

Application



VARIANCE AND AFTER THE FACT VARIANCE APPLICATION

CITY OF KEY WEST, FLORIDA • PLANNING DEPARTMENT

Address: 1300 White Street • Key West, Florida 33040

Phone: 305-809-3764

Website: www.cityofkeywest-fl.gov

Application Fee Schedule	
Variance Application Fee	\$ 2,431.01
Advertising and Noticing Fee	\$ 341.78
Fire Department Review Fee	\$ 121.55
Total Application Fee	\$ 2,894.34

After the Fact Application Fee Schedule	
After the Fact Variance Application Fee	\$ 4,862.03
Advertising and Noticing Fee	\$ 341.78
Fire Department Review Fee	\$ 121.55
Total Application Fee	\$ 5,325.35

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3764.

PROPERTY DESCRIPTION:

Site Address: 418 United Street, Key West, FL 33040

Zoning District: KW PT SUB 7 PT LOT 1 SQR 9 TR, T685, R 25E, S6

Real Estate (RE) #: 29000-00 Account: 1029785

Property located within the Historic District? Yes No

APPLICANT: Owner Authorized Representative

Name: Peter Janker, Samantha Jones Mailing Address: 1301 Whitehead St,

City: Key West State: FL Zip: 33040

Home/Mobile Phone: 703 850 0986 Office: same/305-896-4677 Fax: _____

Email: psjanker@yahoo.com / sammy@sjgkw.com

PROPERTY OWNER: (if different than above)

Name: Paul Janker Mailing Address: 8102 Woodrise Court

City: Fairfax Station State: VA Zip: 22039

Home/Mobile Phone: 706-358-9860 Office: _____ Fax: _____

Email: jankerkeywest@gmail.com

Description of Proposed Construction, Development, and Use:

Place 3 mini split AC systems on West wall of 418 United Street which is next to 417 United Street. Establish plantings to screen said units from both the street and sidewalk.

List and describe the specific variance(s) being requested:

Variance that in residential districts, the exhaust or mechanical part of any AC or heating unit shall not be placed or installed within 5 feet of any side property line.

Are there any easements, deed restrictions or other encumbrances attached to the property? Yes No

If yes, please describe and attach relevant documents: _____

Will any work be within the dripline (canopy) of any tree on or off the property? Yes No
 If yes, provide date of landscape approval, and attach a copy of such approval.

Is this variance request for habitable space pursuant to Section 122-1078? Yes No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. *provide square footages and percentages.*

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning				
Flood Zone				
Size of Site				
Height				
Front Setback				
Side Setback	Sec 122-1184	5 feet to property line	inside	setback
Side Setback				
Street Side Setback				
Rear Setback				
F.A.R				
Building Coverage				
Impervious Surface				
Parking				
Handicap Parking				
Bicycle Parking				
Open Space/ Landscaping				
Number and type of units				
Consumption Area or Number of seats				

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at <http://www.municode.com/Library/FL/Key West> under Subpart B.

*Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.

**VERIFICATION &
AUTHORIZATION
FORM**

**City of Key West
Planning Department**



Verification Form

(Where Authorized Representative is an individual)

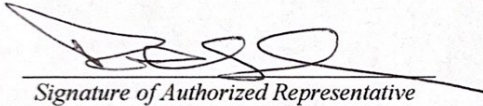
I, Peter S. Tanker, being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

418 United Street

Street address of subject property

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

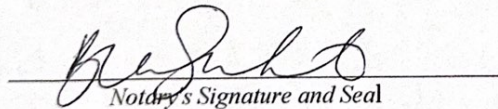
In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.


Signature of Authorized Representative

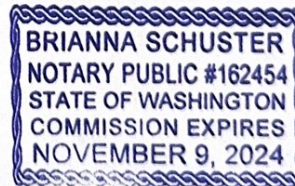
Subscribed and sworn to (or affirmed) before me on this 3 May 2024 by

Peter S. Tanker
Name of Authorized Representative

He/She is personally known to me or has presented FL Drivers License as identification.


Notary's Signature and Seal

Brianna Schuster
Name of Acknowledger typed, printed or stamped



162454
Commission Number, if any

**City of Key West
Planning Department**



Authorization Form
(Individual or Joint Owner)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Paul Janke _____ authorize
Please Print Name(s) of Owner(s) as appears on the deed

Samantha Jones Peter Janke _____
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature] _____
Signature of Owner

[Signature] _____
Signature of Joint/Co-owner if applicable

Subscribed and sworn to (or affirmed) before me on this 5/6/2024 _____
Date

by Mr. PAUL JANKE _____
Name of Owner

He/She is personally known to me or has presented Driver License _____ as identification.

[Signature] _____
Notary's Signature and Seal

M. Amini _____
Name of Acknowledger typed, printed or stamped

08/31/2025 _____
Commission Number, if any



PROPERTY CARD

Monroe County, FL

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00029000-000000
 Account# 1029785
 Property ID 1029785
 Millage Group 10KW
 Location 418 UNITED St, KEY WEST
 Address
 Legal KW PT SUB 7 PT LOT 1 SQR 9 TR 11 D2-191 J1-30 OR412-12 OR595-634 OR601-460 OR704-388 OR796-1353 OR921-1864 OR921-1865 OR921-1866 OR1959-117/18 OR2605-1131/32
 Description
 (Note: Not to be used on legal documents.)
 Neighborhood 6108
 Property Class MULTI-FAMILY 5 UNITS (0805)
 Subdivision
 Sec/Twp/Rng 06/68/25
 Affordable No
 Housing



Owner

JANKER PAUL LEON
 7688 Oak Field Ct
 Springfield VA 22153

CHRISCO-JANKER RORI JEAN
 7688 Oak Field Ct
 Springfield VA 22153

Valuation

	2023 Certified Values	2022 Certified Values	2021 Certified Values	2020 Certified Values
+ Market Improvement Value	\$505,905	\$463,425	\$392,924	\$401,855
+ Market Misc Value	\$2,783	\$2,815	\$2,848	\$2,880
+ Market Land Value	\$760,624	\$576,046	\$436,767	\$400,257
= Just Market Value	\$1,269,312	\$1,042,286	\$832,539	\$804,992
= Total Assessed Value	\$970,880	\$882,618	\$802,380	\$729,436
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,269,312	\$1,042,286	\$832,539	\$804,992

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2022	\$576,046	\$463,425	\$2,815	\$1,042,286	\$882,618	\$0	\$1,042,286	\$0
2021	\$436,767	\$392,924	\$2,848	\$832,539	\$802,380	\$0	\$832,539	\$0
2020	\$400,257	\$401,855	\$2,880	\$804,992	\$729,436	\$0	\$804,992	\$0
2019	\$386,590	\$410,785	\$2,912	\$800,287	\$663,124	\$0	\$800,287	\$0
2018	\$440,824	\$325,949	\$2,945	\$769,718	\$602,840	\$0	\$769,718	\$0

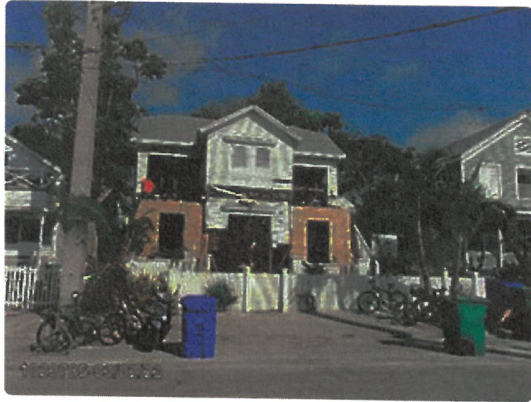
The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
MULTI RES DRY (080D)	3,635.00	Square Foot	43	84

Buildings

Building ID	2233	Exterior Walls	ABOVE AVERAGE WOOD
Style	2 STORY ELEV FOUNDATION	Year Built	1938
Building Type	R5 / R5	EffectiveYearBuilt	2013
Building Name		Foundation	WD CONC PADS
Gross Sq Ft	4456	Roof Type	GABLE/HIP
Finished Sq Ft	2372	Roof Coverage	METAL
Stories	2 Floor	Flooring Type	SFT/HD WD
Condition	AVERAGE	Heating Type	NONE with 0% NONE
Perimeter	306	Bedrooms	5



Map



TRIM Notice

[2023 TRIM Notice \(PDF\)](#)

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

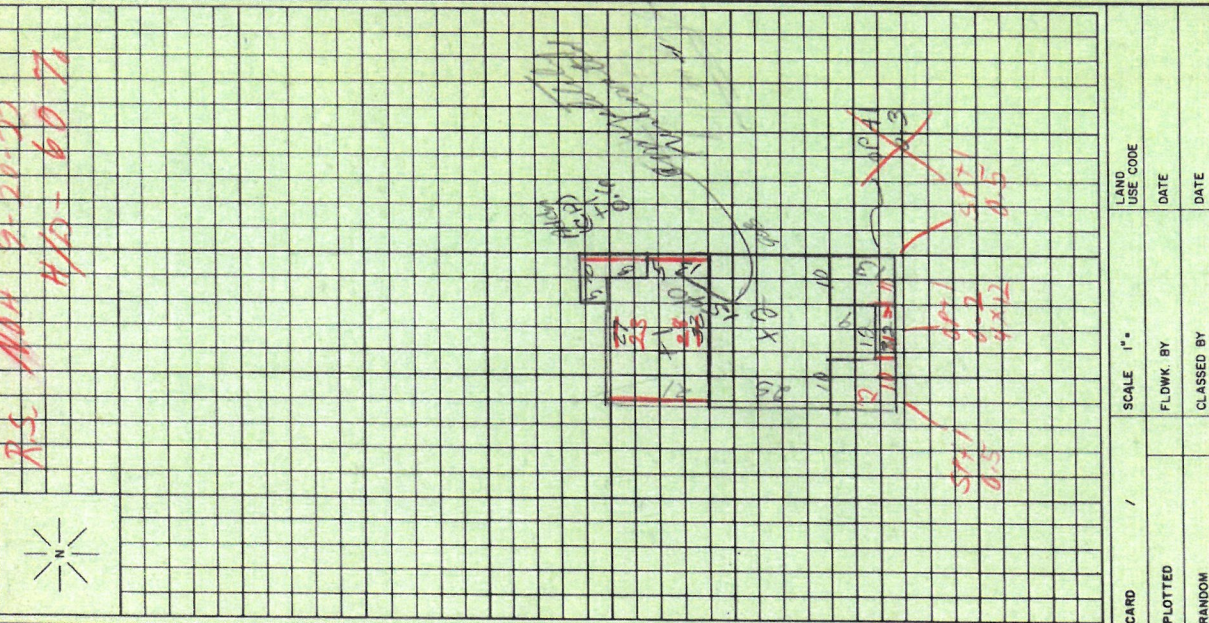
[User Privacy Policy](#) | [GDPR Privacy Notice](#)
 Last Data Upload: 2/13/2024, 5:24:07 AM

Contact Us



CONSTRUCTION DATA

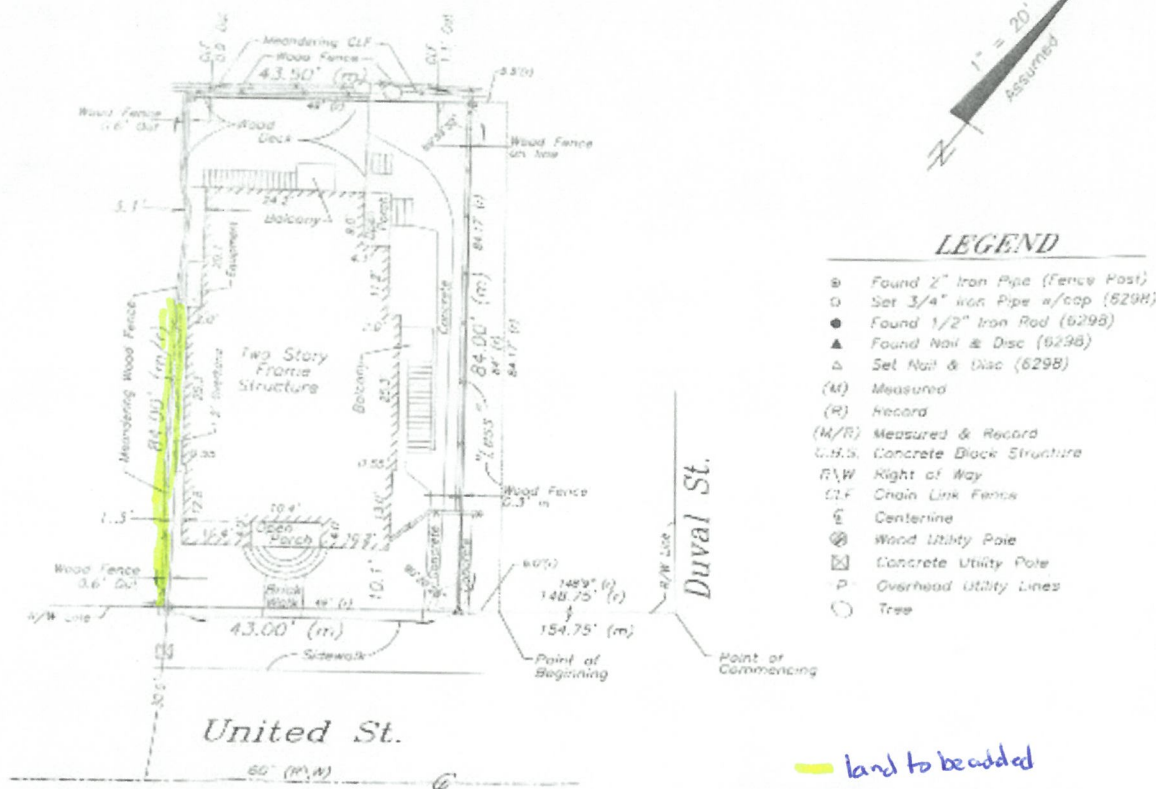
IMPROVEMENT	1	2	3	4	IMPROVEMENT	1	2	3	4
TYPE OF STRUCTURE					Interior Finish				
YEAR BUILT	Res								
Total Rooms	12				Floors				
Eff. Apts					None				
— Rm Apts					Single Pine				
No. of Baths	3				Concrete				
— No. of Rest Rms.					Conc. Asph. Tile				
— Fixt. R. Rms.					Double Pine				
Total Fixtures					Double Hardwood				
					Precast Conc.				
Continuous Wall					Parquet				
Piers					Conc. O. Tile				
Piling					Conc. Car. Tile				
Frame					Marble				
Height					Competition				
Front & Interior					None				
App. Equiv.					Poor				
Partitions					Good, Plain				
Special Use					Good, Tile				
Wallboard					None				
Corr. Metal					Poor				
Corr. Asbestos					Good, Plain				
Wd. Fr. Stucco					Good, Tile				
Wd. Fr. Asbestos					None				
C.B. Plain					Unit Heat				
C.B. Stucco					Chnl. Heating				
Wd. Fr. Siding					Chnl. Cooling				
Tile Stucco					Chnl. Cool & Heat				
Reinf. Conc.					None				
Panel, Glass, MI.					Poor				
Flat, Shed					Average				
Hip, Gable					Good				
Bar Joist					CLASS & SCALE				
Wood Truss					CONST. UNITS				
Pressressed					CLASS UNITS				
Steel Truss					TOTAL UNITS				
					BASE RATE				
					ADJ. RATE				
					AREA				
					E.F.				
					E.F.				
					REP. COST NEW				
					CONDITION				
					DEP. REP. VALUE				
					DEPRECIATION ADJUSTMENT				
					NO. PHY.				
					ADJUSTMENT				
					%				
					COND.				



