



Staff Report for Item 12a

To: Chairman Bryan Green and Historic Architectural Review
Commission Members

From: Kelly Perkins
HARC Assistant Planner

Meeting Date: December 15, 2015

Applicant: Michael Miller

Application Number: H15-01-1811

Address: #1109 Fleming Street

Description of Work:

Restoration of existing eyebrow house. New rear addition. New guest house with underneath carport. New pool and site work.

Site Facts:

#1109 Fleming Street is listed as a contributing resource and was constructed c.1889 according to the survey. The site has a historic eyebrow house and a rear two-story guesthouse. The rear of the property has a side facing Stickney Lane. The lot has two flood zones: the front of the property is in AE-6 and the rear is in AE-7.

This property recently came to HARC in May for the demolition of two structures in the rear – a carport and a shed. It also came to the Commission in July when it was approved for renovations to the eyebrow house and for demolition and new construction of a rear guesthouse. This Certificate of Appropriateness is for revisions to those plans.

Guidelines Cited in Review:

Secretary of the Interior's Standards for Rehabilitation (pages 16-17), specifically Standards 2, 4, 9, and 10.

Additions and Alterations/New Construction (pages 36-38a); specifically guidelines 1 through 8 for additions and alterations and guidelines 2, 3, 4, and 5 of new construction (pages 38-38a).

Outbuildings: Carports, Gazebos, Garages, Sheds, Shelters, & Accessory Structures (pages 40-41), specifically guidelines 1, 3, 4, 5, and 9.

Staff Analysis

The Certificate of Appropriateness in review proposes renovating the existing eyebrow house, such as removing the existing v-crimp roof to add metal shingles to the historic house, installing new 6/6, true divided light wood windows, and repairing/restoring siding. Other changes proposed for the main house include a new one-story addition in the rear. The addition will utilize modern materials such as hardie-board siding, impact windows, and a v-crimp roof.

The revised plans still include a guesthouse, but this structure will only be 24 feet tall, 6 inches shorter than the contributing eyebrow house. There will be parking underneath. Site work includes a combination of decks (wood and stone) and a swimming pool.

Consistency with Cited Guidelines

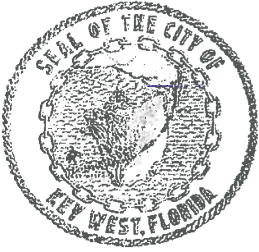
1. As the house was built in the late 1800s, it would have had wood shingle roof originally. Metal shingles are a much more appropriate material than v-crimp for the eyebrow house. The other proposed window changes to the main historic house are also consistent with the guidelines.
2. The proposed massing, height, proportions, and scale of the new one-story addition is much more appropriate for this eyebrow house.
3. The guesthouse has also been reduced to a much more appropriate height that will not overwhelm the historic house.

It is staff's opinion that the proposed design is consistent with the guidelines regarding additions and alterations and new construction. The new addition and guesthouse have an appropriate height, mass, scale, and proportions compared to the contributing house and neighboring structures.

APPLICATION

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE



City of Key West

3140 FLAGLER AVENUE
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

www.cityofkeywest.fl.gov

HARC PERMIT NUMBER 15-01-1811		BUILDING PERMIT NUMBER 15-4829		INITIAL & DATE
FLOODPLAIN PERMIT			REVISION #	
FLOOD ZONE	PANEL #	ELEV. L. FL.	SUBSTANTIAL IMPROVEMENT ___ YES ___ NO ___ %	

ADDRESS OF PROPOSED PROJECT:

1109 FLEMING ST

OF UNITS
2

RE # OR ALTERNATE KEY:

NAME ON DEED:

PAUL MURZYN

PHONE NUMBER

(317) 496-3732

OWNER'S MAILING ADDRESS:

1109 FLEMING ST

EMAIL

CONTRACTOR COMPANY NAME:

—

PHONE NUMBER

CONTRACTOR'S CONTACT PERSON:

—

EMAIL

ARCHITECT / ENGINEER'S NAME:

MICHAEL MILLER

PHONE NUMBER

(305) 294-7687

ARCHITECT / ENGINEER'S ADDRESS:

**517 DUVAL ST
KEY WEST**

EMAIL

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: YES NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT:

\$

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT TYPE: ONE OR TWO FAMILY MULTI-FAMILY COMMERCIAL NEW REMODEL
 CHANGE OF USE / OCCUPANCY ADDITION SIGNAGE WITHIN FLOOD ZONE
 DEMOLITION SITE WORK INTERIOR EXTERIOR AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC.,

**RESTORATION WORK TO CONTRIBUTING STRUCT.
CONSTRUCTION OF NEW GUEST HOUSE
DEMOLISH NON CONTRIBUTING EL ON EXISTING C.S.**

I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOV'T AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT:	
OWNER PRINT NAME: 1	QUALIFIER PRINT NAME:
OWNER SIGNATURE:	QUALIFIER SIGNATURE:
Notary Signature as to owner:	Notary Signature as to qualifier:
STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS _____ DAY OF _____, 20_____.	STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS _____ DAY OF _____, 20_____.
Personally known or produced _____ as identification.	Personally known or produced _____ as identification.

23532-7409-OK

PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS

PROPERTY STRUCTURES AFFECTED BY PROJECT: MAIN STRUCTURE ACCESSORY STRUCTURE SITE

ACCESSORY STRUCTURES: GARAGE / CARPORT DECK FENCE OUTBUILDING / SHED

FENCE STRUCTURES: 4 FT. 6 FT. SOLID 6 FT. / TOP 2 FT. 50% OPEN

POOLS: INGROUND ABOVE GROUND SPA / HOT TUB PRIVATE PUBLIC
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING: NEW ROOF-OVER TEAR-OFF REPAIR AWNING
 5 V METAL ASPLT. SHGLS. METAL SHGLS. BLT. UP TPO OTHER

FLORIDA ACCESSIBILITY CODE: 20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE: # OF SINGLE FACE # OF DOUBLE FACE REPLACE SKIN ONLY BOULEVARD ZONE
 POLE WALL PROJECTING AWNING HANGING WINDOW
 SQ. FT. OF EACH SIGN FACE: _____

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL: DUCTWORK COMMERCIAL EXH. HOOD INTAKE / EXH. FANS LPG TANKS
 A / C: COMPLETE SYSTEM AIR HANDLER CONDENSER MINI-SPLIT

ELECTRICAL: LIGHTING RECEPTACLES HOOK-UP EQUIPMENT LOW VOLTAGE
 SERVICE: OVERHEAD UNDERGROUND 1 PHASE 3 PHASE _____ AMPS

PLUMBING: ONE SEWER LATERAL PER BLDG. INGROUND GREASE INTCPTRS. LPG TANKS

RESTROOMS: MEN'S WOMEN'S UNISEX ACCESSIBLE

PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100
 PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.
 ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: harc@cityofkeywest.fl.gov
 INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS: GENERAL DEMOLITION SIGN PAINTING OTHER

ADDITIONAL INFORMATION: _____

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA

ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:
DECK W/ WOOD	WOOD	WOOD

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION. *N.A.*

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B) BUSINESS SIGN BRAND SIGN OTHER: _____

BUSINESS LICENSE # _____ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE _____

Oper: KEYWBLD Type: BP Drawer: 1
 Date: 11/25/15 50 Receipt no: 4553
 2015 1001811
 PT * BUILDING PERMITS-NEW
 1.00 \$100.00
 Trans number: 3072561
 CK CHECK 1680 \$100.00
 Trans date: 11/24/15 Time: 15:53:10

SIGN SPECIFICATIONS

SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY: INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.		

OFFICIAL USE ONLY:		HARC STAFF OR COMMISSION REVIEW	
<input type="checkbox"/> APPROVED	<input type="checkbox"/> NOT APPROVED	<input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	<input type="checkbox"/> TABLED FOR ADD'L. INFO.
HARC MEETING DATE:	HARC MEETING DATE:	HARC MEETING DATE:	
REASONS OR CONDITIONS:			
STAFF REVIEW COMMENTS:			
HARC PLANNER SIGNATURE AND DATE:		HARC CHAIRPERSON SIGNATURE AND DATE:	

PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS

FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

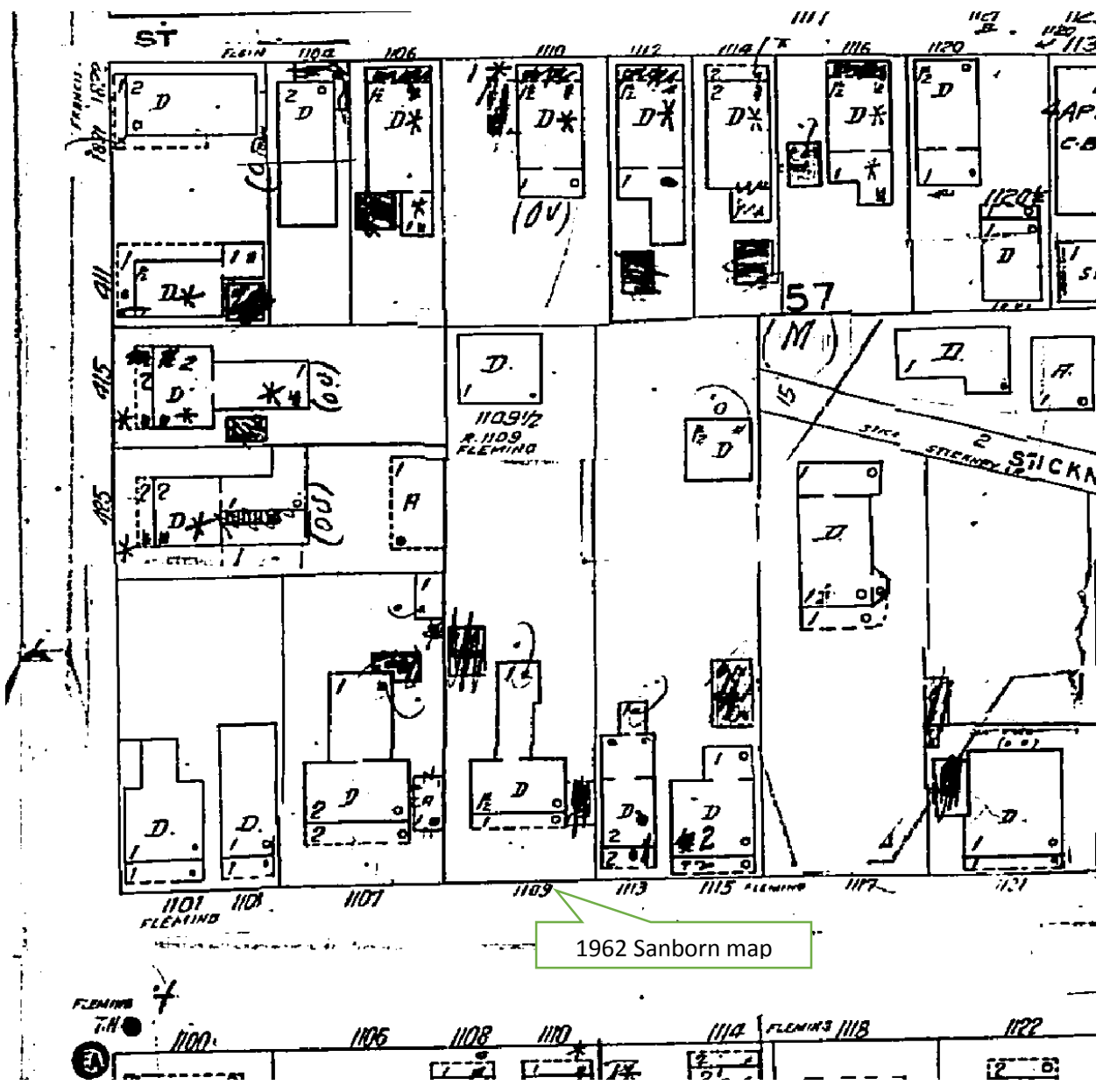
FLORIDA STATUTE 469: ABESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS

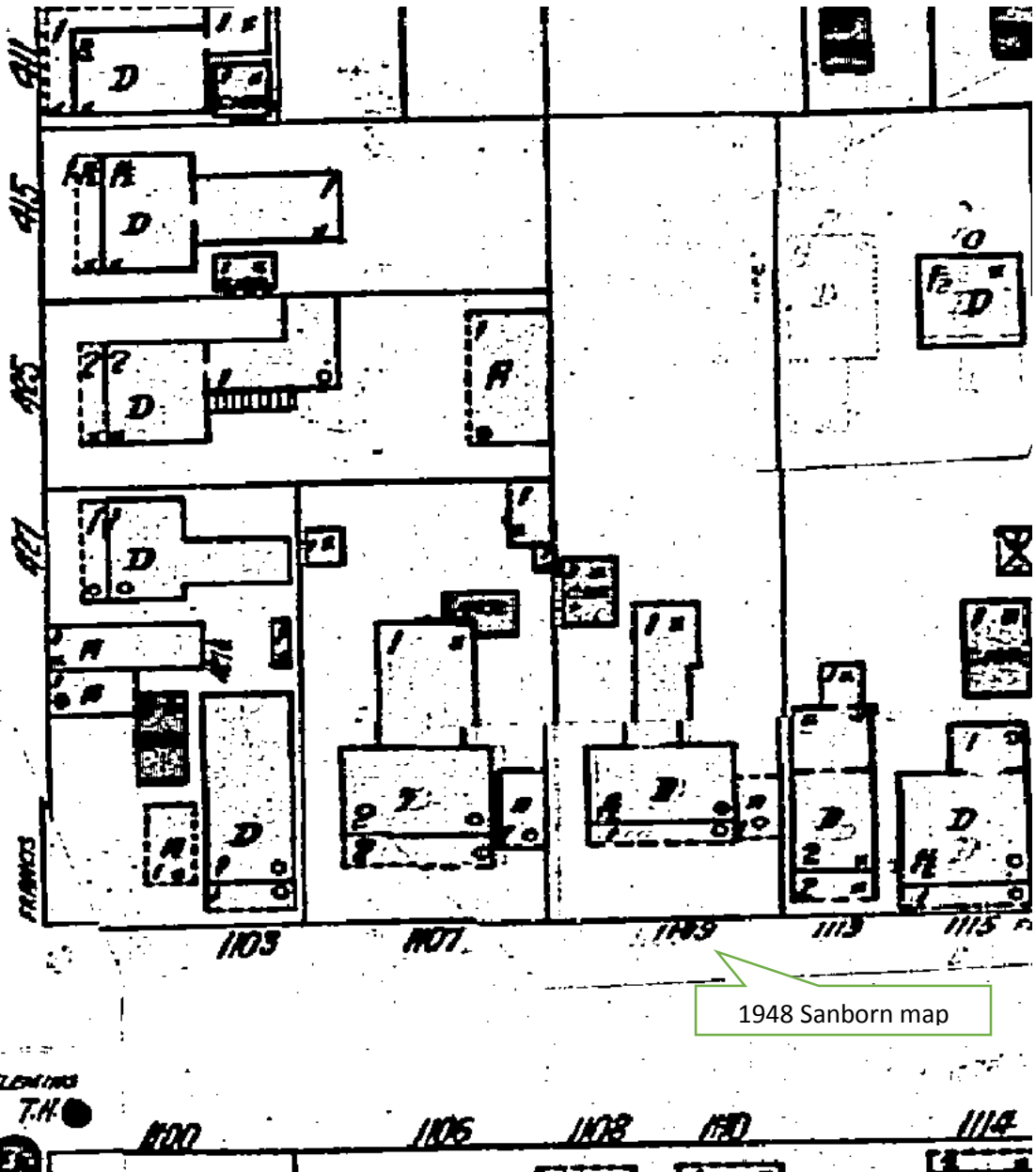
PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT AUTHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

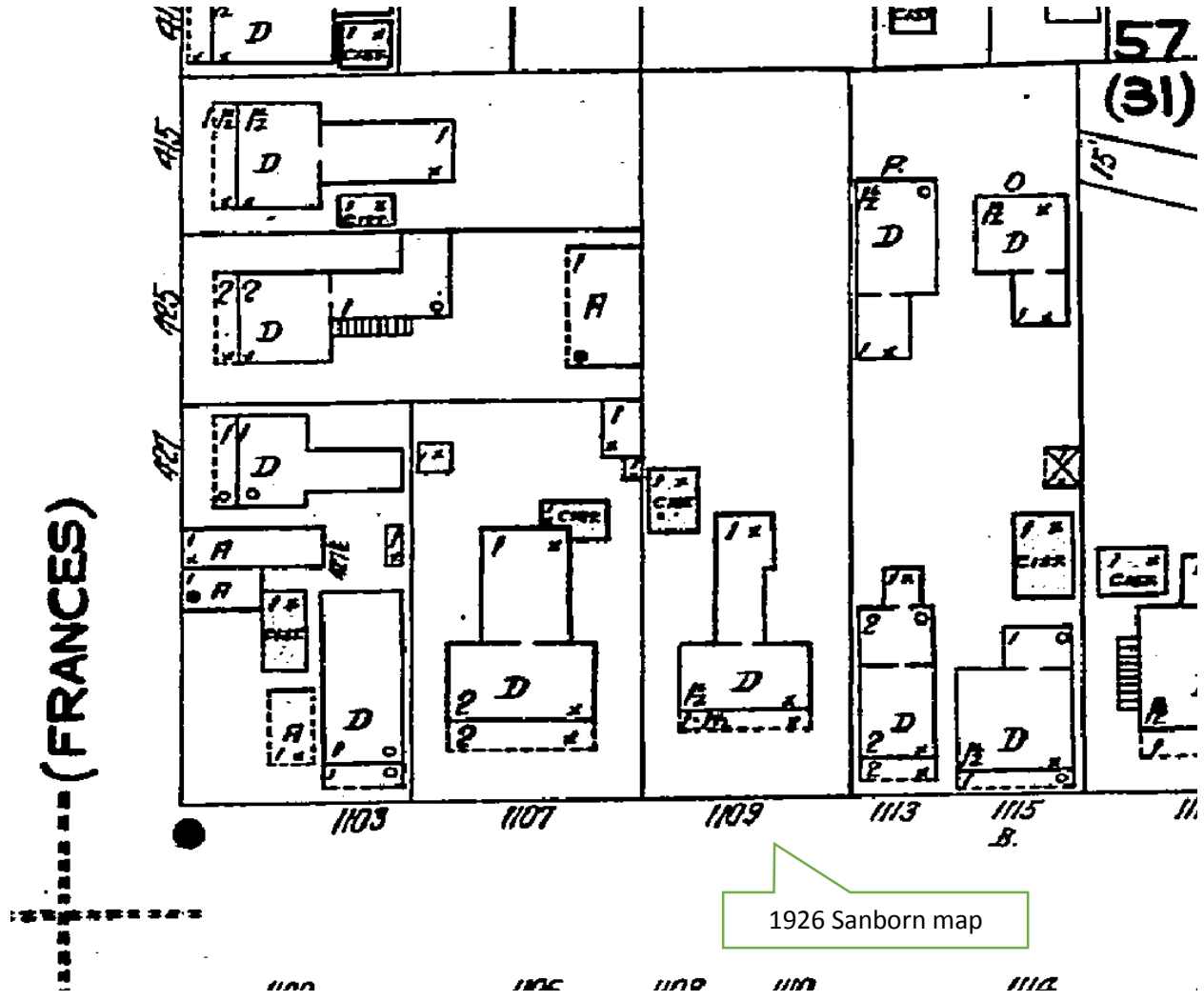
FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USEP ON STRUCTURES BUILT PRIOR TO 1978.

