



**3200 DUCK AVENUE
MAJOR DEVELOPMENT PLAN
DRC
MAY 26th, 2022**

APPLICATION

Application - Development Plan & Conditional Use

City of Key West, Florida • Planning Department
 1300 White Street • Key West, Florida 33040 • 305-809-3764
 www.cityofkeywest-fl.gov

Development Plan & Conditional Use Application Fee schedule

(Fees listed include the \$310.00 advertising/noticing fee and the \$110.25 fire review fee)
 Any Major or Minor Development Plan returned to the Planning Board after initial approval will require a new application fee equivalent to one-half of the current fee schedule

Development Plan	
Minor:	
Within Historic District	\$ 3,397.00
Outside Historic District	\$ 2,735.50
Conditional Use	\$ 1,212.75
Extension	\$ 971.50
Major:	\$ 4,499.50
Conditional Use	\$ 1,212.75
Extension	\$ 971.50
Administrative Modification	\$ 800.00
Minor Modification	\$ 1,525.00
Major Modification	\$ 2,155.00
Conditional Use (not part of a development plan)	\$ 3,176.50
Extension (not part of a development plan)	\$ 971.50
Revision or Addition (not part of a development plan)	\$ 2,000.00

Applications will not be accepted unless complete

<u>Development Plan</u>	<u>Conditional Use</u>	<u>Historic District</u>
Major <u>X</u>	<u> </u>	Yes <u> </u>
Minor <u> </u>		No <u> </u>

Please print or type:

- 1) Site Address: 1615, 1616, 1617, & 1618 Truesdale (AKA 3200 Duck Ave. Key West, FL 33040)
- 2) Name of Applicant: Trepanier and Associates, Inc. on behalf of AH of Monroe County
- 3) Applicant is: & Florida Keys Outreach Coalition
 Property Owner:
 Authorized Representative: X
 (attached Authorization and Verification Forms must be completed)
- 4) Address of Applicant: 1421 First St. Key West, FL 33040
- 5) Applicant's Phone #: 305-293-8983 Email: Thomas@OwenTrepanier.com
- 6) **Email Address:** Thomas@OwenTrepanier.com
- 7) Name of Owner, if different than above: City of Key West, c/o City Manager
- 8) Address of Owner: 1300 White Street, Key West, FL 33040

Application - Development Plan & Conditional Use

City of Key West, Florida • Planning Department
1300 White Street • Key West, Florida 33040 • 305-809-3764
www.cityofkeywest-fl.gov

9) Owner Phone #: c/o 305-293-8983 Email: c/o Thomas@OwenTrepanier.com

10) Zoning District of Parcel: MDR-1 RE# 00064740-000000

11) Is Subject Property located within the Historic District? Yes _____ No X

If Yes: Date of approval _____

HARC approval # _____

OR: Date of meeting _____

12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).

AH of Monroe County & Florida Keys Outreach Coalition ("AH-FKOC") partnered to propose the redevelopment of their operational structures at Poinciana. The property is owned by the City of Key West and leased through the KW Housing Authority. The purpose is to redevelop the above portion of the property to be specific purpose-designed special needs social service sheltered and supportive housing.

13) Has subject Property received any variance(s)? Yes _____ No X-Unknown

If Yes: Date of approval _____ Resolution # _____

Attach resolution(s).

14) Are there any easements, deed restrictions or other encumbrances on the subject property?

Yes X No _____

If Yes, describe and attach relevant documents.

Access and utility easement. See attached.

A. For both *Conditional Uses* and *Development Plans*, provide the information requested from the attached **Conditional Use and Development Plan** sheet.

B. For *Conditional Uses* only, also include the **Conditional Use Criteria** required under Chapter 122, Article III, Sections 122-61 and 122-62 of the Land Development Regulations (see attached copy of criteria).

C. For *Major Development Plans* only, also provide the **Development Plan Submission Materials** required under Chapter 108, Article II, Division 7, Sections 108-226 through 108-248 of the Land Development Regulations (see attached copy of criteria) and any additional information as determined by the Planning Staff.

D. For both *Conditional Uses* and *Development Plans*, one set of plans **MUST** be signed & sealed by an Engineer or Architect.

AH of Monroe County & Florida Keys Outreach Coalition



Major Development Plan

1615, 1616, 1617, & 1618 Truesdale Court (AKA 3200 Duck Ave)
(RE# 00064740-000000)

Solutions Statement:

AH of Monroe County & Florida Keys Outreach Coalition ("AH-FKOC") partnered to propose the redevelopment of their operational structures at Poinciana. The property is owned by the City of Key West and leased through the KW Housing Authority. The purpose is to redevelop the above portion of the property to be specific purpose-designed special needs social service sheltered and supportive housing.

Background:

The structures subject to redevelopment have exceeded their effective life and are not specific use designed. The proposed facility will be a state-of-the-art Category 5 special needs social service sheltered and supportive housing needs.

Analysis:

The following is an analysis of the proposed project pursuant to major development plan approval criteria.

Existing development is depicted in attached surveys and plans, including:

- Name of Development
- Name of Owner/ Developer
- Scale
- North arrow
- Preparation and revision dates
- Location/ street address
- Size of site
- Buildings
- Structures
- Parking
- FEMA flood zones
- Topography
- Easements
- Utility locations
- Existing vegetation
- Existing storm water
- Adjacent land uses
- Adjacent buildings
- Adjacent driveways

Proposed development is depicted in attached plans prepared by licensed engineers, including:

- Buildings
- Setbacks
- Parking
- Driveway dimensions and material

- Utility locations
- Garbage and recycling
- Signs
- Lighting
- Project Statistics
- Building Elevations
- Height of buildings
- Finished floor elevations
- Height of existing and proposed grades
- Drainage plan
- Landscape Plan

Title block (Sec. 108-227)

Name of development: AH-FKOC Poinciana
 Property Owner: City of Key West
 Developer: AH-FKOC
 Scale: Architectural: As noted on plans
 Preparation and revision dates: As noted on plans
 Location: 3200 Duck Avenue
 (1615, 1616, 1617, & 1618 Truesdale Court)

Key persons and entities (Sec. 108-228) involved in this project are as follows:

Owner: City of Key West
 Authorized Agent: Trepanier & Associates, Inc.
 Architect: MHK Architecture & Planning
 Engineer: Alan Perez, Perez Engineering
 Land Planner: Trepanier & Associates, Inc.
 Surveyor: Florida Keys Land Surveying
 Landscape Architect: GAI Consultants

Project Description (Sec. 108-229):

The project is proposed to be developed in one (1) phase.

Other Project Information (Sec. 108-230):

1. This is a single-phased proposal.
2. The target date for commencement is intended to immediately follow entitlement approvals.
3. Expected date of completion is within 2 years of commencement.
4. The proposed development plan is contained herewith.
5. Proposed Development Plan: One Phase
6. Project is not a planned unit development.
7. The project will comply with federal flood insurance regulations.
8. This project is not located adjacent to environmentally sensitive areas.

Residential Developments (Sec. 108-231):

This development is a special needs social service sheltered and supportive housing project with 151 beds in the following configuration:

Living Unit Type	No. of Living Units	No. Beds
1 bdrm	17	17
2 bdrm	39	156
4 bdrm	15	60
	Total	233

Intergovernmental Coordination (Sec. 108-232):

Coordination will occur through the Development Review Process of the City of Key West.

Schedule of Approval Process:

The following development approval schedule and process is anticipated:

Step	Date
1. Submit Major Development Plan Application	04/15/22
2. Tree Commission Submission	04/20/22
3. Tree Commission Hearing (Conceptual Plan)	05/10/22
4. Development Review Committee ("DRC") Meeting	05/26/22
5. Tree Commission (Final approval) submission	06/22/22
6. Tree Commission (Final approval)	07/12/22
7. Planning Board Meeting	07/21/22
8. City Commission	TBD
9. City Appeal Period (30 days)	+30 days
10. Florida Department of Economic Opportunity Appeal Period (45 days)	+45 days

Concurrency Facilities and Other Utilities or Services (Sec. 108-233):

Levels of Service – The impacts of the proposed project are generally summarized as follows:

- The proposed development is expected to **maintain existing** trip generation LOS for the site.
- Code requires parking for multi-family housing but does not require parking for special needs social services and their accessory supportive services. However, the project proposes to add 31 parking spaces and 24 bicycle-scooter spaces onsite.

- The proposed development is expected to **maintain existing** potable water flow LOS for the site.
- The proposed development is expected to **maintain existing** wastewater flow LOS for the site.
- The proposed development is expected to **maintain existing** recyclable waste LOS.
- The proposed development is expected to **maintain existing** solid waste LOS.
- The expected impacts to Storm water LOS is as depicted on the stormwater management plans.
- The impacts to the Recreation LOS is expected to comply with Comp Plan Policy 7-1.1.9, inclusive of all three (3) types of parks identified; urban open spaces, neighborhood, and community.
- The team will coordinate with FKAA to ensure the water pressure and flow will be adequate for fire protection for the type of construction proposed.
- No adverse impacts to the quality of receiving waters are anticipated before, during or after construction.
- Changes to the existing storm water management system is depicted on the attached plans.

Appearance, design, and compatibility (Section 108-234):

This development plan satisfies criteria established in Chapter 102; Articles III, IV and V of Chapter 108; Section 108-956; and Article II of Chapter 110 of the Key West City Code in the following manner:

- Chapter 102 – This property is located outside the Historic District and does not impact the district.
- Articles III, IV and V of Chapter 108 – As demonstrated by the site plan, trip generation analysis, and the site data calculations, the project complies with the requirements of the Articles.
- Chapter 110 – As demonstrated in this application, the proposed development complies with the resource protection requirements of Chapter 110.

(a) Compliance. This development plan complies with the requirements set forth in the Key West City Code as they pertain to Concurrency Management, Outdoor Displays and Nuisances, Resource Protection, Signs, and Articles I and III to IX of Chapter 108 of the Key West City Code.

(b) Vicinity Map.

(c) Land Use Compatibility. The project site is located in the MEDIUM DENSITY RESIDENTIAL DISTRICT-1 (MDR-1) zoning district. The purpose and intent of the MDR-1 district is to implement comprehensive plan policies for areas designated "MDR-1" on the comprehensive plan future land use map. The MDR-1 district shall provide the Poinciana Housing Parcel with a designation appropriate to the existing medium density multiple-family development on the site and compatible with the existing and future land uses. The MDR-1 district shall accommodate a mixture of multiple-family structure types, supportive community facilities, and accessory land uses. In addition to AH – FKOC, the subject property also currently contains services and facilities operated by the Housing Authority, Samuel's House, Monroe Association for ReMARCable Citizens (MARC), Volunteers of America (VOA), Catholic Charities, Florida Keys Children's Shelter (FKCS), Domestic Abuse Shelter (DAS), and the Wesley House.

(d) Historic and archeological resource protection. The site is not affected by the Historic District. Any archeological resources will be protected as required.

(e) Subdivision of Land. No subdivisions are anticipated.

Legal Description:

Please see attached survey

Flood Zone:

Current flood zone for the site is A-7. Preliminary FEMA flood maps changes the flood zone of the site to AE-9.

Future Land Use Map Designation ("FLUM"):

The property's FLUM designation is Medium Density Residential (MDR).

Zoning ("MDR-1")

According to the City of Key West Zoning Map, the property is zoned Medium Density Residential-1 (MDR-1).



Appearance of Site and Structures (Sec. 108-236):

Attached site plan complies with Sections 108-278 through 108-288 of the Key West City Code.

Site Plan (Sec. 108-237):

Site plan of proposed development drawn consistently with Sec. 108-237 is attached.

Architectural Drawings (Sec. 108-238):

All architecture or engineering designs were prepared and sealed by a professional architect or engineer registered in the state pursuant to F.S. Ch. 471 and 481, respectively, consistent with the provisions of this Section.

Site Amenities (Sec 108-239):

The attached site plan includes existing and proposed amenities which are required to comply with appearance, design and compatibility regulations outlined in chapter 102; articles III, IV and V of this chapter; section 108-956; and article II of chapter 110.

Site Survey (Sec 108-240):

Survey of the site is attached.

Soil Survey (Sec 108-241):

Soil surveys are not anticipated as part of this project.

Environmentally Sensitive Areas (Sec. 108-242):

This project is not located adjacent to environmentally sensitive areas.

Land clearing, excavation and fill, tree protection, landscaping and irrigation plan (Sec. 108-243):

All proposed clearing, excavation and landscaping is depicted on attached plans. A Landscape Waiver request is being submitted concurrently with this Major Development Plan application. The existing and proposed landscaping is greater than 35%.

On-site and off-site parking and vehicular, bicycle, and pedestrian circulation (Sec. 108-244):

The project plans demonstrate compliance with on- and off-site vehicular and bicycle circulation, and parking requirements of articles IV and VII of this chapter 108.

Housing (Sec 108-245):

The existing and proposed uses include special needs social services and multi-family housing.

Economic Resources (Sec 108-246):

(a) Ad Valorem Estimates – NA all structures owned and operated by nonprofits

(b) Construction expenditure: TBD

Special Considerations (Sec 108-247):

The proposal complies with the goals, objectives and policies of the comprehensive plan as demonstrated by:

- Table 1-1.1.5
- Objection 3-1.4
- Policy 3-1.4.3

Construction Management Plan and Inspection Schedule (Sec 108-248):

The proposed development is a single-phase project. Construction is proposed to progress steadily based on Key West LDRs, and Florida Building Code. Construction is expected to commence as soon as possible.

Truman Waterfront Port Facilities (Sec 108-249):

This project is not located at the Truman Waterfront Port

SITE PLAN

Scope (Sec 108-276):

This site plan conforms to all necessary and applicable sections of land development regulations.

Site Location and Character of Use (Sec. 108-277):

As depicted, the site has sufficient size, adequate specifications, and infrastructure to accommodate the proposed uses in the manner proposed. As described in detail above,

this site is designed as a multi-modal development, placing equal importance on the bicycle and pedestrian as on the automobile. This development furthers the goals of the City's plans as detailed in this report.

Appearance of Site and Structures (Sec. 108-278):

This application's development plan exhibits harmonious overall design characteristics in compliance with the performance standards stipulated in sections 108-278 through 108-288.

Location and screening of mechanical equipment, utility hardware and waste storage areas (Section 108-279):

All mechanical equipment and utility hardware will be appropriately screened. All waste storage areas will be screened from adjacent properties.

Front-end loaded refuse container requirements (Sec. 108-280):

The refuse container will be located in such a manner to facilitate convenient access.

Roll-off Compactor Container location requirements (Sec. 108-281):

A roll-off container shall meet the requirements of 108-281, as depicted on the site plant.

Utility lines (Section 108-282):

The proposed project will require installation of new utility services. Installation will be coordinated with appropriate utility agency and in accordance with Section 108-282.

Commercial and manufacturing activities conducted in enclosed buildings (Section 108-283):

No new commercial activities are proposed for this development.

Exterior Lighting (Section 108-284):

All proposed lighting shall be shielded and lighting sources shall be arranged to eliminate glare from roadways and streets and shall direct light away from properties lying outside the district. Shielding of lighting elements shall be accomplished by using directional fixtures or opaque shades.

Signs (Section 108-285):

All new signage proposed will adhere to Section 108-285.

Pedestrian sidewalks (Section 108-286):

The project, as proposed, complies with this section of the LDC. Refer to plans for precise placement of sidewalks and concrete paths that align with existing sidewalks on adjacent sites.

Loading docks (Section 108-287):

No loading docks are required or proposed.

Storage Areas (Section 108-288):

Storage areas if developed for use of tenants in each unit and will be located at the rear of the principal structure per code section 108-288.

Land Clearing, Excavation, and Fill (Sec 108-289):

Land clearing is for demolition of existing structures as well as some canopy and understory trees. Any protected trees and/or landscaping and subsequent landscape infill will be reviewed and approved by the City’s Urban Forester and the Tree Commission.

Open Space, Screening, Buffers and Landscaping (Article V and VI) of Chapter 108:

Open space and landscaping will be enhanced as depicted on the plans.

Sec. 108-517. - Waivers or modifications.

No waivers or modifications to open space and landscaping are proposed.

Off-street parking and loading (Article VII):

Please see “On-site and off-site parking and vehicular, bicycle, and pedestrian circulation (Sec. 108-244)” above for a complete discussion regarding parking

Storm water and Surface Water Management (Article VIII):

The site, as part of the redevelopment process, will come into full compliance with the requirements of storm water and surface water management article of the LDC. Therefore, the redevelopment will improve nearshore water quality.

Flood Hazard Areas (Division 4 - Sections 108-821 through 108-927):

Per LOMR Case No. 21-04-3573P, the flood zone for the site is AE +10’.

Utilities (Article IX):

Concurrency Analysis:

Concurrency Facilities and Other Utilities or Services (Sec. 108-233):

The City’s Comprehensive Plan directs the City to ensure that facilities and services needed to support development are available concurrent with the impacts of new development.

The following specific issues are outlined:

- Roads/Trip Generation
- Sanitary Sewer
- Recyclables
- Potable Water
- Solid Waste
- Drainage

Policy 2-1.1.1- Transportation

There is no anticipated change in overall trip generation as part of this project. The existing and proposed uses remain unchanged.

Notwithstanding the proposed trip generation, Policy 2-1.1.3: Dense Urban Land Area effectively eliminates the transportation concurrency requirement in favor of a prioritization of safety and function of existing roads and multi-modal transportation improvements (i.e. transit, air, boat, bicycles, pedestrianism, mixed-use development)

Policy 2-1.1.3: Dense Urban Land Area. The City of Key West is a substantially developed dense urban land area and is thereby exempted from transportation concurrency requirements for roadways. The City recognizes that its development characteristics make substantive expansion of capacity of the roadway system prohibitive. The City will therefore prioritize improving the safety and function of existing roads and multi-modal transportation improvements (i.e. transit, air, boat, bicycles, pedestrianism, mixed-use development) as its primary strategies for addressing current and projected transportation needs.

Policy 4-1.1.2.C – Potable Water

Pursuant to Comp Plan Table 1-1.1.5, special needs social services shall be measured in FAR, not units per acre. However, the multi-family units are evaluated as having residential densities. Pursuant to Policy 4-1.1.2.C, the potable water LOS for residential and nonresidential is 100 gal/capita/day. Based on the City of Key West adopted level of

service the potable water demand is not anticipated to change as the site is proposing to maintain existing residential and nonresidential uses.

Water demand is expected to be **not change**.

Potable water to the City of Key West is provided by the Florida Keys Aqueduct Authority (FKAA). The FKAA has the capacity to provide 23 million gallons per day to Monroe County as a result of: The South Florida Water Management District's issuance of Water Use Permit #13-0005, which allocates 17 million gallons per day in the dry season; 17.79 million gallons per day which can be withdrawn from the Biscayne Aquifer; and six million gallons per day provided by a reverse osmosis treatment plant in Florida City. As documented above, the City is meeting its Level of Service Standard for Potable Water. The City projects a slight permanent population decrease, and only a slight increase in its functional population and non-residential development during short and long-range planning periods, so the current capacity should remain adequate. Ongoing capital improvements will be necessary to maintain and improve standards and service delivery.

Policy 4-1.1.2.A - Sanitary Sewage

Pursuant to Comp Plan Table 1-1.1.5, special needs social services shall be measured in FAR, not units per acre. However, the multi-family units are evaluated as having residential densities. Pursuant to Policy 4-1.1.2.A, the sanitary sewer LOS for nonresidential is 660 gal/acre/day and residential is 100 gal/capita/day. Based on the City of Key West adopted level of service the sanitary sewer demand is not anticipated to change as the site is proposing to maintain existing residential and nonresidential uses.

Sanitary sewer demand is expected to be **not change**.

The City contracts out the operation of the Richard A. Heyman Environmental Pollution Control Facility, its wastewater treatment plant (Plant), and the associated collection system to Operations Management International, Inc. (OMI). The Plant currently has the capacity to treat 10 million gallons per day, exceeding the capacity required to achieve the existing Level of Service Standard by approximately seven million gallons per day. Actual daily flow is 4.5 million gallons per day. This is a reduction from eight (8) million gallons per day due to a 67 million dollars capital improvement to the City's wastewater treatment during the past short-term planning period, including \$56 million for collection system rehabilitation.

As documented above, the City is exceeding its Level of Service Standard for Wastewater. The City projects a slight permanent population decrease, and only a slight increase in its functional population and non-residential development, during the short and long-range planning periods, so the current capacity should remain adequate. Ongoing capital improvements and continuing conservation efforts will continue to maintain and improve service delivery.

Policy 4-1.1.2.D - Solid Waste

Pursuant to Comp Plan Table 1-1.1.5, special needs social services shall be measured in FAR, not units per acre. However, the multi-family units are evaluated as having residential densities. Pursuant to Policy 4-1.1.2.D, the solid waste LOS for nonresidential is 6.37 lbs/capita/day and residential is 2.66 lbs/capita/day. Based on the City of Key West adopted level of service the solid waste demand is not anticipated to change as the site is proposing to maintain existing residential and nonresidential uses.

Solid Waste demand is expected to be **not change**.

The City currently contracts with Waste Management of Florida, Inc. to collect, transfer and dispose of solid waste and residential recyclables. Commercial recyclables and other non-franchised collection services such as construction and demolition debris and yard waste are available on the open market to all licensed haulers. The City owns and operates a solid waste transfer station on Rockland Key that received 45,402.10 tons of solid waste for disposal and 3,607 tons of recyclables in 2009/10. Waste Management disposes of the solid waste collected in Monroe County, including the City of Key West, at its Central Sanitary Landfill in Broward County. In 2009 Waste Management Inc. reported a reserve capacity of 17 years at this facility. There is therefore an estimated reserve capacity of 15 years as of the date of this report.

As documented above, the City is meeting its Level of Service Standard for solid waste. The City projects a slight permanent population decrease, and only a slight increase in its functional population and non-residential development, during the short and long-range planning periods, and the current capacity should remain adequate. Ongoing capital improvements will be necessary to improve standards and service delivery.

Policy 4-1.1.2. D - Recyclable Waste Generation Level of Service

Pursuant to Comp Plan Table 1-1.1.5, special needs social services shall be measured in FAR, not units per acre. However, the multi-family units are evaluated as having residential densities. Pursuant to Policy 4-1.1.2.D, the recyclable waste LOS for nonresidential is 0.25 lbs/capita/day and residential is 0.5 lbs/capita/day. Based on the City of Key West adopted level of service the recyclable waste demand is not anticipated to change as the site is proposing to maintain existing residential and nonresidential uses.

Solid Waste demand is expected to be **not change**.

Policy 4-1.1.2. E- Drainage Facilities Level of Service

Please refer to the attached Drainage plans for pre and post-development analysis. The redevelopment will comply with all applicable Federal, state and local standards.

Existing Level of Service Standard

1. Post development runoff shall not exceed the pre-development runoff rate for a 25-year storm event, up to and including an event with a 24-hour duration.
2. Storm water treatment and disposal facilities shall be designed to meet the design and performance standards established in Chapter 62-25 Section 25.025, Florida Administrative Code, with treatment of the runoff from the first one inch of rainfall on-site to meet the water quality standards required by Chapter 62-302, Florida Administrative Code. Storm water facilities which directly discharge into "Outstanding Florida Waters" (OFW) shall provide an additional treatment pursuant to Section 62-25.025 (9), Florida Administrative Code.
3. Storm water facilities must be designed so as to not degrade the receiving water body below the minimum conditions necessary to assure the suitability of water for the designated use of its classification as established in Chapter 62-302 Florida Administrative Code.

**AUTHORIZATOIN & VERIFICATION
FORM**



AH-FKOC Poinciana
RE # 0064740-000000
(3200 Duck Ave)

**City of Key West
Planning Department**

Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Patti McLauchlin as
Please Print Name of person with authority to execute documents on behalf of entity

City Manager of The City of Key West
Name of office (President, Managing Member) Name of owner from deed

authorize Owen Trepanier and Thomas Francis-Siburg of Owen Trepanier and Associates, Inc.
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

Patti McLauchlin
Signature of person with authority to execute documents on behalf of entity owner

Subscribed and sworn to (or affirmed) before me on this 11th day of April 2022
Date

by *Patti McLauchlin*
Name of person with authority to execute documents on behalf of entity owner

He/She is personally known to me or has presented as identification.

Dorian E. Patton III
Notary's Signature and Seal

Dorian E. Patton III
Name of Acknowledger typed, printed or stamped



GG 957401
Commission Number, if any



**City of Key West
Planning Department
Verification Form**
(Where Applicant is an entity)

I, Owen Trepanier, in my capacity as President
(print name) *(print position; president, managing member)*
of Trepanier and Associates, Inc.
(print name of entity)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

3200 Duck Ave, Key West, FL 33040

Street address of subject property

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that I am the Authorized Representative of the property involved in this application; that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Signature of Applicant

Subscribed and sworn to (or affirmed) before me on this April 12, 2022 by
date

Owen Trepanier
Name of Applicant

He/She is personally known to me or has presented _____ as identification.

Nikita L. Stange
Notary's Signature and Seal

Nikita L. Stange
Name of Acknowledger typed, printed or stamped

HH 149093
Commission Number, if any



Nikita L. Stange
Notary Public
State of Florida
Comm# HH149093
Expires 7/5/2025

WARRANTY DEED

MONROE COUNTY
OFFICIAL RECORDS

STATE OF FLORIDA)
)
COUNTY OF MONROE)

FILE #1201395
BK#1655 PG#1771

RCD Sep 29 2000 02:15PM
DANNY L KOLHAGE, CLERK

QUITCLAIM DEED

DEED DOC STAMPS 0.70
09/29/2000 *[Signature]* DEP CLK

KNOW ALL MEN BY THESE PRESENTS, that the United States of America, acting by and through the Department of the Navy, (hereinafter called "**GRANTOR**") whose mailing address is Southern Division, Naval Facilities Engineering Command, P.O. Box 190010, 2155 Eagle Drive, North Charleston, SC 29419-9010, for and in consideration of Ten Dollars (\$10.00), the performance by the City of Key West (hereinafter called "**GRANTEE**") of the covenants, conditions and restrictions hereinafter contained and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged does hereby release and quitclaim unto the **GRANTEE** the following described real property, including all rights in abutting streets, in and to the property, and related personal property in County of Monroe, Florida (herein called the "Property") to wit:

7.66 acres of land, more or less, located in Poinciana Housing Complex, Key West, Florida, described in **EXHIBIT "A"**, attached hereto and made a part hereof.

The Property contains Buildings # P-1614, #1615, #1616, #1617, #1618, #1619, #1620, #1621, #1622, #1623, #1624, #1625, and #1626.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in anywise belonging, unto the said **GRANTEE**, its successors and assigns forever.

Subject, however, to any easements and rights-of-way for roads, highways, pipeline, and public utilities of record, and subject to the following covenants, conditions and restrictions.

The property hereby conveyed has heretofore been declared surplus to the need of the United States of America and is presently under the jurisdiction of the Department of the Navy, is available for disposal pursuant to Section 2905(b)(7) of Public Law 101-510, as amended by Public Law 103-421, Base Closure Community Redevelopment and Homeless Assistance Act of 1994, ("the Act").

A Finding of Suitability to Transfer (FOST) is attached as **EXHIBIT "B"** and an Addendum for Transfer to the Environmental Baseline Survey for Lease (AFTEBSL) is attached as **EXHIBIT "C"** to the Deed; an Environmental Baseline Survey (EBS) report is referenced in the FOST; the FOST, AFTEBSL, and EBS reference environmental conditions on the Property and on other property not subject to this Deed. Those restrictions and environmental conditions described in the FOST, AFTEBSL, and EBS which are applicable to the Property are contained in this Deed. The FOST sets forth the

[Handwritten mark]

basis for the **GRANTOR's** determination that the Property is suitable for transfer. The **GRANTEE** is hereby made aware of the notifications contained in the EBS, AFTEBSL, and the FOST.

NOTICE OF HAZARDOUS SUBSTANCE OR PETROLEUM PRODUCTS
STORED FOR ONE YEAR OR MORE, KNOWN TO HAVE BEEN RELEASED OR
DISPOSED OF.

The information contained in this notice is required under the authority of Section 120(h)(3) of the Comprehensive Environmental Response, Liability, and Compensation Act 9CERCLA or "Superfund") 42 U.S.C. Section 9620(h)(3) and (h) (4).

Petroleum fuel products, paints, and janitorial supplies consistent with home use were stored in quantities below that required for reporting under 40 CFR 373 (EPA Hazardous Substances Reporting Requirements for Selling or Transferring Federal Real Property).

GRANTEE hereby acknowledges that Lead-Based Paint has been identified in the Buildings. A Lead Based Paint Disclosure Statement is provided as **EXHIBIT "D"** to this Deed. **GRANTEE** covenants that all lead-based paint hazards will be controlled or abated prior to re-occupancy of the housing units.

GRANTEE hereby acknowledges that non-friable asbestos containing material (ACM) has been found on the property. The ACM on the property does not currently pose a threat to human health or the environment. **GRANTEE** shall manage the ACM in accordance with applicable laws and regulations.

GRANTEE hereby acknowledges that residual arsenic was detected at two subsurface soil areas and in one groundwater location in excess of the applicable action level. A groundwater monitoring well (MW-01) is installed between P-1618 and P-1619 Truesdale Court. **GRANTEE**, shall provide notification that anyone who disturbs subsurface soils in the area of MW-01 comply with all applicable environmental, health, and safety laws and regulations. No groundwater wells for either irrigation or potable water purposes will be allowed within 75 feet of MW-01 until such time as Florida Department of Environmental Protection (FDEP) approved site closure has occurred. **GRANTOR** will continue to monitor the groundwater at MW-01 quarterly for one year and annually thereafter until such time as three consecutive sampling events yielding less than or equal to 50 ug/l of arsenic has occurred.

The above use restrictions (hereinafter referred to as the "Restrictive Covenant") shall run with the land until removed from the property or applicable portions thereof with both **GRANTOR** and FDEP concurrence. **GRANTEE** and its successors and assigns hereby grant a conservation easement pursuant to and in accordance with the provisions of Section 704.06, Florida Statutes, on the restricted property to FDEP and their respective successors and assigns for the purpose of determining compliance with the Restrictive Covenant. This Restrictive Covenant may be enforced by FDEP by

injunctive relief and other appropriate available remedies in a court of competent jurisdiction.

GRANTOR covenants that all remedial action necessary to protect human health and the environment with respect to any known hazardous substance or petroleum product remaining on the property has been taken before the date of transfer.

GRANTOR covenants that any additional remedial action found to be necessary after such date of transfer shall be performed by the United States.

GRANTEE covenants that the **GRANTOR**, its officers, agents, employees, contractors and subcontractors, in accordance with Section 120(h) of Comprehensive Environmental Response, Compensation and Liability Act, shall have access to the Property in any case in which remedial action or corrective action is found to be necessary after the date of the conveyance of the Property. **GRANTEE** agrees to comply with activities of the **GRANTOR** in furtherance of these covenants and will take no action to interfere with future necessary remedial and investigative actions of the **GRANTOR**. The **GRANTOR** and the **GRANTEE** agree to cooperate in good faith to minimize any conflict between necessary environmental investigation and remediation activities and operations of **GRANTEE**, its successors and assigns, and of any Lessee or any Sublessee of the Property. Any inspection, survey, investigation, or other response or remedial action will to the extent practicable, be coordinated with representatives designated by **GRANTEE** or its successors and assigns.

GRANTEE agrees to comply with the provisions of any health or safety plan in effect during the course of any of the above described response or remedial actions. Any inspection, survey, investigation, or other response or remedial action will, to the extent practicable, be coordinated with representatives designated by **GRANTEE** and any lessee. **GRANTEE**, any lessees, or licenses shall have no claim on account of such entries against the United States or any officer, agent, employee, contractor, or subcontractor thereof. In addition, **GRANTEE** shall comply with all applicable Federal, State, and local occupational safety and health regulations.

The **GRANTOR** recognizes its obligations under Section 330 of the National Defense Authorization Act of 1993, as amended (Pub.L. No. 102-484).

GRANTEE covenants that in the event that undiscovered buried cultural materials are encountered during construction or disturbance activities, work shall cease in the immediate area until professional archeological evaluation(s) is made in accordance with 36 CFR 800.11(b)(2) and the State of Florida Historic Preservation Officer (SHPO) is consulted. Should the professional evaluation indicate that the finding is significant, **GRANTEE** will seek professional determination of eligibility for inclusion in the National Register of Historic Places (Register) in accordance with 36 CFR 800.4 (c).

GRANTEE covenants for itself, successors, and assigns and every successor in interest to the Property, or any part thereof, that **GRANTEE** and such successors, and assigns

shall not discriminate upon the basis of race, color, religion, disability, or national origin in the use, occupancy, sale, or lease of the Property, or in their employment practices conducted thereon. This covenant shall not apply however, to the lease or rental of a room or rooms within a family dwelling unit, nor shall it apply with respect to Property used primarily for religious purposes. The United States of America shall be deemed a beneficiary of this covenant without regard to whether it remains the owner of any land or interest therein in the locality of the Property hereby conveyed and shall have the sole right to enforce this covenant in any court of competent jurisdiction.

RECOUPMENT COVENANT: **GRANTEE** acknowledges that it has read and understands and agrees to the terms and provisions within the recoupment covenant attached as **EXHIBIT "E"** to this deed.

GRANTOR reserves the right to enter and inspect the Property for purposes of confirming compliance with the requirements of "the Act".

The failure of **GRANTOR** to insist in any one or more instances upon complete performance of the conditions subsequent, terms, or covenants of this Deed shall not be construed as a waiver of, or a relinquishment of, **GRANTOR's** right to the future performance of any of those conditions subsequent, terms and covenants and the **GRANTEE's** obligations with respect to such future performance shall continue in full force and effect.

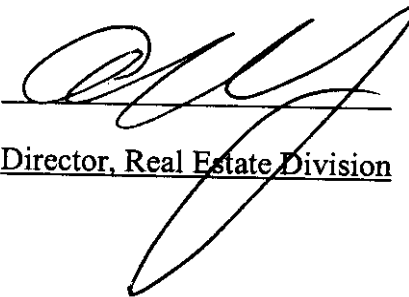
All covenants, conditions subsequent and restrictions contained in this Deed shall run with the land and be binding upon **GRANTEE**, its successors and assigns to all of or any part of the Property. All rights and powers reserved to **GRANTOR** by this Deed may be exercised by any successor in function to **GRANTOR**, and all references to **GRANTOR** shall include any successor in function. All covenants and conditions subsequent contained herein are for the sole benefit of **GRANTOR** with the exception of the Restrictive Covenant, which is also for the benefit of FDEP and may be modified or abrogated by **GRANTOR** as provided by the Act.

LIST OF EXHIBITS: The following exhibits are attached hereto and made a part of this deed:

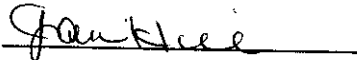
- | | |
|-----------|--|
| EXHIBIT A | PROPERTY Description |
| EXHIBIT B | Finding of Suitability to Transfer |
| EXHIBIT C | Addendum for Transfer to the Environmental Baseline Survey for Lease (AFTEBSL) |
| EXHIBIT D | Lead-Based Paint Hazard Disclosure & Acknowledgement Form |
| EXHIBIT E | Recoupment Covenant |

EFFECTIVE the 13th day of September 2000.

