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**Historic Architectural Review Commission  
Staff Report for Item 7**

**To:** Chairman Haven Burkee and Historic Architectural Review  
Commission Members

**From:** Casey Burtch  
Historic Preservation Planner II

**Meeting Date:** May 23, 2023

**Applicant:** Thomas Pope, Architect

**Application Number:** H2023-0012

**Address:** 723 Fleming Street

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**Description of Work**

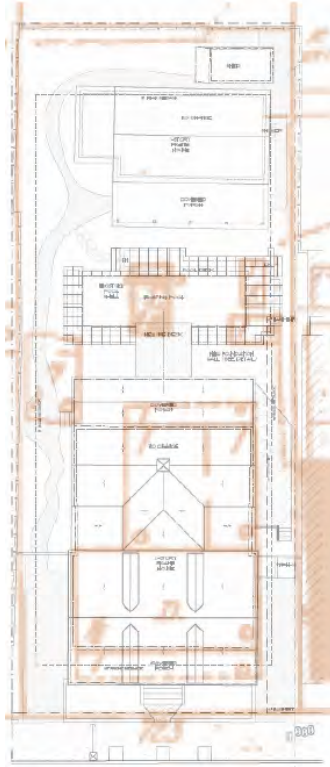
Demolition of non-historic accessory structure including partial roof, partial walls, and other non-historic site structures, including the pool deck. Urban Forestry has been consulted on the protection or relocation of trees.

**Site Facts**

The property under review contains a historic Georgian revival house as the primary structure. The principal building is listed as a contributing resource within the historic district, built circa 1886. A non-historic one-story structure was built in 1985 and is located at the rear of the property. The pool deck and a pool are located between the historic primary structure and the accessory structure.



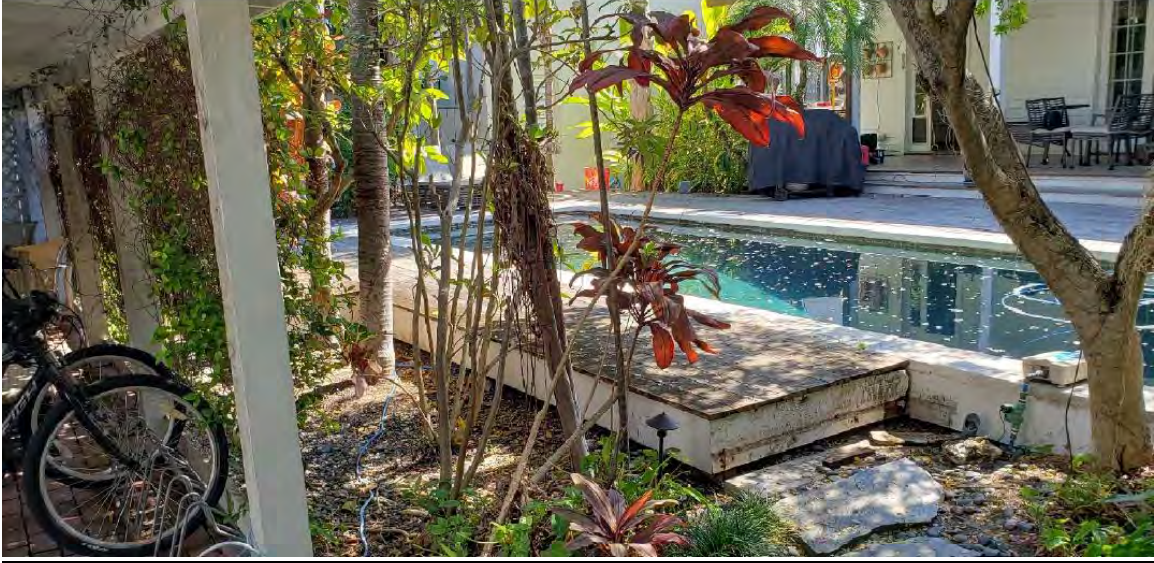
*The accessory structure under review, existing.*



*1962 Sanborn Map & Existing Site Plan*



*Front elevation of accessory structure under review and pool.*



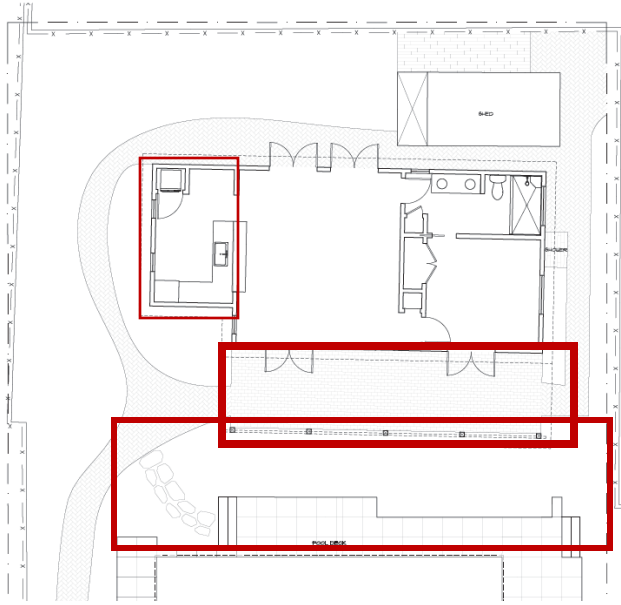
*Existing accessory structure with covered patio and pool deck under review.*

### **Ordinance Cited on Review:**

- Section 102-217 (2), demolition for non-contributing or non-historic structures of the Land Development Regulations.

### **Staff Analysis:**

The Certificate of Appropriateness proposes the demolition of non-historic structures, including the roof, partial walls, and covered porch. It is the staff's opinion that the proposed demolitions will be done for non-historic and non-contributing structures. The new gazebo, new fenestration openings, and hip roof forms are appropriate in scale to the primary historic building. Staff opine that the proposed new construction of portions of the accessory structure that will replace the existing form meet guidelines for additions and alterations of outbuildings.



*Areas proposed to be demolished.*

Since the structures under review are non-historic, the evaluation shall be based on section 102-217 (b) of the Land Development Regulations, which requires the following criteria for demolitions:

The historic architectural review commission shall not issue permits that would result in:

- (1) *Removing buildings or structures that are important in defining the overall historic character of a district or neighborhood so that the character is diminished;*

It is staff's opinion that the structures under review are not important character defining features to the historic site.

- (2) *Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space;*

The proposed structures to be demolished are not historic.

- (3) *Removing an historic building or structure in a complex; or removing a building facade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.*

The non-historic structures under review cannot be considered important elements that define the historic character of the site and neighborhood. The proposed new design will be harmonious to the house and surrounding properties.

- (4) *Removing buildings or structures that would otherwise qualify as contributing, as set forth in section 102-62(3).*

It is staff's opinion that the structures under review will not qualify to be contributing to the district in a near future.

Staff recommends to the Commission the consideration of this request for demolition as the proposed replacements to structures to be demolished will have no adverse effect to the existing primary structure. The proposed changes to the accessory structure roof and covered porch (gazebo) will be an appropriate design a would be harmonious with the historic primary house, site features and surrounding properties. If the Commission finds the design to be appropriate this will be the only required reading for demolition.

# APPLICATION

# HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$463.05 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 10/02/2022 ET



## City of Key West

1300 White Street  
Key West, Florida 33040

HARC COA #	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

**A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL**

ADDRESS OF PROPOSED PROJECT:	723 Fleming	
NAME ON DEED:	Blount Thomas A Revocable Trust 2002	PHONE NUMBER
OWNER'S MAILING ADDRESS:	216 S Rimpau Blvd.	EMAIL tombt7x7@gmail.com
	Los Angeles	
APPLICANT NAME:	Thomas E. Pope	PHONE NUMBER 305-296-3611
APPLICANT'S ADDRESS:	610 White Street	EMAIL holly@p-s-architects.com
	Key West, FL 33040	
APPLICANT'S SIGNATURE:		DATE April 24, 2023

**ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.**

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS\_\_\_ RELOCATION OF A STRUCTURE\_\_\_ ELEVATION OF A STRUCTURE\_\_\_  
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES  NO\_\_\_ INVOLVES A HISTORIC STRUCTURE: YES  NO\_\_\_  
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES\_\_\_ NO

<b>DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.</b>
<b>GENERAL:</b> Removal of existing pool deck with replacement decking of concrete pavers. Minimal reconfiguration of decking.
<b>MAIN BUILDING:</b>
<b>DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):</b>

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE  
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS [CITY\\_HARC@CITYOFKEYWEST-FL.GOV](mailto:CITY_HARC@CITYOFKEYWEST-FL.GOV)

ACCESSORY STRUCTURE(S):	
PAVERS:	FENCES:
DECKS: Removal of existing pool deck with replacement decking of concrete pavers. Minimal reconfiguration of decking.	PAINTING:
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (INCLUDING EQUIPMENT):
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER:

OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.



# HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$463.05 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 10/02/2022 ET



## City of Key West

1300 White Street  
Key West, Florida 33040

HARC COA #	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

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PROJECT INCLUDES: REPLACEMENT OF WINDOWS\_\_\_ RELOCATION OF A STRUCTURE\_\_\_ ELEVATION OF A STRUCTURE\_\_\_  
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES  NO\_\_\_ INVOLVES A HISTORIC STRUCTURE: YES  NO\_\_\_  
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES\_\_\_ NO

<b>DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.</b>
<b>GENERAL:</b> Exterior renovations to existing non historic rear guest house. Removal of existing covered porch roof, new gazebo, and entry canopy. Relocation of windows & doors as per plan.
<b>MAIN BUILDING:</b>
<b>DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):</b>
Remove non-historic porch.

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE  
 PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS [CITY\\_HARC@CITYOFKEYWEST-FL.GOV](mailto:CITY_HARC@CITYOFKEYWEST-FL.GOV)

ACCESSORY STRUCTURE(S):	
PAVERS:	FENCES:
DECKS:	PAINTING:
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (INCLUDING EQUIPMENT):
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER:

<b>OFFICIAL USE ONLY:</b>	<b>HARC COMMISSION REVIEW</b>	<b>EXPIRES ON:</b>
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

# HARC Certificate of Appropriateness: Demolition Appendix



**City of Key West**  
 1300 WHITE STREET  
 KEY WEST, FLORIDA 33040

HARC COA #	INITIAL & DATE
ZONING DISTRICT	BLDG PERMIT #

ADDRESS OF PROPOSED PROJECT:

PROPERTY OWNER'S NAME:

APPLICANT NAME:

I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval **PRIOR to proceeding with the work outlined above** and that a final inspection is required under this application. I also understand that **any changes to an approved Certificate of Appropriateness must be submitted for review.**

*Thomas Blount*  
 PROPERTY OWNER'S SIGNATURE

4/28/23 THOMAS A. BLOUNT  
 DATE AND PRINT NAME

DETAILED PROJECT DESCRIPTION OF DEMOLITION
Demolition of existing non-historic porch.

**CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:**

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies);

(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:

(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

No, however the structure is non-historic

(2) Or explain how the building or structure meets the criteria below:

(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

Structure is not significant

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

(b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.

Structure is not significant

(c) Has no significant character, interest, or value as part fo the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.

Structure is not significant

(d) Is not the site of a historic event with significant effect upon society.

Structure is not significant

(e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.

Structure does not exemplify the cultural, political, economic, social or historic heritage of the city

(f) Does not portray the environment in an era of history characterized by a distinctive architectural style.

Correct

(g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.

NA

(h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

(i) Has not yielded, and is not likely to yield, information important in history.
Correct

**CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:**

The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies);

(1) Removing buildings or structures that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.

Removal will not cause diminished character

(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.

