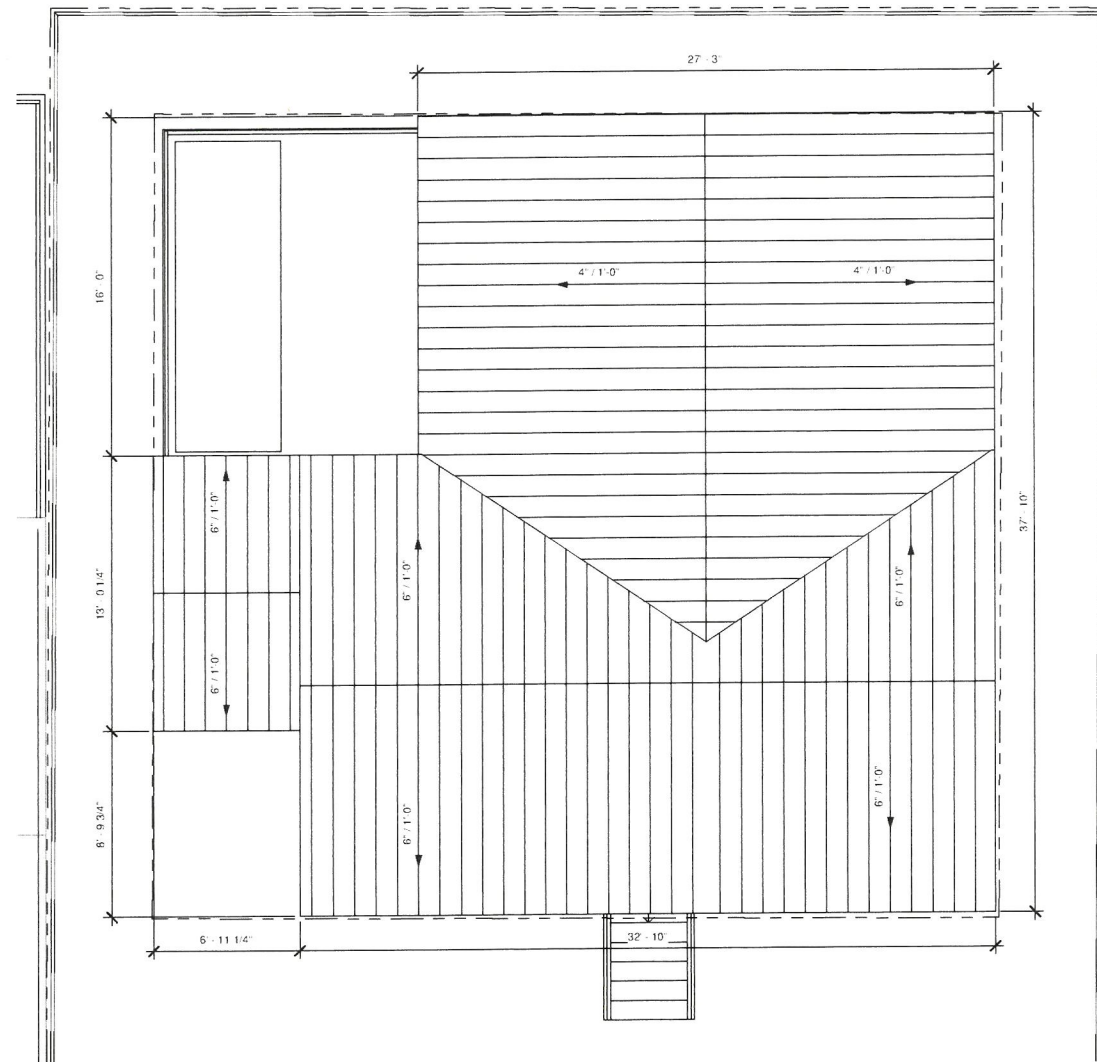
SHEET TITLE

A 4

PROJECT NO. SCH2025	DRAWN BY: Author
	APPROVED BY: Checker



1
A 5
EXISTING/DEMO ROOF PLAN
1/4" = 1'-0"



2
A 5
PROPOSED ROOF PLAN
1/4" = 1'-0"

DATE: 2025.06.05
REV. SET DESCRIPTION
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ROOF PLANS