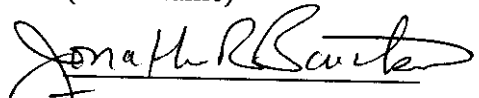
UNITED STATES OF AMERICA
Acting by and through

Name: 
Title: Director, Real Estate Division

WITNESSES:



JAN HILL
(Print Name)


JONATHAN BARTKIN
(Print Name)

CONCURRENCE:



Commanding Officer
Naval Air Station
Key West, Florida



DEPARTMENT OF THE NAVY
THE ASSISTANT SECRETARY OF THE NAVY
(INSTALLATIONS AND ENVIRONMENT)
1000 NAVY PENTAGON
WASHINGTON, D.C. 20350-1000

FILE #1201395
BK#1655 PG#1777

August 2, 2000

MEMORANDUM FOR COMMANDER, NAVAL FACILITIES ENGINEERING COMMAND

Subj: CONVEYANCE OF APPROXIMATELY 7.66 ACRES OF BASE CLOSURE PROPERTY AND IMPROVEMENTS LOCATED AT THE POINCIANA HOUSING COMPLEX, NAVAL AIR STATION KEY WEST, FLORIDA, TO THE CITY OF KEY WEST, FLORIDA, FOR HOMELESS ASSISTANCE PURPOSES

Ref: (a) COMNAVFACENGCOM memo of June 22, 2000

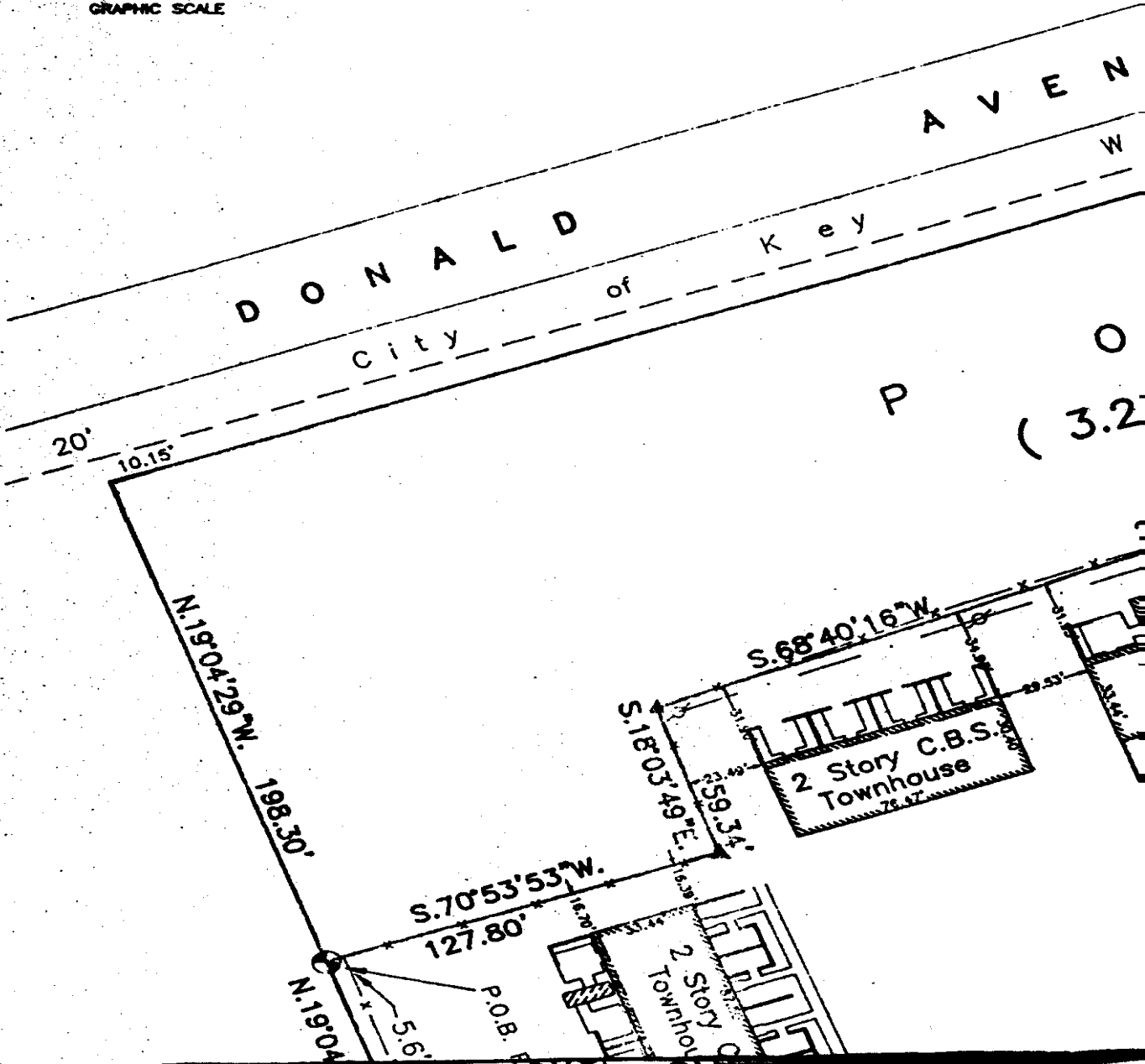
In accordance with reference (a) and pursuant to the authority vested in the Administrator of General Services by the Federal Property and Administrative Services Act of 1949 (FPASA), as amended, and a delegation of that authority to the Secretary of Defense (SECDEF) in accordance with the Defense Base Closure and Realignment Act of 1990, Public Law 101-510, 10 U.S.C. § 2687 note, as amended, and a subsequent delegation of the authority by SECDEF to the Secretary of the Navy, I hereby approve the conveyance, without reimbursement to the Navy, of 7.66 acres of land, more or less, and improvements, at the Poinciana Housing Complex, Naval Air Station Key West, Florida, to the City of Key West, Florida, for homeless assistance purposes as authorized by and pursuant to § 2905(b)(7).

You or your designee are hereby authorized to complete the conveyance of 7.66 acres of land, more or less, and improvements, to the City of Key West, Florida for homeless assistance purposes.

A handwritten signature in black ink, appearing to read "R. B. Pirie, Jr.", written in a cursive style.

ROBERT B. PIRIE, JR.

FILE #1201395
BK#1655 PG#1778



FILE #1201395
 BK#1655 PG#1779

(40' R/W)

Easeme

Drainage

N.70°56'31"E. 994.64'

N
 D
 (acres)

259.27'

188.81'

S.72°47'35"W.

N.87°28'07"W.
 94.51'

70.47'

Chain link fence,
 on line

S.40°51'10"

C.B.S.
 ouse

2
 Story
 Townhouse

C.B.S.

M i s c . H O

S.19°37'19"E.

344.10'

Curve number 1
 Radius= 155.85
 Delta= 15°52'21"
 Arc= 43.18
 Tangent= 21.73
 Chord= 43.04
 Chord Brg. N.10°49'

Curve number 2
 Radius= 19.88
 Delta= 80°32'18"
 Arc= 27.94
 Tangent= 16.84
 Chord= 25.70
 Chord Brg. N.40°14'

2
 Story
 Townhouse

C.B.S.

30'

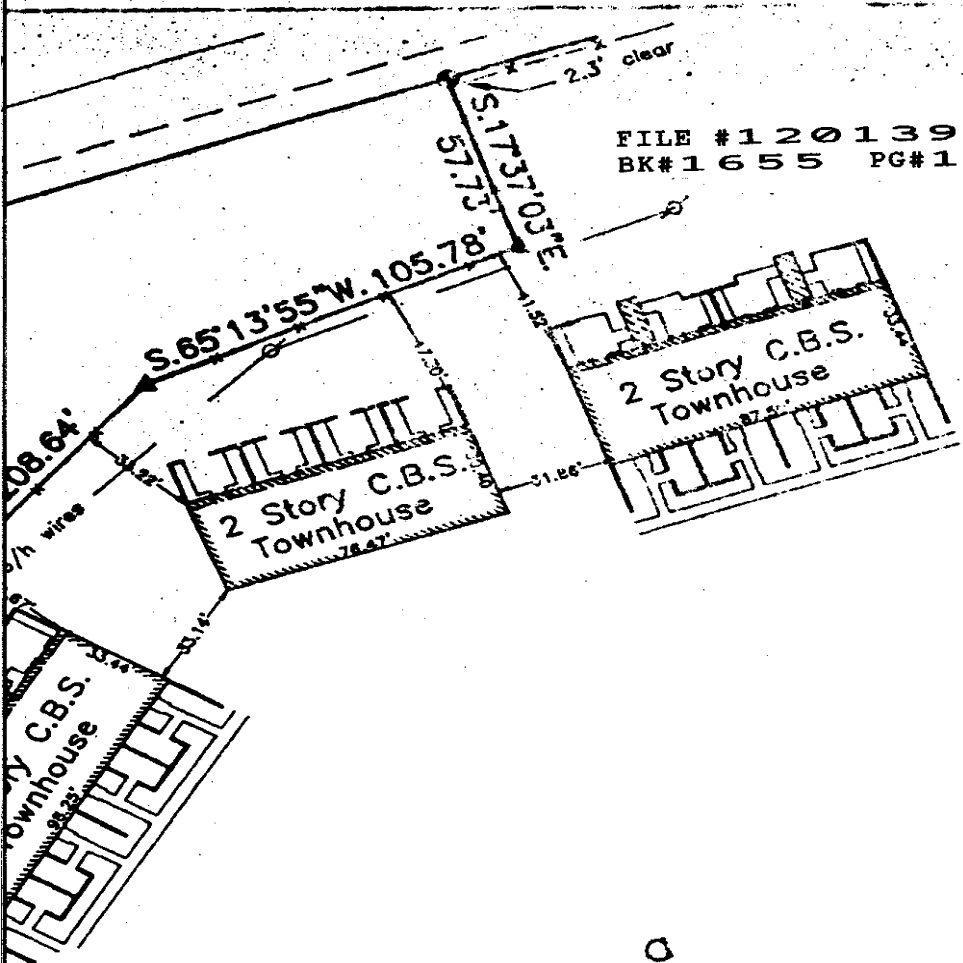
FILE #1201395
 BK#1655 PG#1780

SURVEYOR'S NOTES:
 North arrow based on State Plane
 Reference Bearing: Centerline Duc
 3.4 denotes existing elevation
 Elevations based on N.G.V.D. 1928
 Bench Mark No.: 4529 F. Ele
 Monumentation:

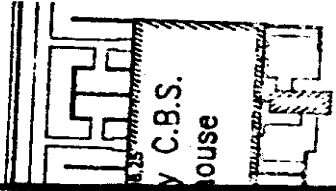
- ⊙ = set 1/2" Iron Pipe, P.L.S.
- ▲ = Set P.K. Nail, P.L.S. No. 2
- △ = Found P.K. Nail

- Abbreviations:**
- Sty. = Story
 - R/W = Right-of-Way
 - fd. = Found
 - p. = Plat
 - m. = Measured
 - d. = Deed
 - M.H.W. = Mean High Water
 - O.R. = Official Records
 - Sec. = Section
 - Twp. = Township
 - Rgs. = Range
 - N.T.S. = Not to Scale
 - ☉ = Centerline
 - Elev. = Elevation
 - B.M. = Bench Mark
 - P.C. = Point of Curvature
 - P.T. = Point of Tangency
 - P.O.C. = Point of Commence
 - P.O.B. = Point of Beginning
 - P.B. = Plat Book
 - pg. = page
 - Elec. = Electric
 - Tel. = Telephone
 - Ench. = Encroachment
 - O.L. = On Line
 - C.L.F. = Chain Link Fence

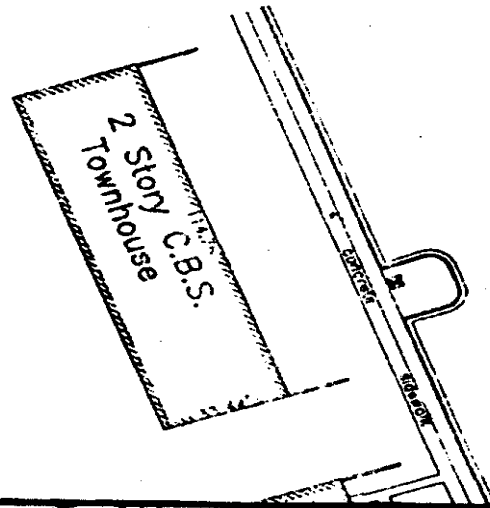
Field Work performed on: 2



n g
 A r e a
 (21.61 ± Acres)



Fire Police



ordinate System
 per State Plane Coord. System

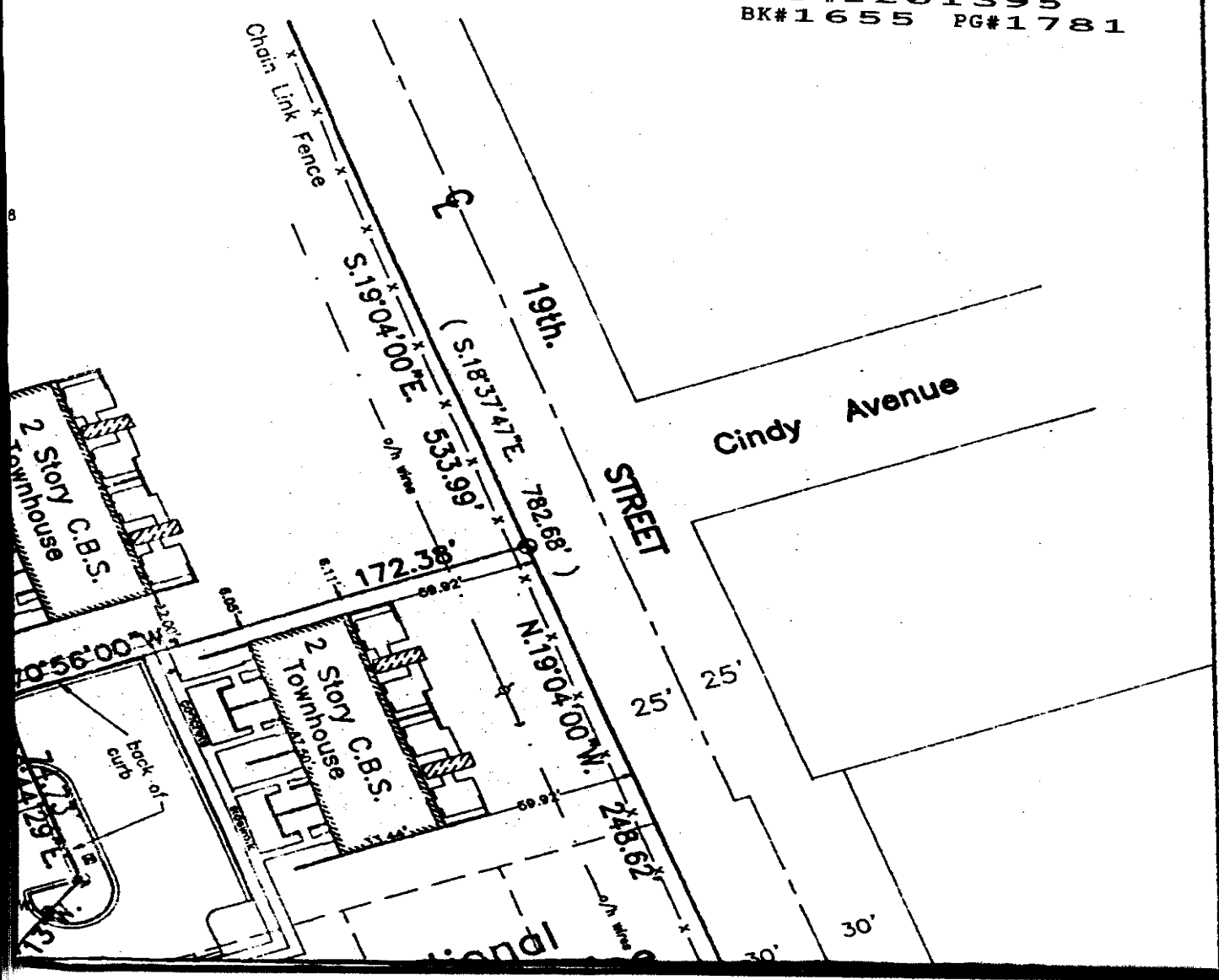
um
 n: 5.14 (Riviera Canal Bridge)

2749

- o/h = Overhead
- u/g = Underground
- F.F.L. = Finish Floor Elevation
- L.B. = Low Beam
- Rad. = Radial
- Irr. = Irregular
- conc. = concrete
- I.P. = Iron Pipe
- I.B. = Iron Bar
- B. = Baseline
- C.B. = Concrete Block
- C.B.S. = Concrete Block Stucco
- cov'd. = Covered
- P.I. = Point of Intersection
- wd. = Wood
- R = Radius
- A = Arc (Length)
- D = Delta, (Central angle)
- w.m. = Water Meter
- Bal. = Balcony
- Pl. = Planter
- Hydt. = Fire Hydrant
- F.W. = Fire Well

- = Concrete Utility Pole
- = Wood utility Pole
- with line = Wood Utility Pole with Guy wire
- F.W. = Fire Well
- ⊙ M.W. = Manhole
- = Water Meter
- with line = Water Valve
- E. = Electric Manhole
- E. = Electric Utility Vault
- M.H. = Man Hole
- San. = Sanitary
- C.B. = Storm Water Catch Basin
- Inv. = Invert
- B.P.Z. = Backflow Prevention Valve
- P.V.C. = Polyvinyl Pipe
- R.C.P. = Reinforced Concrete pipe
- ⊕ = Fire Hydrant
- ⊙ = Light
- ⊙ = sign
- A/C = Air Conditioner

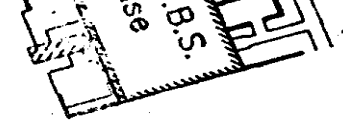
FILE #1201395
 BK#1655 PG#1781



KEY

WEST VILLAS LTD.

FILE #1201395
BK#1655 PG#1782



Clear
782.90' m.
29' m.

N.19°04'29\"/>

Chain Link Fence
(N.19°38'35\"/>

782.90' d.)

P.O.B. Entire site
& Homeless Area

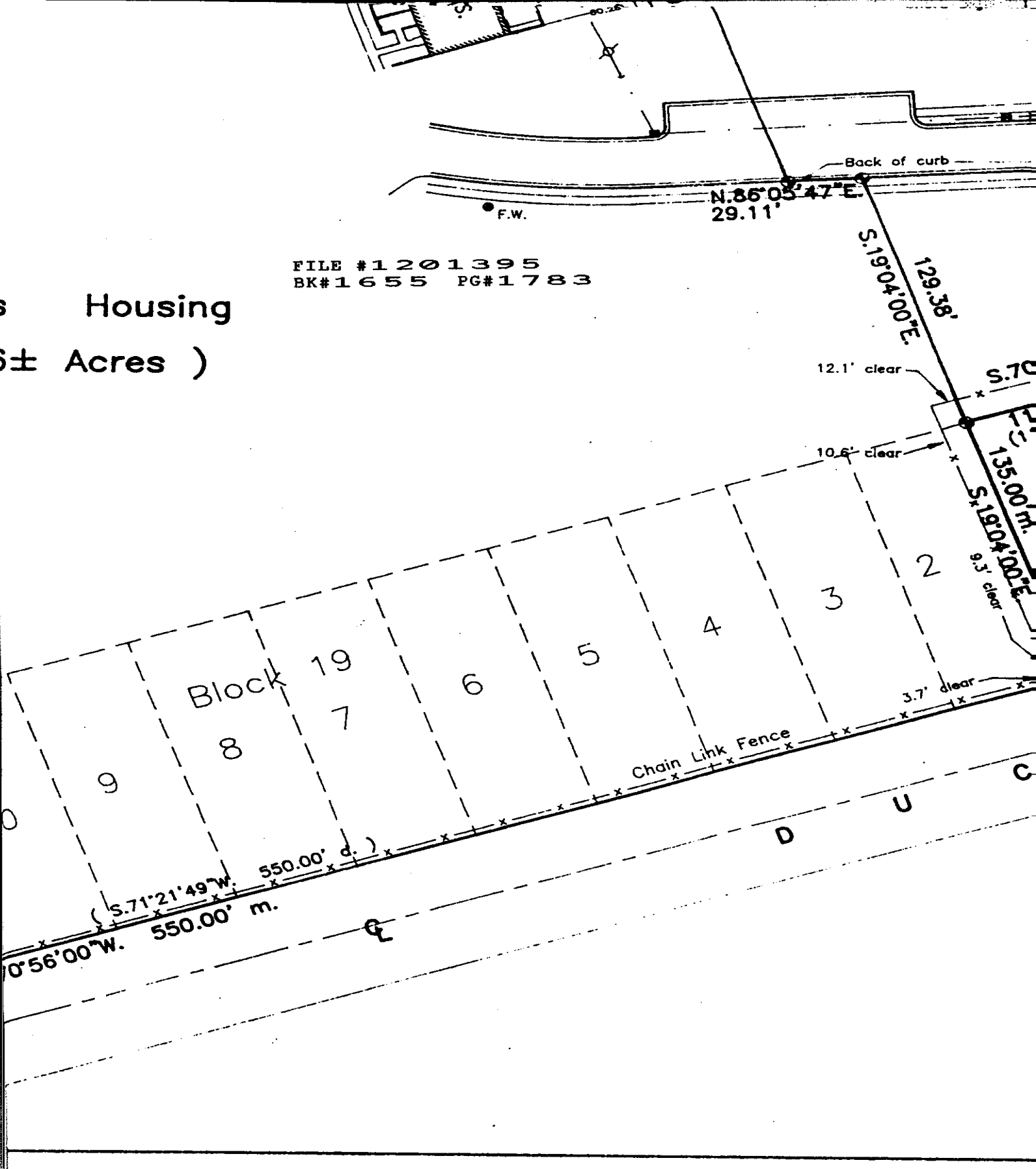
16th. STREET 30'

2
3.8' clear

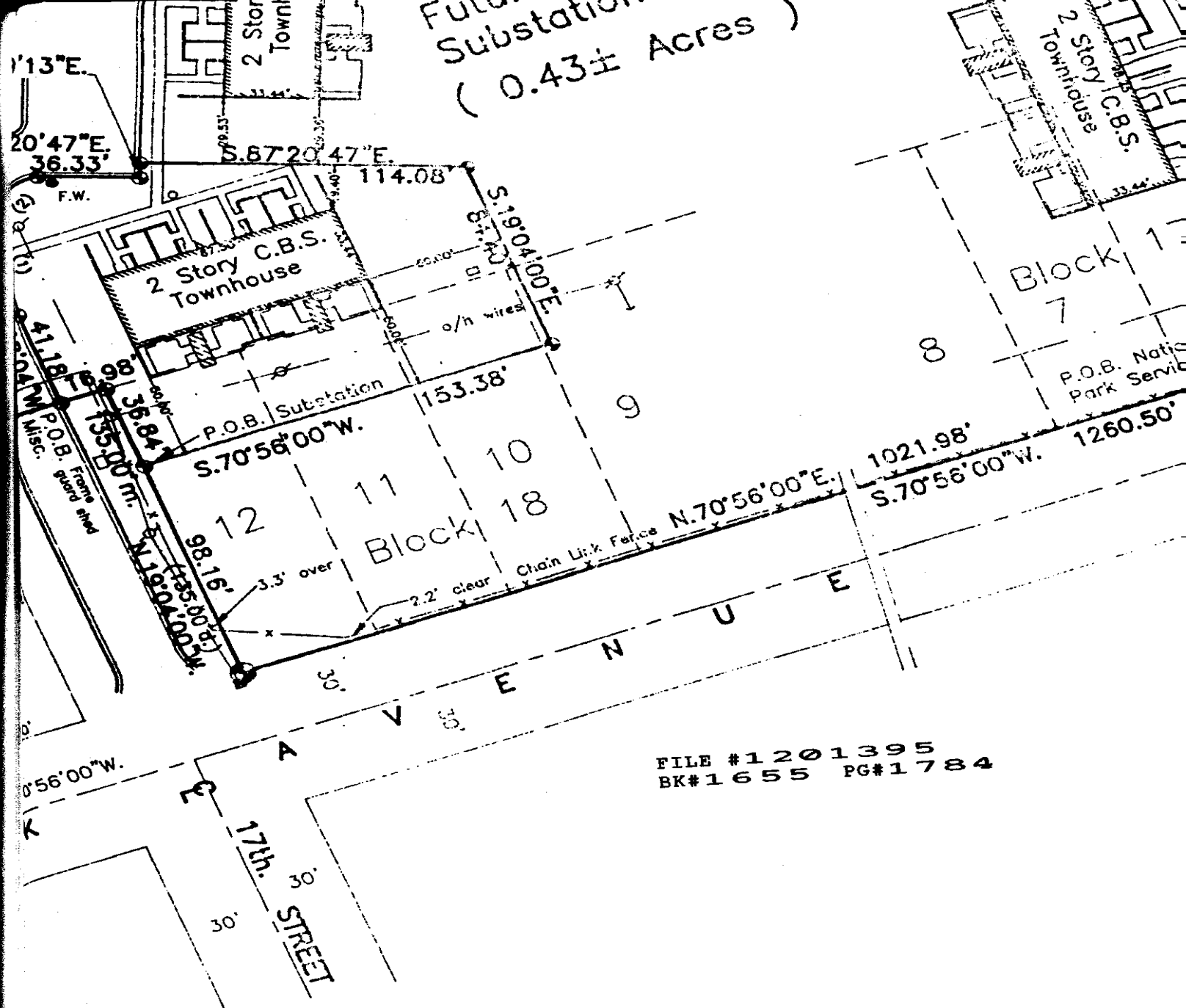
T

s Housing
(6± Acres)

FILE #1201395
BK#1655 PG#1783



FUTURE
Substation
(0.43 ± Acres)

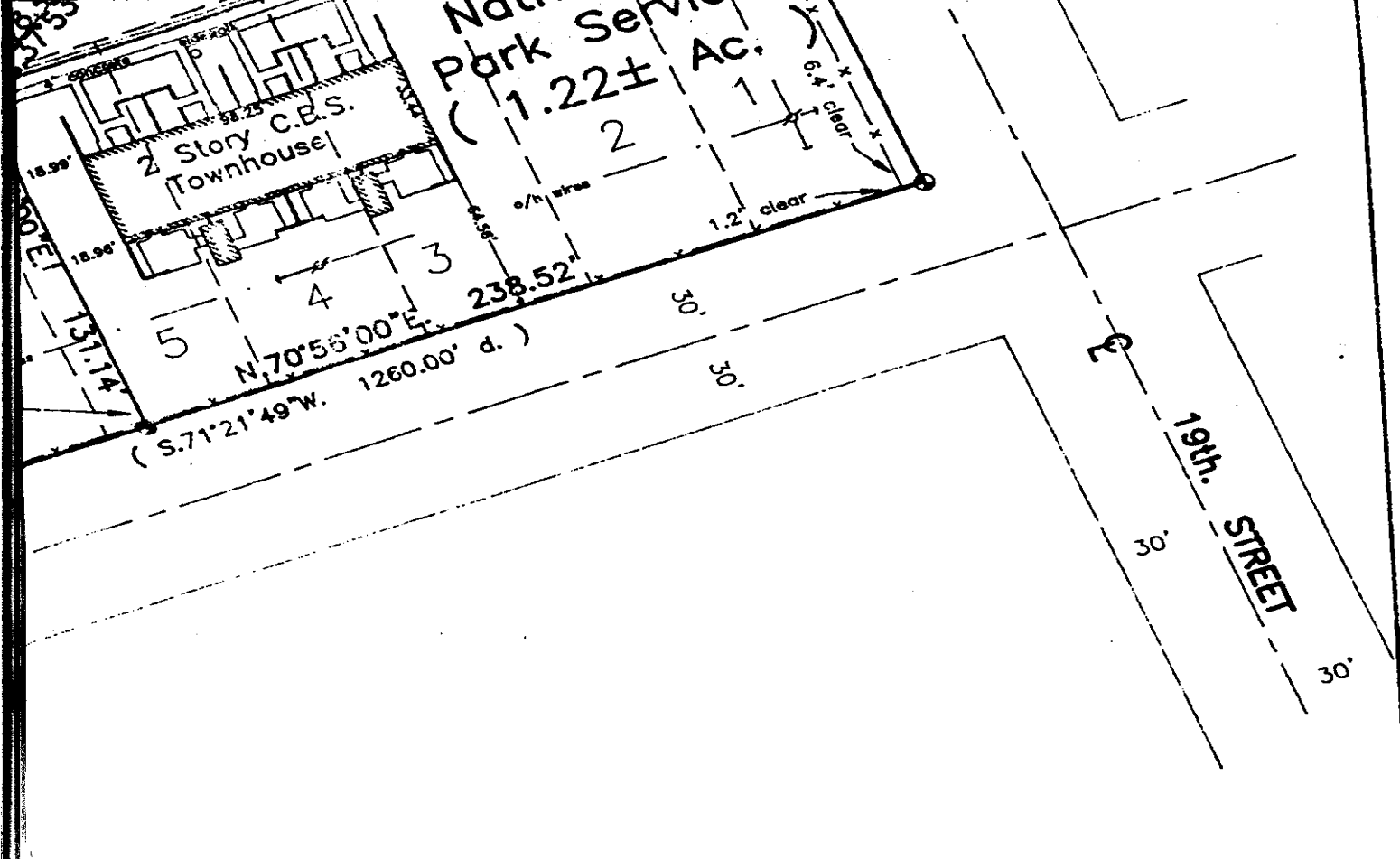


FILE #1201395
BK#1655 PG#1784

NOTATION:
I HEREBY CERTIFY that the attached BOUNDARY SURVEY is true, correct and accurate to the best of my knowledge and belief; that it meets the minimum standards adopted by the Florida Board of Land Surveyors, Chapter 61G17-6, Statute Section 472.07, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

[Signature]
W. H. HILDEBRAND
Professional Land Surveyor No. 2749
Professional Engineer No. 36810
Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE



FILE # 1201395
BK# 1655 PG# 1785

Sheet 2 of 2

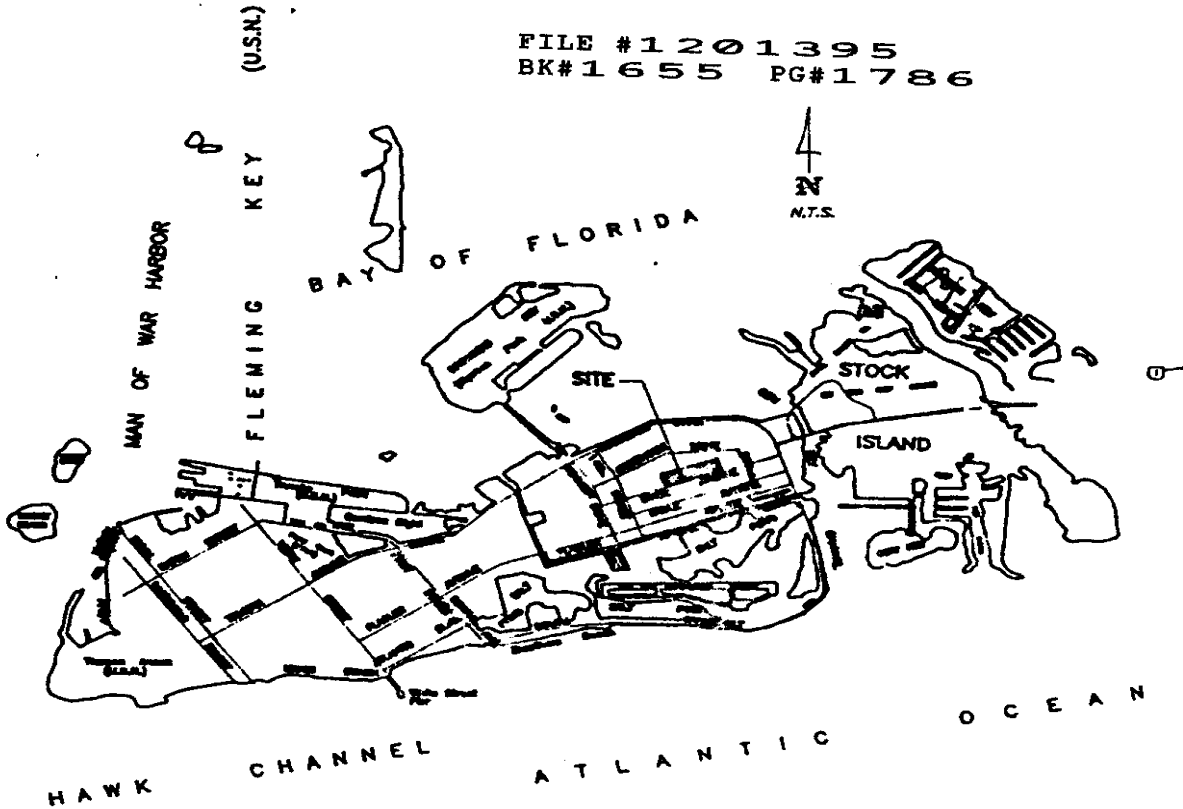
Poinciana Housing Duck Avenue, Key West, Fl. 33040			
Boundary Survey			Dwn No.: 98-116
Scale: 1"=50'	Ref. 133-25	Flood panel No. 1709 F	Dwn. By: F.H.H.
Date: 2/9/98		Flood Zone: AF	Flood Elev. 7'
REVISIONS AND/OR ADDITIONS			
3/18/98: Typos			
Customer, City of Key West, Fla.			

FREDERICK H. HILDEBRANDT
ENGINEER PLANNER SURVEYOR

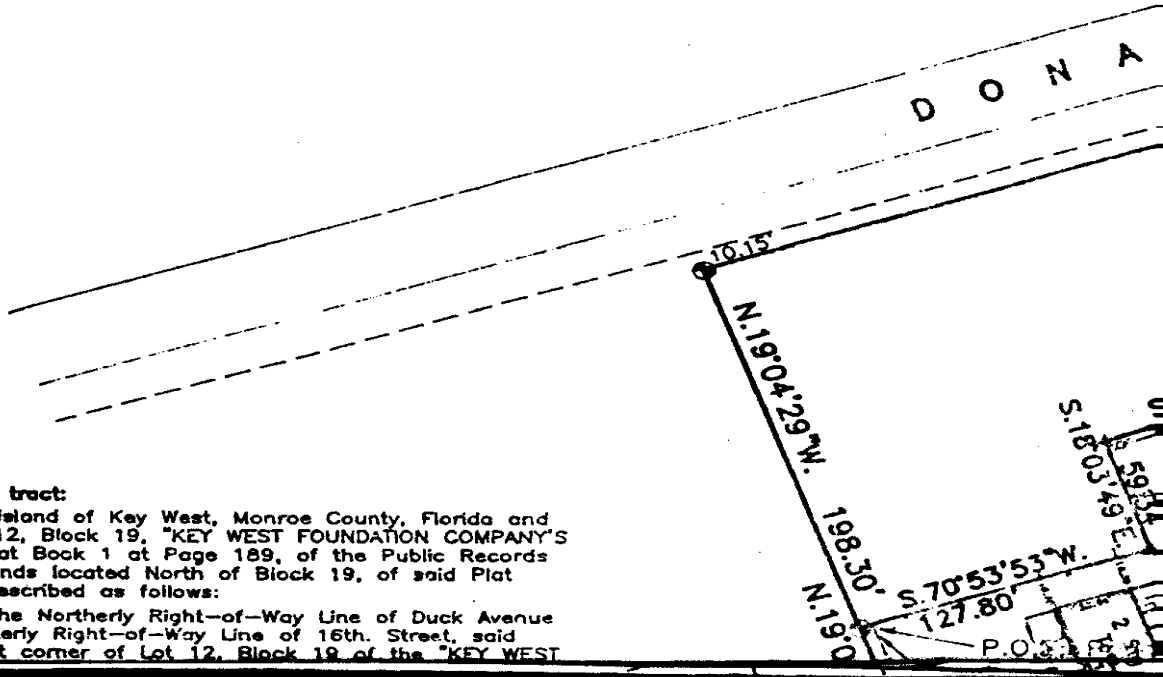
3150 Northside Drive
Suite 101
Key West, Fl. 33040
(305) 293-0466
Fax. (305) 293-0237

LEGAL DESCRIPTION
 A Tract of land lying along the Westery line of the extension of the Easterly Right-of-Way Line of 16th. Street, said point also being the Southwest corner of Lot 12, Block 19 of the "KEY WEST FOUNDATION COMPANY'S PLAT No. 2, as recorded in Plat Book 1 at Page 189, of the Public Records of Monroe County, Florida and lands located North of Block 19, of said Plat and being more particularly described as follows:
 COMMENCE at the intersection of the Northerly Right-of-Way Line of Duck Avenue and the extension of the Easterly Right-of-Way Line of 16th. Street, said point also being the Southwest corner of Lot 12, Block 19 of the "KEY WEST FOUNDATION COMPANY'S PLAT No. 2, as recorded in Plat Book 1 at Page 189, of the Public Records of Monroe County, Florida and lands located North of Block 19, of said Plat and being more particularly described as follows:
 to the Southwest along the Westery line of the extension of the Easterly Right-of-Way Line of 16th. Street, a distance of 41.18 feet, a curve of 155.85 feet, a bearing of N.10°43'00"W. and said curve, an arc having a radius of 155.85 feet, an arc of said curve, a bearing of N.40°14'00"W. and a distance of 127.80 feet, a curve of 155.85 feet, a bearing of S.70°56'00"W. and a distance of 41.18 feet, a curve of 155.85 feet, a bearing of S.87°20'47"W. and a distance of 6.82 feet, a curve of 155.85 feet, a bearing of S.19°04'00"W. and a distance of 155.38 feet.

Parcel contains 18



LOCATION MAP
 City of Key West &
 Stock Island



LEGAL DESCRIPTION, Homeless tract:

A Tract of land lying on the island of Key West, Monroe County, Florida and being known as Lots 2 thru 12, Block 19, "KEY WEST FOUNDATION COMPANY'S PLAT No. 2, as recorded in Plat Book 1 at Page 189, of the Public Records of Monroe County, Florida and lands located North of Block 19, of said Plat and being more particularly described as follows:

BEGIN at the intersection of the Northerly Right-of-Way Line of Duck Avenue and the extension of the Easterly Right-of-Way Line of 16th. Street, said point also being the Southwest corner of Lot 12, Block 19 of the "KEY WEST

Substation:

of Key West, Monroe County, Florida and
 9 thru 12, Block 18, "KEY WEST"
 as recorded in Plat Book 1 at Page 189,
 y, Florida and lands located North of Block
 particularly described as follows:
 a Northerly Right-of-Way Line of Duck Avenue
 Right-of-Way Line of 19th Street, said
 er of Lot 12, Block 19 of the "KEY WEST"
 thence N.70°56'00"E., and along the said
 Avenue a distance of 660.00 feet
 12, Block 18; thence N.19°04'00"W., and
 12, Block 18 a distance of 98.16 feet
 19°04'00"W., a distance of 36.84 feet;
 16.98 feet; thence N.19°18'04"W., a
 a curve to the right, having a radius
 552'21", a chord bearing of
 43.04 feet; thence along the arc of
 feet to a point on a curve to the right,
 central angle of 80°32'18", a chord
 d length of 25.70 feet; thence along the
 27.94 feet to the end of said curve;
 31.33 feet; thence N.02°39'13"E., a
 0°47'E., a distance of 114.08 feet;
 84.40 feet; thence S.70°56'00"W., a
 of Beginning.