Removal will not have any impact on historic relationship between building or structures and open space

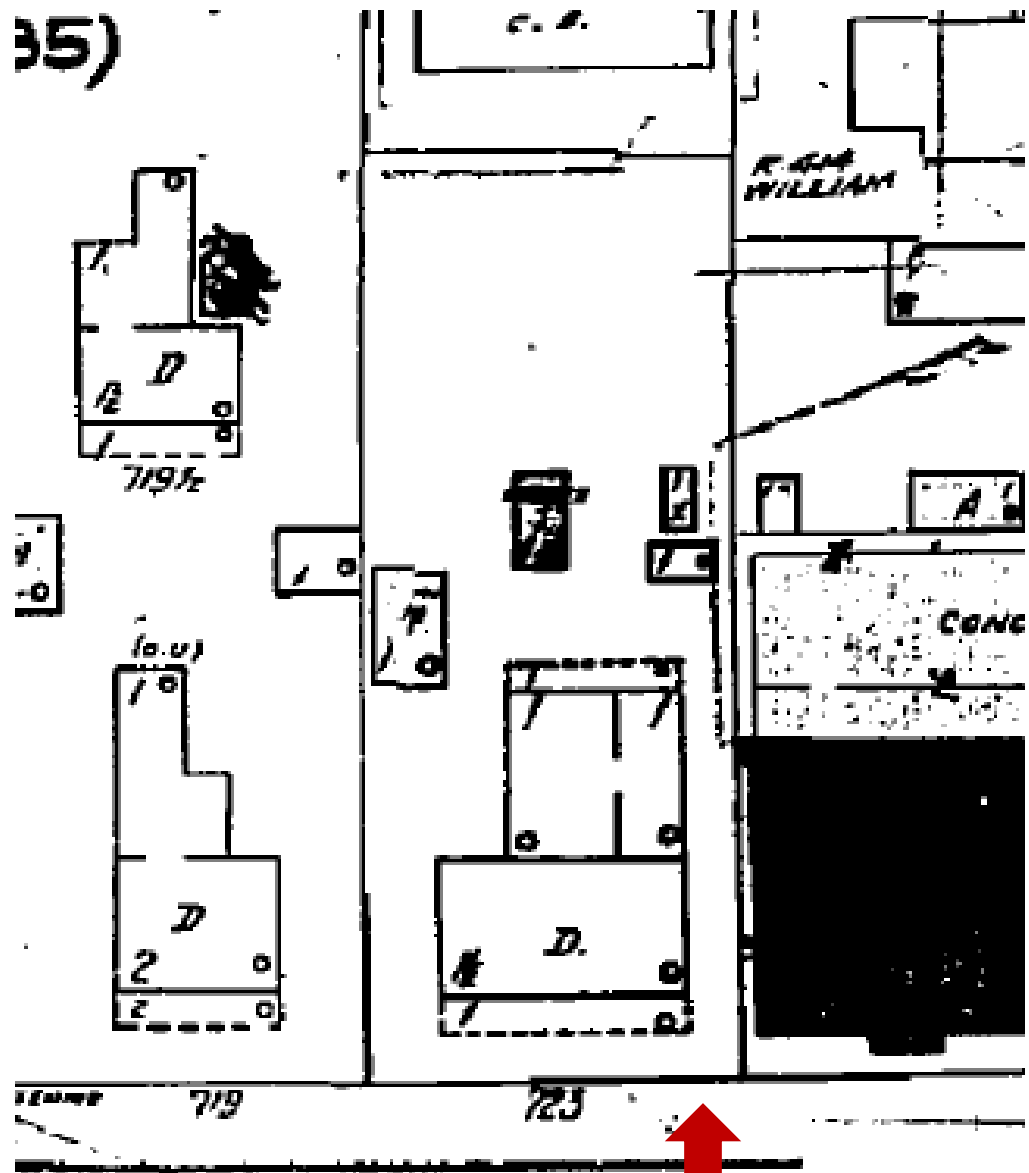
(3) Removing an historic building or structure in a complex; or removing a building facade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

Removal of structure will have no impact on the historic character of the site or the surrounding district or neighborhood

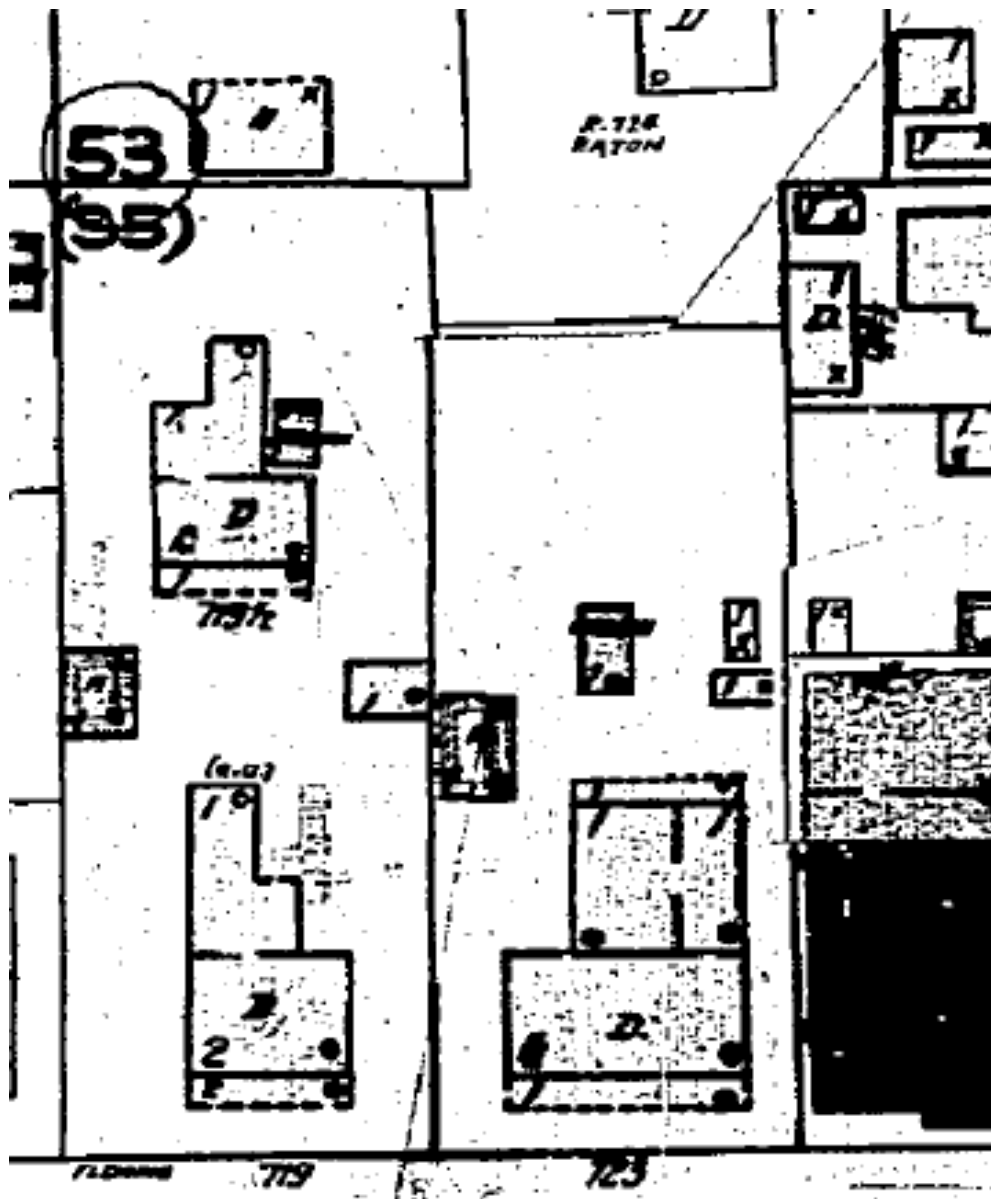
(4) Removing buildings or structures that would otherwise qualify as contributing.

NA

# SANBORN MAPS



1962 Sanborn Map



1948 Sanborn Map





# PROJECT PHOTOS



723 Fleming Street – Street View of Main House



Pool & Pool Deck



## Pool & Pool Deck



## Pool & Pool Deck



723 Fleming Street – Street View of Main House

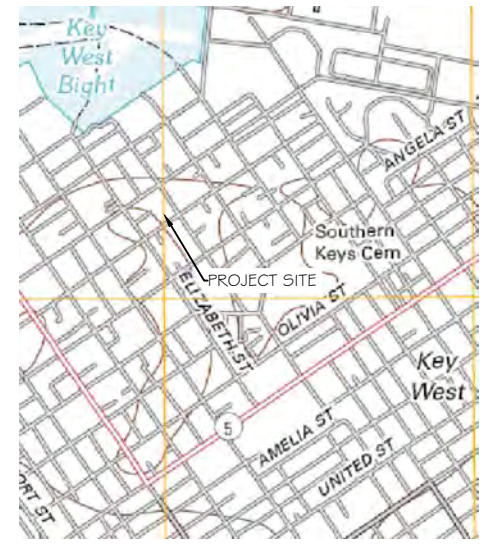


Existing Non-historic Covered Porch to be removed

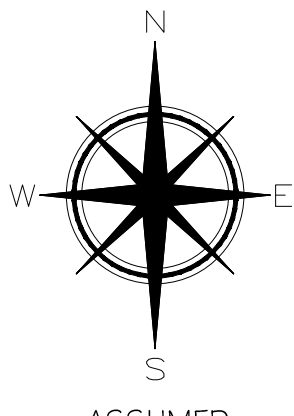


# SURVEY

# MAP OF BOUNDARY SURVEY

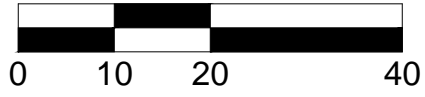


LOCATION MAP - NTS  
SEC. 06-T685-R25E



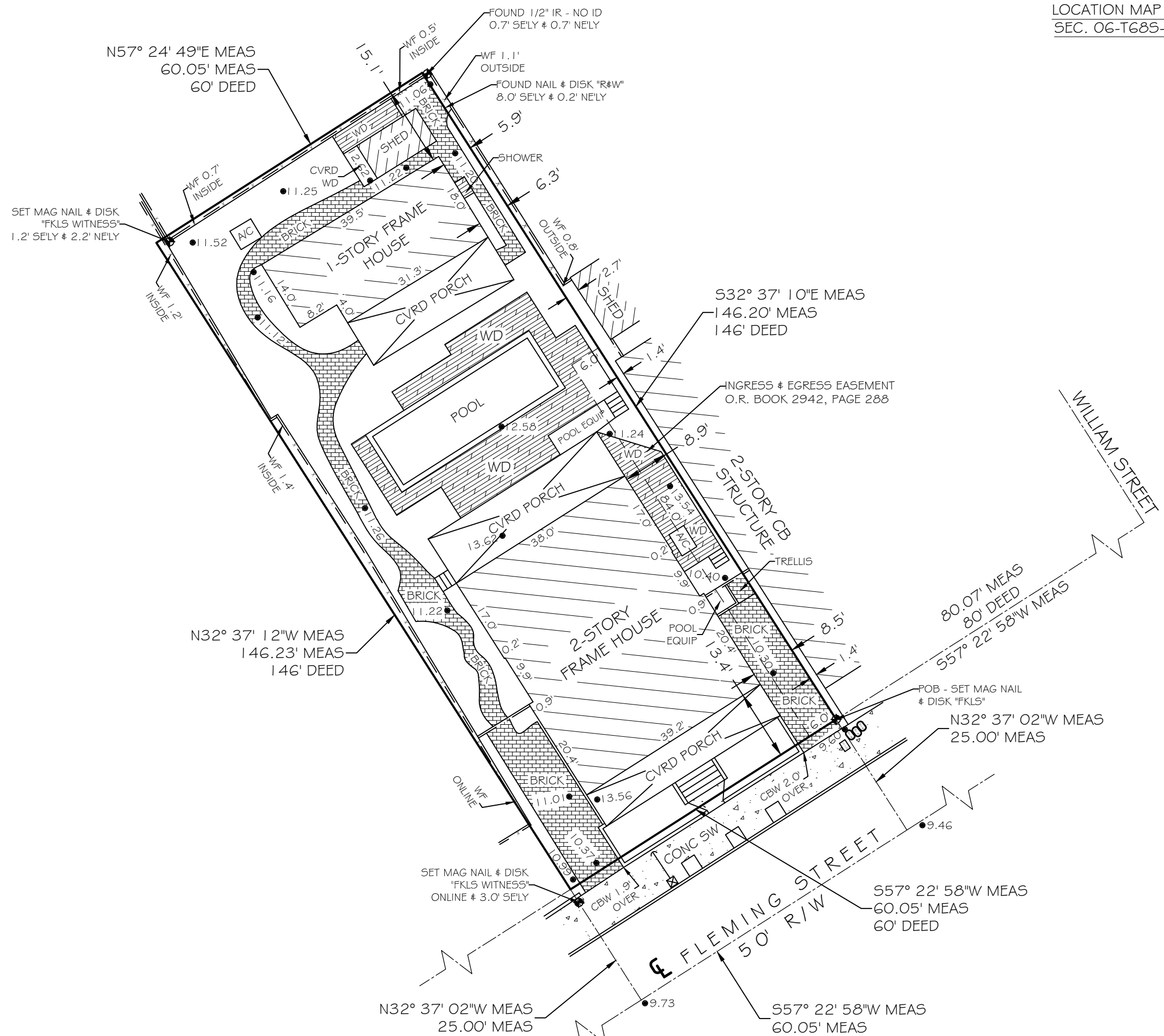
ASSUMED

1"=20'