CARD	SCALE 1" =	LAND USE CODE
PLOTTED	FLDWK. BY	DATE
RANDOM	CLASSIFIED BY	DATE

SURVEY

Boundary Survey Map of part of Lot 1, Square 9,
Tract 11, Island of Key West, FL



NOTES:

1. The legal descriptions shown hereon were furnished by the client or their agent.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 418 United Street, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Date of field work: November 8, 2012.
9. Ownership of fences is undeterminable, unless otherwise noted.
10. Adjoiners are not furnished.

BOUNDARY SURVEY OF: On the Island of Key West, known on William A. Whitehead's map, delineated in February, A.D. 1829, as part of Lot 1, in Square 9, Tract 11, according to Charles W. Tift's map of the Island of Key West. COMMENCING at a point 148 feet and 9 inches from the corner of Duval and United Streets, and running thence along United Street in a Southwesterly direction 49 feet; thence at right angles in a Northwesterly direction 84 feet; thence at right angles in a Northeasterly direction 49 feet; thence at right angles in a Southeasterly direction 84 feet, to the Place of Beginning.

LESS

On the Island of Key West, Monroe County, Florida, and known on William A. Whitehead's Map delineated in February, A.D. 1829 as a part of Tract 11 but better known as part of Lot 1, Square 9, Tract 11, according to Charles W. Tift's Map of said Island recorded in Deed Book "L" at Page 564 of the Public Records of Monroe County, Florida, and being more particularly described by metes and bounds as follows: COMMENCING at the intersection of the Southwesterly right of way boundary line of Duval Street with the Northwesterly right of way boundary line of United Street and run in a Southwesterly direction along the said right of way boundary line of United Street a distance of 148.75 feet to the Point of Beginning of the parcel of land herein being described; thence at right angles in a Northwesterly direction 84.17 feet to a point; thence at right angles in a Southwesterly direction 5.5 feet to a fence corner; thence in a Southeasterly direction along a fence 84.17 feet to a point on the Northeasterly right of way boundary line of United Street; thence in a Northeasterly direction along the said right of way boundary line of United Street a distance of 8.0 feet back to the Point of Beginning.

BOUNDARY SURVEY FOR: Paul Leon Janker & Rori Jean Chrisco-Janker,
Iberiabank Mortgage Company;
Stones & Cardenas;
Chicago Title Insurance Company;

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
Florida Reg. #6298

November 8, 2012

THIS SURVEY
IS NOT
ASSIGNABLE

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 298-7422 FAX (305) 298-2244



PHILLIPS & TRICE SURVEYING, INC.

Professional Land Surveyors
1204 Simonton Street
Key West, Florida 33040
(305) 294-4747

JACK M. PHILLIPS, P.L.S.
FLORIDA CERTIFICATE NO. 1410

JOE M. TRICE, P.L.S.
FLORIDA CERTIFICATE NO. 2110

PLAT
Scale 1" = 20'

WHITEHEAD STREET

LOT 12 LOT 10 LOT 8

LOT 9

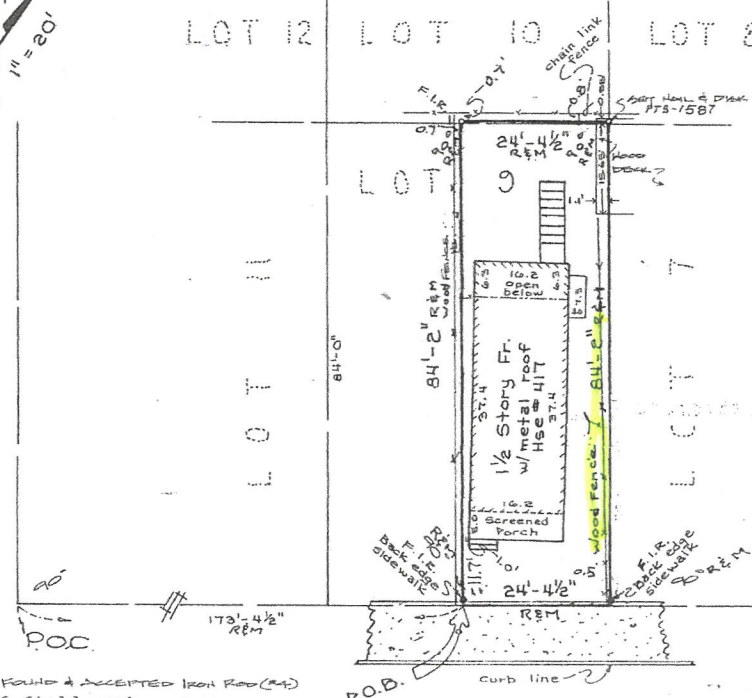
LOT 7

LOT 11

LOT 10

LOT 9

LOT 8



Land to be sold to 418 United 284 sq. ft.

NOTE:
F.I.R. - FOUND & ACCEPTED IRON ROD (R.I.)
Date of field work: July 23, 1998
FEMA zone AE 7 120168-1716-Mar 97

UNITED STREET

CERTIFIED TO:
Peter S. Janker

and Dixie L. Janker, Husband and Wife; Norwest Mortgage, Inc.;
Attorney's Title Insurance Fund, Inc. and Karleen A. Grant, Esq.

SURVEY OF: On the Island of Key West, being subdivision 9 of Square 4 according to D.T. Sweeney's Diagram of a Part of Tract 11, recorded in Book "L", Page 564, Monroe County, Florida Public Records, and being more particularly described as follows:
COMMENCING at a point on United Street distant 173 feet, 4-1/2 inches from the corner of Whitehead and United Streets and running thence along United Street in a Northeasterly direction 24 feet, 4-1/2 inches; thence at right angles in a Northwesterly direction 84 feet, 2 inches; thence at right angles in a Southwesterly direction 24 feet, 4-1/2 inches; thence at right angles in a Southeasterly direction 84 feet; 2 inches to the Place of Beginning.

SURVEY FOR: PETER S. JANKER & DIXIE L. JANKER, HUSBAND AND WIFE

I HEREBY CERTIFY that the survey delineated hereon meets or exceeds the minimum technical standards as set forth by the Florida Board of Land Surveyors, pursuant to Section 472.027 of the Florida Statutes, and that there are no encroachments, above ground, other than those shown hereon.

THIS SURVEY IS NOT VALID UNLESS EMBOSSED WITH A RAISED SEAL

PHILLIPS & TRICE SURVEYING, INC.

Joe M. Trice
Joe M. Trice, P.S.
Florida Reg. Cert. #2110

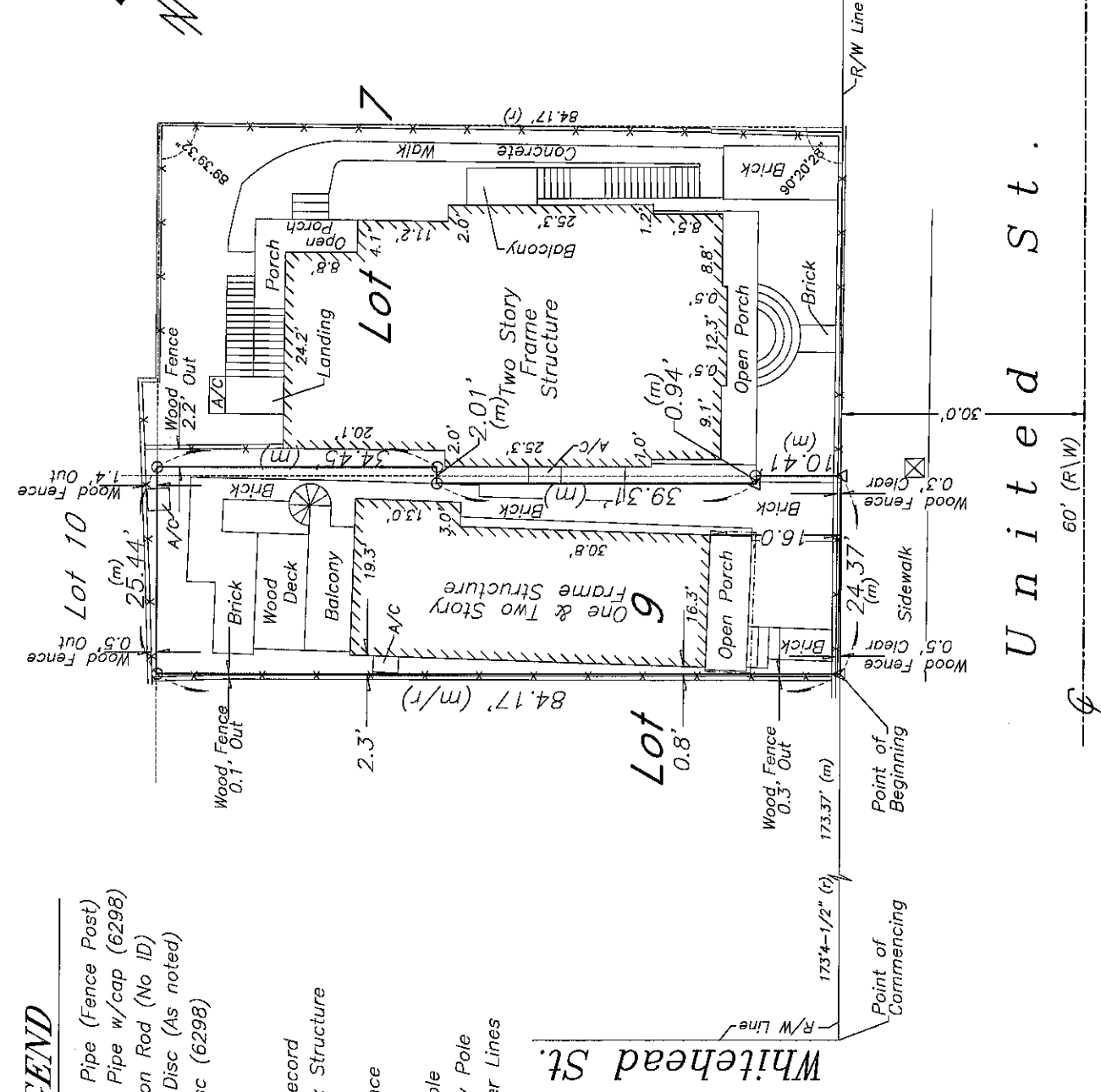
Key West, Florida
July 23, 1998

3701

Boundary Survey Map of part of Lots 7 & 9, Square 4, Tract 11, Island of Key West, FL

LEGEND

- ⊙ Found 2" Iron Pipe (Fence Post)
- Set 1/2" Iron Pipe w/cap (6298)
- Found 1/2" Iron Rod (No ID)
- ▲ Found Nail & Disc (As noted)
- △ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R\W Right of Way
- CLF Chain Link Fence
- ⊘ Centerline
- ⊙ Wood Utility Pole
- ⊠ Concrete Utility Pole
- P- Overhead Power Lines



NOTES:

1. The legal description shown hereon was authored by the undersigned
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 417 United Street, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Date of field work: March 27, 2024
9. Ownership of fences is undeterminable, unless otherwise noted.
10. Adjoiners are not furnished.

BOUNDARY SURVEY OF:

A parcel of land on the Island of Key West, and known as a part of Lots 7 and 9 of Square 4 according to D.T. Sweeney's Diagram of a part of Tract 11, recorded in Deed Book "L", Page 564, Monroe County, Florida Public Records, and being more particularly described as follows:

COMMENCING at the intersection of the Northeasterly right of way line of Whitehead Street with the Northwesterly right of way line of United Street and run thence in a Northeasterly direction along the said right of way line of United Street for a distance of 173.37 feet to the Point of Beginning of the parcel of land herein being described; thence continue Northeasterly along the said right of way line of United Street for a distance of 24.37 feet to the Southerly corner of the said Lot 7; thence Northwesterly and at right angles for a distance of 10.41 feet; thence Southwesterly and at right angles for a distance of 0.94 feet; thence Northwesterly and at right angles for a distance of 39.31 feet; thence Northeasterly and at right angles for a distance of 2.01 feet; thence Northwesterly and at right angles for a distance of 34.45 feet to the Northwesterly boundary line of the said Lot 7; thence Southwesterly and at right angles along the Northwesterly boundary line of the said Lots 7 and 9 for a distance of 25.44 feet; thence Southeasterly and at right angles for a distance of 84.17 feet back to the Point of Beginning, containing 2,051 square feet, more or less.

BOUNDARY SURVEY FOR: Peter Janker;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
Florida Reg. #6298
April 4, 2024
Revised April 12, 2024

THIS SURVEY
IS NOT
ASSIGNABLE

J. LYNN O'FLYNN, Inc.

Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

Warranty Deed

12-20-00-00

Doc# 1913352 12/26/2012 12:21PM
Filed & Recorded in Official Records of
MONROE COUNTY AMY HEAVILIN

12/26/2012 12:21PM
DEED DOC STAMP CL: MT \$3,010.00

Prepared by and return to:
Susan Mary Cardenas
Attorney at Law
Stones & Cardenas
221 Simonton Street
Key West, FL 33040
305-294-0252
File Number: 12-248-Salyer

Doc# 1913352
Bk# 2605 Pg# 1131

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 21st day of December, 2012 between Thomas D. Salyer, M.D., a single man whose post office address is 415 Joshua Ct., Beaufort, SC 29902, grantor, and Paul Leon Janker and Rori Jean Chrisco-Janker, husband and wife whose post office address is CMR 415 Box 7995, Apo, AE 09114, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Monroe County, Florida to-wit:

On the Island of Key West, known on William A. Whitehead's map, delineated in February, A.D. 1829, as part of Lot 1, in square 9, Tract 11, according to Charles W. Tift's map of the Island of Key West:

COMMENCING at a point 148 feet and 9 inches from the corner of Duval and United Streets, and running thence along United Street in a Southwesterly direction 49 feet; thence at right angles in a Northwesterly direction 84 feet; thence at right angles in a Northeasterly direction 49 feet; thence at right angles in a Southeasterly direction 84 feet, to the Place of Beginning.