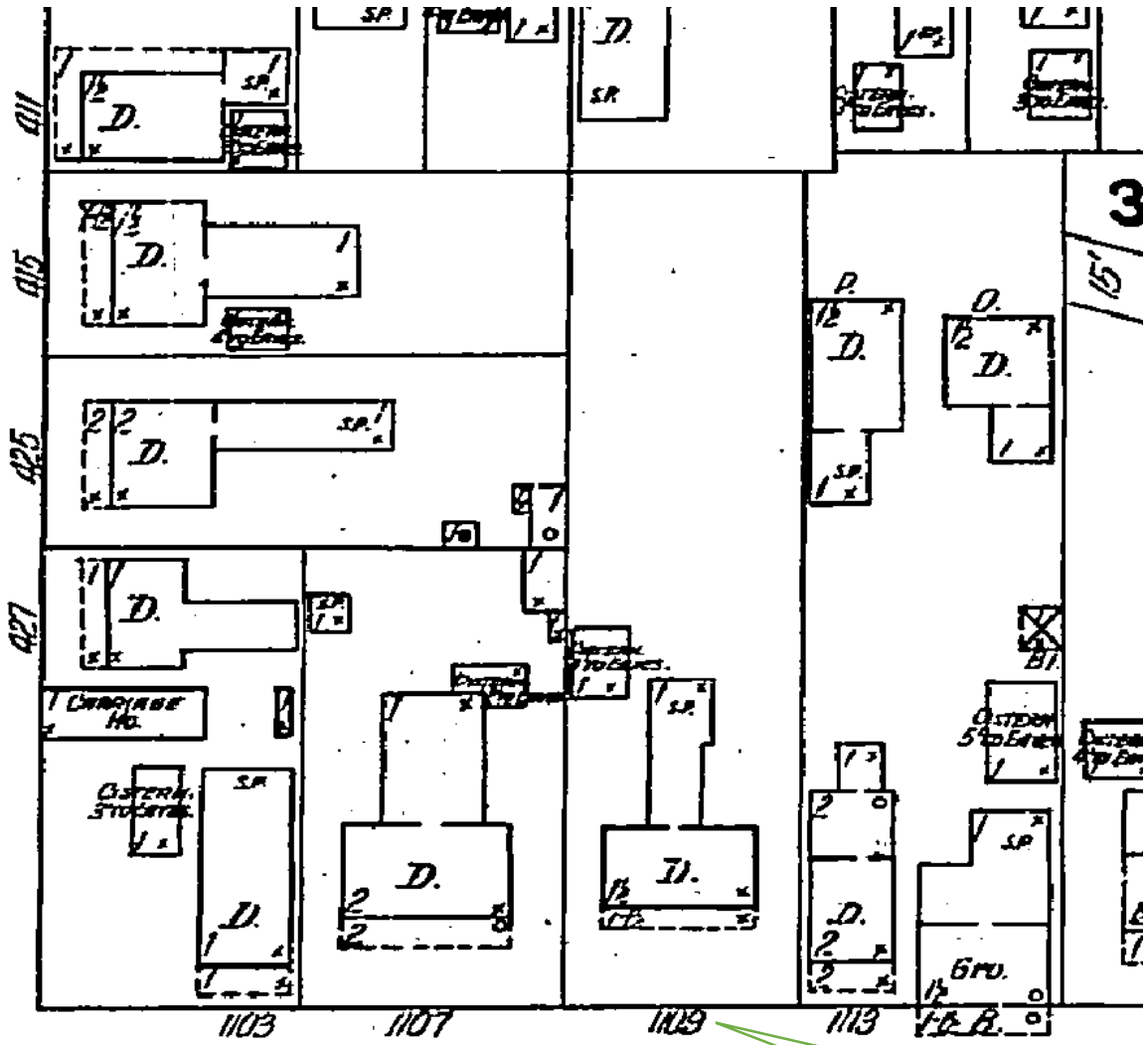
OFFICIAL USE ONLY BY PLANS EXAMINER OR CHIEF BUILDING OFFICIAL:				CBO OR PL. EXAM. APPROVAL:
HARC FEES:	BLDG. FEES:	FIRE MARSHAL FEE:	IMPACT FEES:	
				DATE:

SANBORN MAPS









ERICK PAVED.

1912 Sanborn map

PROJECT PHOTOS







Front of 1109 Fleming



Front of 1109 Fleming



View of rear of house from Stickney Lane



Rear of 1109 Fleming



Rear of 1109 Fleming



09/18/2015 10:47



09/18/2015 10:46



Front of existing guesthouse.



Front of existing guesthouse.



Side of existing guesthouse from Stickney Lane.



Side of existing guesthouse.



Front porch of existing guesthouse.



Neighboring Structures at Corner of Fleming and White



Neighboring Structures on Fleming



Neighboring Structures on Fleming



Neighboring Structures on Fleming



View of Stickney Lane



Neighboring Structure on Fleming Street

SURVEY

MAP OF BOUNDARY SURVEY

BEARING BASE:
ALL BEARINGS ARE BASED
ON N60°00'00"E ASSUMED
ALONG THE CENTERLINE OF
FLEMING STREET.

ALL ANGLES DEPICTED
ARE 90 DEGREES UNLESS
OTHERWISE INDICATED

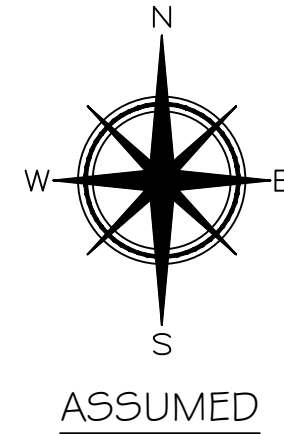
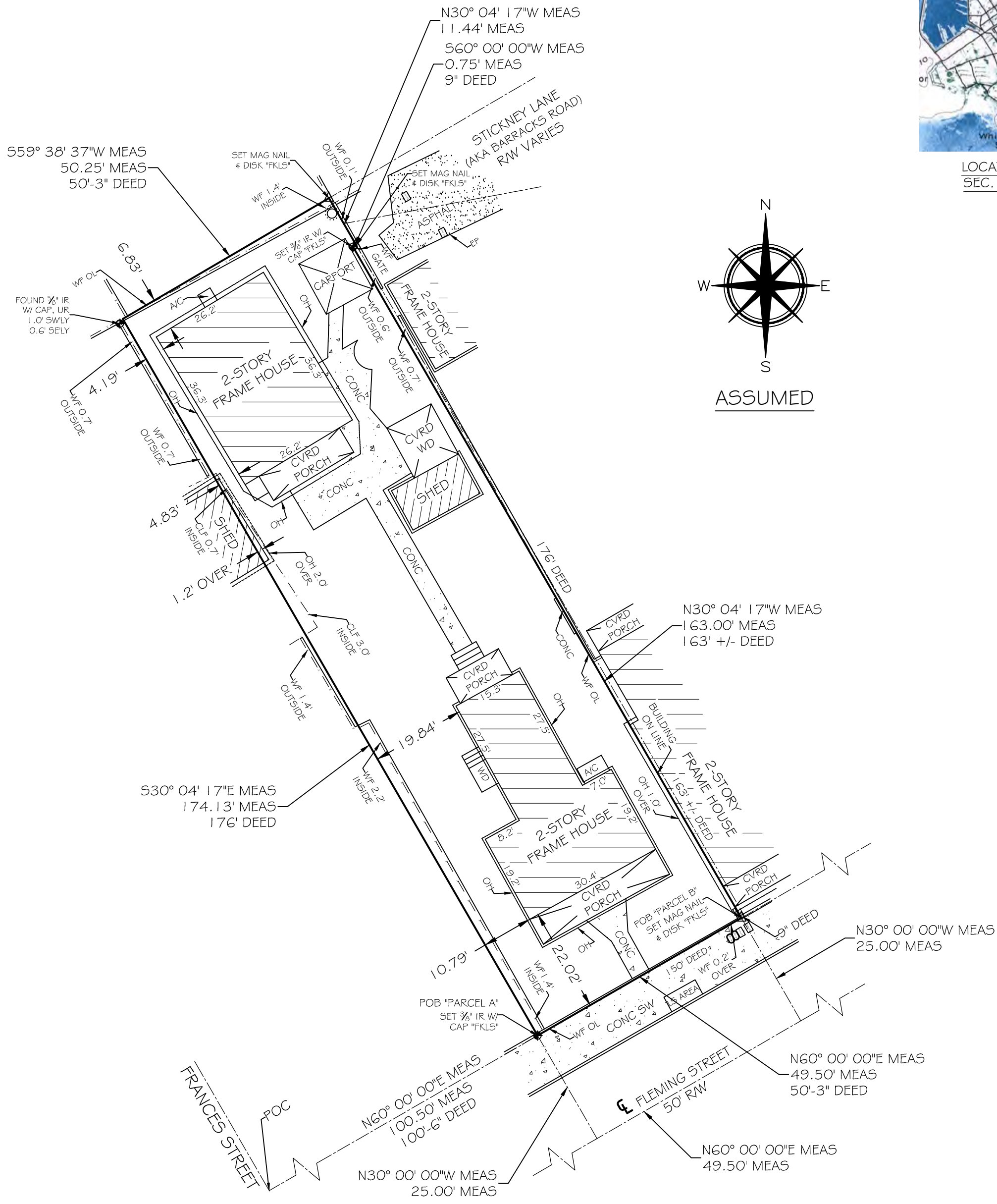
ALL UNITS ARE SHOWN IN
U.S. SURVEY FEET

ADDRESS:
1109 FLEMING STREET
KEY WEST, FL 33040

COMMUNITY NO.: 120168
MAP NO.: 12087C-1516K
MAP DATE: 02-18-05
FLOOD ZONE: AE
BASE ELEVATION: 6 & 7



LOCATION MAP - NTS
SEC. 06-T685-R25E



LEGAL DESCRIPTION -

PARCEL A:

In the State of Florida, County of Monroe and City of Key West, and known and designated on the map of said City delineated by W.A. Whitehead in February, 1829, as Part of Lot Four of Square Thirty-one: COMMENCING at a point on Fleming Street one hundred feet and six inches from the corner of Francis and Fleming Street and running thence along said Fleming Street in a N.E. direction fifty feet and three inches; thence at right angles in a N.W. direction one hundred and seventy-six feet; thence at right angles in a S.E. direction one hundred and seventy-six feet back to the place of beginning.

PARCEL B: (LESS AND EXCEPT)

On the Island of Key West, and known on William A. Whitehead's map of said Island delineated in February, A.D. 1829 as a part of Lot Four (4) in Square Thirty-one (31); COMMENCING at a point distant from the corner of Fleming and Frances Streets 150 feet and running thence in a Northeasterly direction on Fleming Street Nine (9) inches; thence at right angles in a Northwesterly direction one hundred sixty-three (163) feet more or less; thence at right angles in a Westerly direction nine (9) inches more or less; thence at right angles in a Southeasterly direction parallel with Frances Street one hundred sixty-three (163) feet more or less to the point of beginning.

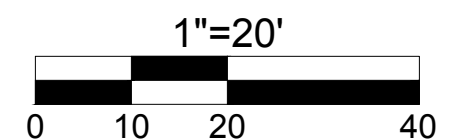
CERTIFIED TO - Paul Murzyn;
JP Morgan Chase Bank, NA;
Smith | Oropeza | Hawks, P.L.;
Federal Title Insurance Agency;
Fidelity National Title;

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE. THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.

- | | | |
|-----------------------------------|--|--------------------------------------|
| BFP = BACK-FLOW PREVENTER | GLY = GUY WIRE | POC = POINT OF COMMENCEMENT |
| BO = BLOW OUT | HB = HOSE BIB | PRC = POINT OF REVERSE CURVE |
| C 4 G = 2" CONCRETE CURB & GUTTER | IR = IRON PIPE | PRM = PERMANENT REFERENCE MONUMENT |
| CB = CONCRETE BLOCK | LS = LANDSCAPING | PT = POINT OF TANGENT |
| CBW = CONCRETE BLOCK WALL | MB = MAILBOX | R = RADIUS |
| CL = CENTERLINE | MEAS = MEASURED | RW = RIGHT OF WAY LINE |
| CLF = CHAINLINK FENCE | MF = METAL FENCE | SSCO = SANITARY SEWER CLEAN-OUT |
| CM = CONCRETE MONUMENT | MHWL = MEAN HIGH WATER LINE | SW = SIDE WALK |
| CONC = CONCRETE | NGVD = NATIONAL GEODETIC VERTICAL DATUM (1929) | TBM = TEMPORARY BENCHMARK |
| CPF = CONCRETE POWER POLE | NTS = NOT TO SCALE | TOB = TOP OF BANK |
| CVRD = COVERED | OH = OVERHANG | TOS = TOE OF SLOPE |
| DELTA = CENTRAL ANGLE | OHW = OVERHEAD WIRES | TYP = TYPICAL |
| DEISE = DRAINAGE EASEMENT | PC = POINT OF CURVE | UR = UNREADABLE |
| EL = ELEVATION | PCC = POINT OF COMPOUND CURVE | UE = UTILITY EASEMENT |
| ENCL = ENCLOSURE | PCP = PERMANENT CONTROL POINT | WD = WOOD DECK |
| EP = EDGE OF PAVEMENT | PK = PARKER KALON NAIL | WF = WOOD FENCE |
| FF = FINISHED FLOOR ELEVATION | PM = PARKING METER | WL = WOOD LANDING |
| FH = FIRE HYDRANT | PCC = POINT OF COMPOUND CURVE | WM = WATER METER |
| FI = FENCE INSIDE | POB = POINT OF BEGINNING | WPP = WOOD POWER POLE |
| FND = FOUND | POI = POINT OF INTERSECTION | WRACK LINE = LINE OF DEBRIS ON SHORE |
| FO = FENCE OUTSIDE | | WV = WATER VALVE |
| FKL = FENCE ON LINE | | |

LEGEND

- WATER METER
- SANITARY SEWER CLEAN OUT
- MAILBOX
- WOOD POWER POLE
- CONCRETE POWER POLE
- WATER VALVE



NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY. THE BOLD LINE SHOWN HEREON REPRESENTS THE SURVEYOR'S OPINION OF THE DEED LINES. THE MEAN HIGH WATER LINE WAS NOT DETERMINED FOR THIS SURVEY. THE APPARENT MEAN HIGH WATER LINE IS SHOWN FOR REFERENCE ONLY.

SCALE:	1"=20'
FIELD WORK DATE:	12/08/2014
REVISION DATE:	XXXXXXXX
SHEET:	1 OF 1
DRAWN BY:	MPB
CHECKED BY:	-----
INVOICE NO.:	-----

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTERS 2014-147 & 5J-17.05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND COMPLIES WITH CHAPTER 177, PART II FLORIDA STATUTES.

