

APPLICATION



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KEY WEST, FLORIDA 33040

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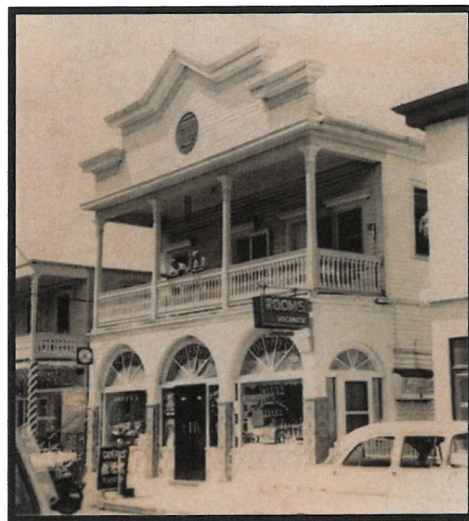
OF COUNSEL:

JOHN M. SPOTTSWOOD (1920 – 1975)

October 28, 2024

**VIA ELECTRONIC MAIL AND
HAND DELIVERY**

Katie Halloran, Planning Director
City of Key West Planning Department
1300 White Street
Key West, Florida 33040



Re: Application for Minor Development Plan
218 Duval “Backyard”, Key West, FL 33040
RE# 00001400-000000

Ms. Halloran:

Please allow this letter and supporting documentation to serve as RAMLO Development Corporation (“Applicant”) application for Minor Development Plan at 218 Duval Street, Key West, Florida 33040 (the “Property”).

Solutions Statement:

The Minor Development Plan application submitted for review and approval is for the rear of the Property located at 218 Duval Street, within the Historic Residential Commercial Core District (HRCC-1). The proposal is to recognize the previously existing outside bar area and include outdoor restaurant seating. Pursuant to Section 108-91.A.1(c) of the Land Development Regulations (“LDRs”) of the Code of Ordinances (the “Code”) of the City, a Minor Development Plan review is required if there is commercial land use: addition of outdoor commercial activity consisting of restaurant seating, outdoor commercial storage, active recreation, outdoor sales area or similar activities of 500 to 2,499 square feet. The proposal to add food service to the existing rear yard consumption area is what triggers the minor development plan application.

Existing Conditions

The historic 1920's building has been a tavern/bar and restaurant for decades. Historically and most popularly known as Delmonico's, the business also provided rooms on the second floor as late as the 1960s. Over the years, the businesses have changed names, but the use has remained the same. In the 1970s-80s, the 1600 sq. ft. rear outside bar area, known as the Hideaway, was part of this entertainment complex. In 2003, a demolition permit was obtained to demolish the 1,600 sq. ft. rear bar structure and deck with provisions to allow for new construction on the same footprint. Today the Property continues to be used as a bar and adult entertainment.

Proposed Conditions

The proposed outdoor space will bring back the previous exterior bar use and relocate interior consumption area to the outside. Exterior construction will include a bar housed under a pavilion, a new fence and pavers. A food truck will also be located within the space and include patio dining.

Parking

Currently there are no off-street parking spaces associated with this Property. Per code Sec. 108-573, Special Provisions Within the Historic Commercial Pedestrian-oriented Area, no off-street parking is required due to the exchange of bar/lounge use to restaurant. Additionally, no new nonresidential floor area is being created or expanded.

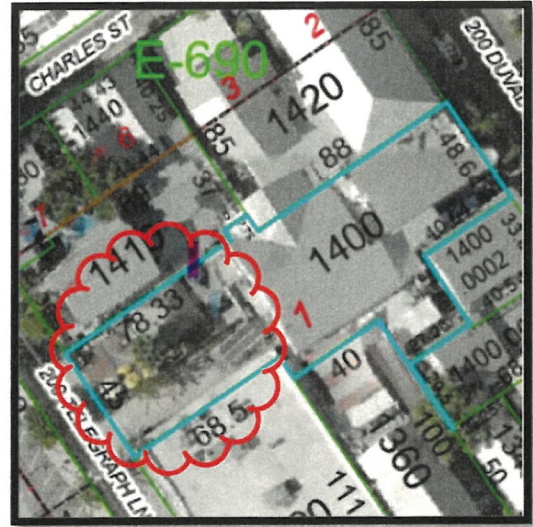
Sec. 108-228. Key Persons

Name of development:	218 Backyard
Name of Owner:	RAMLO Development Corp
Owner's authorized agent:	Spottswood, Spottswood, Spottswood & Sterling
Engineer:	Lakewood Engineering
Architect:	NA

Sec. 108-229. Project Description.

Zoning:	Historic Residential Commercial Core (HRCC-1)
Site Dimensions:	See site data table below and architectural drawings.
Building size:	See site data table below and architectural drawings.
Site conditions:	See site data table.

The Property is located within the HRCC-1 zoning district. The intent of the HRCC-1 Duval Street gulf side district incorporates the city's intensely vibrant tourist commercial entertainment center which is characterized by specialty shops, sidewalk-oriented restaurants, lounges and bars with inviting live entertainment, and transient residential accommodations. The core of the commercial entertainment center spans generally from the Pier House south to Petronia Street as specifically referenced on the official zoning map. This segment of Duval Street is the most intense activity center in the historic commercial core.



Not applicable

Not applicable.

Project Data Summary				
Dimensional Requirement	Required/ Allowed	Existing	Proposed	Variance Required?
Zoning District	HRCC-1			
Flood Zones	AE6			
Minimum Lot Size	4,000 SF	9,191 SF	No Change	No
Minimum Lot Width	40 FT	84 FT	No Change	No
Minimum Lot Depth	100 FT	176 FT	No Change	No
Maximum Floor Area Ratio	1.0 (9,191 SF)	12,312 SF	No Change	No
Maximum Density	22 du/acre	0	No Change	No
Maximum Height	35'-0"	33'-3"	(pavilion) 14'-0"	No
Maximum Building Coverage	50% (4,595.5 SF)	85% (6,238 SF + 1600 pervious Hideaway Bar) = 7,838 SF	74.5% (6,238 SF + pavilion + food truck) = 6,847 SF	Improvement
Maximum Impervious Surface	70% (6,433.7 SF)	100% (9,191 SF)	69.3% (6,371 SF)	No

Project Data Summary				
Dimensional Requirement	Required/ Allowed	Existing	Proposed	Variance Required?
Minimum Open Space Ratio	20% (1,838.2 SF)	0%	13.9 (1,217 SF)	Improvement
Minimum Setback				
Front	None	NA	No change	No
Side	2'-6"	0'-0"	No change	No
Side	2'-6"	0'-6" over	No change	No
Street Side	None	NA	NA	No
Rear	10'-0"	10'-0"	No change	No
Off-Street Parking	1 sp/45 SF consumption area	0	No change	No

Please don't hesitate to contact me if you have any questions or concerns. Thank you in advance for your assistance.

Best regards,



Richard J. McChesney



DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION CITY OF KEY WEST, FLORIDA • PLANNING DEPARTMENT

Address: 1300 White Street • Key West, Florida 33040

Phone: 305-809-3764

Website: www.cityofkeywest-fl.gov

Fees listed below include a \$358.87 advertising/noticing fee and a \$127.63 fire review fee where applicable. Any Major or Minor Development Plan returned to the Planning Board after initial approval will require a new application fee equivalent to one-half of the current fee schedule

Development Plan and Conditional Use application fee schedule

Development Plan	
Minor Development Plan	
Within Historic District Total Application Fee	\$ 3,932.46
Outside Historic District Total Application Fee	\$ 3,166.69
Conditional Use Total Application Fee	\$ 1,403.91
Extension Total Application Fee	\$ 1,124.64
Major Development Plan Total Application Fee	\$ 5,208.74
Conditional Use Total Application Fee	\$ 1,403.91
Extension Total Application Fee	\$ 1,124.64
Administrative Modification Fee	\$ 926.10
Minor Modification Fee	\$ 1,765.38
Major Modification Fee	\$ 2,981.18
Conditional Use (not part of a development plan) Total Application Fee	\$ 3,677.20
Extension (not part of a development plan) Total Application Fee	\$ 1,124.64
Revision or Addition (not part of a development plan) Fee	\$ 2,801.75

Applications will not be accepted unless complete

Development Plan

Major _____

Minor ☒ _____

Conditional Use

Historic District

Yes ☒ _____

No _____

Please print or type:

- 1) Site Address: 218 Duval Street
- 2) Name of Applicant: RAMLO Development Corp
- 3) Applicant is:
Property Owner: _____
Authorized Representative: ☒ _____
(attached Authorization and Verification Forms must be completed)
- 4) Address of Applicant: 500 Fleming Street, Key West, FL 33040
- 5) Applicant's Phone #: 305-294-9556 Email: Richard@spottswoodlaw.com
- 6) Email Address: _____
- 7) Name of Owner, if different than above: RAMLO Development Corp
- 8) Address of Owner: PO Box 1736, Key West, FL 33040

9) Owner Phone #: _____ Email: _____

10) Zoning District of Parcel: HRCC-1 RE# 00001400-000000

11) Is Subject Property located within the Historic District? Yes X No _____

If Yes: Date of approval _____

HARC approval # _____

OR: Date of meeting _____

12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).

Recognition of consumption area at rear of property. Rebuilding of demolished bar area which consists of a pavilion over a concrete slab for bar and restaurant use.

13) Has subject Property received any variance(s)? Yes _____ No _____

If Yes: Date of approval _____ Resolution # _____

Attach resolution(s).

14) Are there any easements, deed restrictions or other encumbrances on the subject property?

Yes _____ No _____

If Yes, describe and attach relevant documents.

A. For both *Conditional Uses* and *Development Plans*, provide the information requested from the attached **Conditional Use and Development Plan** sheet.

B. For *Conditional Uses* only, also include the **Conditional Use Criteria** required under Chapter 122, Article III, Sections 122-61 and 122-62 of the Land Development Regulations (see attached copy of criteria).

C. For *Major Development Plans* only, also provide the **Development Plan Submission Materials** required under Chapter 108, Article II, Division 7, Sections 108-226 through 108-248 of the Land Development Regulations (see attached copy of criteria) and any additional information as determined by the Planning Staff.

D. For both *Conditional Uses* and *Development Plans*, one set of plans **MUST** be signed & sealed by an Engineer or Architect.

Please note, development plan and conditional use approvals are quasi-judicial hearings, and it is improper to speak to a Planning Board member or City Commissioner about the project outside of the hearing.

Required Plans and Related Materials for both a Conditional Use and Minor/Major Development Plan

I. Existing Conditions.

- A) Recent Survey of the site by a licensed Surveyor (Survey must be within 10 years from submittal date of this application) showing all dimensions including distances from property lines, and including:
- 1) Size of site;
 - 2) Buildings, structures, and parking;
 - 3) FEMA Flood Zone;
 - 4) Topography;
 - 5) Easements; and
 - 6) Location of Utility Lines (sewer, water, electric, cable) adjacent and extending into the site.
- B) Existing size, type and location of trees, hedges, and other features.
- C) Existing stormwater retention areas and drainage flows.
- D) A sketch showing adjacent land uses, buildings, and driveways.

II. Proposed Development: Plans at 11" X 17" (10,000 Sq. ft. or less); 24" X 36" if site is over 10,000 sq. ft.

- A) Site Plan to scale of with north arrow and dimensions by a licensed architect or engineer.
- 1) Buildings
 - 2) Setbacks
 - 3) Parking:
 - a. Number, location and size of automobile and bicycle spaces
 - b. Handicapped spaces
 - c. Curbs or wheel stops around landscaping
 - d. Type of pavement
 - 4) Driveway dimensions and material
 - 5) Location of Utility Lines (sewer, water, electric, cable) adjacent and extending into the site.
 - 6) Location of garbage and recycling
 - 7) Signs
 - 8) Lighting
 - 8) Project Statistics:
 - a. Zoning
 - b. Size of site
 - c. Number of units (or units and Licenses)
 - d. If non-residential, floor area & proposed floor area ratio
 - e. Consumption area of restaurants & bars
 - f. Open space area and open space ratio
 - g. Impermeable surface area and impermeable surface ratio
 - h. Number of automobile and bicycle spaces required and proposed
- B) Building Elevations
- 1) Drawings of all building from every direction. If the project is in the Historic District, please submit HARC approved site plans.
 - 2) Height of building.
 - 3) Finished floor elevations and bottom of first horizontal structure
 - 4) Height of existing and proposed grades
- C) Drainage Plan: Existing & Proposed retention areas and calculations approved by the City Engineer. See one of the attached commercial and residential use Stormwater Retention Forms.
- D) Landscape Plan: Size, type, location and number of plants to be removed, kept, and installed. The plan must be approved by the City Landscape Coordinator through a letter of approval. If the project is a Major Development Plan a landscape design prepared by a licensed Landscape Architect is required per Section 108-511(b) of the Land Development Regulations.