LEGAL DESCRIPTION, National Park Service:

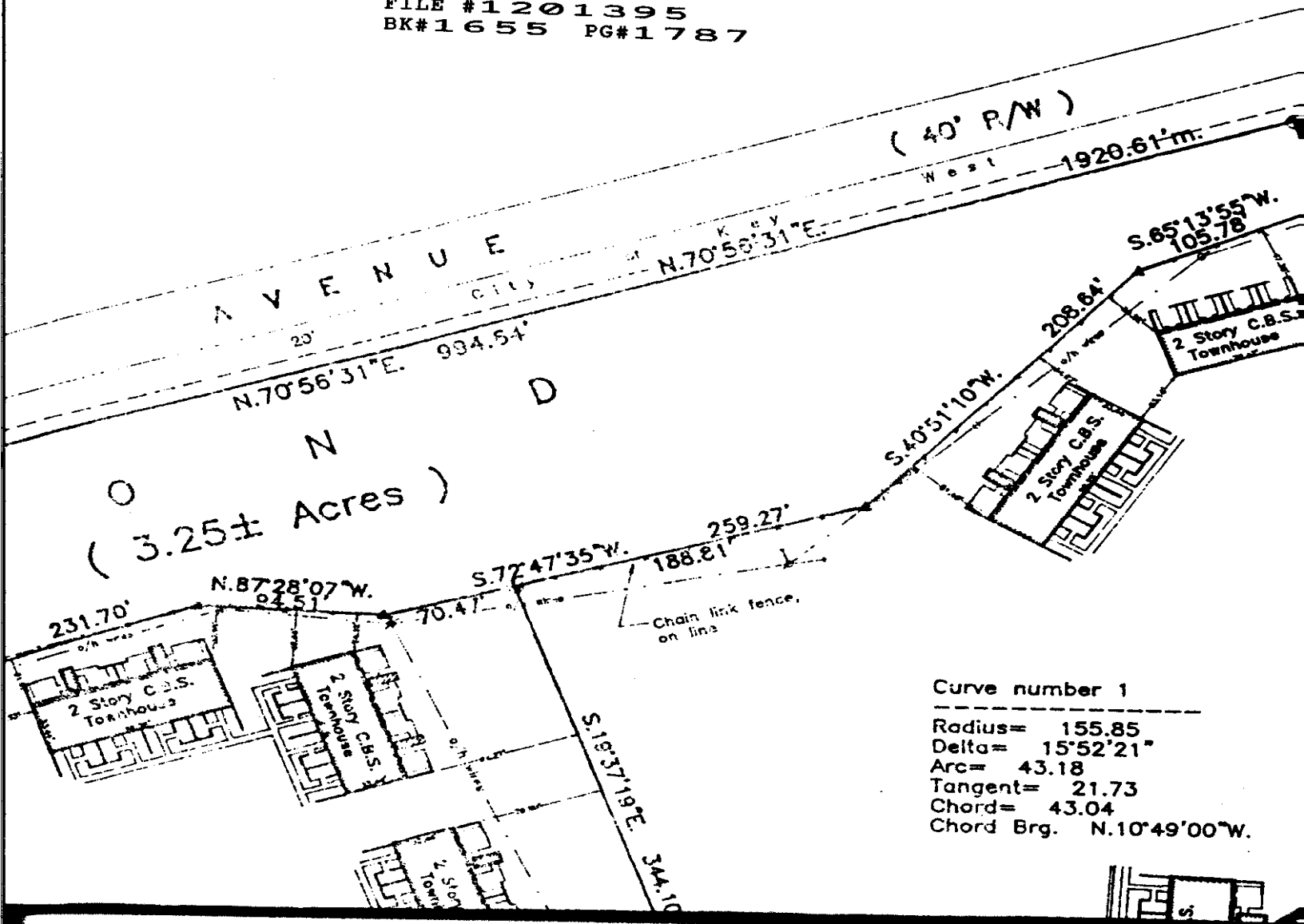
A Tract of land lying on the Island of Key West, Monroe County, Florida and
 being known as Lots 1 thru 4, and a portion of Lot 5 Block 17, "KEY WEST"
 FOUNDATION COMPANY'S Plat No. 2, as recorded in Plat Book 1 at Page 189,
 of the Public Records Monroe County, Florida and lands located North of Block
 17, of said Plat and being more particularly described as follows:

COMMENCE at the intersection of the Northerly Right-of-Way Line of Duck Avenue
 and the extension of the Easterly Right-of-Way Line of 16th Street, said
 point also being the Southwest corner of Lot 12, Block 19 of the "KEY WEST"
 FOUNDATION COMPANY'S Plat No. 2, thence N.70°56'00"E., and along the said
 Northerly Right-of-Way Line of Duck Avenue a distance of 1681.98 feet to
 the Point of Beginning; thence N.70°56'00"E., and continuing along the said
 Northerly Right-of-Way Line of Duck Avenue a distance of 238.52 feet to the
 Westerly Right-of-Way Line of 19th Street; thence N.19°04'00"W., and along
 the said Westerly Right-of-Way Line of 19th Street a distance of 248.82
 feet; thence S.70°56'00"W., a distance of 172.38 feet; thence
 S.18°44'29"E., a distance of 74.73 feet; thence S.37°53'13"W., a distance
 of 78.10 feet; thence S.19°04'00"E., a distance of 131.14 feet to the said
 Northerly Right-of-Way Line of Duck Avenue and the Point of Beginning.

Parcel contains 52969 square feet or 1.22 acres, more or less.

0.43 acres, more or less.

FILE #1201395
 BK#1655 PG#1787

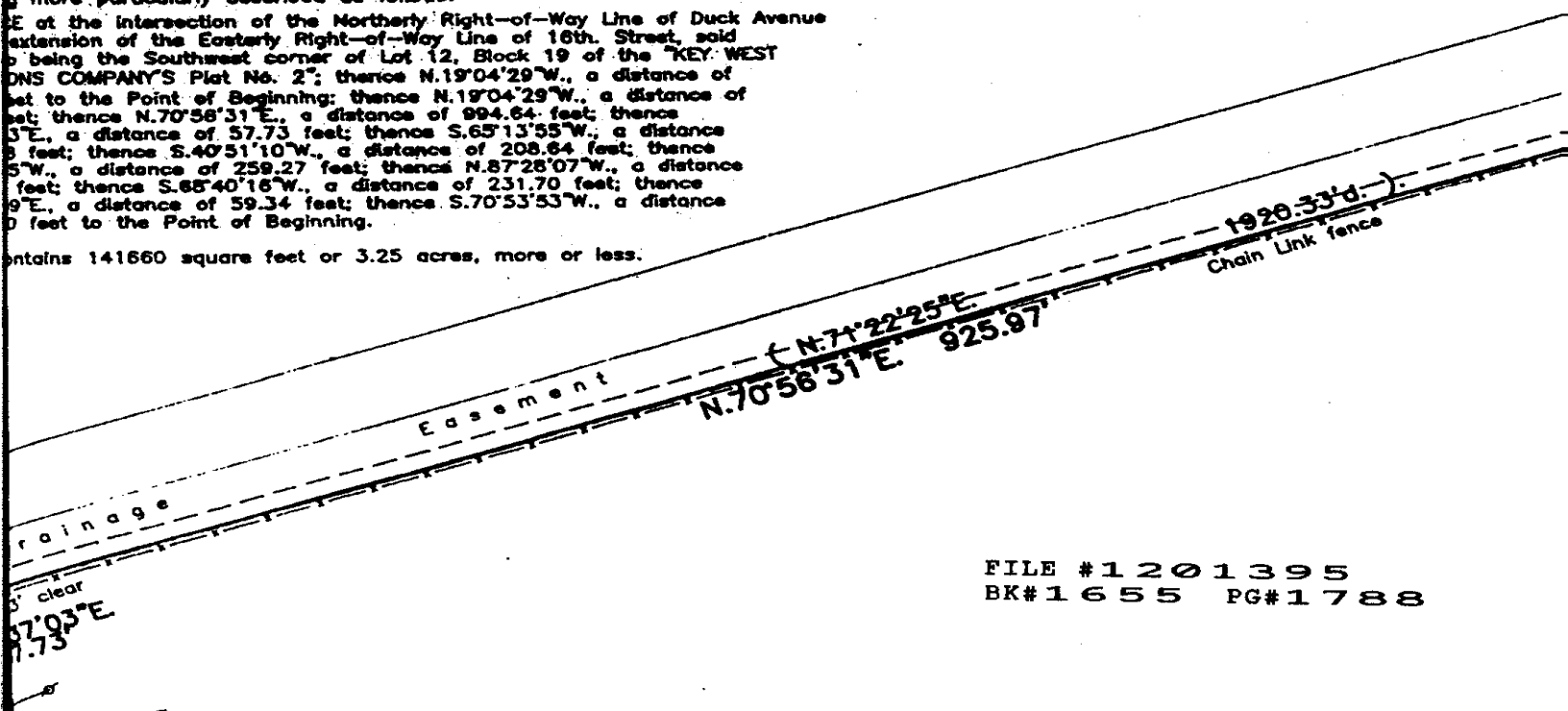


DESCRIPTION, Pond:

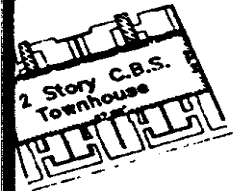
of land lying on the Island of Key West, Monroe County, Florida
more particularly described as follows:

at the intersection of the Northerly Right-of-Way Line of Duck Avenue
extension of the Easterly Right-of-Way Line of 16th Street, said
being the Southwest corner of Lot 12, Block 19 of the KEY WEST
DNS COMPANY'S Plat No. 2; thence N.19°04'29"W., a distance of
to the Point of Beginning; thence N.19°04'29"W., a distance of
feet; thence N.70°58'31"E., a distance of 994.64 feet; thence
1°E., a distance of 57.73 feet; thence S.65°13'55"W., a distance
feet; thence S.40°51'10"W., a distance of 208.64 feet; thence
5°W., a distance of 259.27 feet; thence N.87°28'07"W., a distance
feet; thence S.65°40'16"W., a distance of 231.70 feet; thence
9°E., a distance of 59.34 feet; thence S.70°53'53"W., a distance
0 feet to the Point of Beginning.

contains 141660 square feet or 3.25 acres, more or less.



FILE #1201395
BK#1655 PG#1788



Misc. Housing Area
(21.61 ± Acres)

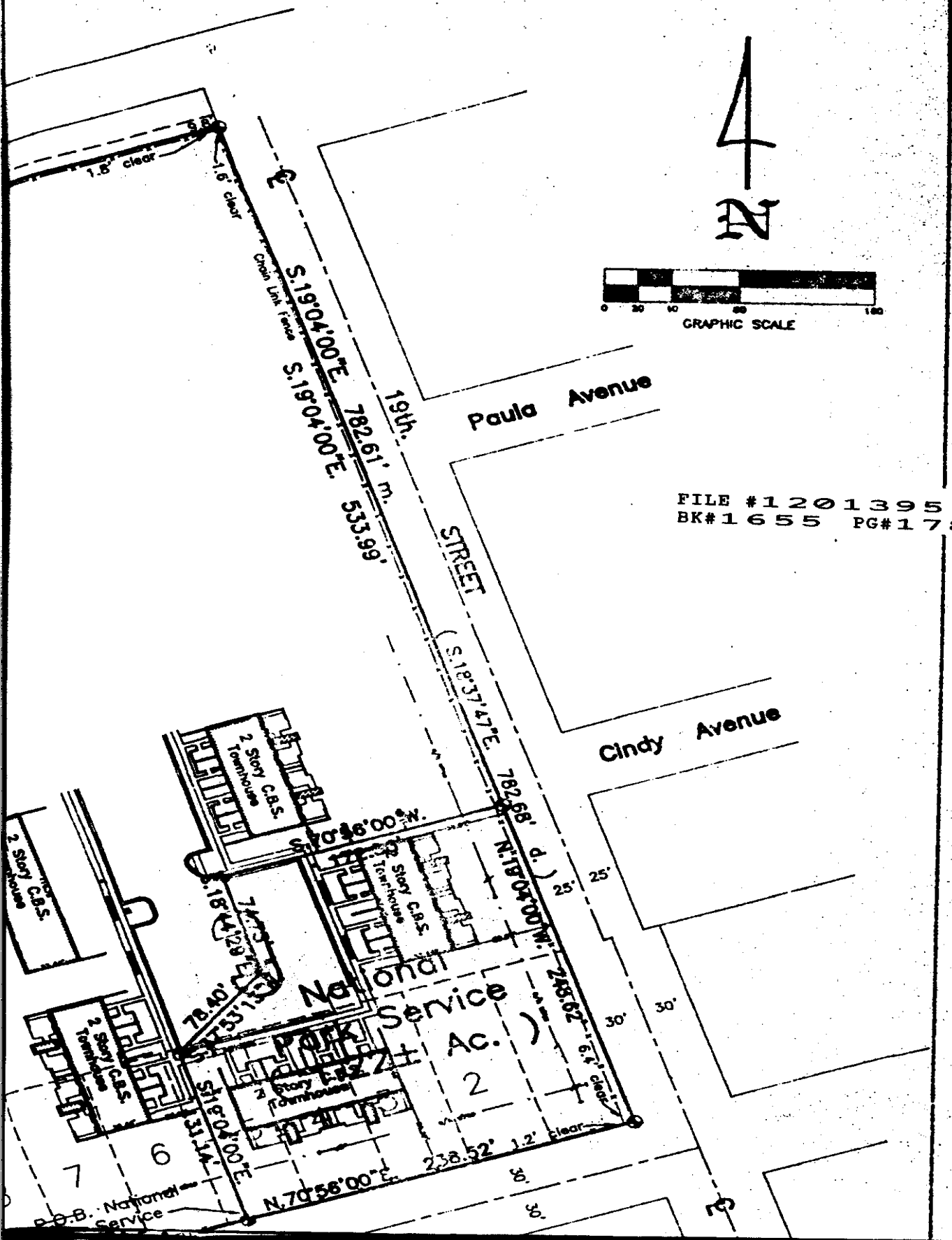
Curve number 2

radius= 19.88
delta= 80°32'18"
c= 27.94
tangent= 16.84
chord= 25.70
chord Brg. N.40°14'27"E.





FILE #1201395
BK#1655 PG#1789



FOUNDATIONS COMPANY'S Plat No. 2"; thence N.19°04'29"W., a distance of 584.60 feet; thence N.70°53'53"E., a distance of 127.80 feet; thence N.18°03'49"W., a distance of 59.34 feet; thence N.68°40'16"E., a distance of 231.70 feet; thence S.87°28'07"E., a distance of 94.51 feet; thence N.72°47'35"E., a distance of 70.47 feet; thence S.19°37'19"E., a distance of 344.10 feet; thence N.86°05'47"E., a distance of 29.11 feet; thence S.19°04'00"E., a distance of 129.38 feet to the Northeast corner of Lot 2, Block 19, of "KEY WEST FOUNDATION COMPANY'S Plat No. 2"; thence S.19°04'00"E., a distance of 135.00 feet to the said Northerly Right-of-Way Line of Duck Avenue; thence S.70°56'00"W., and along the said Northerly Right-of-Way Line of Duck Avenue a distance of 550.00 feet to the Point of Beginning.

Parcel contains 333839 square feet or 7.66 acres, more or less.

LEGAL DESCRIPTION, Misc. Housing Area:

A Tract of land lying on the Island of Key West, Monroe County, Florida and being known as a portion of Lots 1 thru 5, Lots 6 thru 12, Block 17, and Lots 1 thru 8, a portion of Lots 9 thru 12, Block 18 and land lying North of said Blocks and being more particularly described as follows:

COMMENCE at the intersection of the Northerly Right-of-Way Line of Duck Avenue and the extension of the Easterly Right-of-Way Line of 16th. Street, said point also being the Southwest corner of Lot 12, Block 19 of the "KEY WEST FOUNDATION COMPANY'S Plat No. 2; thence N.70°56'00"E., and along the said Northerly Right-of-Way Line of Duck Avenue a distance of 660.00 feet to the Southwest corner of said Lot 12, Block 18; thence N.19°04'00"W., and along the Westerly line of said Lot 12, Block 18 a distance of 135.00 feet; thence S.70°56'00"W., a distance of 18.98 feet to the Point of Beginning; thence S.70°56'00"W., a distance of 93.02 feet; thence N.19°04'00"W., a distance of 129.38 feet; thence S.86°05'47"W., a distance of 29.11 feet; thence N.19°37'19"W., a distance of 344.10 feet; thence N.72°47'35"E., a distance of 188.81 feet; thence N.40°51'10"E., a distance of 208.84 feet; thence N.65°13'55"E., a distance of 105.78 feet; thence N.17°37'03"W., a distance of 57.73 feet; thence N.70°56'31"E., and along the Northerly Boundary of Poinciana Housing a distance of 925.97 feet to the Westerly Right-of-Way Line of 19th. Street; thence S.19°04'00"E., and along the said Westerly Right-of-Way Line of 19th. Street a distance of 533.99 feet; thence S.70°56'00"W., a distance of 172.38 feet; thence S.18°44'29"E., a distance of 74.73 feet; thence S.37°53'13"W., a distance of 78.40 feet; thence S.19°04'00"E., a distance of 131.14 feet to the Northerly Right-of-Way Line of Duck Avenue; thence S.70°56'00"W., and along the said Northerly Right-of-Way Line of Duck Avenue a distance of 1021.99 feet; thence N.19°04'00"W., and along the said Westerly line of Lot 12, Block 18 a distance of 98.16 feet; thence N.70°56'00"E., a distance of 153.38 feet; thence N.19°04'00"W., a distance of 84.40 feet; thence N.87°20'47"W., a distance of 114.08 feet; thence S.02°39'13"W., a distance of 6.82 feet; thence N.87°20'47"W., a distance of 36.33 feet to a point on a curve to the left, having: a radius of 19.88 feet, a central angle of 80°32'18", a chord bearing of S.40°14'27"W. and a chord length of 25.70 feet; thence along the arc of said curve, an arc length of 27.94 feet to a point on a curve to the left, having: a radius of 155.85 feet, a central angle of 15°52'21", a chord bearing of S.10°49'00"E. and a chord length of 43.04 feet; thence along the arc of said curve, an arc length of 43.18 feet to the end of said curve; thence S.19°18'04"E., a distance of 41.18 feet to the Point of Beginning.

Parcel contains 941316 square feet or 21.61 acres, more or less.

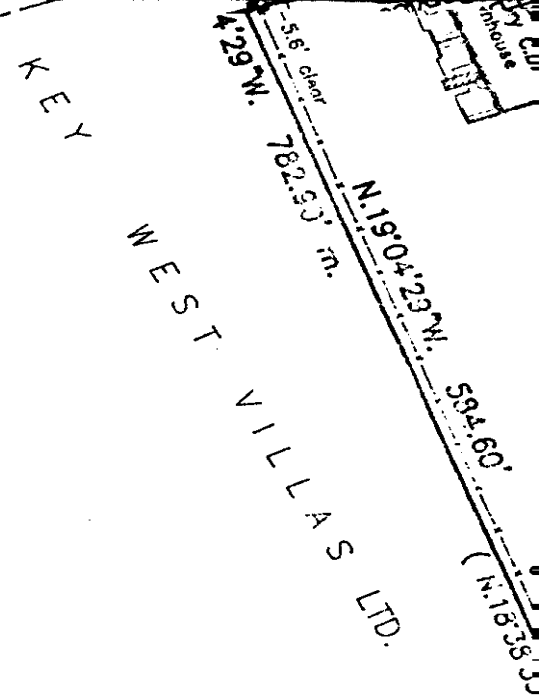
FILE #1201395
BK#1655 PG#1790

CERTIFICATION:

I HEREBY CERTIFY that the attached BOUNDARY SURVEY is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 61G17-6, Florida Statute Section 472.27, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

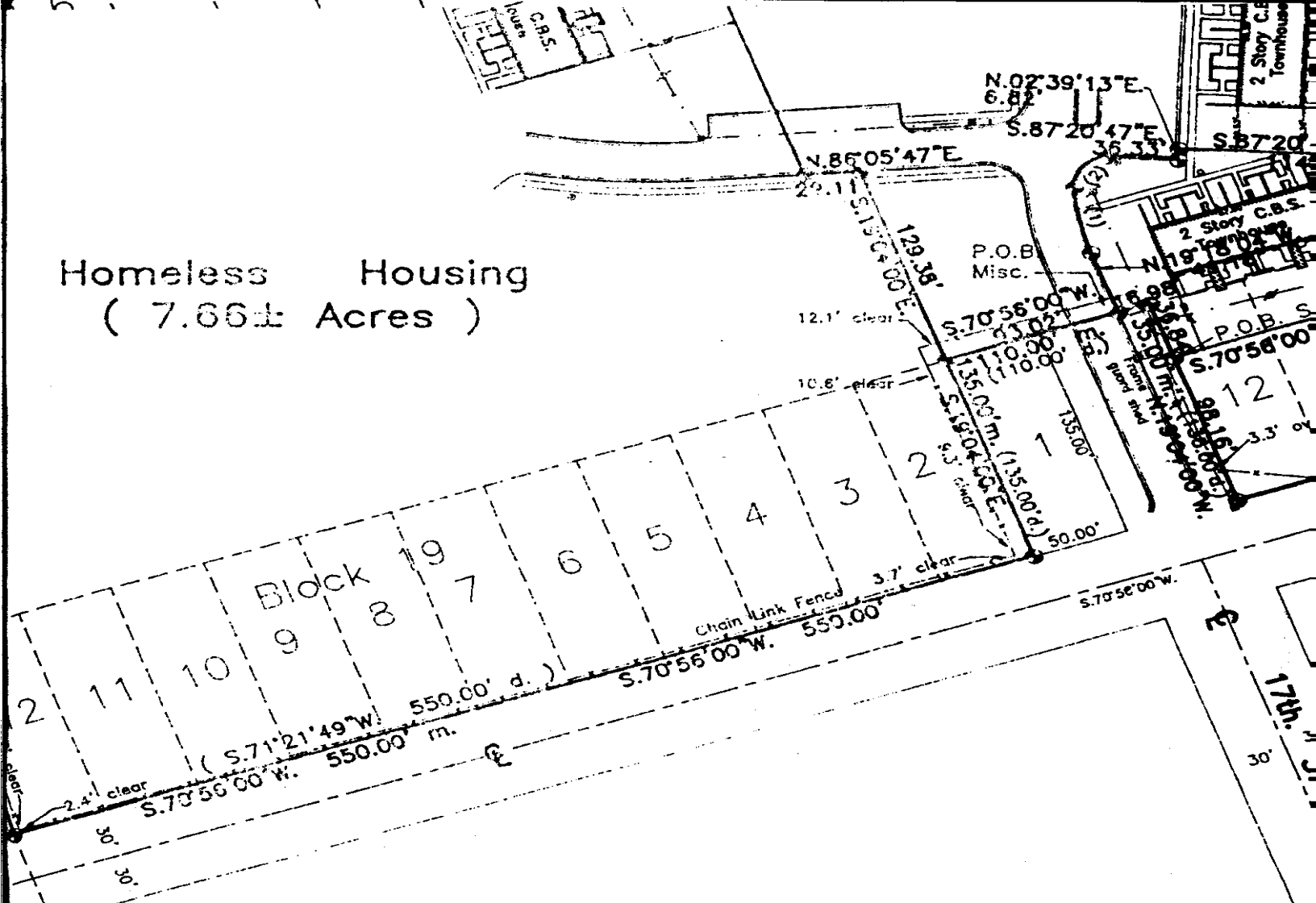
FREDRICK H. HILDEBRANDT
Professional Land Surveyor No. 2749
Professional Engineer No. 36810
State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE



P.O.B. Entire & Homeless

Homeless Housing
(7.66± Acres)



Block

2 11 10 9 8 7 6 5 4 3 2 1

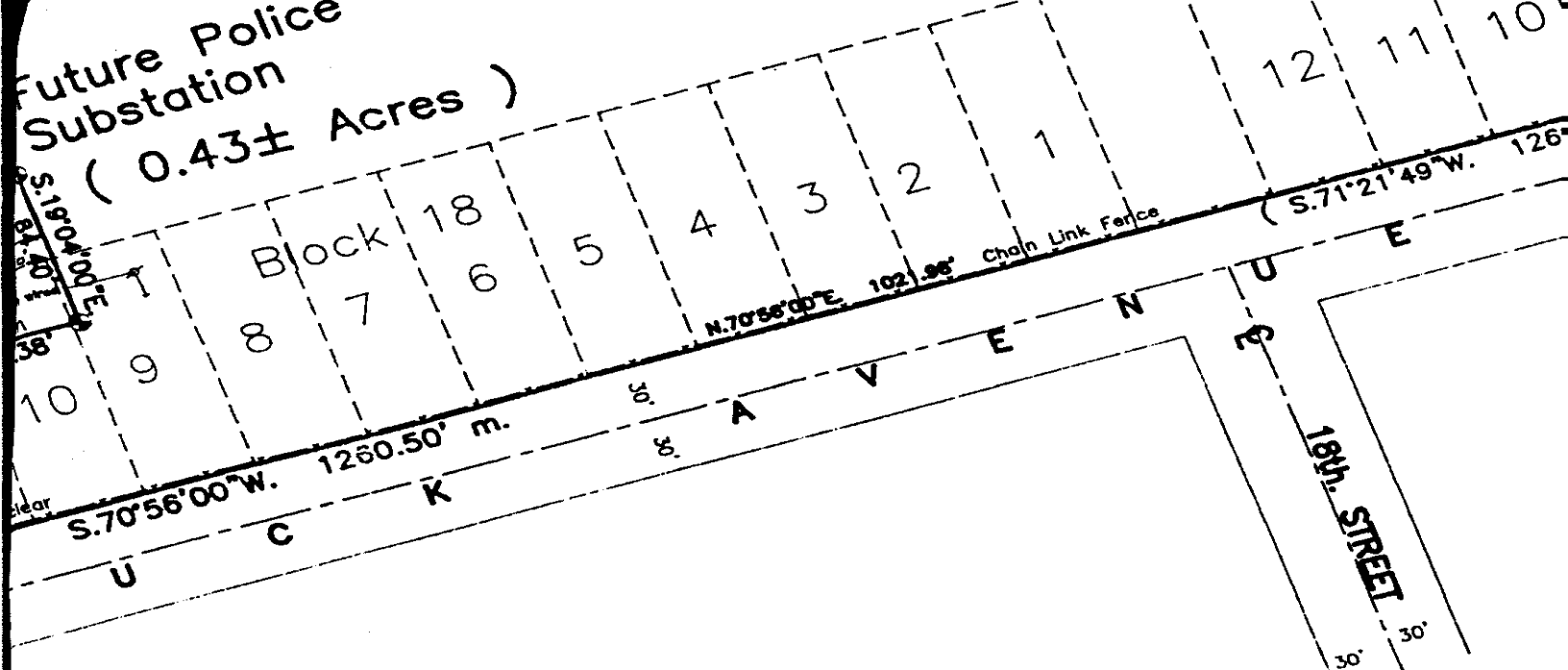
18th STREET

17th STREET

FILE #1201395
BK#1655 PG#1791

LEGAL DE
A tract o
Florida, m
Beginning
with the
16th. Stre
the Weste
Northerly
Avenue, 1
Southwest
plat No.
Northward
feet to a
and para
2 of Bloc
Southward
the Weste
Avenue; t
the Point

Future Police Substation (0.43± Acres)



FILE #1201395
BK#1655 PG#1792

- o/h = Overhead
- u/g = Underground
- F.F.L. = Finish Floor
- L.B. = Low Beam
- Rad. = Radial
- Irr. = Irregular
- conc. = concrete
- I.P. = Iron Pipe
- I.B. = Iron Bar
- @ = Baseline
- C.B. = Concrete
- C.B.S. = Concrete
- cov'd. = Covered
- P.I. = Point of Intersection
- wd. = Wood
- R = Radius
- A = Arc (Length)
- D = Delta, (Center)
- w.m. = Water Meter
- Bal. = Balcony
- Pl. = Planter
- Hydt. = Fire Hydrant
- F.W. = Fire Well

DN:(as supplied by client):
 lying and being in the City of Key West, County of Monroe, State of Florida, particularly described as follows:
 Point formed by the intersection of the Northerly Line of Duck Avenue and the Easterly Line of 16th. Street; thence N 18°38'35" W along the Easterly Line of 16th. Street 110 feet to a point; thence N 71°22'25" E 1920.33 feet to a point in the Easterly Line of 17th. Street; thence S 18°37'47" E, 782.68 feet to a point in the Easterly Line of Duck Avenue; thence S 71°21'49" W along the Northerly Line of Duck Avenue to a point in the Easterly Line of 17th. Street, said point being the Northerly corner of Lot 12, Block 18, as shown on Key West Foundation Company Plat recorded in Plat Book 1, page 189, Monroe County, Florida; thence S 71°21'49" W along the Easterly line of 17th. Street and the Westerly Line of Lot 12, 135 feet to the Northwesterly corner of said Lot 12; thence S 71° 21'49" W along the Easterly Line of Duck Avenue, 110 feet to a point being the Northeasterly corner of Lot 12 as shown on said Key West Foundation Company Plat No. 2, thence S 71°21'49" W along the Easterly line of said Lot 2, parallel with and distant 50 feet from the Easterly line of said Lot 2, 135 feet to a point in the Northerly line of Duck Avenue; thence S 71°21'49' W along the Northerly Line of Duck Avenue, 550 feet to the point of beginning. Containing 35.410 Acres.

Point of Beginning	Duck Avenue
Bounded by	
Scale:	
Date:	2/3/18/5
D\custo	

19th STREET
30' 30'

SURVEYOR'S NOTES:

North arrow based on State Plane Coordinate System
 Reference Bearing: Centerline Duck Ave. per State Plane Coord. System
 3.4 denotes existing elevation
 Elevations based on N.G.V.D. 1929 Datum
 Bench Mark No.: 4529 F Elevation: 5.14 (Riviera Canal Bridge)

Monumentation: Iron Pipe, P.L.S. No. 2749

- ▲ = Set P.K. Nail, P.L.S. No. 2749
- △ = Found P.K. Nail

SEE SHEET 2 FOR DETAIL INFORMATION
 AREA OF SITE IS 34.1707± ACRES

FILE #1201395
 BK#1655 PG#1793

Abbreviations:

- Sty. = Story
- R/W = Right-of-Way
- fd. = Found
- p. = Plat
- m. = Measured
- d. = Deed
- M.H.W. = Mean High Water
- O.R. = Official Records
- Sec. = Section
- Twp. = Township
- Rge. = Range
- N.T.S. = Not to Scale
- CL = Centerline
- Elev. = Elevation
- B.M. = Bench Mark
- P.C. = Point of Curvature
- P.T. = Point of Tangency
- P.O.C. = Point of Commence
- P.O.B. = Point of Beginning
- P.B. = Plat Book
- pg. = page
- Elec. = Electric
- Tel. = Telephone
- Ench. = Encroachment
- O.L. = On Line
- C.L.F. = Chain Link Fence

- = Concrete Utility Pole
- = Wood utility Pole
- ←○ = Wood Utility Pole with Guy wire
- ⊙ F.W. = Fire Well
- ⊕ M.W. = Monitoring Well
- = Water Meter
- ⊗ = Water Valve
- E. = Electric Manhole
- E. = Electric Utility Vault
- M.H. = Man Hole
- San. = Sanitary
- ⊗ C.B. = Storm Water Catch Basin
- Inv. = Invert
- B.P.Z. = Backflow Prevention Valve
- P.V.C. = Polyvinyl Pipe
- R.C.P. = Reinforced Concrete pipe
- ⊕ = Fire Hydrant
- * = Light
- ⊙ = sign
- A/C = Air Conditioner

Field Work performed on: 2/4/98

Sheet 1 of 2

Key West, Fl. 33040	
Ref. 133-25	Flood panel No. 1709 F
	Flood Zone: AF
NOTES AND/OR ADDITIONS	
Key West poin.	

Dwn No.: 98-116
 Dwn. By: F.H.H.
 Flood Elev. 7'

FREDERICK H. HILDEBRANDT
ENGINEER PLANNER SURVEYOR

3150 Northside Drive
 Suite 101
 Key West, Fl. 33040
 (305) 293-0466
 Fax. (305) 293-0237

EXHIBIT "A"

Prepared by and return to:
 Erica N. Hughes-Sterling, Esq.
 Spottswood, Spottswood and Spottswood
 500 Fleming Street
 Key West, FL 33040

Doc# 1739717 04/27/2009 3:02PM
 Filed & Recorded in Official Records of
 MONROE COUNTY DANNY L. KOLHAGE

Doc# 1739717
 Bk# 2410 Pg# 272

EASEMENT AGREEMENT

This Easement Agreement is entered into on this 13th day of April, 2009, by **THE CITY OF KEY WEST**, a municipal corporation organized and operating under the laws of the State of Florida, whose address is 525 Angela Street, Key West, Florida 33040 (hereinafter "City"), and **THE HOUSING AUTHORITY OF THE CITY OF KEY WEST, FLORIDA**, a public body corporate and politic, whose address is 1400 Kennedy Drive, Key West, Florida 33040 (hereinafter "Housing Authority").

RECITALS:

WHEREAS, City is the current owner of that certain real property located in Monroe County, Florida, more particularly described in Exhibit "A" attached hereto and made a part hereof (hereinafter the "City Property"); and

WHEREAS, simultaneously with the execution of this Easement, City is conveying a certain portion of the City Property to the Housing Authority which is more particularly described on Exhibit "B" attached hereto and made a part hereof (hereinafter the "HA Property"); and,

WHEREAS, Housing Authority intends to lease the HA Property to an affiliated entity of A.H. of Monroe County, Inc., formerly known as AIDS Help, Inc., a Florida non-profit corporation (hereinafter "AHI") for a term of sixty (60) years in order to further affordable housing in The City of Key West; and,

WHEREAS, AHI's affiliated entity intends to construct fifty (50) affordable residential units on the HA Property; and,

WHEREAS, City is willing to grant Housing Authority, its successors, assigns and tenants easements for access and utilities for the benefit of the HA Property pursuant to the terms set forth herein.

NOW, THEREFORE, in consideration of the mutual covenants and obligations contained herein, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties agree as follows:

ARTICLE I. RECITALS AND CONSIDERATION

1.1 The above Recitals are true and correct and are hereby incorporated herein by reference.

Doc# 1739717
Bk# 2410 Pg# 273

1.2 The parties hereto warrant that this Easement Agreement, and all terms and conditions contained herein, are supported by adequate consideration.

ARTICLE II. GRANT OF EASEMENT

2.1 City does hereby grant, convey, declare and create for the benefit of the Housing Authority, its tenants, guests, invitees, successors and assigns a perpetual easement in, upon, over and across the City Property for the purposes of ingress, egress, installation and maintenance of utilities for the benefit of the HA Property. Notwithstanding the foregoing, Housing Authority (or its successors, assigns or tenants) shall not construct or place any structures on or make any changes, alterations or improvements to the City Property or do anything which is inconsistent with the terms of this Easement or any other existing easement, or inconsistent with the current use of the City Property.

2.2 City grants and conveys unto Housing Authority, their tenants and invitees and successor assigns the perpetual non-exclusive right to ingress and egress over the existing roadways located within the City Property for ingress and egress to the HA Property, if necessary.

2.3 City hereby grants, gives, conveys and declares unto Housing Authority, its tenants, successors and assigns a perpetual easement over, across and under the City Property, as may be reasonably necessary for the installation, operation, maintenance, inspection, reconstruction, replacement, repair and removal of underground water and electric pipelines and other related facilities; provided, however, in the event Housing Authority (or its tenants, successors and assigns) requires the use of the Easement Property for installation, repair or maintenance of the above-described water and electric pipelines, Housing Authority (or its tenants, successors and assigns) shall provide City with fifteen (15) days prior written notice with said notice providing a description of the work to be done and a timeframe within which it will be completed. The foregoing notice requirement shall not apply in the event Housing Authority's (or its tenants, successors and assigns) use of the City Property for the purposes described herein is required as a result of an emergency situation. Housing Authority (or its successors and assigns) shall repair any damage caused by Housing Authority's (or its successors and assigns) use of the City Property for the purposes described herein.

2.4 City hereby reserves the right, for the benefit of itself and its successors and assigns, the right to use the City Property for any and all reasons.

ARTICLE II. MISCELLANEOUS

3.1 Nothing contained in this Easement Agreement shall create or shall be deemed to create any easements or use rights in the general public or constitute a public dedication for any public use whatsoever.

3.2 This Easement Agreement and the covenants and restrictions contained herein shall run with the land forever and be binding upon and inure to the benefit of and be enforceable by the heirs, legal representatives, tenants, successors and assigns of the parties.

Doc# 1739717
Bk# 2410 Pg# 274

3.3 Any costs incurred in enforcing, judicially or otherwise, the terms, provisions and restrictions of this Easement Agreement shall be borne by and recoverable against the non-prevailing partying such proceeding.