NOT VALID WITHOUT THE SIGNATURE AND THE RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER

ERIC A. ISAACS, #6783, PROFESSIONAL SURVEYOR AND MAPPER, LB# 7847



**FLORIDA KEYS
LAND SURVEYING**
19960 OVERSEAS HIGHWAY
SUGARLOAF KEY, FL 33042
PHONE: (305) 394-3690
EMAIL: FKLSEmail@gmail.com

TOTAL AREA = 8,635.38 SQFT ±

MAP OF BOUNDARY SURVEY

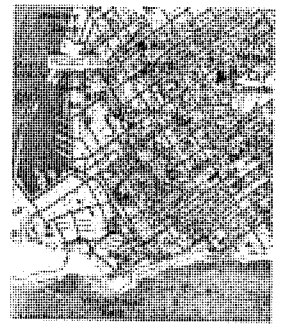
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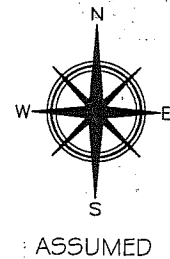
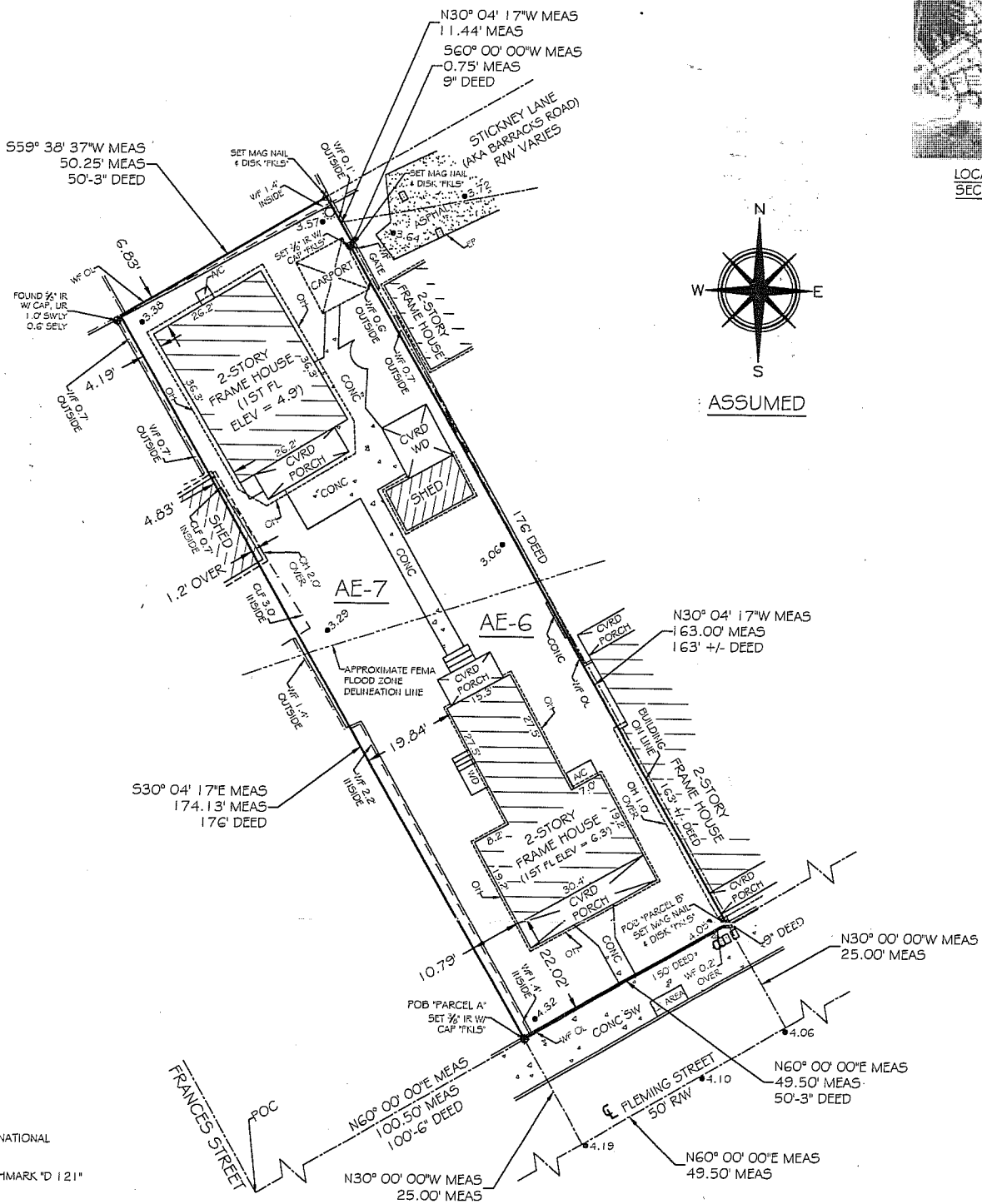
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MAP NO.: 12087C-1516K
MAP DATE: 02-18-05
FLOOD ZONE: AE
BASE ELEVATION: 6 # 7



LOCATION MAP - NTS
SEC. 06-TG85-R25E



NOTES:

ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NATIONAL
GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929).

BENCHMARK DESCRIPTION: NATIONAL GEODETIC SURVEY BENCHMARK 'D' 121'
(P.I.D. AAO020), ELEVATION= 3.91' (NGVD 1929).

- REVISION (1) - 05/01/2015 - ADDED APPROXIMATE FEMA FLOOD ZONE DELINEATION LINE
- REVISION (2) - 07/24/2015 - ADDED SPOT GRADE ELEVATIONS
- REVISION (3) - 11/09/2015 - ADDED SPOT GRADE ELEVATIONS @ CROWN OF ASPHALT ON STICKNEY LANE.

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PARCEL B: (LESS AND EXCEPT)

On the Island of Key West, and known on William A. Whitehead's map of said Island delineated in February, A.D. 1929 as a part of Lot Four (4) in Square Thirty-one (31); COMMENCING at a point distant from the corner of Fleming and Francis Streets 150 feet and running thence in a Northeasterly direction on Fleming Street Nine (9) inches; thence at right angles in a Northwesterly direction one hundred sixty-three (163) feet more or less; thence at right angles in a Westerly direction nine (9) inches more or less; thence at right angles in a Southeasterly direction parallel with Francis Street one hundred sixty-three (163) feet more or less to the point of beginning.

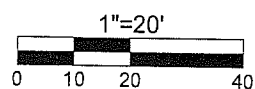
CERTIFIED TO - Paul Murzyn;
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Smith | Ortopiza | Hawks, P.L.L.C.;
Federal Title Insurance Agency;
Fidelity National Title;

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- THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.
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LEGEND

- - WATER METER
- - SANITARY SEWER CLEAN OUT
- - MAILBOX
- - WOOD POWER POLE
- - CONCRETE POWER POLE
- ⊕ - WATER VALVE
- X.XX - SPOT GRADE ELEVATION (TYPICAL)



NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR MIATUS. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY. THE BOLD LINE SHOWN HEREON REPRESENTS THE SURVEYOR'S OPINION OF THE DEED LINES. THE MEAN HIGH WATER LINE WAS NOT DETERMINED FOR THIS SURVEY. THE APPARENT MEAN HIGH WATER LINE IS SHOWN FOR REFERENCE ONLY.

SCALE:	1"=20'
FIELD WORK DATE:	2/08/2014
REVISION DATE:	11/09/2015
SHEET:	1 OF 1
DRAWN BY:	MPB
CHECKED BY:	
INVOICE NO.:	

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTERS 2014-147 & 53-17.05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND COMPLIES WITH CHAPTER 177, PART II FLORIDA STATUTES.

NOT VALID WITHOUT THE SIGNATURE AND THE RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER

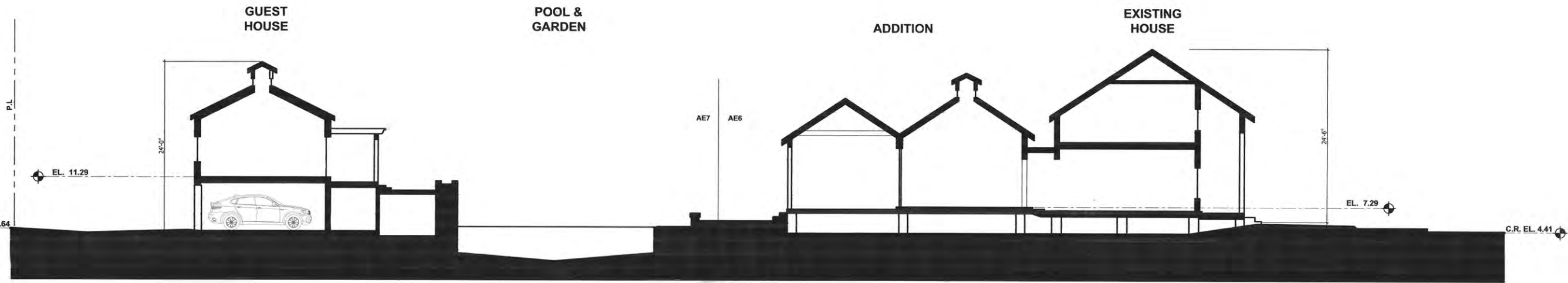
ERIC A. ISAACS, L.S. #6726, PROFESSIONAL SURVEYOR AND MAPPER, L#7 7247



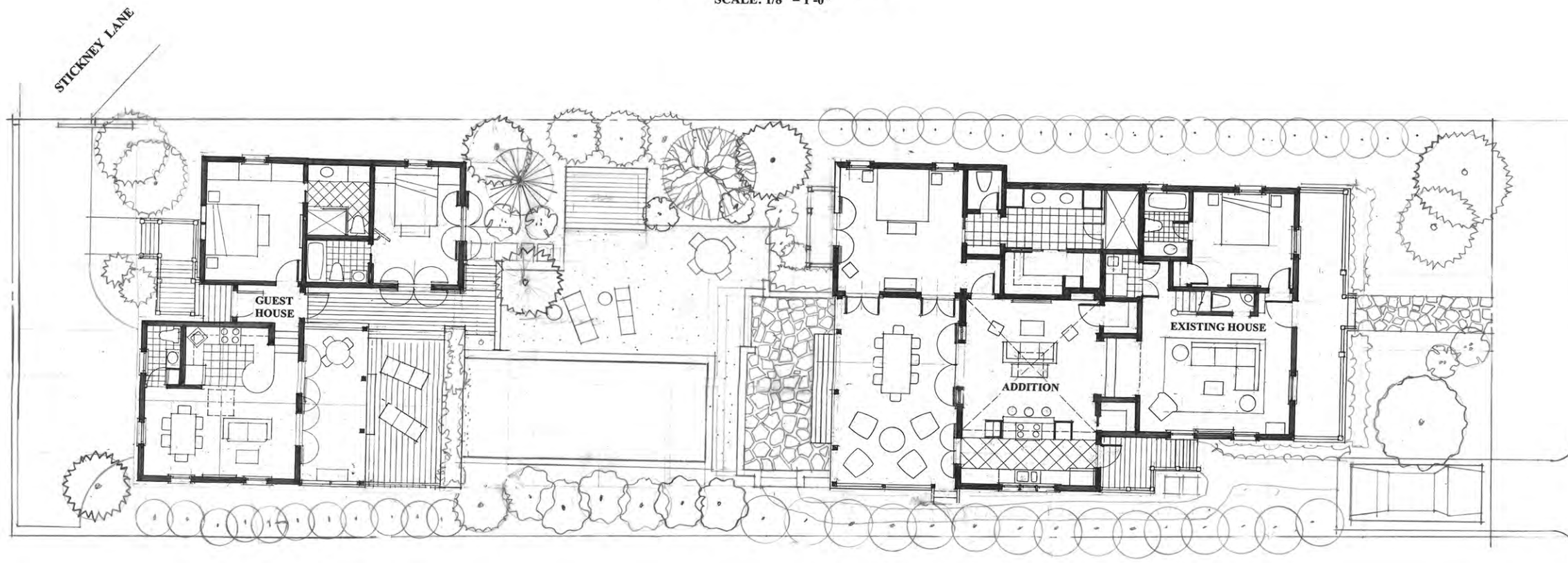
**FLORIDA KEYS
LAND SURVEYING**
19960 OVERSEAS HIGHWAY
SUGARLOAF KEY, FL 33042
PHONE: (305) 394-3690
EMAIL: FKL5mail@gmail.com

TOTAL AREA = 8,635.38 SQFT ±

REVISED DESIGN



SITE SECTION
SCALE: 1/8" = 1'-0"



SITE PLAN
SCALE: 1/8" = 1'-0"

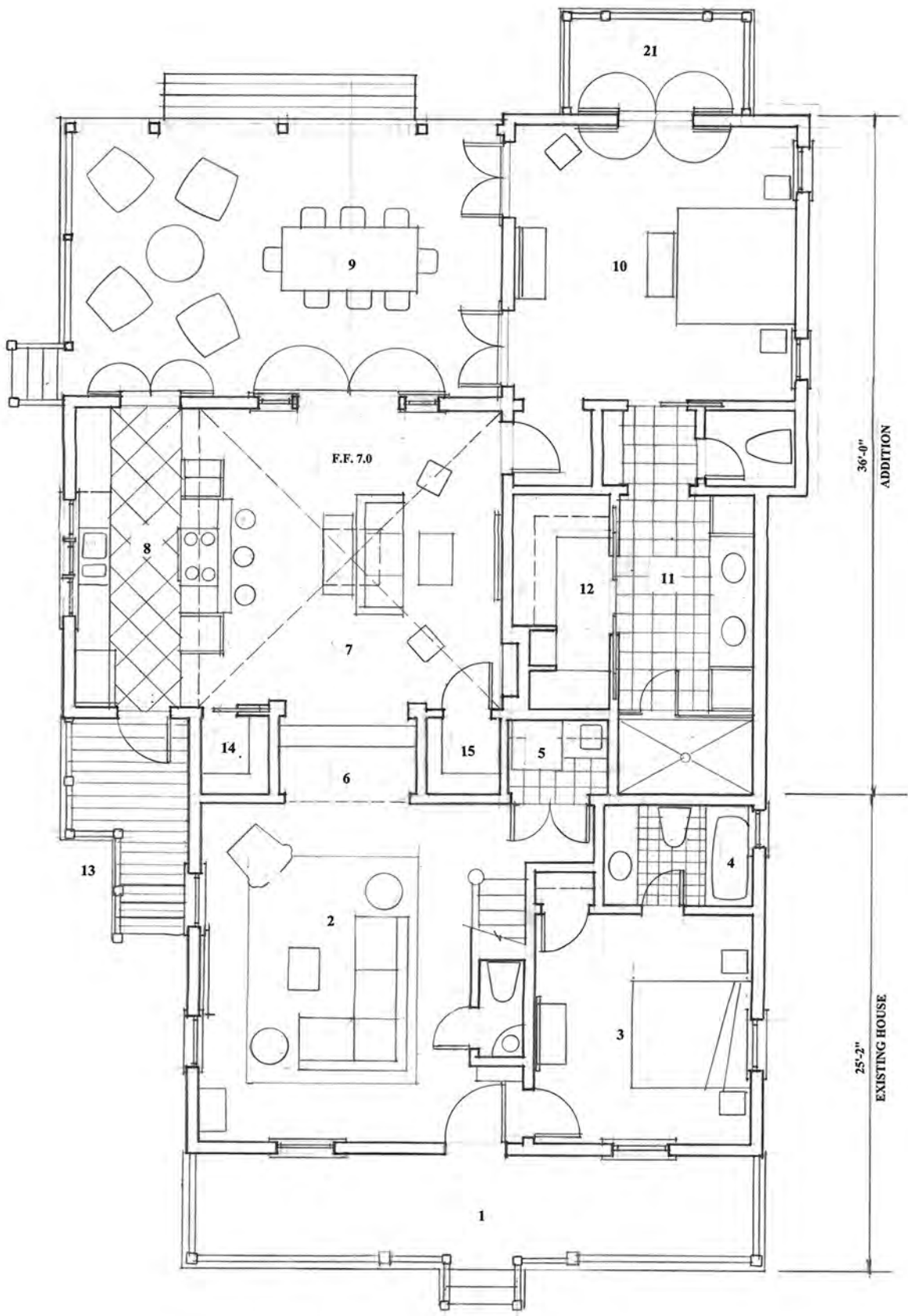
MICHAEL MILLER . ARCHITECT
517 DUVAL STREET
KEY WEST, FLORIDA
(305) 294 - 7687
mlrarch@bellsouth.net