\*VERIFY ORIGINAL SCALE OF 2"

TOTAL AREA = 8,780.27 SQFT±



### SYMBOL LEGEND:

- CATCH BASIN
- DRAINAGE MANHOLE
- CONCRETE UTILITY POLE
- FIRE HYDRANT
- GUY WIRE
- LIGHT POLE
- SANITARY CLEANOUT
- SANITARY MANHOLE
- SIGN
- SEWER VALVE
- WATER VALVE
- WATER METER
- WOOD UTILITY POLE
- SPOT GRADE ELEVATION (TYPICAL)
- TRAFFIC CONTROL BOX
- OVERHEAD UTILITY LINE

### SURVEYORS NOTES

- ALL BEARINGS ARE BASED ON 557°22'58"W ASSUMED ALONG THE CENTERLINE OF FLEMING STREET.
- ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929).
- BENCHMARK DESCRIPTION: NATIONAL GEODETIC SURVEY BENCHMARK: DESIGNATION '872 4580 TIDAL 25" P.I.D. AA0004, ELEVATION=5.11' (NGVD 1929).
- ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHERS THAN THE SIGNING PARTY IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY.
- THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD EVIDENCE. THE SURVEYOR MAKES NO GUARANTIES THAT THE UNDERGROUND UTILITIES SHOWN HEREON ENCOMPASS ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE EVIDENCE AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- STREET ADDRESS: 723 FLEMING STREET, KEY WEST, FL 33040.
- ALL UNITS ARE SHOWN IN U.S. SURVEY FEET.
- ALL FIELD DATA WAS ACQUIRED ON 08/31/2018.
- COMMUNITY NO.: 120168; MAP NO.: 12087C-1516K; MAP DATE: 02-18-2005; FLOOD ZONE: X; BASE ELEVATION(S): N/A

(FF-1) = THE 2-STORY FRAME HOUSE  
(FF-2) = THE 1-STORY FRAME HOUSE

(FF-1) = 13.8' (NGVD 1929)

(FF-2) = 11.7' (NGVD 1929)

- FINISH FLOOR ELEVATIONS (FF-1 & FF-2) WERE TAKEN AT THE DOOR THRESHOLD LOCATION AS INDICATED ON THE SURVEY MAP, NO INTERIOR FLOOR ELEVATIONS WERE MEASURED OR VERIFIED.

CERTIFIED TO -

THOMAS BLOUNT;

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE. THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.

BFP = BACK-FLOW PREVENTER	GUW = GUY WIRE	POC = POINT OF COMMENCEMENT
BO = BLOW OUT	HB = HOSE BIB	PRC = POINT OF REVERSE CURVE
C & G = 2" CONCRETE CURB & GUTTER	IR = IRON PIPE	PRM = PERMANENT REFERENCE MONUMENT
CB = CONCRETE BLOCK	LS = LANDSCAPING	R = RADIUS
CBW = CONCRETE BLOCK WALL	L = ARC LENGTH	R/W = RIGHT OF WAY LINE
CL = CENTERLINE	MB = MAILBOX	SSCO = SANITARY SEWER CLEAN-OUT
CLP = CHAINLINK FENCE	MEAS = MEASURED	SW = SIDE WALK
CM = CONCRETE MONUMENT	MF = METAL FENCE	TBM = TEMPORARY BENCHMARK
CONC = CONCRETE	MHWL = MEAN HIGH WATER LINE	TOB = TOP OF BANK
CPF = CONCRETE POWER POLE	NGVD = NATIONAL GEODETIC VERTICAL DATUM (1929)	TOS = TOP OF SLOPE
CVRD = COVERED	N/S = NOT TO SCALE	TYP = TYPICAL
DELTA = CENTRAL ANGLE	OH = ROOF OVERHANG	UR = UNREADABLE
DEASE = DRAINAGE EASEMENT	OHV = OVERHEAD WIRES	UE = UTILITY EASEMENT
EL = ELEVATION	EP = EDGE OF PAVEMENT	WD = WOOD DECK
ENCL = ENCLOSURE	FF = FINISHED FLOOR ELEVATION	WF = WOOD FENCE
EP = EDGE OF PAVEMENT	FM = FIRE METER	WL = WOOD LANDING
FF = FINISHED FLOOR ELEVATION	FH = FIRE HYDRANT	WM = WATER METER
FH = FIRE HYDRANT	FP = FENCE POST	WPP = WOOD POWER POLE
FI = FENCE INSIDE	FND = FOUND	WRACK LINE = LINE OF DEBRIS ON SHORE
FIS = FENCE INSIDE	FOL = FENCE ON LINE	WV = WATER VALVE
FIS = FENCE INSIDE	FOS = FENCE OUTSIDE	
FND = FOUND	FOB = POINT OF BEGINNING	
FOS = FENCE ON LINE	FOI = POINT OF INTERSECTION	

### LEGAL DESCRIPTION -


Being in the City of Key West in the County of Monroe, State of Florida, and known and described as part of Lot Number One (1) in Square Number Thirty-Five (35), according to William Whitehead's map or plan of said City and bounded as follows:  
Commencing at a point Eighty (80) feet from the junction of William and Fleming Street and fronting and running along Fleming Street in a Southwesterly direction Sixty (60) feet; thence at right angles with Fleming Street in a Northwesterly direction One Hundred Forty-Six (146) feet; thence at right angles and parallel with Fleming Street in a Northeasterly direction Sixty (60) feet; thence at right angles and parallel with William Street in Southeasterly direction One Hundred Forty-Six (146) feet to the point of beginning.

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY. THE BOLD LINE SHOWN HEREON REPRESENTS THE SURVEYORS OPINION OF THE DEED LINES. THE MEAN HIGH WATER LINE WAS NOT DETERMINED FOR THIS SURVEY. THE APPARENT MEAN HIGH WATER LINE IS SHOWN FOR REFERENCE ONLY.

SCALE:	1"=20'
FIELD WORK DATE:	09/01/2021
MAP DATE:	10/07/2021
REVISION DATE:	XXXXXXXX
SHEET:	1 OF 1
DRAWN BY:	MPB
JOB NO.:	21-442

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTERS 2014-147 & 5J-17.05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND COMPLIES WITH CHAPTER 177, PART II FLORIDA STATUTES.

NOT VALID WITHOUT THE SIGNATURE AND THE RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER.

SIGNED:   
ERIC A. ISAACS, F.S.M. #6783, PROFESSIONAL SURVEYOR AND MAPPER, LB# 7847



**FLORIDA KEYS  
LAND SURVEYING**  
19960 OVERSEAS HIGHWAY  
SUGARLOAF KEY, FL 33042  
PHONE: (305) 394-3690  
FAX: (305) 509-7373  
EMAIL: FKL5email@gmail.com



# PROPOSED DESIGN

**NOTES**

**PROJECT SCOPE OF WORK**  
 CONSTRUCTION OF NEW IPE DECK AND REMOVAL OF EXISTING WOOD POOL DECK AND CONSTRUCTION OF NEW CONCRETE PAVER POOL DECK AND FOUNDATION. DESIGNED TO BE BUILT IN COMPLIANCE WITH SEVENTH EDITION 2020 FLORIDA BUILDING CODE, RESIDENTIAL.

ALL STRUCTURES TO BE BUILT TO WITHSTAND ASCE 7-10, AND FLORIDA BUILDING CODE SECTION 1603

**FLOOR & ROOF LIVE LOADS**

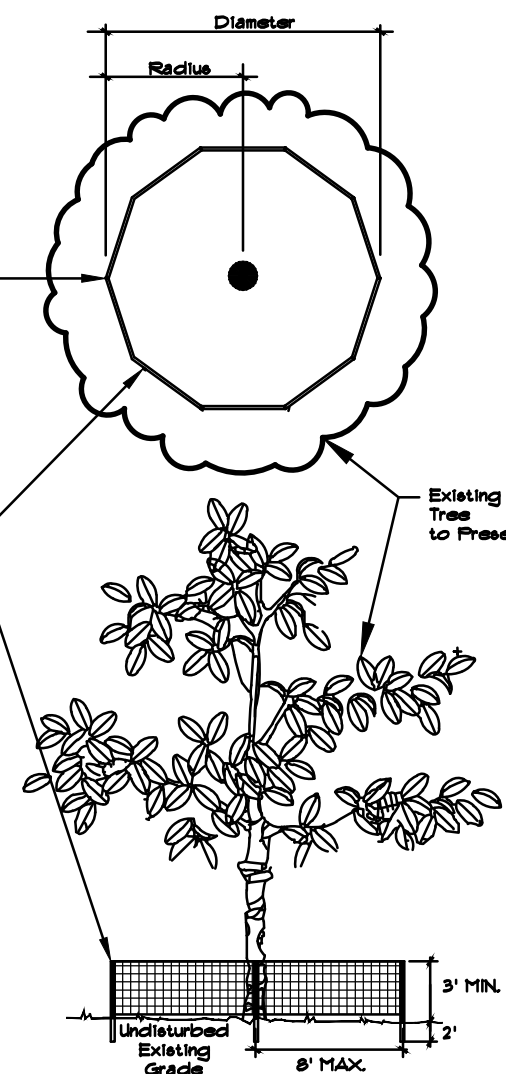
UNHABITABLE ATTICS	20 PSF
HABITABLE ATTICS, BEDROOM	30 PSF
ALL OTHER ROOMS	40 PSF
GARAGE	20 PSF
ROOFS	

**WIND DESIGN DATA**

ULTIMATE WIND SPEED	180 MPH
NORMAL (BASIC) WIND SPEED	135 MPH
RISK CATEGORY	II
WIND EXPOSURE	C
ENCLOSURE CLASSIFICATION	ENCLOSED
INTERNAL PRESSURE COEFFICIENT	0.18 +/-

TEMPORARY TREE PROTECTION BARRIER IS TO BE INSTALLED PER CITY OF KEY WEST REQUIREMENTS

TREE BARRIER SHALL BE CONSTRUCTED OF TWO BY FOUR (2x4) POSTS PLACED AT MAXIMUM OF 6 FEET APART, WITH EITHER A TWO BY FOUR (2x4) POSTS TOP RAIL, OR A TEMPORARY WIRE FENCE, OR CITY APPROVED EQUIV. (E.G. 1/2" REBAR POSTS WITH 3" SAFETY CHAINING CORD, PER BARRIER WIRE TIED TO POSTS)



**TREE PROTECTION BARRIER DETAIL TO SCALE**

NOTE: PROVIDE TREE PROTECTION BARRICADE AROUND ALL EXISTING TREES AND PALMS SHOWN TO REMAIN ON SITE AND FOR ALL RELOCATED TREES OR PALMS FOR THE FULL DURATION OF CONSTRUCTION.

NO MATERIALS OR EQUIPMENT SHALL BE STORED, OPERATED, DUMPED, OR BURNED WITHIN THE PROTECTED AREA.

NO ATTACHMENT (WIRES, SIGNS, ETC.) SHALL BE ATTACHED TO A PROTECTED TREE. PRIOR TO ANY LAND CLEARING OPERATIONS, TREE LINES WHICH INTERFERE WITH CONSTRUCTION SHALL BE REMOVED IN ACCORDANCE WITH NATIONAL ARBORISTS ASSOCIATION PRUNING STANDARDS.

ALL PROTECTED TREES SHALL BE PRUNED TO REMOVE DEAD OR DAMAGED LIMBS AND FERTILIZED AS NECESSARY TO COMPENSATE FOR ANY ROOT LOSS. OBTAIN CITY APPROVAL OF TREE BARRICADES BEFORE BEGINNING CLEARING OPERATIONS OR ANY SITE DEVELOPMENT.