SHEET TITLE

A 5

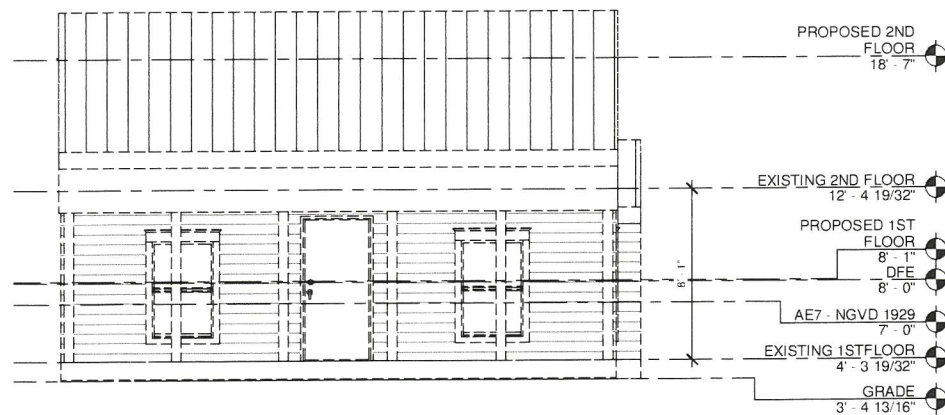
PROJECT NO: SCH2025
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APPROVED BY: Checker



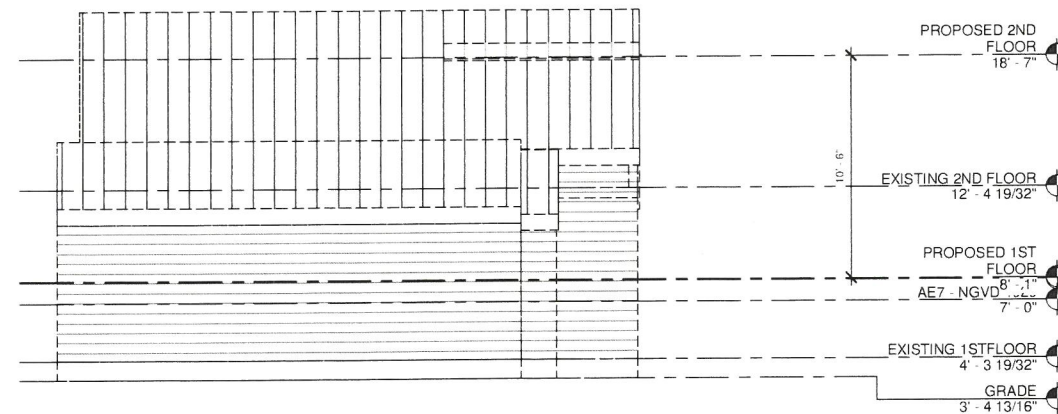
1 FRONT ELEVATION
A 6 1/4" = 1'-0"



2 REAR ELEVATION
A 6 1/4" = 1'-0"



4 FRONT ELEVATION - EXISTING/DEMO
A 6 1/4" = 1'-0"



3 REAR ELEVATION - EXISTING/DEMO
A 6 1/4" = 1'-0"

DATE: 2025 06 05
REV. SET: 1
DESCRIPTION: HARC SUBMITTAL SET

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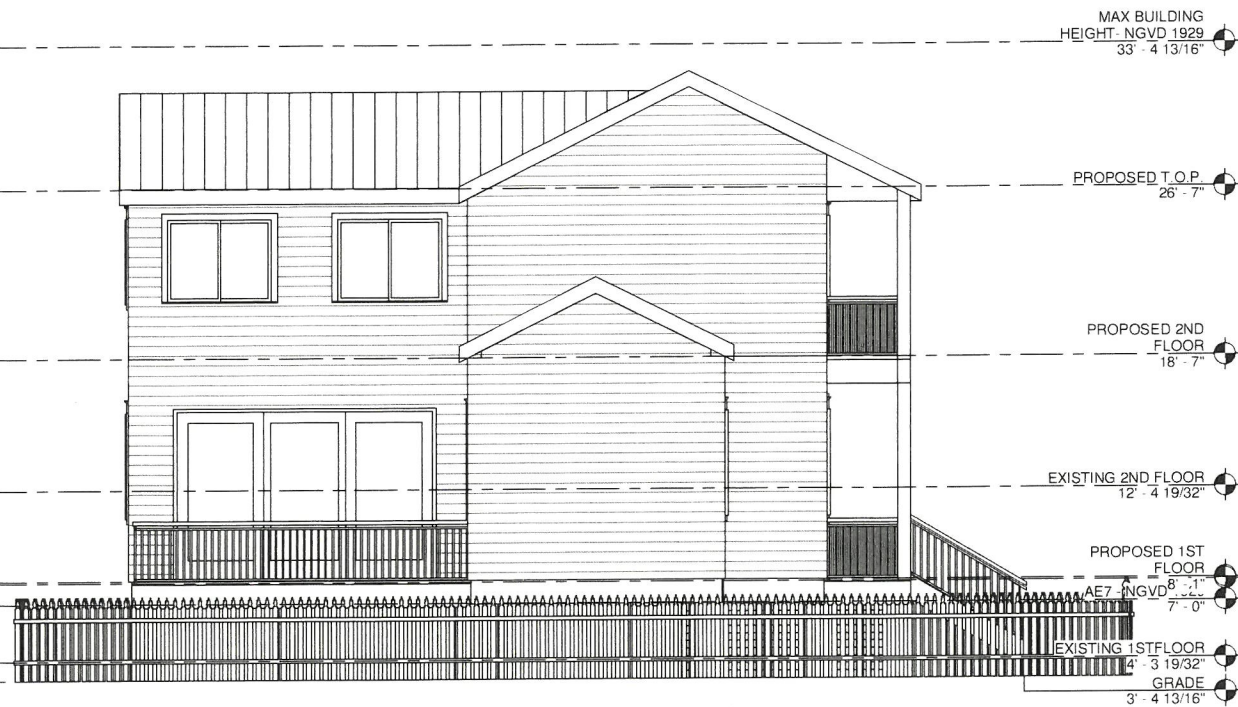
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ELEVATIONS