**MURZYN RESIDENCE
ADDITIONS AND ALTERATIONS**
1109 FLEMING STREET
KEY WEST, FLORIDA

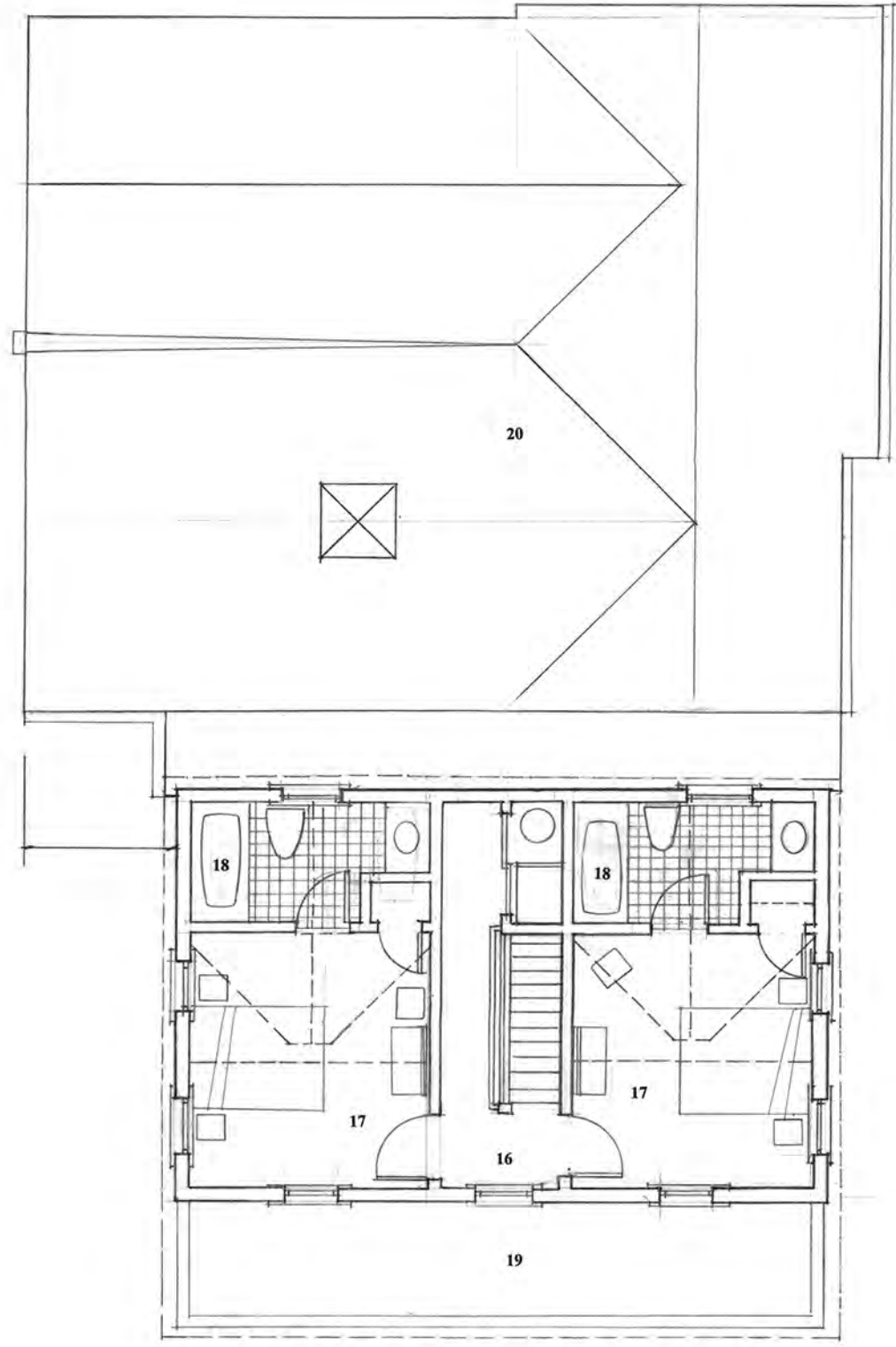
DATE: NOVEMBER 23, 2015
SCALE: AS NOTED
DRAWN BY: MM
PROJECT NO: 1504

**SITE PLAN
AND SITE SECTION**

- 1 ENTRANCE PORCH
- 2 LIVING ROOM
- 3 BEDROOM
- 4 BATHROOM
- 5 LAUNDRY
- 6 VESTIBULE TO ADDITION
- 7 FAMILY ROOM
- 8 KITCHEN
- 9 COVERED PORCH
- 10 MASTER BEDROOM
- 11 MASTER BATH
- 12 CLOSET
- 13 SERVICE DECK
- 14 PANTRY
- 15 CLOSET
- 16 STAIR HALL
- 17 BEDROOM
- 18 BATHROOM
- 19 FRONT PORCH BELOW
- 20 ADDITION OVER ROOF
- 21 BALCONY



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



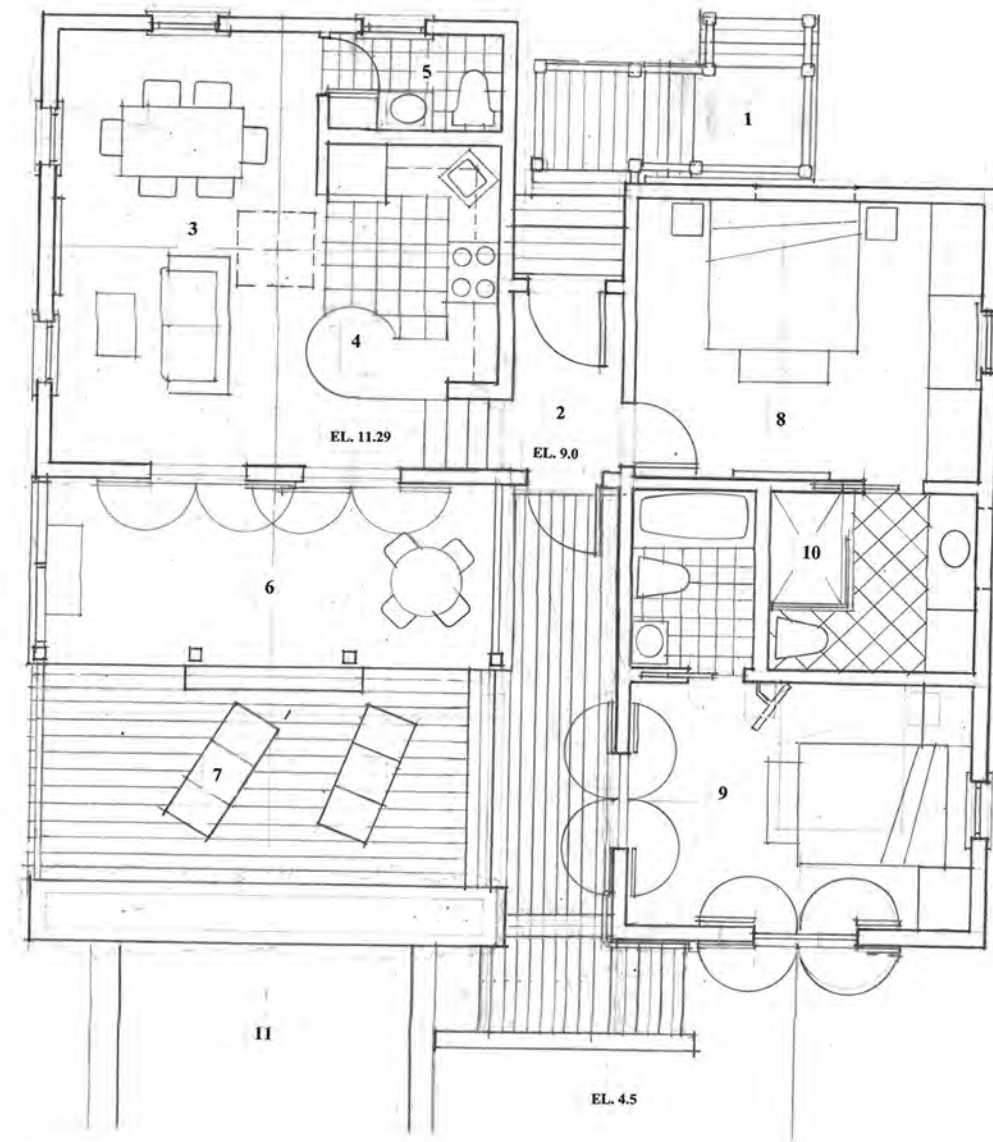
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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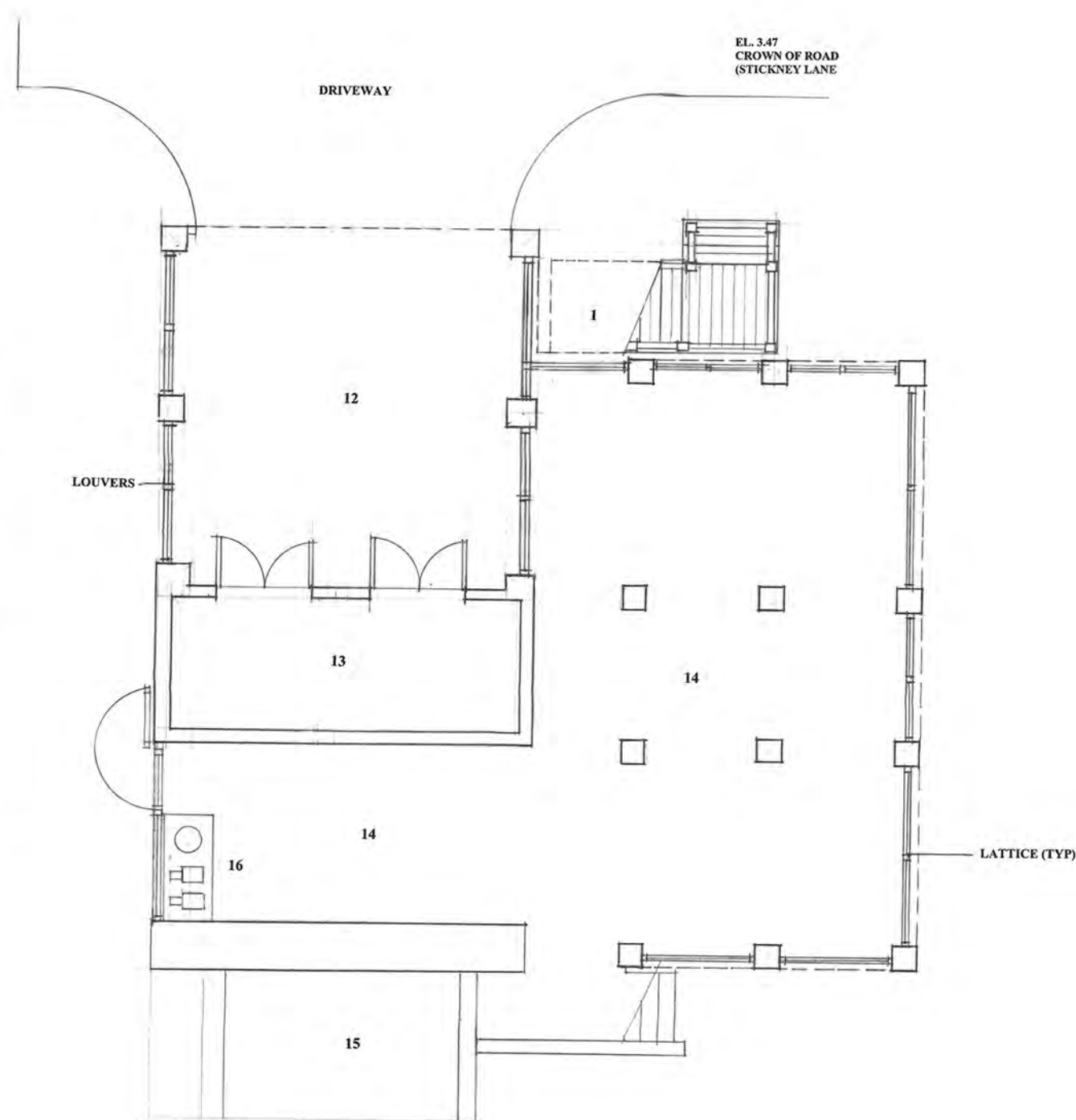
**MURZYN RESIDENCE
ADDITIONS AND ALTERATIONS**
1109 FLEMING STREET
KEY WEST, FLORIDA

DATE: NOVEMBER 23, 2015
SCALE: AS NOTED
DRAWN BY: MM
PROJECT NO: 1504

**MAIN HOUSE
FLOOR PLANS**



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



GROUND LEVEL
SCALE: 1/4" = 1'-0"

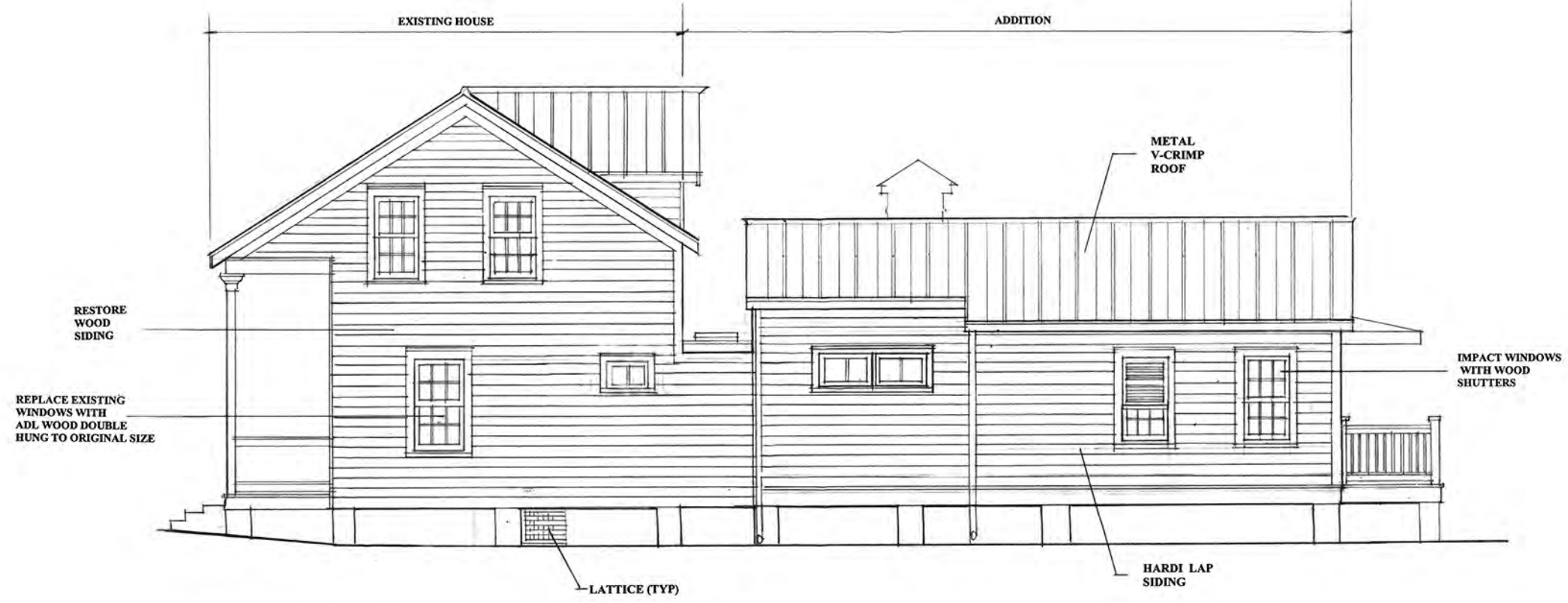
- 1 ENTRANCE STAIR
- 2 FOYER
- 3 LIVING/DINING
- 4 KITCHEN
- 5 HALF-BATH
- 6 PORCH
- 7 SUNNING DECK
- 8 BEDROOM
- 9 LOCK-OUT BEDROOM
- 10 BATHROOM
- 11 POOL BELOW
- 12 CARPORT
- 13 STORAGE
- 14 UNDER HOUSE
- 15 POOL
- 16 POOL EQUIPMENT

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(305) 294 - 7687
mlrarch@bellsouth.net

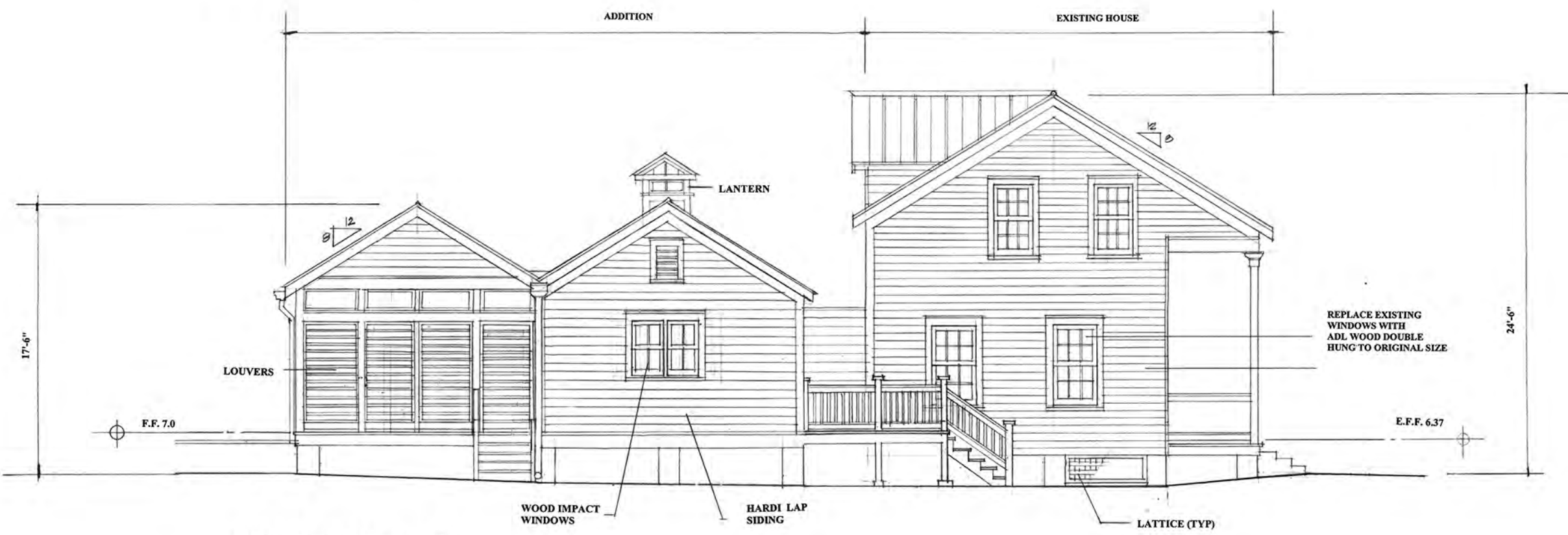
**MURZYN RESIDENCE
ADDITIONS AND ALTERATIONS**
1109 FLEMING STREET
KEY WEST, FLORIDA