LESS

On the Island of Key West, Monroe County, Florida, and known on William A. Whitehead's Map delineated in February, A.D. 1829 as a part of Tract 11 but better known as part of Lot 1, Square 9, Tract 11, according to Charles W. Tift's Map of said Island recorded in Deed Book "L" at Page 564 of the Public Records of Monroe County, Florida, and being more particularly described by metes and bounds as follows:

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Parcel Identification Number: 00029000-000000

Subject to taxes for 2013 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

DoubtsTimes

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2012**.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

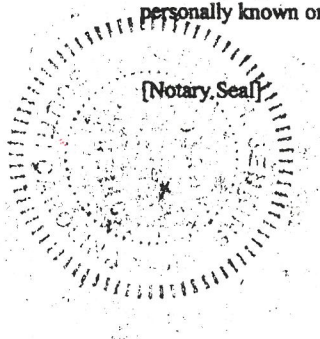
Signed, sealed and delivered in our presence:

Connie Glass
Witness Name: Connie Glass
Rebecca Paik
Witness Name: Rebecca Paik

Thomas D. Salyer
Thomas D. Salyer (Seal)

State of South Carolina
County of Beaufort

The foregoing instrument was acknowledged before me this 19 day of December, 2012 by Thomas D. Salyer, who is personally known or has produced a driver's license as identification.



Lori Jenkins
Notary Public
Printed Name: Lori Jenkins
My Commission Expires: 8-19-2015

**STATE OF FLORIDA
COUNTY OF MONROE
This copy is a True Copy of the
Original on File in this Office. Witness
My hand and Official Seal
And that same is in full force and effect**

This 13 day of Feb

A.D., 20 24
**KEVIN MADOK, CPA
Clerk Circuit Court**

By: *William J. ...*
Deputy Clerk



14 Feb 2024

Property Bill of Sale

For and in consideration of the sum of \$1.00, inclusive with all taxes, paid by, the receipt of which is hereby acknowledged, Janker Living Trust, via trustee Peter S. Janker (the seller) of 1301 Whitehead Street, Key West, Florida does hereby sell, assign and transfer to Paul L. Janker (the buyer) of 7102 Woodrise Court, Fairfax Station, Virginia VA 22039 the following described property.

"On the island of Key West, being subdivision 9, of square 4 according to D.T. Sweeney's Diagram of a Track of Part 11 as recorded in Book "L", page 564, as recorded in Monroe County, Florida Public Records. Transfer of 83.4 square feet of land to 418 United Street described as follows: From the SW corner of 418 United Street 27 inches W and then NW 13 feet to the corner of the wood structure at which point the property line becomes 25 inches from said west side of 418 United for a distance of 26 feet which is the point where the wood structure recesses back to the rear structure of the home's rear addition. Total square feet of property sold is about 83.4 square feet."

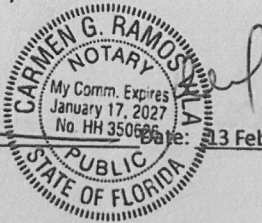
Survey to support this sale is pending and will become the basis for an updated Warranty Deed for 418 United Street, Key West Florida 33040.

Executed bill of sale on 13 February 2024.

By: _____

Peter s. Janker (Seller)

703-850-0986



Date: 13 February 2024

By: _____

Paul L. Janker (Purchaser)

706-358-9860

Date: 15 Feb 2024



Ryan Pierce Campbell
Commonwealth of Virginia
Notary Public
Commission No. 7826207
My Commission Expires 9/30/2027

County of Fairfax
Commonwealth of Virginia
The foregoing instrument was acknowledged before me
this 15 day of February 2024 by
Paul L Janker

Notary Public _____
Notary Registration # 7826207
My commission expires: 09/30/2027

Standard Conditions

Standards for Considering Variances

Before any variance may be granted, the Planning Board must find all of the following requirements are met:

- (1) Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

418 United Street is only 7 feet from the east wall of 417 United Street and prior to deeding of land from 417 United only 2 ½ inches from the 417 United property line. The retention of historical window placement drastically reduces wall space which will support placement of mini split air condition units. Proposed locations are the only locations in regards to safety considerations, system efficiency, historical preservation and ability to mitigate ergonomics elements. This issue is not applicable to many other properties in the same zoning district.

- (2) Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

418 United Street was purchased with its current lot lines which does not permit either window or mini split systems on the west side Of 418 United without a variance.

- (3) Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

Cursory inspection of the neighborhood shows that other buildings have grandfathered mini splits that fall within 5 feet of property lines and that several new construction sites show mini splits that are in (see examples) more exposed locations and appear to be well within 5 feet of respective property lines.

- (4) Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

Mini Split installations appearing within 5 feet of property lines appears to be a common element in old town where the square footage of lots is extremely restricted in comparison to the rest of Florida which originated the 5-foot restriction. (see examples) Absent a variance the home would have to be cooled/heated with window units (15 previously installed within the building) which are a safety hazard, inefficient, and still be within 5 feet of the property line. Common sense variances which would make this ordinance more attuned to the realities of Old Town Key West vs other Key West locations and the rest of Florida.

- (5) Only minimum variance granted. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.

Granting this variance for mini-split systems emplacement provides a less intrusive signature, uses less energy and provides a safer environment over the window AC units this replaces. This commercial rental property currently provides affordable workforce housing for blue collar workers to include two musicians and a hotel employee. A variance allowing installation of mini splits enables the homes to be efficiently cooled and heated thus providing a safe and secure family environment. Placement of these systems are safe, do not impede access or evacuation of the apartments and support efficient cooling and heating operations while enhancing the historical nature and element of the renovated home.

- (6) Not injurious to the public welfare. That the grant of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

Overall effect of granting of the variance will not in any way have a negative effect on the area involved. Overall neighborhood response to the renovation of 418 United has been extremely positive an prior to this variance action not one adverse comment has been received regarding the placement of the mini splits on the west side of 418 United.

In addition:

- (1) We have consulted with the Key West Forester who has recommended tree and bush planting to screen said mini splits from observation from either the street or sidewalk.
 - (2) That pending the growth of plantings, we will provide a white wooden screen that will both complement the home as well as screen the mini splits from view and buffer any noise.
 - (3) We are implementing an easement with the owners of the adjacent 417 United property to provide codification for the area between 417 and 418 United to support maintenance and preserve the historical element of these homes.
 - (4) We have implemented a plat change of land to ensure that attached mechanicals for 418 United are within the surveyed property of that home.
- (7) Existing nonconforming uses of other property not the basis for approval. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Examples of mini splits that precede the ordinance in question and those for new construction are meant to demonstrate that the neighborhood will not be adversely affected and not as a driving basis for approval.

(b) The planning board shall make factual findings regarding the following:

- (1) That the standards established in subsection (a) have been met by the applicant for a variance.
- (2) That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.

An order permitting a variance may prescribe appropriate conditions and safeguards, including visual screening, and may also prescribe a reasonable time limit within which construction or occupancy of the premises for the proposed use shall have begun or have been completed or both. Upon entry of an order granting a variance, the administrative official shall not issue any development order for the subject property unless and until all of the conditions and requirements of the order granting the variance are met. Violation of those conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of the land development regulations and shall render the variances revoked.

Plans

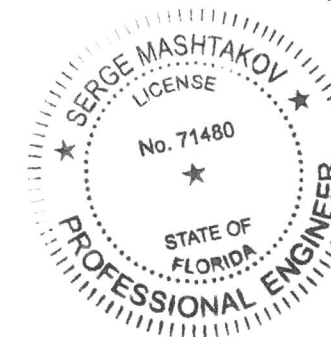
CONSTRUCTION PLANS FOR FRONT PORCH AND WALL FRAMING REPAIRS

SITE LOCATION



LOCATION MAP:

PROJECT LOCATION:
418 UNITED ST,
KEY WEST, FL 33040



THIS DRAWING IS NOT VALID WITHOUT THE
SIGNATURE AND ORIGINAL SEAL

Digitally signed by
Serge Mashtakov,
PE 71480 State of
Florida
Date: 2022.12.07
14:26:17 -05'00'

DATE: SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA

REV:	DESCRIPTION:
STATUS:	FINAL



ARTIBUS DESIGN
3710 N. ROOSEVELT BL
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.CO
CA # 30835

CLIENT: GARCIA JONE
CONTRACTOR:

PROJECT: 418 UNITED
FRONT PORC

SITE: 418 UNITED ST
KEY WEST, FL 33

TITLE: COVER

SCALE AT 1/16"=1'-0"	DATE:	DRAW
AS SHOWN	09/07/22	A
PROJECT NO:	DRAWING NO:	

GENERAL REQUIREMENTS:

1. PRIOR TO STARTING ANY WORK THE CONTRACTOR SHALL REVIEW THESE PLANS AND SITE CONDITIONS AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
2. THE ENGINEER IS NOT RESPONSIBLE FOR THE SUPERVISION OF THE CONTRACTOR NOR HIS EMPLOYEES DURING THE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE MEANS AND ESTABLISH METHODS OF THE CONSTRUCTION TO MEET REQUIREMENTS OF ALL APPLICABLE CODES, INDUSTRY STANDARDS AND REQUIREMENTS OF THESE PLANS.
3. QUALITY OF THE WORK SHALL MEET OR EXCEED INDUSTRY STANDARD PRACTICES.
4. ANY DEVIATIONS FROM THESE PLANS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.

DESIGN DATA:

1. APPLICABLE BUILDING CODE: FBC RESIDENTIAL/EXISTING BUILDING 7TH EDITION (2020)
2. APPLICABLE DESIGN LOADS: PER ASCE/SEI 7-10
 FLOOR LIVE LOAD: 40 PSF
 ROOF LIVE LOAD: 20 PSF (300 LB CONC.)
 BASIC WIND SPEED: 180 MPH
 EXPOSURE: D
 STRUCTURAL CATEGORY: II
 FLOOD ZONE: AE7
 ALL PRESSURES SHOWN ARE BASED ON ASD DESIGN, WITH A LOAD FACTOR OF 0.6

3.ASCE 24-14 FLOOD RESISTANT DESIGN AND CONSTRUCTION

SOILS AND FOUNDATIONS:

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS ARE USED IN LIEU OF A COMPLETE GEOTECHNICAL EXPLORATION. FOUNDATIONS SHALL BE PLACED ON A "SEDIMENTARY AND FOLIATED ROCK" WITH AN ALLOWABLE LOAD BEARING PRESSURE OF 4,000 PSF. NOTIFY THE ENGINEER IF SOIL CONDITIONS ARE DIFFERENT.

1. ALL FOUNDATIONS, SLABS AND FOOTERS SHALL BE PLACED ON STABILIZED UNDISTURBED SUBGRADE SOIL.
2. MINIMUM FOUNDATION DEPTH SHALL BE 24" UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. IF OVER-EXCAVATED - FILL SHALL NOT BE PLACED BACK INTO THE TRENCH UNLESS APPROVED BY THE ENGINEER.
3. FILL UNDER THE FOUNDATIONS SHALL BE USED ONLY IF APPROVED BY THE ENGINEER. CLEAN FILL MATERIAL SHALL BE PLACED IN 6"-8" LAYERS AND COMPACTED TO 98% DENSITY USING THE MODIFIED PROCTOR TEST.
4. FILL MATERIAL SHALL BE CLEAN GRANULAR SAND OR LIMEROCK MIX WITHOUT ANY ORGANIC MATERIALS, CLAY, MUCK AND ROCKS LARGER THAN 4". BACKFILL SHALL NOT CONTAIN ANY WOOD OR CELLULOSE DEBRIS.

AUGERCAST PILES

1. AUGERCAST PILES SHALL BE 16" DIAMETER WITH MINIMUM EMBEDMENT OF 3FT INTO THE CAP ROCK UNLESS OTHERWISE SHOWN ON THE PLANS.
2. CONCRETE FOR PILES SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 5000 PSI. WATER/CEMENT RATIO SHALL NOT EXCEED W/C=0.40.
3. REINFORCEMENT SHALL BE FOUR (4) #5 REBAR VERTICALLY WITH #3 STIRRUPS AT 12" O.C. CONTRACTOR SHALL USE PLASTIC CHAIRS OR CENTRALIZERS TO PROVIDE A 3" COVER ON ALL SIDES OF THE REINFORCEMENT.

CONCRETE:

1. APPLICABLE CODE ACI 318 LATEST EDITION AND ACI 301.
2. ALL CONCRETE ELEMENTS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE IS SHOWN ON THE PLANS. WATER/CEMENT RATIO SHALL NOT EXCEED W/C=0.40.
3. ALL CAST-IN-PLACE CONCRETE SHALL BE CURED AND PROTECTED FROM OVERDRYING PER ACI 305R-10 "HOT WEATHER CONCRETING".
4. ALL EXPOSED EDGES SHALL HAVE 1/2" CHAMFERS.
5. NO COLD JOINTS ARE ALLOWED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
6. TESTING: ALL FIELD AND LABORATORY TESTING SHALL BE PERFORMED BY AN INDEPENDENT SPECIALIZED COMPANY.

THE CONTRACTOR IS RESPONSIBLE FOR ALL SCHEDULING, COORDINATION AND COST OF THE TESTING COMPANY.

THREE (3) SAMPLES SHALL BE TAKEN AND TESTED EACH TIME.

MINIMUM SAMPLING FREQUENCY:

- A) EACH DAY OF CONCRETING FOR EVERY CONCRETE MIX;
- B) EVERY 50 CUBIC YARDS;
- C) EVERY 2000 SQ.FT. OF SLAB AREA.

ALL TESTING SHALL BE PER LATEST ACI AND ASTM REQUIREMENTS.

LABORATORY SHALL SUPPLY THREE (3) ORIGINAL SIGNED&SEALED REPORT RESULTS TO THE ENGINEER.

7. CAST-IN-PLACE AND PRECAST MEMBER ERECTION TOLERANCES SHALL BE AS SPECIFIED IN THE TABLE B.2.2 OR IN SECTION B.3 OF "PCI DESIGN HANDBOOK/SIXTH EDITION".

REINFORCEMENT:

1. ALL REBAR SHALL BE DEFORMED CARBON-STEEL ASTM A615/A615M-13 GRADE 60 UNLESS OTHERWISE SPECIFIED ON THE PLANS.
 * ADD ALTERNATE REINFORCEMENT OPTION: ASTM A1035 GRADE 100 (MMFX2) AS CORROSION RESISTANT ALTERNATIVE FOR ALL REINFORCEMENT.
2. ALL REQUIREMENTS FOR PLACEMENT, COVER, TOLERANCES, ETC. SHALL BE PER ACI 318-11.
3. ALL HOOKS AND BENDS SHALL BE FACTORY MADE UNLESS FIELD BENDS ARE APPROVED BY THE ENGINEER.
4. ONLY PLASTIC CHAIRS AND CENTRALIZERS SHALL BE USED FOR REBAR SUPPORT.