- III. **Solutions Statement.** Aspects of the design that address community issues including but not limited to water pollution from stormwater runoff, potable water conservation, waste disposal, recycling, energy conservation, affordable housing, and impacts on neighbors such as lighting, noise, traffic and parking.

Development Plan Submission Materials

Sec. 108-226. Scope.

A development plan, for the purposes of this division, shall include but not necessarily be limited to the requirements in this division. With the exception of sections 108-227 through 108-229, the city planner may waive or modify requirements, information and specific performance criteria for development plan review after rendering a finding in writing that such requirements:

- (1) Are not necessary prior to development plan approval in order to protect the public interest or adjacent properties.
- (2) Bear no relationship to the proposed project or its impacts; and
- (3) Are found to be impractical based on the characteristics of the use, including the proposed scale, density/intensity, and anticipated impacts on the environment, public facilities and adjacent land uses.

Sec. 108-227. Title block.

The development plan shall contain the following pertaining to the title block:

- (1) Name of development.
- (2) Name of owner/developer.
- (3) Scale.
- (4) North arrow.
- (5) Preparation and revision date.
- (6) Location/street address of development.

Sec. 108-228. Identification of key persons.

The development plan shall contain the following pertaining to identification of key persons:

- (1) Owner.
- (2) Owner's authorized agent.
- (3) Engineer and architect.
- (4) Surveyor.
- (5) Landscape architect and/or environmental consultant.
- (6) Others involved in the application.
- (7) A verified statement showing each and every individual person having a legal and/or equitable ownership interest in the subject property, except publicly held corporations whose stock is traded on a nationally recognized stock exchange, in which case the names and addresses of the corporation and principal executive officers together with any majority stockholders will be sufficient.

Sec. 108-229. Project description.

Project description should be included on the site plan sheet. The development plan shall contain the following pertaining to the project description:

- (1) Zoning (include any special districts).
- (2) Project site size (acreage and/or square footage).
- (3) Legal description.
- (4) Building size.
- (5) Floor area ratio permitted and proposed.
- (6) Lot coverage permitted and proposed.
- (7) Impervious surface.
- (8) Pervious surface.
- (9) Landscape areas.
- (10) Parking spaces permitted and proposed.
- (11) Delineation of location of existing and proposed structures.
- (12) Existing and proposed development type denoted by land use including density/intensity.
- (13) Setbacks.

Sec. 108-230. Other project information.

A general outline of the proposed development shall include the following criteria where applicable:

- (1) Proposed stages or phases of development or operation and facility utilization.
- (2) Target dates for each phase.
- (3) Expected date of completion.
- (4) Proposed development plan for the site.
- (5) A written description of characteristics of the proposed development (i.e., number and type of residential units; floor area by land use; number of tourist accommodations units; seating or parking capacities; number of hospital beds; any proposed outside facilities or areas to be used for storage, display, outside sales, waste disposal or similar use; and any other proposed uses).
- (6) For planned unit developments, indicate design techniques (i.e., clustering, zero lot line, or other techniques) used to reduce public facility costs, reduce disturbance of natural resources, and preserve scenic quality of the site.
- (7) Buildings and siting specifications which shall be utilized to reduce damage potential and to comply with federal flood insurance regulations.
- (8) Protection against encroachment together with proposed mitigation measures to be employed within environmentally sensitive areas.

Sec. 108-231. Residential developments.

- (a) If the development includes residential units, the following characteristics shall be discussed in the written description:
 - (1) A breakdown of the proposed residential units by number of bedrooms.
 - (2) Tenure (i.e., owner-occupied or rental); and
 - (3) Structure type, such as single-family, duplex, multiple-family, mobile home.
- (b) Refer to division 10 of article V of chapter 122 for information and legal instruments needed to satisfy the city's affordable housing requirements.

Sec. 108-232. Intergovernmental coordination.

The development plan shall contain the following pertaining to intergovernmental coordination:

- (1) Provide proof of coordination with applicable local, regional, state and federal agencies, including but not limited to the following agencies that will be involved in the project:
 - a. South Florida Regional Planning Council (SFRPC).
 - b. City electric system (CES).
 - c. State department of environmental protection (DEP).
 - d. Army Corps of Engineers (ACOE).
 - e. South Florida Water Management District (SFWMD).
 - f. State department of transportation (DOT).
 - g. State department of community affairs (DCA).
 - h. Florida Keys Aqueduct Authority (FKAA).
 - i. State fish and wildlife conservation commission (F&GC).
 - j. The county.
- (2) Provide evidence that any necessary permit, lease or other permission from applicable local, regional, state and federal agencies has been obtained for any activity that will impact wetland communities or submerged land.
- (3) When intergovernmental coordination efforts are incomplete, the applicant shall provide evidence of good faith efforts towards resolving intergovernmental coordination issues.

CONDITIONAL USE CRITERIA

Sec. 122-61. Purpose and intent

The purpose of this article is to ensure that a conditional use shall only be permitted on specific sites where the proposed use may be adequately accommodated without generating adverse impacts on properties and land uses within the immediate vicinity. This article sets forth provisions and criteria for consideration of conditional uses on specific sites. Conditional uses shall be permitted only upon a finding that the proposed use satisfies this article.

Sec. 122-62. Specific criteria for approval.

- (a) Findings. A conditional use shall be permitted upon a finding by the planning board that the proposed use, application and, if applicable, development plan complies with the criteria specified in this section, including specific conditions established by the planning board and or the city commission during review of the respective application in order to ensure compliance with the comprehensive plan and land development regulations. If the proposed conditional use is a major development pursuant to sections 108-165 and 108-166, the city commission shall render the final determination pursuant to section 122-63. A conditional use shall be denied if the city determines that the proposed use does not meet the criteria provided in this section and, further, that the proposed conditional use is adverse to the public's interest. An application for a conditional use shall describe how the specific land use characteristics proposed meet the criteria described in subsection (c) of this section and shall include a description of any measures proposed to mitigate against possible adverse impacts of the proposed conditional use on properties in the immediate vicinity.
- (b) Characteristics of use described. The following characteristics of a proposed conditional use shall be clearly described as part of the conditional use application:
- (1) Scale and intensity of the proposed conditional use as measured by the following:
 - a. Floor area ratio;
 - b. Traffic generation;
 - c. Square feet of enclosed building for each specific use;
 - d. Proposed employment;
 - e. Proposed number and type of service vehicles; and
 - f. Off-street parking needs.
 - (2) On- or off-site improvement needs generated by the proposed conditional use and not identified on the list in subsection (b)(1) of this section including the following:
 - a. Utilities;
 - b. Public facilities, especially any improvements required to ensure compliance with concurrency management as provided in chapter 94;
 - c. Roadway or signalization improvements, or other similar improvements;
 - d. Accessory structures or facilities; and
 - e. Other unique facilities/structures proposed as part of site improvements.
 - (3) On-site amenities proposed to enhance site and planned improvements. Amenities including mitigative techniques such as:
 - a. Open space;
 - b. Setbacks from adjacent properties;
 - c. Screening and buffers;
 - d. Landscaped berms proposed to mitigate against adverse impacts to adjacent sites; and
 - e. Mitigative techniques for abating smoke, odor, noise, and other noxious impacts
- (c) Criteria for conditional use review and approval. Applications for a conditional use shall clearly demonstrate the following:
- (1) Land use compatibility. The applicant shall demonstrate that the conditional use, including its proposed scale and intensity, traffic-generating characteristics, and off-site impacts are compatible and harmonious with adjacent land use and will not adversely impact land use activities in the immediate vicinity.
 - (2) Sufficient site size, adequate site specifications, and infrastructure to accommodate the proposed use. The size and shape of the site, the proposed access and internal circulation, and the urban design enhancements must be adequate to accommodate the proposed scale and intensity of the conditional use requested. The site shall be of sufficient size to accommodate urban design amenities such as screening, buffers, landscaping, open space, off-street parking, efficient internal traffic circulation, infrastructure (i.e., refer to chapter 94 to ensure concurrency management requirements are met) and similar site plan improvements needed to mitigate against potential adverse impacts of the proposed use.

- (3) Proper use of mitigative techniques. The applicant shall demonstrate that the conditional use and site plan have been designed to incorporate mitigative techniques needed to prevent adverse impacts to adjacent land uses. In addition, the design scheme shall appropriately address off-site impacts to ensure that land use activities in the immediate vicinity, including community infrastructure, are not burdened with adverse impacts detrimental to the general public health, safety and welfare.
- (4) Hazardous waste. The proposed use shall not generate hazardous waste or require use of hazardous materials in its operation without use of city-approved mitigative techniques designed to prevent any adverse impact to the general health, safety and welfare. The plan shall provide for appropriate identification of hazardous waste and hazardous material and shall regulate its use, storage and transfer consistent with best management principles and practices. No use which generates hazardous waste or uses hazardous materials shall be located in the city unless the specific location is consistent with the comprehensive plan and land development regulations and does not adversely impact wellfields, aquifer recharge areas, or other conservation resources.
- (5) Compliance with applicable laws and ordinances. A conditional use application shall demonstrate compliance with all applicable federal, state, county, and city laws and ordinances. Where permits are required from governmental agencies other than the city, these permits shall be obtained as a condition of approval. The city may affix other conditions to any approval of a conditional use in order to protect the public health, safety, and welfare.
- (6) Additional criteria applicable to specific land uses. Applicants for conditional use approval shall demonstrate that the proposed conditional use satisfies the following specific criteria designed to ensure against potential adverse impacts which may be associated with the proposed land use:
- a. Land uses within a conservation area. Land uses in conservation areas shall be reviewed with emphasis on compliance with section 108-1 and articles III, IV, V, VII and VIII of chapter 110 pertaining to environmental protection, especially compliance with criteria, including land use compatibility and mitigative measures related to wetland preservation, coastal resource impact analysis and shoreline protection, protection of marine life and fisheries, protection of flora and fauna, and floodplain protection. The size, scale and design of structures located within a conservation area shall be restricted in order to prevent and/or minimize adverse impacts on natural resources. Similarly, public uses should only be approved within a wetland or coastal high hazard area V zone when alternative upland locations are not feasible on an upland site outside the V zone.
 - b. Residential development. Residential development proposed as a conditional use shall be reviewed for land use compatibility based on compliance with divisions 2 through 14 of article IV and divisions 2 and 3 of article V of this chapter pertaining to zoning district regulations, including size and dimension regulations impacting setbacks, lot coverage, height, mass of building, building coverage, and open space criteria. Land use compatibility also shall be measured by appearance, design, and land use compatibility criteria established in chapter 102; articles III, IV and V of chapter 108; section 108-956; and article II of chapter 110; especially protection of historic resources; subdivision of land; access, internal circulation, and off-street parking; as well as possible required mitigative measures such as landscaping and site design amenities.
 - c. Commercial or mixed-use development. Commercial or mixed-use development proposed as a conditional use shall be reviewed for land use compatibility based on compliance with divisions 2 through 14 of article IV and divisions 2 and 3 of article V of this chapter pertaining to zoning district regulations, including size and dimension regulations impacting floor area ratio, setbacks, lot coverage, height, mass of buildings, building coverage, and open space criteria. Land use compatibility also shall be measured by appearance, design, and land use compatibility criteria established in chapter 102; articles I, II, IV and V of chapter 108; section 108-956; and article II of chapter 110; especially protection of historic resources; subdivision of land; access, pedestrian access and circulation; internal vehicular circulation together with access and egress to the site, and off-street parking; as well as possible required mitigative measures such as landscaping, buffering, and other site design amenities. Where commercial or mixed-use development is proposed as a conditional use adjacent to U.S. 1, the development shall be required to provide mitigative measures to avoid potential adverse impacts to traffic flow along the U.S. 1 corridor, including but not limited to restrictions on access from and egress to U.S. 1, providing for signalization, acceleration and deceleration lanes, and/or other appropriate mitigative measures.
 - d. Development within or adjacent to historic district. All development proposed as a conditional use within or

adjacent to the historic district shall be reviewed based on applicable criteria stated in this section for residential, commercial, or mixed use development and shall also comply with appearance and design guidelines for historic structures and contributing structures and/or shall be required to provide special mitigative site and structural appearance and design attributes or amenities that reinforce the appearance, historic attributes, and amenities of structures within the historic district.