DATE: NOVEMBER 23, 2015
SCALE: AS NOTED
DRAWN BY: MM
PROJECT NO: 1504

**GUEST HOUSE
FLOOR PLANS**



EAST ELEVATION
SCALE: 1/4" = 1'-0"



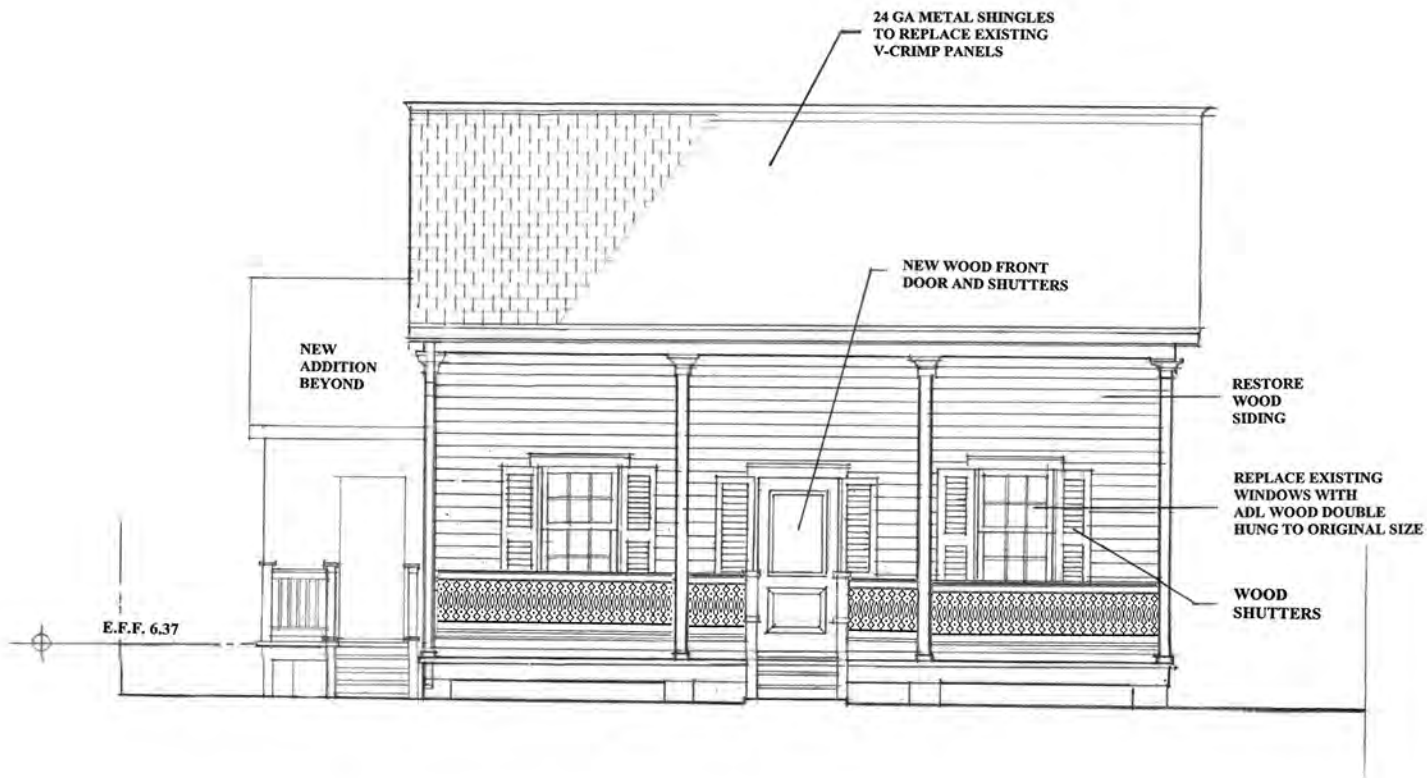
WEST ELEVATION
SCALE: 1/4" = 1'-0"

MICHAEL MILLER . ARCHITECT
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(305) 294 - 7687
mllrarch@bellsouth.net

**MURZYN RESIDENCE
ADDITIONS AND ALTERATIONS**
1109 FLEMING STREET
KEY WEST, FLORIDA

DATE: NOVEMBER 23, 2015
SCALE: AS NOTED
DRAWN BY: MM
PROJECT NO: 1504

**MAIN HOUSE
EAST AND WEST
ELEVATIONS**



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



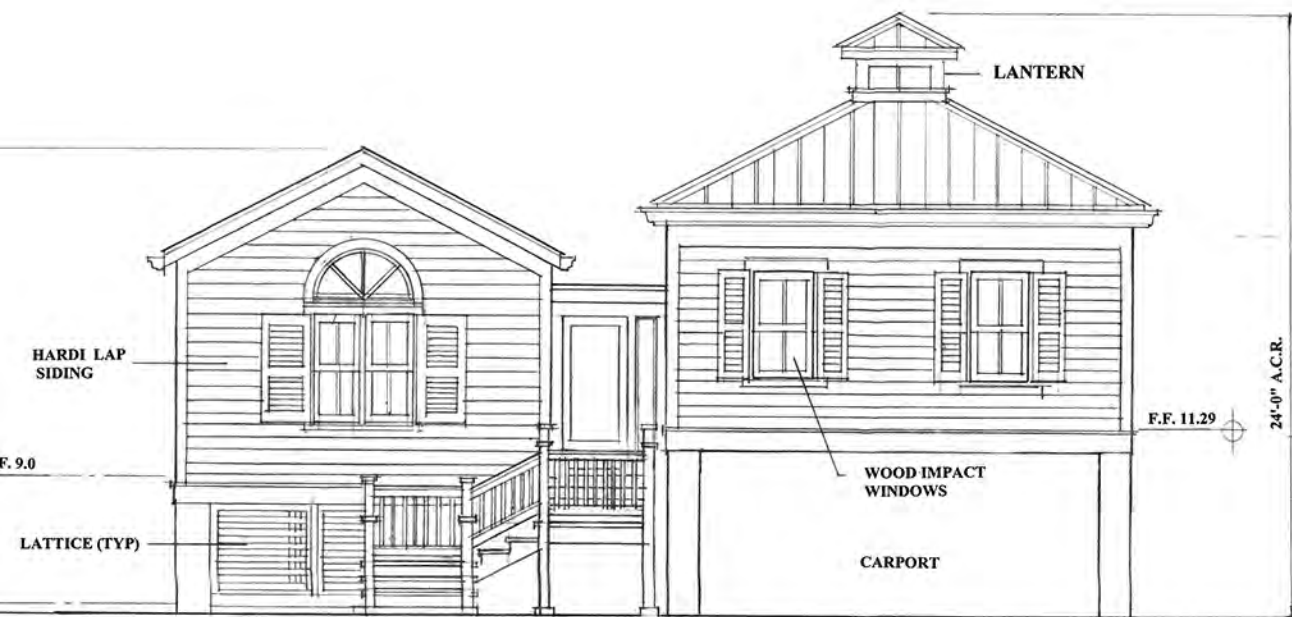
NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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(305) 294 - 7687
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**MURZYN RESIDENCE
ADDITIONS AND ALTERATIONS**
1109 FLEMING STREET
KEY WEST, FLORIDA

DATE: NOVEMBER 23, 2015
SCALE: AS NOTED
DRAWN BY: MM
PROJECT NO: 1504

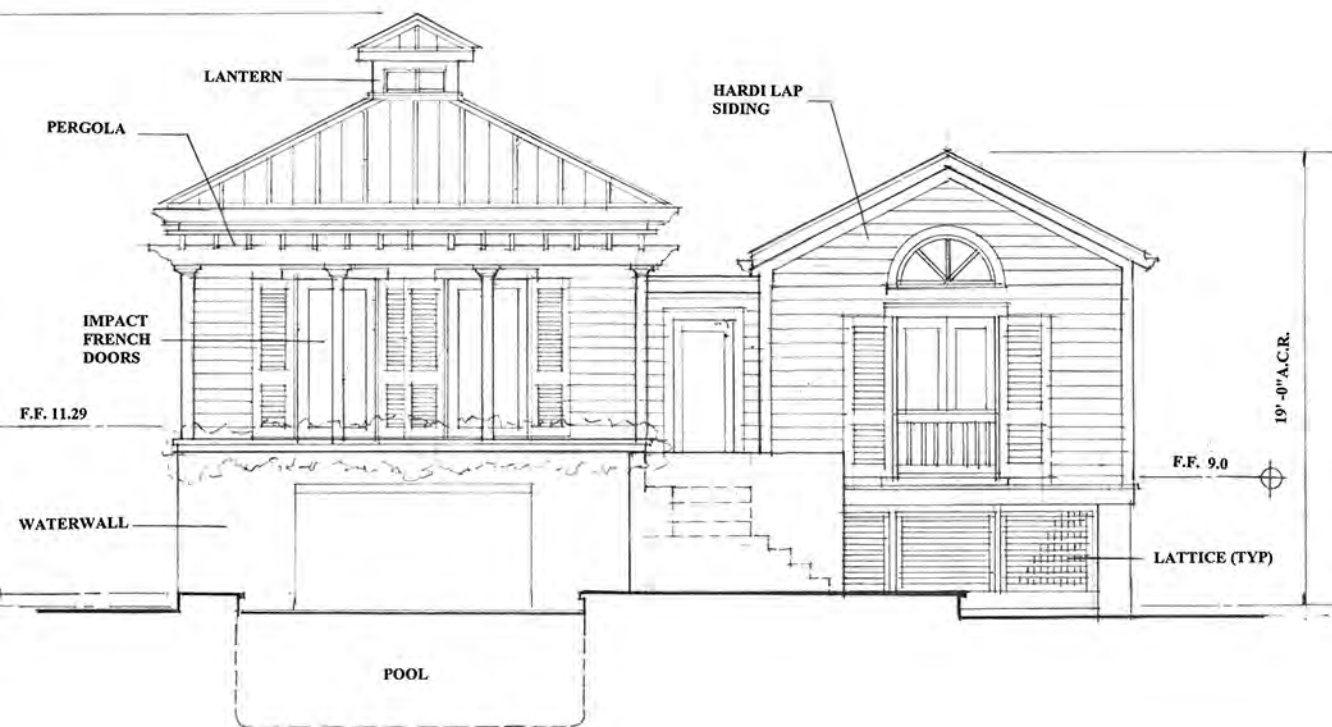
**MAIN HOUSE
NORTH AND SOUTH
ELEVATIONS**



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



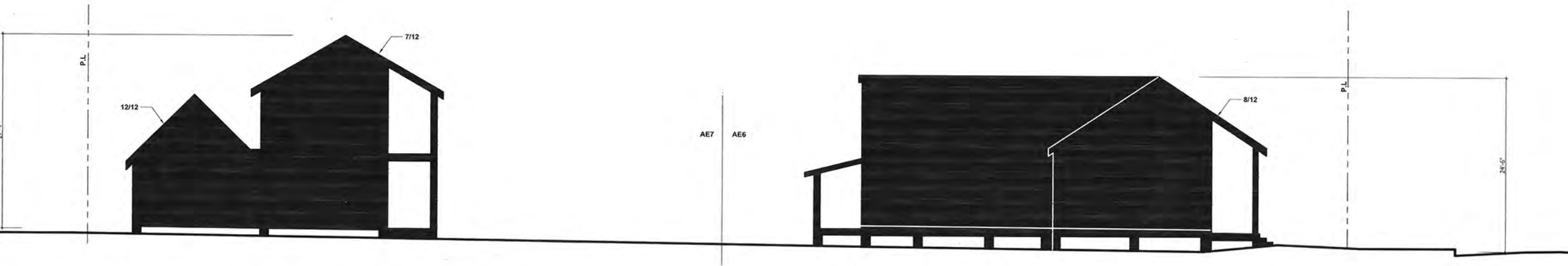
EAST ELEVATION
SCALE: 1/4" = 1'-0"

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(305) 294 - 7687
mlrarch@bellsouth.net

**MURZYN RESIDENCE
ADDITIONS AND ALTERATIONS**
1109 FLEMING STREET
KEY WEST, FLORIDA

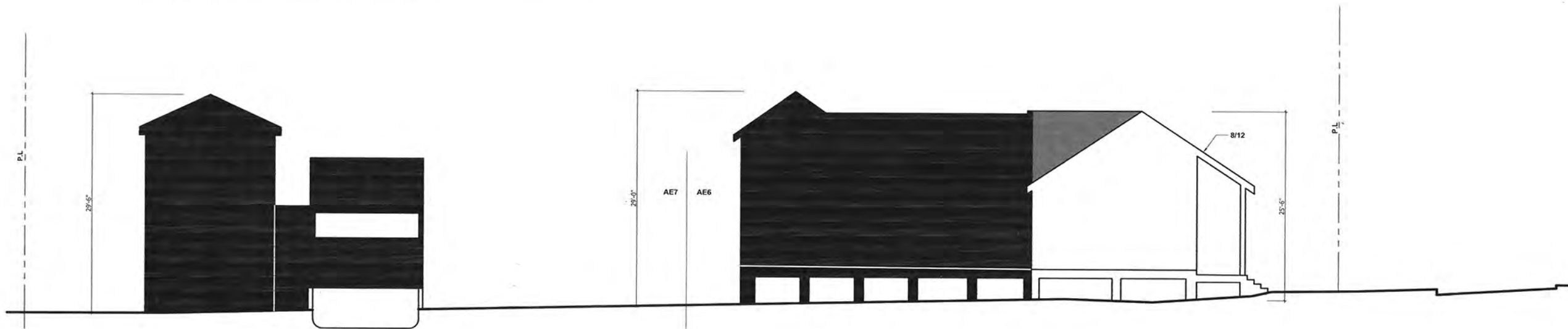
DATE: NOVEMBER 23, 2015
SCALE: AS NOTED
DRAWN BY: MM
PROJECT NO: 1504

**GUEST HOUSE
ELEVATIONS**



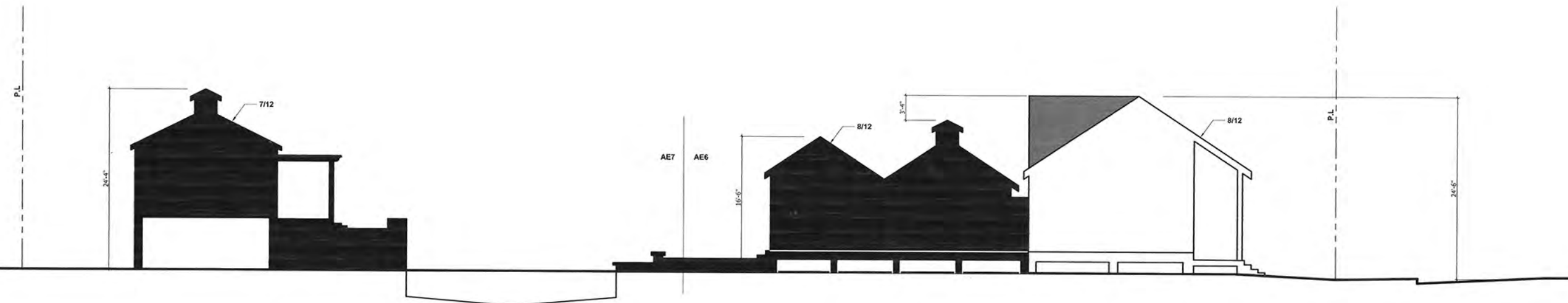
SCALE & MASS - EXISTING STRUCTURES

SCALE: 1/8" = 1'-0"



SCALE & MASS - PREVIOUSLY APPROVED SCHEME

SCALE: 1/8" = 1'-0"



SCALE & MASS - PROPOSED SCHEME

SCALE: 1/8" = 1'-0"