ALUMINUM COMPONENTS:

1. TYPE 6061-T6 ALUMINUM.
2. MIG WELD ALL JOINTS W/ CONTINUOUS 1/8" WELD. USE 5356 FILLER WIRE ALLOY.
3. ALL ALUMINUM IN CONTACT WITH CONCRETE, PT WOOD, DISSIMILAR METALS AND OTHER CORROSIVE MATERIALS SHALL COATED WITH COAL-TAR EPOXY OR PROTECTED BY OTHER ENGINEER APPROVED METHOD.

HARDWARE:

1. HARDWARE SHALL BE 304 STAINLESS STEEL OR BETTER OR ZMAX GALVANIZED FOR NON EXPOSED SIMPSON PRODUCTS, UNLESS OTHERWISE SPECIFIED.

STRUCTURAL LUMBER:

1. ALL WOOD MEMBERS SHALL MEET OR EXCEED REQUIREMENTS SPECIFIED IN "ANSI/AF&PA NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION" AND ALL REFERENCED STANDARDS.
2. ALL WOOD MEMBERS SHALL BE PRESSURE TREATED SOUTHER PINE NO2 OR GREATER KILN DRIED AS SPECIFIED IN THE STANDARDS, UNLESS OTHERWISE SPECIFIED.
3. ALL WOOD MEMBERS EXPOSED TO EXTERIOR, IN DIRECT CONTACT WITH CONCRETE OR STEEL SHALL BE PRESSURE-TREATED (PT) UC4A GRADE PER AWPA STANDARDS.
4. ALL FIELD CUTS IN PT LUMBER SHALL BE TREATED ON SITE.
5. NAILING SHALL BE IN ACCORDANCE WITH FBC 7TH EDITION (2020). NAILS AND OTHER FASTENERS FOR PT WOOD SHALL BE STAINLESS STEEL OR ACQ APPROVED TREATED.
6. SHEATHING SHALL BE 5/8" CDX PLYWOOD SHEATHING GRADE, UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. USE 8D RING-SHANK NAILS WITH SPACING OF 4" O.C. ON ALL EDGES AND 6" O.C. IN THE FIELD.

STRUCTURAL STEEL:

1. STRUCTURAL STEEL COMPONENTS SHALL BE AS DESCRIBED IN "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" AISC 360 OR LATER EDITION.
2. HSS SHAPES (STRUCTURAL TUBING) SHALL BE ASTM A500 (FY=46 KSI).
3. STEEL PLATES, FLANGES AND MISCELLANEOUS ELEMENTS SHALL BE ASTM A36 (FY=36 KSI) UNLESS NOTED OTHERWISE ON THE PLANS.
4. W-SHAPES, C-SHAPES AND OTHER FORMED STEEL SHALL BE ASTM A992 (FY=50 KSI).
5. ALL WELDING SHALL BE IN CONFORMANCE WITH THE LATEST SPECIFICATIONS AWS D1.1/D1.1M:2010, STRUCTURAL WELDING CODE - STEEL.

STRUCTURAL STEEL COATING:

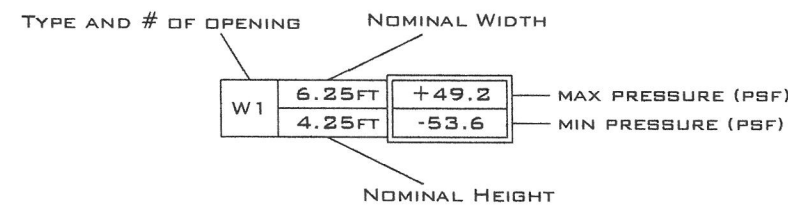
1. ALL SURFACES SHALL BE ABRASIVE BLAST CLEANED TO NEAR-WHITE METAL (PER SSPC-SP10) EXPOSED STEEL:
2. ALL SURFACES SHALL BE PRIMED WITH POLYAMIDE EPOXY - ONE COAT (8.0 MILS DFT).
3. APPLY SEALANT AT ALL LOCATIONS WHERE STEEL IS WELDED, LAPPED, ETC. SEALANT MATERIAL SHALL BE COMPATIBLE WITH THE PAINTING SYSTEM.
4. TOP LAYER SHALL BE TWO (2) COAT POLYURETHANE (3.0 MILS DFT EACH).
5. TOP PAINT SHALL BE UV RESISTANT OR HAVE A UV RESISTANT COATING.
6. COLORS SHALL MATCH EXISTING OR TO BE SELECTED BY THE OWNER.
7. 2 COATS OF "SUMTER COATINGS" UNIVERSAL PRIMER (6.0 MILS DFT) OR APPROVED EQUAL. NON-EXPOSED STEEL (INTERIOR):

REINFORCED MASONRY (CMU):

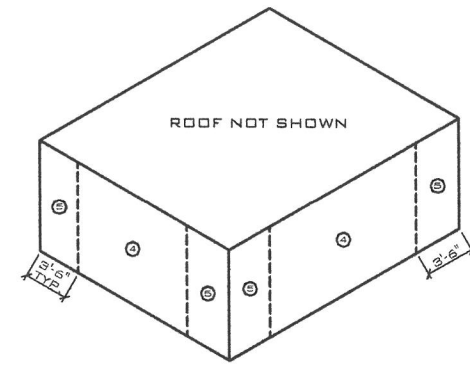
1. ALL MASONRY SHALL BE REINFORCED CONCRETE MASONRY UNIT IN ACCORDANCE WITH THE LATEST EDITION OF ACI 530/ASCE 5/TMS 402.
2. INSTALL ALL BLOCKS IN RUNNING BOND.
3. MINIMUM MASONRY BLOCK (ASTM C90) STRENGTH SHALL (F'm) BE 2000 PSI.
4. TYPE "S" MORTAR (ASTM C270) SHALL BE USED USING 3/8" FULL BEDDING REINFORCED W/ 9 GAGE GALVANIZED LADDER WIRE EVERY 2ND ROW.
5. FILLED CELLS SHALL BE REINFORCED WITH #5 REBARS @ 24" O.C. (UNLESS OTHERWISE IS SPECIFIED ON THE PLANS).
6. GROUT SHALL BE PEA ROCK PUMP MIX (ASTM C476) WITH A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI (28 DAY) (ASTM C1019). TARGETED SLUMP SHALL BE 8"-11".
6. EACH GROUTED CELL SHALL HAVE CLEANOUT OPENINGS AT THE BOTTOM. THERE SHALL BE NO LOOSE MORTAR OR OTHER DEBRIS IN THE BOTTOM OF THE CELL. USE BLAST PRESSURE WASHING FOR SURFACE PREPARATION.

WINDOWS & DOORS:

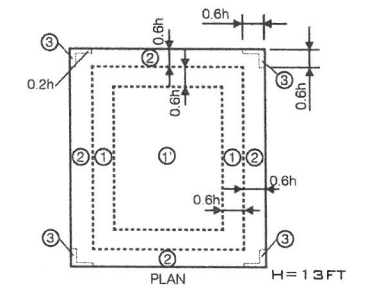
1. ALL EXTERIOR WINDOWS SHALL BE LARGE AND SMALL MISSILE IMPACT RATED.
2. ALL EXTERIOR WINDOWS SHALL HAVE FLORIDA PRODUCT APPROVAL AND NOA. PRODUCT APPROVAL LABELS SHALL BE PERMANENTLY ATTACHED TO THE FRAME.
3. WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)



ENCLOSED - BUILDING					
WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)					
DESCRIPTION	WIDTH, FT	SPAN, FT	AREA, FT ²	MAX P. PSF	MIN P. PSF
ZONE 1	1	1	1	+22.86	-89.54
ZONE 1'	1	1	1	+22.86	-51.44
ZONE 2	1	1	1	+22.86	-118.12
ZONE 3	1	1	1	+22.86	-160.99
ZONE 4	1	1	1	+51.44	-55.73
ZONE 5	1	1	1	+51.11	-68.59



WALLS WIND PRESSURES DIAGRAM
SCALE: NTS



FLAT ROOF WIND PRESSURES DIAGRAM
SCALE: NTS

REV: DESCRIPTION:
STATUS: FINAL

ARTIBUS D
ENGINEERING AND

ARTIBUS DESIGN
3710 N. ROOSEVELT BLV
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

CLIENT: GARCIA JONES
CONTRACTORS

PROJECT: 418 UNITED
FRONT PORC

SITE: 418 UNITED ST
KEY WEST, FL 33

TITLE: NOTES

SCALE AT 1/16"=1'-0" DATE: 09/07/22 DRAWN: AS SHOWN
PROJECT NO: 2202-02 DRAWING NO: G-101

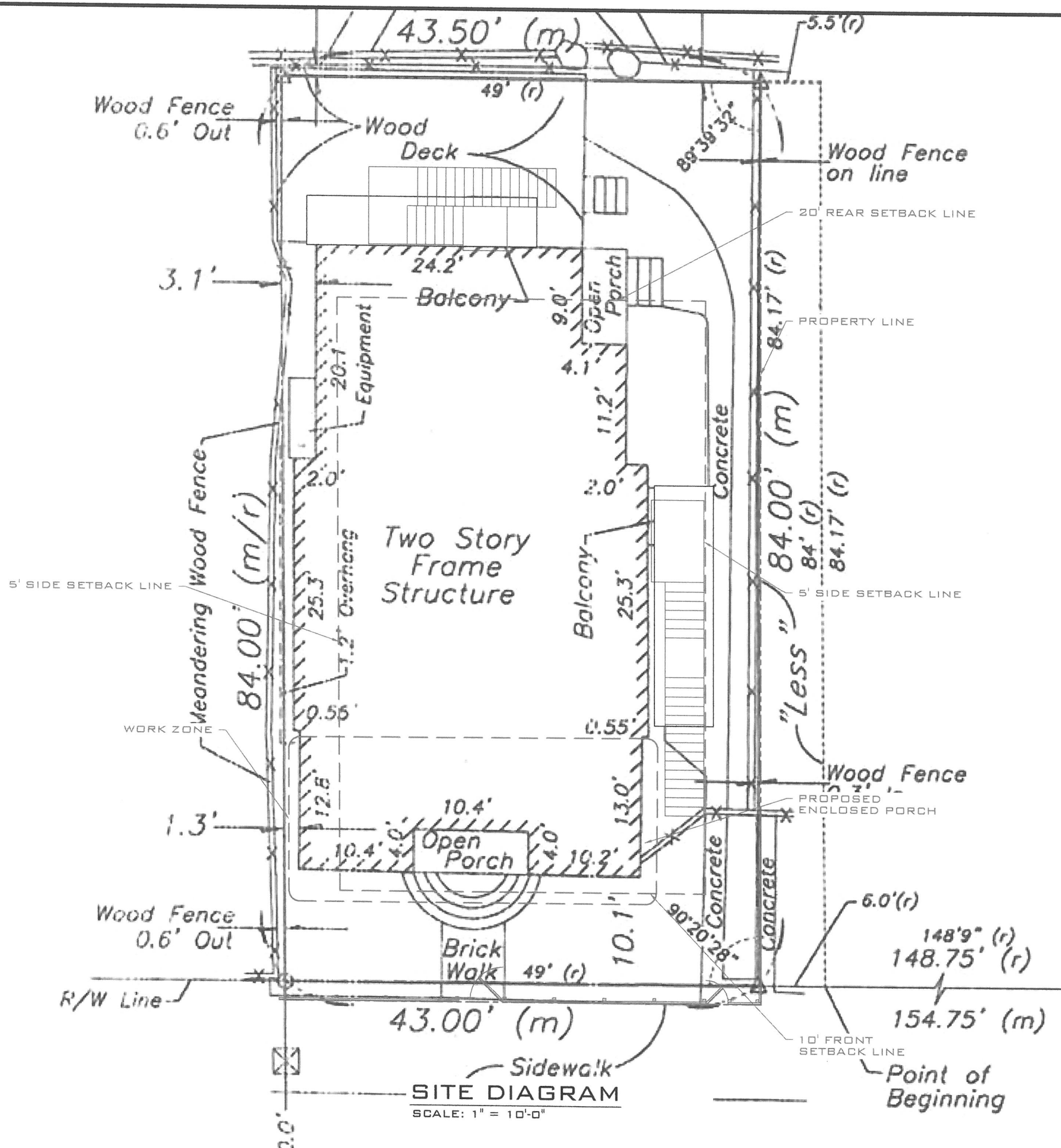
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Digitally signed by Serge Mashtakov, PE
71480 State of Florida
Date: 2022.12.07 14:26:31 -05'00'

SIGNATURE: SERGE MASHTAKOV
DATE: 12/07/2022

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

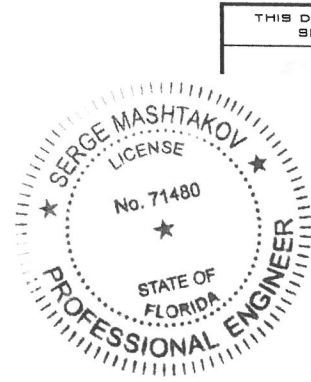




SITE DATA:

TOTAL SITE AREA:	±3,633.00 SQ.FT
LAND USE:	HHDR
FLOOD ZONE:	AE7
MAXIMUM IMPERVIOUS SURFACE RATIO:	
REQUIRED:	60% (2,179.80 SQ.FT)
EXISTING	65.43% (±2,377.07 SQ.FT.)
PROPOSED	NO CHANGE
MAXIMUM BUILDING COVERAGE:	
REQUIRED	50% (1,816.50 SQ.FT)
EXISTING	57.59% (±2,092.41 SQ.FT.)
PROPOSED	NO CHANGE
OPEN SPACE MINIMUM:	
REQUIRED	35% (1,271.55 SQ.FT)
EXISTING	34.57% (±1,255.93 SQ.FT.)
PROPOSED	NO CHANGE
SETBACKS	
FRONT:	
REQUIRED	10 FT
EXISTING	±10'-1" (TO HOUSE)
PROPOSED	NO CHANGE
SIDE:	
REQUIRED	5 FT"
EXISTING	0'-0" (BUILDING OVER HANG OVER LINE)
PROPOSED	NO CHANGE
SIDE:	
REQUIRED	5 FT
EXISTING	±5'-0" (TO STAIRS)
PROPOSED	NO CHANGE
REAR:	
REQUIRED	20 FT
EXISTING	±8'-1" (TO HOUSE)
PROPOSED	NO CHANGE
MAXIMUM HEIGHT:	
REQUIRED	30 FT
EXISTING	±30'-0"
PROPOSED	NO CHANGE