3.4 If any provision of this Easement Agreement or the application thereof to any person or circumstances is found to be invalid, the remainder of the provisions of this Agreement shall not be affected thereby, as long as the purpose of the Easement Agreement is preserved.

3.5 All notices, consents, approvals or other communications hereunder shall be in writing and shall be deemed properly given if sent by United States certified mail, return receipt requested, addressed to the appropriate party or successor-in-interest.

3.6 This Easement Agreement may be amended, altered, released or revoked only by written agreement between the parties hereto or their heirs, assigns or successors-in-interest, which shall be filed in the Public Records of Monroe County.

3.7 This Easement Agreement shall be construed in accordance with the laws of the State of Florida. All parties acknowledge and agree that in the event of any dispute arising under this Agreement, the sole jurisdiction for such dispute shall be in Monroe County, Florida.

3.8 For the purposes of interpreting any ambiguity arising under this Agreement, no party shall be considered the "drafter" of same.

3.9 Each party agrees and acknowledges that time is of the essence in performing the obligations outlined herein.

3.10 Each party to this Easement Agreement agrees to waive a jury trial on any dispute arising under this Easement Agreement and each party agrees to have any dispute heard by the court without a jury.

3.11 This Easement Agreement may be executed in counterparts, each of which shall constitute an original, but taken together shall constitute one and the same Easement Agreement.

3.12 The undersigned hereby represent and warrant that all action, approvals and consents necessary for the execution of this Easement Agreement have been taken or obtained, and the persons executing this Easement Agreement are authorized and directed to execute this Agreement on behalf of THE CITY OF KEY WEST, FLORIDA and THE HOUSING AUTHORITY OF THE CITY OF KEY WEST.

3.13 No breach of the provisions of this Agreement shall entitle any party to cancel, rescind or terminate this Agreement, but such limitation shall not affect, in any manner, any other rights or remedies which any party may have by reason of any breach of the provisions of this Agreement.

Doc# 1739717
Bk# 2410 Pg# 275

IN WITNESS WHEREOF, the parties have caused Easement Agreement to be executed and sealed as of the date set forth above.

THE CITY OF KEY WEST
a municipal corporation organized and operating
under the laws of the State of Florida

ATTEST:



Cheryl Smith
Cheryl Smith
City Clerk

Morgan McPherson
Morgan McPherson, Mayor

STATE OF FLORIDA
COUNTY OF MONROE

On this 13th day of April, 2009, before me personally appeared Morgan McPherson, as Mayor, of THE CITY OF KEY WEST, a municipal corporation organized and operating under the laws of the State of Florida, who is personally known to me and who acknowledged execution of the foregoing instrument.



[Seal]

SUSAN P. HARRISON
Commission DD 652993
Expires April 8, 2011
Bonded Thru Troy Fair Insurance 800-385-7019

Susan P. Harrison
Notary Public, State of Florida

THE HOUSING AUTHORITY OF THE CITY OF
KEY WEST, FLORIDA, a public body corporate
body public and politic

ATTEST:

By: *[Signature]*
Name: _____
Title: Exec. Dir. / Secy

By: *Frank P. Toppino*
Frank P. Toppino, Board Chairman

STATE OF FLORIDA
COUNTY OF MONROE

On this 13th day of April, 2009, before me personally appeared Frank P. Toppino, as Board Chairman of THE HOUSING AUTHORITY OF THE CITY OF KEY WEST, FLORIDA, a public body corporate and politic, who is personally known to me and who acknowledged execution of the foregoing instrument.



[Seal]

SUSAN P. HARRISON
Commission DD 652993
Expires April 8, 2011
Bonded Thru Troy Fair Insurance 800-385-7019

Susan P. Harrison
Notary Public, State of Florida

EXHIBIT "A"

Doc# 1739717
BK# 2410 Pg# 276

LEGAL DESCRIPTION, Homeless tract:

A Tract of land lying on the Island of Key West, Monroe County, Florida and being known as Lots 2 thru 12, Block 19, "KEY WEST FOUNDATION COMPANY'S Plat No. 2, as recorded in Plat Book 1 at Page 189, of the Public Records Monroe County, Florida and lands located North of Block 19, of said Plat and being more particularly described as follows:

BEGIN at the intersection of the Northerly Right-of-Way Line of Duck Avenue and the extension of the Easterly Right-of-Way Line of 16th. Street, said point also being the Southwest corner of Lot 12, Block 19 of the "KEY WEST FOUNDATIONS COMPANY'S Plat No. 2"; thence N.19°04'29"W., a distance of 584.60 feet; thence N.70°53'53"E., a distance of 127.80 feet; thence N.18°03'49"W., a distance of 59.34 feet; thence N.68°40'16"E., a distance of 231.70 feet; thence S.87°28'07"E., a distance of 94.51 feet; thence N.72°47'35"E., a distance of 70.47 feet; thence S.19°37'19"E., a distance of 344.10 feet; thence N.86°05'47"E., a distance of 29.11 feet; thence S.19°04'00"E., a distance of 129.38 feet to the Northeast corner of Lot 2, Block 19, of "KEY WEST FOUNDATION COMPANY'S Plat No. 2"; thence S.19°04'00"E., a distance of 135.00 feet to the said Northerly Right-of-Way Line of Duck Avenue; thence S.70°56'00"W., and along the said Northerly Right-of-Way Line of Duck Avenue a distance of 550.00 feet to the Point of Beginning.

Parcel contains 333839 square feet or 7.66 acres, more or less.

EXHIBIT "B"**Doc# 1739717
BK# 2410 Pg# 277**

A tract of land lying on the Island of Key West, Monroe County, Florida and lying North of "KEY WEST FOUNDATION COMPANY'S Plat No. 2", as recorded in Plat Book 1, at Page 189, of the Public Records of Monroe County, Florida and being more particularly described as follows:

Begin at the intersection of the Northerly Right-of-Way line of Duck Avenue and the extension and the Easterly Right-of-Way line of 16th Street, said point also being the Southwest corner of lot 12, Block 19, of the "KEY WEST FOUNDATION COMPANY'S Plat No. 2; thence N 70 degrees 56'00" E along the said Northerly Right-of-Way Line of Duck Avenue for 69.43 feet; thence N 19 degrees 04'29" W for 153.98 feet; thence N 70 degrees 56'00" E for 0.57 feet; thence N 19 degrees 04'29" W for 61.03 feet; thence N 25 degrees 59'29" E for 190.72 feet; thence N 19 degrees 06'07" W for 25.00 feet; thence S 70 degrees 53'53" W for 135.00 feet; thence N 19 degrees 04'29" W for 105.67 feet; thence S 70 degrees 56'00" W for 6.31 feet; thence N 19 degrees 04'29" W for 104.33 feet; thence S 70 degrees 53'53" W for 63.69 feet; thence S 19 degrees 04'29" E for 584.60 feet back to the Point of Beginning.

**MONROE COUNTY
OFFICIAL RECORDS**

SITE PLAN



Florida Keys Outreach Coalition for the Homeless

FRI 15 APR 2022 11:24:28AM EST \\USERS\TANNR\DATA\PROBOX (MKK ABP)\2197_JC_FLDC_TRIESDALE_COURT_KEY_WEST_PRODEN_ARCHITECTURE\DRAWINGS\CADFILES\BASEFILES\SCHEMATICS\2022-4-5_FLDC_3D_PACKAGE.DWG

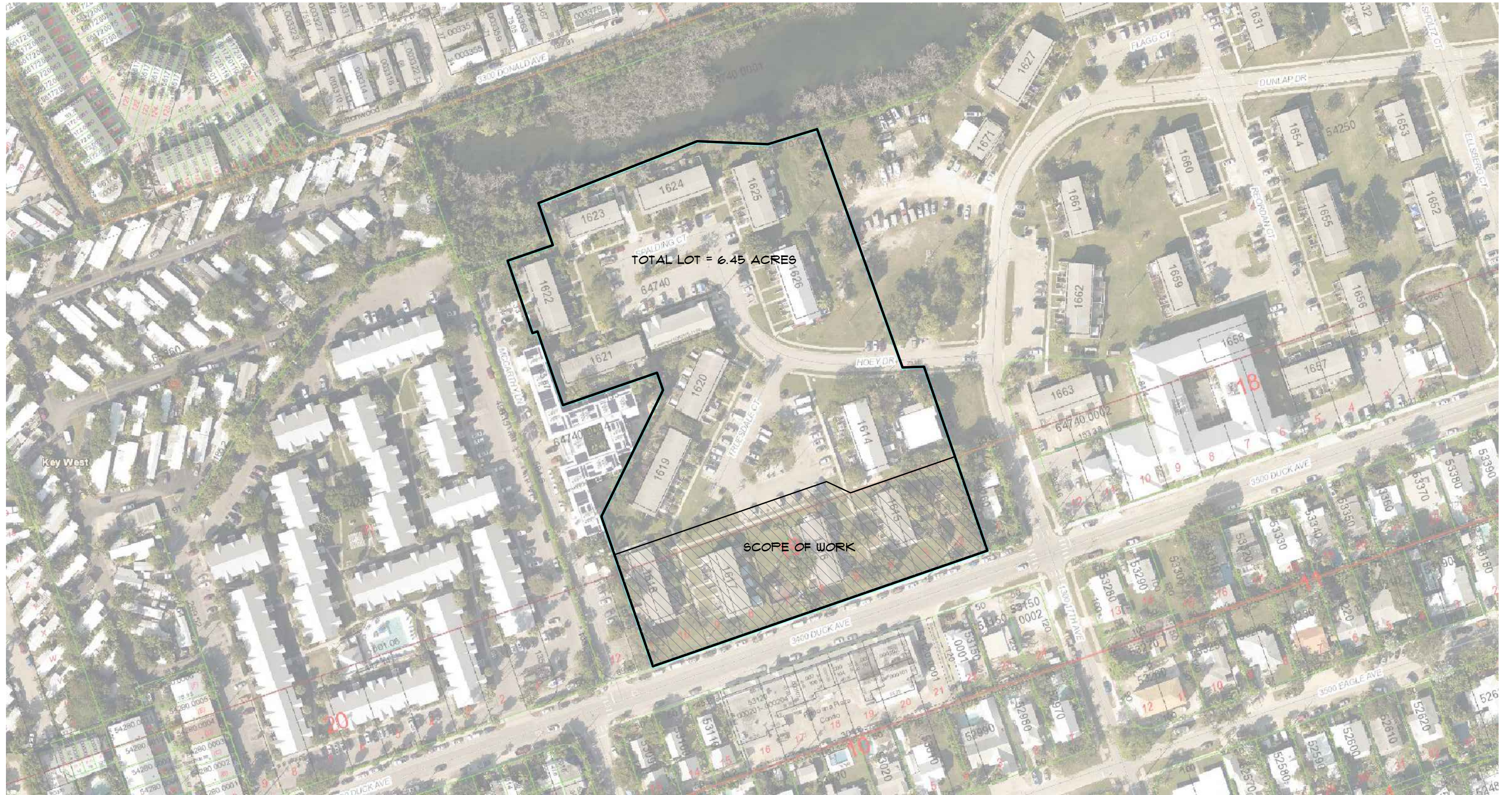
3200 Duck Ave
Key West, FL

2059 TAMAMI TRAIL E.
NAPLES FLORIDA 34112
PHONE: (239) 331-7092
WWW.MHKAP.COM
COPYRIGHT © MKKAP LLC 2021

MHK ARCHITECTURE & PLANNING

CO
4/14/22

FRI 15 APR 2022 11:24:31AM EST. \\USERS\TAMMYR.DAVIS\PROJBOX (MKK ABP)\2197_JNC_FLUC_TRUESDALE_COURT_KEY_WEST_PROJEN_ARCHITECTURE\DRAWINGS\CADFILES\BASEFILES\SCHEMATICS\2022-4-5_FLUC_SD_PACKAGE.DWG



OVERALL LOT PLAN
SCALE: 1/128" = 1'-0"



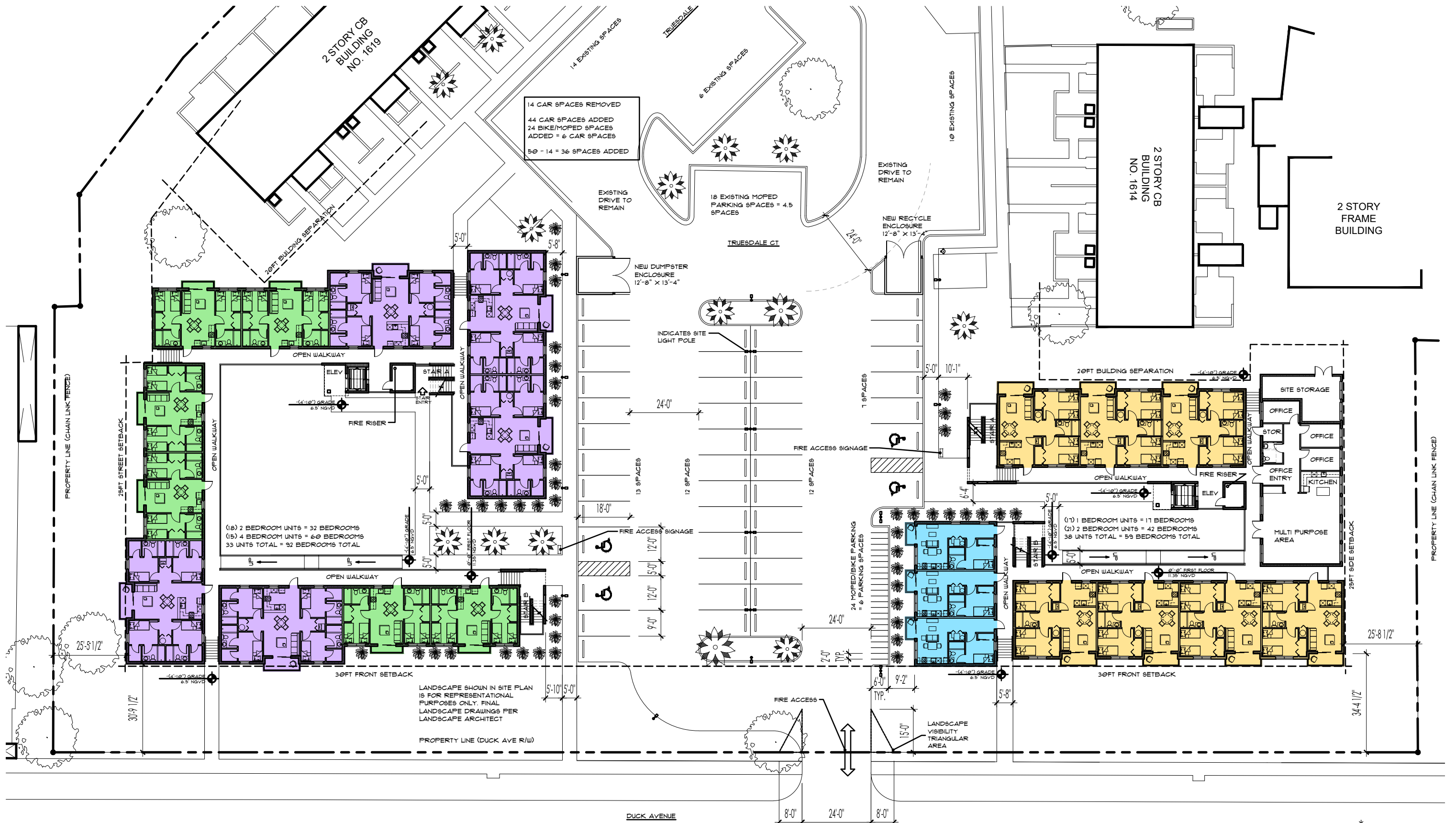
3200 Duck Ave
Key West, FL

2059 TAMAMI TRAIL E.
NAPLES FLORIDA 34112
PHONE: (239) 331-7092
WWW.MHKAP.COM
COPYRIGHT © MKKAP LLC 2021

MHK ARCHITECTURE & PLANNING

SKO
4/14/22

FRI 15 APR 2022 11:24:34AM EST \\USERS\TAMMIR.DAVIS\PROJBOX\MK AP\2197_LIN_PROJ\TRUESDALE_COURT_KEY_WEST_PROJEN_ARCHITECTURE\DRAWINGS\CADFILES\SCHEMATICS\2022-4-5_PROJ_CD_PACKAGE.DWG



14 CAR SPACES REMOVED
44 CAR SPACES ADDED
24 BIKE/MOPED SPACES ADDED = 6 CAR SPACES
58 - 14 = 36 SPACES ADDED

(6) 2 BEDROOM UNITS = 32 BEDROOMS
(15) 4 BEDROOM UNITS = 60 BEDROOMS
33 UNITS TOTAL = 92 BEDROOMS TOTAL

(1) 1 BEDROOM UNITS = 11 BEDROOMS
(2) 2 BEDROOM UNITS = 42 BEDROOMS
38 UNITS TOTAL = 53 BEDROOMS TOTAL

LANDSCAPE SHOWN IN SITE PLAN IS FOR REPRESENTATIONAL PURPOSES ONLY. FINAL LANDSCAPE DRAWINGS PER LANDSCAPE ARCHITECT
PROPERTY LINE (DUCK AVE R/W)

PROPOSED SITE PLAN
SCALE: 1/32" = 1'-0"

3200 Duck Ave
Key West, FL

2059 TAMAMI TRAIL E.
NAPLES FLORIDA 34112
PHONE: (239) 331-7092
WWW.MHKAP.COM
COPYRIGHT © MKAP LLC 2021

MHK ARCHITECTURE & PLANNING

SKI
4/14/22

FRI 15 APR 2022 11:24:38AM EST \\USERS\TAMMIR.DAVIS\PROPOS\3200 DUCK AVE\KEY WEST\PROJEN\ARCHITECTURE\DRAWINGS\CADFILES\BASEFILES\SCHEMATICS\2022-4-5_FKOC_3D_PACKAGE.DWG

3200 Duck Ave
Key West, FL



(18) 2 BEDROOM UNITS = 32 BEDROOMS
 (15) 4 BEDROOM UNITS = 60 BEDROOMS
 33 UNITS TOTAL = 92 BEDROOMS TOTAL

NEW DUMPSTER ENCLOSURE
 12'-8" X 13'-4"

INDICATES SITE LIGHT POLE

13 SPACES

12 SPACES

FIRE ACCESS SIGNAGE

FKOC WEST - PROPOSED 1ST FLOOR

SCALE: 1/16" = 1'-0"

2059 TAMAMI TRAIL E.
 NAPLES FLORIDA 34112
 PHONE: (239) 331-7092
 WWW.MHKAP.COM
 COPYRIGHT © MKAP LLC 2021

MHK ARCHITECTURE & PLANNING

SK2
 4/14/22

FRI 15 APR 2022 11:24:41AM EST: \\USERS\TANNYR_DAVIS\PROBOX (MKK_ABP)\2197_JC_FKOC_TRUESDALE_COURT_KEY_WEST_PROJEN\ARCHITECTURE\DRAWINGS\CADFILES\BASEFILES\SCHEMATICS\2022-4-5_FKOC_3D_PACKAGE.DWG



25FT STREET SETBACK

OPEN WALKWAY

OPEN WALKWAY

FIRE RISER

STAIR A

OPEN WALKWAY

OPEN WALKWAY

30FT FRONT SETBACK

STAIR B

FKOC WEST - PROPOSED 2ND AND 3RD FLOOR

SCALE: 1/16" = 1'-0"



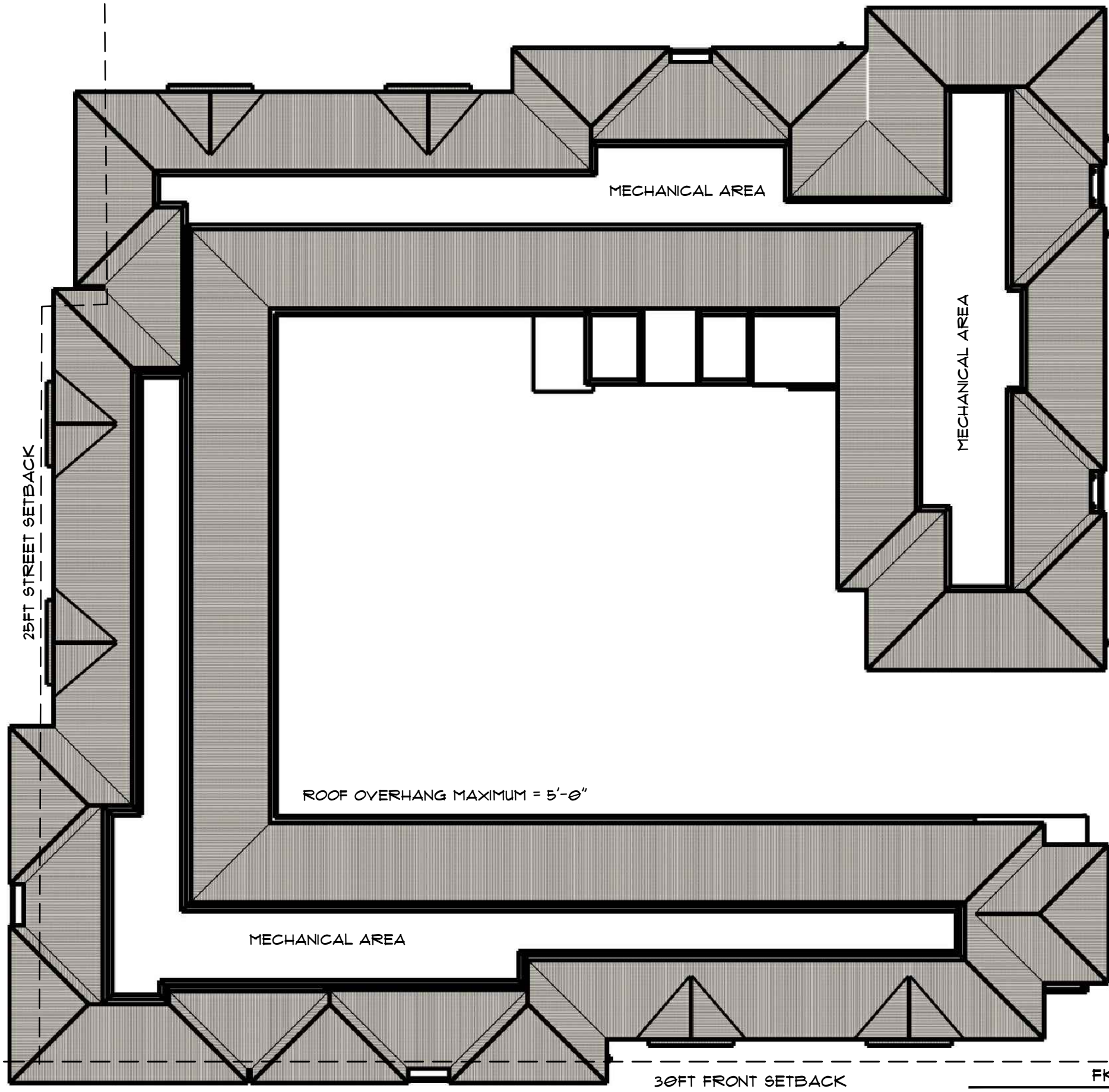
3200 Duck Ave
Key West, FL

2059 TAMAMI TRAIL E.
NAPLES FLORIDA 34112
PHONE: (239) 331-7092
WWW.MHKAP.COM
COPYRIGHT © MKKAP LLC 2021

MHK ARCHITECTURE & PLANNING

SK3
4/14/22

FRI 15 APR 2022 11:24:44AM EST \\USERS\TANNYR_DAVIS\PROBOX (MKH ABP)\2197_LNC_FLDC_WEST_PROJEN\ARCHITECTURE\DRAWINGS\CADFILES\BASEFILES\SCHEMATICS\2022-4-5_FLDC_3D_PACKAGE.DWG



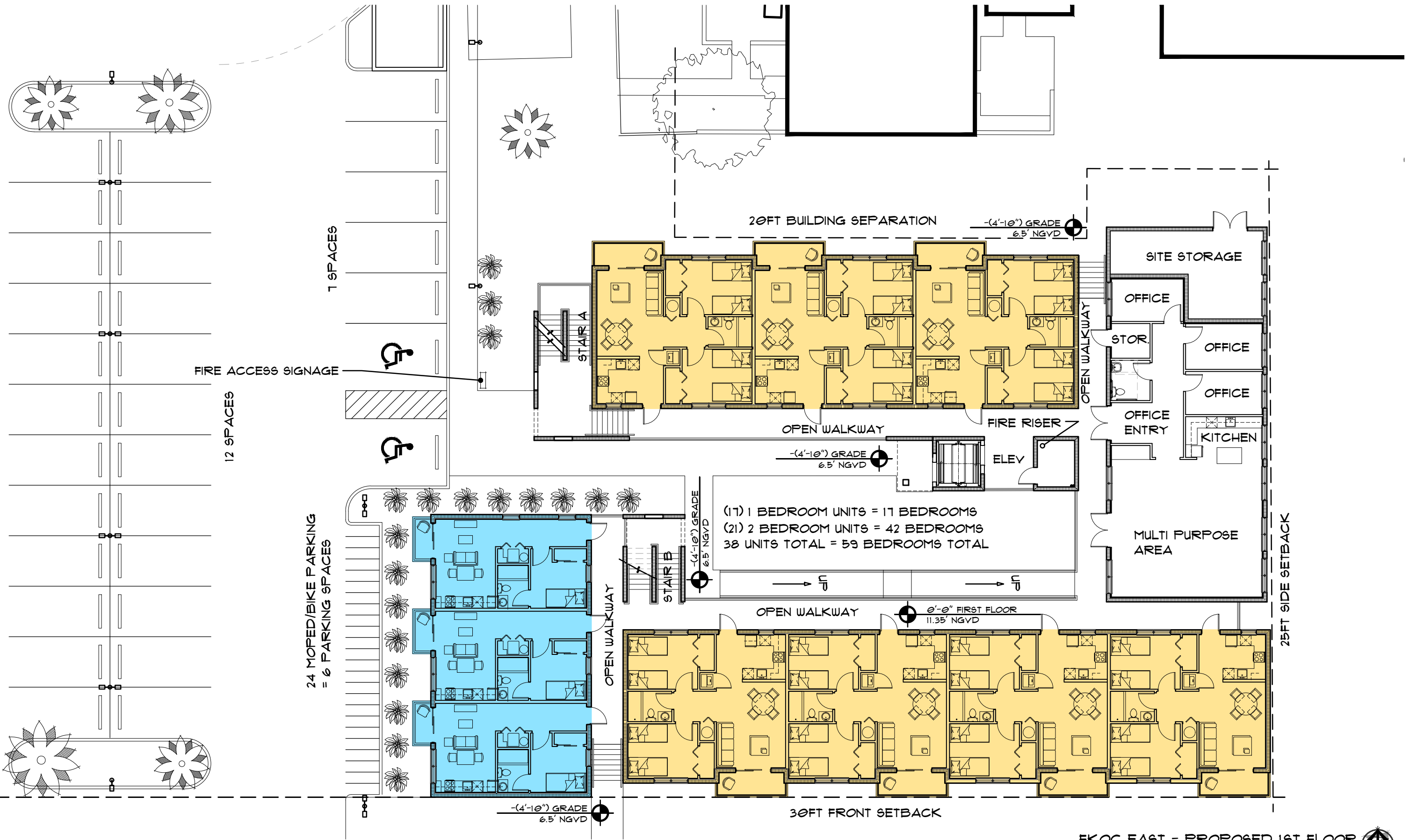
3200 Duck Ave
Key West, FL

2059 TAMAMI TRAIL E.
NAPLES FLORIDA 34112
PHONE: (239) 331-7092
WWW.MHKAP.COM
COPYRIGHT © MKAP, LLC 2021

MHK ARCHITECTURE & PLANNING

SK 4
4/14/22

FRI 15 APR 2022 11:24:48AM EST: \\USERS\TANNER_DAVIS\PROJBOX (MKH ABP)\2197_LNC_FKOC_EAST\PROJECT_ARCHITECTURE\DRAWINGS\CADFILES\BASEFILES\SCHEMATICS\2022-4-5_FKOC_01_PACKAGE.DWG



FKOC EAST - PROPOSED 1ST FLOOR
SCALE: 1/16" = 1'-0"

3200 Duck Ave
Key West, FL

2059 TAMAMI TRAIL E.
NAPLES FLORIDA 34112
PHONE: (239) 331-7092
WWW.MHKAP.COM
COPYRIGHT © MKH&P LLC 2021

MKH ARCHITECTURE & PLANNING

SK5
4/14/22

FRI 15 APR 2022 11:24:51AM EST: \\USERS\TANNER_DAVIS\PROBOX (MKH ABP)\2197_JNC_FKOC_TRUESDALE_COURT_KEY_WEST_PROJEN_ARCHITECTURE\DRAWINGS\CADFILES\BASEFILES\SCHEMATICS\2022-4-5_FKOC_3D_PACKAGE.DWG

3200 Duck Ave
Key West, FL



FKOC EAST - PROPOSED 2ND AND 3RD FLOOR

SCALE: 1/16" = 1'-0"

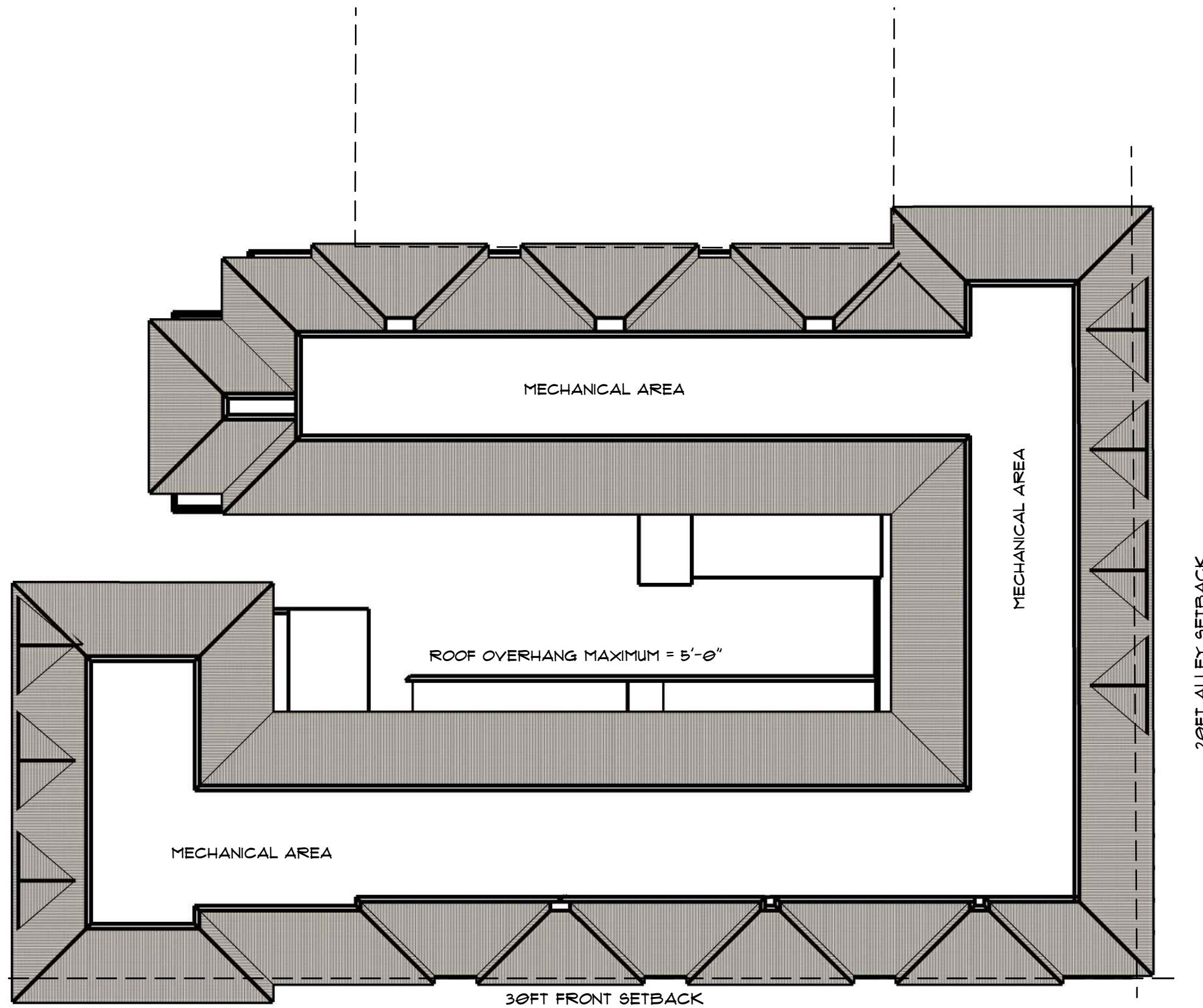


2059 TAMAMI TRAIL E.
NAPLES FLORIDA 34112
PHONE: (239) 331-7092
WWW.MHKAP.COM
COPYRIGHT © MKHAP, LLC 2021

MHK ARCHITECTURE & PLANNING

SK6
4/14/22

FRI 15 APR 2022 11:24:53AM EST: \\USERS\TANNIR.DAVIS\PROBOX (MKK ADP)\2197_JC_FKOC_WEST_PROJEN\ARCHITECTURE\DRAWINGS\CADFILES\BASEFILES\SCHEMATICS\2022-4-5_FKOC_3D_PACKAGE.DWG



FKOC EAST - PROPOSED 2ND AND 3RD FLOOR
 SCALE: 1/16" = 1'-0"

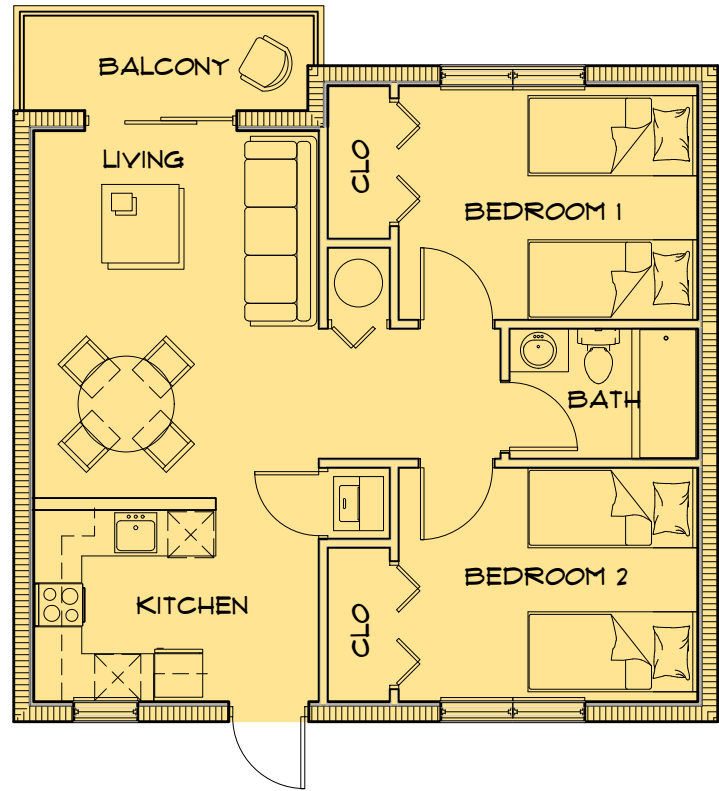


3200 Duck Ave
 Key West, FL

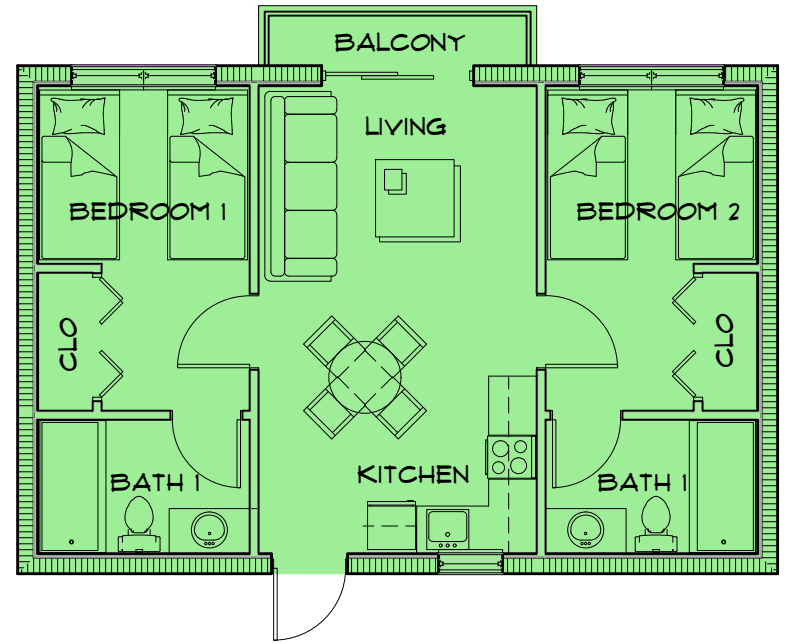
2059 TAMAMI TRAIL E.
 NAPLES FLORIDA 34112
 PHONE: (239) 331-7092
 WWW.MHKAP.COM
 COPYRIGHT © MKKAP, LLC 2021

MHK ARCHITECTURE & PLANNING

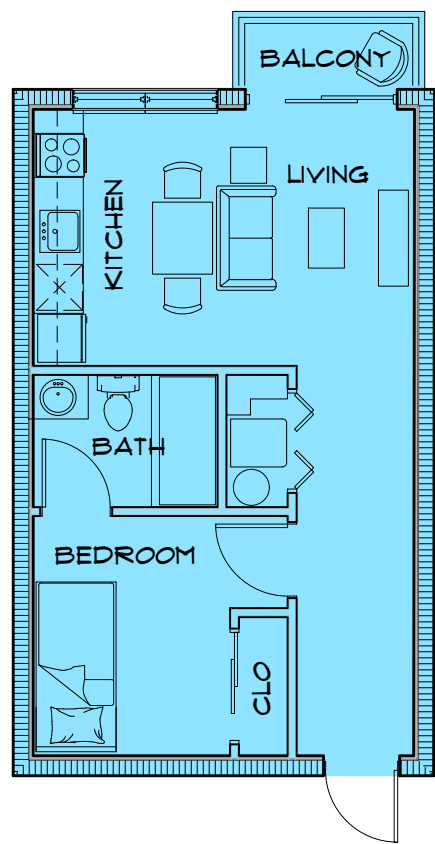
SK1
 4/14/22



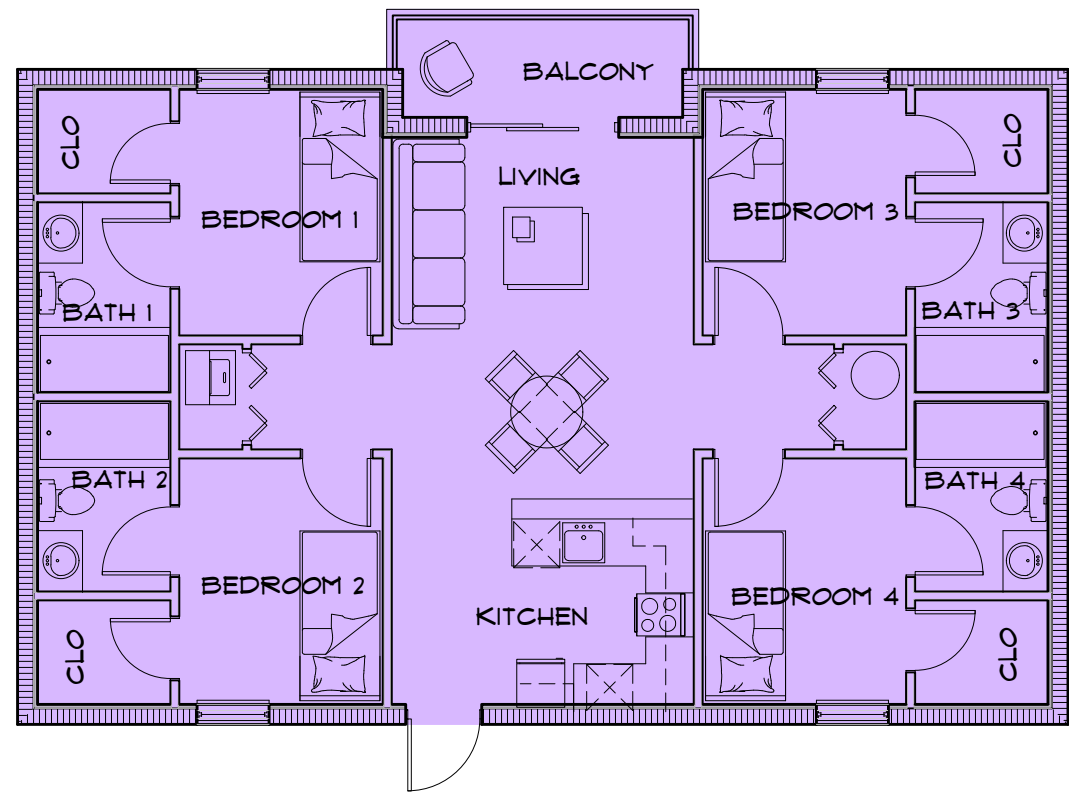
2 BEDROOM
118.8 SQ. FT.