MICHAEL MILLER ARCHITECTS
 517 DUVAL STREET
 KEY WEST, FLORIDA
 (305) 294-7687

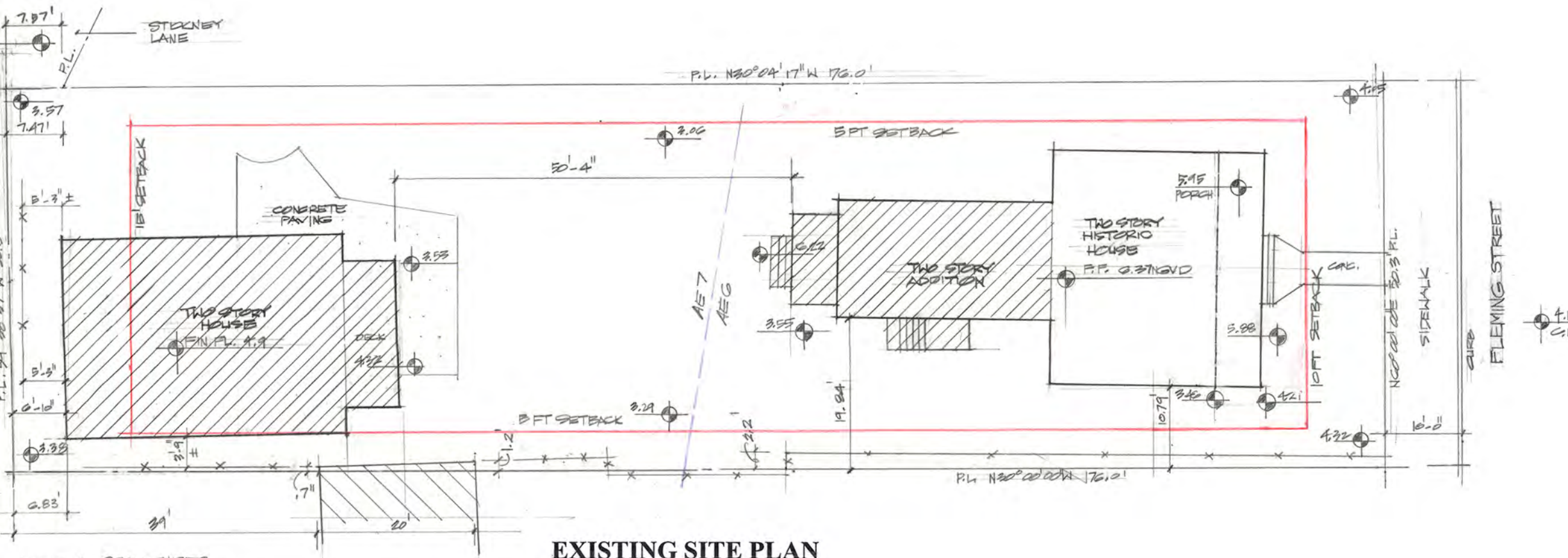
MURZYN RESIDENCE

1109 FLEMING STREET,
 KEY WEST, FLORIDA

DATE: _____
 SCALE: AS NOTED
 DRAWN BY: SE
 CHECKED BY: MM
 PROJECT NO: XXXXX

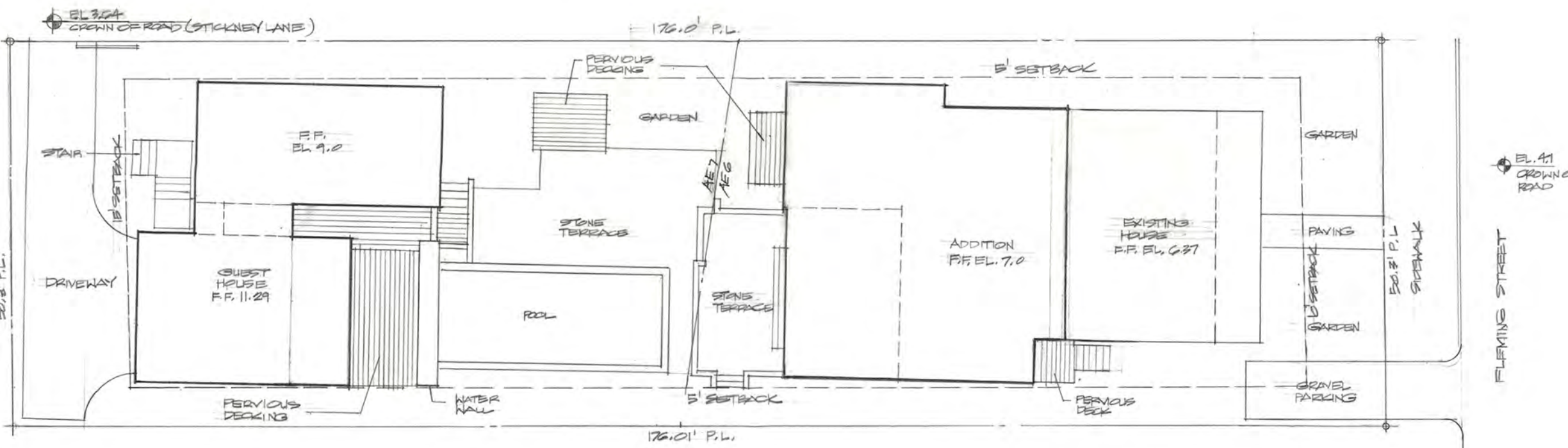
SCHEME & MASS STUDY

A7



PLANNING DATA

PLANNING ZONE	HMDR
FEMA ZONE	AE6 AND AE7
HEIGHT	
ALLOWED:	30 FT
EXISTING:	24.5 FT
PROPOSED:	24.5 FT
LOT SIZE	8,852.8
LOT COVERAGE	
ALLOWED:	40%/3,540.8 SF
EXISTING:	2,316 SF
PROPOSED:	3,325.7 SF
IMPERVIOUS COVERAGE	
ALLOWED:	60%/5,311.7 SF
EXISTING:	2,712 SF
PROPOSED:	5,272 SF
SETBACKS	
ALLOWED FRONT:	10 FT
ALLOWED SIDE:	5 FT
ALLOWED REAR:	15 FT
PROPOSED FRONT:	10 FT
PROPOSED SIDE:	5 FT
PROPOSED REAR:	15 FT



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mlrarch@bellsouth.net

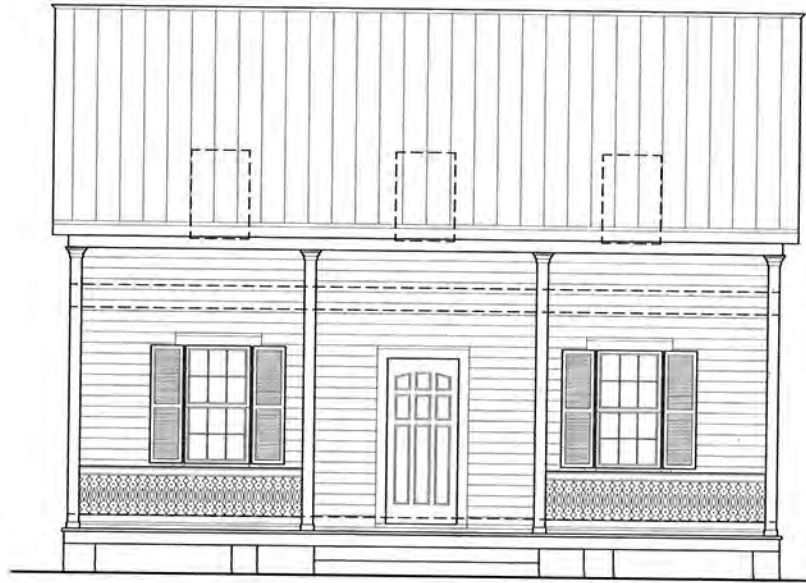
**MURZYN RESIDENCE
ADDITIONS AND ALTERATIONS**
1109 FLEMING STREET
KEY WEST, FLORIDA

DATE: NOVEMBER 23, 2015
SCALE: AS NOTED
DRAWN BY: MM
PROJECT NO: 1504

**SITE PLANNING
DATA**

PL1

Copyright © 2015 Michael Miller Architecture Inc. The design or any part of it and/or the drawings



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

MICHAEL MILLER . ARCHITECT

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(305) 294-7887
mlrarch@bellsouth.net

**MURZYN RESIDENCE
ADDITIONS AND ALTERATIONS**

1109 FLEMING STREET
KEY WEST, FLORIDA

DATE: NOVEMBER 23, 2015

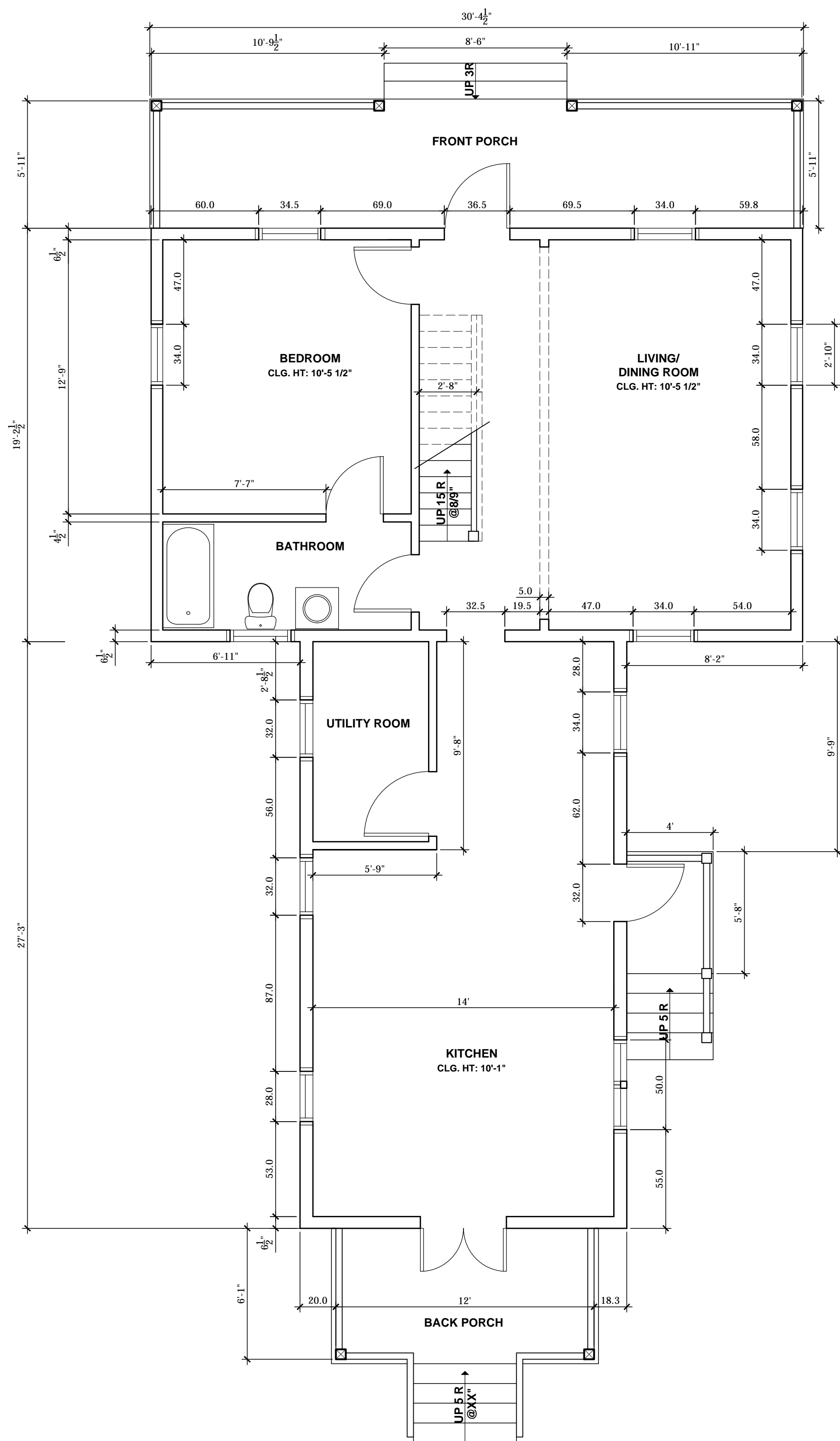
SCALE: AS NOTED

DRAWN BY: MM

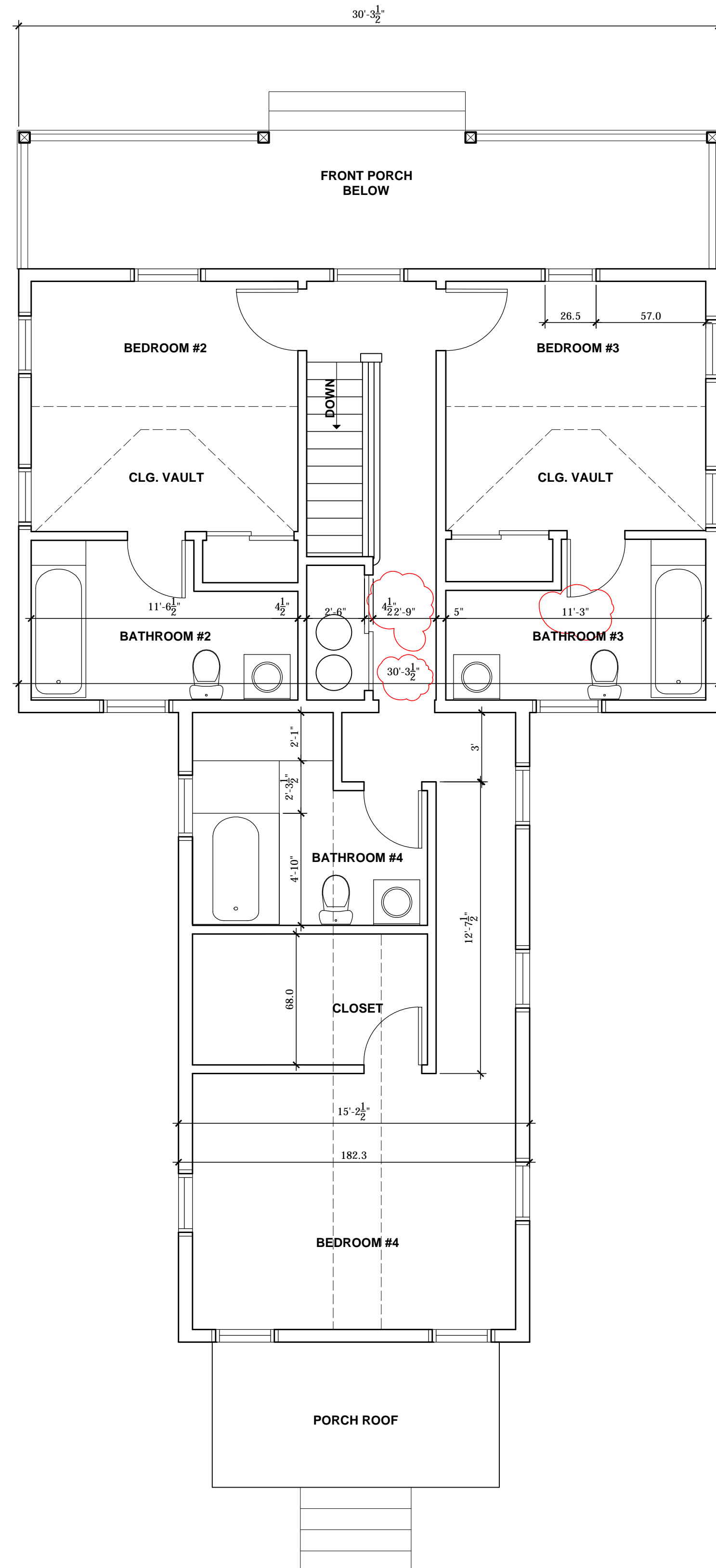
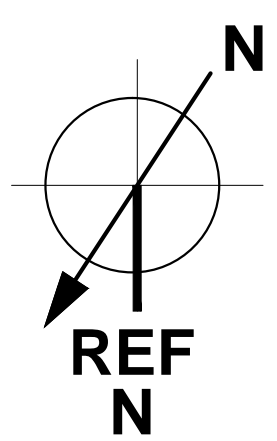
PROJECT NO: 1504

**EXISTING HOUSE
ELEVATIONS**

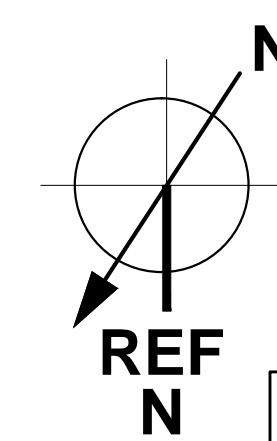
EX1



1
AB2 **EXISTING FIRST FLOOR PLAN**
SCALE: 1/4" = 1'-0"



2
AB2 **EXISTING SECOND FLOOR PLAN**
SCALE: 1/4" = 1'-0"



PROGRESS PRINTS
%&i %&g %&g

SHEET NOTES:

1. Drawings and specifications are to be used together. Contractors and workers shall consult both when questions concerning the letter and/or intent of the design arise.
2. No changes to the drawings or to the design may be made without the written approval of the architect and Owner's representative.
3. All work shall be done in accordance with all applicable local, state, and national building and life safety codes. The contractor and all Subcontractors shall be familiar with these codes and shall build accordingly.
4. When a conflict or ambiguity exists between a Contractor's understanding of a code and the drawings and specifications, it is the Contractor's responsibility to cease work on the item in question and notify the owner's representative in a manner that will allow a timely resolution. Work undertaken as instructed by the building inspector without the Architect's or Owner's representative's permission will be removed at the Contractor's expense.
5. When a conflict or ambiguity exists between the drawings or within the specifications, or if the contractor cannot find information he needs on the drawings or in the specifications it is the responsibility of the Contractor to cease work on the item in question and notify the Owner's representative in a manner that will allow timely resolution.
6. In general, Interior dimensions are taken from the face of stud or furring strip. Nominal dimensions are noted for standard lumber sizes but actual sizes are given where lumber is to be milled to a non-standard dimension. Exterior dimension lines are taken from face of concrete (e.g. not from the face of the stucco finish).
7. Drawings shall not be scaled. Where errors or inconsistencies exist regarding dimensions on the drawings, the Contractor shall notify the Owner's representative for a resolution before proceeding.
8. "V.I.F." means "Verify in Field" and it is the Contractor's responsibility to measure or otherwise confirm a site condition that cannot be accurately determined before construction begins, and to notify the Owner's representative if it differs from what is on the drawings before proceeding with the affected work.
9. The Drawings, Specifications, and other documents prepared by the Architect, are instruments of the Architect's service, belong to the City and are Copyright 2015 by Michael Miller, Architects INC ARC10013216.
10. The site and floor plans are laid out according to the survey provided by the Owner. The Contractor shall verify any inconsistencies between the drawings and field conditions before proceeding with the affected work.