- e. Public facilities or institutional development. Public facilities or other institutional development proposed as a conditional use shall be reviewed based on land use compatibility and design criteria established for commercial and mixed-use development. In addition, the city shall analyze the proposed site location and design attributes relative to other available sites and the comparative merits of the proposed site, considering professionally accepted principles and standards for the design and location of similar community facilities and public infrastructure. The city shall also consider compliance with relevant comprehensive plan assessments of community facility and infrastructure needs and location impacts relative to service area deficiencies or improvement needs.
- f. Commercial structures uses and related activities within tidal waters. The criteria for commercial structures, uses and related activities within tidal waters are as provided in section 122-1186.
- g. Adult entertainment establishments. The criteria for adult entertainment establishments are as provided in division 12 of article V of this chapter.

AUTHORIZATION & VERIFICATION



**City of Key West
Planning Department**

Authorization Form

(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.


Richard J. McChesney

I, _____ as
Please Print Name of person with authority to execute documents on behalf of entity

Authorized Representative _____ of RAMLO Development Corporation
Name of office (President, Managing Member) *Name of owner from deed*

authorize Spottswood, Spottswood, Spottswood & Sterling, PLLC
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.


Signature of person with authority to execute documents on behalf of entity owner

Subscribed and sworn to (or affirmed) before me on this October 16, 2024
Date

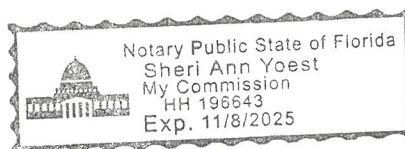
by Richard J. McCherney
Name of person with authority to execute documents on behalf of entity owner

He/She is personally known to me or has presented _____ as identification.

Notary's Signature and Seal

Name of Acknowledger typed, printed or stamped

Commission Number, if any





**City of Key West
Planning Department
Verification Form**
(Where Applicant is an entity)

I, Richard J. McChesney, in my capacity as Member
(print name) (print position; president, managing member)
of Spottswood, Spottswood, Spottswood & Sterling, PLLC
(print name of entity)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

218 Duval Street, Key West, FL

Street address of subject property

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that I am the Authorized Representative of the property involved in this application; that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Signature of Applicant

Subscribed and sworn to (or affirmed) before me on this October 16, 2024 by
date

Richard J. McChesney

Name of Applicant

He/She is personally known to me or has presented _____ as identification.

Notary's Signature and Seal

Name of Acknowledger typed, printed or stamped



Commission Number, if any

PLANS

218 DUVAL ST. - NEW PAVILION, BAR, DECK & PAVERS

SCOPE OF WORK:
- CONSTRUCTION OF WOOD FRAMED PAVILION WITH BAR EQUIPMENT
- INSTALLATION OF PAVERS/CONCRETE (700 SF), WOOD DECK (136 SF) AND ARTIFICIAL TURF
- CONSTRUCTION OF PRIVACY FENCE AND GATES
- INSTALLATION OF MOBILE FOOD TRAILER

PROJECT LOCATION:
218 DUVAL ST.
KEY WEST, FL 33040

LEGAL DESCRIPTION:
KW PT LOT 1 SQR 15 D2-550 G3-130 G4-491
OR672-429

SEC/TW
06/68/25

ZONING:
HRCC1

FLOOD CRITERIA:
FLOOD ZONE - AE-6
BASED UPON N.G.V.D. 1929

SHEET LIST:
CS-1 COVER SHEET & SITE PLAN

- A-1 CURRENT SURVEY
- A-2 DEMO & SITE PLAN
- A-3 EXISTING SURVEY
- A-4 PROPOSED PAVILION ELEVATION
- A-5 BAR LAYOUT
- A-6 FOOD TRUCK PLAN

GENERAL NOTES:
CONTRACTOR TO NOTIFY ENGINEER OF ANY
FIELD CHANGES OR UNFORSEEN CONDITIONS.
ALL WORK TO BE PERFORMED IN ACCORDANCE
WITH APPLICABLE CODES.

GENERAL CONSTRUCTION NOTES

GENERAL REQUIREMENTS

1. PRIOR TO STARTING ANY WORK THE CONTRACTOR SHALL REVIEW THESE PLANS AND SITE CONDITIONS AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
2. QUALITY OF THE WORK SHALL MEET OR EXCEED INDUSTRY STANDARD PRACTICES.
3. ANY DEVIATIONS FROM THESE PLANS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.

DESIGN DATA
 APPLICABLE CODES: FLORIDA BUILDING CODE (2023), ANSI/APSP/ICC-5 2011, NFPA 70 (NEC), ASCE 24-14 FLOOD
 RESISTANT DESIGN AND CONSTRUCTION, ACI 318 LATEST EDITION AND ACI 301, AND ALL REFERENCED STANDARDS.

DESIGN LOADS PER ASCI/SEI 7-16
FLOOR LIVE LOAD 40 PSF
ROOF LIVE LOAD 20 PSF (300 LB CONC.)
BASIC WIND SPEED 180 MPH
EXPOSURE C
STRUCTURAL CAT II

ALL PRESSURES SHOWN ARE BASED ON ASD DESIGN WITH A LOAD FACTOR OF 0.6

SOILS AND FOUNDATIONS

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS ARE USED IN LIEU OF A COMPLETE GEOTECHNICAL EXPLORATION. FOUNDATIONS SHALL BE PLACED ON A "SEDIMENTARY AND FOLIATED ROCK" WITH AN ALLOWABLE LOAD BEARING PRESSURE OF 2,000 PSF. NOTIFY THE ENGINEER IF SOIL CONDITIONS ARE DIFFERENT. ADDITIONALLY

1. ALL FOUNDATIONS, SLABS AND FOOTERS SHALL BE PLACED ON STABILIZED UNDISTURBED SUBGRADE SOIL.
2. MINIMUM FOUNDATION DEPTH SHALL BE 24" UNLESS OTHERWISE SPECIFIED ON THE PLANS. IF OVER-EXCAVATED - FILL SHALL NOT BE PLACED BACK INTO THE TRENCH UNLESS APPROVED BY THE ENGINEER.
3. FILL UNDER THE FOUNDATIONS SHALL BE USED ONLY IF APPROVED BY THE ENGINEER. CLEAN FILL MATERIAL SHALL BE PLACED IN 6" LAYERS AND COMPACTED TO 98% DENSITY USING STANDARD PROCTOR TEST.
4. FILL MATERIAL SHALL BE CLEAN GRANULAR SAND OR LIMEROCK MIX WITHOUT ANY ORGANIC MATERIALS. CLAY, MUCK AND ROCKS LARGER THAN 4" BACKFILL SHALL NOT CONTAIN ANY WOOD OR CELLULOSE DEBRIS.

CONCRETE

1. CONCRETE FOR PILES SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 5000 PSI. WATER/CEMENT RATIO SHALL NOT EXCEED W/C=0.40.
2. ALL CONCRETE ELEMENTS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE IS SHOWN ON THE PLANS.
3. ALL CAST-IN-PLACE CONCRETE SHALL BE CURED AND PROTECTED FROM OVERDRYING PER ACI 308R-09 "HOT WEATHER CONCRETING".
4. ALL EXPOSED EDGES SHALL HAVE 1/2" CHAMFERS.
5. NO COLD JOINTS ARE ALLOWED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
6. TESTING ALL FIELD AND LABORATORY TESTING SHALL BE PERFORMED BY AN INDEPENDENT SPECIALIZED COMPANY. PER ACI AND ASTM REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL SCHEDULING, COORDINATION AND COST OF THE TESTING COMPANY. THE RESULTS SHOULD BE DELIVERED TO THE ENGINEER
7. THREE (3) SAMPLES SHALL BE TAKEN AND TESTED EACH TIME. THE MINIMUM SAMPLING FREQUENCY
 - A) EACH DAY OF CONCRETING FOR EVERY CONCRETE MIX
 - B) EVERY 50 CUBIC YARDS
 - C) EVERY 2000 SQ.FT. OF SLAB AREA
8. CAST-IN-PLACE AND PRECAST MEMBER ERECTION TOLERANCES SHALL BE AS SPECIFIED IN THE TABLE 8.2.2 OR IN SECTION 8.3 OF "PCI DESIGN HANDBOOK/SIXTH EDITION".

REINFORCEMENT

1. ALL REBAR SHALL BE DEFORMED CARBON-STEEL ASTM A615/A615M-13 GRADE 60 OR ASTM A1035 GRADE 100 (MMFX2) UNLESS OTHERWISE SPECIFIED ON THE PLANS.
2. ALL REQUIREMENTS FOR PLACEMENT, COVER TOLERANCES, ETC. SHALL BE PER ACI 318-11.
3. ALL HOOKS AND BENDS SHALL BE FACTORY MADE UNLESS FIELD BENDS ARE APPROVED BY THE ENGINEER.
4. ONLY PLASTIC CHAIRS AND CENTRALIZERS SHALL BE USED FOR REBAR SUPPORT

HARDWARE SHALL BE 304 STAINLESS STEEL OR BETTER OR ZMAX GALVANIZED FOR NON-EXPOSED SIMPSON PRODUCTS, UNLESS OTHERWISE SPECIFIED.

STRUCTURAL LUMBER

1. ALL WOOD MEMBERS SHALL MEET OR EXCEED REQUIREMENTS SPECIFIED IN "ANSI/APA NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION" AND ALL REFERENCED STANDARDS.
2. ALL WOOD MEMBERS SHALL BE PRESSURE TREATED SOUTHERN PINE NO2 OR GREATER KILN DRIED AS SPECIFIED IN THE STANDARDS, UNLESS OTHERWISE SPECIFIED.
3. ALL WOOD MEMBERS EXPOSED TO EXTERIOR, IN DIRECT CONTACT WITH CONCRETE OR STEEL SHALL BE PRESSURE-TREATED (PT) UG GRADE PER AWP/PA STANDARDS.
4. ALL FIELD CUTS IN PT LUMBER SHALL BE TREATED ON SITE.
5. NAILING SHALL BE IN ACCORDANCE WITH FBC 7TH EDITION (2020). NAILS AND OTHER FASTENERS FOR PT WOOD SHALL BE STAINLESS STEEL.
6. SHEATHING SHALL BE 3/4" CDX PLYWOOD SHEATHING GRADE, UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. USE 10D RING-SHANK NAILS WITH SPACING OF 4" O.C. ON ALL EDGES AND 6" O.C. IN THE FIELD.

STRUCTURAL STEEL

1. STRUCTURAL STEEL COMPONENTS SHALL BE AS DESCRIBED IN "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" AISC 360 OR LATER EDITION.

2. HSS SHAPES (STRUCTURAL TUBING) SHALL BE ASTM A500 (FY=46 KSI).

3. STEEL PLATES, FLANGES AND MISCELLANEOUS ELEMENTS SHALL BE ASTM A36 (FY=36 KSI) UNLESS NOTED OTHERWISE ON THE PLANS.

4. W-SHAPES, C-SHAPES AND OTHER FORMED STEEL SHALL BE ASTM A992 (FY=50 KSI).

5. ALL WELDING SHALL BE IN CONFORMANCE WITH THE LATEST SPECIFICATIONS AWS D1.1/D1.1M:2010. STRUCTURAL WELDING CODE - STEEL.

STRUCTURAL STEEL COATING

A. ALL SURFACES SHALL BE ABRASIVE BLAST CLEANED TO NEAR-WHITE METAL (PER SSPC-SP10)

2. NON-EXPOSED STEEL SHALL BE COATED WITH 2 COATS OF A UNIVERSAL COMPATIBLE PRIMER

3. EXPOSED STEEL

A. ALL SURFACES SHALL BE PRIMED WITH POLYAMIDE EPOXY - ONE COAT (8.0 MILS DFT)

B. APPLY SEALANT AT ALL LOCATIONS WHERE STEEL IS WELDED, LAPPED, ETC. SEALANT MATERIAL SHALL BE COMPATIBLE WITH THE PAINTING SYSTEM

C. TOP LAYER SHALL BE TWO (2) COAT POLYURETHANE (3.0 MILS DFT EACH)

D. TOP PAINT SHALL BE UV RESISTANT OR HAVE A UV RESISTANT COATING.

REINFORCED MASONRY (CMU)

ALL MASONRY SHALL BE REINFORCED CONCRETE MASONRY UNIT IN ACCORDANCE WITH THE LATEST EDITION OF ACI 530/ASCE 5/TMS 402.