2 SUITE SHARED LIVING &
KITCH
670.3 SQ. FT.



1 BEDROOM
501.0 SQ. FT.



4 SUITE SHARED LIVING &
KITCH
1171.2 SQ. FT.

FRI 15 APR 2022 11:24:56AM EST \\USERS\TANNYR_DAVIS\PROPOBOX (MKH ABP)\2197_LNC_FLDC...TRUESDALE_COURT_KEY WEST_PROJEN\ARCHITECTURE\DRAWINGS\CADFILES\BASEFILES\SCHEMATICS\2022-4-5_FLDC_3D_PACKAGE.DWG

3200 Duck Ave
Key West, FL

2059 TAMAMI TRAIL E.
NAPLES FLORIDA 34112
PHONE: (239) 331-7092
WWW.MHKAP.COM
COPYRIGHT © MKAP, LLC 2021

MHK ARCHITECTURE & PLANNING

SK8
4/14/22

FRI 15 APR 2022 11:26:01AM EST: \\USERS\TANNYR_DAVIS\PRODOB\ (MKH ABP)\2197_JC_FKOC_TRUESDALE_COURT_KEY_WEST_PROBEN_ARCHITECTURE\DRAWINGS\CADFILES\BASEFILES\SCHEMATICS\2022-4-5_FKOC_SD_PACKAGE.DWG



FKOC WEST - NORTH ELEVATION
SCALE: 1/16" = 1'-0"



FKOC WEST - EAST ELEVATION
SCALE: 1/16" = 1'-0"

3200 Duck Ave
Key West, FL

2059 TAMAMI TRAIL E.
NAPLES FLORIDA 34112
PHONE: (239) 331-7092
WWW.MHKAP.COM
COPYRIGHT © MKH&P, LLC 2021

MHK ARCHITECTURE & PLANNING

SK9
4/14/22

FRI 15 APR 2022 11:26:03AM EST \\USERS\TANNYR.DAVIS\PROJBOX (MKH ABP)\2197_LNC_FKOC_TUESDALE_COURT_KEY_WEST_PROJEN\ARCHITECTURE\DRAWINGS\BASEFILES\BASEFILES\SCHEMATICS\2022-4-5_FKOC_3D_PACKAGE.DWG



34'-10" 3RD FLOOR TOP OF SLAB
30'-0" 3RD FLOOR TOP OF SLAB
20'-0" 3RD FLOOR TOP OF SLAB
10'-0" 2ND FLOOR TOP OF SLAB
0'-0" 1ST FLOOR TOP OF SLAB
11.35' NGVD 29
-4'-10" GRADE
6.5' NGVD 29

FKOC EAST - WEST ELEVATION
SCALE: 1/16" = 1'-0"



34'-10" 3RD FLOOR TOP OF SLAB
30'-0" 3RD FLOOR TOP OF SLAB
20'-0" 3RD FLOOR TOP OF SLAB
10'-0" 2ND FLOOR TOP OF SLAB
0'-0" 1ST FLOOR TOP OF SLAB
11.35' NGVD 29
-4'-10" GRADE
6.5' NGVD 29

FKOC EAST - SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

3200 Duck Ave
Key West, FL

2059 TAMAMI TRAIL E.
NAPLES FLORIDA 34112
PHONE: (239) 331-7092
WWW.MHKAP.COM
COPYRIGHT © MKH&P, LLC 2021

MHK ARCHITECTURE & PLANNING

SKIO
4/14/22



FKOC WEST - NORTH ELEVATION

SCALE: 1/16" = 1'-0"



FKOC EAST - EAST ELEVATION

SCALE: 1/16" = 1'-0"

FRI 15 APR 2022 11:26:06AM EST \\USERS\TANNYR.DAVIS\PROBOX (MKH ABP)\2197\JC_FKOC_INVESTDALE_COURT_KEY_WEST_PRODGEN_ARCHITECTURE\DRAWINGS\BASEFILES\BASEFILES\SCHEMATICS\2022-4-5_FKOC_3D_PACKAGE.DWG

3200 Duck Ave
Key West, FL

2059 TAMAMI TRAIL E.
NAPLES FLORIDA 34112
PHONE: (239) 331-7092
WWW.MHKAP.COM
COPYRIGHT © MKHAP, LLC 2021

MHK ARCHITECTURE & PLANNING

SK11
4/14/22



FKOC WEST - WEST ELEVATION
SCALE: 1/16" = 1'-0"



FKOC EAST - SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

FRI 15 APR 2022 11:26:11AM EST: \\USERS\TANNER DAVIS\PROJBOX (MKH A&P)\21197_AJ_C_FKOC_TRUESDALE_COURT_KEY_WEST_PROJECT\ARCHITECTURE\DRAWINGS\CADFILES\BASEFILES\SCHEMATICS\2022-4-5_FKOC_SD_PACKAGE.rvt

3200 Duck Ave
Key West, FL

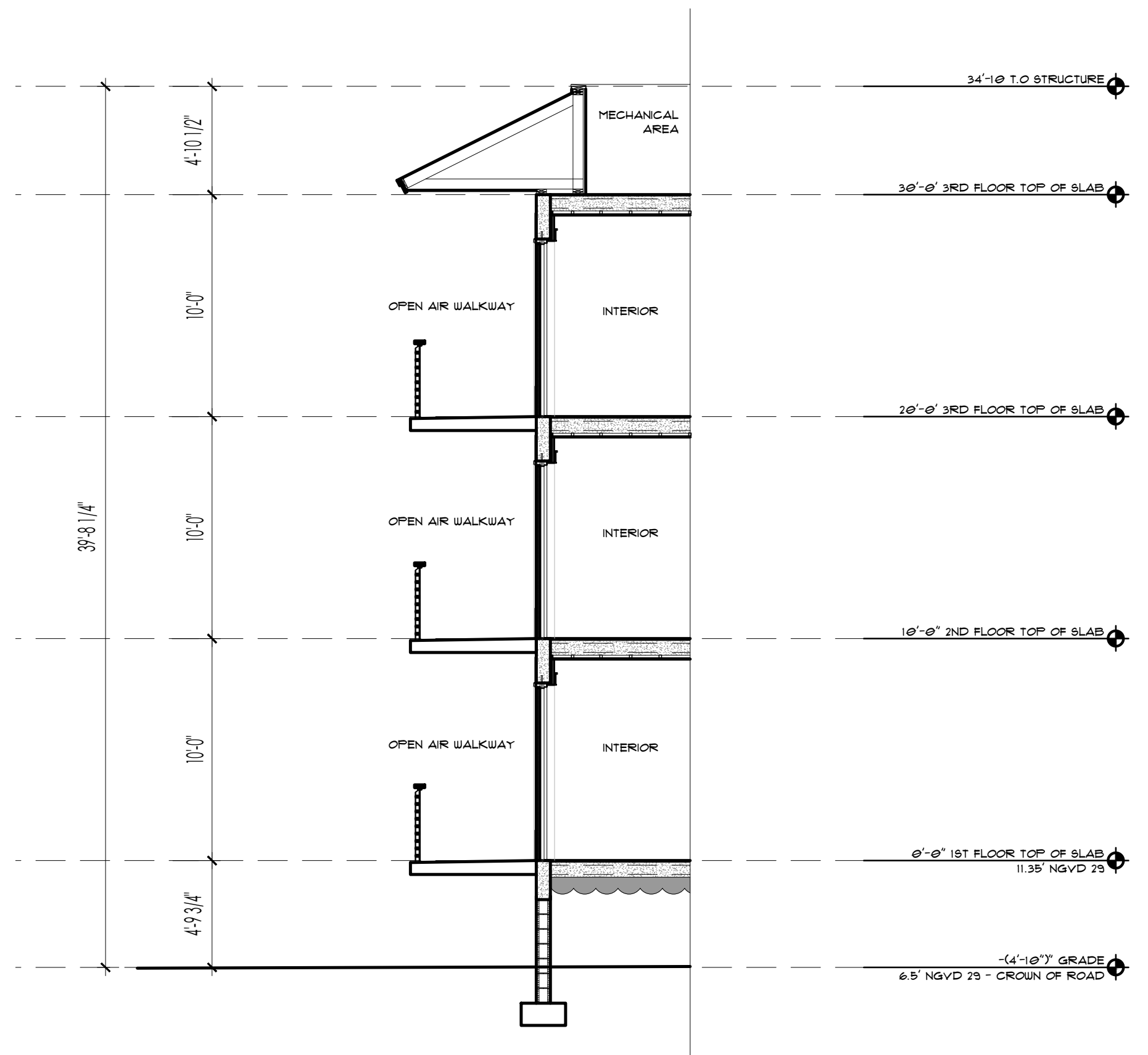
2059 TAMAMI TRAIL E.
NAPLES FLORIDA 34112
PHONE: (239) 331-7092
WWW.MHKAP.COM
COPYRIGHT © MKH&P, LLC 2021

MHK ARCHITECTURE & PLANNING

SK12
4/14/22

FRI 15 APR 2022 11:26:33AM EST: \\USERS\TANNER DAVIS\PROPOX (MKH ABP)\2197_JC_PROG_LTRUESDALE_COURT_KEY_WEST_PROJECT_ARCHITECTURE\DRAWINGS\CADFILES\BASEFILES\SCHEMATICS\2022-4-5_PROG_SD_PACKAGE.DWG

3200 Duck Ave
Key West, FL



TYPICAL WALL SECTION
SCALE: 3/16" = 1'-0"

2059 TAMAMI TRAIL E.
NAPLES FLORIDA 34112
PHONE: (239) 331-7092
WWW.MHKAP.COM
COPYRIGHT © MKH&P, LLC 2021

MHK ARCHITECTURE & PLANNING

SK13
4/14/22

FRI 15 APR 2022 11:26:33AM EST: \\USERS\TANNER_DAVIS\PROBOX (MKH A&P)\2197_JAC_FKOC_TRUESDALE_COURT_KEY_WEST_PROJ\PROJEN_ARCHITECTURE\DRAWINGS\CADFILES\BASEFILES\SCHEMATICS\2022-4-5_FKOC_SD_PACKAGE.DWG



FKOC WEST BUILDING - NORTH EAST PERSPECTIVE



FKOC WEST BUILDING - NORTH WEST PERSPECTIVE



FKOC WEST BUILDING - SOUTH EAST PERSPECTIVE



FKOC WEST BUILDING - SOUTH WEST PERSPECTIVE

3200 Duck Ave
Key West, FL

2059 TAMAMI TRAIL E.
NAPLES FLORIDA 34112
PHONE: (239) 331-7092
WWW.MHKAP.COM
COPYRIGHT © MKH&P, LLC 2021

MHK ARCHITECTURE & PLANNING

SK14
4/14/22

FRI 15 APR 2022 11:26:33AM EST: \\USERS\TANNR\DAVIS\PROBOX (MKK ABP)\2197_JC_FKOC_TRUESDALE_COURT_KEY_WEST_PROJEN_ARCHITECTURE\DRAWINGS\CADFILES\BASEFILES\SCHEMATICS\2022-4-5_FKOC_SD_PACKAGE.DWG



FKOC EAST BUILDING - NORTH EAST PERSPECTIVE



FKOC EAST BUILDING - NORTH WEST PERSPECTIVE



FKOC EAST BUILDING - SOUTH EAST PERSPECTIVE



FKOC EAST BUILDING - SOUTH WEST PERSPECTIVE

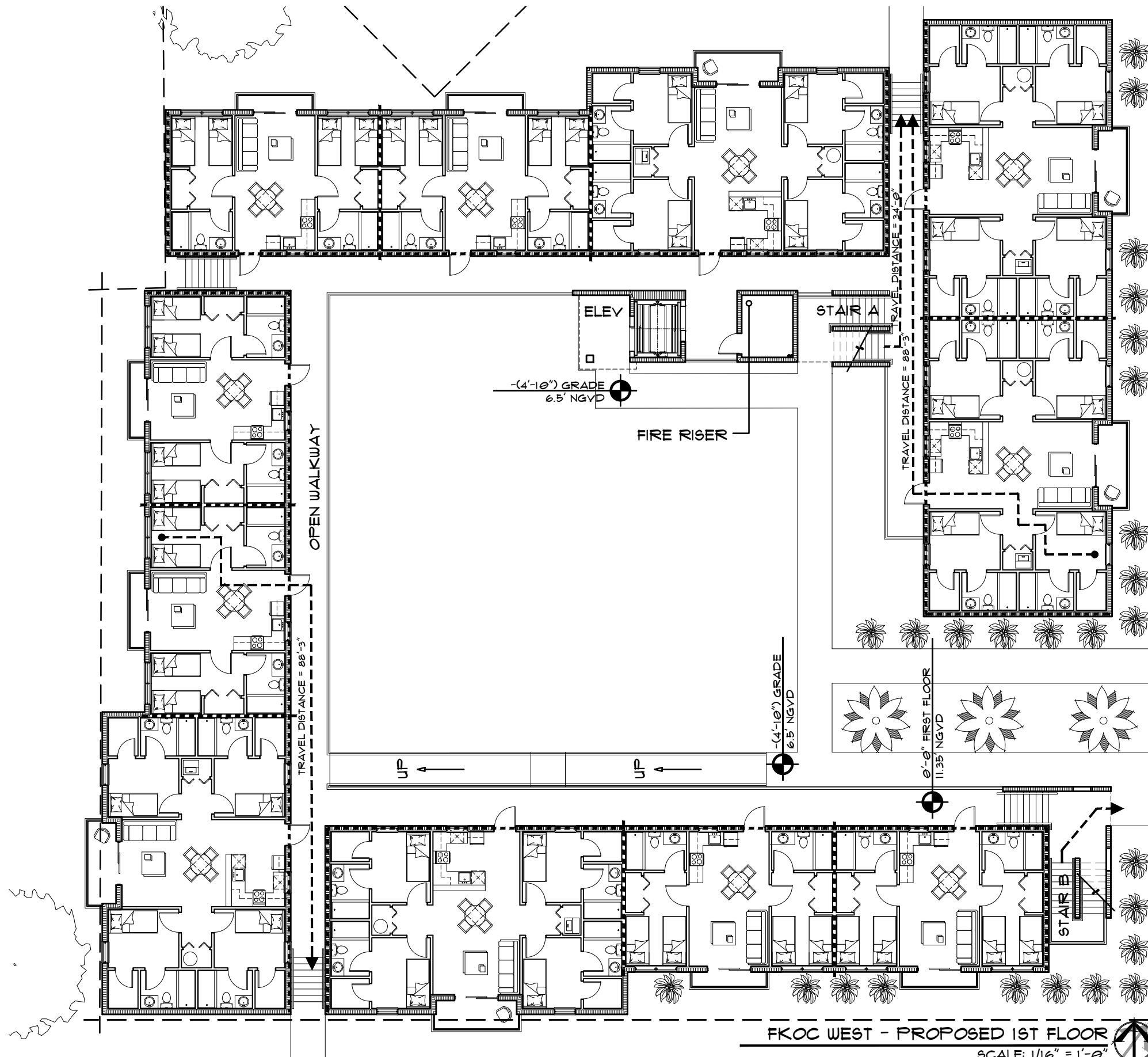
3200 Duck Ave
Key West, FL

2059 TAMAMI TRAIL E.
NAPLES FLORIDA 34112
PHONE: (239) 331-7092
WWW.MHKAP.COM
COPYRIGHT © MKK&P, LLC 2021

MHK ARCHITECTURE & PLANNING

SK15
4/14/22

FRI 15 APR 2022 11:26:08AM EST: \\USERS\TANNER_DAVIS\PROPOD\ (MKK ABP)\2197_JNC_FKOC_WEST_PROJEN_ARCHITECTURE_DRAWINGS\CADFILES\BASEFILES\SCHEMATICS\2022-4-5_FKOC_SD_PACKAGE.DWG



FKOC WEST

EGRESS DISTANCE CALCULATIONS

	DISTANCE TO EGRESS STAIR TOWERS	VERTICAL DISTANCE TO GROUND FLR	DISTANCE TO 1ST FLR + EGRESS STAIR	VERTICAL DISTANCE TO CLEAR	MAX TRAVEL DISTANCE
3RD FLOOR MAX	172'-9"	64'-11"	N/A	11'-9"	249'-5"
2ND FLOOR MAX	172'-9"	21'-10"	N/A	11'-9"	201'-1"
1ST FLOOR MAX	N/A	9'-4"	88'-3"	N/A	91'-1"

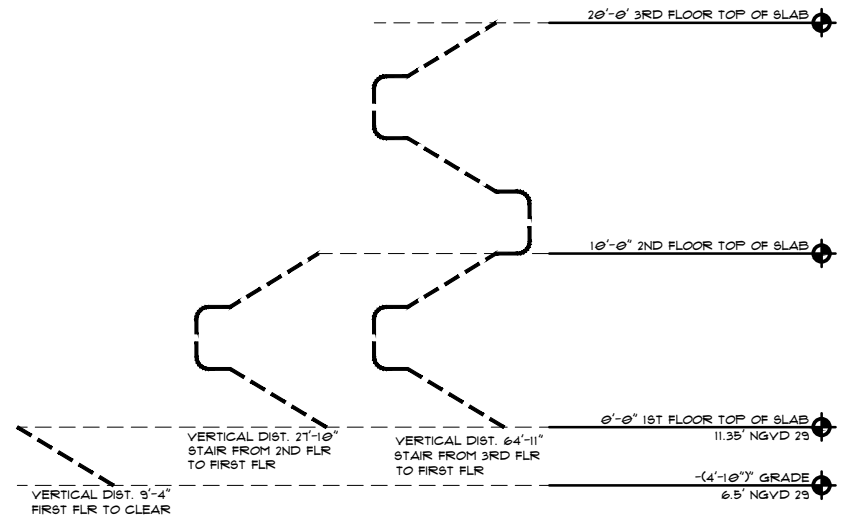
MAX TRAVEL DIST. ALLOWED: 150'
 W/SPRINKLER: 250'
 MAX TRAVEL DISTANCE PROVIDED (INCLUDING VERTICAL PATH): 249'-5"

LIFE SAFETY LEGEND

- 1-HOUR RATED WALL
- NON-RATED WALL
- SURFACE MOUNTED FIRE EXTINGUISHER, 2A-10BC W/ WALL BRACKET
- EXIT SIGNAGE / DIRECTION
- TRAVEL DISTANCE
- SMOKE/CO2 DETECTOR

LIFE SAFETY NOTES

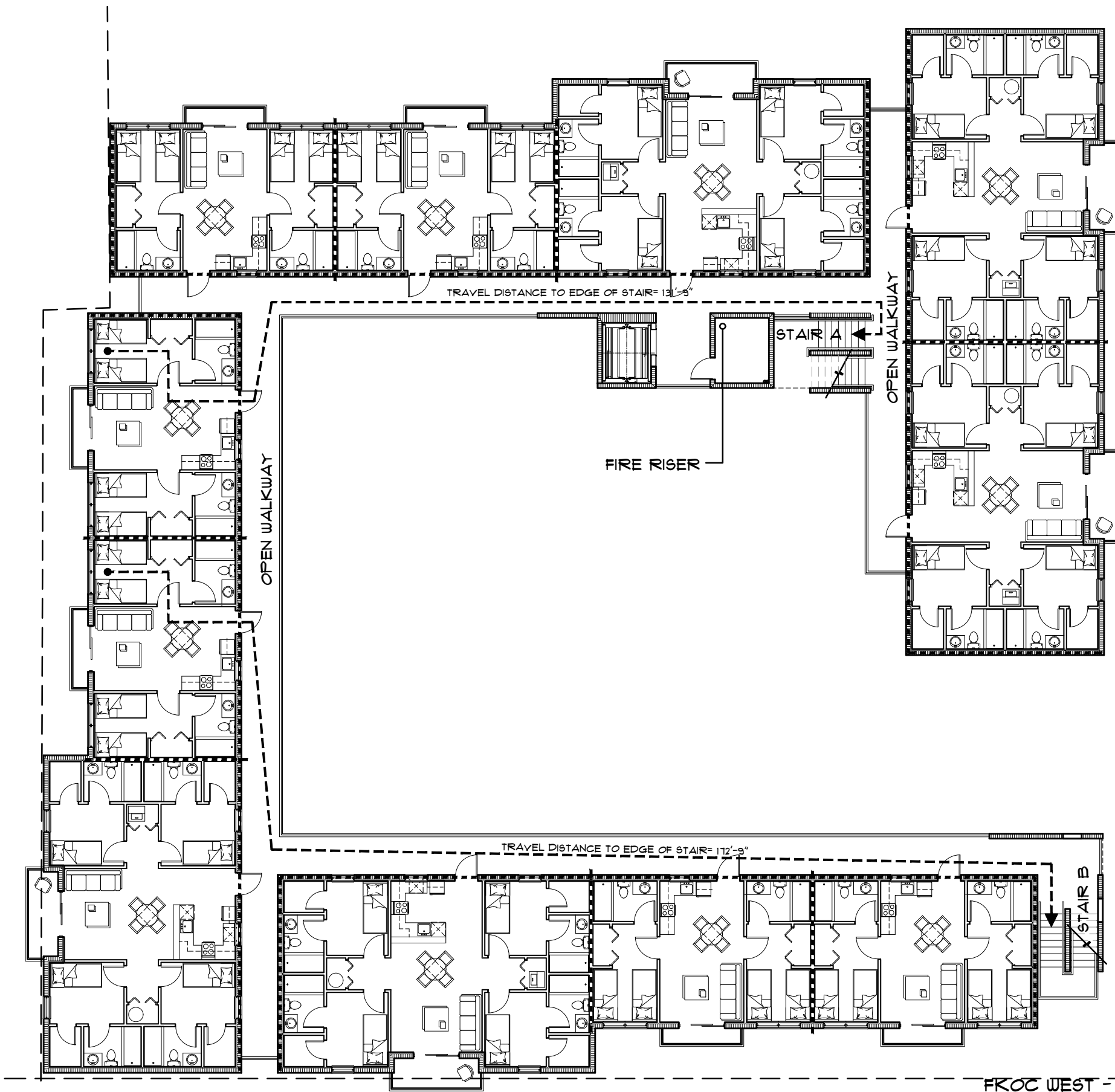
- FIRE PROTECTION SYSTEM IS NFPA 13 FULL SPRINKLER SYSTEM
 - PROVIDE AT EACH STAIR TOWER SIGNAGE ON EACH FLOOR LEVEL STATING THE FOLLOWING: (STAIR LOCATION, YOUR CURRENT LEVEL YOU ARE ON, # OF LEVELS TO EXIT W/ DIRECTIONAL ARROW, INDICATE IF STAIR EXTENDS TO THE ROOF, INDICATE LEVEL THE STAIR TOWER TERMINATES AT)
- EXAMPLE: STAIR #1
 YOU ARE ON LEVEL #4
 EXIT (W/ DIRECTIONAL ARROW) # OF FLOORS TO EXIT)
 THIS STAIR EXTENDS FROM GROUND FLOOR TO FOURTH FLOOR
 BRAILLE MARKING



3200 Duck Ave
 Key West, FL

2059 TAMAMI TRAIL E.
 NAPLES FLORIDA 34112
 PHONE: (239) 331-7092
 WWW.MHKAP.COM
 COPYRIGHT © MKAP LLC 2021

FRI 15 APR 2022 11:26:22AM EST \\USERS\TANNYR_DAVIS\PROBOX (MKK_ABP)\2197_LNC_FLWC_INVESDALE_COURT_KEY_WEST_PROJEN\ARCHITECTURE\DRAWINGS\BASEFILES\BASEFILES\SCHEMATICS\2022-4-5_FLWC_3D_PACKAGE.DWG



FKOC WEST - PROPOSED 2ND AND 3RD FLOOR

SCALE: 1/16" = 1'-0"



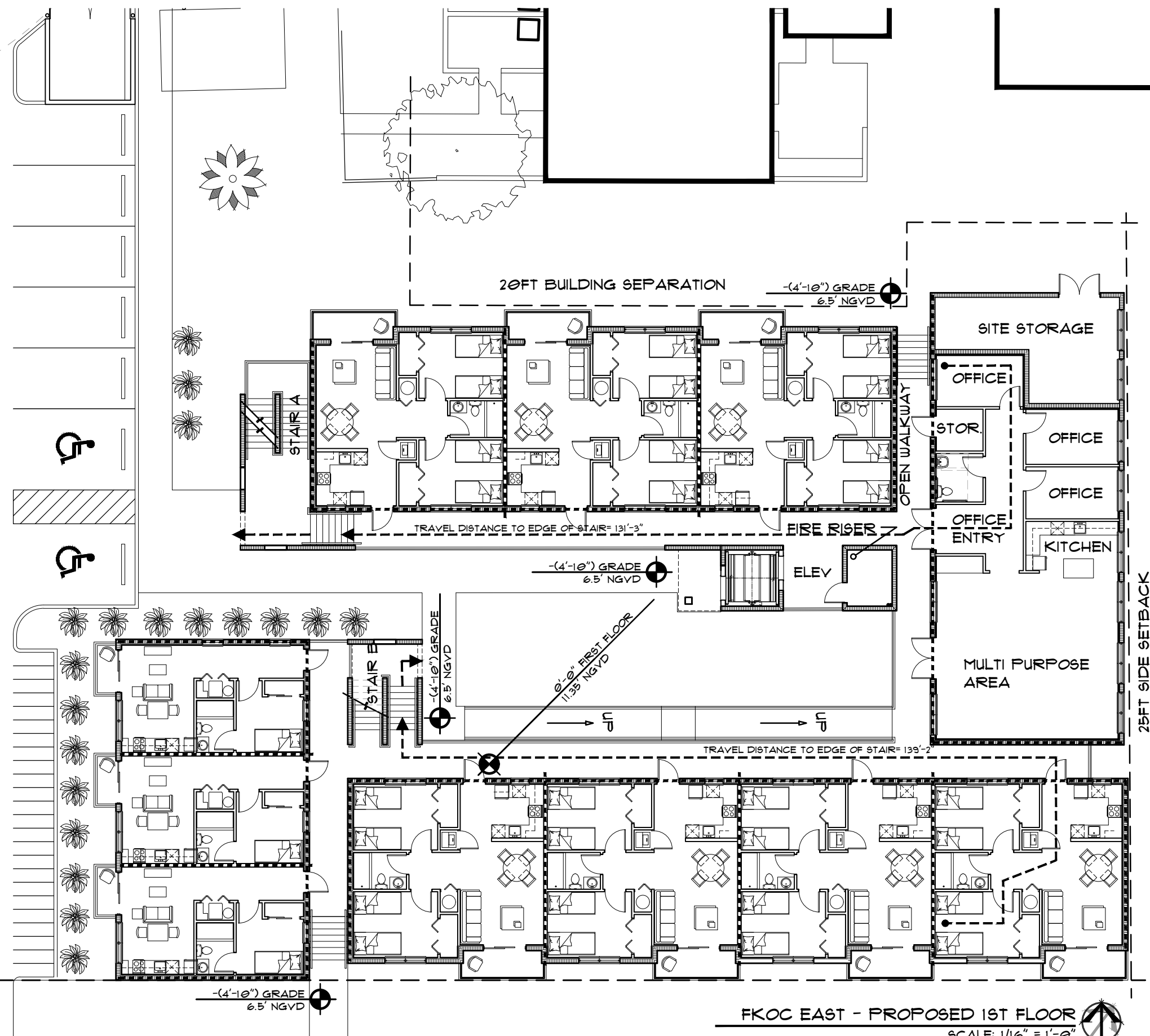
3200 Duck Ave
Key West, FL

2059 TAMAMI TRAIL E.
NAPLES FLORIDA 34112
PHONE: (239) 331-7092
WWW.MHKAP.COM
COPYRIGHT © MKK&P, LLC 2021

MHK ARCHITECTURE & PLANNING

SK17
4/14/22

FRI 15 APR 2022 11:25:25AM EST \\USERS\TANNER.DAVIS\PROPOS\MKH ABP\2197_LNC_FKOC_TRUESDALE_COURT_KEY_WEST_PROJEN_ARCHITECTURE_DRAWINGS\CADFILES\BASEFILES\SCHEMATICS\2022-4-5_FKOC_3D_PACKAGE.DWG



FKOC EAST - PROPOSED 1ST FLOOR
 SCALE: 1/16" = 1'-0"

FKOC EAST

EGRESS DISTANCE CALCULATIONS					
	DISTANCE TO EGRESS STAIR TOWERS	VERTICAL DISTANCE TO GROUND FLR	DISTANCE TO 1ST FLR EGRESS STAIR	VERTICAL DISTANCE TO CLEAR	MAX TRAVEL DISTANCE
3RD FLOOR MAX	162'-6"	64'-11"	N/A	11'-9"	239'-2"
2ND FLOOR MAX	162'-6"	21'-10"	N/A	11'-9"	202'-1"
1ST FLOOR MAX	N/A	9'-4"	131'-3"	9'-8"	152'-1"

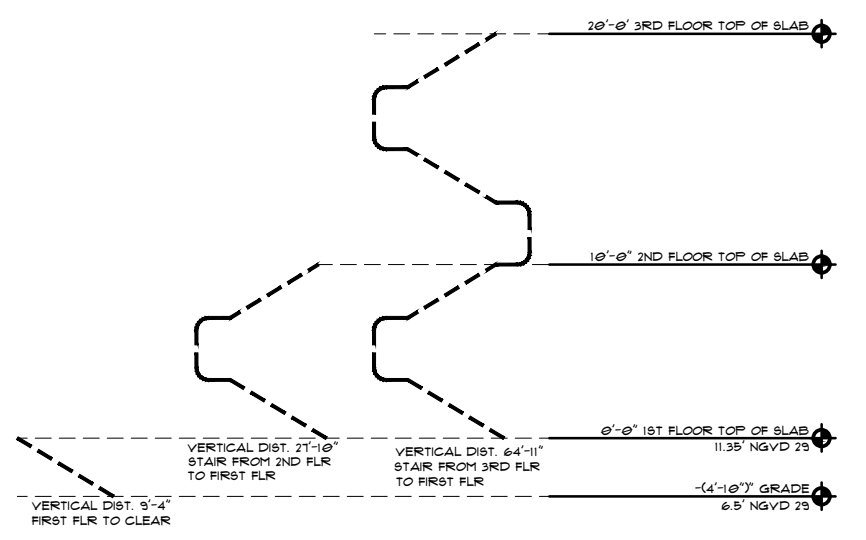
MAX TRAVEL DIST. ALLOWED W/SPRINKLER: 150'
 MAX TRAVEL DISTANCE PROVIDED (INCLUDING VERTICAL PATH): 249'-5"

LIFE SAFETY LEGEND

- 1-HOUR RATED WALL
- NON-RATED WALL
- SURFACE MOUNTED FIRE EXTINGUISHER, 2A-10BC W/ WALL BRACKET
- EXIT SIGNAGE / DIRECTION
- TRAVEL DISTANCE
- SMOKE/CO2 DETECTOR

LIFE SAFETY NOTES

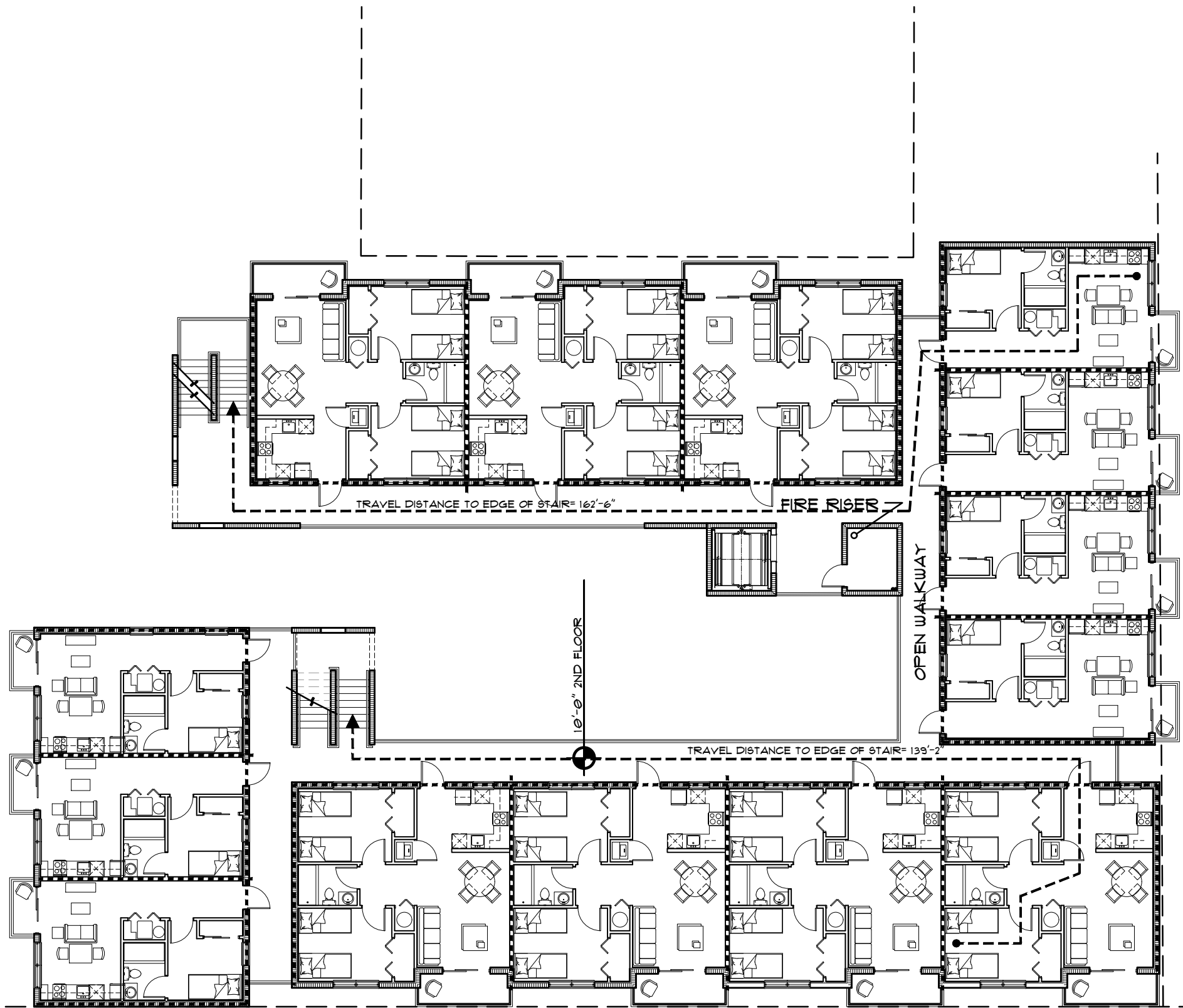
- FIRE PROTECTION SYSTEM IS NFPA 13 FULL SPRINKLER SYSTEM
 - PROVIDE AT EACH STAIR TOWER SIGNAGE ON EACH FLOOR LEVEL STATING THE FOLLOWING: (STAIR LOCATION, YOUR CURRENT LEVEL YOU ARE ON, # OF LEVELS TO EXIT W/ DIRECTIONAL ARROW, INDICATE IF STAIR EXTENDS TO THE ROOF, INDICATE LEVEL THE STAIR TOWER TERMINATES AT.)
- EXAMPLE: STAIR #1
 YOU ARE ON LEVEL #4
 EXIT (W/ DIRECTIONAL ARROW# OF FLOORS TO EXIT)
 THIS STAIR EXTENDS FROM GROUND FLOOR TO FOURTH FLOOR
 BRAILLE MARKING