723 Fleming St

Zoning		HMDR
Flood Zone		AF 10
Design Flood Elevation		19FT+1'
Flood Elevation Provided		
Site Area	8,780	
Site Area (Ac)	0.20	
Max Lot Coverage	40%	3,512.0
Existing Lot Coverage	43.3%	3,798.0
Proposed Lot Coverage	43.3%	3,798.0
Max Impervious Area	60%	5,268.0
Existing Impervious Area	38.6%	3,387.0
Proposed Impervious Area	34.8%	3,059.0
Min Open Space Ratio	0.35	3,073.0
Existing Open Space	0.29	2,575.0
Proposed Open Space	0.31	2,720.0

Max Height		30'
Setbacks		
Front		10'
Side (Street)		7.5'
Side		5'
Rear		15'

BUILDING AREAS (LOT COVERAGE)	EXISTING SF	PROPOSED SF
Existing Two-Story Residence	2,478	2,478
Existing Shed	120	120
Existing Wood Deck (> 30" above grade)	220	220
Existing Accessory Building	980	980
<b>Total Lot Coverage (SF)</b>	<b>3,798</b>	<b>3,798</b>
<b>Lot Coverage (%)</b>	<b>43.3%</b>	<b>43.3%</b>

SITE AREAS (IMPERVIOUS AREA)	EXISTING SF	PROPOSED SF
Existing Two-Story Residence	-	-
Existing Shed	-	-
Existing Wood Deck (> 30" above grade)	-	-
Existing Accessory Building	980	980
Steps	43	43
Back Paving/Driveway	1,232	1,232
Pool	381	358
Existing Wood Pool Deck	751	-
Proposed Concrete Paver Pool Deck	-	446
Proposed Wood Deck (≤ 30" above grade)	-	-
<b>Total Impervious Area (SF)</b>	<b>3,387</b>	<b>3,059</b>
<b>Impervious Area (%)</b>	<b>38.6%</b>	<b>34.8%</b>

SITE AREAS (OPEN SPACE)	EXISTING SF	PROPOSED SF
Existing Two-Story Residence	2,478	2,478
Existing Shed	120	120
Existing Wood Deck (> 30" above grade)	220	220
Accessory Building	980	980
Steps	43	43
Back Paving/Driveway	1,232	1,232
Pool	381	368
Existing Wood Pool Deck	751	-
Proposed Concrete Paver Pool Deck	-	474
Proposed Wood Deck (≤ 30" above grade)	-	145
<b>Sub Totals</b>	<b>6,205</b>	<b>6,060</b>
<b>Open Space (SF)</b>	<b>2,575</b>	<b>2,720</b>
<b>Open Space Ratio</b>	<b>0.29</b>	<b>0.31</b>

**DESIGN DATA:**  
 1. APPLICABLE BUILDING CODE: FBC RESIDENTIAL 7TH EDITION (2020)  
 2. APPLICABLE DESIGN LOADS: PER ASCE/SEI 7-16  
 LIVE LOAD: 40 PSF  
 BASIC WIND SPEED: 180 MPH  
 EXPOSURE: D  
 STRUCTURAL CATEGORY: II

**FLOOD ZONE: X**  
 ASCE 24-14 FLOOD RESISTANT DESIGN AND CONSTRUCTION

ALL PRESSURES SHOWN ARE BASED ON ASD DESIGN, WITH A LOAD FACTOR OF 0.6

**SOILS AND FOUNDATIONS NOTES:**

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS ARE USED IN LIEU OF A COMPLETE GEOTECHNICAL EXPLORATION. FOUNDATIONS SHALL BE PLACED ON A SECONDARY AND FOLIATED ROCK WITH A ALLOWABLE LOAD BEARING PRESSURE OF 2,000 PSF. NOTIFY THE ENGINEER OF SOIL CONDITIONS ARE DIFFERENT.

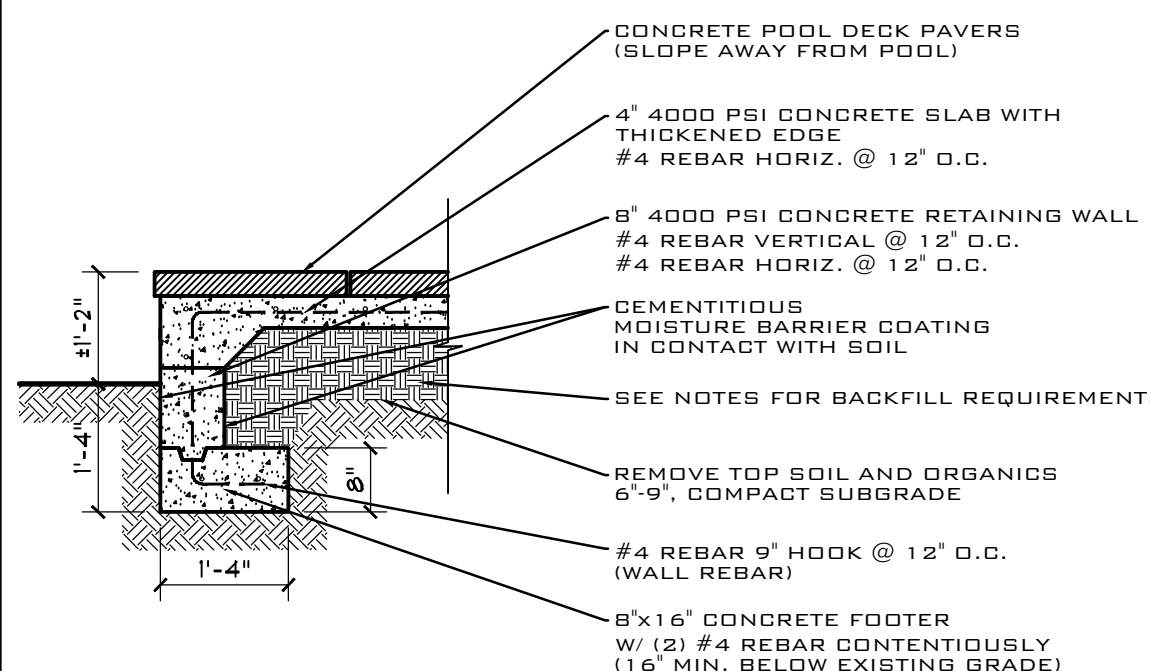
- ALL FOUNDATIONS, SLABS AND FOOTERS SHALL BE PLACED ON STABILIZED UNDISTURBED SUBGRADE SOIL.
- MINIMUM FOUNDATION DEPTH SHALL BE 16" UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. IF OVER-EXCAVATED - FILL SHALL NOT BE PLACED BACK INTO THE TRENCH UNLESS APPROVED BY THE ENGINEER.
- FILL UNDER THE FOUNDATION SHALL BE USED ONLY IF APPROVED BY THE ENGINEER. CLEAN FILL MATERIAL SHALL BE PLACED IN 6"-8" LAYERS AND COMPACTED TO 95% DENSITY USING THE MODIFIED PROCTOR TEST.
- FILL MATERIAL SHALL BE CLEAN GRANULAR SAND OR LIME/CEMENT MIX WITHOUT ANY ORGANIC MATERIALS, CLAY, MUD, AND ROCKS LARGER THAN 4". BACKFILL SHALL NOT CONTAIN ANY WOOD OR CELLULOSE DEBRIS.

**CONCRETE**

- APPLICABLE CODE ACI 318 LATEST EDITION AND ACI 301.
- ALL CONCRETE ELEMENTS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE IS SHOWN ON THE PLANS. WATER/CEMENT RATIO SHALL NOT EXCEED W/C=0.40.
- ALL CAST-IN-PLACE CONCRETE SHALL BE CURED AND PROTECTED FROM OVERDRYING PER ACI 305R-10 "HOT WEATHER CONCRETING".
- ALL EXPOSED EDGES SHALL HAVE 1/2" CHAMFERS.
- NO COLD JOINTS ARE ALLOWED UNLESS OTHERWISE APPROVED BY THE ENGINEER.

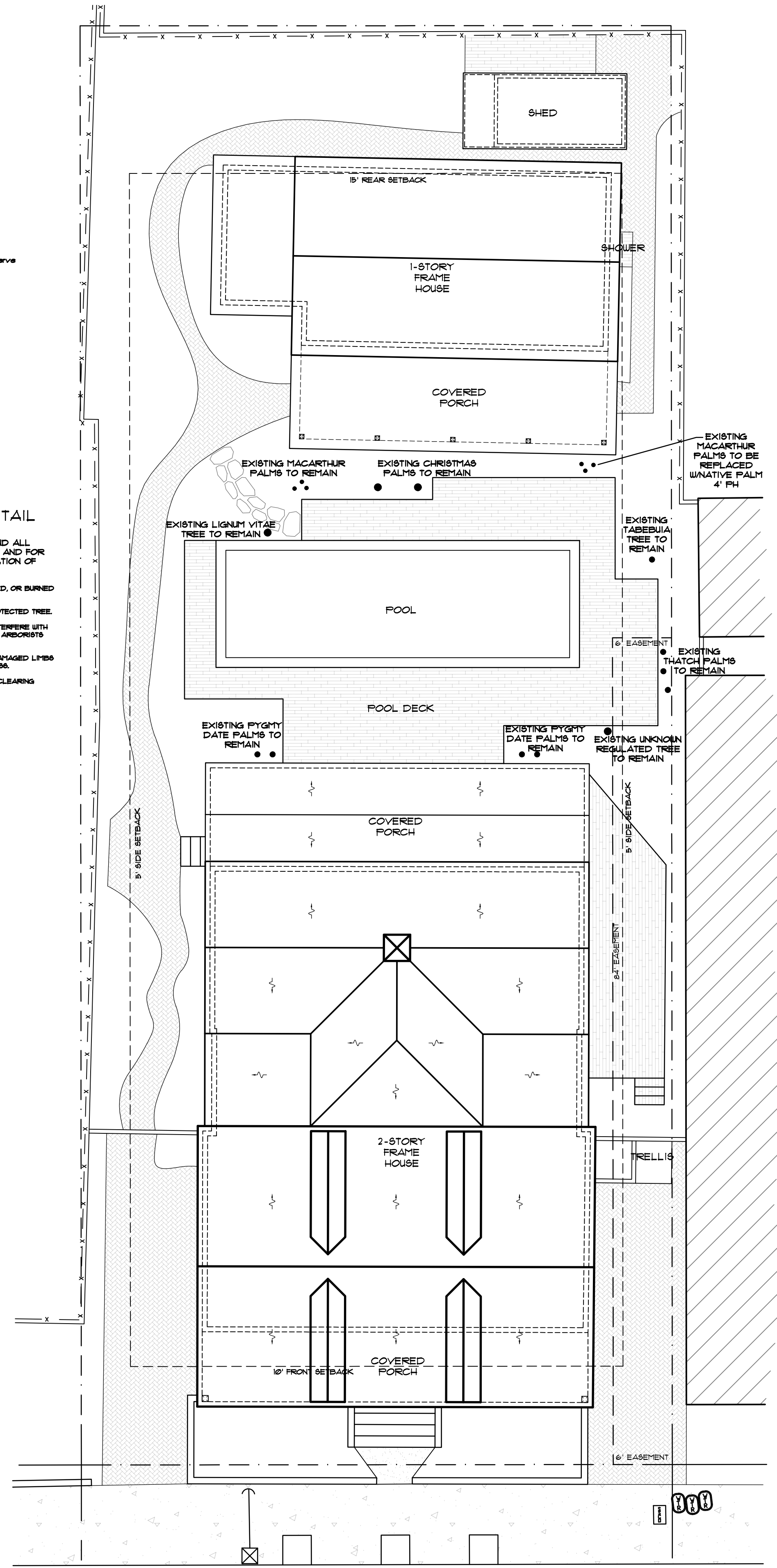
**REINFORCEMENT**

- ALL REBAR SHALL BE HOT DIP GALVANIZED FORMED CARBON-STEEL ASTM A615/ASCI 36-13 GRADE 60 UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- ALL REQUIREMENTS FOR PLACEMENT, COVER, TOLERANCES, ETC. SHALL BE PER ACI 318-11.
- ALL HOOKS AND BENDS SHALL BE FACTORY MADE UNLESS FIELD BENDS ARE APPROVED BY THE ENGINEER.