1. INSTALL ALL BLOCKS IN RUNNING BOND.

2. MINIMUM MASONRY BLOCK (ASTM C90) STRENGTH SHALL (F'M) BE 2000 PSI.

3. TYPE "S" MORTAR (ASTM C720) SHALL BE USED USING 3/8" FULL BEDDING REINFORCED W/ 9 GA GALVANIZED LADDER WIRE EVERY 2ND ROW.

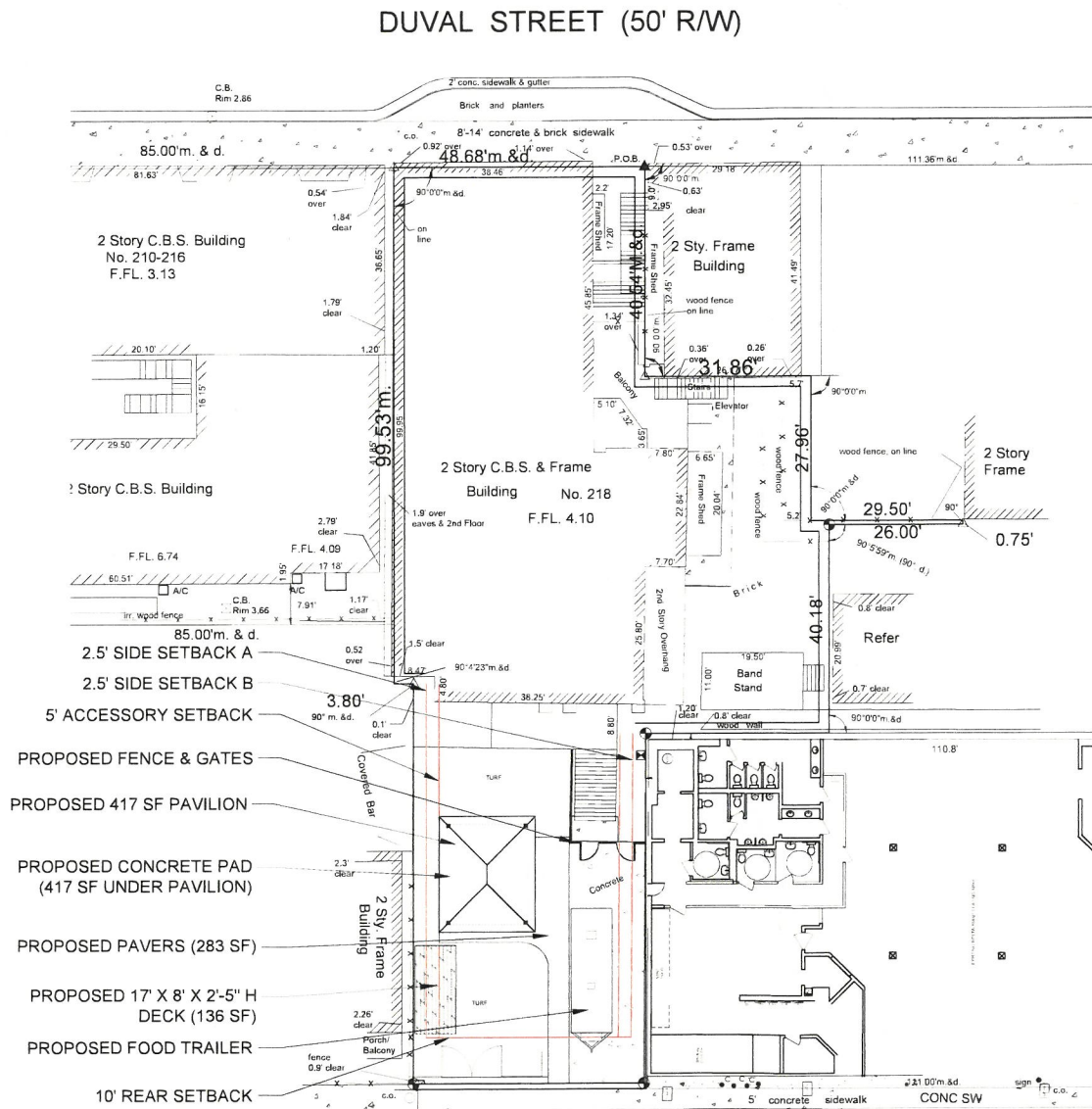
4. FILLED CELLS SHALL BE REINFORCED WITH #5 REBARS @ 24" O.C. (UNLESS OTHERWISE IS SPECIFIED ON THE PLANS).

5. TARGETED SLUMP SHALL BE 4-6" FOR PUMP MIX (ASTM C476) WITH A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI (28 DAY) (ASTM C1019).

6. EACH GROUTED CELL SHALL HAVE CLEANOUT OPENINGS AT THE BOTTOM. THERE SHALL BE NO LOOSE MORTAR OR OTHER DEBRIS IN THE BOTTOM OF THE CELL. USE BLAST PRESSURE WASHING FOR SURFACE PREPARATION.

WINDOWS & DOORS

1. ALL EXTERIOR WINDOWS SHALL BE LARGE AND SMALL MISSILE IMPACT RATED.
2. ALL EXTERIOR WINDOWS SHALL HAVE FLORIDA PRODUCT APPROVAL AND NOA. PRODUCT APPROVAL LABELS SHALL BE PERMANENTLY ATTACHED TO THE FRAME.
3. WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)



SITE DATA TABLE				
	CODE REQUIREMENT	EXISTING SITE	PROPOSED	NOTES
ZONING		HRCC1		N/A
FLOOD ZONE		AE-6		N/A
SIZE OF SITE		9,191		N/A
FRONT SETBACK	0'-0"	1'-1" OVER	UNCHANGED	N/A
SIDE SETBACK A	2'-6"	0'-6" OVER	UNCHANGED	N/A
SIDE SETBACK B	2'-6"	0'-0"	UNCHANGED	N/A
STREET SIDE SETBACK	0'-0"	N/A	N/A	N/A
REAR SETBACK	10'-0"	10'-0"	UNCHANGED	N/A
BUILDING COVERAGE	50%	85.3%	74.5%	10.8% IMPROVEMENT
IMPERVIOUS SURFACE	70%	100.0%	69.3%	30.7% IMPROVEMENT
OPEN SPACE	20%	0.0%	13.9%	13.9% IMPROVEMENT
PROPOSED PAVILION SIDE SETBACK	5'-0"	N/A	5'-0"	N/A
PROPOSED PAVILION REAR SETBACK	5'-0"	N/A	29'-3"	N/A

SITE CALCULATIONS NOTE: EXISTING BUILDING COVERAGE INCLUDED 1600 SF OF PREVIOUSLY PERMITTED 'HIDEAWAY BAR'

STORMWATER MANAGEMENT NOTE: PROJECT REDUCES IMPERVIOUS SURFACES BY 13.3%, AND A STORMWATER MANAGEMENT PLAN IS NOT NECESSARY

TELEGRAPH LANE (20' R/W)



FIRE SPRINKLER NOTE: A NFPA 13 COMPLIANT FIRE SPRINKLER PLAN IS REQUIRED AND WILL BE SUBMITTED SEPARATELY BY LICENSED CONTRACTOR

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by Robert Hulec
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LIC # 96937



LAKEWOOD ENGINEERING
DESIGN & CONSTRUCTION SERVICES

LAKEWOOD ENGINEERING
1211 WATSON ST
KEY WEST, FL 33040
305-930-5294

DESCRIPTION


REV SE

DATE: _____

BAR BUILDOUT/RENOVATION

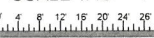
218 DUVAL ST.
KEY WEST, FL 33040

SHEET
TITLE COVER & SITE PLAN



DRAWN BY: BH	APPROVED BY: D
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SCALE 1/16" = 1'



[illegible]

SCALE $1/8" = 1'$

SHEET
TITLE

EXISTING SURVEY

DRAWN BY BH

APPROVED BY DB

DRAWN BY: BH	APPROVED BY: DB
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BAR BUILDOUT/RENOVATION

218 DUVAL ST.
KEY WEST, FL 33040

[illegible]

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DESIGN & CONSTRUCTION SERVICES

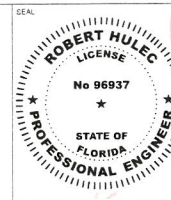
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305-855-6264

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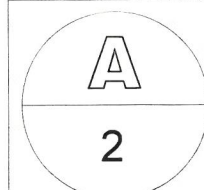
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12711 WATSON ST.
KEY WEST, FL 33062
305-495-6704

DATE: 10/17/24
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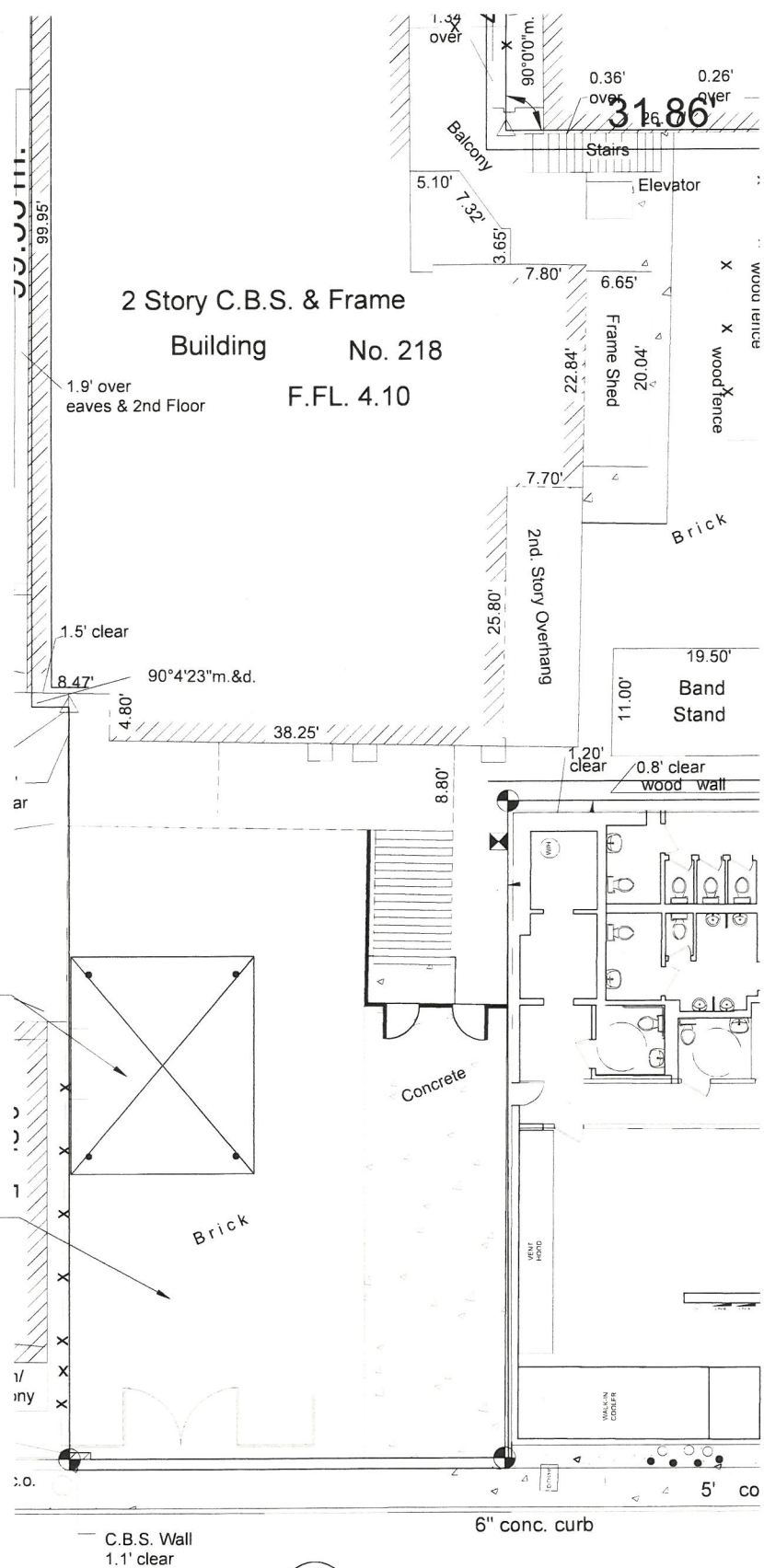
BAR BUILDOUT/RENOVATION