3200 Duck Ave
 Key West, FL

2059 TAMAMI TRAIL E.
 NAPLES FLORIDA 34112
 PHONE: (239) 331-7092
 WWW.MHKAP.COM
 COPYRIGHT © MKH&P LLC 2021

FR 15 APR 2022 11:25:30AM EST: \\USERS\TANNYR_DAVIS\PROPOS\2197_JNC_FKOC_EAST\PROJEN\ARCHITECTURE\DRAWINGS\CADFILES\BASEFILES\SCHEMATICS\2022-4-5_FKOC_3D_PACKAGE.DWG



FKOC EAST - PROPOSED 2ND AND 3RD FLOOR

SCALE: 1/16" = 1'-0"



3200 Duck Ave
Key West, FL

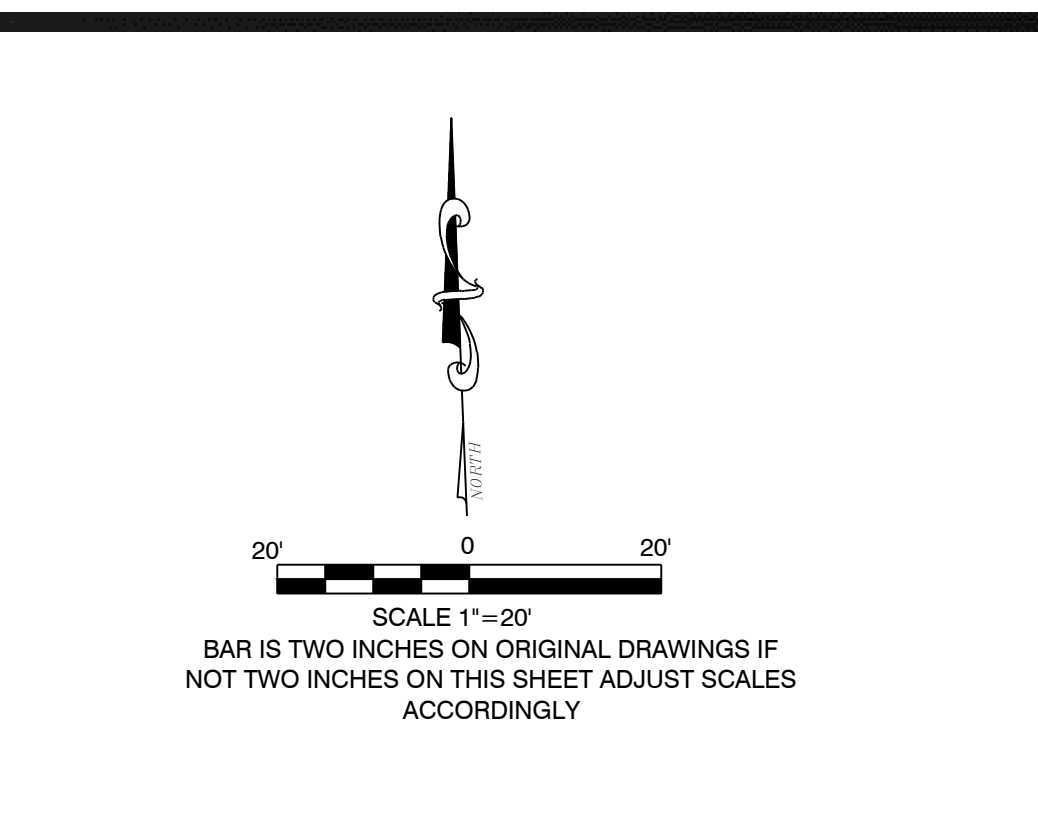
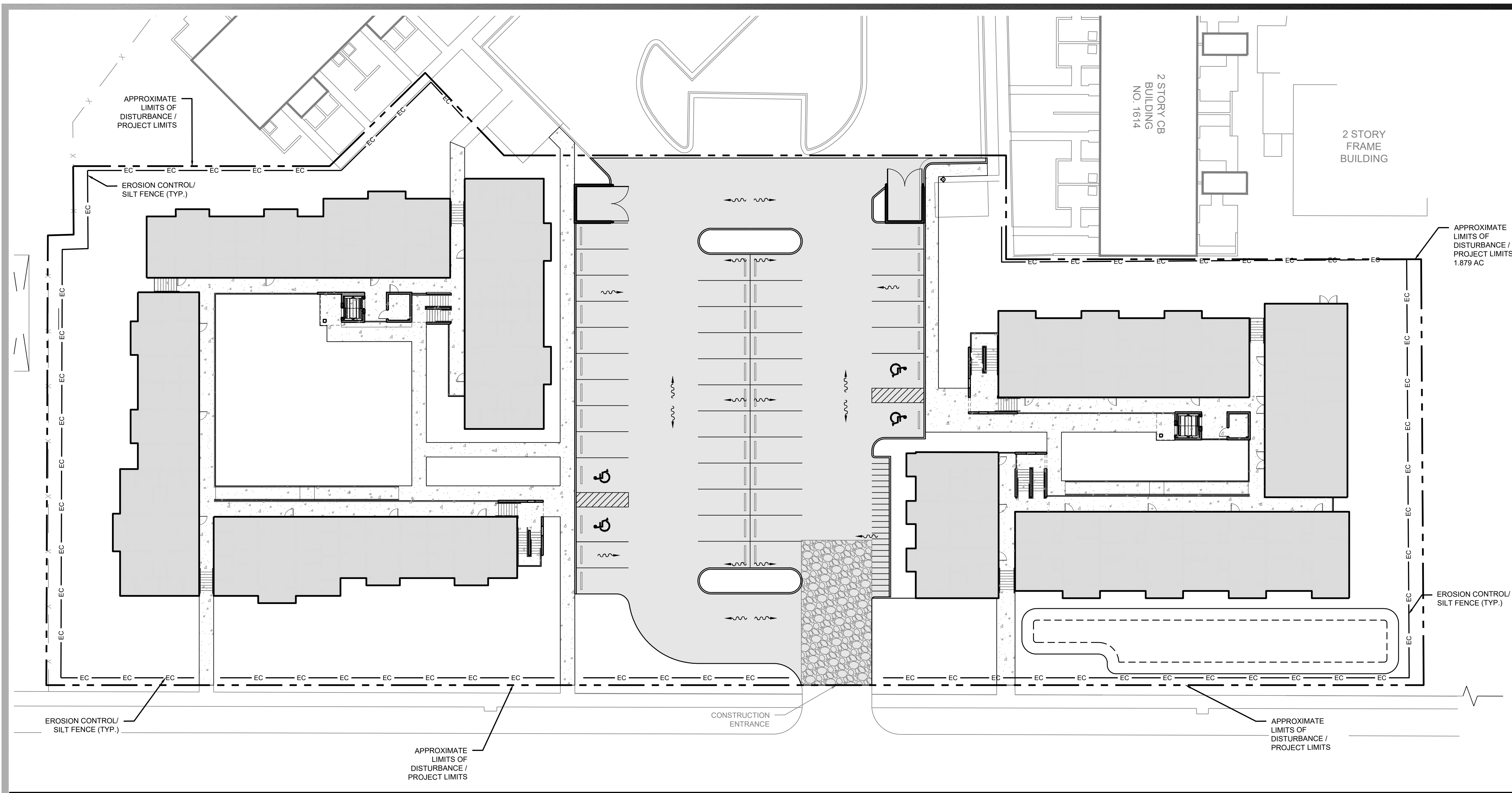
2059 TAMAMI TRAIL E.
NAPLES FLORIDA 34112
PHONE: (239) 331-7092
WWW.MHKAP.COM
COPYRIGHT © MKAP, LLC 2021

MHK ARCHITECTURE & PLANNING

SK19

4/14/22

C:\Users\Allen.Perez\Documents\Projects\2022\22-1016\dwg\Preliminary\SITE.dwg (C:\00 EDC) Plotted on: Apr 14, 2022 - 2:07pm by Allen Perez



SWPPP GENERAL NOTES

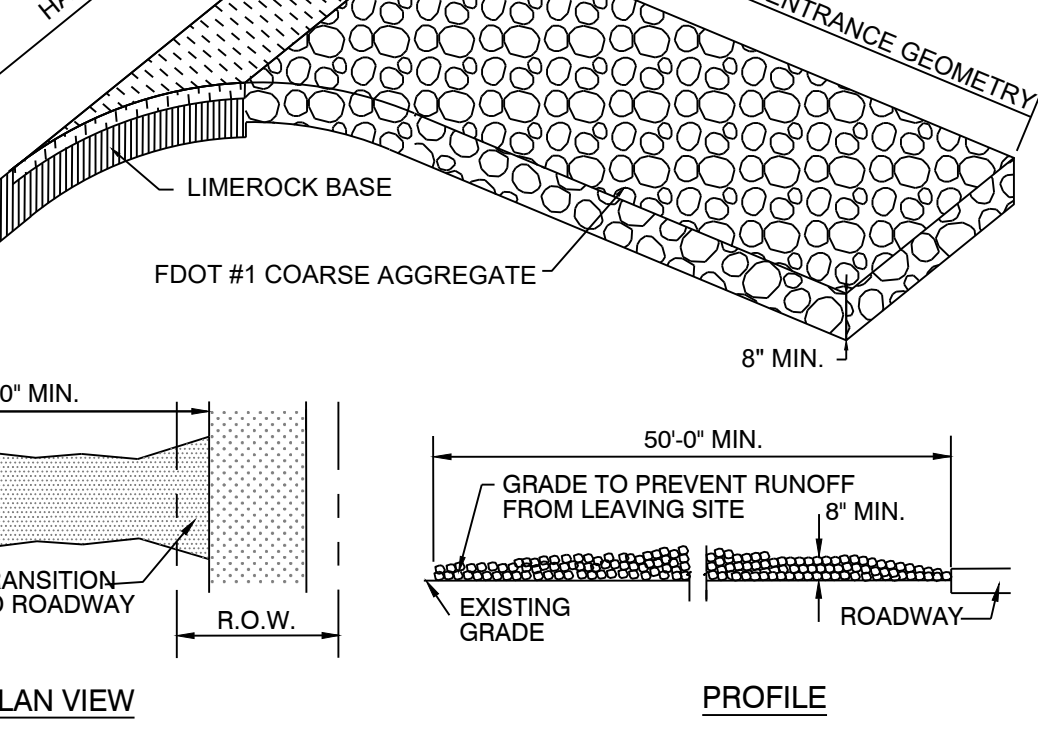
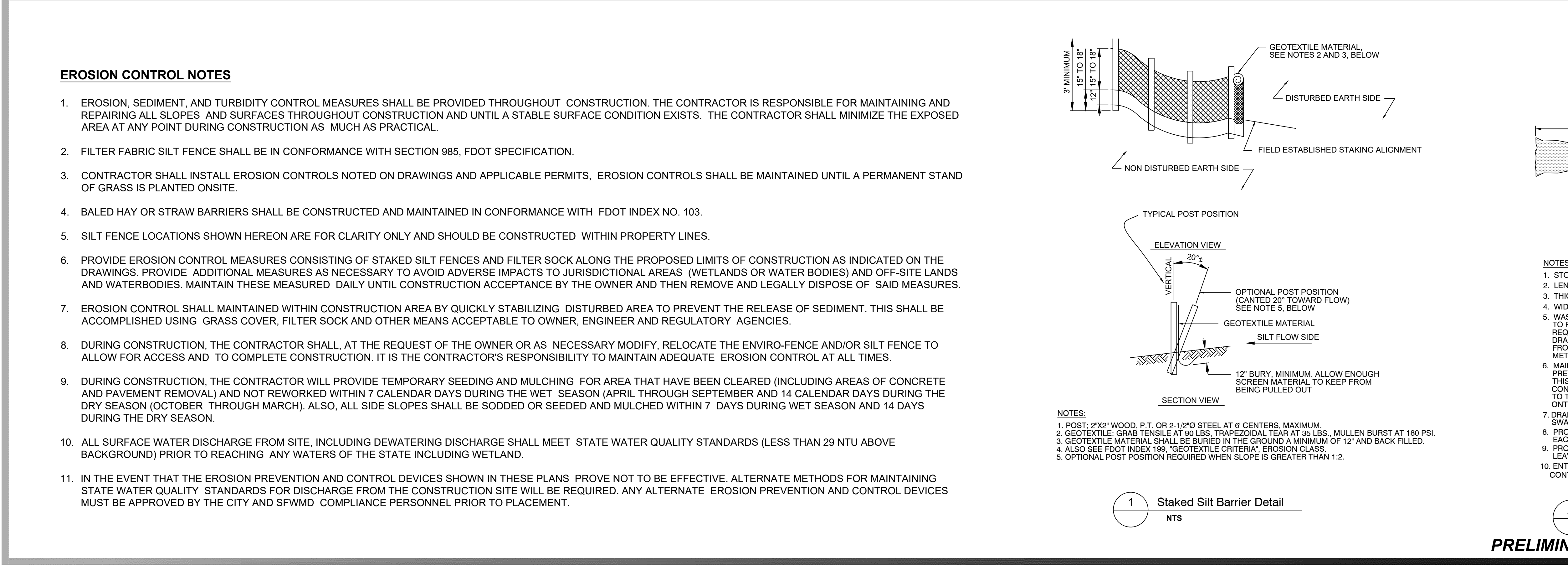
- ALL AREAS WITHIN THE PROJECT LIMITS WILL BE SUBJECTED TO SOIL DISTURBANCE.
- THE ATTACHED BEST MANAGEMENT PRACTICES (BMP'S) DETAILS AND SPECIFICATIONS ARE ONLY A SUGGESTED APPROACH DEVELOPED FOR USE BY THE OWNER/CONTRACTOR TO ASSIST THEM IN IMPLEMENTING APPROPRIATE POLLUTION PREVENTION TECHNIQUES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING THE SWPPP.
- THE CONTRACTOR SHALL SUBMIT A "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES, DEP FORM 62-621.300(4)(B)," ALSO KNOWN AS NOTICE OF INTENT OR NOI, TO THE DEPARTMENT, AND SUBMIT THE PERMIT FEE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE BEST MANAGEMENT PRACTICES AS OUTLINED IN THE CIVIL DOCUMENTS, THE STORMWATER POLLUTION PREVENTION PLAN, AND SPECIFICATION.
- THE CONTRACTOR SHALL SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN FOR APPROVAL PRIOR TO STARTING CONSTRUCTION.

CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT

PEREZ ENGINEERING & DEVELOPMENT, INC

1010 East West Blvd., Suite 202
Key West, Florida 33940
Tel: (305) 293-9440

ALLEN E. PEREZ, P.E.
Florida P.E. NO. 51468
April 14, 2022



NOTES:

- STONE SIZE- 3 TO 5 INCH OPEN GRADED ROCK.
- LENGTH- AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
- THICKNESS- NOT LESS THAN 8 INCHES.
- WIDTH- NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
- WASHING OF ALL VEHICLE UNDERCARRIAGE, WHEEL WELLS AND WHEELS IS MANDATORY TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED STRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE USING APPROVED METHODS.
- MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
- DRAINAGE- ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
- PROVIDE WATER SUPPLY AND MINIMUM 100 FT. LONG HOSE AND SPIGOT AT EACH DESIGNATED CONSTRUCTION EXIT.
- PROVIDE SIGNAGE AT EACH DESIGNATED EXIT REQUIRING WASHING OF ALL VEHICLES LEAVING SITE.
- ENTRANCE LOCATIONS FOR SCHEMATIC PURPOSES ONLY AND ARE APPROXIMATE. CONTRACTOR TO COORDINATE ACTUAL LOCATIONS ACCORDING TO PHASING PLANS.

ORIGINAL: APRIL 2022

REVISIONS:	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

FL. KEYS OUTREACH COALITION
3200 DUCK AVENUE
KEY WEST, FL, 33040
EROSION CONTROL PLAN

FKOC, INC.
PO BOX 4767
KEY WEST, FL, 33041

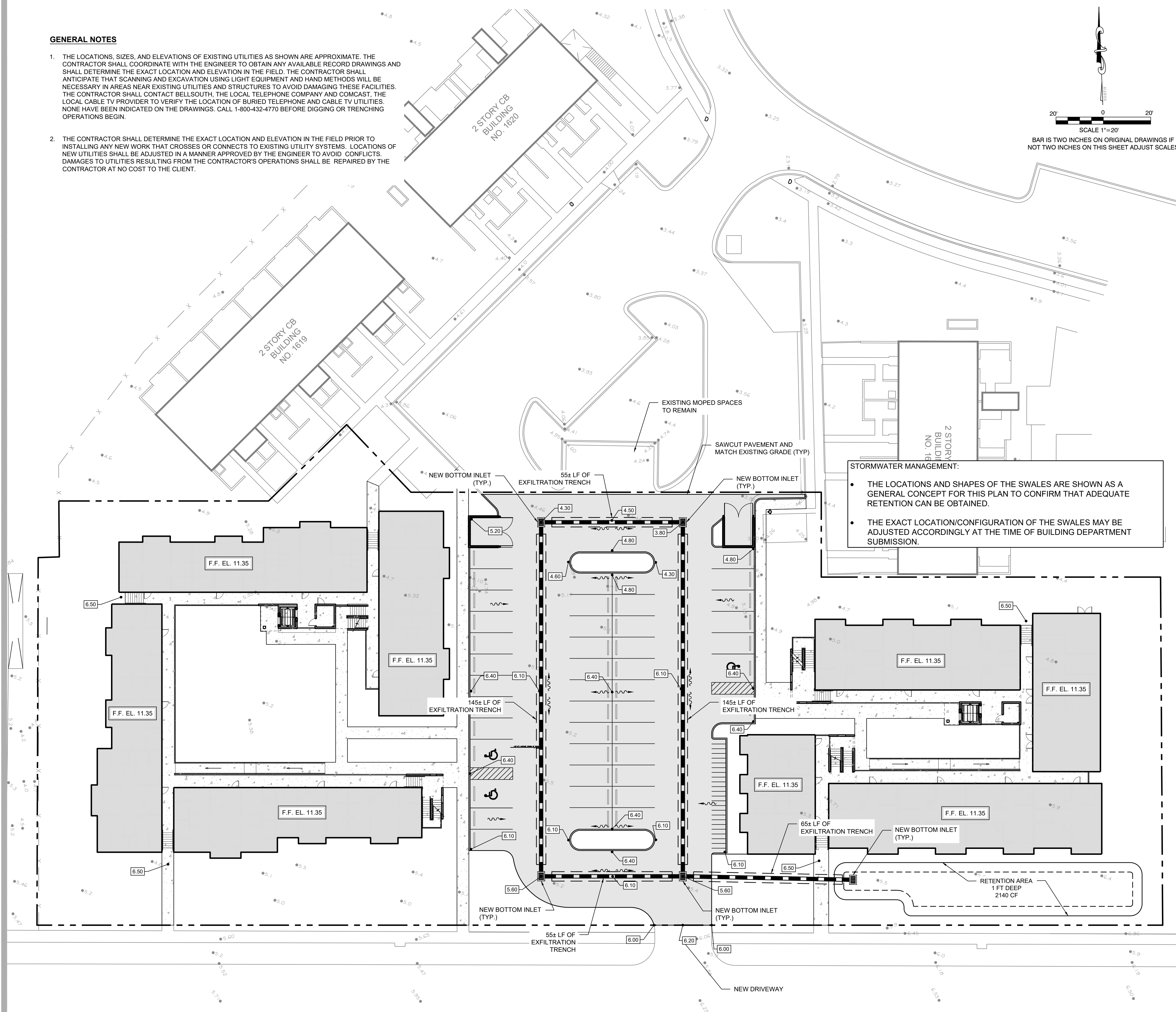
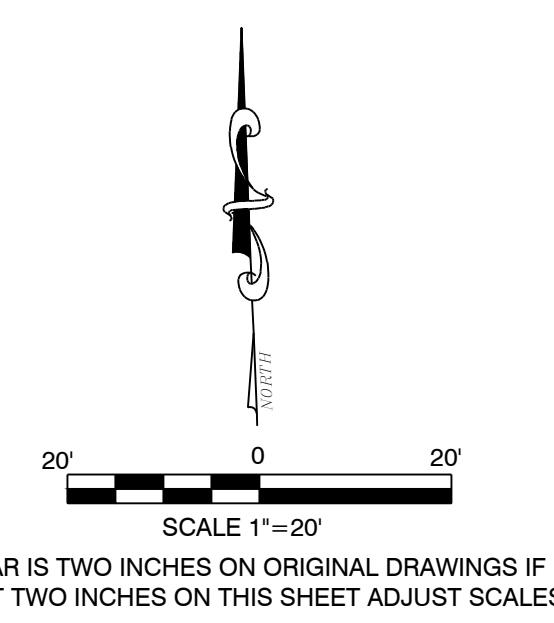
JOB NO. 221016
DRAWN AEP
DESIGNED AEP
CHECKED AEP

SHEET C-100

PRELIMINARY PLAN - NOT FOR CONSTRUCTION

GENERAL NOTES

1. THE LOCATIONS, SIZES, AND ELEVATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER TO OBTAIN ANY AVAILABLE RECORD DRAWINGS AND SHALL DETERMINE THE EXACT LOCATION AND ELEVATION IN THE FIELD. THE CONTRACTOR SHALL ANTICIPATE THAT SCANNING AND EXCAVATION USING LIGHT EQUIPMENT AND HAND METHODS WILL BE NECESSARY IN AREAS NEAR EXISTING UTILITIES AND STRUCTURES TO AVOID DAMAGING THESE FACILITIES. THE CONTRACTOR SHALL CONTACT BELL SOUTH, THE LOCAL TELEPHONE COMPANY AND COMCAST, THE LOCAL CABLE TV PROVIDER TO VERIFY THE LOCATION OF BURIED TELEPHONE AND CABLE TV UTILITIES. NONE HAVE BEEN INDICATED ON THE DRAWINGS. CALL 1-800-432-4770 BEFORE DIGGING OR TRENCHING OPERATIONS BEGIN.
2. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION IN THE FIELD PRIOR TO INSTALLING ANY NEW WORK THAT CROSSES OR CONNECTS TO EXISTING UTILITY SYSTEMS. LOCATIONS OF NEW UTILITIES SHALL BE ADJUSTED IN A MANNER APPROVED BY THE ENGINEER TO AVOID CONFLICTS. DAMAGES TO UTILITIES RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE CLIENT.



STORMWATER MANAGEMENT:

- THE LOCATIONS AND SHAPES OF THE SWALES ARE SHOWN AS A GENERAL CONCEPT FOR THIS PLAN TO CONFIRM THAT ADEQUATE RETENTION CAN BE OBTAINED.
- THE EXACT LOCATION/CONFIGURATION OF THE SWALES MAY BE ADJUSTED ACCORDINGLY AT THE TIME OF BUILDING DEPARTMENT SUBMISSION.

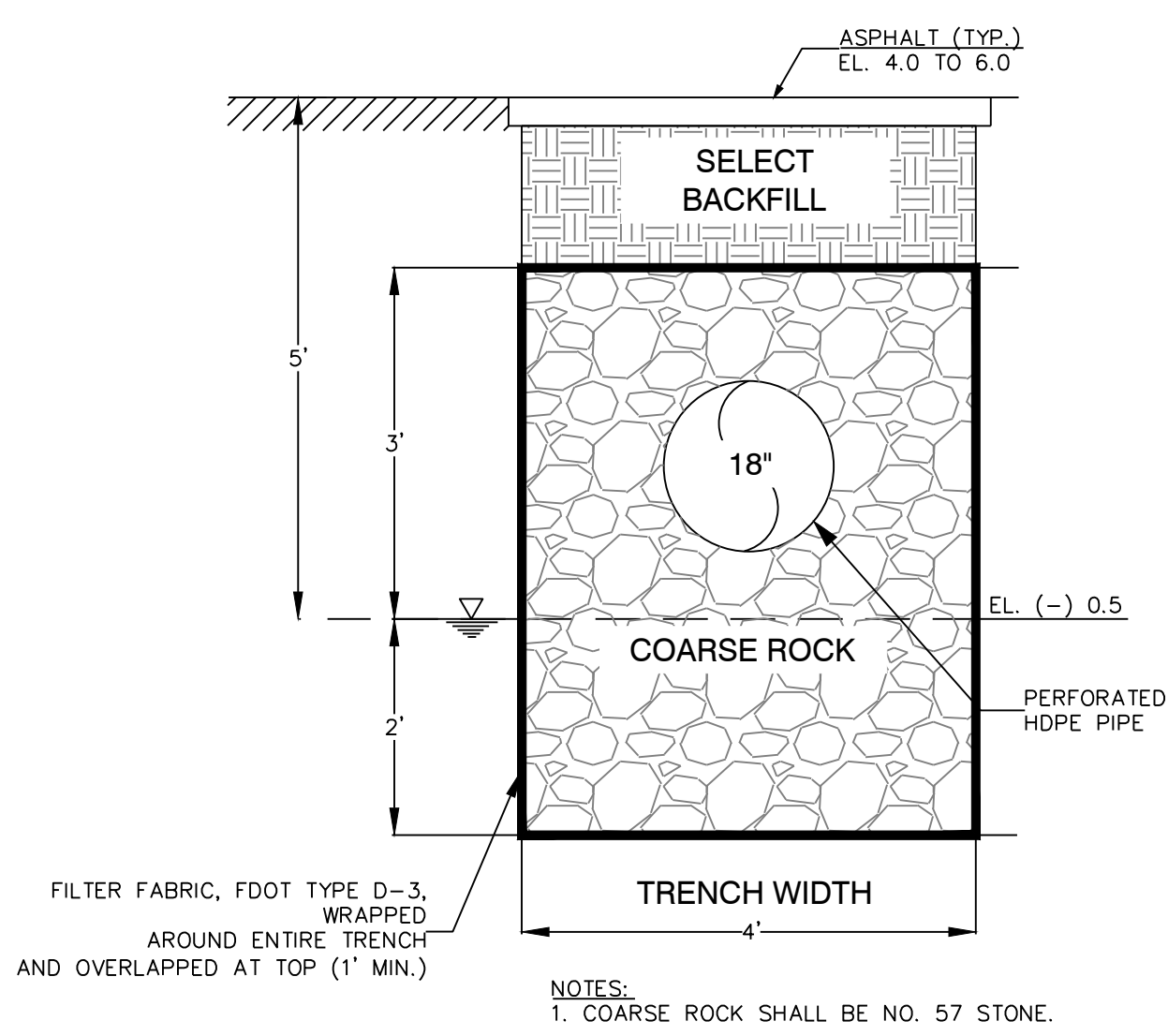
ELEVATIONS BASED ON NGVD 29

PRELIMINARY PLAN - NOT FOR CONSTRUCTION

Water Quantity Calculations - 25yr/72hr Design Storm				
Water Quantity - Predevelopment				
Total basin Area	1.879	ac	81,839	sf
Pervious Area	1.122	ac	48,883	sf
Impervious Area	0.757	ac	32,956	sf
% Impervious	40.27%			
Rainfall for 25yr/24hr event	$P_{24} = 9$	in		
Rainfall for 25yr/3day event	$P_{72} = 12.23$	in		
Depth to Water Table	2.5	ft		
Predeveloped Available Storage	4.55	in		
Soil Storage	$S = 2.72$	in		
$Q_{pre} = \frac{(P - 0.2S)^2}{(P + 0.8S)}$	$Q_{pre} = 9.48$	in		
Runoff Volume from 25 year/ 3 day storm	$V_{25yr/72hr} = 17.82$	ac-in		
Water Quantity - Postdevelopment				
Project Area	$A = 1.879$	ac	81,839	sf
Pervious Area	0.787	ac	34,302	sf
Impervious Area	1.091	ac	47,537	sf
% Impervious	58.1%			
Rainfall for 25yr/24hr event	$P_{24} = 9$	in		
Rainfall for 25yr/3day event	$P_{72} = 12.23$	in		
Depth to Water Table	2.5	ft		
Developed Available Storage	3.4	in		
Soil Storage	$S = 1.43$	in		
$Q_{post} = \frac{(P - 0.2S)^2}{(P + 0.8S)}$	$Q_{post} = 10.67$	in		
Runoff Volume from 25 year/ 3 day storm	$V_{25yr/72hr} = 20.05$	ac-in		
Postdevelopment - Predevelopment				
$Q_{pre-post} = Q_{post} - Q_{pre}$	$Q_{pre-post} = 1.19$	in		
Pre/Post Volume = $Q_{pre-post} \times A$	$V_{pre-post} = 2.24$	ac-in		

Water Quality Calculations				
Water Quality				
Project Area	1.879	ac	81,839	sf
Surface Water	0.000	ac	0	sf
Roof Area	0.444	ac	19,327	sf
Pavement/Walkways	0.648	ac	28,210	sf
Pervious area	0.787	ac	34,302	sf
Impervious area for water Quality (Site area for Water Quality - Pervious area)	0.648	ac	28,210	sf
% Impervious for Water Quality	34%			
A) One inch of runoff from project area	1.879	ac-in		
B) 2.5 inches times percent impervious (2.5 x percent impervious x site area - surface water)	1.619	ac-in		
Total Treatment Volume Required	2.236	ac-in	8,118	cf
Pond Volume Provided	0.590	ac-in	2,140	cf
Exfiltration Volume Provided	1.982	ac-in	7,196	cf
Total Volume Provided	2.572	ac-in	9,336	cf

Exfiltration Trench Design	
Required trench length (L) =	$\frac{V}{K(2H_2Du - Du^2 + 2H_2Ds) + 1.39x10^{-4}(W)(Du)}$
Assumed Hydraulic Conductivity, K =	0.0000633
H =	5 ft
W =	4 ft
Du =	3 ft
Ds =	2 ft
Volume of Trench, V =	1.982 ac-in
Trench Length Provided =	465 FT

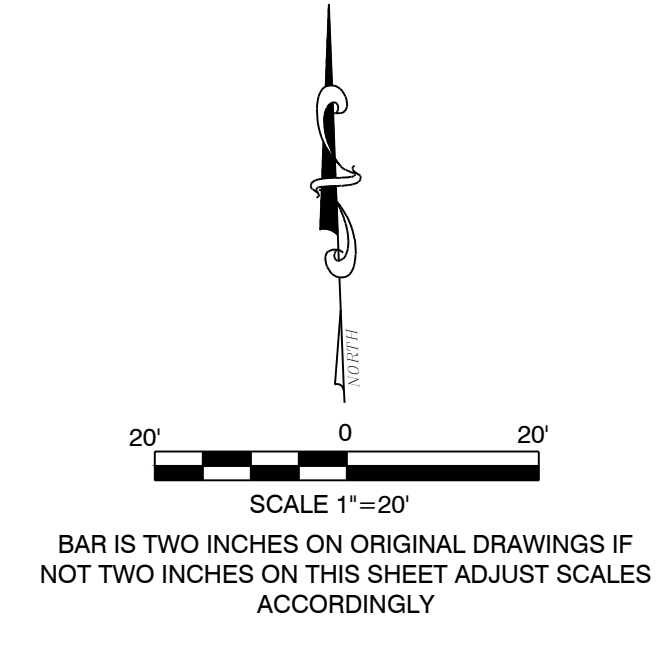
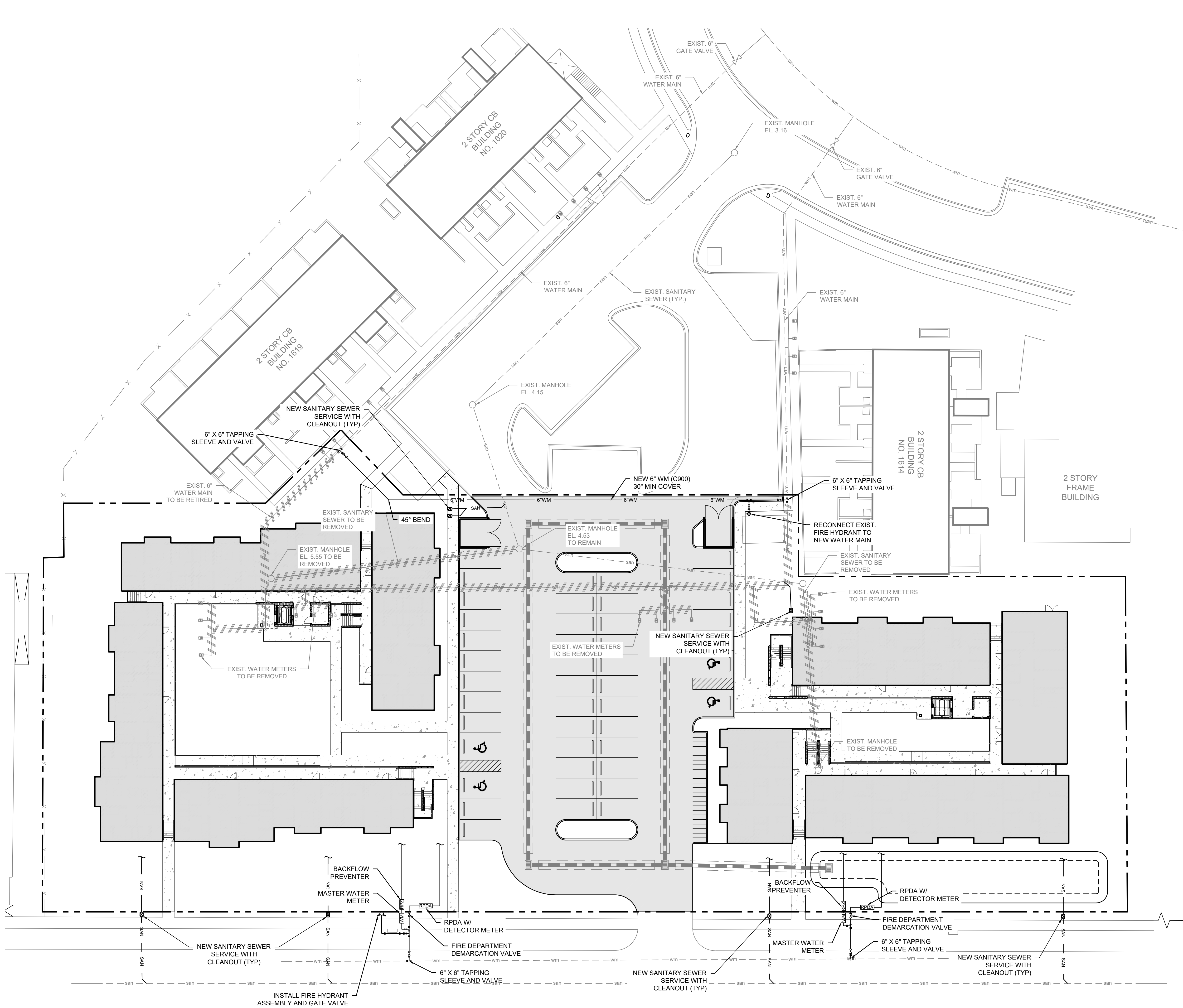


1 EXFILTRATION TRENCH DETAIL
Not to Scale

C:\Users\Allen Perez\Engineering\Dropbox\Projects\2022\1016\dwg\Preliminary\SITE.dwg (C200 DRAINAGE) Plotted on: Apr 14, 2022 - 4:22pm by Allen Perez

CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT
PEREZ ENGINEERING
 & DEVELOPMENT, INC.
 CERTIFICATE OF AUTHORIZATION No. 8579
 Key West Office Suite 202
 1010 East West Florida 33040
 Key West, Florida 33040
 Tel: (305) 293-9440
 ALLEN E. PEREZ, P.E.
 Florida P.E. NO. 51468
 April 14, 2022
 ORIGINAL: APRIL 2022
 REVISIONS:
 1
 2
 3
 4
 5
 6
FL. KEYS OUTREACH COALITION
 3200 DUCK AVENUE
KEY WEST, FL, 33040
FKOC, INC.
 PO BOX 4767
KEY WEST, FL, 33041
 CONCEPTUAL GRADING AND DRAINAGE PLAN
 JOB NO. 221016
 DRAWN AEP
 DESIGNED AEP
 CHECKED AEP
 SHEET C-200

C:\Users\Allen.Perez\Engineering\Dropbox\Projects\2022\1016\dwg\Preliminary\SITE.dwg (C300 WATER AND SEWER) Plotted on: Apr 14, 2022 - 2:12pm by Allen Perez



UTILITY NOTES

1. THE LOCATIONS, SIZES, AND ELEVATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER TO OBTAIN ANY AVAILABLE RECORD DRAWINGS AND SHALL DETERMINE THE EXACT LOCATION AND ELEVATION IN THE FIELD. THE CONTRACTOR SHALL ANTICIPATE THAT SCANNING AND EXCAVATION USING LIGHT EQUIPMENT AND HAND METHODS WILL BE NECESSARY IN AREAS NEAR EXISTING UTILITIES AND STRUCTURES TO AVOID DAMAGING THESE FACILITIES.
2. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION OF UTILITIES IN THE FIELD PRIOR TO ORDERING NEW STRUCTURES AND PRIOR TO INSTALLING ANY NEW WORK THAT CROSSES OR CONNECTS TO EXISTING UTILITY SYSTEMS.
3. ALL WATER MAIN WORK SHALL CONFORM TO THE LATEST FLORIDA KEY AQUEDUCT AUTHORITY'S STANDARDS AND SPECIFICATIONS.
4. ALL SEWER WORK SHALL CONFORM TO THE LATEST CITY OF KEY WEST STANDARDS AND SPECIFICATIONS.
5. FOR NEW STORM PIPE THE CONTRACTOR SHALL PROVIDE ADS PIPE ADAPTER FLEXIBLE WATERTIGHT WATERSTOP CONNECTION WITH PIPE ADAPTER FOR ADS CORRUGATED HDPE PIPE TO STORM STRUCTURES, OR APPROVED EQUAL ADS PIPE ADAPTERS MEETING THE REQUIREMENTS OF ASTM F 2510 AND ASTM C 1478 FOR WATERTIGHT FLEXIBLE CONNECTIONS.
6. ALL UTILITIES TO BE ABANDONED SHALL NOT BE DISTURBED/REMOVED UNLESS REQUIRED TO ADDRESS A CONFLICT. ABANDONED UTILITIES SHALL BE CAPPED AND LEFT IN PLACE.