SITE DIAGRAM
SCALE: 1" = 10'-0"



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Digitally signed by Serge Mashtakov, PE
71480 State of Florida
Date: 2022.12.07
#14:26:45 -05'00'

REV:	DESCRIPTION:
STATUS:	FINAL



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3710 N. ROOSEVELT BL
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.CO
CA # 30835

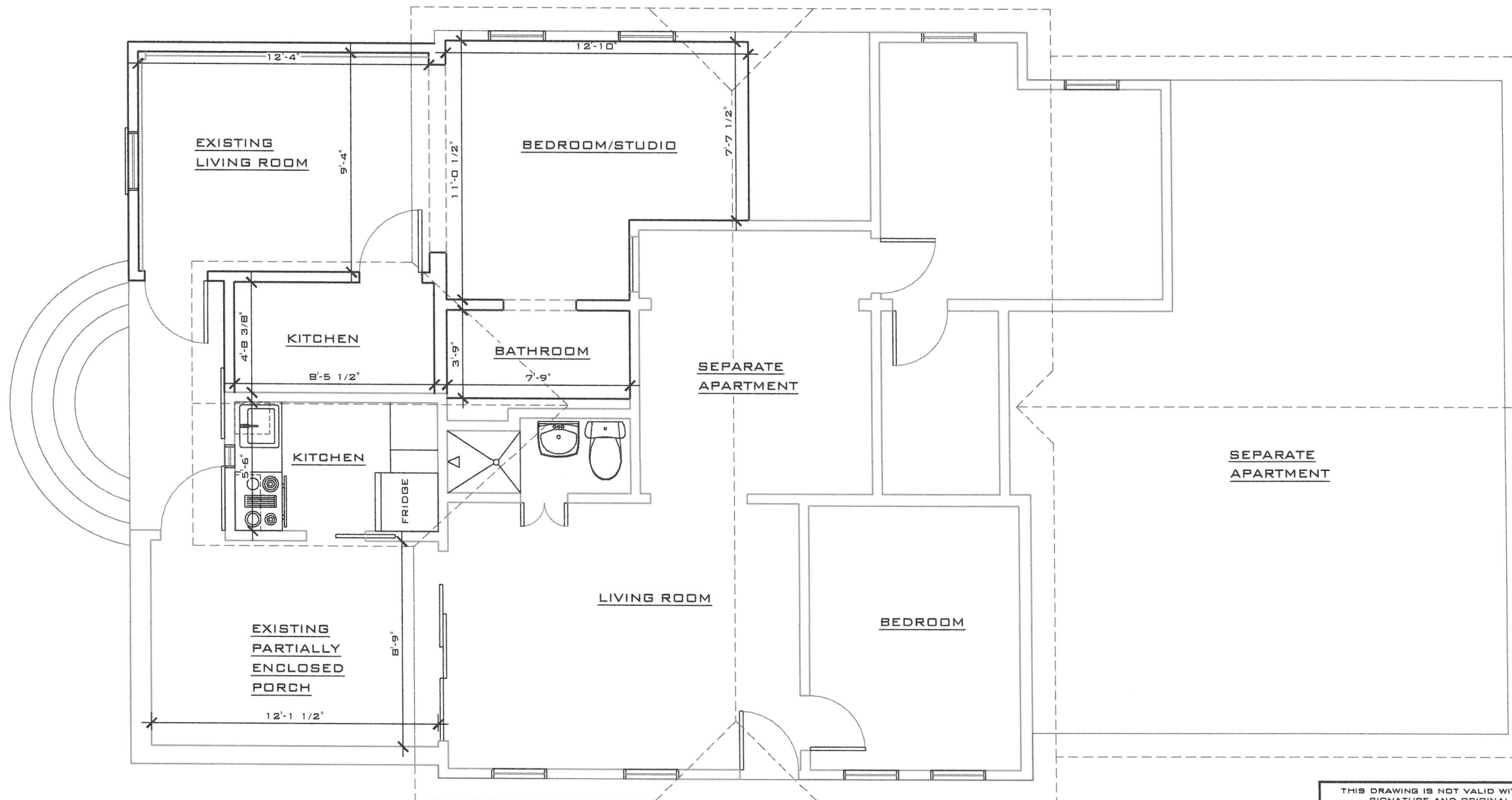
CLIENT: PAUL JANKER

PROJECT: 418 UNITED

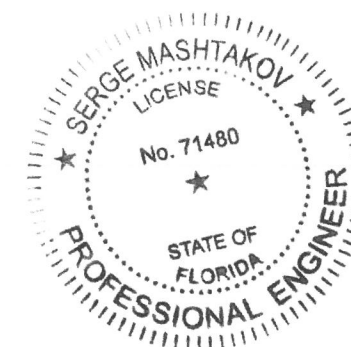
SITE: 418 UNITED ST
KEY WEST, FL 3

TITLE: SITE PLAN

SCALE AT 11X12:	DATE:	DRAW
AS SHOWN	08/05/21	JJ
PROJECT NO:	DRAWING NO:	
2010-11	C-101	



**EXISTING PARTIAL PLAN
FIRST FLOOR**
SCALE: 3/16" = 1'-0"



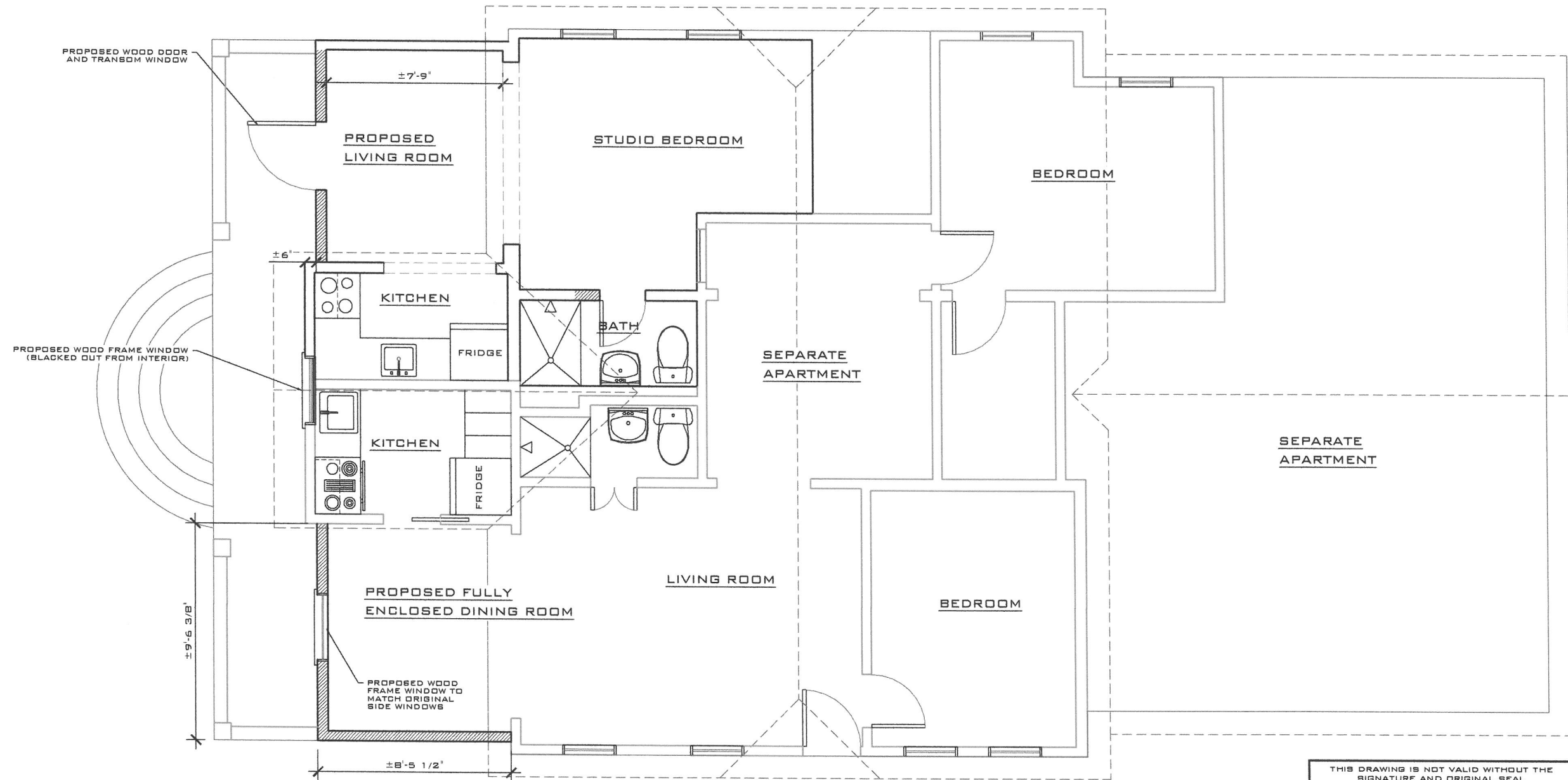
THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL

**Digitally signed by
Serge Mashtakov,
PE 71480 State of
Florida**
Date: 2022.12.07
14:27:00 -05'00'

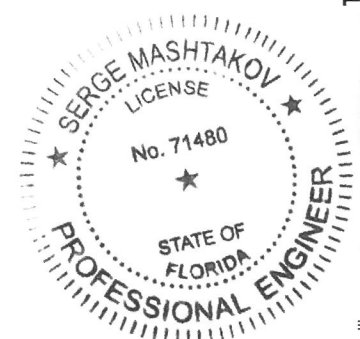
SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV:	DESCRIPTION:
STATUS:	FINAL
ARTIBUS D ENGINEERING AND	
ARTIBUS DESIGN 3710 N. ROOSEVELT BLV KEY WEST, FL 33040 (305) 304-3512 WWW.ARTIBUSDESIGN.COM CA # 30835	

CLIENT:	PAUL JANKER
PROJECT:	418 UNITED
SITE:	418 UNITED ST KEY WEST, FL 33040
TITLE:	EXISTING PARTIAL 1ST FLOOR PLAN
SCALE AT 1/16" = 1'-0"	DATE: 05/27/22
AS SHOWN	DRAWN: GI
PROJECT NO:	DRAWING NO:
2010-11	A-101



**PROPOSED PARTIAL PLAN
FIRST FLOOR**
SCALE: 3/16" = 1'-0"



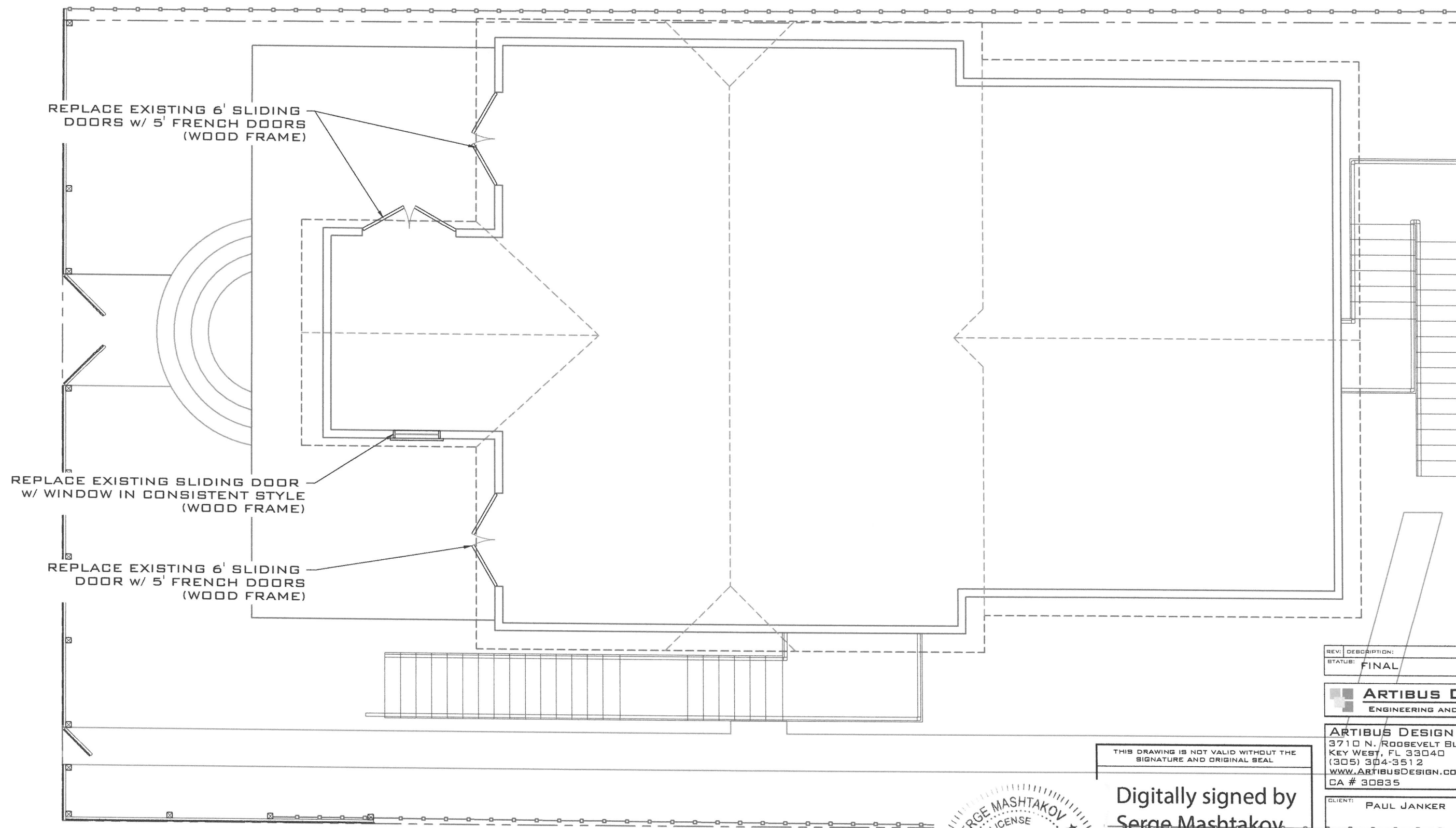
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Digitally signed by
Serge Mashtakov,
PE 71480 State of
Florida
Date: 2022.12.07
14:27:14 -05'00'