218 DUVAL ST.
KEY WEST, FL 33040

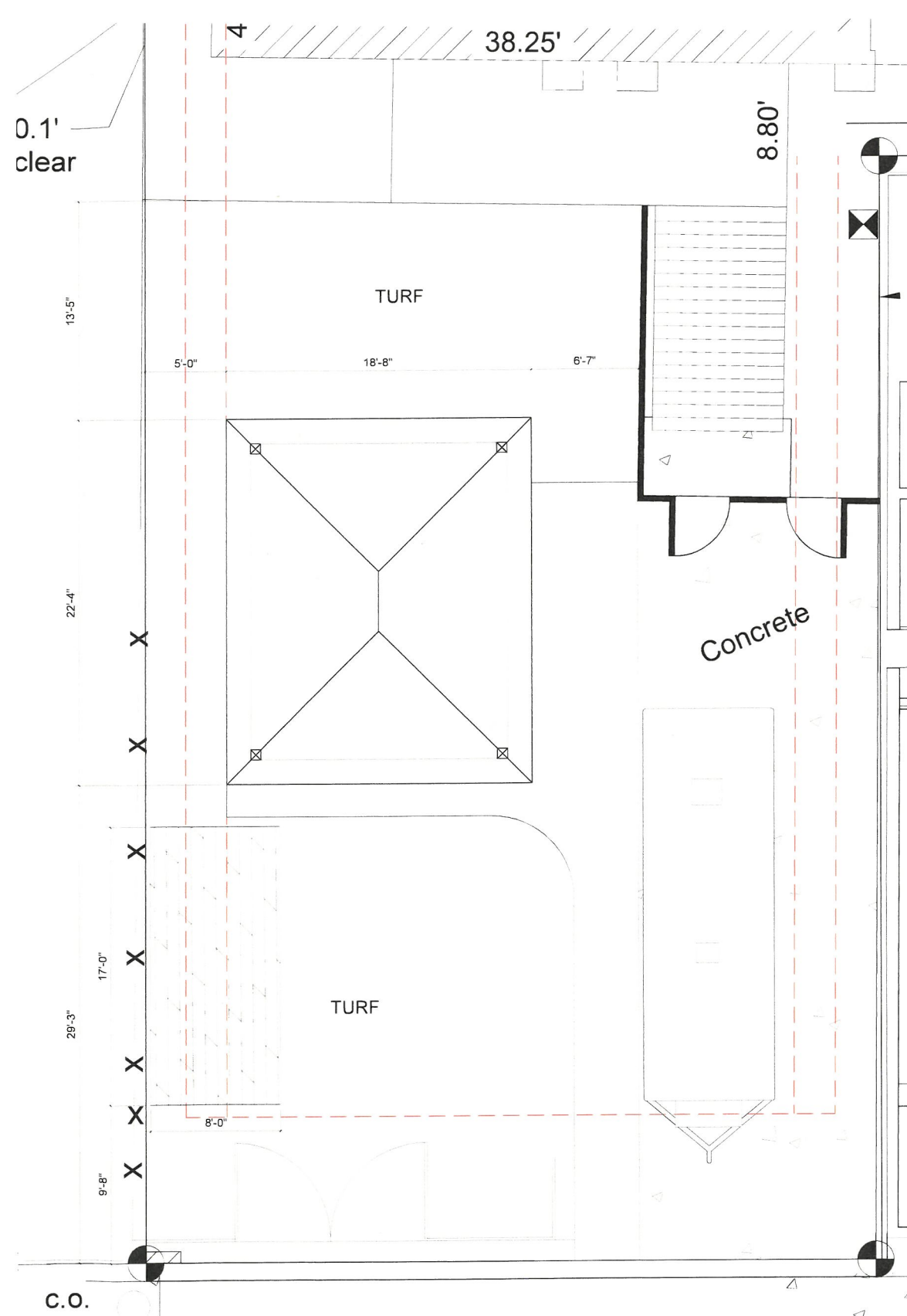
SHEET
TITLE DEMO & SITE PLAN



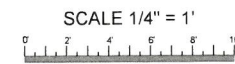
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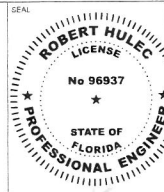


1
A-2 DEMO PLAN
SCALE 1/8" = 1'



2
A-2 SITE PLAN
SCALE 1/4" = 1'





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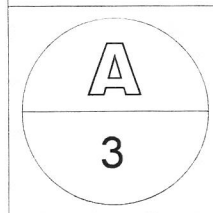
LAKESWOOD ENGINEERING
12711 W. 13th St.
Key West, FL 33040
305-959-4284

DATE: 10/17/24
REV SET 1
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BAR BUILDOUT/RENOVATION

218 DUVAL ST.
KEY WEST, FL 33040

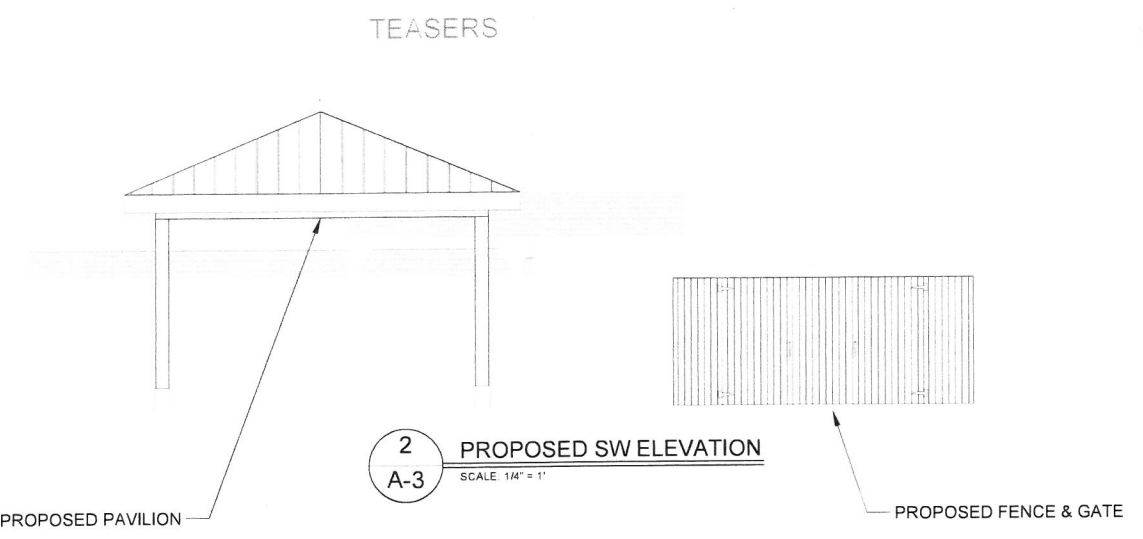
SHEET
TITLE ELEVATIONS



DRAWN BY BH APPROVED BY DB

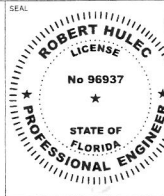


1
A-3
EXISTING SW ELEVATION
SCALE 1/4" = 1'



2
A-3
PROPOSED SW ELEVATION
SCALE 1/4" = 1'

SCALE 1/4" = 1'
0 2 4 6 8 10



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1211 HAVEN ST
KEY WEST, FL 33940
305-495-0264

DATE: 10/17/24

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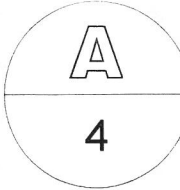
DESCRIPTION