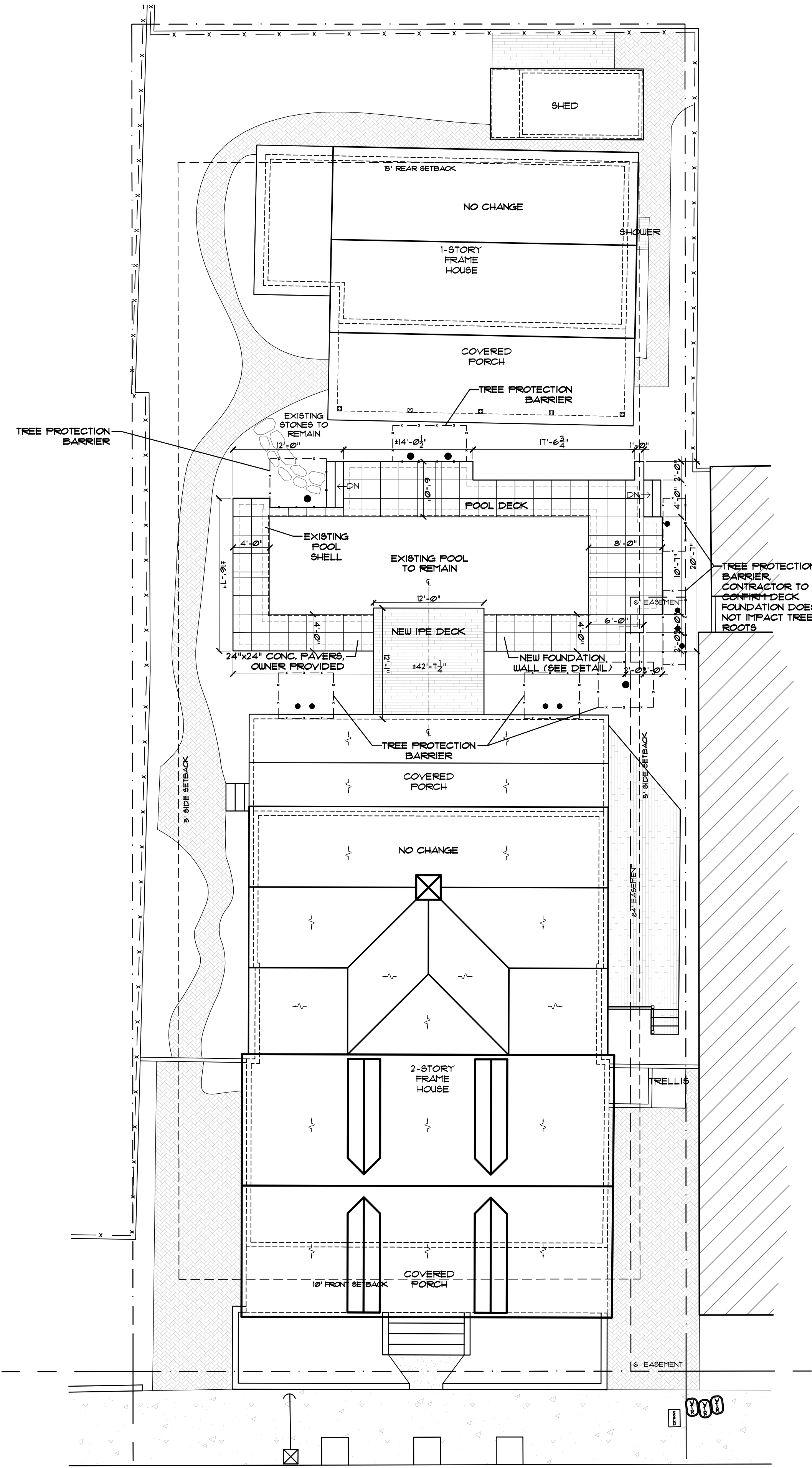
**Deck Foundation Detail**

1/2" = 1' - 0"



**Existing Site Plan**

1/8" = 1' - 0"



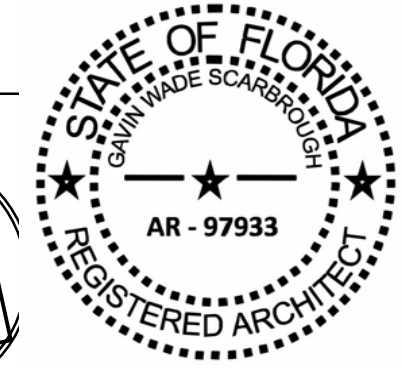
**Proposed Site Plan**

1/8" = 1' - 0"

723 Fleming St Pool Deck Replacement  
 Key West, FL  
 723 Fleming St

POPE-SCARBROUGH-ARCHITECTS  
 THOMAS E. POPE, P.A.  
 (305) 296 3611 610 White St, Key West FL

date: 04/24/23  
 revision:  
 sheet: A0.1



**NOTES**

**PROJECT SCOPE OF WORK**  
 RENOVATION OF ACCESSORY BUILDING INCLUDING CONSTRUCTION OF NEW COVERED PORCH, NEW ENTRY DOOR WITH COVER, AND RECONSTRUCTION OF KITCHEN ROOF, DESIGNED TO BE BUILT IN COMPLIANCE WITH SEVENTH EDITION 2020 FLORIDA BUILDING CODE, RESIDENTIAL.

ALL STRUCTURES TO BE BUILT TO WITHSTAND ASCE 7-10, AND FLORIDA BUILDING CODE SECTION 1603

**FLOOR & ROOF LIVE LOADS**

UNINHABITABLE ATTICS 20 PSF  
 HABITABLE ATTICS, BEDROOM 30 PSF  
 ALL OTHER ROOMS 40 PSF  
 GARAGE 20 PSF  
 ROOFS

**WIND DESIGN DATA**

ULTIMATE WIND SPEED 130 MPH  
 NORMAL (BASIC) WIND SPEED 139 MPH  
 RISK CATEGORY II  
 WIND EXPOSURE C  
 ENCLOSURE CLASSIFICATION ENCLOSED  
 INTERNAL PRESSURE COEFFICIENT 0.18 +/-

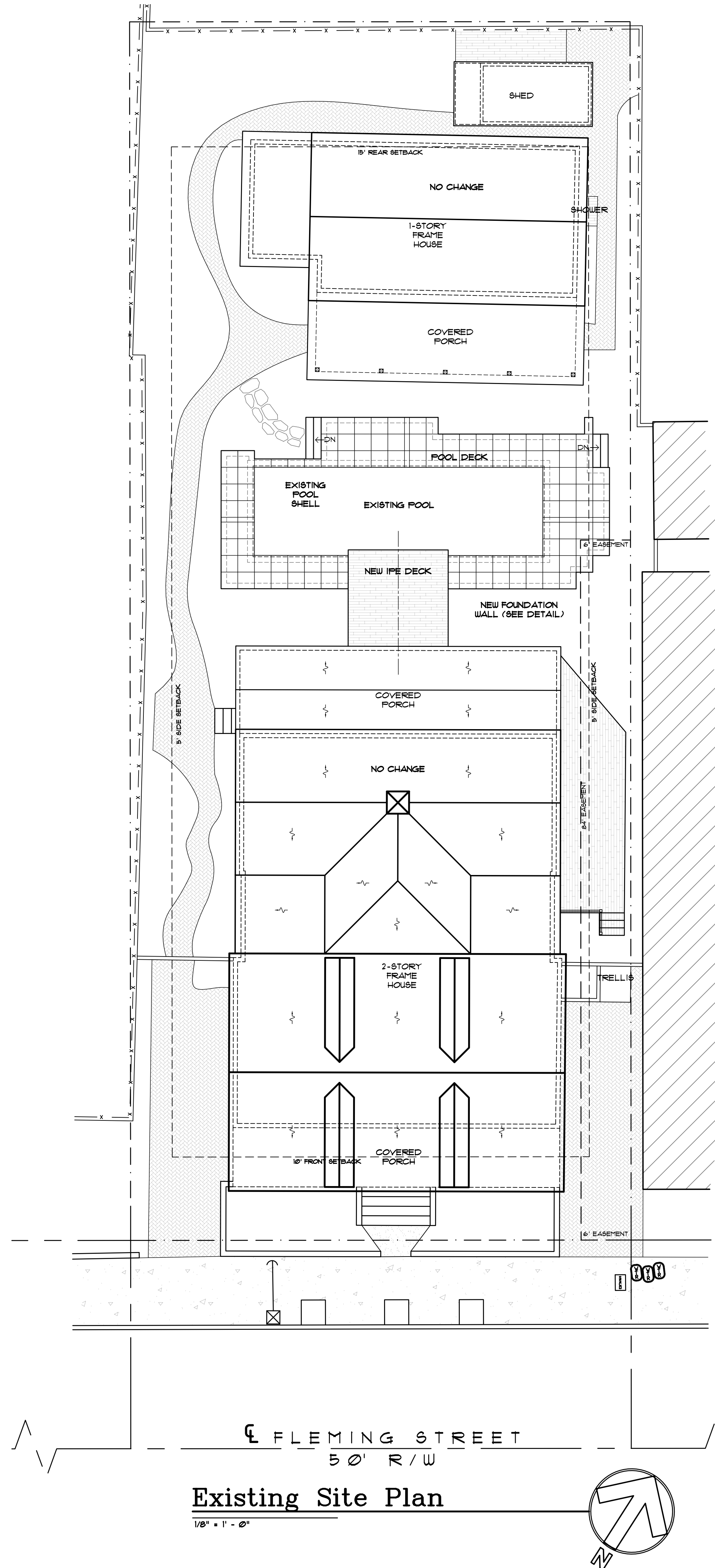
723 Fleming St			
Zoning			IIMDR
Flood Zone			AE 10
Design Flood Elevation	BFE 11'		
Flood Elevation Provided			
Site Area		8,780	
Site Area (Ac)		0.20	
Max Lot Coverage	40%	3,512.0	
Existing Lot Coverage	43.3%	3,798.0	
Proposed Lot Coverage	43.2%	3,793.0	
Max Impervious Area	60%	5,268.0	
Existing Impervious Area	34.8%	3,059.0	
Proposed Impervious Area	35.2%	3,090.0	
Min Open Space Ratio	0.35	3,073.0	
Existing Open Space	0.31	2,720.0	
Proposed Open Space	0.31	2,727.0	

Max Height		30'
Setbacks		
Front		10'
Side (Street)		7.5'
Side		5'
Rear		15'

BUILDING AREAS (LOT COVERAGE)	EXISTING SF	PROPOSED SF
Existing Two-Story Residence	2,478	2,478
Existing Shed	120	120
Existing Wood Deck (> 30" above grade)	220	220
Existing Accessory Building	980	975
<b>Total Lot Coverage (SF)</b>	<b>3,798</b>	<b>3,793</b>
<b>Lot Coverage (%)</b>	<b>43.3%</b>	<b>43.2%</b>

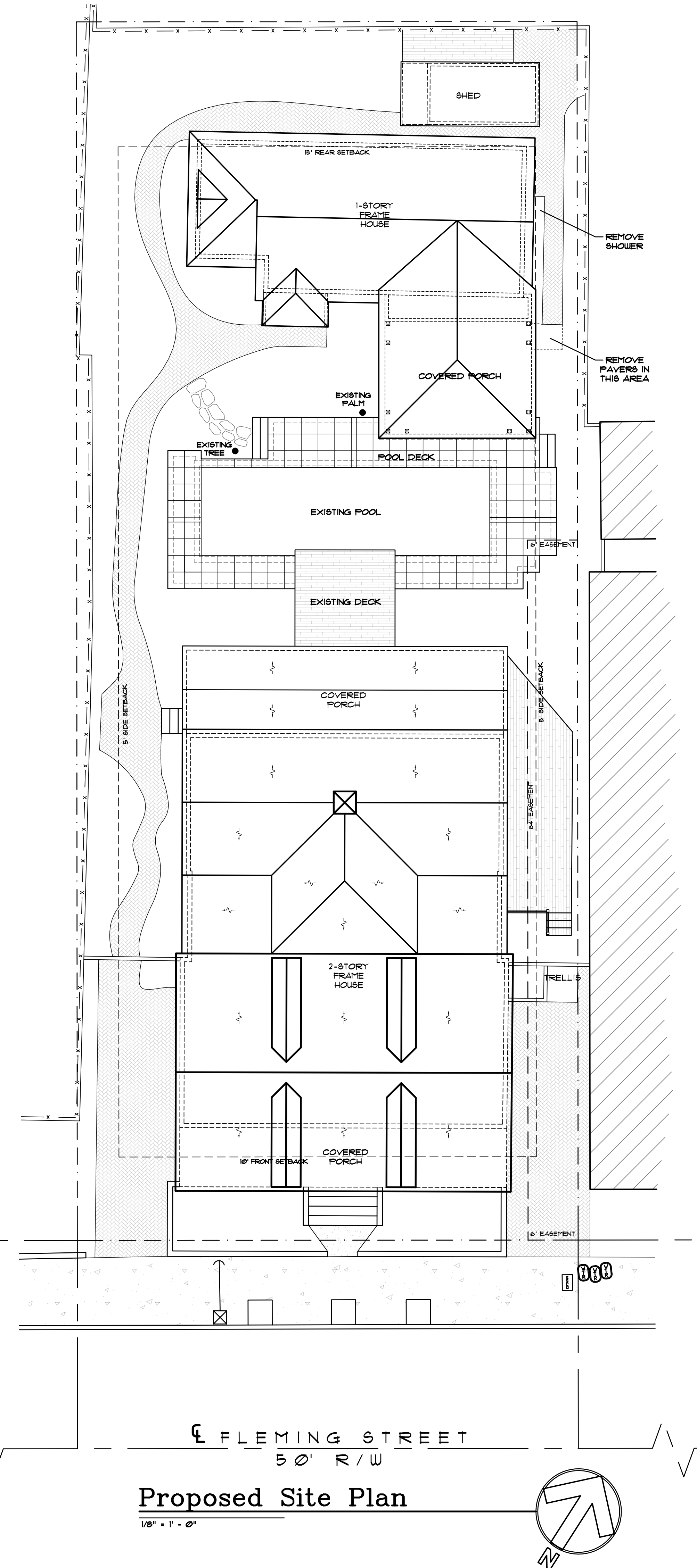
SITE AREAS (IMPERVIOUS AREA)	EXISTING SF	PROPOSED SF
Existing Two-Story Residence	-	-
Existing Shed	-	-
Existing Wood Deck (> 30" above grade)	-	-
Existing Accessory Building	980	975
Steps	43	43
Brck Paving/ Driveway	1,232	1,268
Pool	318	318
Existing Concrete Paver Pool Deck	446	446
Proposed Wood Deck (> 30" above grade)	-	-
<b>Total Impervious Area (SF)</b>	<b>3,059</b>	<b>3,090</b>
<b>Impervious Area (%)</b>	<b>34.8%</b>	<b>35.2%</b>