SIGNATURE: SERGE MASHTAKOV
DATE: 05/27/22

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV:	DESCRIPTION:
STATUS:	FINAL
ARTIBUS D ENGINEERING AND DESIGN	
ARTIBUS DESIGN 3710 N. ROOSEVELT BLV KEY WEST, FL 33040 (305) 304-3512 WWW.ARTIBUSDESIGN.COM CA # 30835	
CLIENT:	PAUL JANKER
PROJECT:	418 UNITED
SITE:	418 UNITED ST KEY WEST, FL 33040
TITLE:	PROPOSED PARTIAL 1ST FLOOR PLAN
SCALE AT 1/16" = 1'-0"	DATE: 05/27/22
AS SHOWN	DRAWN: G1
PROJECT NO:	DRAWING NO:
2010-11	A-102

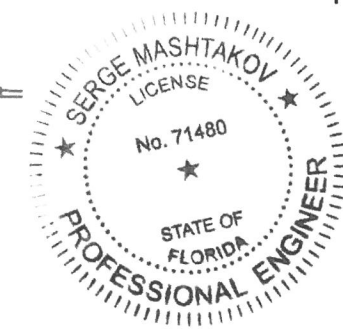


REPLACE EXISTING 6' SLIDING DOORS W/ 5' FRENCH DOORS (WOOD FRAME)

REPLACE EXISTING SLIDING DOOR W/ WINDOW IN CONSISTENT STYLE (WOOD FRAME)

REPLACE EXISTING 6' SLIDING DOOR W/ 5' FRENCH DOORS (WOOD FRAME)

**PROPOSED PARTIAL PLAN
SECOND FLOOR**
SCALE: 3/16" = 1'-0"



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Serge Mashtakov,
PE 71480 State of
Florida
Date: 2022.12.07
14:27:29 -05'00'

SIGNATURE: SERGE MASHTAKOV
DATE: 08/05/21

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV: DESCRIPTION:
STATUS: FINAL



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3710 N. ROOSEVELT BL
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.CO
CA # 30835

CLIENT: PAUL JANKER

PROJECT: 418 UNITED

SITE: 418 UNITED ST
KEY WEST, FL 3

TITLE: PROPOSED PAR
2ND FLOOR PL

SCALE AT 1/16" = 1'-0"	DATE: 08/05/21	DRAWN: J
PROJECT NO: 2010-11	DRAWING NO: A-103	



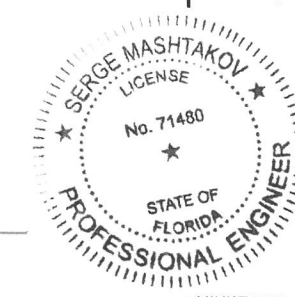
EXISTING FRONT ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED FRONT ELEVATION

SCALE: 1/8" = 1'-0"



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Mashtakov, PE
71480 State of
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STATE OF FLORIDA
LICENSE NO 71480

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CLIENT: PAUL JANKER

PROJECT: 418 UNITED

SITE: 418 UNITED ST
KEY WEST, FL 3

TITLE: FRONT ELEVATION

SCALE AT 1/8" = 1'-0"	DATE:	DRAW
AS SHOWN	06/14/22	G
PROJECT NO:	DRAWING NO:	
2010-11	A-104	



EXISTING SIDE ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED SIDE ELEVATION

SCALE: 1/8" = 1'-0"

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CLIENT: PAUL JANKER

PROJECT: 418 UNITED

SITE: 418 UNITED ST
 KEY WEST, FL 3

TITLE: SIDE ELEVATION

SCALE AT 1/8" = 1'-0"	DATE:	DRAW
AS SHOWN	08/05/21	J
PROJECT NO:	DRAWING NO:	
2010-11	A-105	

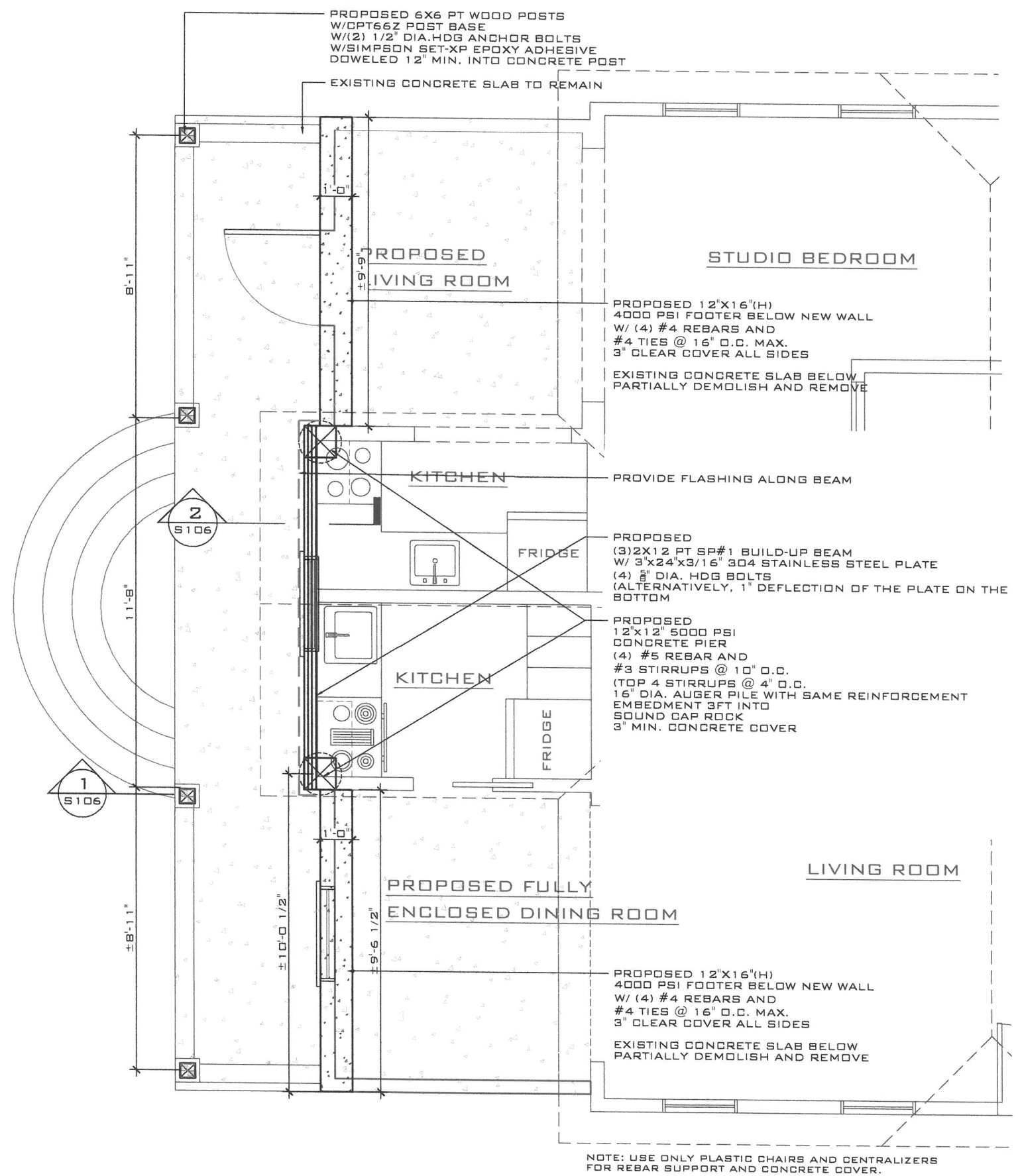
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 71480 State of Florida
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SIGNATURE: _____
 DATE: _____

SERGE MASHTAKOV
 LICENSE No. 71480
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

SERGE MASHTAKOV
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO 71480



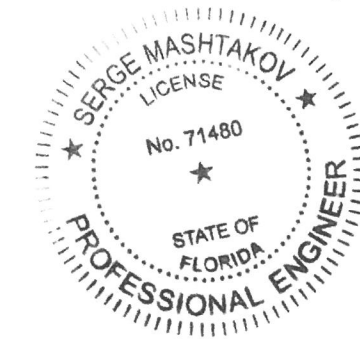
PROPOSED PARTIAL FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

REV:	DESCRIPTION:
	STATUS: FINAL



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CLIENT:
**GARCIA JONE
CONTRACTOR**

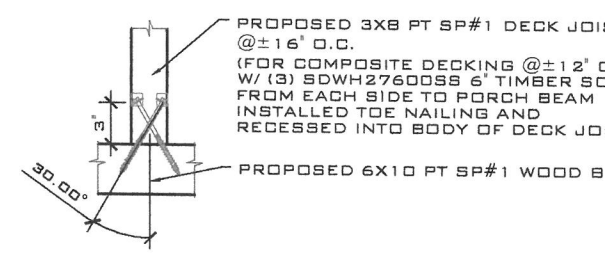
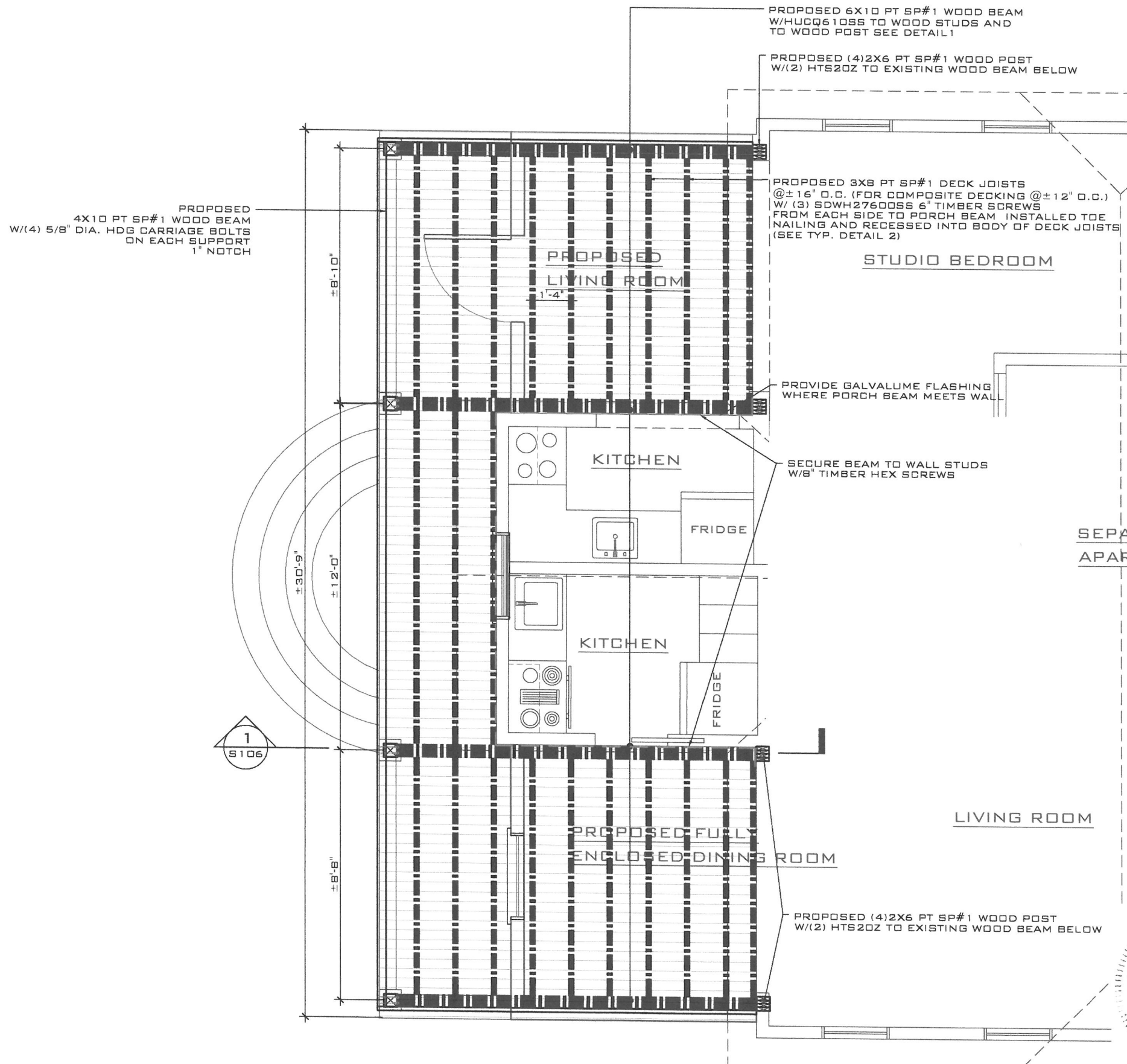
PROJECT:
**418 UNITED
FRONT PORG**

SITE:
418 UNITED ST
KEY WEST, FL 33040

TITLE:
**PROPOSED PAR
FOUNDATION PI**

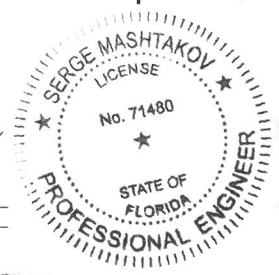
SCALE AT 1/4" = 1'-0"	DATE:	DRAW
AS SHOWN	09/07/22	1
PROJECT NO:	DRAWING NO:	
2202-02	S-101	

TE:
SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480



TYP. CONNECTION DETAIL 2
SCALE: NTS

DECK FRAMING PLAN
FRONT PORCH
SCALE: 1/4" = 1'-0"



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71480 State of Florida
Date: 2022.12.07 14:28:52 -05'00'