CONFORMS TO FLORIDA BUILDING CODE 2010
ASCE 7-10: CATEGORY C WIND LOADING

MICHAEL MILLER ARCHITECTS

517 DUVAL STREET
KEY WEST, FLORIDA
(305) 294-7687

**MURZYN RESIDENCE
RENOVATIONS**

1109 FLEMING STREET,
KEY WEST, FLORIDA

DATE: NOVEMBER 23, 2015

SCALE: AS NOTED

DRAWN BY: SE

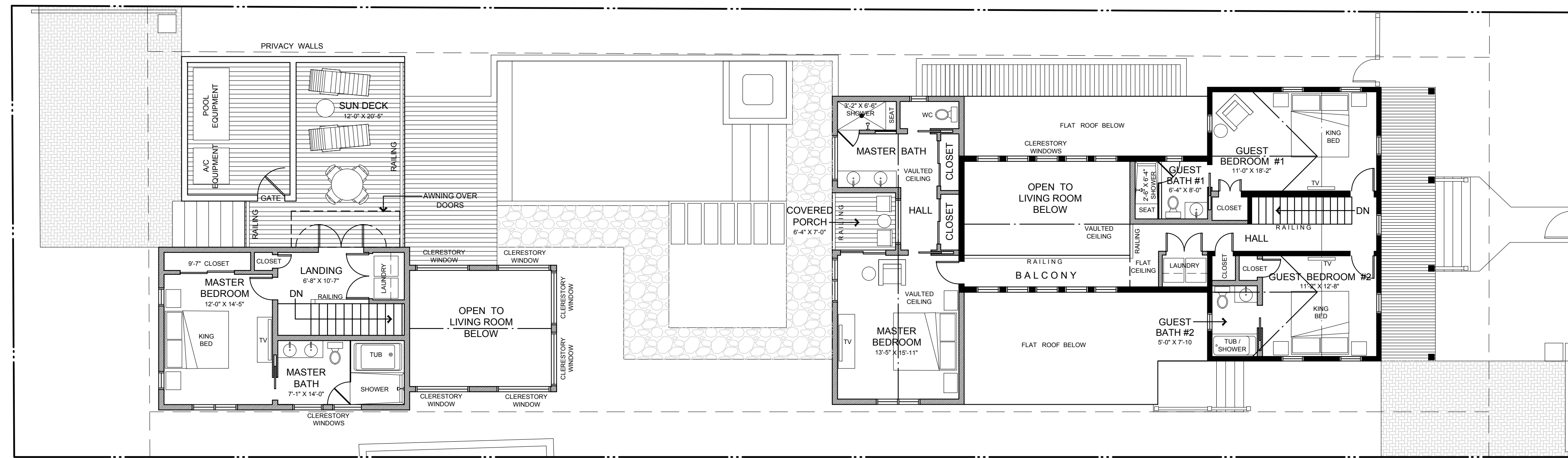
CHECKED BY: MM

PROJECT NO: 1504

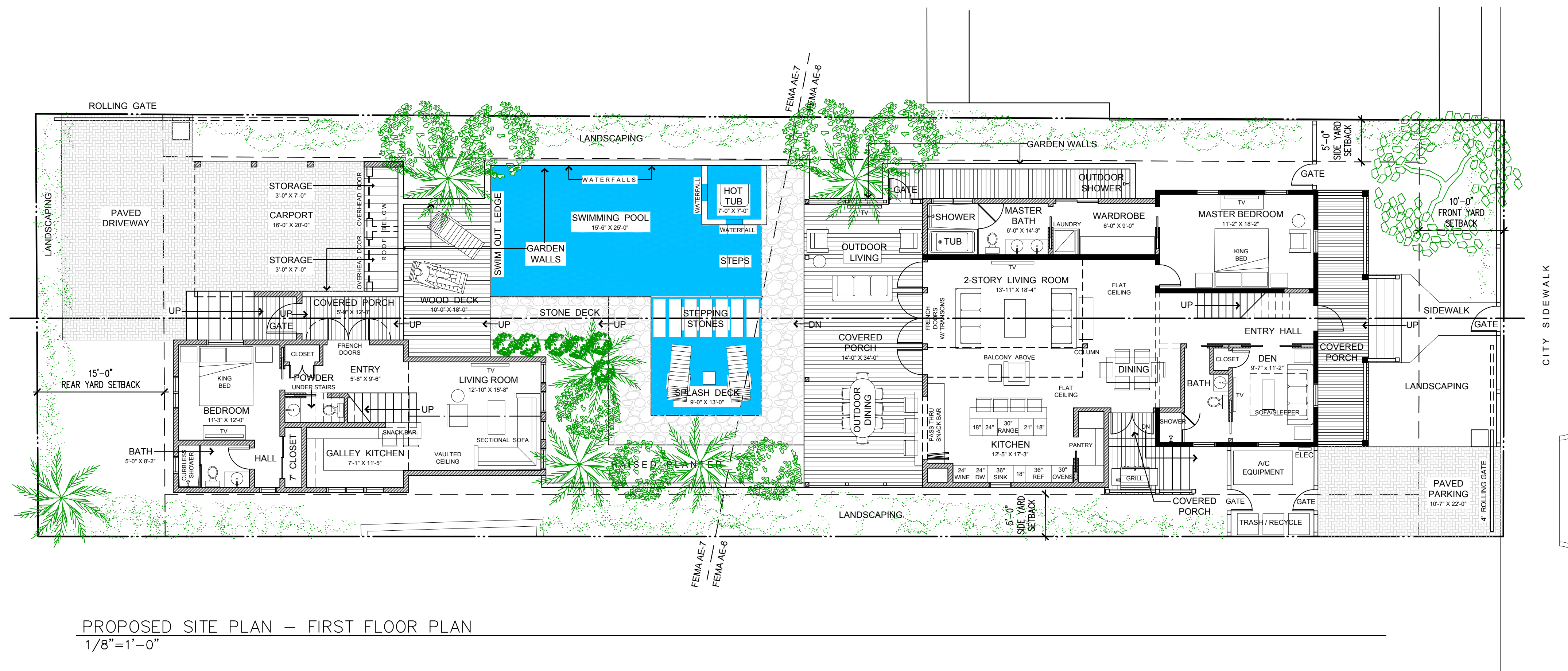
**EXISTING
MAIN HOUSE
FLOOR PLANS**

EX2

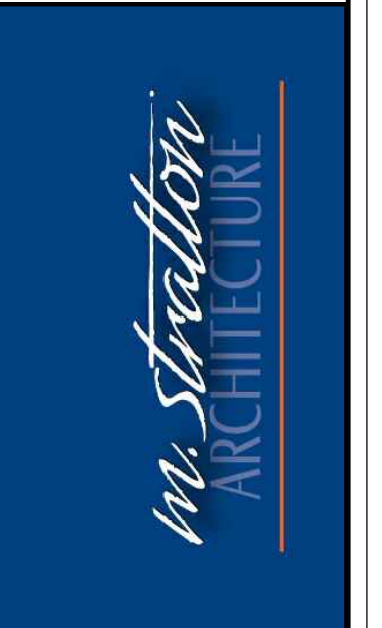
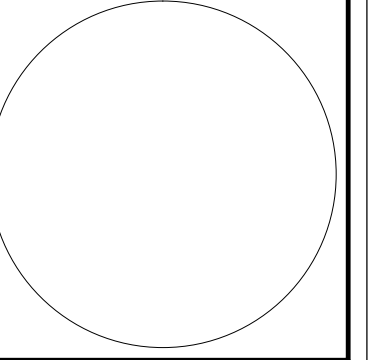
PREVIOUSLY APPROVED DESIGN



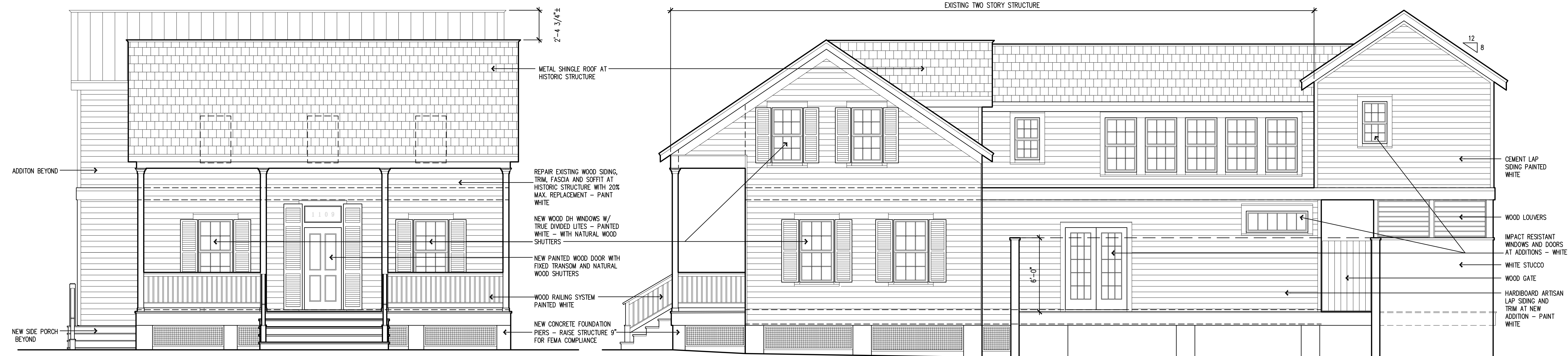
PROPOSED SITE PLAN – SECOND FLOOR PLAN
 1/8"=1'-0"



PROPOSED SITE PLAN – FIRST FLOOR PLAN
 1/8"=1'-0"



HEIGHT LIMIT
30' ABOVE CROWN OF ROAD



PROPOSED FRONT ELEVATION – MAIN HOUSE
1/4"=1'-0"

PROPOSED SIDE ELEVATION (EAST) – MAIN HOUSE
1/4"=1'-0"

NEW ONE STORY ADDITION

NEW TWO STORY ADDITION

EXISTING TWO STORY STRUCTURE

2'-4 3/4"±

METAL SHINGLE ROOF AT HISTORIC STRUCTURE

REPAIR EXISTING WOOD SIDING, TRIM, FASCIA AND SOFFIT AT HISTORIC STRUCTURE WITH 20% MAX. REPLACEMENT – PAINT WHITE

NEW WOOD DH WINDOWS W/ TRUE DIVIDED LITES – PAINTED WHITE – WITH NATURAL WOOD SHUTTERS

NEW PAINTED WOOD DOOR WITH FIXED TRANSOM AND NATURAL WOOD SHUTTERS

WOOD RAILING SYSTEM PAINTED WHITE

NEW CONCRETE FOUNDATION PIERS – RAISE STRUCTURE 9" FOR FEMA COMPLIANCE

12
8

CEMENT LAP SIDING PAINTED WHITE

WOOD LOUVERS

IMPACT RESISTANT WINDOWS AND DOORS AT ADDITIONS – WHITE

WHITE STUCCO

WOOD GATE

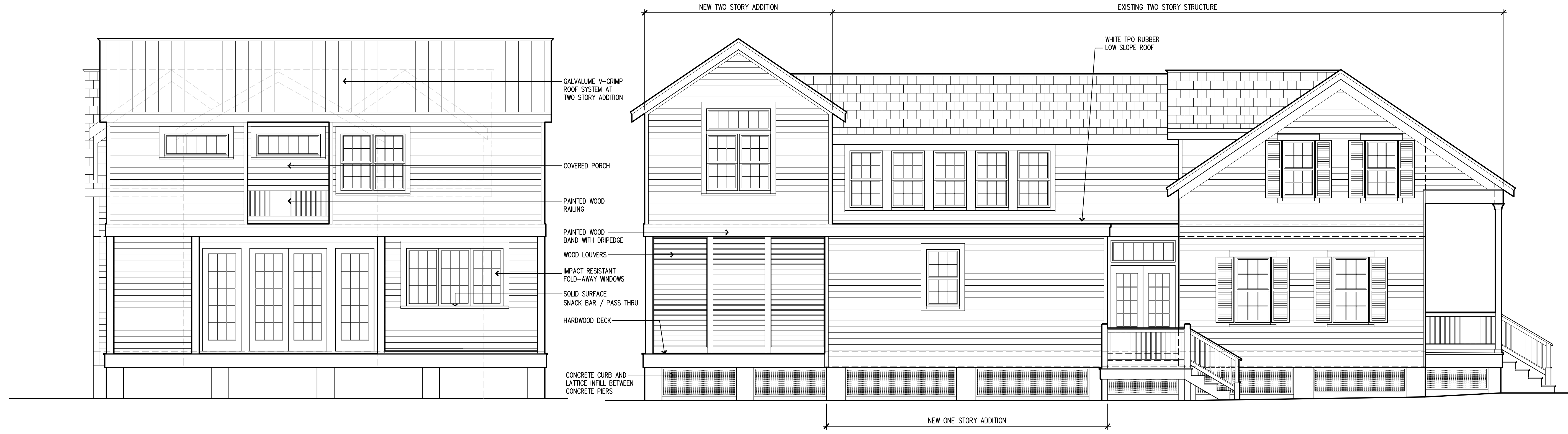
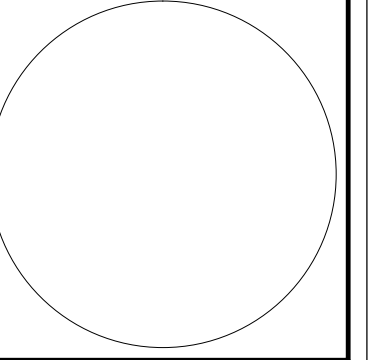
HARDBOARD ARTISAN LAP SIDING AND TRIM AT NEW ADDITION – PAINT WHITE



EXISTING FRONT ELEVATION – MAIN HOUSE
1/4"=1'-0"



EXISTING SIDE ELEVATION (EAST) – MAIN HOUSE
1/4"=1'-0"



PROPOSED REAR ELEVATION – MAIN HOUSE
1/4"=1'-0"

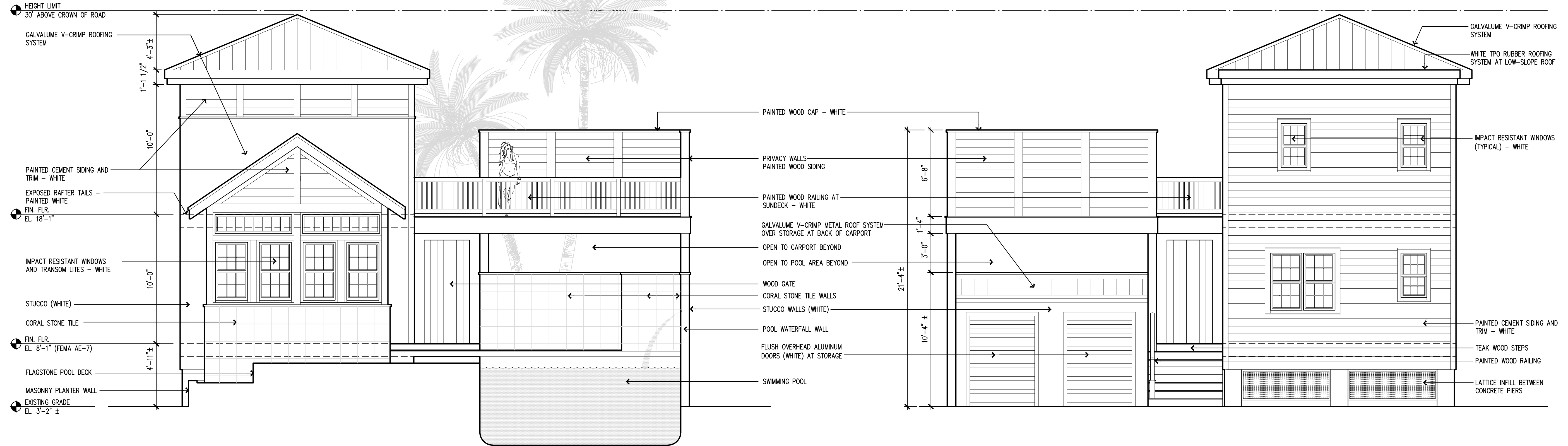
PROPOSED SIDE ELEVATION (WEST) – MAIN HOUSE
1/4"=1'-0"



EXISTING REAR ELEVATION – MAIN HOUSE
1/4"=1'-0"



EXISTING SIDE ELEVATION (WEST) – MAIN HOUSE
1/4"=1'-0"



FRONT ELEVATION – GUEST HOUSE
 1/4"=1'-0"

REAR ELEVATION – GUEST HOUSE
 1/4"=1'-0"

SITE DATA TABLE - 1109 FLEMING STREET

	CODE REQUIREMENT	EXISTING	PROPOSED
ZONING	HMDR		
FLOOD ZONE	AE-6 AND AE-7		
SIZE OF SITE	8,587 SF		
HEIGHT	30'	25' ±	30'
FRONT SETBACK	10'	16' ±	UNCHANGED
SIDE SETBACK (EAST)	5'	8'-5" ±	5'-0"
SIDE SETBACK (WEST)	5'	10'-7" ±	5'-0"
REAR SETBACK	15'	6'-5" ±	15'
BUILDING COVERAGE	40% = 3,435 SF	2,694 SF (31.4%)	3,365 SF (39.2%)
IMPERVIOUS SURFACE	60% = 5,152 SF	2,409 SF (28.8%)	5,124 SF (59.7%)
OPEN SPACE	35% = 3,005 SF	4,939 SF (57.5%)	3,463 SF (40.0%)