SITE AREAS (OPEN SPACE)	EXISTING SF	PROPOSED SF
Existing Two-Story Residence	2,478	2,478
Existing Shed	120	120
Existing Wood Deck (> 30" above grade)	220	220
Accessory Building	980	975
Steps	43	43
Brck Paving/ Driveway	1,232	1,268
Pool	368	358
Existing Concrete Paver Pool Deck	474	446
Proposed Wood Deck (> 30" above grade)	145	145
<b>Sub Totals</b>	<b>6,060</b>	<b>6,053</b>
<b>Open Space (SF)</b>	<b>2,720</b>	<b>2,727</b>
<b>Open Space Ratio</b>	<b>0.31</b>	<b>0.31</b>



**Existing Site Plan**

1/8" = 1' - 0"



**Proposed Site Plan**

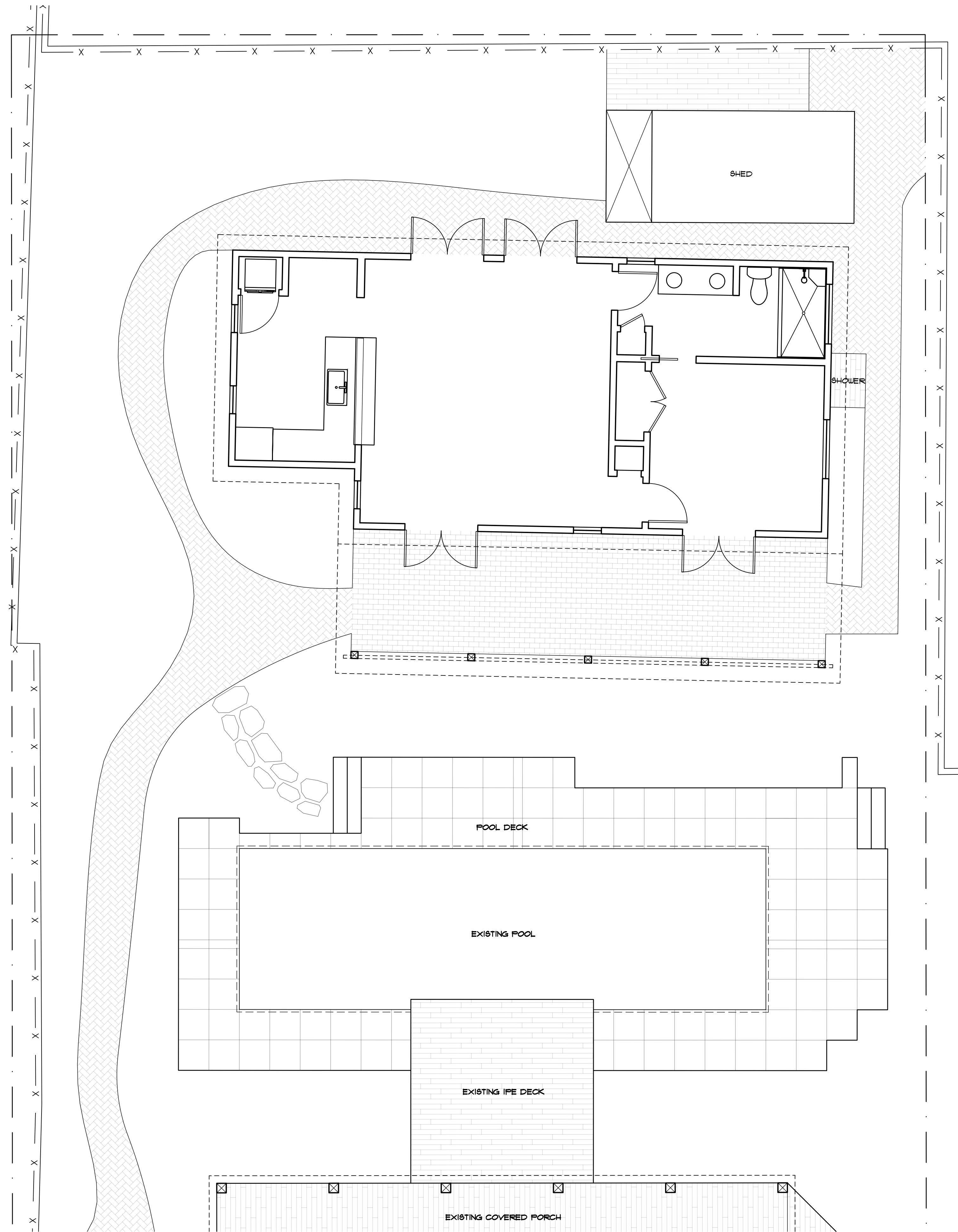
1/8" = 1' - 0"

723 Fleming St Guest House  
 723 Fleming St Key West, FL

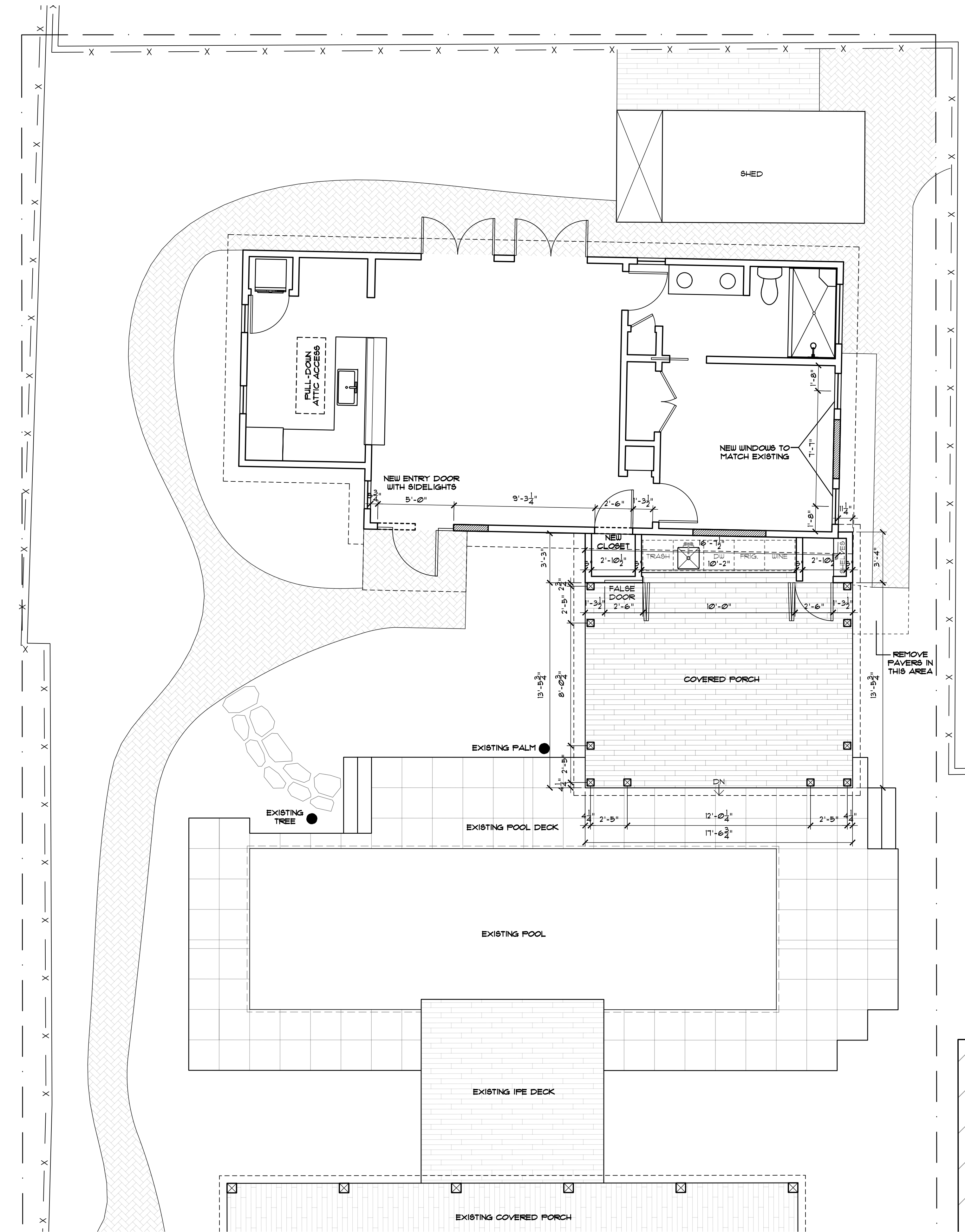
POPE-SCARBROUGH-ARCHITECTS  
 THOMAS E. POPE, P.A.  
 (305) 296 3611 610 White St, Key West FL

date: 04/24/23  
 revision:

sheet:  
**A0.1**



**Existing Plan**  
1/4" = 1' - 0"



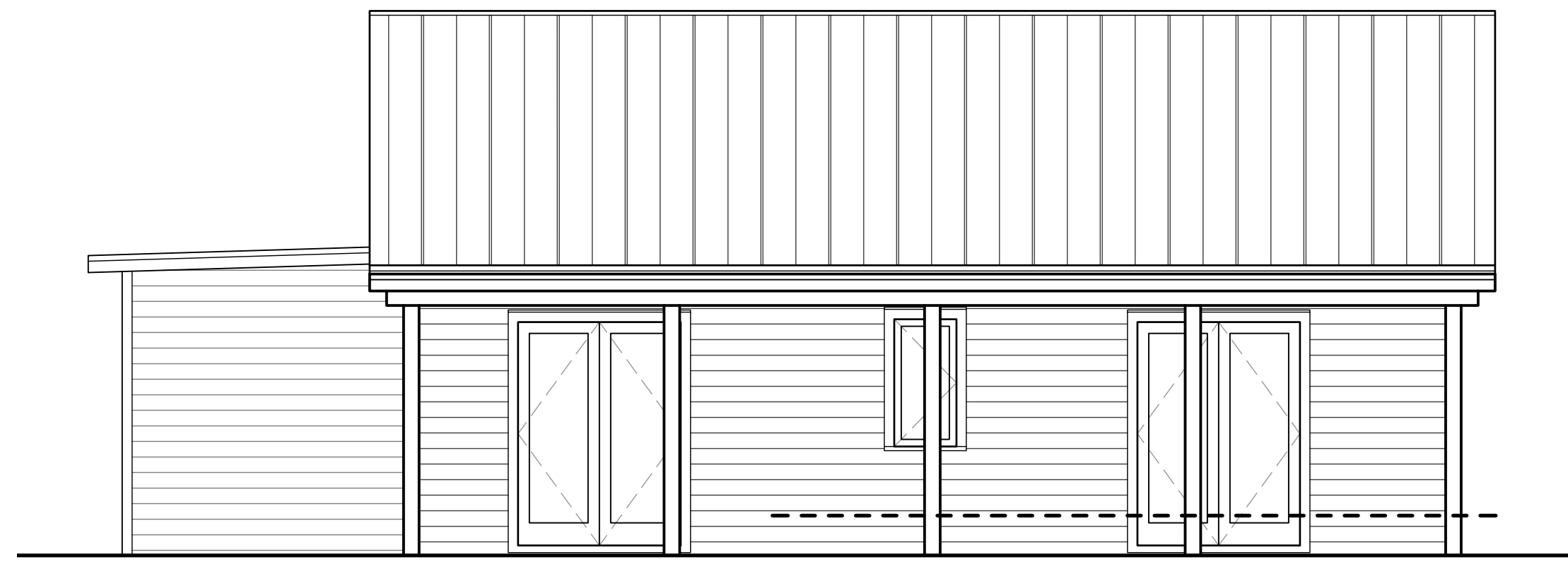
**Proposed Plan**  
1/4" = 1' - 0"

723 Fleming St Guest House  
723 Fleming St Key West, FL

POPE-SCARBROUGH-ARCHITECTS  
THOMAS E. POPE, P.A.  
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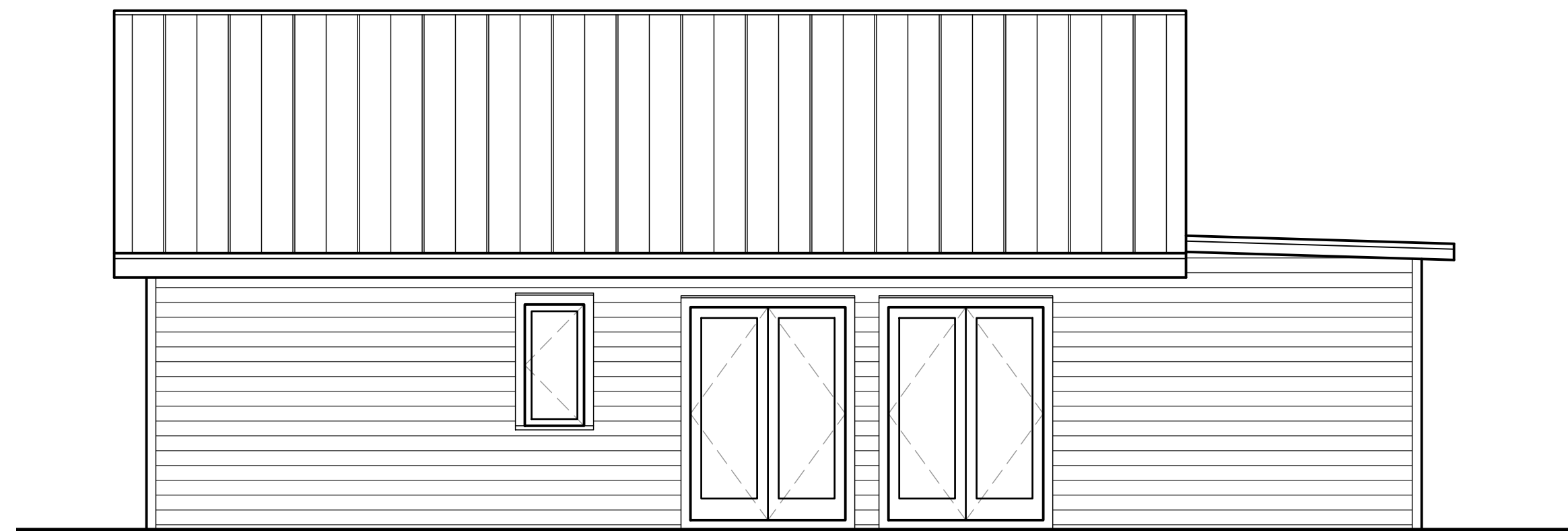
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sheet:  
A1.1



Existing Front Elevation

1/4" = 1' - 0"



Existing Rear Elevation

1/4" = 1' - 0"



Existing Side Elevation

1/4" = 1' - 0"



Existing Side Elevation

1/4" = 1' - 0"



723 Fleming St Guest House  
723 Fleming St Key West, FL

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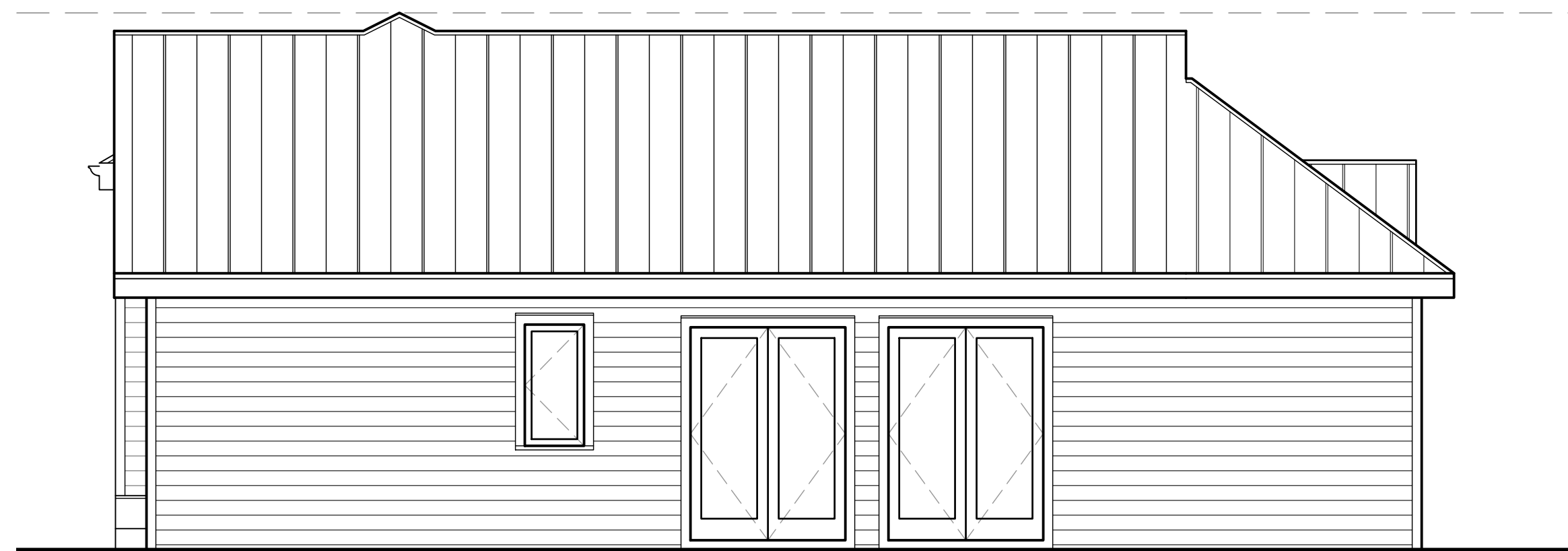
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04/10/23  
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**Proposed Front Elevation**

1/4" = 1' - 0"



**Proposed Rear Elevation**

1/4" = 1' - 0"



**Proposed Side Elevation**

1/4" = 1' - 0"



**Proposed Side Elevation**

1/4" = 1' - 0"



723 Fleming St Guest House  
723 Fleming St Key West, FL

POPE-SCARBROUGH-ARCHITECTS  
THOMAS E. POPE, P.A.  
(305) 296 3611 610 White St, Key West FL

date:  
04/10/23  
revision:

sheet:  
A2.2

# NOTICING

# PROPERTY APPRAISER INFORMATION



**Disclaimer**

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

**Summary**

Parcel ID 00005990-000000  
 Account# 1006211  
 Property ID 1006211  
 Millage Group 10KW  
 Location 723 FLEMING St, KEY WEST  
 Address  
 Legal KW PT LOT 1 SQR 35 OR196-340/45 OR947-2283 OR1090-2185 OR1093-1511/12  
 Description OR1523-892/94 OR1862-2139 OR2942-0296 OR3106-2418  
 (Note: Not to be used on legal documents.)  
 Neighborhood 6108  
 Property Class SINGLE FAMILY RESID (0100)  
 Subdivision  
 Sec/Twp/Rng 06/68/25  
 Affordable No  
 Housing



**Owner**

BLOUNT THOMAS A REVOCABLE TRUST 2002  
 PO Box 344  
 Clay AL 35048

**Valuation**

	2022 Certified Values	2021 Certified Values	2020 Certified Values	2019 Certified Values
+ Market Improvement Value	\$1,627,819	\$1,573,029	\$1,439,154	\$1,453,874
+ Market Misc Value	\$40,167	\$41,685	\$43,205	\$44,792
+ Market Land Value	\$1,369,626	\$1,013,006	\$1,005,254	\$1,059,522
= Just Market Value	\$3,037,612	\$2,627,720	\$2,487,613	\$2,558,188
= Total Assessed Value	\$2,537,612	\$2,522,439	\$2,487,613	\$2,558,188
- School Exempt Value	(\$25,000)	(\$25,000)	(\$25,000)	(\$25,000)
= School Taxable Value	\$2,512,612	\$2,497,439	\$2,462,613	\$2,533,188

**Historical Assessments**

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2021	\$1,013,006	\$1,573,029	\$41,685	\$2,627,720	\$2,522,439	\$25,000	\$2,497,439	\$105,281
2020	\$1,005,254	\$1,439,154	\$43,205	\$2,487,613	\$2,487,613	\$25,000	\$2,462,613	\$0
2019	\$1,059,522	\$1,453,874	\$44,792	\$2,558,188	\$2,558,188	\$25,000	\$2,533,188	\$0
2018	\$932,896	\$796,188	\$39,957	\$1,769,041	\$1,452,774	\$25,000	\$1,427,774	\$316,267

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

**Land**

Land Use	Number of Units	Unit Type	Frontage	Depth
RES SUPERIOR DRY (01SD)	8,760.00	Square Foot	60	146

**Buildings**

Building ID	385	Exterior Walls	CUSTOM
Style	2 STORY ELEV FOUNDATION	Year Built	1933
Building Type	S.F.R. - R1 / R1	EffectiveYearBuilt	2018
Gross Sq Ft	3475	Foundation	CONC BLOCK
Finished Sq Ft	2832	Roof Type	GABLE/HIP
Stories	2 Floor	Roof Coverage	METAL
Condition	EXCELLENT	Flooring Type	SFT/HD WD
Perimeter	304	Heating Type	FCD/AIR DUCTED
Functional Obs	0	Bedrooms	4
Economic Obs	0	Full Bathrooms	1

Depreciation % 3  
 Interior Walls WALL BD/WD WAL  
 Half Bathrooms 2  
 Grade 700  
 Number of Fire Pl 0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	643	0	186
FLA	FLOOR LIV AREA	2,832	2,832	436
TOTAL		3,475	2,832	622

Building ID 386  
 Style 1 STORY ELEV FOUNDATION  
 Building Type S.F.R. - R1 / R1  
 Gross Sq Ft 1535  
 Finished Sq Ft 774  
 Stories 1 Floor  
 Condition AVERAGE  
 Perimeter 142  
 Functional Obs 0  
 Economic Obs 0  
 Depreciation % 3  
 Interior Walls DRYWALL  
 Exterior Walls CUSTOM  
 Year Built 1985  
 EffectiveYearBuilt 2018  
 Foundation WD CONC PADS  
 Roof Type GABLE/HIP  
 Roof Coverage METAL  
 Flooring Type CERM/CLAY TILE  
 Heating Type FCD/AIR DUCTED  
 Bedrooms 1  
 Full Bathrooms 1  
 Half Bathrooms 0  
 Grade 500  
 Number of Fire Pl 0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	310	0	82
FLA	FLOOR LIV AREA	774	774	184
OPU	OP PR UNFIN LL	81	0	60
OPF	OP PRCH FIN LL	24	0	22
PTO	PATIO	346	0	206
TOTAL		1,535	774	554

### Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
TIKI	2002	2003	4 x 4	1	16 SF	2
BRICK PATIO	2002	2003	9 x 34	1	306 SF	2
FENCES	1932	1933	4 x 54	1	216 SF	5
BRICK PATIO	2002	2003	5 x 61	1	305 SF	2
FENCES	2002	2003	8 x 60	1	480 SF	2
FENCES	2004	2005	6 x 60	1	360 SF	4
WOOD DECK	2004	2005	0 x 0	1	713 SF	4
RES POOL	2000	2001	11 x 35	1	385 SF	4

### Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
6/17/2021	\$3,725,000	Warranty Deed	2326249	3106	2418	O1 - Qualified	Improved		
12/18/2018	\$3,050,000	Warranty Deed	2199722	2942	0296	O1 - Qualified	Improved		
3/3/2003	\$1,775,000	Warranty Deed		1862	2139	Q - Qualified	Improved		
6/1/1998	\$350,000	Warranty Deed		1523	0892	O - Unqualified	Improved		
5/1/1989	\$180,000	Warranty Deed		1093	1511	Q - Qualified	Improved		

### Permits

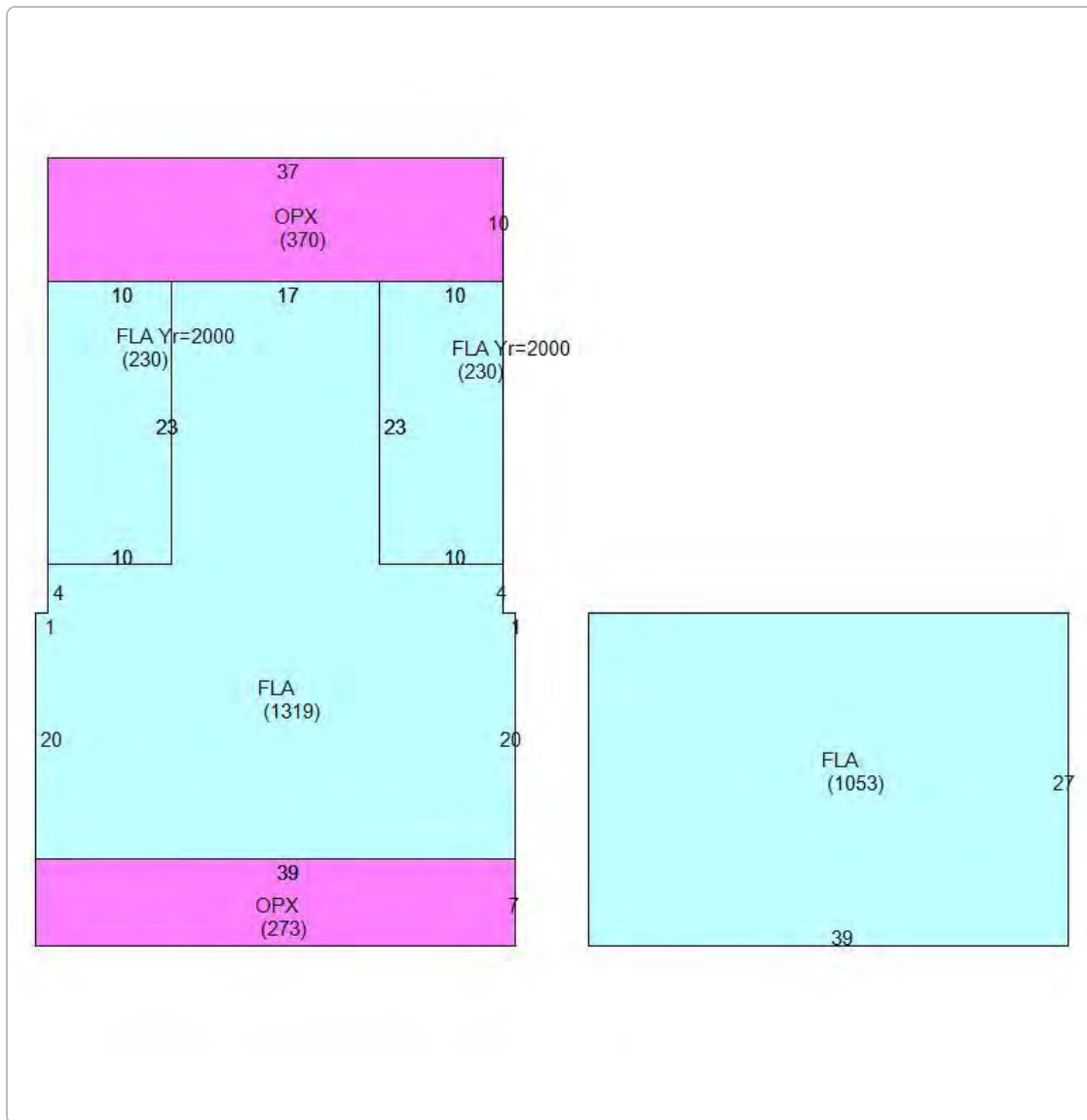
Number	Date Issued	Date Completed	Amount	Permit Type	Notes
22-3355	11/21/2022		\$8,500	Residential	Remove existing V Crimp panels, Install 3 new Velux skylights, Reinstall V Crimp panels & flashings
22-2924	11/2/2022		\$8,500	Residential	Remove existing V Crimp panels, Install 3 new Velux skylights, Reinstall V Crimp panels & flashings
22-2988	11/2/2022		\$9,900	Residential	Renovation, relocate existing W/C. *
22-2442	10/3/2022		\$2,500	Residential	Relocate 2 light switches, Relocate three receptacles, Relocate four can lights and add two can lights
22-0345	5/9/2022		\$90,000	Residential	reframe rear porch roof, frame roof over side deck, reframe deck and topping, 9 new foundation piers for rear porch roof, replace 3 doors and 2 windows. plum, elec, roof, mech done by others
22-0346	5/9/2022		\$45,000	Residential	demo & frame 80 sf of interior wall. install 1280 sf of interior wall finish. refinish floor. plum, mech, elec, done by others.
13-1178	4/4/2013	4/4/2013	\$7,886	Residential	CHANGE OUT A FIVE (5) TON PACKAGE A.C. USING EXISTING ELECTRICAL.
09-2275	8/7/2009	10/25/2010	\$6,800	Residential	REWIRE ADDITION AND RE FEED NEW PANEL
09-2273	8/3/2009	10/25/2010	\$50,000	Residential	INTERIOR RENOVATION ONLY. RENOVATE&REMODEL INTERIOR OF STRUCTURE 620sf
09-2277	8/3/2009	10/25/2010	\$6,000	Residential	PLUMBING RENOVATION-INSTALL 1 TOILET,2 LAVS, 1 SHOWER,1 LAUNDRY WASHER,1KTICHEN SINK, 1 D/W, 1 W/H
09-2350	8/3/2009	10/25/2010	\$3,645	Residential	REPLACE A 2 TON SPLIT SYSTEM WITH SAME. REPLACE DUCTWORK
09-0975	4/3/2009	10/25/2010	\$2,300	Residential	APPLY 5/8"PT SHEATHING TO OUTSIDE OF EXISTING BLD & NEW HARDI PLANK SIDING
09-0863	3/27/2009	10/25/2010	\$30,000	Residential	REMOVE EXISTING DOORS & WINDOWS REPLACE WITH IMPACT RESISTANT DOORS & WINDOWS IN REAR COTTAGE ONLY-DEMO INTERIOR PARTITIONS AS PER PLANS AND HARC
09-0453	2/20/2009	10/25/2010	\$2,000	Residential	INSTALL LANDSCAPE IRRIGATION TIMER PLUGGED INTO EXISTING OUTLET
09-0498	2/20/2009	10/25/2010	\$1,500	Residential	INSTALL 1" BACKFLOW PREVENTOR ADN ONE DEDUCT METER

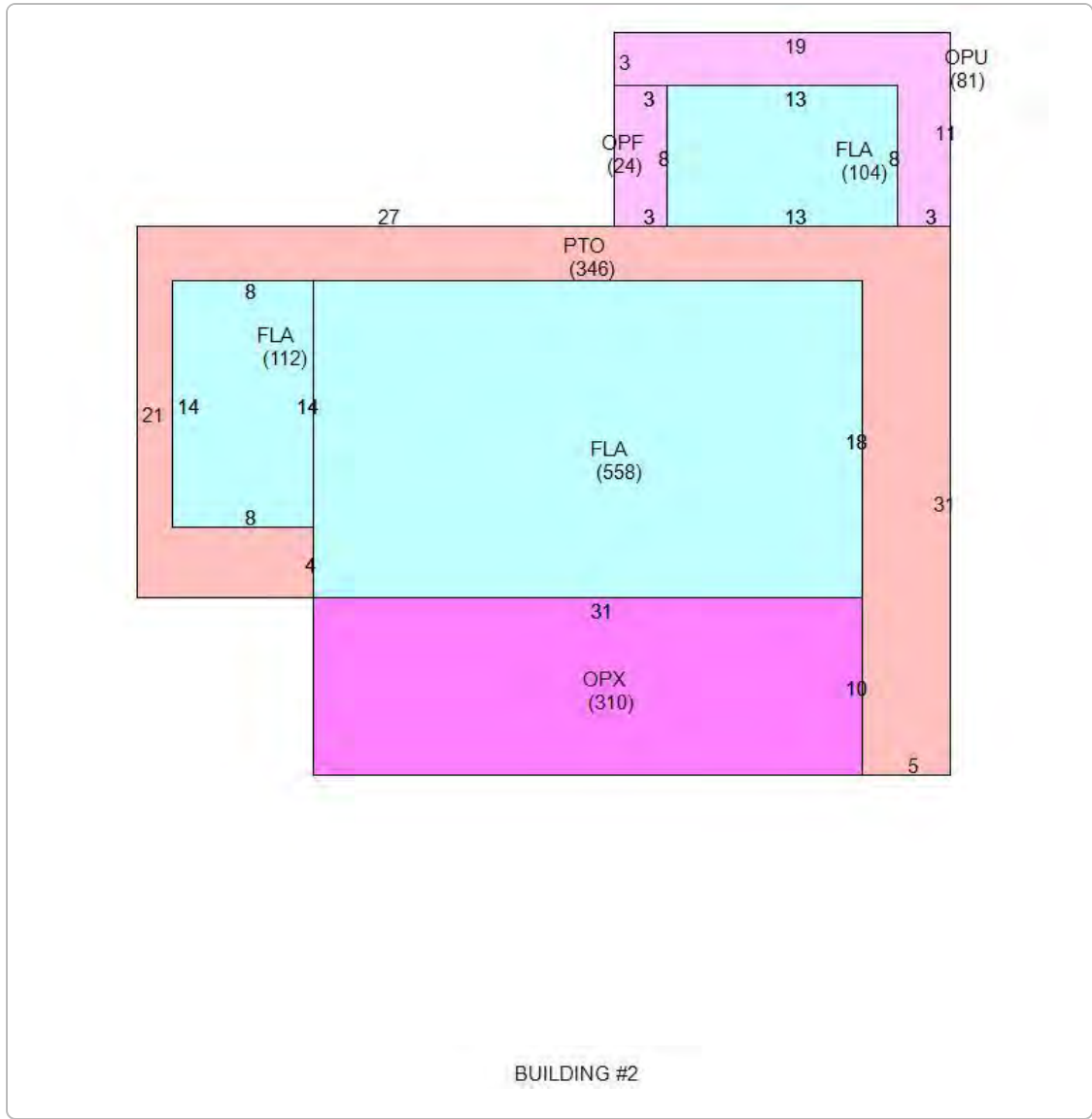
Number	Date Issued	Date Completed	Amount	Permit Type	Notes
07-4143	8/30/2007	2/29/2008	\$2,400	Residential	REPLACE EXISTING 2-GANG METER CAN
07-4145	8/30/2007	2/29/2008	\$1,400	Residential	RUN CIRCUIT FOR 2.5 TON A/C
07-3688	7/30/2007	7/30/2007	\$5,800	Residential	INSTALL ONE A.C. SYSTEM-ROOFTOP INSTALLATION
05-2630	6/29/2005	10/4/2005	\$700	Residential	REPLACE TRIM & T&G 25LF & PAINT
03-2923	8/26/2003	11/24/2003	\$3,000	Residential	REPLACE PICKET FENCE W/CONCRETE
03-2498	7/30/2003	11/24/2003	\$3,210	Residential	INSTALL A/C
02-2922	10/28/2002	10/28/2002	\$2,000	Residential	PAVERS(ATF)
02-1530	6/13/2002	8/21/2002	\$13,940	Residential	NEW ROOF
01-3851	12/7/2001	8/21/2002	\$1,000	Residential	TRASH CAN ENCLOSURE
98-3448	2/5/1999	7/19/2000	\$103,500	Residential	RENOVATIONS/ADDITION/C-AC
98-3983	12/18/1998	7/19/2000	\$500	Residential	TEMPORARY SERVICE
98-3837	12/10/1998	7/19/2000	\$3,000	Residential	INTERIOR DEMO
98-1714	6/15/1998	7/19/2000	\$1,000	Residential	MODIFY SHED SETBACKS
96-1975	5/1/1996	11/1/1996	\$1,400	Residential	RENOVATIONS

**View Tax Info**

[View Taxes for this Parcel](#)

**Sketches (click to enlarge)**

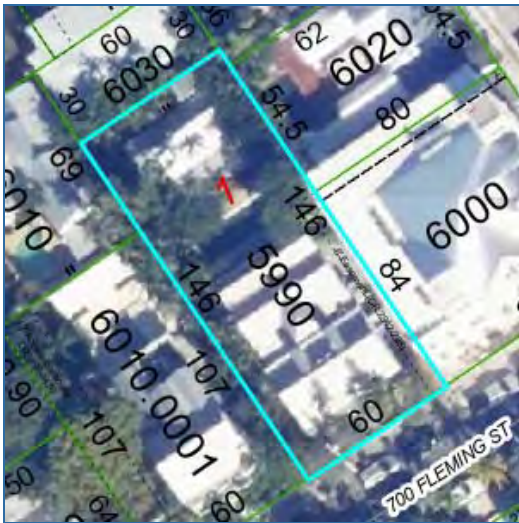




**Photos**



## Map



## TRIM Notice

[2022 TRIM Notice \(PDF\)](#)

### 2022 Notices Only

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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