ISSUED HARC REVIEW SET

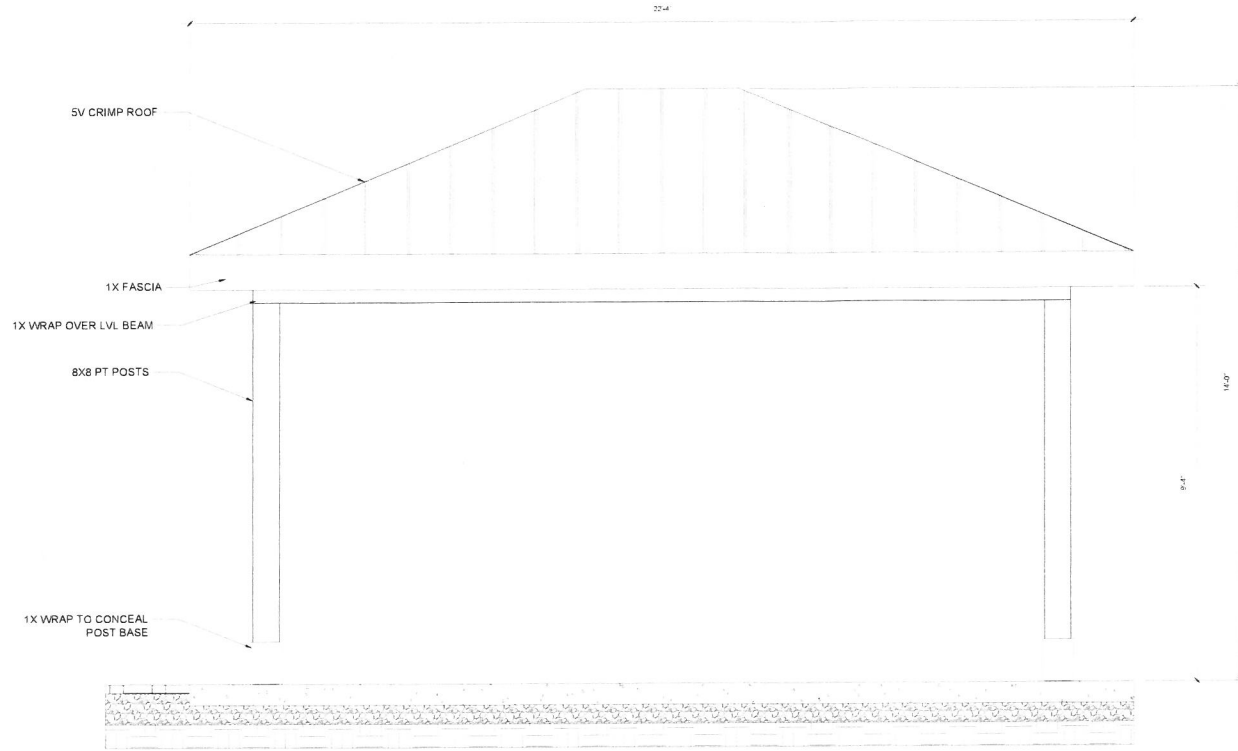
BAR BUILDOUT/RENOVATION

218 DUVAL ST.
KEY WEST, FL 33040

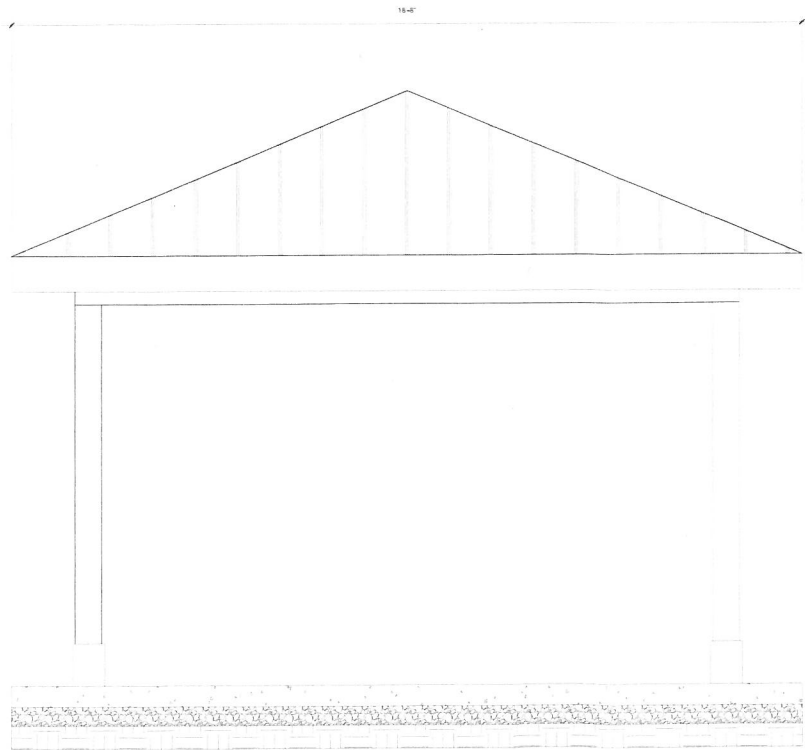
SHEET
TITLE PAVILION PLAN



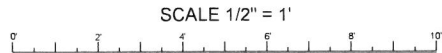
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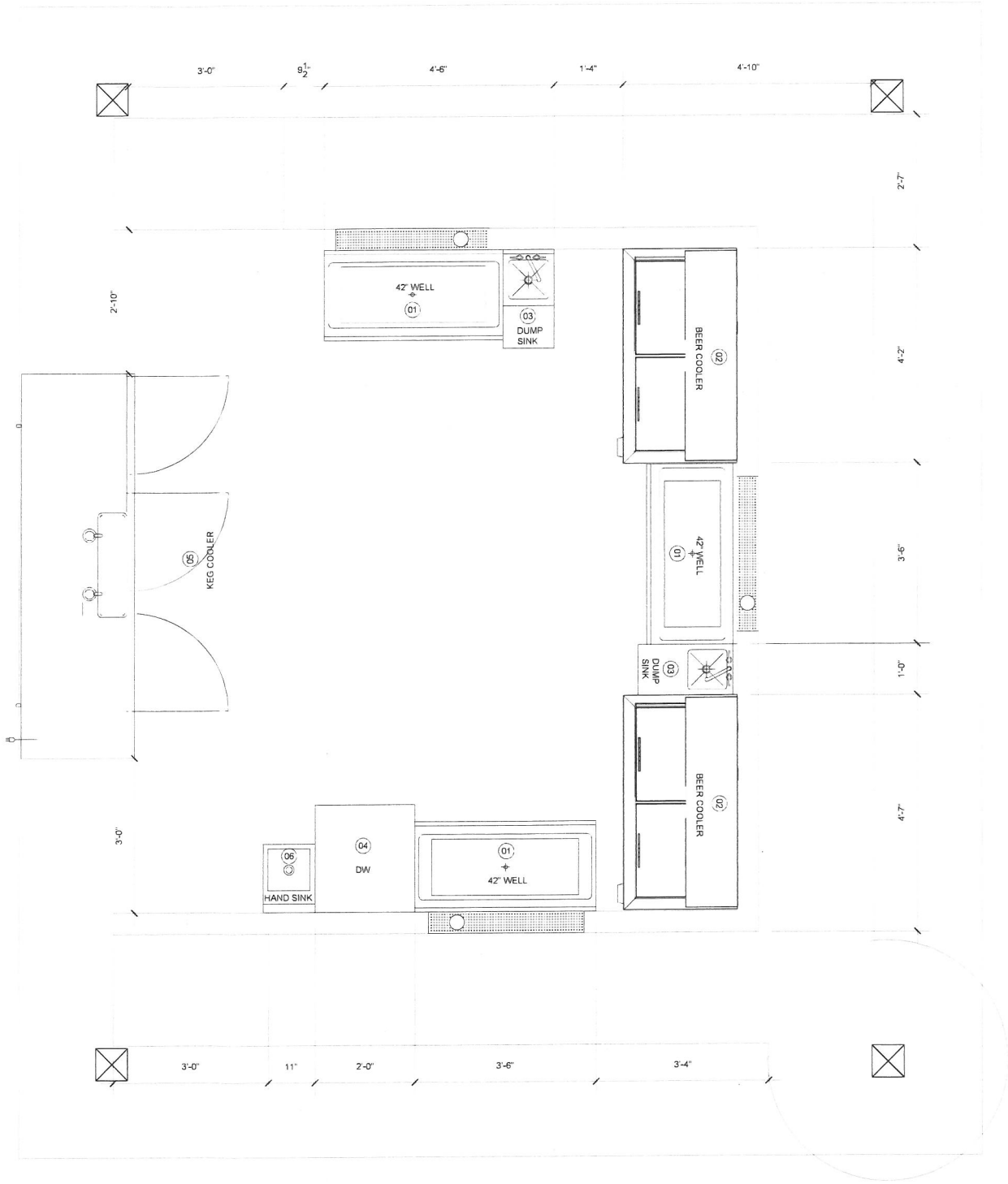
1
A-4
SOUTHEAST ELEVATION
SCALE: 1/2" = 1'



2
A-4
NORTHEAST ELEVATION
SCALE: 1/2" = 1'



EQUIPMENT DATA						UTILITIES REQ			
TAG	NAME	MFG	WIDTH	DEPTH	HEIGHT	CW	HW	SAN	ELEC
01	42" WELL	REGENCY	42"	21"	33"	-	-	X	-
02	BOTTLE COOLER	BEVERAGE-AIR	50"	28"	34"	-	-	-	X
03	DUMP SINK	REGENCY	12"	23"	33"	X	X	X	-
04	DISHWASHER	MAIN STREET EQUIPMENT	24"	25"	33"	-	X	X	X
05	KEG COOLER	TRUE REFRIDGERATION	91"	27"	37"	-	-	-	X
06	HAND SINK	REGENCY	12"	16"	10"	X	X	X	-



1 BAR & EQUIPMENT LAYOUT
A-5 SCALE 3/4" = 1'

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2118 DUVAL ST.
KEY WEST, FL 33040
305-495-4264

DATE: 10/17/24
REV SET 1
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BAR BUILDOUT/RENOVATION
218 DUVAL ST.
KEY WEST, FL 33040

SHEET
FILE BAR PLAN

A
5

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KEY WEST, FL 33040
305-935-6264

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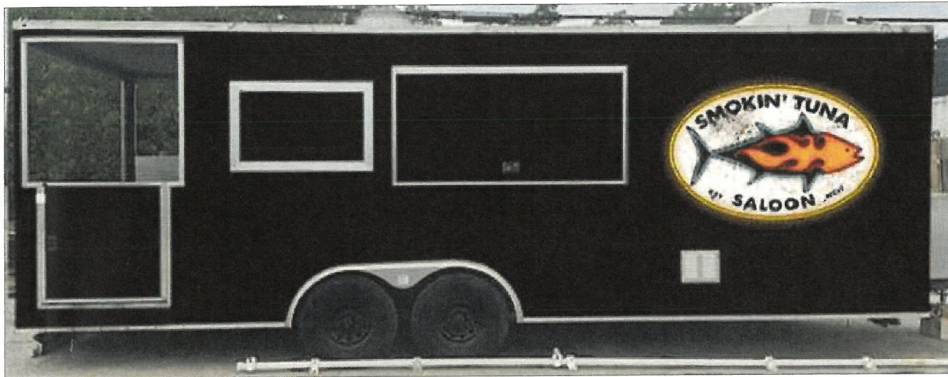
BAR BUILDOUT/RENOVATION

218 DUVAL ST.
KEY WEST, FL 33040

SHEET
TOTAL: 6
FOOD TRAILER PLAN

A
6

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2 PROPOSED TRAILER
A-6 SCALE: N/A

FOOD TRAILER NOTES

FEATURES:

1. SUB-PANEL WITH BREAKERS FOR INDIVIDUAL EQUIPMENT
2. 42 GAL FRESHWATER TANK
3. 58 GAL WASTE WATER TANK
4. CITY WATER CONNECTION
5. EXHAUST HOOD W/FAN
6. PRO FIRE SUPPRESSION SYSTEM

INCLUDED EQUIPMENT:

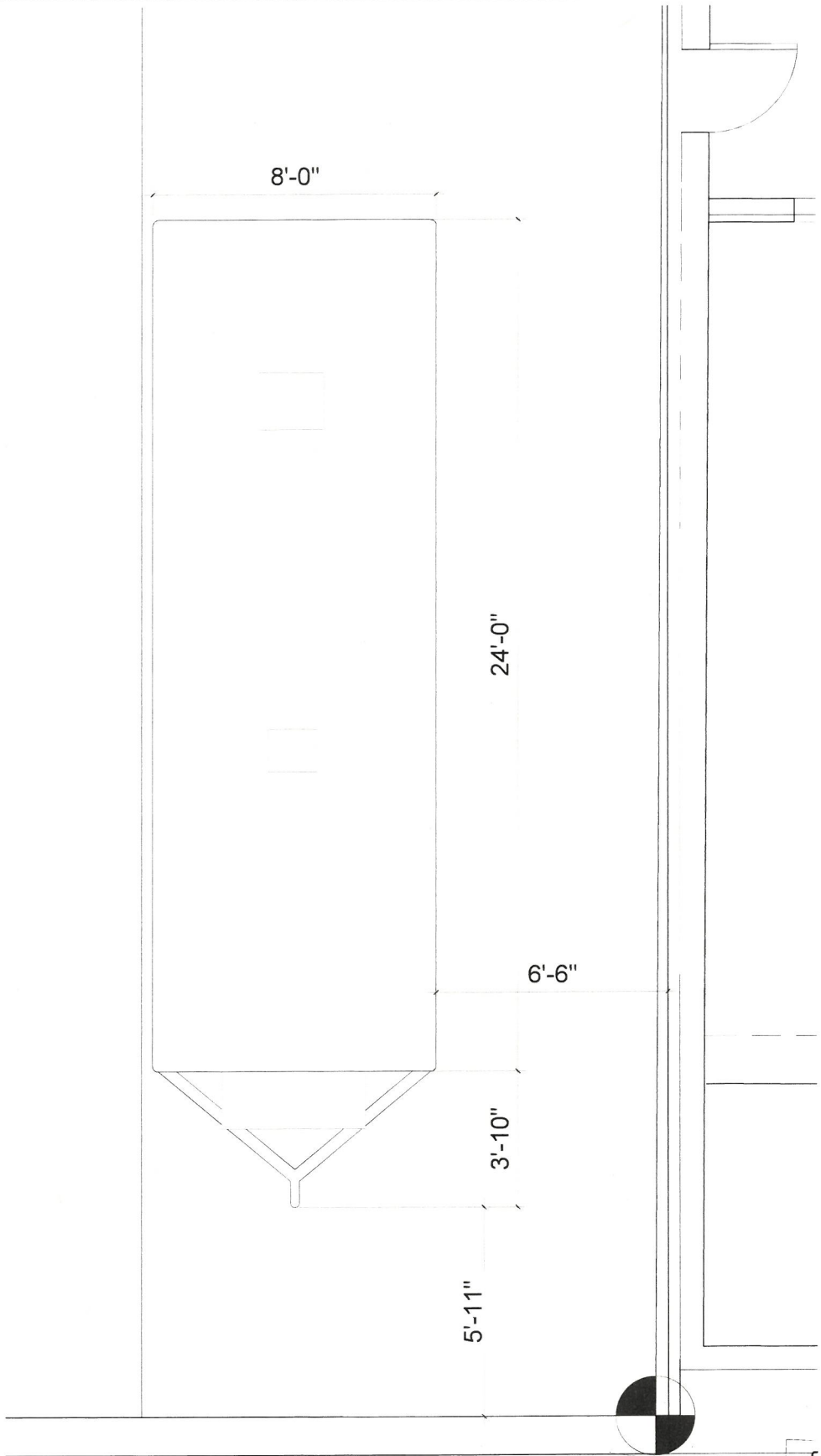
1. (2) REFRIGERATORS
2. UPRIGHT FREEZER
3. 4 BURNER STOVETOP
4. OVEN
5. FLAT GRILL
6. (2) FRYERS
7. FOOD WARMER
8. BROILER

SAFETY FEATURES

1. CONDITIONED MAKEUP AIR
2. 8' EXHAUST HOOD
3. PRO FIRE SUPPRESSION SYSTEM

FEMA NOTE:

1. PER FEMA REQUIREMENTS, TRAILER WILL MOVED EVERY 180 DAYS



1 FOOD TRAILER LOC.
A-6 SCALE: 1/2" = 1'

SCALE 1/2" = 1'