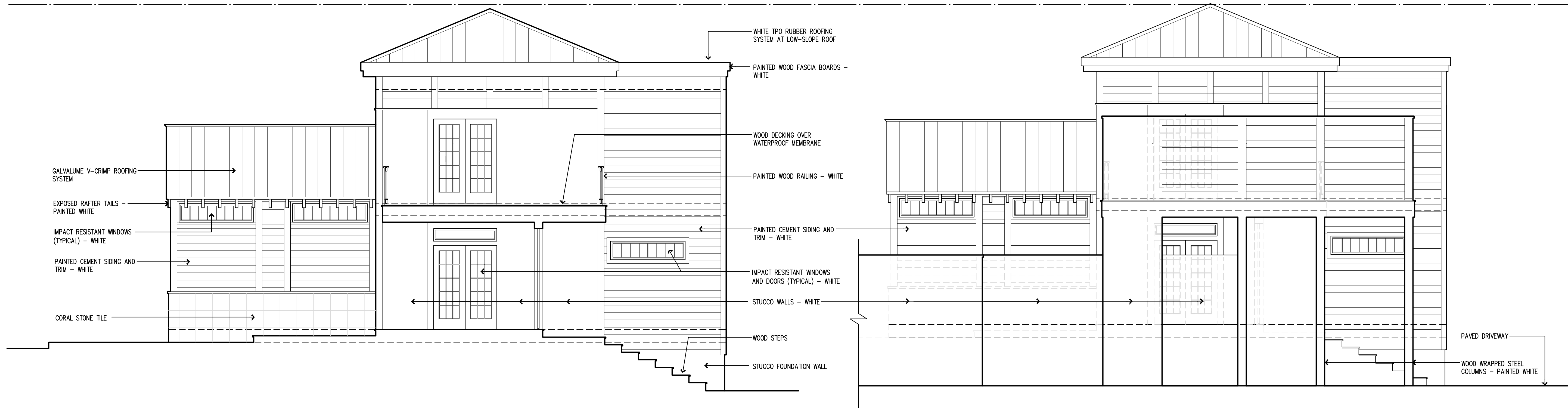
BUILDING COVERAGE
40% ALLOWED 8,587 X 40% = 3,435 SF
EXISTING STRUCTURE TO REMAIN = 1,168 SF
PROPOSED ADDITION = 985 SF
PROPOSED GUEST COTTAGE + CARPORT = 1,212 SF
TOTAL BUILDING COVERAGE PROPOSED = 3,365 SF (39.2%)
IMPERVIOUS SURFACE RATIO
60% ALLOWED 8,587 X 60% = 5,152 SF
BUILDING COVERAGE = 3,365 SF
POOL AND DECK = 961 SF
A/C PAD = 28 SF
DRIVEWAY (FRONT) = 212 SF
DRIVEWAY (REAR) = 453 SF
FRONT SIDEWALK = 105 SF
TOTAL PROPOSED IMPERVIOUS SURFACE = 5,124 SF (59.7%)

1901 S. Roosevelt Blvd. #205W
 Key West, Florida 33040
 305.923.9670
 matthew@mstrattonarchitecture.com



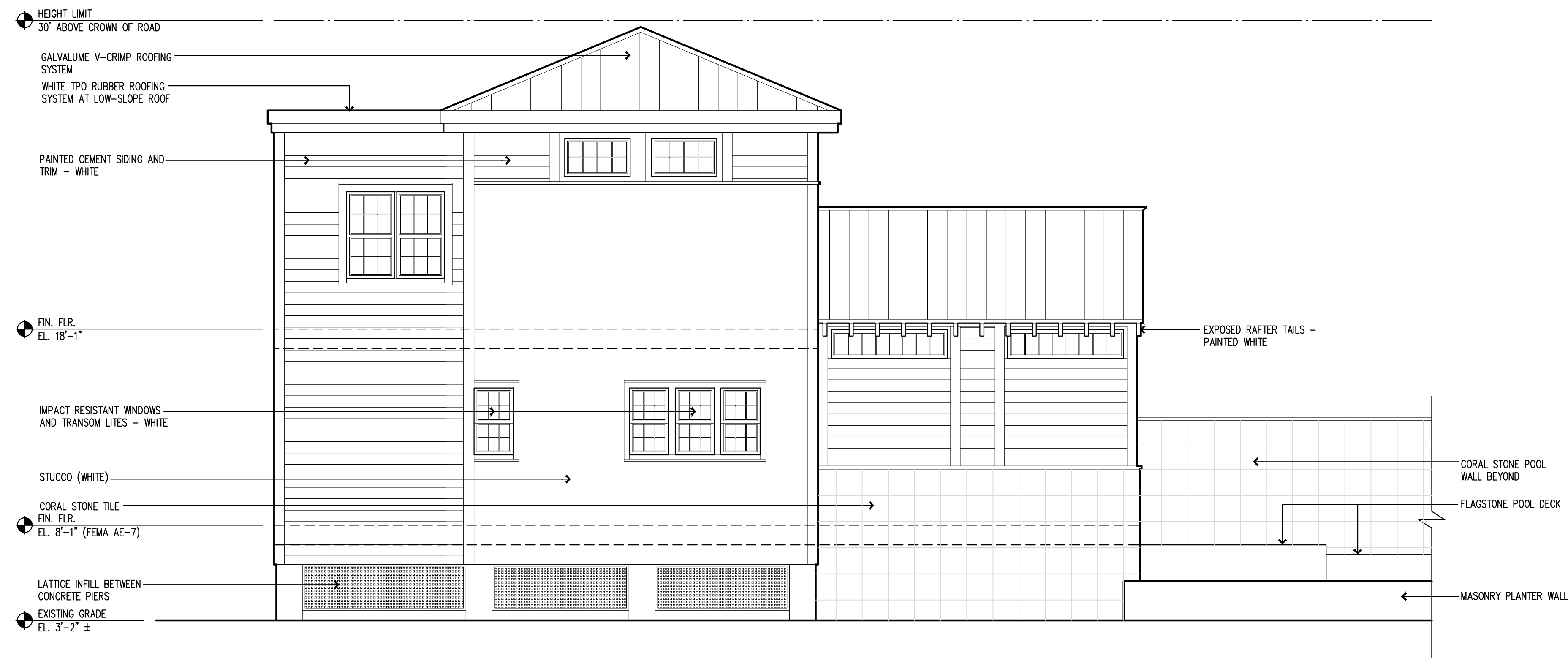
Date 6.30.15

Project #



SIDE ELEVATION (EAST) – GUEST HOUSE
 SECTION THRU CARPORT
 1/4"=1'-0"

SIDE ELEVATION (EAST) – GUEST HOUSE
 1/4"=1'-0"



SIDE ELEVATION (WEST) – GUEST HOUSE
 1/4"=1'-0"

1901 S. Roosevelt Blvd. #205W
 Key West, Florida 33040
 305.923.9670
 matthew@mstrattonarchitecture.com



Date 6.30.15

Project #

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., December 15, 2015 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

RESTORATION OF EXISTING EYEBROW HOUSE. NEW REAR ADDITION. NEW GUEST HOUSE WITH UNDERNEATH CARPORT. NEW POOL AND SITE WORK. DEMOLITION OF REAR ADDITION.

FOR- #1109 FLEMING STREET

Applicant – Michael Miller

Application #H15-01-1811

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

PROPERTY APPRAISER INFORMATION



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record Card -

Maps are now launching the new map application version.

Alternate Key: 1005207 Parcel ID: 00005020-000000

Ownership Details

Mailing Address:

MURZYN PAUL
1109 FLEMING ST
KEY WEST, FL 33040-6909

Property Details

PC Code: 08 - MULTI FAMILY LESS THAN 10UNITS

Millage Group: 10KW

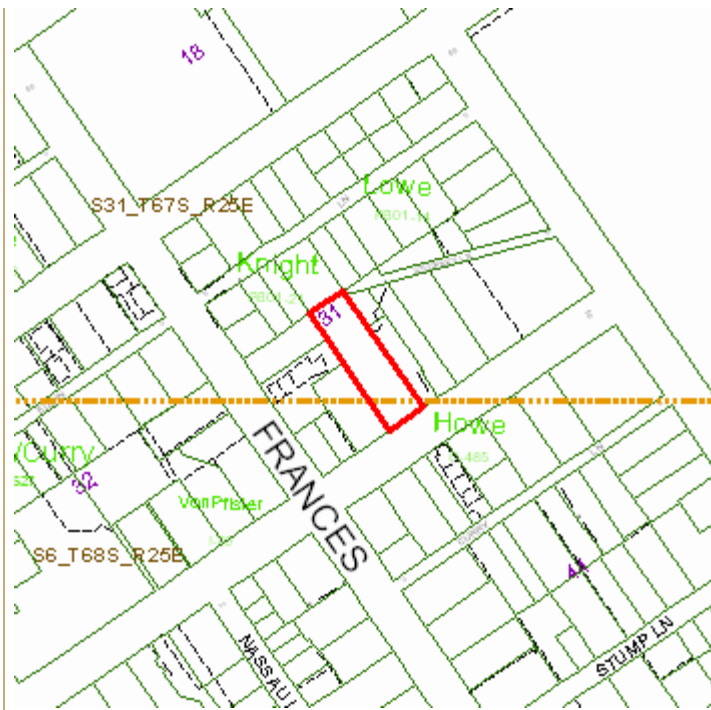
Affordable Housing: No

Section-Township-Range: 31-67-25

Property Location: 1109 FLEMING ST KEY WEST

Legal Description: KW PT LOT 4 SQR 31 V-191 CO JUDGES DOCKET 79-113 AND 79-114 AND 79-115 OR788-1216D/C OR788-1241D/C OR791-1432L/E OR815-1846 OR1151-1801D/C OR1624-1837/39 OR2696-472/73C/T OR2717-1772/73

Click Map Image to open interactive viewer



Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	50	170	8,722.00 SF

Building Summary

Number of Buildings: 2
Number of Commercial Buildings: 0
Total Living Area: 3407
Year Built: 1925

Building 1 Details

Building Type R1
Effective Age 7
Year Built 2007
Functional Obs 0

Condition G
Perimeter 214
Special Arch 0
Economic Obs 0

Quality Grade 550
Depreciation % 5
Grnd Floor Area 1,365

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type
Heat 1
Heat Src 1

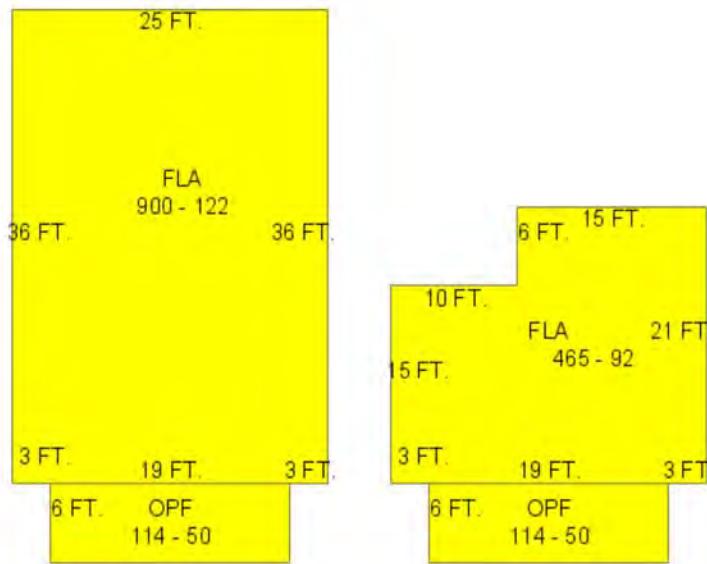
Roof Cover
Heat 2
Heat Src 2

Foundation
Bedrooms 2

Extra Features:

2 Fix Bath 0
3 Fix Bath 1
4 Fix Bath 0
5 Fix Bath 0
6 Fix Bath 0
7 Fix Bath 0
Extra Fix 0

Vacuum 0
Garbage Disposal 0
Compactor 0
Security 0
Intercom 0
Fireplaces 0
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
0	OPF		1	2007				114
0	OPF		1	2007				114
0	FLA	12:ABOVE AVERAGE WOOD	1	2007	Y			900
0	FLA	12:ABOVE AVERAGE WOOD	1	2007	Y			465

Building 2 Details

Building Type R1
Effective Age 29
Year Built 1925
Functional Obs 0

Condition G
Perimeter 316
Special Arch 0
Economic Obs 0

Quality Grade 550
Depreciation % 34
Grnd Floor Area 2,042

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type GABLE/HIP
Heat 1 NONE
Heat Src 1 NONE

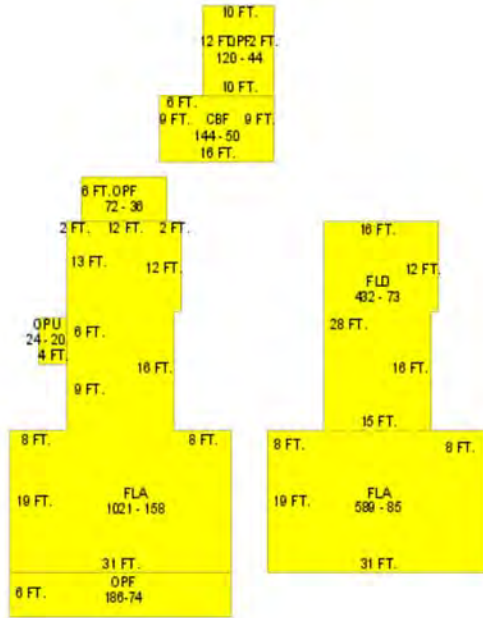
Roof Cover METAL
Heat 2 NONE
Heat Src 2 NONE

Foundation WD CONC PADS
Bedrooms 3

Extra Features:

2 Fix Bath 0
3 Fix Bath 2
4 Fix Bath 0
5 Fix Bath 0
6 Fix Bath 0
7 Fix Bath 0
Extra Fix 0

Vacuum 0
Garbage Disposal 0
Compactor 0
Security 0
Intercom 0
Fireplaces 0
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
0	<u>OPF</u>		1	2003				72
0	<u>OPF</u>		1	1949				120
0	<u>CBF</u>	1:WD FRAME	1	1949				144
0	<u>FLA</u>	12:ABOVE AVERAGE WOOD	1	1924	Y			589
1	<u>OPF</u>		1	1924	N Y	0.00	0.00	186
2	<u>FLA</u>	12:ABOVE AVERAGE WOOD	1	1924	N Y	0.00	0.00	1,021

4	<u>OPU</u>		1	2003	N	Y	0.00	0.00	24
5	<u>FLD</u>	12:ABOVE AVERAGE WOOD	1	2003	N	Y	0.00	0.00	432

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	CA2:CARPORT	121 SF	11	11	2007	2007	2	50
2	FN2:FENCES	200 SF	0	0	1983	1984	2	30
3	PT3:PATIO	359 SF	0	0	1979	1980	2	50

Appraiser Notes

TPP 8686382 - MICHAEL C COPPOLA JR INC.

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
15-2330	06/12/2015		3,000	DEMOLITION OF POOL HOUSE AND CARPORT. DEMOLITION OF NON HISTORIC STRUCTURES.	
00-1007	04/26/2000	10/09/2001	8,000	REPAIR/REPLACE KITCHEN/BA	
03-0345	10/06/2003	11/25/2003	71,425	ADDITION BACK OF HOUSE	

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2014	611,122	760	359,597	971,479	641,501	0	971,479
2013	621,122	760	334,509	956,391	583,183	0	956,391
2012	575,709	760	181,220	757,689	530,167	0	757,689
2011	578,808	760	250,920	830,488	481,970	0	830,488
2010	258,963	760	178,432	438,155	438,155	0	438,155
2009	287,980	784	531,327	820,091	820,091	0	820,091
2008	265,604	808	850,000	1,116,412	1,116,412	0	1,116,412
2007	342,516	832	1,402,500	1,745,848	1,745,848	0	1,745,848
2006	573,074	856	807,500	1,381,430	1,381,430	0	1,381,430
2005	594,252	880	637,500	1,232,632	726,155	25,000	701,155
2004	333,582	904	595,000	929,486	655,004	25,000	630,004
2003	258,619	928	297,500	557,047	488,028	25,000	463,028
2002	247,719	952	297,500	546,171	477,135	25,000	452,135
2001	148,475	997	297,500	446,972	446,972	25,000	421,972

2000	166,097	798	161,500	328,395	258,217	50,000	208,217
1999	158,153	795	161,500	320,448	251,429	50,000	201,429
1998	133,600	699	161,500	295,799	247,470	50,000	197,470
1997	122,767	673	144,500	267,940	243,334	50,000	193,334
1996	97,492	555	144,500	242,546	236,247	50,000	186,247
1995	93,881	555	144,500	238,936	230,485	50,000	180,485
1994	79,438	488	144,500	224,426	224,426	50,000	174,426
1993	79,438	506	144,500	224,444	224,444	50,000	174,444
1992	77,498	522	144,500	222,521	222,521	50,000	172,521
1991	77,498	542	144,500	222,541	222,541	50,000	172,541
1990	61,238	559	112,625	174,422	174,422	26,000	148,422
1989	52,107	524	110,500	163,131	163,131	26,000	137,131
1988	44,699	396	93,500	138,595	138,595	26,000	112,595
1987	44,261	407	63,325	107,993	107,993	26,000	81,993
1986	44,493	418	61,200	106,111	106,111	26,000	80,111
1985	43,441	432	34,595	78,468	78,468	26,000	52,468
1984	40,478	140	34,595	75,213	75,213	26,000	49,213
1983	40,478	140	34,595	75,213	75,213	26,000	49,213
1982	41,326	140	34,595	76,061	76,061	26,000	50,061

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
12/16/2014	2717 / 1772	1,300,600	<u>WD</u>	<u>12</u>
7/28/2014	2696 / 472	100	<u>CT</u>	<u>12</u>
3/24/2000	1624 / 1837	500,000	<u>WD</u>	<u>Q</u>

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Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176