GENERAL NOTES

1. THE LOCATIONS, SIZES, AND ELEVATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER TO OBTAIN ANY AVAILABLE RECORD DRAWINGS AND SHALL DETERMINE THE EXACT LOCATION AND ELEVATION IN THE FIELD. THE CONTRACTOR SHALL ANTICIPATE THAT SCANNING AND EXCAVATION USING LIGHT EQUIPMENT AND HAND METHODS WILL BE NECESSARY IN AREAS NEAR EXISTING UTILITIES AND STRUCTURES TO AVOID DAMAGING THESE FACILITIES. THE CONTRACTOR SHALL CONTACT BELLSOUTH, THE LOCAL TELEPHONE COMPANY AND COMCAST, THE LOCAL CABLE TV PROVIDER TO VERIFY THE LOCATION OF BURIED TELEPHONE AND CABLE TV UTILITIES. NONE HAVE BEEN INDICATED ON THE DRAWINGS. CALL 1-800-432-4770 BEFORE DIGGING OR TRENCHING OPERATIONS BEGIN.
2. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION IN THE FIELD PRIOR TO INSTALLING ANY NEW WORK THAT CROSSES OR CONNECTS TO EXISTING UTILITY SYSTEMS. LOCATIONS OF NEW UTILITIES SHALL BE ADJUSTED IN A MANNER APPROVED BY THE ENGINEER TO AVOID CONFLICTS. DAMAGES TO UTILITIES RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE CLIENT.

CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT



Key West Office
1010 East Key West Blvd., Suite 202
Key West, Florida 33940
Tel: (305) 293-9440

ALLEN E. PEREZ, P.E.
Florida P.E. NO. 51468
April 14, 2022

ORIGINAL: APRIL 2022

REVISIONS:	NO.	DESCRIPTION
1		
2		
3		
4		
5		
6		

FL. KEYS OUTREACH COALITION
3200 DUCK AVENUE
KEY WEST, FL, 33040
CONCEPTUAL WATER AND SEWER PLAN

FKOC, INC.
PO BOX 4767
KEY WEST, FL, 33041

JOB NO.	221016
DRAWN	AEP
DESIGNED	AEP
CHECKED	AEP

SHEET C-300

PRELIMINARY PLAN - NOT FOR CONSTRUCTION

PROPERTY RECORD CARD

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00064740-000000
Account# 1065242
Property ID 1065242
Millage Group 10KW
Location 3200 DUCK Ave, KEY WEST
Address
Legal BK 19 LTS 2 THRU 10 AND PT LT 11 AND PT OF LAND LYING N OF SAID BLK KW KW
Description FWDN SUB PLAT 2 PB1-189 (6.45 AC) (A/K/A POINCIANA HOUSING COMPLEX - HOMELESS HOUSING) G11-147/148 OR1655-1771/1845Q/C OR2410-271 OR2410-272/75ESMT
(Note: Not to be used on legal documents.)
Neighborhood 31100
Property Class MUNICIPAL (8900)
Subdivision Key West Foundation Co's Plat No 2
Sec/Twp/Rng 34/67/25
Affordable No
Housing



Owner

[CITY OF KEY WEST](#)
 PO Box 1409
 Key West FL 33041

Valuation

	2021	2020	2019	2018
+ Market Improvement Value	\$11,333,192	\$11,333,192	\$11,333,192	\$11,333,192
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$3,141,213	\$3,141,213	\$3,141,213	\$3,141,213
= Just Market Value	\$14,474,405	\$14,474,405	\$14,474,405	\$14,474,405
= Total Assessed Value	\$14,474,405	\$14,474,405	\$14,474,405	\$14,474,405
- School Exempt Value	(\$14,474,405)	(\$14,474,405)	(\$14,474,405)	(\$14,474,405)
= School Taxable Value	\$0	\$0	\$0	\$0

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	281,030.00	Square Foot	0	0

Exemptions

Exemption	Amount
20-E MUNICIPAL LANDS 196.199	\$100.00

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
BLD2020-1991	7/23/2020		\$500	Residential	REMOVE APPROX 11 LF OF CONCRETE FENCE AND INSTALL APPROX 6 LF 4 FT PICKET FENCE.
BLD2020-1986	7/14/2020		\$8,000	Residential	REMOVE AND REPLACE APPROX. 45 LF OF SPALLING BEAM.
BLD2020-0690	3/3/2020	5/5/2020	\$9,425	Residential	RENOVATION EXTERIOR
BLD2019-4504	12/27/2019	5/13/2020	\$9,425	Residential	REMOVE& REPLACE SINGLE HUNG ALUMINUM WINDOWS WITH NEW. A TOTAL OF SEVEN (7) WINDOWS TO BE REPLACED. RESTORE ADJACENT STUCCO AND TOUCH UP PAINT ON EXTERIOR. RESTORE DRYWALL RETURNS AND TOUCH UP PAINT ON INTERIOR.
BLD2019-1156	3/29/2019	9/25/2019	\$12,000	Residential	Remove side wall office and replace with VCT, Installation of frame SITE ADDRESS 1624 SPAULDING CT 1-4 KEY WEST, FL 33040

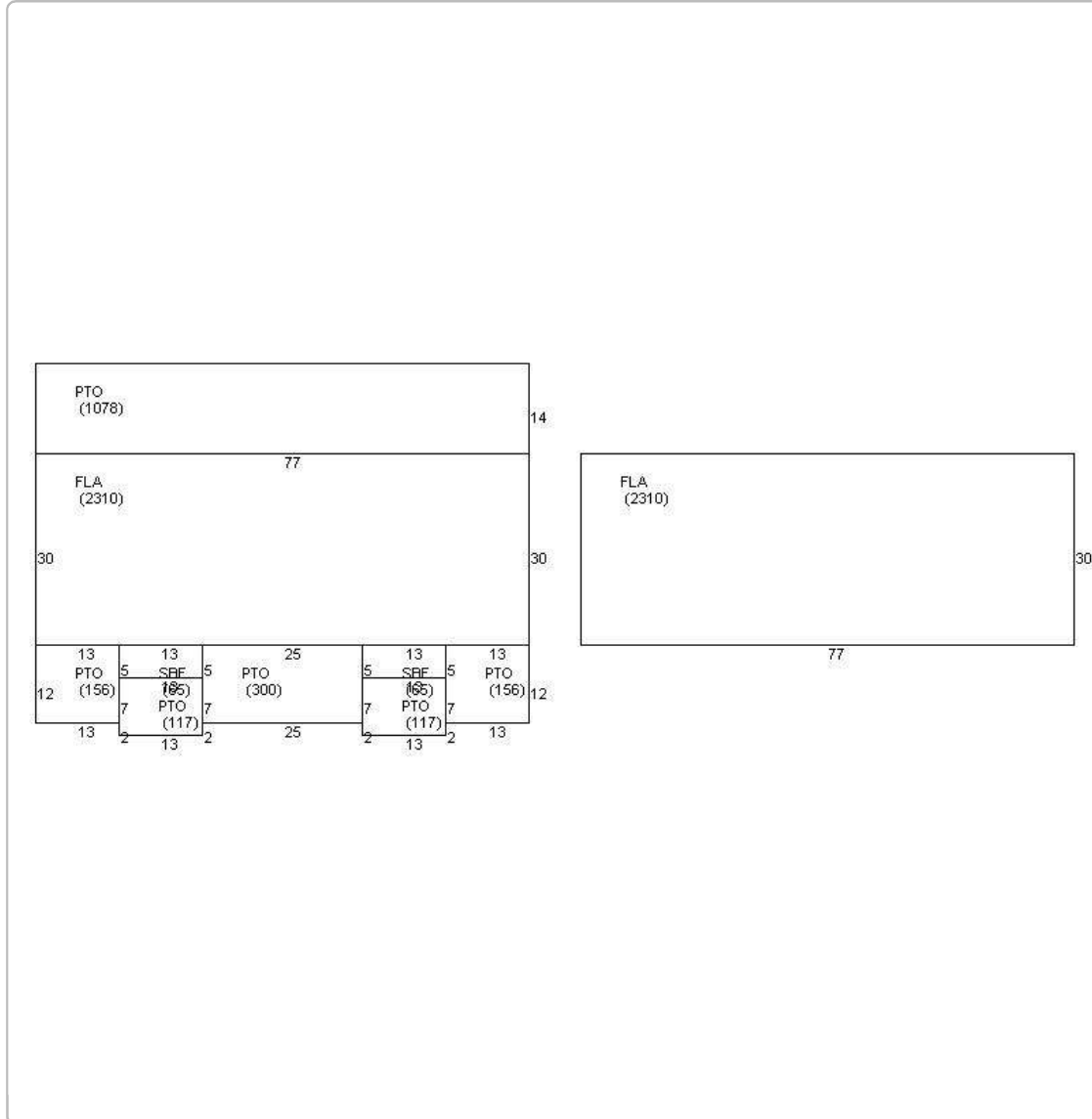
11-1137	4/12/2011	5/12/2011	\$28,000	Residential	INSTALL 675 LN FT ALUMINUM PICKET SITE FENCE, 384 LN FT TO BE DRILLED & SET IN N.S GROUT POCKETS @ SITE RETAINING WALL THE REMAINING 291 LN FT TO BE IN 120" X 38" DEEP CONCRETE POSTS HOLES
11-1134	4/11/2011	5/10/2011	\$4,200	Residential	IRRIGATION SYSTEM, TIMER & RAIN SWITCH BACKFLOW BY OTHERS.
11-0515	3/10/2011	5/11/2011	\$1,500	Residential	INSTALLATION OF 221 SOLAR PV PANELS USING A NON-PENETRATING ADHESIVE ON THE ROOF OF ABOVE SPECIFIED LOCATION. THE SYSTEM HAS A NAMEPLATE CAPACITY OF 25.6 KW GROSS POWER RATING OF 21.75KW AS PER KEYS ENERGY SERVICES. THE SYSTEM COVERS APPROX. 4000 SQ/FT.
11-0521	3/10/2011	4/18/2011	\$96,500	Residential	INSTALLATION OF 221 SOLAR PV PANELS USING A NON-PENETRATING ADHESIVE ON THE ROOF OF ABOVE SPECIFIED LOCATION. THE SYSTEM HAS A NAMEPLATE CAPACITY OF 25.6 KW & GROSS POWER RATING OF 21.75KW AS PER KEYS ENERGY SERVICES. THE SYSTEM COVERS APPROX. 4000 SQ/FT.
11-0467	2/10/2011	5/12/2011	\$6,300	Residential	INSTALLATION OF SITE POLES LED FIXTURE WITH ASSOCIATED CONDUIT BRANCH CIRCUITRY AND OVER CURRENT PROTECTION.
11-0468	2/10/2011	5/12/2011	\$40,000	Residential	INSTALLATION OF 125KW GENERATOR AUTOMATIC TRANSFER SWITCH WITH ASSOCIATE CONDUIT FEEDERS AND CHARGER BRANCH CIRCUITRY
11-0052	1/7/2011	5/10/2011	\$150,000	Residential	INSTALL 150 SQS SINGLE PLY (80 MIL) FULLY ADHERED TO DECK
10-3674	11/29/2010	10/23/2012	\$68,000	Residential	INSTALL COMPLETE METAL FIRE SPRINKLER SYSTEM.
10-2661	11/16/2010		\$475,000	Residential	CHANGES TO PORCH OVERHANG FRAMING 2X6 RAFTERS 2X8 BEAMS, 5/8 PLYWOOD, SIMPSON ST RAPS
10-2696	11/15/2010	10/9/2012	\$20,000	Residential	INSTALL 4-3 TON A/C SYSTEMS WITH 62 DROPS AND 2-DRYER VENTS.
10-2352	11/2/2010	5/5/2011	\$91,000	Residential	INSTALL 18 TOILETS; 18 LAV SINKS; 18 KITCHEN SINKS; 17 BATHTUBS; 2 WASHING MACHINES; 1 MOP SINK; 18 W/H
10-3368	10/14/2010	5/10/2011	\$250,000	Residential	INSTALL 51 1 1/4 TON 3 2 1/2 TON, 2 1 TON MINI SPLIT, 53 EXHAUST FANS & 6' DRYER VENTS WITH 283 DROPS.
10-3370	10/14/2010	9/17/2012	\$5,800	Residential	INSTALL METAL ROOF ONTO NEWLY CONSTRUCTED PORCH.
10-2920	9/14/2010	8/14/2012	\$12,000	Residential	PROVIDE 2 400 AMP SERVICES TO BLDG. PROVIDE 1 100 AMP FEEDER TO EACH UNIT (TOTAL OF NINE). CONNECT 4 5 TON AIR CONDITIONING UNITS. 2 LAUNDRY ROOMS W/WASHER, DRYER, WATER HEATER AND OUTLETS. 10-OUTLETS FOR EXTERIOR LIGHTING.
10-3038	9/13/2010	8/14/2012	\$300	Residential	INSTALL TEMPORARY FOR CONSTRUCTION
10-2354	9/9/2010	4/18/2011	\$93,000	Residential	INSTALL 18 TOILETS; 18 LAV SINKS; 18 KITCHEN SINKS; 17 BATHTUBS; 2 WASHING MACHINES; 1 MOP SINK; 18 W/H
10-2798	8/19/2010	7/19/2012	\$15,000	Residential	RUN MAIN WATER AND SEWER LINE CONNECT TO BUILDING. ROUGH IN 2 WASHING MACHINE DRAIN AND 2 WATER HEATERS.
10-2639	8/11/2010	5/12/2011	\$19,750	Residential	FIRST FLOOR FIRE ALARM, INSTALL CONDUIT SYSTEM, CONDUCTORS, AND DEVICE I.E. SMOKE DETECTOR, MANUAL PULL STATIONS, HORN STROBE, ELEVATOR RETURN, HEAT DETECTORS.
10-2640	8/11/2010	5/12/2011	\$19,750	Residential	SECOND FLOOR FIRE ALARM, INSTALL CONDUIT SYSTEM, CONDUCTORS, AND DEVICES, I.E. SMOKE DETECTORS, MANUAL PULL STATIONS, HORN STROBES, ELEVATOR RECALL HEAT DETECTORS.
10-2641	8/11/2010	5/12/2011	\$19,750	Residential	THIRD FLOOR FIRE ALARM, INSTALL CONDUIT SYSTEM, CONDUCTORS, AND DEVICES, I.E. SMOKE DETECTORS, MANUAL PULL STATIONS, HORN STROBES, ELEVATOR RECALL HEAT DETECTORS.
10-2642	8/11/2010	4/18/2011	\$1,500	Residential	REMOVE/INSTALL 200 AMP; 120/200V. THREE PHASE FOUR WIRE TEMPORARY CONSTRUCTION SITE POWER WITH THREE QUAD WP GFI RECEP ARRANGEMENT
10-2661	8/10/2010	11/5/2012	\$475,000	Residential	PLACEMENT OF MODULAR UNITS ON EXISTING FOUNDATION, 5060 S.F. PORCH, WALKWAYS, RAMP & STAIRS, UTILITY ROOM 130 S.F. HARDIE PLANK SIDING ON MATELINE AREAS ONLY, 3000 SF, 9 UNITS, 2 BEDROOM EACH.
10-2309	7/28/2010	6/27/2012	\$10,000	Residential	INSTALL FIRE SPRINKLER'S 13R SYSTEM NEW TWO STORY MODULAR BUILDING BEGIN WORK AT SYSTEM SIDE OF THE 2" BACKFLOW VALVE
10-2353	7/19/2010	5/5/2011	\$93,000	Residential	INSTALL 18 TOILETS; 18 LAV SINKS; 18 KITCHEN SINKS; 17 BATHTUBS; 2 WASHING MACHINES; 1 MOP SINK; 18 W/H
10-2088	7/2/2010	5/15/2012	\$40,000	Residential	CONCRETE FOUNDATION ONLY FOR FUTURE MODULAR BUILDING INCLUDING DECKS AND UTILITY ROOM; 3416 S.F. 47 AUGER HOLES AND 38 COLUMNS.
10-1217	5/27/2010		\$2,500,000	Residential	CONSTRUCT 16 UNITS SPECIAL NEEDS HOUSING. FIRST FLOOR UNITS 101-117
10-1218	5/27/2010	5/16/2012	\$2,500,000	Residential	CONSTRUCT 17 UNITS SPECIAL NEEDS HOUSING. SECOND FLOOR UNITS 201-217
10-1219	5/27/2010		\$2,500,000	Residential	CONSTRUCT 17 UNITS SPECIAL NEEDS. THIRD FLOOR UNITS 301-317
10-1490	5/13/2010	5/10/2011	\$800	Residential	INSTALL TEMPORARY SERVICE JOB SITE FOR TEMPORARY OFFICE MODULAR UNIT; INSTALL 200 AMP; 120/240 VAC; 1 PH 3W (200 A)
10-1439	5/10/2010	4/18/2012	\$985	Residential	TEMP WATER & SEWER SUPPLY
10-1216	5/3/2010	5/12/2011	\$20,000	Residential	TEMPORARY CONSTRUCTION TRAILER AND CONSTRUCTION FENCE; 1800 LF X 6'
08-363	2/13/2008	6/14/2008	\$272,429	Residential	REMOVAL AND INSTALLATION 41 KITCHEN CABINETS
07-2422	5/17/2007	6/14/2007	\$2,400	Residential	BUILD A SERENITY FOUNTAIN AT 1613 HOEY DR.
07-1742	4/17/2007	5/3/2007	\$5,000	Residential	MODULAR STRUCTURE 400 AMP 2 GANG SERVICE FOR 1613 HOEY DR
07-0675	2/13/2007	5/3/2007	\$2,488	Residential	INSTALL TWO 4-TON A/C' (HOUSE IS A PRE-FAB)-FOR 1613 HOEY DR.
07-0599	2/9/2007	5/3/2007	\$25,000	Residential	POUR SLAB ON GRADE 814 SQ FT& 12' FOUNTAIN 113 SQ FT
07-0577	2/7/2007	5/3/2007	\$6,075	Residential	ROUGH IN MODULAR DRAINS & WATERTIE IN O WATER AND SEWER
07-0045	1/9/2007	5/3/2007	\$1,800	Residential	INSTALL 2SQS RUBBER ROOFING FOR SAMUELS HOUSE AT 1613 HOEY D
06-5305	11/7/2006	5/3/2007	\$55,000	Residential	INSTALL RAMP,SIDEWALK,STAIRS,DECKS,SWALE AND MODULAR TIE DOWNS 16 UNITS FOR KATHY'S HOPE
06-5237	9/14/2006	11/8/2006	\$100	Residential	DELETE AUGER PILES AT STAIRS
06-5023	8/28/2006	11/8/2006	\$54,000	Residential	FOUNDATION FOR MODULAR BLDG
05-1024	4/1/2005	12/31/2005	\$22,000	Residential	REPLACE SEWER LATERAL FOR #1624 SPALDING CT.
05-1025	4/1/2005	12/31/2005	\$22,000	Residential	REPLACE SEWER LATERAL FOR #1622 SPALDING CT

03-1472	4/29/2003	7/28/2003	\$1,900	Residential	REROUTE PIPING
02-2706	4/10/2003	7/28/2003	\$120,000	Residential	CNVRT 4/4 INTO 1/1 & 2/2

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)





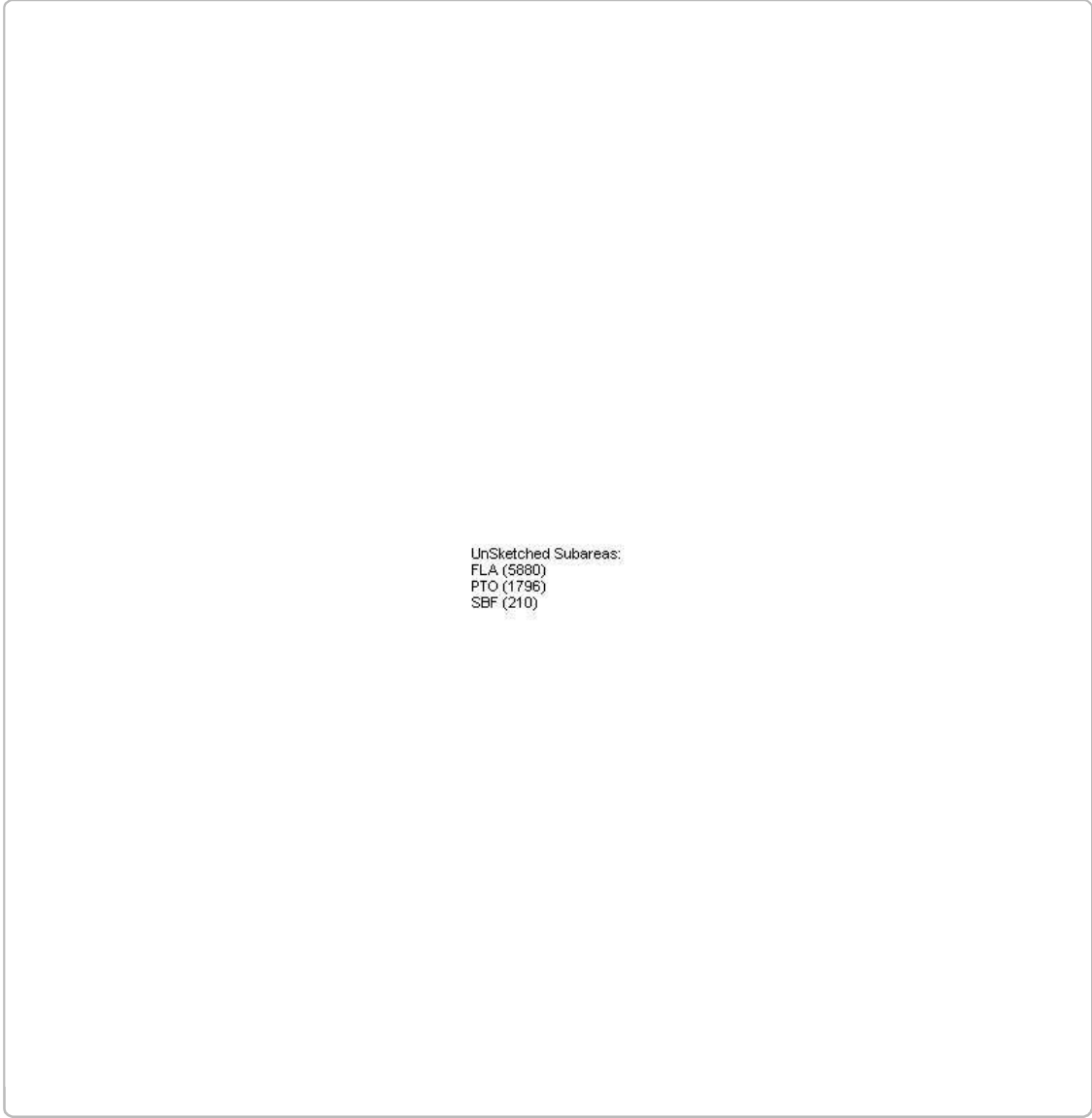
Unsketched Subareas:
FLA (5880)
PTO (1796)
SBF (210)



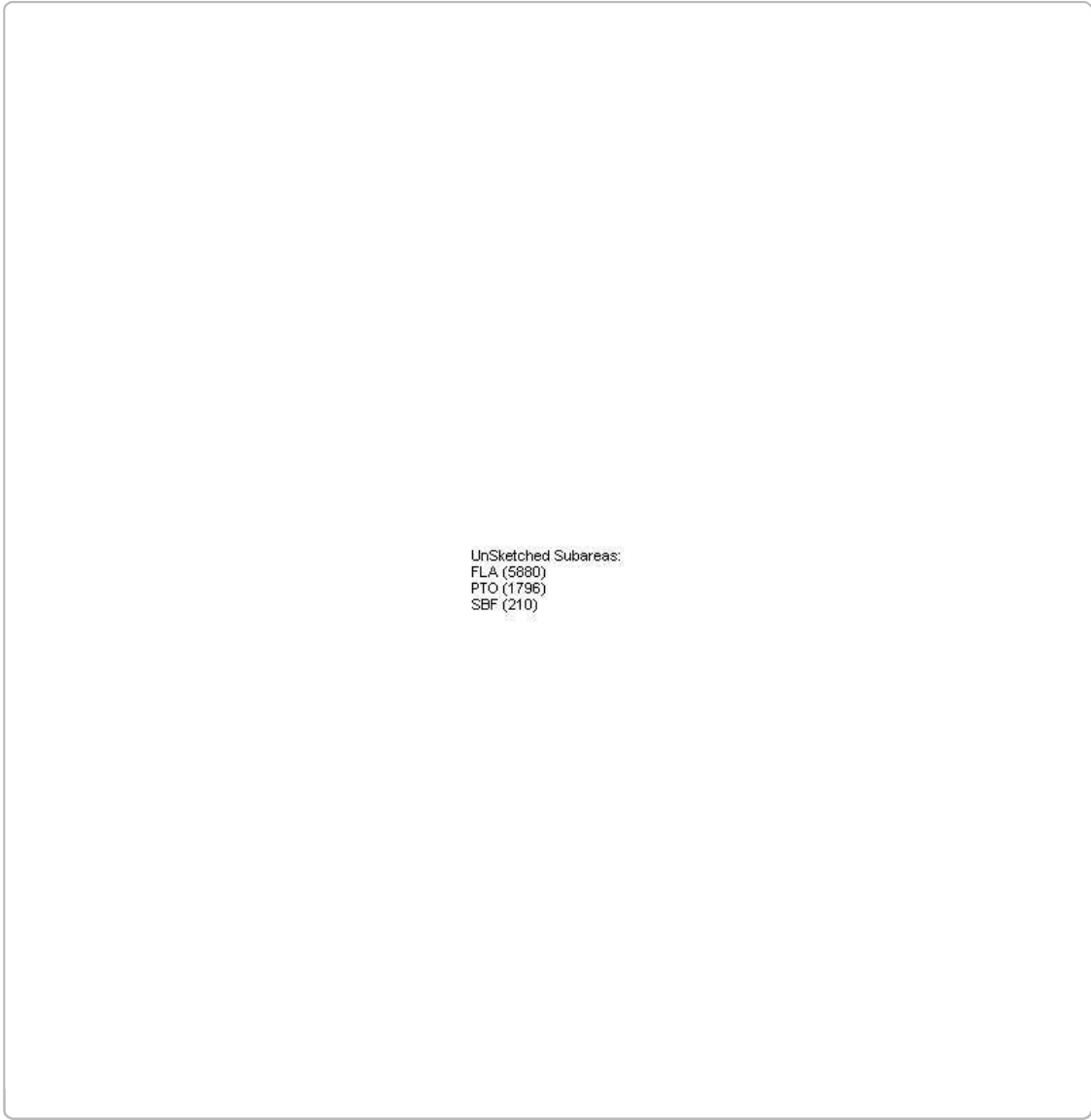
Unsketched Subareas:
FLA (5880)
PTO (1796)
SBF (210)



Unsketched Subareas:
FLA (5880)
PTO (1796)
SBF (210)



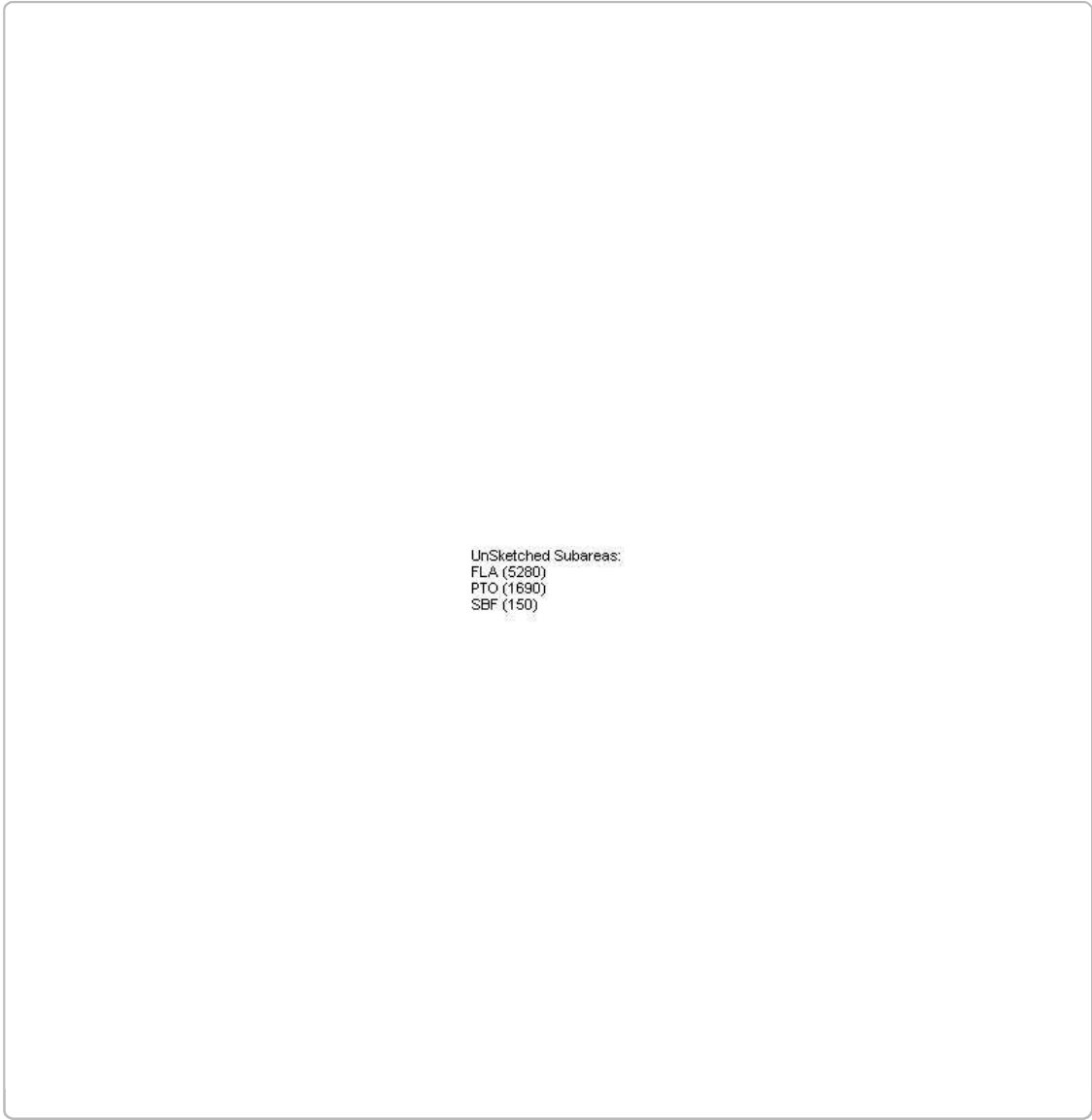
Unsketched Subareas:
FLA (5880)
PTO (1796)
SBF (210)



Unsketched Subareas:
FLA (5880)
PTO (1796)
SBF (210)



Unsketched Subareas:
FLA (4620)
PTO (1924)
SBF (130)



Unsketched Subareas:
FLA (5280)
PTO (1690)
SBF (150)



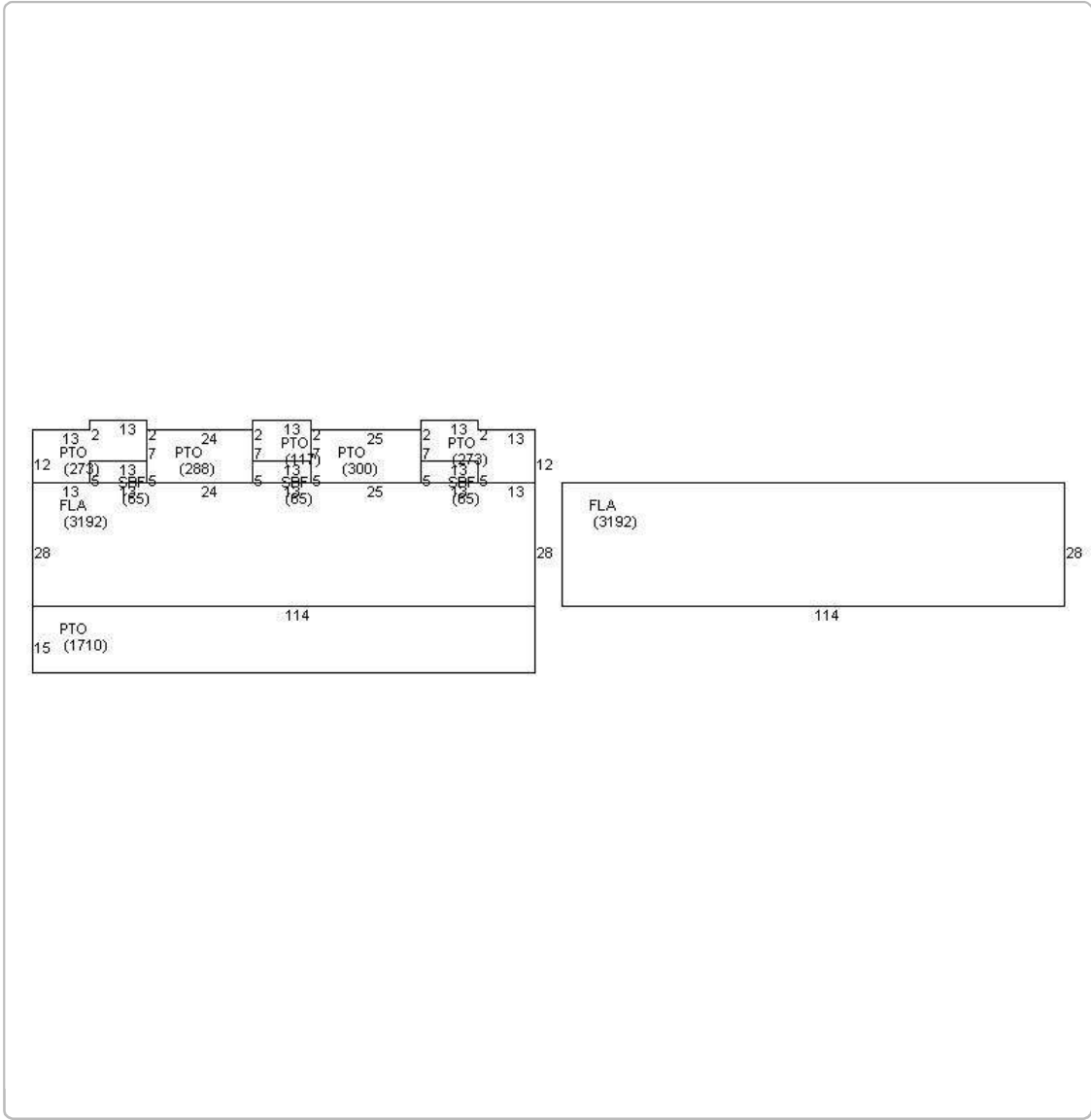
Unsketched Subareas:
FLA (4620)