SHEET TITLE

A 6

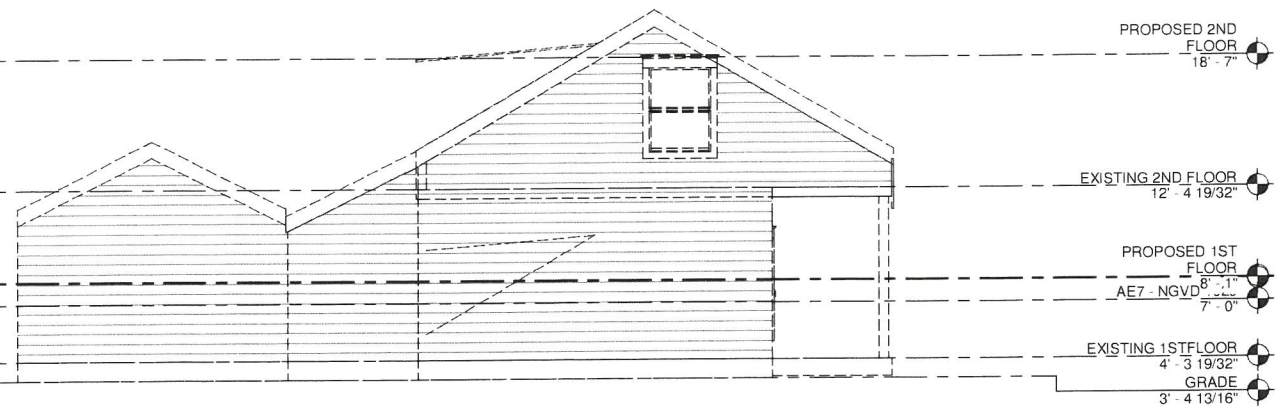
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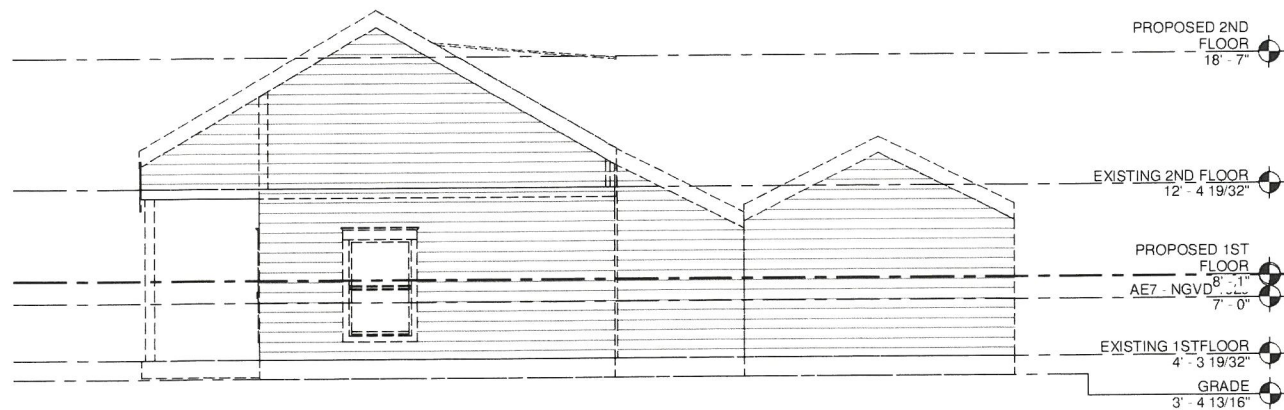
1 SIDE ELEVATION A
A 7 1/4" = 1'-0"



2 SIDE ELEVATION B
A 7 1/4" = 1'-0"



4 SIDE ELEVATION A - EXISTING/DEMO
A 7 1/4" = 1'-0"



3 SIDE ELEVATION B - EXISTING/DEMO
A 7 1/4" = 1'-0"

DATE: 2025.06.05
REV SET DESCRIPTION
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ELEVATIONS

SHEET TITLE

A 7

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