DATE: _____

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LICENSE NO. 71480

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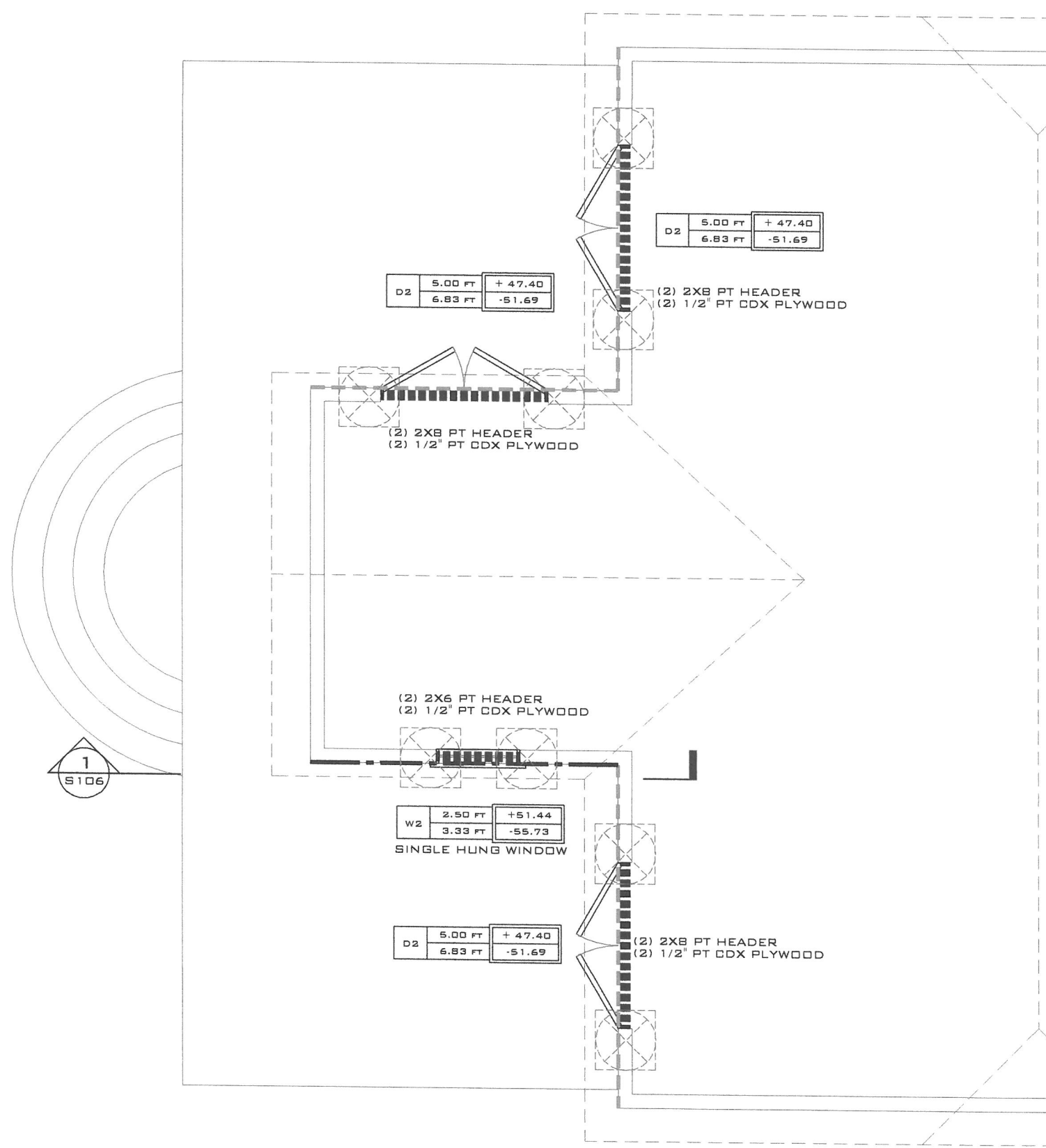
CLIENT: GARCIA JONE CONTRACTOR

PROJECT: 41B UNITED FRONT PORCH

BSITE: 41B UNITED ST
KEY WEST, FL 33040

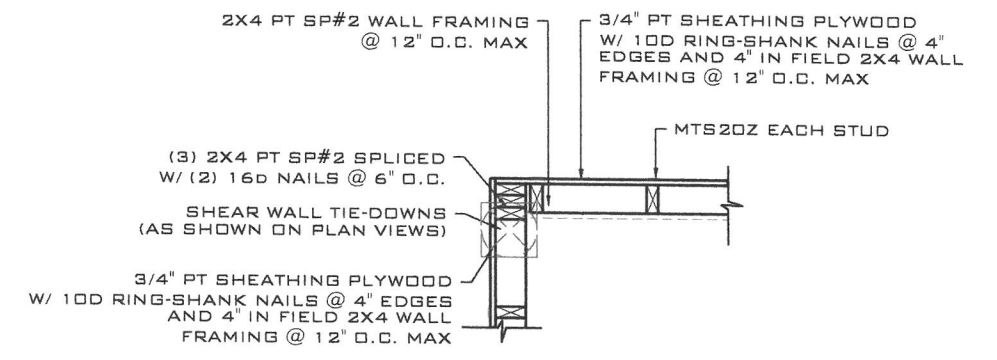
TITLE: DECK FRAMING FRONT PORCH

SCALE AT 1/4" = 1'-0"	DATE:	DRAWN:
AS SHOWN	09/07/22	A
PROJECT NO:	DRAWING NO:	
2202-02	S-103	

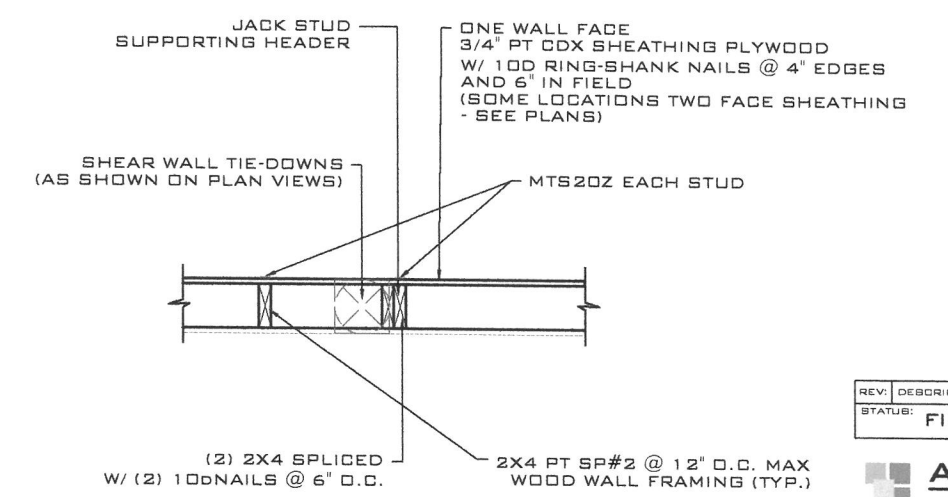


**PROPOSED SHEAR WALLS PLAN
SECOND FLOOR**
SCALE: 1/4" = 1'-0"

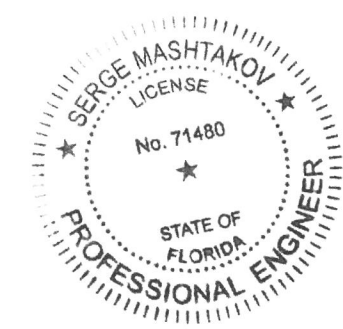
SHEAR WALLS LEGEND	
SYMBOL	DESCRIPTION
	ONE WALL FACE - 3/4" PT CDX SHEATHING PLYWOOD W/ 10D RING-SHANK NAILS @ 4" EDGES AND 6" IN FIELD 2X4 PT SP#2 WALL FRAMING @ 12" O.C. MAX
	RESTORE AND REMAIN EXISTING SIDING AND WALL FRAMING
	(2) HTS20Z TO CORNER STUDS



TYPICAL CORNER FRAMING DETAIL
SCALE: 1/2" = 1'-0"



TYPICAL SMALL OPENING FRAMING DETAIL
SCALE: 1/2" = 1'-0"



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71480 State of Florida
Date: 2022.12.07
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DATE:	09/07/22	

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STATUS:	FINAL



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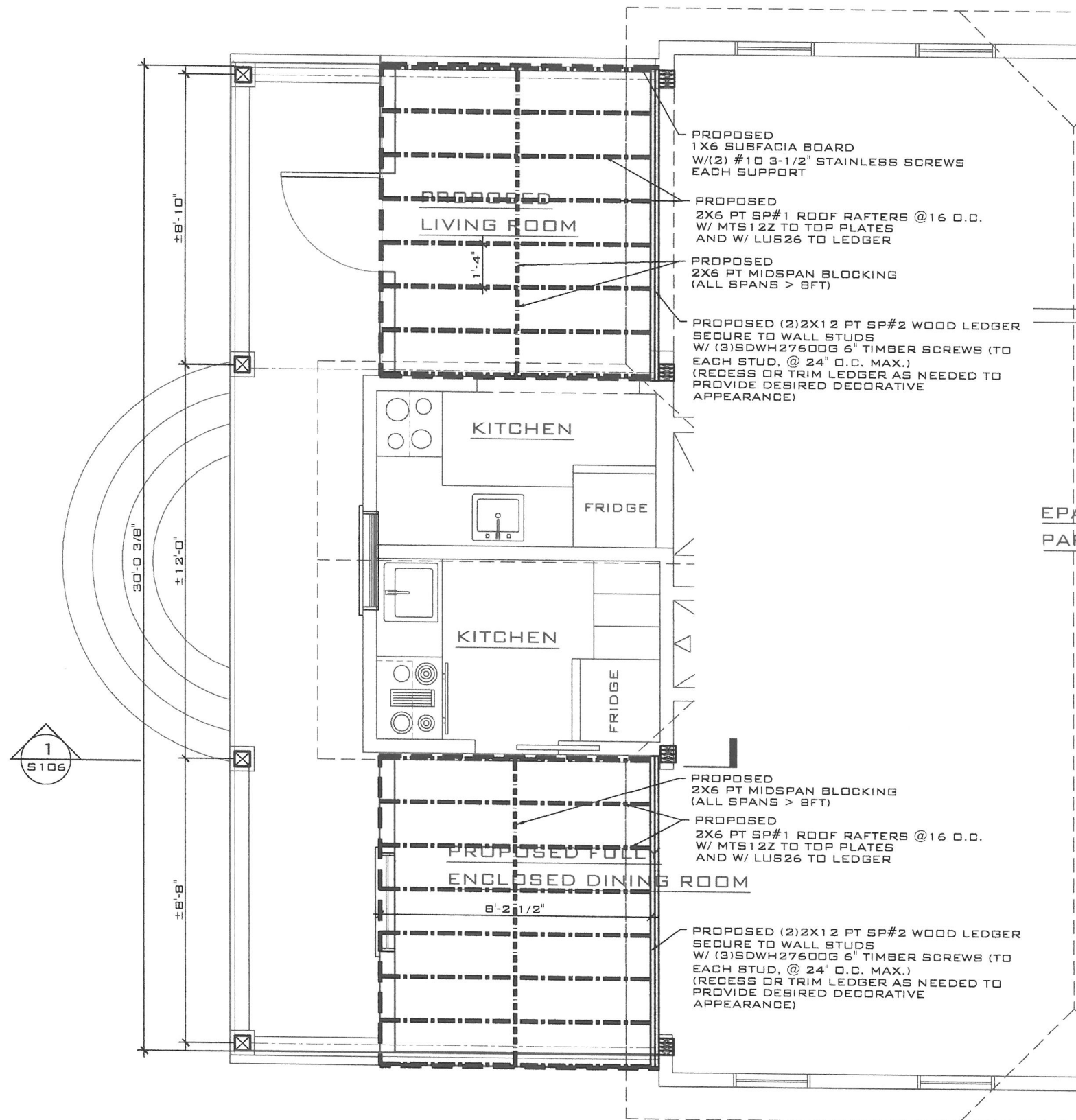
CLIENT: **GARCIA JONE CONTRACTOR!**

PROJECT: **418 UNITED FRONT PORC**

SITE: **418 UNITED ST
KEY WEST, FL 33**

TITLE: **PROPOSED SHEAR W
SECOND FLOOR**

SCALE AT 1/4"=1'-0"	DATE:	DRAW
AS SHOWN	09/07/22	A
PROJECT NO:	DRAWING NO:	
2202-02	S-104	



PROPOSED 1X6 SUBFACIA BOARD
W/(2) #10 3-1/2" STAINLESS SCREWS
EACH SUPPORT

PROPOSED 2X6 PT SP#1 ROOF RAFTERS @16 O.C.
W/ MTS 12Z TO TOP PLATES
AND W/ LUS26 TO LEDGER

PROPOSED 2X6 PT MIDSPAN BLOCKING
(ALL SPANS > 8FT)

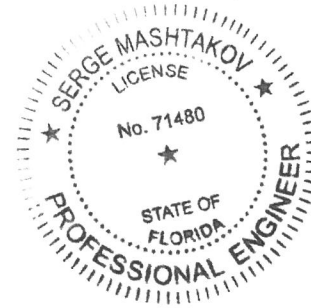
PROPOSED (2)2X12 PT SP#2 WOOD LEDGER
SECURE TO WALL STUDS
W/ (3)SDWH27600G 6" TIMBER SCREWS (TO
EACH STUD, @ 24" O.C. MAX.)
(RECESS OR TRIM LEDGER AS NEEDED TO
PROVIDE DESIRED DECORATIVE
APPEARANCE)

PROPOSED 2X6 PT MIDSPAN BLOCKING
(ALL SPANS > 8FT)

PROPOSED 2X6 PT SP#1 ROOF RAFTERS @16 O.C.
W/ MTS 12Z TO TOP PLATES
AND W/ LUS26 TO LEDGER

PROPOSED (2)2X12 PT SP#2 WOOD LEDGER
SECURE TO WALL STUDS
W/ (3)SDWH27600G 6" TIMBER SCREWS (TO
EACH STUD, @ 24" O.C. MAX.)
(RECESS OR TRIM LEDGER AS NEEDED TO
PROVIDE DESIRED DECORATIVE
APPEARANCE)

**ROOF FRAMING PLAN
FRONT ADDITIONS**
SCALE: 1/4" = 1'-0"



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PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 71480