Unsketched Subareas:
FLA (4620)
PTO (1924)
SBF (130)



Unsketched Subareas:
FLA (4620)





Unsketched Subareas:
FLA (5880)
PTO (1796)
SBF (210)



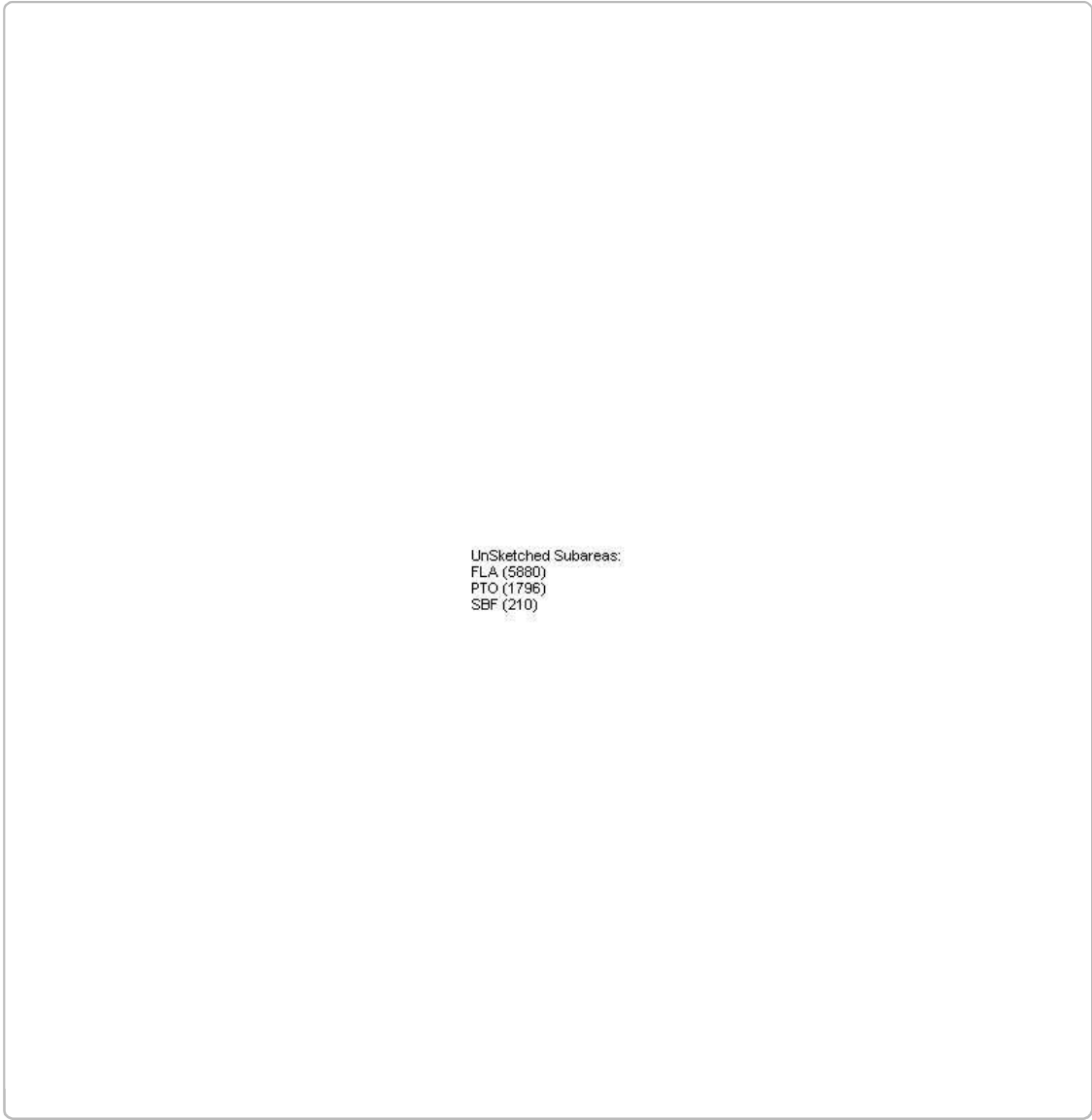
Unsketched Subareas:
FLA (5280)
PTO (1690)
SBF (150)



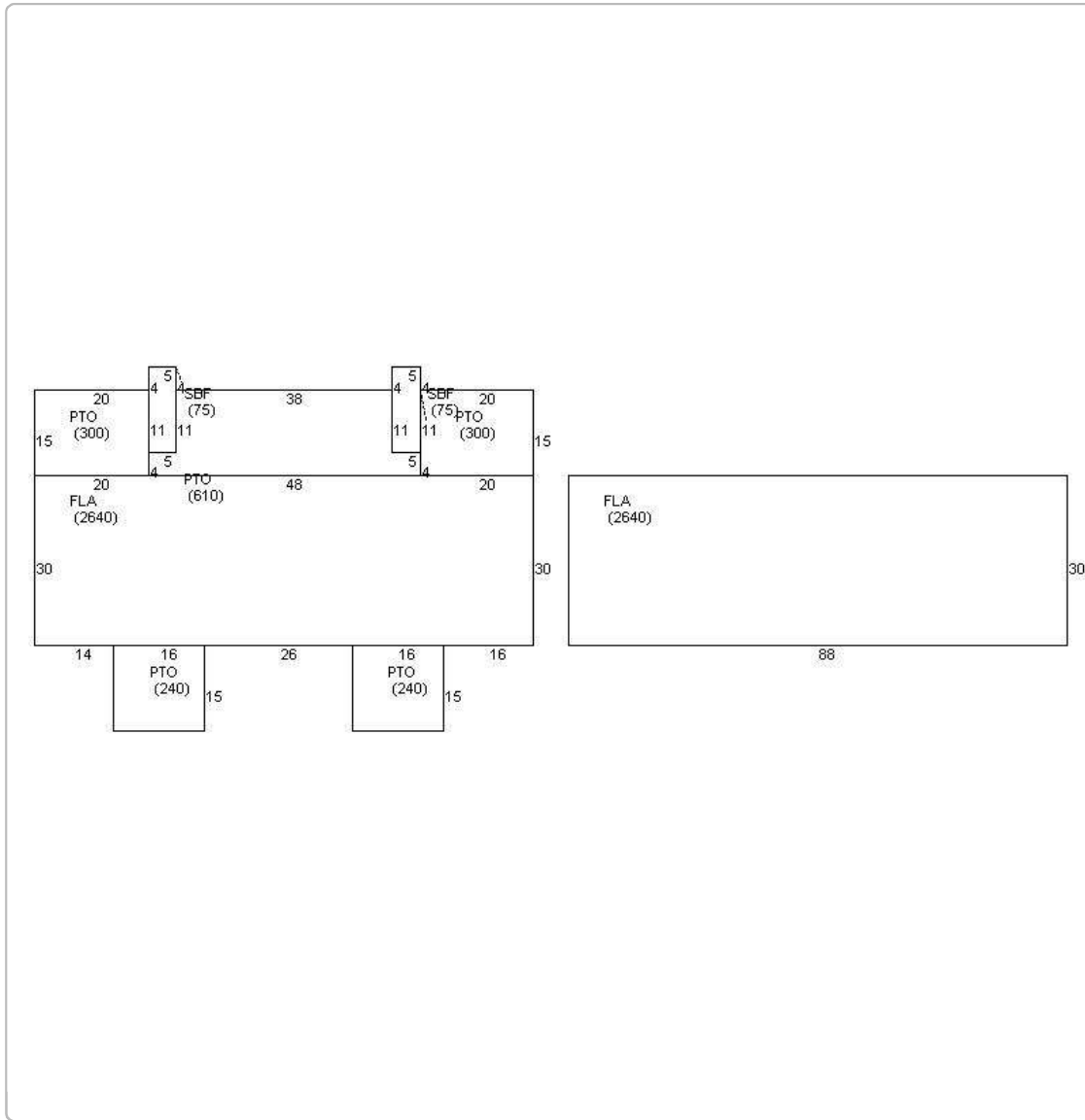
Unsketched Subareas:
FLA (5880)
PTO (1796)
SBF (210)

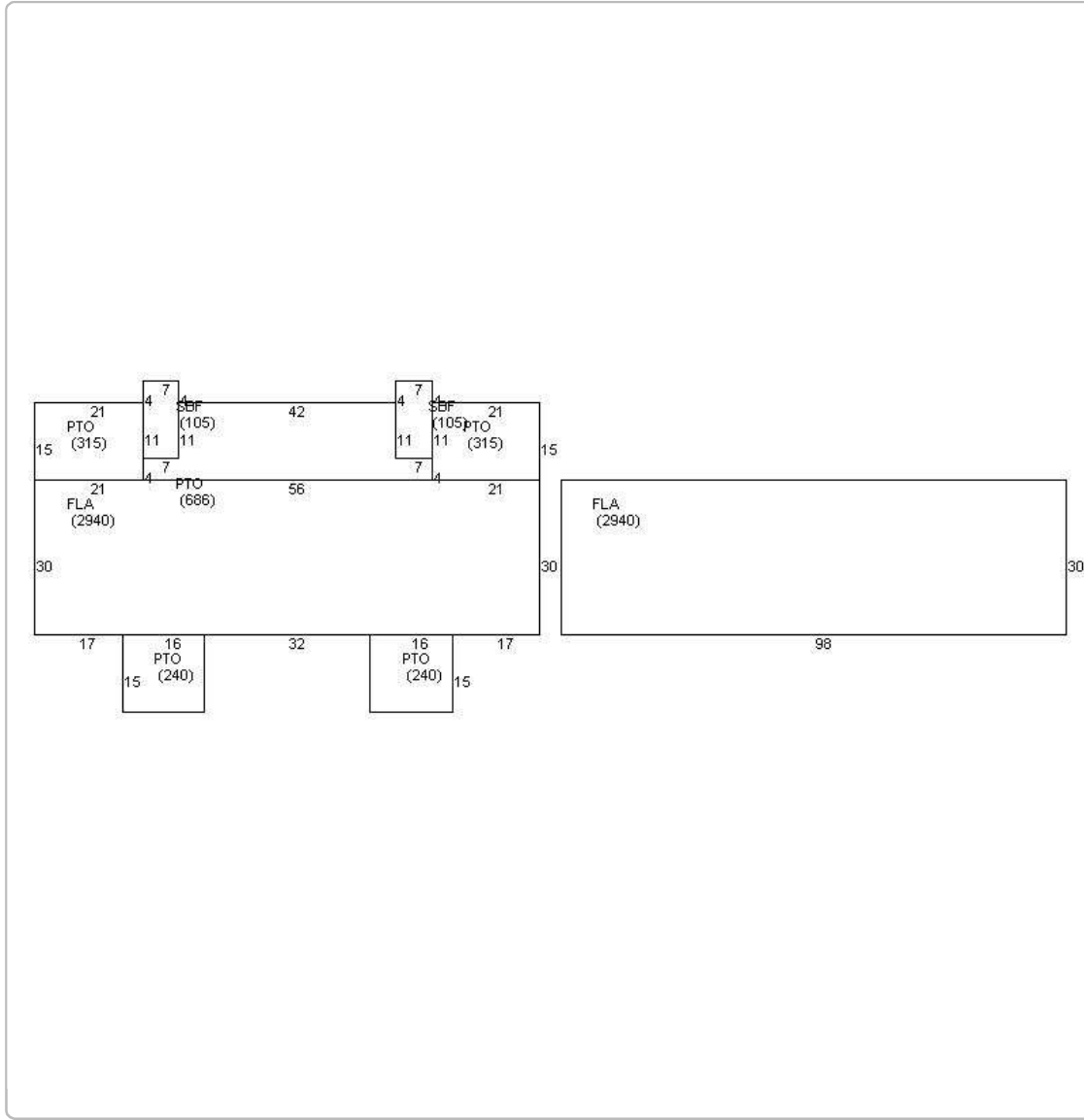


Unsketched Subareas:
FLA (4620)
PTO (1924)
SBF (130)



Unsketched Subareas:
FLA (5880)
PTO (1796)
SBF (210)



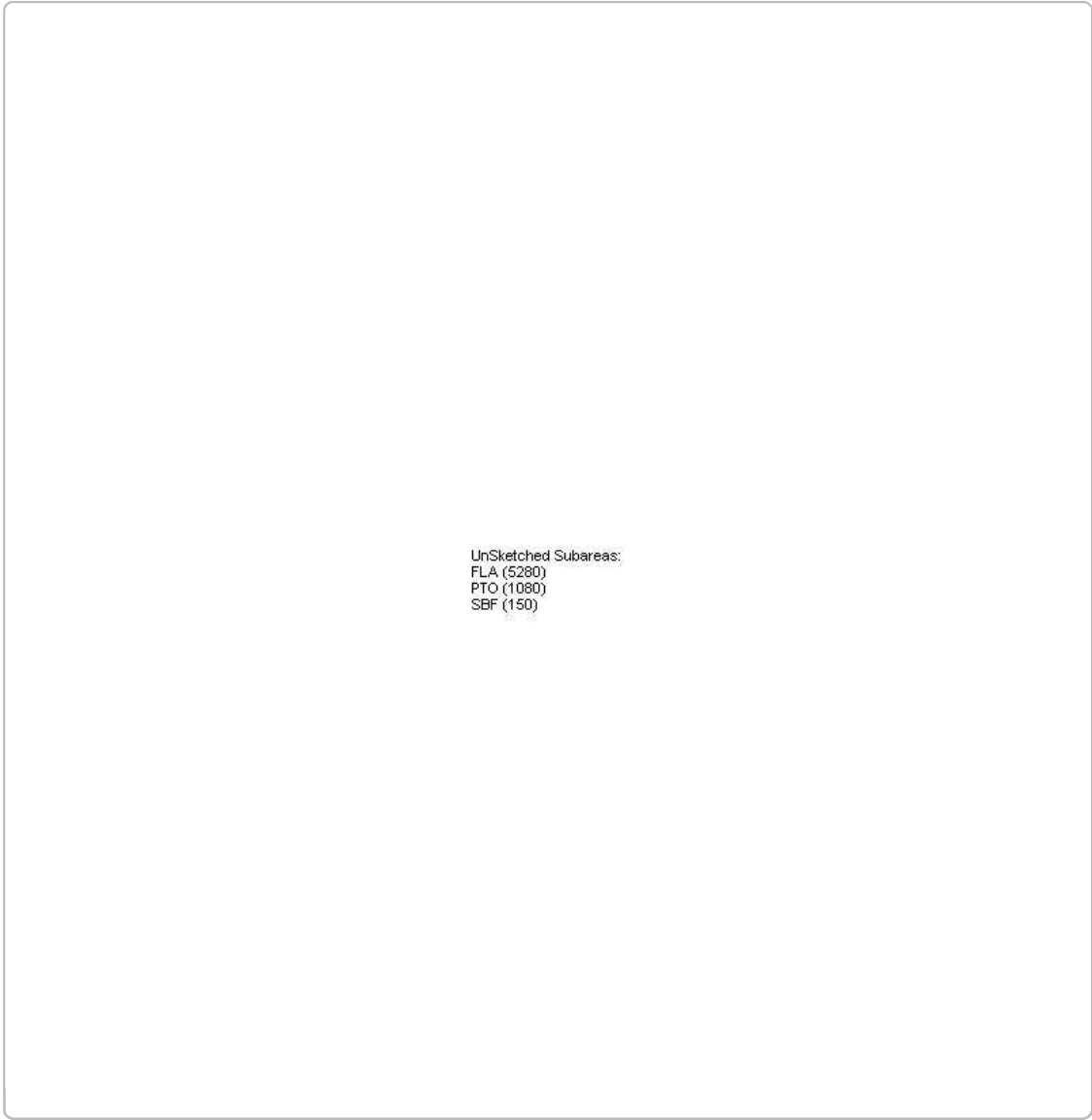




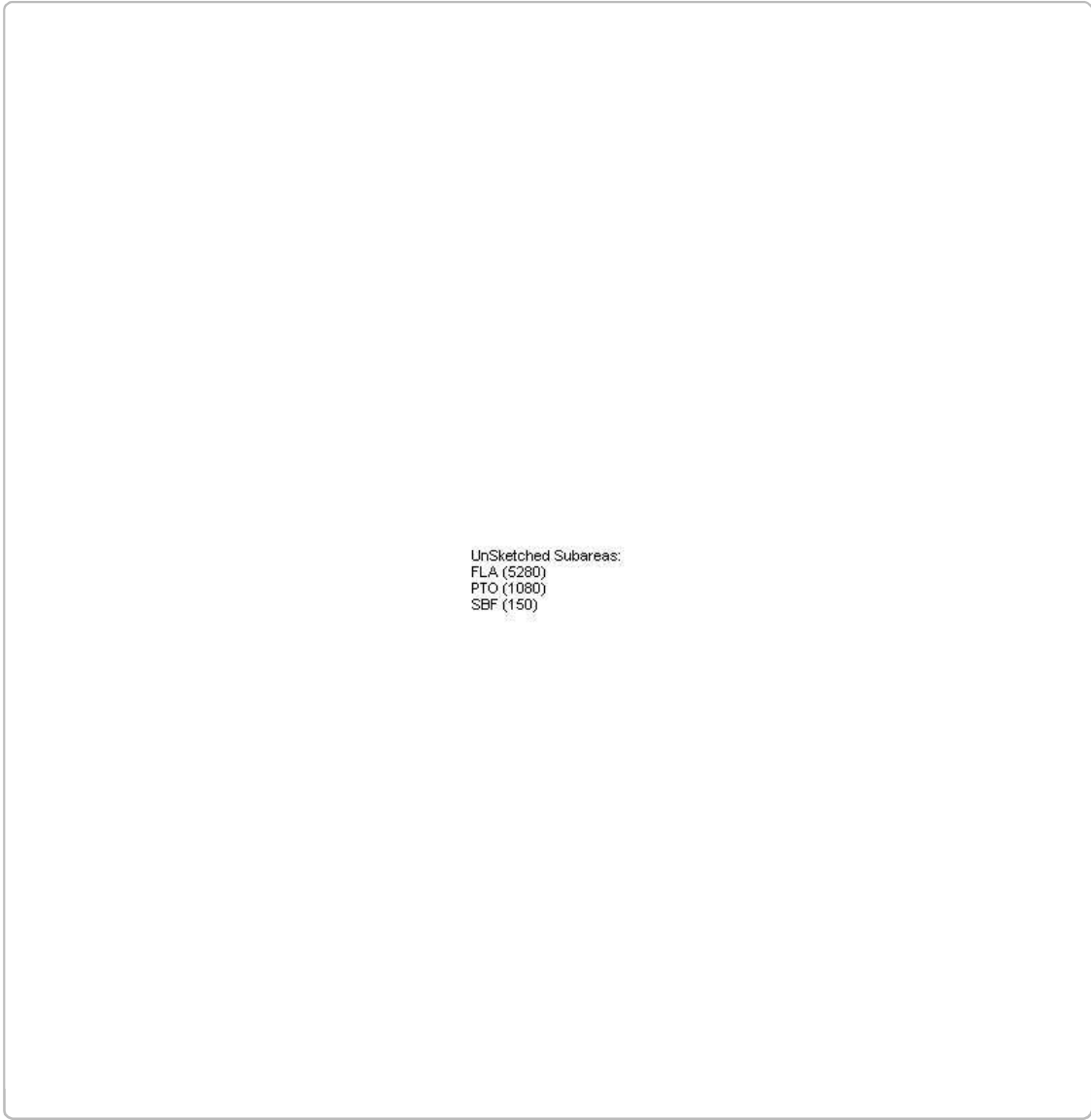
Unsketched Subareas:
FLA (6384)
SBF (195)
PTO (2961)



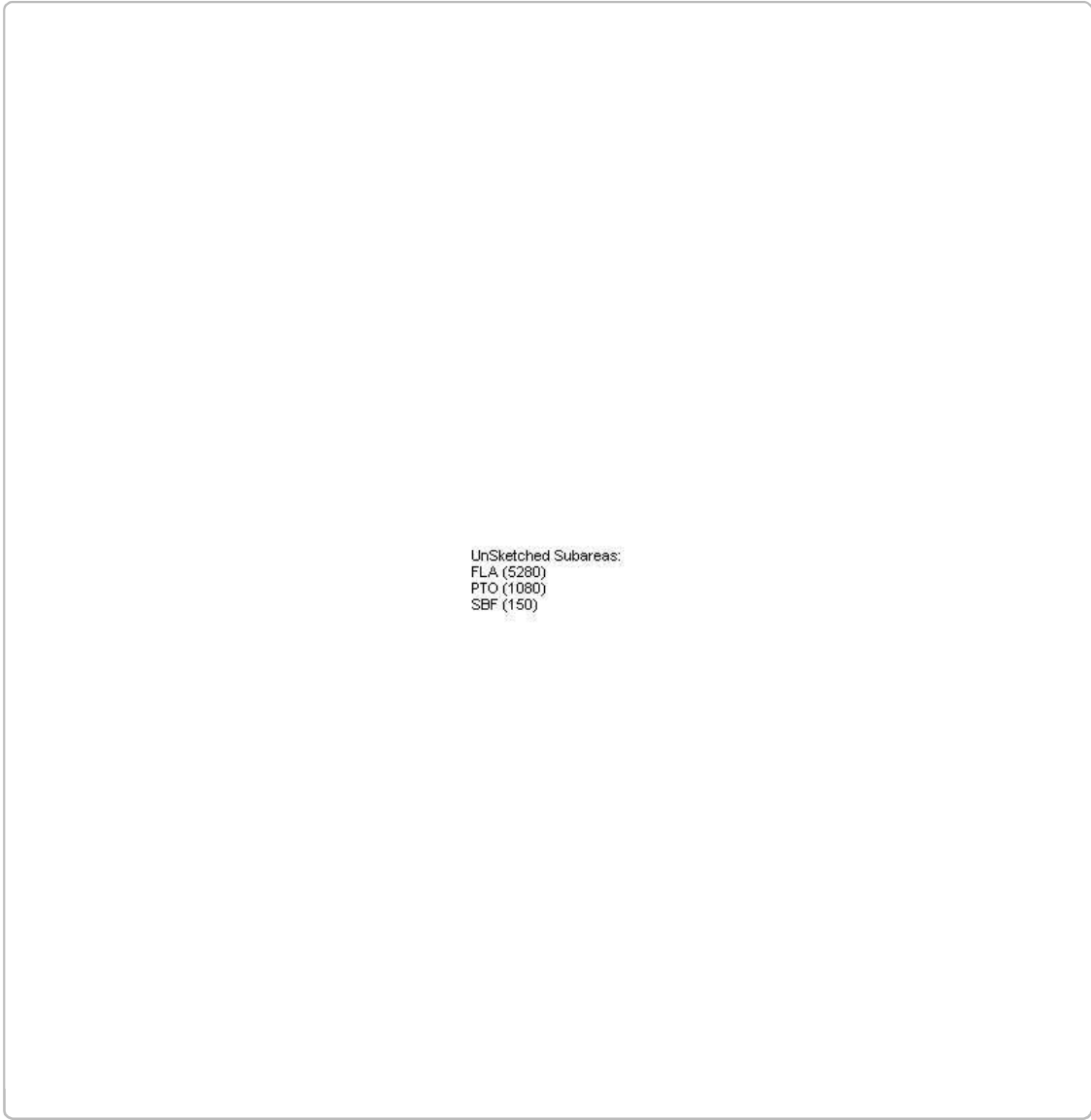
Unsketched Subareas:
FLA (5280)
PTO (1690)



Unsketched Subareas:
FLA (5280)
PTO (1080)
SBF (150)



Unsketched Subareas:
FLA (5280)
PTO (1080)
SBF (150)

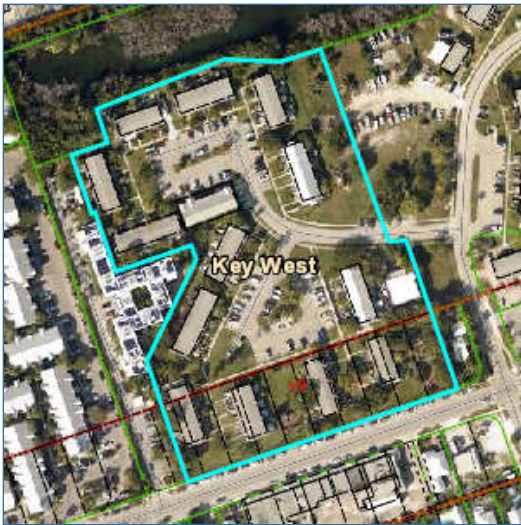


Unsketched Subareas:
FLA (5280)
PTO (1080)
SBF (150)

Photos



Map



No data available for the following modules: Buildings, Commercial Buildings, Mobile Home Buildings, Yard Items, Sales, TRIM Notice.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the [User Privacy Policy](#) and [GDPR Privacy Notice](#)



[Last Data Upload: 11/12/2021, 4:57:15 AM](#)

Version 2.3.161



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Not For Profit Corporation
THE CITY OF KEY WEST, INC.

Filing Information

Document Number	N13000007165
FEI/EIN Number	38-3916807
Date Filed	08/07/2013
Effective Date	08/07/2013
State	FL
Status	ACTIVE
Last Event	REINSTATEMENT
Event Date Filed	10/02/2014

Principal Address

1300 White Street
KEY WEST, FL 33040

Changed: 02/09/2017

Mailing Address

1300 White Street
KEY WEST, FL 33040

Changed: 02/09/2017

Registered Agent Name & Address

SMITH, SHAWN D, ESQ
1300 White Street
KEY WEST, FL 33040

Address Changed: 02/09/2017

Officer/Director Detail

Name & Address

Title P

Johnston, Teri
1300 White Street
KEY WEST, FL 33040

Title B

LOPEZ, CLAYTON
 1300 White Street
 KEY WEST, FL 33040

Title B

Kaufman, Samuel
 1300 White Street
 KEY WEST, FL 33040

Title B

Davila, Gregory
 1300 White Street
 KEY WEST, FL 33040

Title B

WARDLOW, WILLIAM
 1300 White Street
 KEY WEST, FL 33040

Title B

WEEKLY, JAMES
 1300 White Street
 KEY WEST, FL 33040

Title B

Hoover, Mary Lou
 1300 White Street
 Key West, FL 33040

Annual Reports

Report Year	Filed Date
2020	01/21/2020
2021	01/27/2021
2022	02/07/2022

Document Images

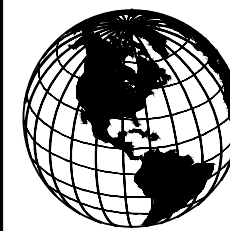
02/07/2022 -- ANNUAL REPORT	View image in PDF format
01/27/2021 -- ANNUAL REPORT	View image in PDF format
01/21/2020 -- ANNUAL REPORT	View image in PDF format
04/05/2019 -- ANNUAL REPORT	View image in PDF format
01/24/2018 -- ANNUAL REPORT	View image in PDF format
02/09/2017 -- ANNUAL REPORT	View image in PDF format

05/11/2016 -- ANNUAL REPORT	View image in PDF format
01/27/2015 -- ANNUAL REPORT	View image in PDF format
10/02/2014 -- REINSTATEMENT	View image in PDF format
08/07/2013 -- Domestic Non-Profit	View image in PDF format

Florida Department of State, Division of Corporations


BOUNDARY SURVEY

TOPOGRAPHIC SURVEY OF
1614-1620 TRUESDALE COURT
KEY WEST, MONROE COUNTY, STATE OF FLORIDA



**FLORIDA KEYS
LAND SURVEYING**
1996 OVERSEAS HIGHWAY
SUGARLOAF KEY, FL 33042
PHONE: (305) 394-3690
FAX: (305) 509-7373
EMAIL: FKL5email@gmail.com

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND COMPLES WITH CHAPTER 177, FLORIDA STATUTES.

SIGNED: 
ERIC A. ISAACS, P.S., #7683, PROFESSIONAL SURVEYOR AND MAPPER, L#7647

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY. THE BOLD LINE SHOWN HEREON REPRESENTS THE SURVEYORS OPINION OF THE DEED LINES. THE MEAN HIGH WATER LINE AS SHOWN ON THIS SURVEY MAP WAS IDENTIFIED IN THE FIELD BY PHYSICAL EVIDENCE ON SITE SUCH AS DISCOLORATION, VEGETATION INDICATORS OR WRACK LINES. THIS IS NOT A MEAN HIGH WATER LINE SURVEY AND DOES NOT COMPLY WITH CHAPTER 177, PART 11, FLORIDA STATUTES. THE SAID MEAN HIGH WATER LINE IS SHOWN FOR REFERENCE ONLY.

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.
THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.

HP = BACK-SLOPE PREVENTER
BO = BLOW OUT
C 1.5 = 2" CONCRETE CURB & GUTTER
CB = CONCRETE BLOCK
CWB = CONCRETE BLOCK WALL
CL = CENTRAL LINE
CFC = CONCRETE FENCE
CM = CONCRETE MONUMENT
CONC = CONCRETE
COP = CONCRETE POWER POLE
COVD = COVERED
DELTA = CENTRAL ANGLE
DEAD = DRAINAGE SEGMENT
EL = ELEVATION
DIAG = DISCLOSE
EP = EDGE OF PAVEMENT
FF = FINISHED FLOOR ELEVATION
FI = FIRE HYDRANT
FJ = FENCE JOINT
FO = FOUND
FO = FENCE OUTSIDE
FOL = FENCE ON LINE

GLT = GUY WIRE
HS = HOSE END
IR = IRON ROD
L = LEG LENGTH
LS = LANDSCAPING
MBS = METAL BENCH MARK
MBSL = MEASURED METAL BENCH MARK
MHW = MEAN HIGH WATER LINE
MNSD = NATIONAL GEODETIC SURVEY DATUM (1929)
NVS = NOT COVERED
OH = ROOF OVERHANG
OVS = OVERHEAD WIRES
PC = POINT OF CURVE
PM = PARKING METER
PP = POINT OF COMPOUND CURVE
PCP = PERMANENT CONTROL POINT
PK = PARKER KALON NAIL
POB = POINT OF BEGINNING
PT = POINT OF INTERSECTION

FC = POINT OF COMMENCEMENT
PRC = POINT OF REVERSE CURVE
PRM = PERMANENT REFERENCE
R = RADIUS
RT = POINT OF TANGENT
SW = RIGHT OF WAY LINE
SSDC = SANITARY SEWER CLEAN-OUT
SW = SIDE WALK
TBM = TEMPORARY BENCHMARK
TOS = TOP OF SIGNAL
TOS = TOP OF SUPPORT
TSS = TRAFFIC SIGN
TYP = TYPE
UNL = UNLABELED
VE = UTILITY ELEVATION
W = WOOD
WF = WOOD FENCE
WL = WOOD LANDING
WM = WATER METER
WPP = WOOD POWER POLE
WV = WATER VALVE
WV = WATER VALVE

SYMBOL LEGEND:

	CATCH BASIN		WATER METER
	DRAINAGE MANHOLE		WOOD UTILITY POLE
	CONCRETE UTILITY POLE		SPOT ELEVATION (TYPICAL)
	ELECTRIC MANHOLE		PALM TREE
	FIRE HYDRANT		TREE (UNKNOWN SPECIES)
	GUY WIRE		
	MAILBOX		
	SANITARY CLEAN-OUT		
	SANITARY MANHOLE		
	SIGN		
	TELEPHONE MANHOLE		
	WATER VALVE		
	LIGHT POLE		

DATE: 10/20/2021	SURVEY BY: EAI	PROJECT: TRUESDALE COURT
REVISION DATE: XX/XX/XXXX	DRAWN BY: MPB	H. SCALE: 1"=20'
JOB NO.: 21-489	CHECKED BY:	SHEET 2 OF 2

SURVEY CONTROL POINTS

DESIGNATION	DESCRIPTION	COORDINATES	ELEVATION
#1	SET MAG NAIL & PKLS RED DISK STAMPED '2376'	N: 85179.46 E: 403527.52	3.34' (NGVD29)
#2	SET MAG NAIL & PKLS RED DISK STAMPED '2380'	N: 85036.94 E: 403494.50	4.34' (NGVD29)
#3	SET MAG NAIL & PKLS RED DISK STAMPED '2377'	N: 85213.80 E: 403769.09	4.10' (NGVD29)

FINISH FLOOR ELEVATIONS

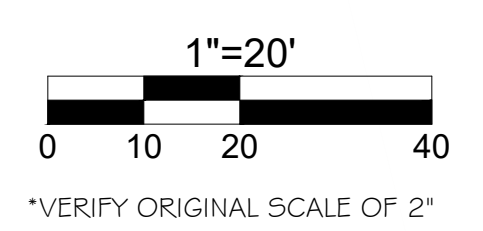
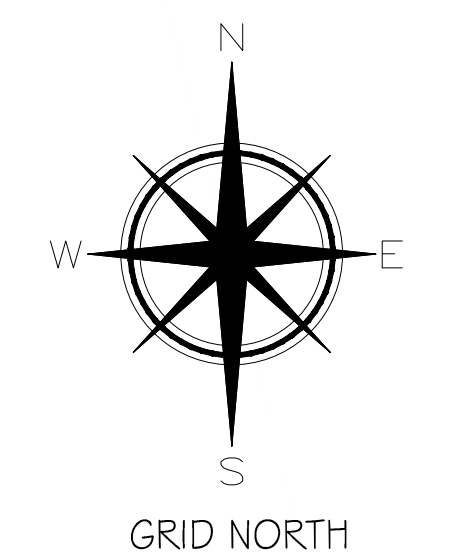
BUILDING #	ELEVATION
1614	5.7' (NGVD29)
1615	6.5' (NGVD29)
1616	6.5' (NGVD29)
1617	6.4' (NGVD29)
1618	6.0' (NGVD29)
1619	5.9' (NGVD29)
1620	5.4' (NGVD29)

SURVEYORS NOTES

- THIS IS NOT A BOUNDARY SURVEY. ANY BOUNDARY OR RIGHT OF WAY LINES SHOWN HEREON ARE FOR REFERENCE PURPOSES ONLY, AND ARE A GRAPHICAL REPRESENTATION OF THE BOUNDARY BASED ON THE RECOVERY OF SUFFICIENT BOUNDARY MONUMENTATION TO SPATIALLY DEFINE THE BOUNDARY LINES. NO ATTEMPT WAS MADE TO RESOLVE CONFLICTS BETWEEN THE RECOVERED BOUNDARY INFORMATION AND THE OCCUPATIONAL LINES.
- HORIZONTAL COORDINATES AND BEARINGS SHOWN ARE REFERENCED TO GRID NORTH, BASED ON THE 2011 ADJUSTMENT OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83/2011), OF THE FLORIDA STATE PLANE COORDINATE SYSTEM (TRANSVERSE MERCATOR PROJECTION), EAST ZONE (0901).
- COORDINATES WERE ESTABLISHED BY A REAL-TIME KINEMATIC (RTK) GNSS CONTROL SURVEY WHICH IS CERTIFIED TO A 2 CENTIMETER LOCAL ACCURACY, RELATIVE TO THE NEAREST CONTROL POINT WITHIN THE NATIONAL GEODETIC SURVEY (NGS) GEODETIC CONTROL NETWORK.
- METHOD: WIDE AREA CONTINUOUSLY OPERATING GPS REFERENCE STATION NETWORK (TRIMBLE VRS).
- ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929).
- BENCHMARK DESCRIPTION: NATIONAL GEODETIC SURVEY BENCHMARK: DESIGNATION D 1211, P.I.D. AAO020, ELEVATION 3.91' (NGVD 1929), AND ARE CERTIFIED TO +/- 0.10'.
- THE FINISH FLOOR ELEVATION (FF) WAS TAKEN AT AN EXTERIOR DOOR THRESHOLD, AT THE LOCATION INDICATED ON THE SURVEY MAP, NO INTERIOR FLOOR ELEVATIONS WERE VERIFIED.
- ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHERS THAN THE SIGNING PARTY IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY.
- THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD EVIDENCE. THE SURVEYOR MAKES NO GUARANTIES THAT THE UNDERGROUND UTILITIES SHOWN HEREON ENCOMPASS ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE EVIDENCE AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- STREET ADDRESS: 1614-1620 TRUESDALE COURT, KEY WEST, FL 33040.
- ALL UNITS ARE SHOWN IN U.S. SURVEY FEET.
- BACKGROUND IMAGE IS A 2017 GEOREFERENCED AERIAL IMAGE OBTAINED FROM THE MONROE COUNTY G.I.S. DEPARTMENT AND IS SHOWN FOR VISUAL REFERENCE ONLY.
- ALL FIELD DATA WAS ACQUIRED BETWEEN 09/13/2021 - 09/30/2021.



LOCATION MAP - NTS SEC. 34-TG79-R25E



MATCH LINE SHEET 2
MATCH LINE SHEET 1