PROPERTY CARD

PROPERTY RECORD CARD

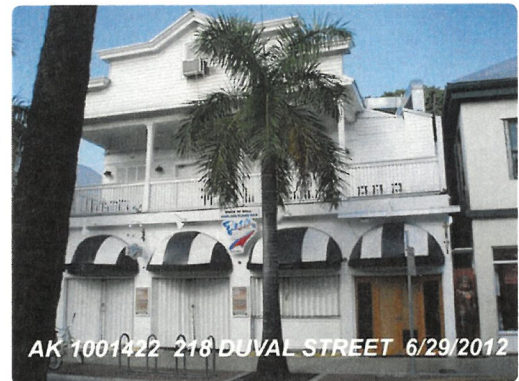
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By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00001400-000000
 Account# 1001422
 Property ID 1001422
 Millage Group 10KW
 Location 218 DUVAL St 101, KEY WEST
 Address
 Legal KW PT LOT 1 SQR 15 D2-550 G3-130 G4-491 OR672-429 OR677-51 OR677-52/53
 Description OR677-54 OR677-56/57 OR677-58/59 OR677-60/61 OR866-19 OR866-20/21
 OR866-22/23 OR884-1908/10
 (Note: Not to be used on legal documents.)
 Neighborhood 32010
 Property Class NIGHTCLUB (3300)
 Subdivision
 Sec/Twp/Rng 06/68/25
 Affordable No
 Housing



Owner

Monroe County, FL
 PO Box 1736
 Key West FL 33041

Valuation

	2024 Certified Values	2023 Certified Values	2022 Certified Values	2021 Certified Values
+ Market Improvement Value	\$935,069	\$934,559	\$934,559	\$979,779
+ Market Misc Value	\$13,279	\$13,344	\$12,637	\$12,703
+ Market Land Value	\$4,301,388	\$4,301,388	\$4,301,388	\$3,010,972
= Just Market Value	\$5,249,736	\$5,249,291	\$5,248,584	\$4,003,454
= Total Assessed Value	\$5,249,736	\$4,844,178	\$4,403,799	\$4,003,454
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$5,249,736	\$5,249,291	\$5,248,584	\$4,003,454

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2023	\$4,301,388	\$934,559	\$13,344	\$5,249,291	\$4,844,178	\$0	\$5,249,291	\$0
2022	\$4,301,388	\$934,559	\$12,637	\$5,248,584	\$4,403,799	\$0	\$5,248,584	\$0
2021	\$3,010,972	\$979,779	\$12,703	\$4,003,454	\$4,003,454	\$0	\$4,003,454	\$0
2020	\$3,010,972	\$979,779	\$12,768	\$4,003,519	\$4,003,519	\$0	\$4,003,519	\$0
2019	\$3,345,524	\$1,009,927	\$12,834	\$4,368,285	\$4,368,285	\$0	\$4,368,285	\$0
2018	\$3,303,705	\$895,594	\$12,899	\$4,212,198	\$4,212,198	\$0	\$4,212,198	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(3300)	9,191.00	Square Foot	0	0

Buildings

Building ID	39146	Exterior Walls	AB AVE WOOD SIDING	
Style		Year Built	1928	
Building Type	NIGHT CLUB, BARS B / 33B	EffectiveYearBuilt	1993	
Building Name		Foundation		
Gross Sq Ft	10712	Roof Type		
Finished Sq Ft	7987	Roof Coverage		
Stories	5 Floor	Flooring Type		
Condition	AVERAGE	Heating Type		
Perimeter	691	Bedrooms	0	
Functional Obs	0	Full Bathrooms	0	
Economic Obs	0	Half Bathrooms	0	
Depreciation %	40	Grade	450	
Interior Walls		Number of Fire Pl	0	
Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	273	0	0
FLA	FLOOR LIV AREA	7,987	7,987	0
OJU	OP PR UNFIN UL	84	0	0
OPF	OP PRCH FIN LL	258	0	0
OUF	OP PRCH FIN UL	56	0	0
PDO	PATIO DIN OPEN	2,022	0	0
SBF	UTIL FIN BLK	32	0	0
TOTAL		10,712	7,987	0

Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
BRICK PATIO	1983	1984	0 x 0	1	220 SF	2
WOOD DECK	1983	1984	0 x 0	1	235 SF	4
FENCES	1983	1984	0 x 0	1	264 SF	2
FENCES	1983	1984	0 x 0	1	270 SF	3
WOOD DECK	1983	1984	0 x 0	1	311 SF	3
WOOD DECK	1983	1984	0 x 0	1	378 SF	1
TIKI	1983	1984	0 x 0	1	385 SF	5
UTILITY BLDG	1985	1986	0 x 0	1	110 SF	1
CONC PATIO	1996	1997	18 x 18	1	324 SF	2

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
2/1/1976	\$75,000	Conversion Code		677	58	Q - Qualified	Improved		

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
2024-1399	5/21/2024	7/18/2024	\$8,500	Commercial	Supply and Install necessary drainage and waterlines for all bar sinks and hand wash sinks and floor drains
22-1398	8/25/2022		\$6,800	Commercial	Fabricate and install new awning frame and fabric.
BLD2021-2373	8/27/2021	11/17/2021	\$12,500	Commercial	FIRE ALARM SYSTEM
BLD2021-0842	5/10/2021		\$4,868	Commercial	INSTALL A 1.5 TON MITSUBISHI MINI SPLIT A/C SYSTEM. CONDENSER ON ROOF
BLD2021-0422	3/29/2021		\$38,000	Commercial	CREATING A GRAB AND GO TACO STAND OUT OF EXISTING SPRINKLED SPACE. PUTTING TILE FLOORING DOWN. REPLACING 2 INTERIOR DOORS. REMOVING EXISTING EXTERIOR BI-FOLD DOORS ON FRONT OF UNIT AND REPLACING WITH NEW MATCHING
BLD2021-0042	3/10/2021	6/24/2021	\$5,000	Commercial	ROUGH IN MOP SINK, HAND SINK, TRIPLE CONCEPT SINK, GREASE TRAP, ICE MAKER, TWO FLOOR DRAINS, DEMAND H.W.H., TIE TO EXISTING SEWER AND WATER
BLD2019-3363	9/19/2019	9/27/2019	\$200	Commercial	WIRE UP- 100 VOLT ELECTRIC LINE FOR NEW SIGN
BLD2019-2420	8/23/2019		\$400	Commercial	AFTER-THE-FACT - Remove and replace 5 outdoor lights
BLD2019-0750	6/24/2019		\$1,965	Commercial	1 steel mounting bracket projecting 3rd sign. Sign must be 8' clear above sidewalk
16-00001761	2/6/2017	2/6/2019	\$8,500	Commercial	INSTALL 3-ROLL DOWN SHUTTERS, PAINT FRONT AND SIDE OF BUILDING, WHITE TO MATCH EXISTING. RELOCATE EXISTING TEASER'S SIGN TO FRONT ENTRANCE. STAIRS BURGUNDY AWNMAX. (NOC REQUIRED) HARC #16-01-0619
16-1645	3/2/2016	4/11/2017	\$28,500	Commercial	Interior remodel - walls, tile, paint, mirrors, bathroom ADA, 2 stages (entertainment). Interior ONLY no HARC. REVISION #1: REPLACE EXISTING BACK DOOR WITH NEW HOLLOW METAL FAME AND SINGLE FLUSH DOOR. ADD 4-BOOTHs INSIDE BACK. MOVE FRONT CONVERT 2- FEET. ADDITIONAL INFO/CLARIFICATION SHEET: REPLACE EXTERIOR EGRESS DOOR, LIFE SAFETY PLAN MOVE FRONT COUNTER 2 FT BACK INTO BUILDING
15-4784	11/24/2015	5/12/2017	\$500	Commercial	ATF: REMOVE ILLEGALLY INSTALLED A/C ON N/S OF BLDG.

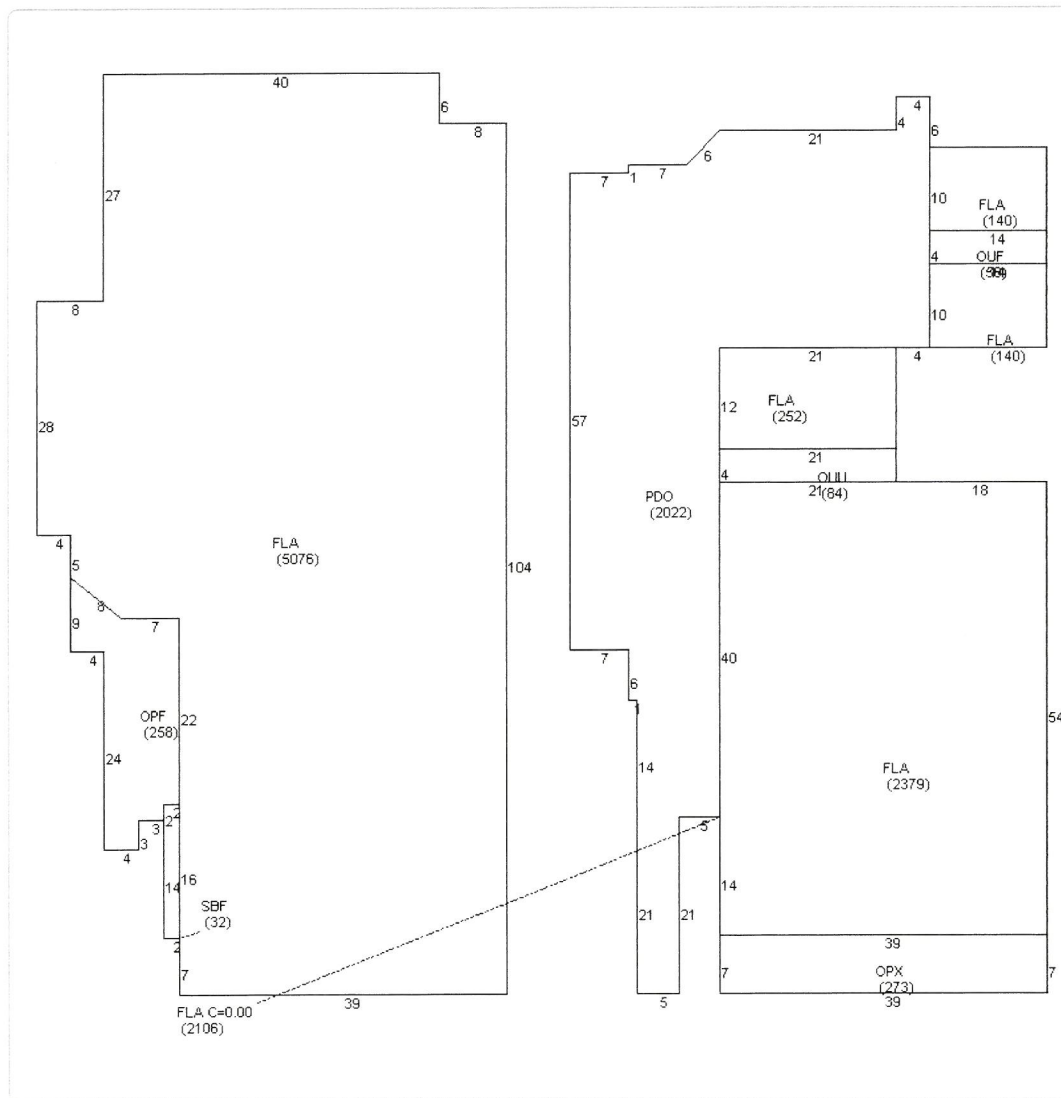
Number	Date Issued	Date Completed	Amount	Permit Type	Notes
13-3524	10/16/2013	4/22/2017	\$1,500	Commercial	NEON ON FRONT OF EXISTING SIGN ELEC SIGN: COYOTE UGLY SALOON
13-4408	10/10/2013	11/22/2014	\$200	Commercial	INSTALL EXISTING LIGHTS REMOVED TO REPAIR DECKING
13-3933	9/13/2013	2/8/2017	\$800	Commercial	FRONT FACADE REPAIR, FASCIA AND SOFFIT. REPAIR WOOD AT T & G ON BALCONY FLOOR. ROTTED WOOD TO REPALCE 30LF FASCIA, 70SF T & G FLOORING
12-2460	7/25/2012		\$1,500	Commercial	RELOCATING 10-15 OUTLETS, ADDING 5 CIRCUITS BEHIND BAR. RELOCATING 2-LIGHTS FOR NEW MERCHANDISE AREA.
12-2501	7/25/2012		\$40,000	Commercial	INSTALL HANDICAP RAMP (INTERIOR), NEW FULL LITE DOORS AND 13' X 8' PARTITIONS EXTEND BAR TOPS AS PER PLANS.
12-1265	6/20/2012		\$2,800	Commercial	INSTALL 700SF OF BRICK PAVER TO MATCH EXISTING.
12-1266	6/20/2012		\$400	Commercial	RELOCATE EXISTING FENCE 10' TOWARD ADJACENT BUILDING AND 13' TO TELEGRAPH LANE.
12-1847	6/18/2012		\$1,200	Commercial	INSTALL 100 A DISCONNECT AND PANEL. INSTALL TRAILER CORD AND OUTLET.
11-2828	8/5/2011		\$8,440	Commercial	INSTALL BUBBLE AWNING OVER STAIR LEADING UP TO 218 DUVAL UP. AWNING TO EXTEND FROM BOTTOM STEP TO ENTRY DOOR AS PER PLANS.
11-2615	8/3/2011		\$2,286	Commercial	REINSTALL RECOVERED AWNING FRAMES W/NEW COVERS OVER HALF ROUND WINDOWS
11-2679	8/3/2011		\$1,400	Commercial	1 HANGING SIGN, 1 CIGAR STATUE "ISLAND CIGAR" 60 X 12
11-2619	7/25/2011		\$7,500	Commercial	RELOCATE 3 EXISTING 5-TON A/C AIR HANDLERS AND ADD 1 5-TON A/C AIR HANDLER AND COMPRESSOR AT BACK OF SPACE.
11-2643	7/25/2011		\$2,000	Commercial	RELOCATE WIRING FOR 3 EXISTING 5-TON A/C AIR HANDLERS AND ADD 1 5-TON AIR HANDLER & COMPRESSOR AT BACK OF BUILDING
11-1682	5/23/2011		\$600	Commercial	REPLACE APPROX. 70LF OF EXISTING FENCE 5' HI AT EXISTING REAR OF BUILDING.
11-1666	5/20/2011		\$1,800	Commercial	DEMO FOR EXPLORATION ALL NON-STRUCTURAL INTERIOR, REMOVE TWO BARS, OPEN APPROX. 200 SF OF WALL FOR EXPLORATION REMOVE APPROX. 80 SF OF WALL FOR PLUMBING EXPLORATION AND MISC. BAR FIXTURES.
10-3442	10/19/2010		\$2,300	Commercial	AFTER THE FACT: REMOVE TILE IN REAR AND FLOAT FLOOR WITH 3" MIX TO LEVEL. FLOOR AND PAINT FLOOR.
08-0474	2/22/2008		\$450	Commercial	ELECTRICAL CKT. FOR FIRE ALARM
07-4382	10/15/2007		\$25,000	Commercial	INSTALL NEW FIRE SPRINKLE SYSTEM ON 1ST AND 2ND FLOOR.
07-2404	7/11/2007		\$8,000	Commercial	CONSTRUCT NEW 8' PASSAGE, DEMO EXISTING BAR. NEW 7' PARTITION WITH 2 SALON DOORS.
07-2071	4/30/2007		\$2,200	Commercial	NEW ELECTRIC FOR 7 COOLERS AND 20-TON A/C
07-1731	4/12/2007		\$21,000	Commercial	INSTALL WHEELCHAIR LIFT.
07-1041	3/22/2007		\$15,000	Commercial	WIRE UP 2ND FLOOR ADDITION, INSTALL 23 RECESS CAN LIGHTS, WIRE UP 3 BATHROOMS INSTALL EXHAUST FANS, SWITCHES, RECEPTACLES AND SMOKE DETECTORS, EXIT SIGNS, WIRE UP TWO 5 TON A/C UNITS, WIRING ALL UP TO EXISTING 200 AMP PANEL.
07-801	3/22/2007		\$29,000	Commercial	INSTALL 20 TON A/C UNIT WITH DUCTWORK.
07-1100	3/5/2007		\$12,000	Commercial	RE-PIPE WATER LINES AND PARTIAL DRAINS IN 2 EXISTING BATHROOMS, RESET 4 TOILETS, 3 LAVATORIES & 3 URINALS, ROUGH AND TRIM OUT TWO NEW FIXTURES ONE TOILET AND ONE LAVATORY FOR ADA BATHROOM REPLACEMENT OF 10 EXISTING AND INSTALL TWO NEW ONES.
06-5020	9/7/2006		\$225,000	Commercial	CHANGE CONTRACTOR TO DUNN GENERAL CONTRACTORS
06-4694	8/8/2006	7/26/2006	\$100	Commercial	TRANSFER OF CONTRACTOR
05-1389	4/11/2006	12/31/2006	\$225,000	Commercial	BUILD NEW TRUSS ROOF TO COVER 2046SF OPEN BAR SPACE
06-2303	4/11/2006	7/26/2006	\$4,000	Commercial	ADD GUTTERS AND SWALE TO EXISTING PROPERTY
06-1665	3/13/2006	7/26/2006	\$1,000	Commercial	INSTALL ELECTRIC FOR NEW EXHAUST HOOD
06-1189	3/3/2006	7/26/2006	\$1,500	Commercial	INSTALL NEW FIRE SUPPRESSION SYSTEM
05-3930	1/27/2006	7/26/2006	\$4,000	Commercial	RELOCATE PIZZA SERVING AREA
05-2177	6/6/2005	12/31/2005	\$2,400	Commercial	INSTALL CIRCUITS FOR DRINK MACHINES
05-1612	5/16/2005	12/31/2005	\$1,000	Commercial	electrical alterations
04-3373	12/13/2004	12/31/2004	\$25,000	Commercial	ELECTRICAL
04-2290	7/13/2004	10/4/2004	\$1,800	Commercial	ELECTRIC
04-0189	2/10/2004	12/15/2004	\$48,000	Commercial	BAR, BATHROOMS & DECK UPSTAIRS
03-3000	11/4/2003	12/8/2003	\$30,000	Commercial	RENOVAT 2ND FLOOR
03-3815	11/4/2003	12/8/2003	\$900	Commercial	ELE REPAIR
03-2814	8/13/2003	12/8/2003	\$300	Commercial	REPAIR RISER
03-2680	8/8/2003	12/8/2003	\$2,300	Commercial	STUCCO REPAIRS
03-2655	8/7/2003	12/8/2003	\$15,000	Commercial	RENOVAT DANCE FLOOR
03-2460	7/24/2003	12/8/2003	\$25,850	Commercial	RENOVAT ELE & PLUMBING
03-1774	5/27/2003	12/8/2003	\$800	Commercial	SHUTTERS
03-1487	5/5/2003	12/8/2003	\$13,500	Commercial	2- 7 1/2 TON A/C
03-1013	4/17/2003	12/8/2003	\$22,300	Commercial	EXTRIOR REPAIRS
03-1149	4/3/2003	12/8/2003	\$5,000	Commercial	DEMO & REPLACE DECK
03-0940	3/21/2003	12/8/2003	\$1,500	Commercial	REPAIR CODE VIOLATIONS
03-1018	3/21/2003	12/8/2003	\$2,500	Commercial	SHUTTERS
03-0878	3/14/2003	12/8/2003	\$1,200	Commercial	REPLACE GREASE TRAP
03-0746	3/12/2003	12/8/2003	\$6,500	Commercial	ATF CHANGE A/C
03-0584	3/5/2003	12/8/2003	\$2,300	Commercial	4 NEW AWNINGS
02-1835	7/10/2002	8/16/2002	\$1,000	Commercial	SIGNS
01-4044	1/7/2002	8/16/2002	\$2,000	Commercial	ELECTRICAL
01-1718	4/23/2001	11/16/2001	\$2,500	Commercial	ANSUL SYSTEM

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
00-2261	10/13/2000	11/16/2001	\$975	Commercial	INTERIOR WALLS
00-1624	6/30/2000	7/14/2000	\$6,900	Commercial	INTERIOR RENOVATIONS
00-1817	6/30/2000	7/14/2000	\$600	Commercial	2 FIRE WALLS
9903660	10/29/1999	12/7/1999	\$500	Commercial	ELECTRICAL REPAIR
9703017	9/1/1997	10/1/1997	\$1,500	Commercial	FILL FISH POND/W CONCRETE
9702575	7/1/1997	10/1/1997	\$400	Commercial	MOP SINK/LAVATORY SINK
9602944	7/1/1996	8/1/1996	\$2,000	Commercial	ROOF
9602213	5/1/1996	8/1/1996	\$3,500	Commercial	ELECTRICAL
9691164	3/1/1996	8/1/1996	\$2,900	Commercial	ELECTRICAL
9600587	1/1/1996	8/1/1996	\$1,000	Commercial	RENOVATIONS
B940295	1/1/1994	11/1/1994	\$5,000	Commercial	RENOVATIONS
03-2690	3/26/1990	12/8/2003	\$10,000	Commercial	RENOVAT REAR BAR

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Sketches (click to enlarge)



Photos



Map



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Detail by Entity Name

Florida Profit Corporation

RAMLO DEVELOPMENT CORPORATION

Filing Information

Document Number G35963
FEI/EIN Number 59-2299470
Date Filed 04/27/1983
State FL
Status ACTIVE
Last Event REINSTATEMENT
Event Date Filed 09/17/1985

Principal Address

201 Front Street
Suite 330
KEY WEST, FL 33040

Changed: 04/23/2024

Mailing Address

PO Box 1736
KEY WEST, FL 33041

Changed: 03/13/2020

Registered Agent Name & Address

HALPERN, MICHAEL
201 Front Street
Suite 330
KEY WEST, FL 33040

Name Changed: 03/21/1986

Address Changed: 04/23/2024

Officer/Director Detail

Name & Address

Title PSTD

HALPERN, MICHAEL
PO Box 1736
KEY WEST, FL 33041

Annual Reports

Report Year	Filed Date
2022	02/23/2022
2023	01/20/2023
2024	04/23/2024

Document Images

04/23/2024 -- ANNUAL REPORT	View image in PDF format
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WARRANTY DEED

313366

This Indenture,Made this 28th day of June, A. D. 1983.

Between **PETER COOPER DEVELOPMENT CORP., INC.**,
a corporation existing under the laws of the State of Florida
having its principal place of business in the County of Monroe
State of Florida party of the first part, and

RAMLO DEVELOPMENT CORPORATION

of the County of Monroe and State of Florida
party of the second part,

Witnesseth, That the said party of the first part, for and in consideration of the sum of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION, to it in hand paid, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, remised, released, conveyed and confirmed, and by these presents doth grant, bargain, sell, alien, remise, release, convey and confirm unto the said party of the second part, and its heirs and assigns forever, all that certain parcel of land lying and being in the County of Monroe and State of Florida, more particularly described as follows:

SEE SCHEDULE "A" ATTACHED HERETO AND MADE A PART HEREOF.

FILED FOR RECORD

83 JUN 29 P3:11

RECORDED IN MONROE COUNTY, FLA.

DS Paid 454 Date 6-29-83
MONROE COUNTY
RALPH WHITE, CLERK OF CIR. CT.
Ct. Michael Bethel CC.

Together with all the tenements, hereditaments and appurtenances, with every privilege, right, title, interest and estate, reversion, remainder and easement thereto belonging or in anywise appertaining:

To Have and to Hold the same in fee simple forever.

And the said party of the first part doth covenant with the said party of the second part that it is lawfully seized of the said premises; that they are free of all incumbrances, and that it has good right and lawful authority to sell the same; and the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, the said party of the first part has caused these presents to be signed in its name by its President, and its corporate seal to be affixed, attested by its Secretary the day and year above written.

(Corporate Seal)

Attest: Michael Halpern, Secretary

PETER COOPER DEVELOPMENT
CORP., INC.
By Michael Halpern, President.

Signed, Sealed and Delivered in Our Presence

Handra L. Clothier

State of Florida,

884 MAY 1909

County of MONROE

I HEREBY CERTIFY, That on this 28th day of June, A. D. 1983,
before me personally appeared Michael Halpern ~~xxxx~~
President and Secretary

~~Michael Halpern~~ of PETER COOPER DEVELOPMENT CORP., INC., a corporation
under the laws of the State of Florida, to me known to be the
persons described in and who executed the foregoing conveyance to

RAMLO DEVELOPMENT CORPORATION,

and severally acknowledged the execution thereof to be ~~his~~ free act and deed as
such officers, for the uses and purposes therein mentioned; and that they affixed
thereto the official seal of said corporation, and the said instrument is the act and
deed of said corporation.

WITNESS my signature and official seal at Key West,
in the County of Monroe and State of Florida, the day and
year last aforesaid.

Shondia L. Clothier
Notary Public



Notary Public, State of Florida
My Commission Expires June 1, 1985
Notary Public, State of Florida

Date
ABSTRACT OF DESCRIPTION

TO

FROM CORPORATION

Monroe County