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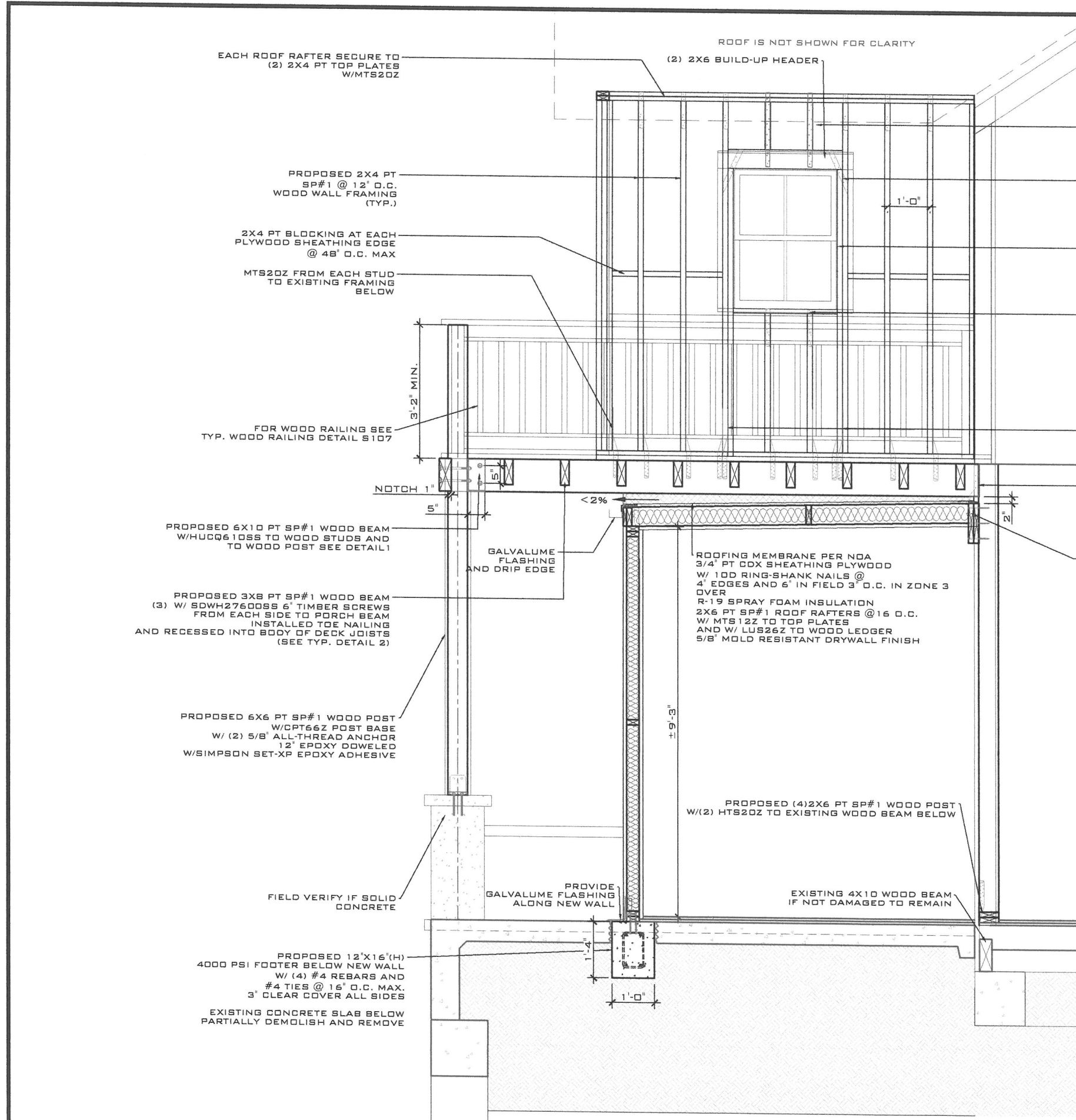
CLIENT: GARCIA JONES
CONTRACTORS

PROJECT: 418 UNITED
FRONT PORCH

BSITE: 418 UNITED ST
KEY WEST, FL 33040

TITLE: ROOF FRAMING
FRONT ADDITION

SCALE AT 1/4" = 1'-0"	DATE:	DRAWN:
AS SHOWN	09/07/22	AI
PROJECT NO:	DRAWING NO:	
2202-02	S-106	



EACH ROOF RAFTER SECURE TO
(2) 2X4 PT TOP PLATES
W/MTS20Z

(2) 2X6 BUILD-UP HEADER

PROPOSED 2X4 PT
SP#1 @ 12" O.C.
WOOD WALL FRAMING
(TYP.)

2X4 PT BLOCKING AT EACH
PLYWOOD SHEATHING EDGE
@ 48" O.C. MAX

MTS20Z FROM EACH STUD
TO EXISTING FRAMING
BELOW

FOR WOOD RAILING SEE
TYP. WOOD RAILING DETAIL S107

PROPOSED 6X10 PT SP#1 WOOD BEAM
W/HUCQ610SS TO WOOD STUDS AND
TO WOOD POST SEE DETAIL 1

PROPOSED 3X8 PT SP#1 WOOD BEAM
(3) W/ SDWH27600SS 6" TIMBER SCREWS
FROM EACH SIDE TO PORCH BEAM
INSTALLED TOE NAILING
AND RECESSED INTO BODY OF DECK JOISTS
(SEE TYP. DETAIL 2)

PROPOSED 6X6 PT SP#1 WOOD POST
W/CPT66Z POST BASE
W/ (2) 5/8" ALL-THREAD ANCHOR
12" EPOXY DOWELED
W/SIMPSON SET-XP EPOXY ADHESIVE

FIELD VERIFY IF SOLID
CONCRETE

PROPOSED 12"X16"(H)
4000 PSI FOOTER BELOW NEW WALL
W/ (4) #4 REBARS AND
#4 TIES @ 16" O.C. MAX.
3" CLEAR COVER ALL SIDES

EXISTING CONCRETE SLAB BELOW
PARTIALLY DEMOLISH AND REMOVE

ROOFING MEMBRANE PER NOA
3/4" PT CDX SHEATHING PLYWOOD
W/ 10D RING-SHANK NAILS @
4" EDGES AND 6" IN FIELD 3" O.C. IN ZONE 3
OVER
R-19 SPRAY FOAM INSULATION
2X6 PT SP#1 ROOF RAFTERS @ 16" O.C.
W/ MTS12Z TO TOP PLATES
AND W/ LUS26Z TO WOOD LEDGER
5/8" MOLD RESISTANT DRYWALL FINISH

PROPOSED (4)2X6 PT SP#1 WOOD POST
W/(2) HTS20Z TO EXISTING WOOD BEAM BELOW

EXISTING 4X10 WOOD BEAM
IF NOT DAMAGED TO REMAIN

MSTA30
WRAPPED OVER THE
TOP PLATES

(1) MSTA36Z
WRAPPED OVER THE HEADER
EACH OPENING SIDE

(1) 2X4 JACK
(1) 2X4 KING STUD EACH
SIDE OF AN OPENING

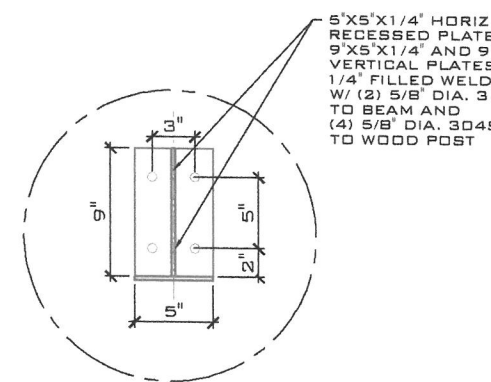
(2) 2X4 JACK
(1) 2X4 KING STUD EACH
FOR 5FT OPENING

2X4 SILL PLATE (TYP).
MSTA18Z TO ANY INTERMEDIATE
STUDS

(2)HTS20Z AT ALL SIDES OF
OPENING

PROPOSED 6X10 PT SP#1 WOOD BEAM
W/HUCQ610SS TO WOOD STUDS AND
TO WOOD POST SEE DETAIL 1

(2)2X12 PT SP#2 WOOD LEDGER
SECURE TO WALL STUDS
W/ (3) SDWH27600SS 6" TIMBER SCREWS
(TO EACH STUD, @ 24" O.C. MAX.)
(RECESS OR TRIM LEDGER AS NEEDED TO
PROVIDE DESIRED DECORATIVE
APPEARANCE)



TYPICAL DETAIL 1
SCALE: NTS

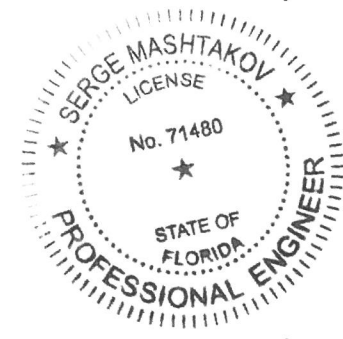
SECTION 1-1
SCALE: 3/8" = 1'-0"

REV:	DESCRIPTION:
STATUS:	FINAL



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PE 71480 State of
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CLIENT:
GARCIA JONE
CONTRACTOR!

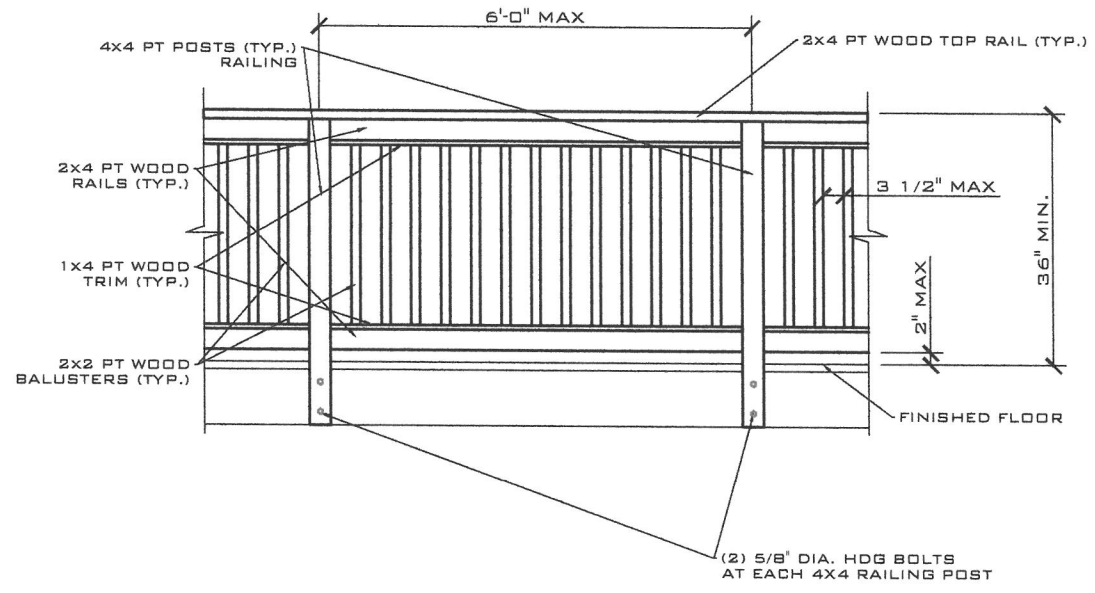
PROJECT:
418 UNITED
FRONT PORC

SITE:
418 UNITED ST
KEY WEST, FL 33

TITLE:
SECTION 1-1, C

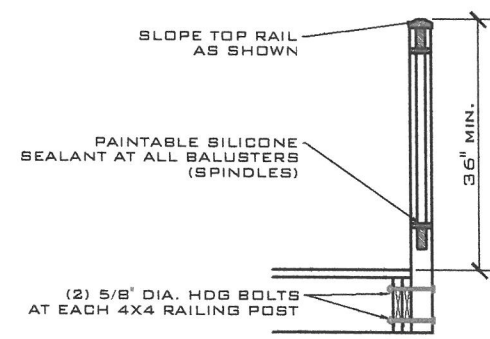
SCALE AT 1/16":	DATE:	DRAW:
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PROJECT NO:	DRAWING NO:	
2202-02	S-106	

DATE:
SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

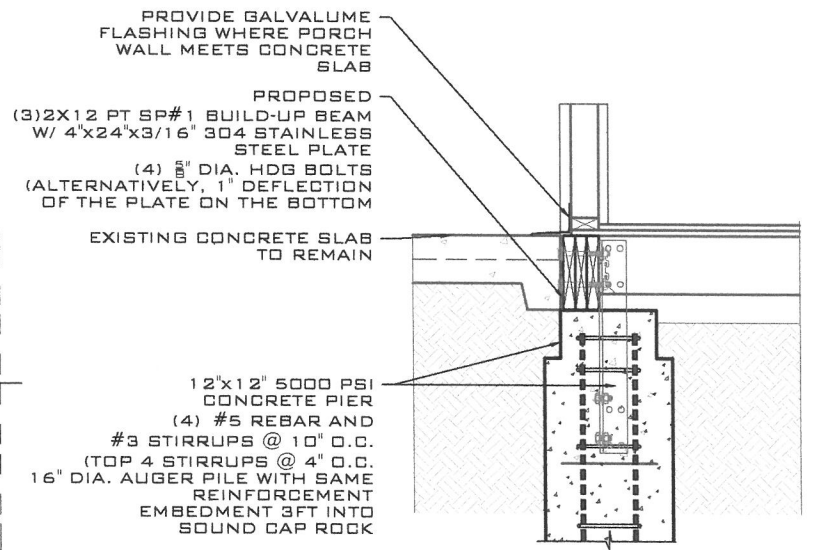
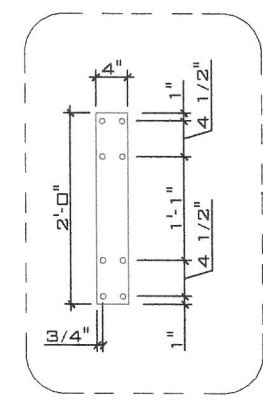


- MINIMUM FASTENERS REQUIREMENTS:
1. TOP RAIL TO POSTS - (6) #10x3" SST DECK SCREWS EACH POST;
 2. HORIZONTAL RAILS - (4) #10x3" SST DECK SCREWS EACH END, (2) EACH FACE;
 3. VERTICAL BALUSTERS - (1) #10x2.5" SST DECK SCREWS EACH END, EACH FACE;
- NOTE:
1. PREDRILL HOLES ON END CONNECTIONS TO AVOID SPLITTING.
 2. AFTER INSTALLATION USE A PAINTABLE SILICON SEALANT AROUND ALL SPINDLES.
 3. ALL LUMBER SHALL BE PRESSURE-TREATED (PT) UC4A GRADE PER AWPA STANDARDS.

TYPICAL WOOD RAILING
SCALE: NTS



TYPICAL WOOD RAILING SECTION
SCALE: NTS



SECTION 2-2
SCALE: 1/2" = 1'-0"



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DATE: _____

SERGE MASHTAKOV
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STATE OF FLORIDA
LICENSE NO 71480

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CA # 30835

CLIENT: **GARCIA JONES CONTRACTORS**

PROJECT: **418 UNITED FRONT PORCH**

BSITE: **418 UNITED ST KEY WEST, FL 33**

TITLE: **TYP. WOOD RAILING SECTION 2-2**

SCALE AT 1/2":	DATE:	DRAWN:
AS SHOWN	09/07/22	AP
PROJECT NO:	DRAWING NO:	
2202-02	5-107	

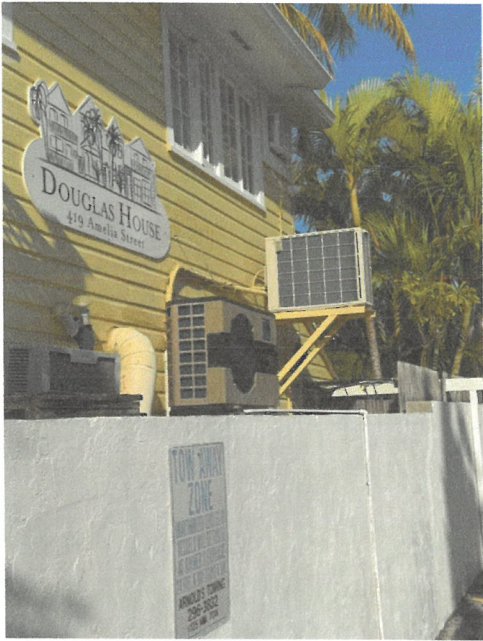
AC Examples Vicinity of 418 United Street

Pending, New and Legacy Installations

Pending AC Systems:



New:



Legacy:

