

# Application



# Application For Variance

City of Key West, Florida • Planning Department

1300 White Street • Key West, Florida 33040 • 305-809-3720 • [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov)



**Application Fee: \$1,150.00 / After-the-Fact: \$2,150.00**  
(includes \$100.00 advertising/noticing fee and \$50.00 fire review fee)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3720.

## PROPERTY DESCRIPTION:

Site Address: 1301 FIRST STREET KEY WEST, FL 33040

Zoning District: S.F. Real Estate (RE) #: 00049440-000900

Property located within the Historic District? ☐ Yes ☒ No

**APPLICANT:** ☐ Owner ☒ Authorized Representative

Name: SETH NEAL

Mailing Address: 22974 OVERSEAS HIGHWAY

City: CUDDY KEY State: FL Zip: 33042

Home/Mobile Phone: 251-422-9547 Office: 305-340-8857 Fax: \_\_\_\_\_

Email: sethneal@tsnarchitects.com

## PROPERTY OWNER: (if different than above)

Name: CHARLES WIGHT

Mailing Address: 29054 VIOLET DRIVE

City: BIG PINE KEY State: FL Zip: 33043

Home/Mobile Phone: 305-797-3471 Office: \_\_\_\_\_ Fax: \_\_\_\_\_

Email: ccpkeys@aol.com

## Description of Proposed Construction, Development, and Use:

REMOVE EXISTING FLAT ROOF + REPLACE WITH NEW METAL HIP ROOF  
IN SAME FOOT PRINT AS EXISTING ROOF OUTLINE.

## List and describe the specific variance(s) being requested:

ROOF HEIGHT VARIANCE IMPROVEMENT IN EXISTING SETBACK. THIS EXISTING  
NON CONFORMITY WAS NOT CREATED BY THE HOME OWNER.

Are there any easements, deed restrictions or other encumbrances attached to the property? ☐ Yes ☒ No

If yes, please describe and attach relevant documents: \_\_\_\_\_



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Will any work be within the dripline (canopy) of any tree on or off the property?

☐ Yes ☒ No

If yes, provide date of landscape approval, and attach a copy of such approval.

Is this variance request for habitable space pursuant to Section 122-1078?

☐ Yes ☐ No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	SF			
Flood Zone	AE 7			
Size of Site	51' x 100'			
Height	25' + 5'	10'-1 1/2"	14'-7 1/2"	
Front Setback 1 <sup>ST</sup> STREET	30'	7'-2"	7'-2"	22'-10" VARIANCE
Side Setback	10'	-	-	
Side Setback	5'	12'-4 1/2"	12'-4 1/2"	
Street Side Setback FOGARTY	10'	16'-2"	16'-2"	
Rear Setback	25'	13'-10"	13'-10"	11'-2" VARIANCE
F.A.R.	-			
Building Coverage	1,750 / 35%	2,113 s.f., 41%	2,113 s.f., 41%	
Impervious Surface	2,550 / 50%	2,691 s.f., 52.7%	2,691 s.f., 52.7%	
Parking	1	2	2	
Handicap Parking	-			
Bicycle Parking	-			
Open Space/ Landscaping	1,750 / 35%	2,409 s.f. / 47.2%	2,409 s.f. / 47.2%	
Number and type of units	-			
Consumption Area or Number of seats	-			

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at [http://www.municode.com/Library/FL/Key\\_West](http://www.municode.com/Library/FL/Key_West) under Subpart B.

\*Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.

Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

~~Q/A~~ The front & rear setbacks of this property overlap each other by 4'.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

N/A

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

No special privileges

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

yes. The setbacks do not accommodate this property/structure.  
The front & rear setbacks overlap each other.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

Yes.

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6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

Not injurious to public welfare.

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7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.
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**The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:**

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

**REQUIRED SUBMITTALS: All of the following must be submitted in order to have a complete application. Please submit one paper copy and one electronic copy of all materials.**

- ☐ Correct application fee. Check may be payable to "City of Key West."
- ☐ Notarized verification form signed by property owner or the authorized representative.
- ☐ Notarized authorization form signed by property owner, if applicant is not the owner.
- ☐ Copy of recorded warranty deed
- ☐ Property record card
- ☐ Signed and sealed survey
- ☐ Site plan (plans MUST be signed and sealed by an Engineer or Architect)
- ☐ Floor plans
- ☐ Stormwater management plan

# Warranty Deed

Doc# 2189380 10/04/2018 3:09PM  
Filed & Recorded in Official Records of  
MONROE COUNTY KEVIN MADOK

10/04/2018 3:09PM  
DEED DOC STAMP CL: Brit \$2,275.00

Doc# 2189380  
Bk# 2930 Pg# 873

Commitment Number: 180046386  
Seller's Loan Number: 0013255831

After Recording Return To:  
ServiceLink, LLC  
1400 Cherrington Parkway  
Moon Township, PA 15108

Actual Sales Price: \$325,000.00

PROPERTY APPRAISAL (TAX/APN) PARCEL IDENTIFICATION NUMBER  
00049440-000000

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### SPECIAL/LIMITED WARRANTY DEED

WELLS FARGO BANK, N.A., TRUSTEE, IN TRUST FOR THE REGISTERED HOLDERS OF PARK PLACE SECURITIES, INC., ASSET-BACKED PASS-THROUGH CERTIFICATES, SERIES 2005-WCW1, whose mailing address is 3217 S. Decker Lake Dr., Salt Lake City, UT 84119, hereinafter grantor, for \$10.00 (Ten Dollars and Zero Cents) in consideration paid, grants with covenants as set out below to CHARLES WICHT and CARMELA WICHT, hereinafter grantees, whose tax mailing address is 1301 FIRST STREET, Key West, FL 33040, the following real property:

LOT 14, SQUARE 34, OF THE KEY WEST REALTY COMPANY'S FIRST SUBDIVISION OF PART OF TRACT 21 AND LOTS 1, 2, 3, 4 AND 5, THE ISLAND OF KEY WEST ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 43 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

Property Address is: 1301 FIRST STREET, Key West, FL, 33040

GRANTOR WILL DEFEND THE SAME AGAINST THE LAWFUL CLAIMS OF ALL PERSONS CLAIMING BY, THROUGH OR UNDER GRANTOR, AND NO OTHERS.

Being the same property transferred in the Certificate of Title recorded on 1/11/2018 as Instrument No. 2150795.



Seller makes no representations or warranties, of any kind or nature whatsoever, other than those set out above, whether expressed, implied, implied by law, or otherwise, concerning the condition of the title of the property.

The real property described above is conveyed subject to the following: All easements, covenants, conditions and restrictions of record; All legal highways; Zoning, building and other laws, ordinances and regulations; Real estate taxes and assessments not yet due and payable; Rights of tenants in possession.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title interest, lien equity and claim whatsoever of the said grantor, either in law or equity, to the only proper use, benefit and behalf of the grantees forever.

Executed by the undersigned on Sept 25, 2018:

**WELLS FARGO BANK, N.A., TRUSTEE, IN TRUST FOR THE REGISTERED  
HOLDERS OF PARK PLACE SECURITIES, INC., ASSET-BACKED PASS-  
THROUGH CERTIFICATES, SERIES 2005-WCW1, By Select Portfolio Servicing,  
Inc., as Attorney in Fact**

By: [Signature] SEP 25 2018

Name: Conrad Stribakos

Its: DOC. CONTROL OFFICER

Signed, Sealed and Delivered  
in the presence of these Witnesses  
(one of whom may be the Notary):



<u>[Signature]</u>	SEP 25 2018	Jason Maughan
Witness (signature on above line)	Printed Name	
<u>[Signature]</u>	SEP 25 2018	Terry Boren
Witness (signature on above line)	Printed Name	

STATE OF Utah

COUNTY OF Salt Lake

\*Personally Known

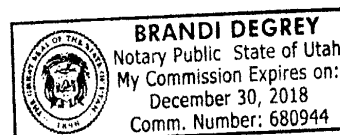
**\*\*Document Control Officer**

The foregoing instrument was acknowledged before me on Sept. 25, 2018. Before me, Brandi DeGrey, a Notary Public of said State and County aforesaid, personally appeared \* Conrad Stribakos Its \*\* on behalf of Select Portfolio Servicing, Inc., as Attorney in Fact for **WELLS FARGO BANK, N.A., TRUSTEE, IN TRUST FOR THE REGISTERED HOLDERS OF PARK PLACE SECURITIES, INC., ASSET-BACKED PASS-THROUGH CERTIFICATES, SERIES 2005-WCW1** with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who, upon oath, acknowledged himself or herself to be Document Control Officer of Select Portfolio Servicing, Inc. its Attorney In Fact, and that he or she executed the foregoing instrument for the purposes contained herein by personally signing the above described instrument.

Brandi DeGrey  
Notary Public **Brandi DeGrey**

This instrument prepared by:

Jay A. Rosenberg, Esq., Rosenberg LPA, Attorneys At Law, 3805 Edwards Road, Suite 550,  
Cincinnati, Ohio 45209 (513) 247-9605 Fax: (866) 611-0170.



Doch# 2189380  
Bk# 2930 Pg# 876

**SELECT PORTFOLIO SERVICING, INC.**  
**CERTIFICATE OF AUTHORITY**

I, Jason H. Miller am duly appointed Secretary of Select Portfolio Servicing, Inc. (the "Corporation"), a corporation organized under the laws of the State of Utah, and do hereby certify as of the date of this certification that the following individuals have been duly elected by the Directors of the Corporation or appointed as otherwise authorized pursuant to the Corporation's Bylaws:

- A. The following Officers of the Corporation are duly elected, designated as Servicing many servicing agreements, pooling and servicing agreements, custodial agreements, or similar documents, and are authorized, empowered and directed to take all action, to act as authorized signors, and to execute and deliver all documentation necessary in order to carry out the principal business activities of the Corporation:

Timothy J. O'Brien	Chief Executive Officer
Randhir Gandhi	President and Chief Operating Officer
Lester Cheng	Executive Vice President – Business Development
	Executive Vice President – General Counsel and
Jason H. Miller	Secretary
Darrin Dafney	Executive Vice President – Jacksonville Operations
Jeff T. Graham	Executive Vice President – Chief Compliance Officer
	and Assistant Secretary
Peter J. Crowley	Senior Vice President – Chief Financial Officer
Bryan Symkoviak	Senior Vice President – Analytics
Jacqueline Johnson	Senior Vice President – Human Resources
Kevin Warren	Senior Vice President – Loss Mitigation
Amanda Brinkerhoff	Senior Vice President – Loan Resolution
Jeff Cole	Senior Vice President – Loan Resolution
Joseph Arico	Senior Vice President – Default Management
Murali Palanganatham	Senior Vice President – Information Technology
Jerry French	Senior Vice President – RRR
Curtis Pulsipher	Senior Vice President – Loan Administration
Kalyana C. Nimmagadda	Senior Vice President - Servicing Administration
Cameron Ward	Assistant Secretary

- B. The following officers of the Corporation are duly appointed and authorized to act on behalf of the Corporation for the limited purpose of executing and delivering, as authorized signors, nondisclosure agreements, any and all affidavits, assignments, attestations, verifications, certifications, instruments, agreements, and other documents in connection with any foreclosure, bankruptcy, eviction, reconveyance, and other matters related to mortgage loans and properties serviced by the Corporation, or necessary for offering, listing, and consummating the sale and conveyance of real estate serviced by the Corporation, including, without limitation, deeds, mortgages,

assignments, allonges, releases, requests for collateral documents from custodians or trustees, powers of attorney and such other title or transfer documents as may be reasonably required in connection with the sale or transfer of mortgage loans by the Corporation to third parties, the sale or transfer by the Corporation of real estate owned and acquired in connection with the Corporation's business of conducting foreclosures on mortgage loans serviced by the Corporation, or such other documents as may otherwise be required to fulfill the duties of **Vice President**:

Amy J. DelaCerna	Jamie Houston	Nate Green
Anthony Rasquinha	Jennifer Szczypkowski	Nikhil Jaganathan
Ashley Mendoza	Kevin Funk	Nikum Patel
Brent Bonham	Kevin Rucci	RavikanthTadinada
Cameron Ward	Lindsey Ballard	Russ Thomas
Chris Wheeler	Mendi Leisure	Shaun Dennery
Dennis Cook	Michael (Bud) Hertig	Susan Bassett
Don Nielsen	Michael Kruger	Timothy P. O'Shea
Dustin Stephenson	Michele L. Crampton	Troy Rasmussen
Gordon Canada	Michelle Simon	Valerie Ruseler
Greg Ott	Mike Maynard	William M. Wareham

- C. The following officers of the Corporation are duly appointed and authorized to act on behalf of the Corporation for the limited purpose of executing and delivering, as authorized signors, any and all affidavits, assignments, attestations, verifications, certifications, instruments, agreements, and other documents in connection with any foreclosure, bankruptcy, eviction, reconveyance, and other matters related to mortgage loans and properties serviced by the Corporation, or necessary for offering, listing, and consummating the sale and conveyance of real estate serviced by the Corporation, including, without limitation, deeds, mortgages, assignments, allonges, releases, requests for collateral documents from custodians or trustees, powers of attorney and such other title or transfer documents as may be reasonably required in connection with the sale or transfer of mortgage loans by the Corporation to third parties, the sale or transfer by the Corporation of real estate owned and acquired in connection with the Corporation's business of conducting foreclosures on mortgage loans serviced by the Corporation, or such other documents as may otherwise be required to fulfill the duties of **Document Control Officer**:

Aaron Call	Jacob Cantwell	Michelle Kirchhefer
Alexandrea Huefner	Jaime Gilson	Mindy Farnsworth
Allen Schneider	James Burphy	Mirela Oviatt
Ally Perez	Janalyn Lievano	Monica Vongdara
Alma Catalan	Jared Murphy	Mychal Robinson
Amanda M. Easterbrook	Jaren French	Nancy L. Benincosa
Amber Child	Jason Maughan	Nancy Nuon
Amy Hoggan	Javier Esquivel	Nancy van der Meide
Ana Novakovich	Jeaneen Chandler	Nanda Sookhai


Andrew Benefiel	Jeanette Navajo	Neiba Prieto
Aneita Montgomery	Jeff Fox	Nicholas Wright
Angela Atene	Jennifer Cano	Omu Sherpa
Angie Hazen	Jennifer L. Hoisington	Oscar Quezada
Annette Jeanblanc	Jessica Samaniego	Paige Bushnell
Ashley Cox	Jessica Thomas	Palina Thorsted
Ashley Farrell	Jill Johnson	Pamela Evans
Asuncion Santiago	Joe Black	Patricia Lerwill
Barbara Neale	Jolene M. Whitaker	Patrick Pittman
Beann Phommahaxay	Jon Korhonen	Patrick Riquelme
Ben Lambert	Jonathan Baclayon	Paul Carranza
Bernie Echt	Joni McCloyn	Paul Douglas
Bill Koch	Juan Granados	Pauline Kunz
Brad F. Nash	Julia Voros	Pedro Matheu
Braelin Johanson	Justin Thomas	Rachel Funk
Brandi Davis	Kajay Williams	Randall W. Holland
Brian Lanstra	Kara Oreno	Randall Wessman
Bridget Estarella Leiva	Kari Ott	Ray Salazar
Bridget Green	Karter Nelson	Rebecca Tsouras
Brittany Deppe	Katy Kamahele	Reid Vaenuku
Brooke Horrocks	Kelly Rowe	Reuben Dunn
Bryan Ball	Kelsie Kunz	Richard Ortiz
C. Lacey Blanton	Kendall Proeun	Rita Merlo
Carlos Sanchez	Kenneth B. Hampton	Rob J. Musgrave
Cecili Sadler	Kiana Tebbs	Rocio M. Jex
Chad Trump	Kim McElreath	Rodrigo A Monroy
Chanell Mathews	Kimberly Pratt	Rosalee Woods
Chanthaly Many-Goldfarb	Korene Korologos	Ryan Fullmer
Christine Wells	Krista Beierle	Ryan Hyland
Cindy Hill	Larry Gonzales	Ryan Kunz
Conrad Stribakos	Latdy Dara	Rylie Naylor
Cora Allen	Laura B. Shepherd	Sabrina Martinez
Coty Evans	Laura Lynn Dyson	Samuel Dearden
Craig Fisher	Linda Holmes	Sandi Widdowson
Cristina Diaz de Leon	Lindsey Stewart	Sandy Leon
Crystal Lynn Butterfield	Lisa Rene Jones	Sandy Rivadeneira
Cynthia May	Lizette Torres	Sara Larsen
Cynthia R. Rimer	Lloyd E. May	Sara Parkin
Daniel Haley	Lorena Medina	Shanda Simmons
Daniel M. Goldston	Lucas Griffin	Shanda Swilor
Daniel Maynes	Lucretia Birkinshaw	Shane Bentley
David Hanson	Luis Ruiz-Velazquez	Shawntelle Kehr
David M. Wagner	Lusi Talili	Shelbie Russell
David Romo	Lydia Overman	Shelby Twitchell



October 30, 2017

Debra Kenter	Lynda Andersen	Sherrilyn Heflin
Deevina Kissoon	Madison DaRonche	Sherry Benight
Destiny Taylor	Maggie Wood	Siobhan Billingsley
Diana Memmott	Majesh Antony	Sioux Johnstone
Diane Harward	Malissa Wilkins	Stephanie Davey
Diane Weinberger	Marco Montes De Oca	Stephanie Jolley
Didred S. Siliezar	Maria Landinez	Stephanie Stoddard
Dilan Foutz	Maria Soberon	Stormie Medina
Douglas Bohne	Maria Stutz Felt	Susan Pyle
Dustin Knight	Mark Syphus	Sylvia Davies
Dylan Hill	Martin Marsing	Tamelia Cattaneo
Eddie Jaramillo	Mary Angie Judd	Terry Boren
Eli Ollerton	Matt Huerta	Thomas Braga
Erica Knorr	Matthew Romrell	Thomas Waltermann
Erika Smith	Meagan Proctor	Tiffany Skaife
Ethan Clark	Megan Herring	Tina Martin
Francia Gamez	Megan Koontz	Tony Wilde
Frieda Maluia	Melinda Sanchez	Toon Hobbs
Gabriela Gutierrez	Melissa Braun	Tracey Nicastro
Gina Feigh	Melissa Schultz	Travis Blanchard
Gina Hiatt	Melissa Smith	Trent Roesbery
Gina Mecham	Merlobel Custodio	Whitney Robinson
Heather Perkins-Canas	Mesepa Aleki	Yanet Zavala
Herb Brown	Michael Burke	Yesenia Villagomez
Irma Villabroza	Michelle Enoch	Zury Oakey
Jackie Anderson		

Dated: October 30, 2017

  
Jason H. Miller  
Secretary

MONROE COUNTY  
OFFICIAL RECORDS

# **Property Record Card**

### Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

### Summary

**Parcel ID** 00049440-000000  
**Account#** 1050032  
**Property ID** 1050032  
**Millage Group** 10KW  
**Location** 1301 1ST St, KEY WEST  
**Address**  
**Legal** KW REALTY COS FIRST SUB PB1-43 LOT 14 SQR 34 TR 21 OR119-132/33 OR592-391 OR732-504/05 OR758-313/15 OR758-1363 OR766-81 OR1057-1325 OR1816-415/16L/E OR2098-2192/93 OR2887-5/6C/T OR2930-873  
**Description** (Note: Not to be used on legal documents.)  
**Neighborhood** 6183  
**Property Class** SINGLE FAMILY RESID (0100)  
**Subdivision** Key West Realty Co's First Sub  
**Sec/Twp/Rng** 05/68/25  
**Affordable** No  
**Housing**



### Owner

**WICHT CHARLES**  
 29054 Violet Dr  
 Big Pine Key FL 33043

**WICHT CARMELA**  
 1301 1st St  
 Key West FL 33040

### Valuation

	2018	2017	2016	2015
+ Market Improvement Value	\$145,589	\$145,589	\$125,678	\$129,030
+ Market Misc Value	\$10,941	\$10,989	\$11,086	\$9,682
+ Market Land Value	\$201,960	\$187,823	\$186,304	\$178,751
= Just Market Value	\$358,490	\$344,401	\$323,068	\$317,463
= Total Assessed Value	\$210,044	\$205,724	\$201,493	\$200,092
- School Exempt Value	(\$25,000)	(\$25,000)	(\$25,000)	(\$25,000)
= School Taxable Value	\$185,044	\$180,724	\$176,493	\$175,092

### Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	5,100.00	Square Foot	51	100

### Buildings

**Building ID** 3967  
**Style** GROUND LEVEL  
**Building Type** S.F.R. - R1 / R1  
**Gross Sq Ft** 1674  
**Finished Sq Ft** 1424  
**Stories** 1 Floor  
**Condition** AVERAGE  
**Perimeter** 166  
**Functional Obs** 0  
**Economic Obs** 0  
**Depreciation %** 33  
**Interior Walls** PLYWOOD PANEL  
**Exterior Walls** C.B.S.  
**Year Built** 1958  
**EffectiveYearBuilt** 1992  
**Foundation** CONCR FTR  
**Roof Type** FLAT OR SHED  
**Roof Coverage** TAR & GRAVEL  
**Flooring Type** CONC ABOVE GRD  
**Heating Type** NONE with 0% NONE  
**Bedrooms** 2  
**Full Bathrooms** 1  
**Half Bathrooms** 0  
**Grade** 500  
**Number of Fire Pl** 0

Code	Description	Sketch Area	Finished Area	Perimeter
FLE	4 SIDED SECT	174	174	0
CPF	CARPORT FIN	250	0	0
FLA	FLOOR LIV AREA	1,250	1,250	0
<b>TOTAL</b>		<b>1,674</b>	<b>1,424</b>	<b>0</b>

### Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
CONC PATIO	1969	1970	1	288 SF	2
FENCES	1969	1970	1	308 SF	2
LC UTIL BLDG	1969	1970	1	80 SF	1
WALL AIR COND	1983	1984	1	1 UT	1
WALL AIR COND	1988	1989	1	1 UT	2
FENCES	1969	2000	1	1458 SF	5
CONC PATIO	1993	1994	1	240 SF	2

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
9/25/2018	\$325,000	Warranty Deed	2189380	2930	873	12 - Unqualified	Improved
1/11/2018	\$100	Certificate of Title	2150795	2887	5	12 - Unqualified	Improved
3/22/2005	\$650,000	Warranty Deed		2098	2192	Q - Qualified	Improved
7/1/1978	\$41,500	Conversion Code		766	81	Q - Qualified	Improved

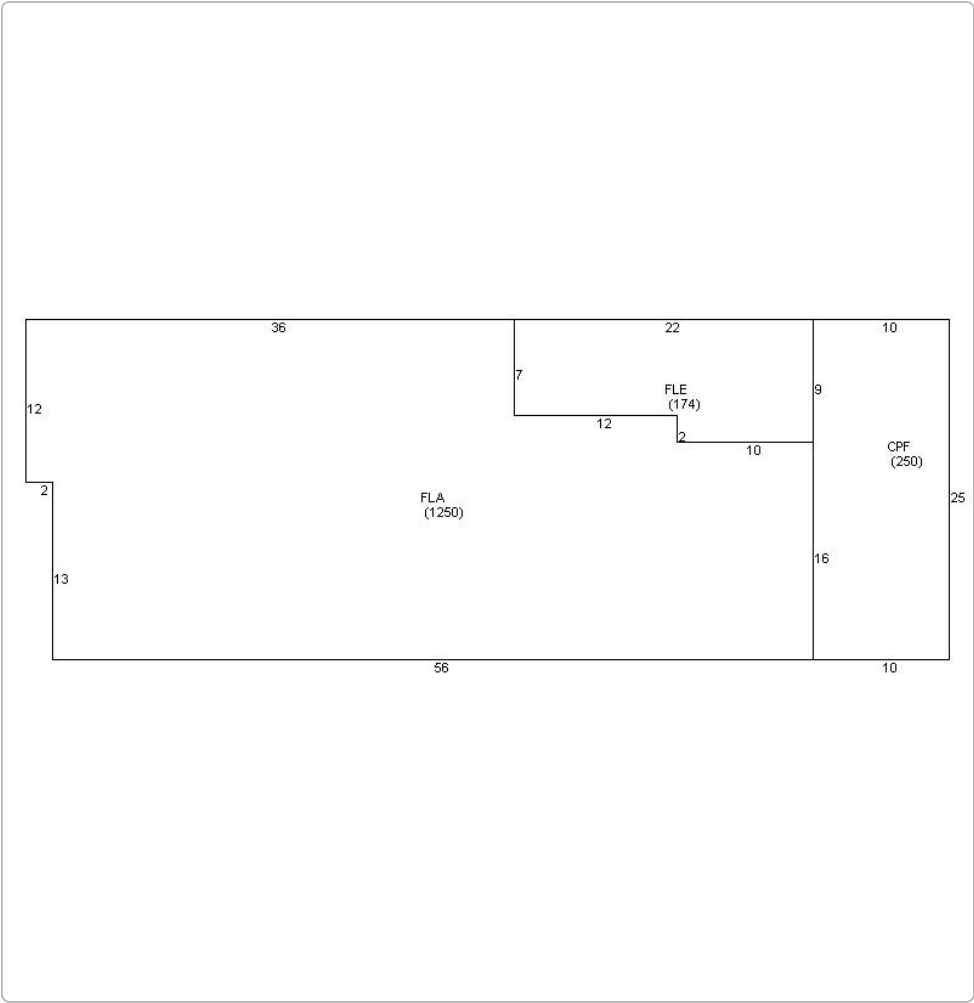
Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
19-0347	1/30/2019		\$36,300	Residential	INSTALL 4 NEW IMPACT DOORS RENOVATE ONE BATHROOM REMOVE & REPLACE EXISTING KITCHEN CABINETS.
19-0348	1/30/2019		\$1,500	Residential	AFTER THE FACT DRYWALL PERMIT.
06-0226	1/19/2006	6/1/2006	\$6,500	Residential	REMOVE/REPLACE DRYWALL,3 FRENCH DOORS,8 INTERIOR DOORS,DAMAGED FRAMING
06-0217	1/15/2006	6/1/2006	\$800	Residential	HURRICANE REPAIRS REPLACE ALL ELECTRICAL FIXTURES
05-4812	11/3/2005	12/27/2005	\$1,000	Residential	ADD 2' TO EXISTING FENCE.
05-1026	3/30/2005	12/27/2005	\$100	Residential	REMOVE ROOF - CARPORT
03-0076	1/17/2003	10/31/2003	\$2,000	Residential	UPGRADE ELECTRIC
0102917	8/20/2001	10/31/2001	\$1,200	Residential	3 SQS BUILTUP
9601642	4/1/1996	8/1/1996	\$2,000	Residential	ROOF

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



TRIM Notice

Trim Notice

2018 Notices Only

No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.

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Version 2.2.22

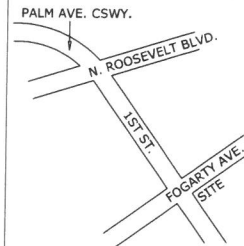




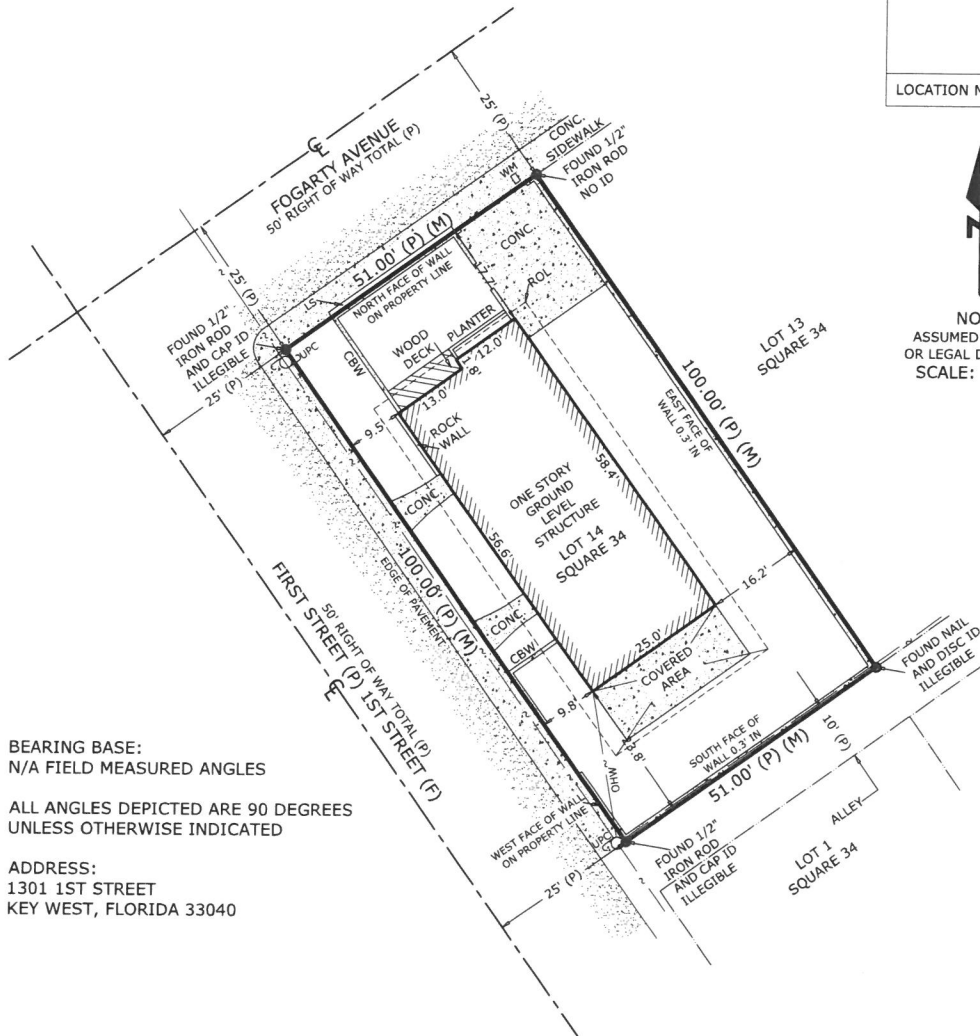
# Survey

# MAP OF BOUNDARY SURVEY

LOT 14, SQUARE 34  
KEY WEST MORTGAGE COMPANY'S FIRST SUBDIVISION  
OF PART OF TRACT 21 AND LOTS 1,2,3,4 AND 5  
PLAT BOOK 1, PAGE 43  
KEY WEST, MONROE COUNTY, FLORIDA



LOCATION MAP NOT TO SCALE



BEARING BASE:  
N/A FIELD MEASURED ANGLES

ALL ANGLES DEPICTED ARE 90 DEGREES  
UNLESS OTHERWISE INDICATED

ADDRESS:  
1301 1ST STREET  
KEY WEST, FLORIDA 33040

## LEGAL DESCRIPTION:

Lot 14, Square 34, KEY WEST REALTY COMPANY'S FIRST SUBDIVISION OF Part of Tract 21 and Lots 1,2,3,4 and 5, the Island of Key West according to the Plat thereof, as recorded in Plat Book 1, Page 43, of the Public Records of Monroe County, Florida.

## CERTIFIED TO:

Charles Wicht and Carmela Wicht  
ServiceLink, LLC  
Chicago Title Insurance Company

## GENERAL NOTES

- 1.) THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE PARTIES LISTED HEREIN AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER. LIKEWISE, ANY REUSE OF THIS SURVEY FOR ANY PURPOSE OTHER THAN WHICH WAS ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF THE UNDERSIGNED SURVEYOR & MAPPER, WILL BE DONE SO AT THE RISK OF THE REUSING PARTY AND WITHOUT ANY LIABILITY TO THE UNDERSIGNED SURVEYOR & MAPPER.
- 2.) LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS.
- 3.) THIS SURVEY DOES NOT PURPORT TO SHOW OWNERSHIP OF WALLS OR FENCES ALONG PROPERTY LINES.
- 4.) ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- 5.) FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN.
- 6.) MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.

## ABBREVIATIONS:

BFP = BACK-FLOW PREVENTER	NAVD = NORTH AMERICAN VERTICAL DATUM 1988
BO = BLOW OUT	NGS = NATIONAL GEODETIC SURVEY
C = CALCULATED	NGVD = NATIONAL GEODETIC VERTICAL DATUM (1929)
CA = CENTRAL ANGLE	OHV = OVERHEAD WIRES
CL = CENTERLINE	P = PLAT
CLF = CHAINLINK FENCE	PID = PERMANENT IDENTIFIER
D = DEED	POB = POINT OF BEGINNING
EB = ELECTRIC BOX	POC = POINT OF COMMENCEMENT
EM = ELECTRIC METER	R = RADIUS
(F) = FIELD	ROL = ROOF OVERHANG LINE
FFE = FINISHED FLOOR ELEVATION	SCO = SANITARY CLEAN-OUT
FH = FIRE HYDRANT	SMH = SANITARY MANHOLE
FI = FENCE INSIDE	SV = SEWER VALVE
FO = FENCE OUTSIDE	TOS = TOP OF BANK
FOL = FENCE ON LINE	TOS = TOE OF SLOPE
GI = GRATE INLET	UPC = UTILITY POLE CONCRETE
GL = GROUND LEVEL	UPM = UTILITY POLE METAL
GW = GUY WIRE	UPW = UTILITY POLE WOOD
L = ARC LENGTH	WDF = WOOD FENCE
LE = LOWER ENCLOSURE	WM = WATER METER
LP = LIGHT POLE	WV = WATER VALVE
LS = LANDSCAPING	
M = MEASURED	
MHWL = MEAN HIGH WATER LINE	

LINES NOT TO SCALE  
 LOT LINES  
 CHAIN LINK FENCE  
 OVERHEAD WIRES  
 UTILITY POLE WOOD  
 UTILITY POLE CONC.

SCALE: 1"=20'

FIELD WORK DATE 09/21/18

REVISION DATE -/-

SHEET 1 OF 1

DRAWN BY: GF

CHECKED BY: RER

INVOICE #: 18091902

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THIS SURVEY, WHEN SCHEDULE B HAS BEEN PROVIDED MEETS THE PROVISIONS OF FLORIDA ENDORSEMENT FORM 9, SUBPARAGRAPH 1(B) 1(SETBACKS), 1(B)3(ENCROACHMENTS), & 1(B)4(EASEMENTS), SCHEDULE "B" HAS NOT BEEN PROVIDED.

SIGNED: *Robert E. Reece*  
 ROBERT E. REECE  
 PROFESSIONAL SURVEYOR AND MAPPER  
 FLORIDA LICENSE NO. LS 5632

NOT VALID WITHOUT THE  
 SIGNATURE AND THE  
 ORIGINAL RAISED  
 SEAL OF A FLORIDA  
 SURVEYOR AND MAPPER

**REECE & ASSOCIATES**  
 PROFESSIONAL SURVEYOR AND MAPPER, LB 7846  
 127 INDUSTRIAL ROAD, BIG PINE KEY, FL 33043  
 OFFICE (305) 872 - 1348  
 FAX (305) 872 - 5622

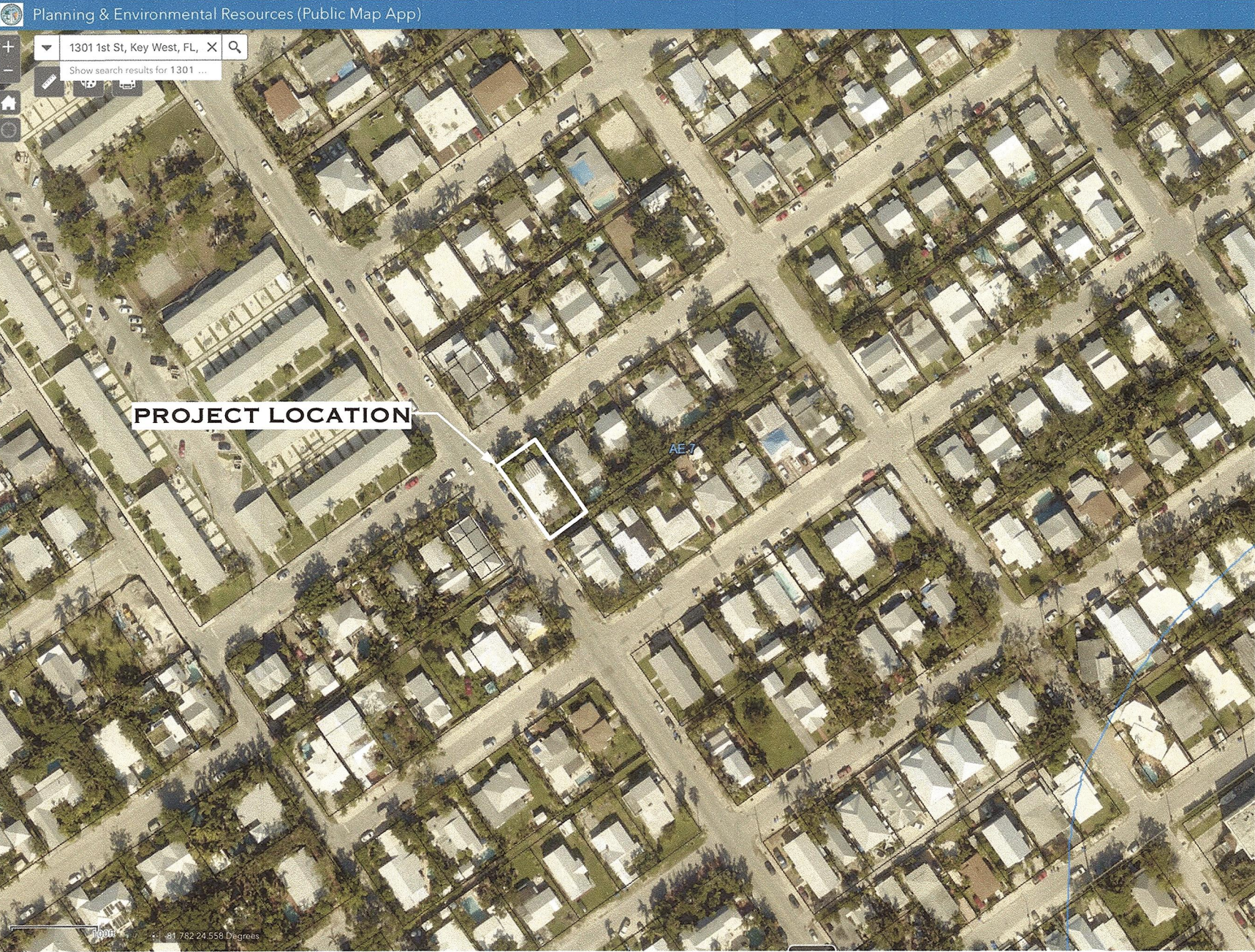
# **Proposed Plans**



SITE DATA1301 1ST STREET

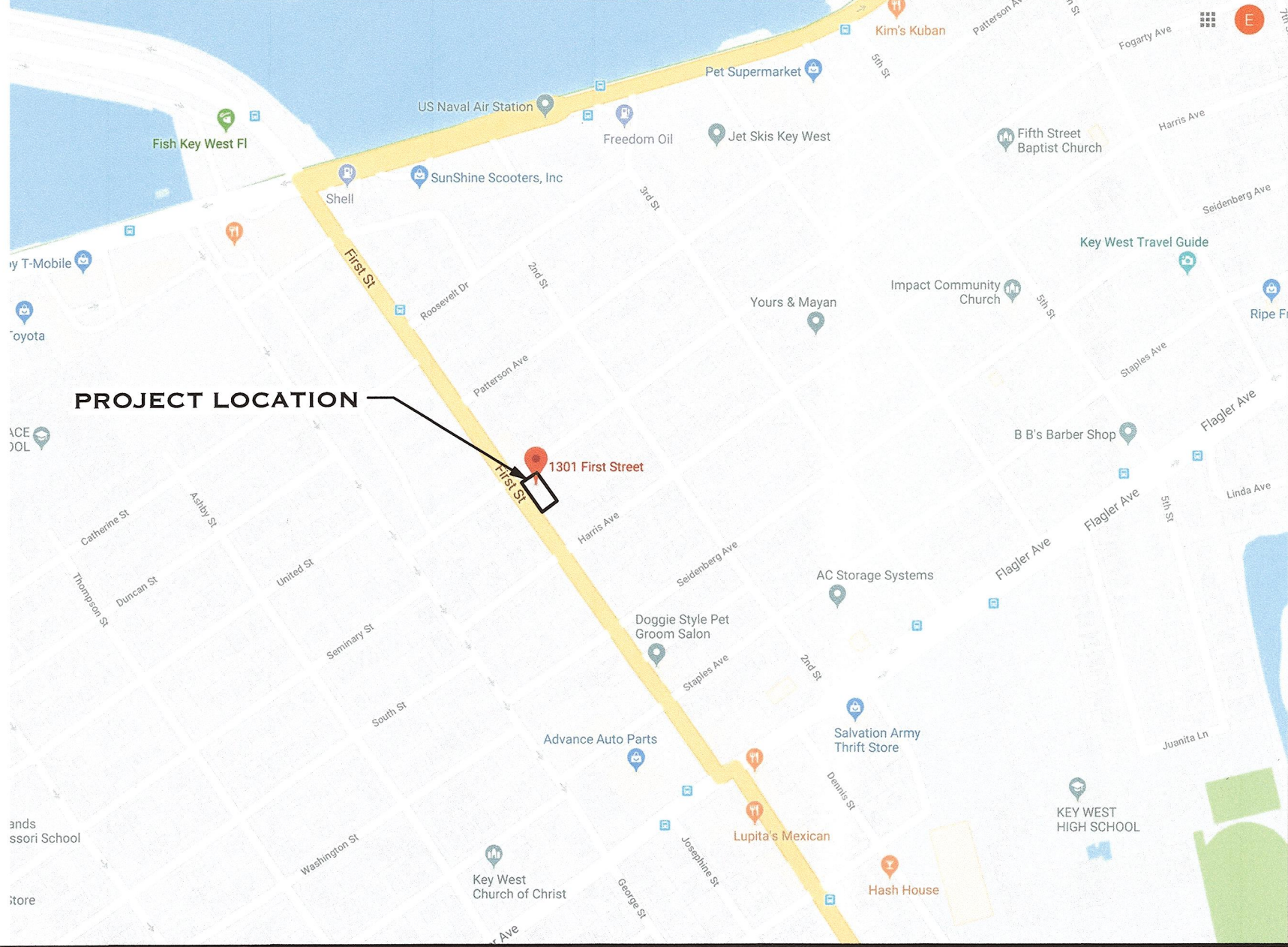
ITEM	EXISTING	REQ. PER LDR	PROPOSED	REMARK
DISTRICT	SF	SF	SF	RE #00049440-000000
SITE AREA	5,100 SQ. FT.	6,000 SQ. FT.	EXISTING	EXISTING
LOT SIZE	51' X 100' SEE SURVEY	-	-	EXISTING
IMPERVIOUS	2,691 SQ. FT. (52.7%)	2,550 SQ. FT. (50% MAX)	2,691 SQ. FT. (52.7%)	NO CHANGE
OPEN SPACE	2,409 SQ. FT. (47.2%)	1,750 SQ. FT. (35% MIN)	2,409 SQ. FT. (47.2%)	CONFORMS
BUILDING COV.	2,113 SQ. FT. (41%)	1,750 SQ. FT. (35% MAX.)	2,113 SQ. FT. (41%)	NO CHANGE
ACCESSORY STRUCTURE REAR YARD COV.	NONE	-	-	NA
SETBACKS LINE OF EXISTING & NEW ROOF OVERHANGS TO MATCH				
FRONT SETBACK (1ST STREET)	7'-2"	30'	7'-2"	ROOF HEIGHT VARIANCE REQUIRED
REAR SETBACK	13'-10"	25'	13'-10"	ROOF HEIGHT VARIANCE REQUIRED
SIDE STREET SETBACK (FOGARTY)	16'-2"	10'	16'-2"	CONFORMS
SIDE SETBACK	12'-4 1/2"	5'	12'-4 1/2"	CONFORMS
BUILDING HEIGHT	10'-1 1/2" +/-	25' + 5'	14'-7 1/2" +/-	CONFORMS

FEMA MAP FLOOD ZONE AE 7, 7'+1'=8'



A RENOVATION FOR  
CHARLES WICHT  
1301 FIRST STREET  
KEY WEST , FL 33040

SITE LOCATION MAP



DESIGN NOTES:

THE NEW ROOF & NEW PORCH STRUCTURE IS DESIGNED TO MEET THE FOLLOWING:  
FBC 2017 - RESIDENTAL (FBC-R)  
A.S.C.E. 24-05 REGULATIONS  
PER FBC 07/ASCE 07-10  
EXPOSURE "D"  
LIVE LOAD 40 PSF  
WIND LOAD 180 M.P.H.  
SEE STRUCTURAL DRAWINGS, SHEET S-1

NEW ROOF TO MATCH EXISTING ROOF OVERHANGS, NOT TO INCREASE SURFACE COVERAGE.

GENERAL NOTES:


- DO NOT SCALE ANY DRAWING.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. LARGER SCALE DETAILS HAVE PRECEDENCE OVER SMALLER SCALE DETAILS. ANY DISCREPANCIES ARE TO REPORTED TO ARCHITECT PRIOR TO CONSTRUCTION.
- CONSULT THE ARCHITECT IN THE EVENT ANY ITEM OF WORK NECESSARY FOR THE PROPER COMPLETION OF THE PROJECT IS NOT SPECIFICALLY COVERED IN THE DRAWINGS.
- ALL WORK SHALL BE OF SUPERIOR QUALITY PERFORMED IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS, ALL BUILDING CODE REQUIREMENTS AND IN A PROFESSIONAL MANNER BY MECHANICS SKILLED AND LICENSED IN THEIR RESPECTIVE TRADES.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, ERECTED AND CONNECTED IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.
- ANY DISCREPANCIES BETWEEN DRAWINGS, LOCAL CODES, BUILDING INSPECTOR REQUIREMENTS AND/OR EXISTING CONDITIONS SHALL BE REFERRED TO THE ARCHITECT FOR RESOLUTION. ALL DIMENSIONS AND CONDITIONS OF EACH TRADE ARE TO BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION OR THE WORK OF EACH SPECIFIC TRADE.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF MUNICIPAL, LOCAL, FEDERAL AND STATE LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, AND CONVENTIONAL GUIDELINES, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
- ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE WORK SHALL BE REMOVED, REPLACED, AND RECTIFIED.
- ALL LEGALLY REQUIRED APPROVALS AND PERMITS NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE OBTAINED.
- ALL TIE-INS AND UTILITY SERVICES ARE TO BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANY.
- ALL CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO THE COMPLETION OF THE PROJECT.
- ALL EXISTING TREES, SHRUBS, VEGETATION, AND LANDSCAPE ELEMENTS OR FEATURES ADJACENT TO AND IN THE VICINITY OF THE BUILDING AND STAGING AREAS SHALL BE PROTECTED DURING THE ENTIRE PERIOD OF CONSTRUCTION.
- ANY REVISIONS MUST BE APPROVED BY: ARCHITECT PRIOR TO TO CONSTRUCTION.
- ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND ENGINEER. DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE FOR USE ON THIS PROJECT ONLY AND USE OR REPRODUCTION OF A PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S AND ENGINEER'S WRITTEN PERMISSION THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED AND SIGNED BY THE ARCHITECT/ENGINEER.

DRAWING SCHEDULE:

T1.1	TITLE, SITE DATA & PROJECT INFO
C1.1	SURVEY, AND ARCHITECTURAL SITE PLAN
EX1.1	EXISTING FLOOR PLANS
EX2.1	EXISTING ELEVATIONS & SECTIONS
A1.1	FLOOR PLAN & ROOF PLAN
A2.1	ELEVATIONS & SECTIONS
S-1	FOUNDATION & DETAILS
S-2	ROOF PLANS & DETAILS

SCOPE OF WORK:

NEW METAL ROOF, WOOD TRUSSES, AND PORCH BEAMS & COLUMNS TO THE EXISTING RESIDENCE OF 1301 FIRST STREET.



T.S. NEAL  
ARCHITECTS INC.  
22974 OVERSEAS HWY  
CUDJOE KEY, FL  
33042  
305-340-8857  
251-422-9547



A RENOVATION FOR  
CHARLES WICHT  
1301 FIRST STREET  
KEY WEST, FL 33040


DRAWING TITLE:  
TITLE & PROJECT  
INFORMATION

DRAWN: EDSA - TSN  
CHECKED: TSN  
DATE: 05-13-2019

-	-
-	-

REVISION #	DATE

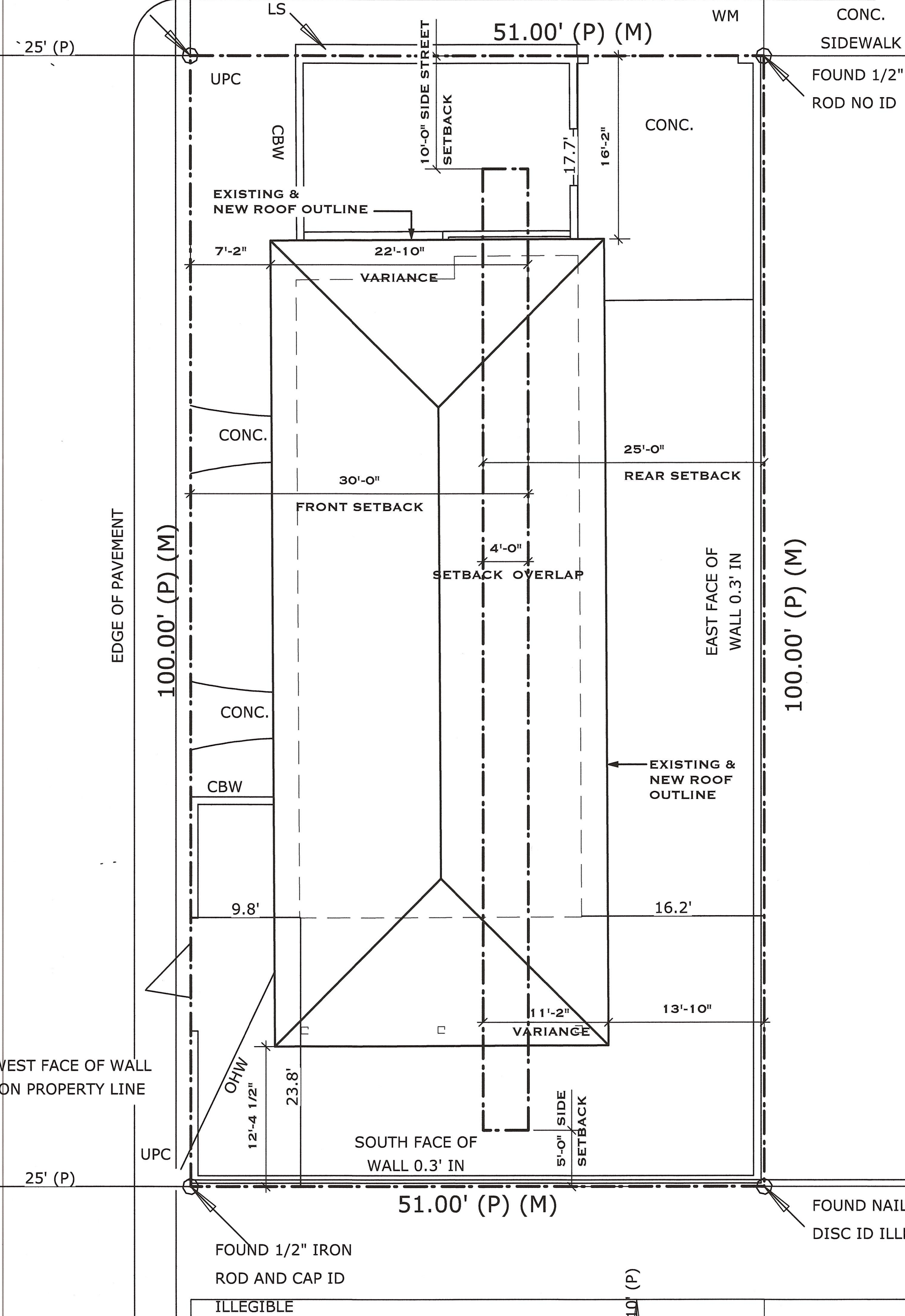
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SHEET #



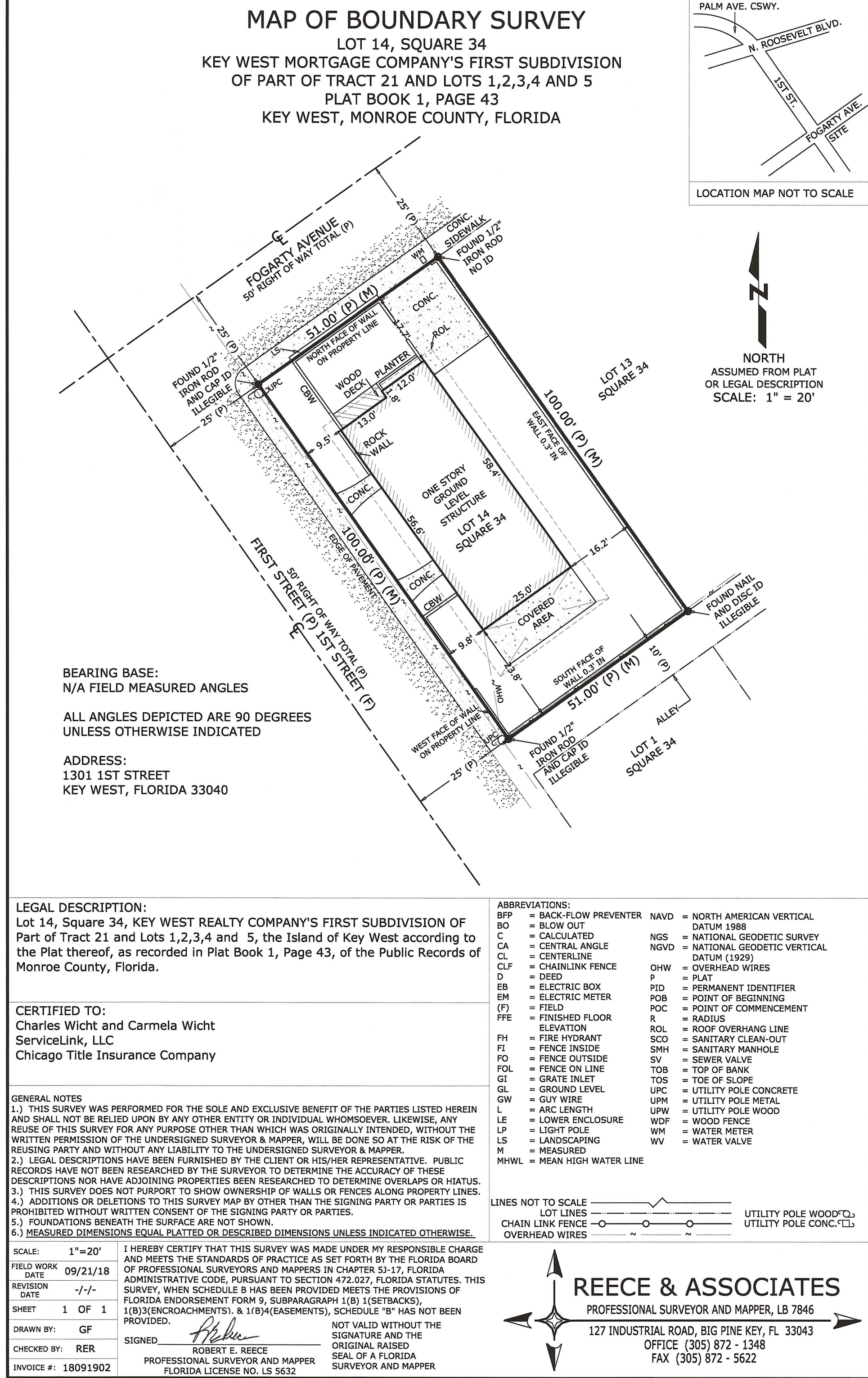
TSN  
T. S. NEAL ARCHITECTS, INC.



FOUND 1/2" IRON  
ROD AND CAP ID  
ILLEGIBLE



1  
C1.1 ARCHITECTURAL SITE PLAN  
SCALE: 1/8" = 1'-0"



BEARING BASE:  
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ALL ANGLES DEPICTED ARE 90 DEGREES  
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SCALE: 1" = 20'  
FIELD WORK DATE: 09/21/18  
REVISION: -/-/  
SHEET: 1 OF 1  
DRAWN BY: GF  
CHECKED BY: RER  
INVOICE #: 18091902

SIGNED: ROBERT E. REECE  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA LICENSE NO. LS 5632

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER

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UPW = UTILITY POLE WOOD  
WDF = WOOD FENCE  
WM = WATER METER  
WV = WATER VALVE

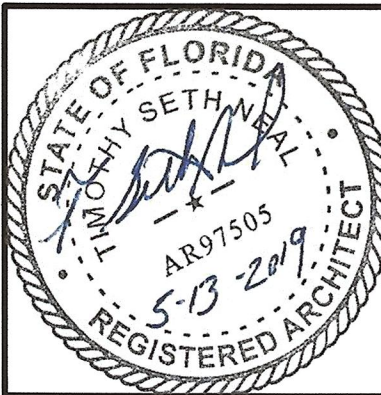
LINES NOT TO SCALE  
CHAIN LINK FENCE  
OVERHEAD WIRES

UTILITY POLE WOOD  
UTILITY POLE CONC.

REECE & ASSOCIATES  
PROFESSIONAL SURVEYOR AND MAPPER, LB 7846  
127 INDUSTRIAL ROAD, BIG PINE KEY, FL 33043  
OFFICE (305) 872 - 1348  
FAX (305) 872 - 5622

SURVEY PROVIDED BY OWNER

T.S. NEAL  
ARCHITECTS INC.  
22974 OVERSEAS HWY  
CUDJOE KEY, FL  
33042  
305-340-8857  
251-422-9547



A RENOVATION FOR  
CHARLES WIGHT  
1301 FIRST STREET  
KEY WEST, FL 33040

DRAWING TITLE:  
ARCHITECTURAL SITE PLAN  
& SURVEY

DRAWN: EDSA - TSN  
CHECKED: TSN  
DATE: 05-13-2019

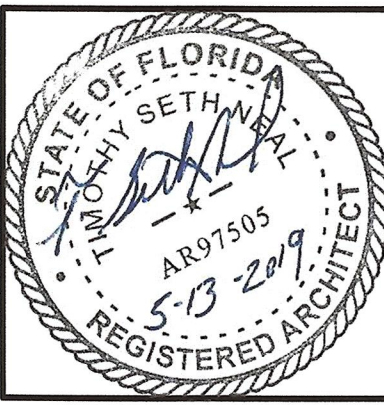
REVISION #	DATE

C1.1  
SHEET #

T.S. NEAL ARCHITECTS, INC.

TIMOTHY SETH NEAL FLA. REGISTRATION # AR97505



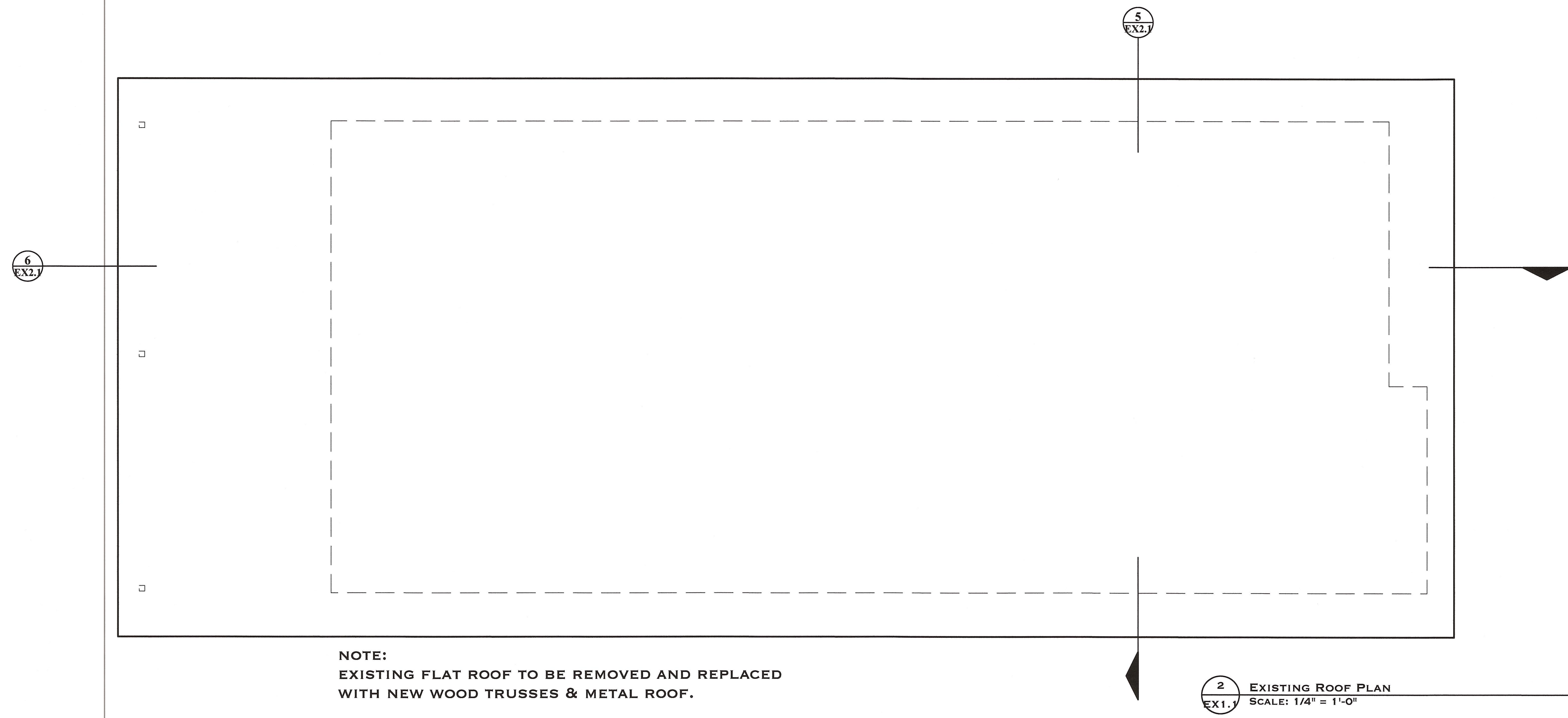
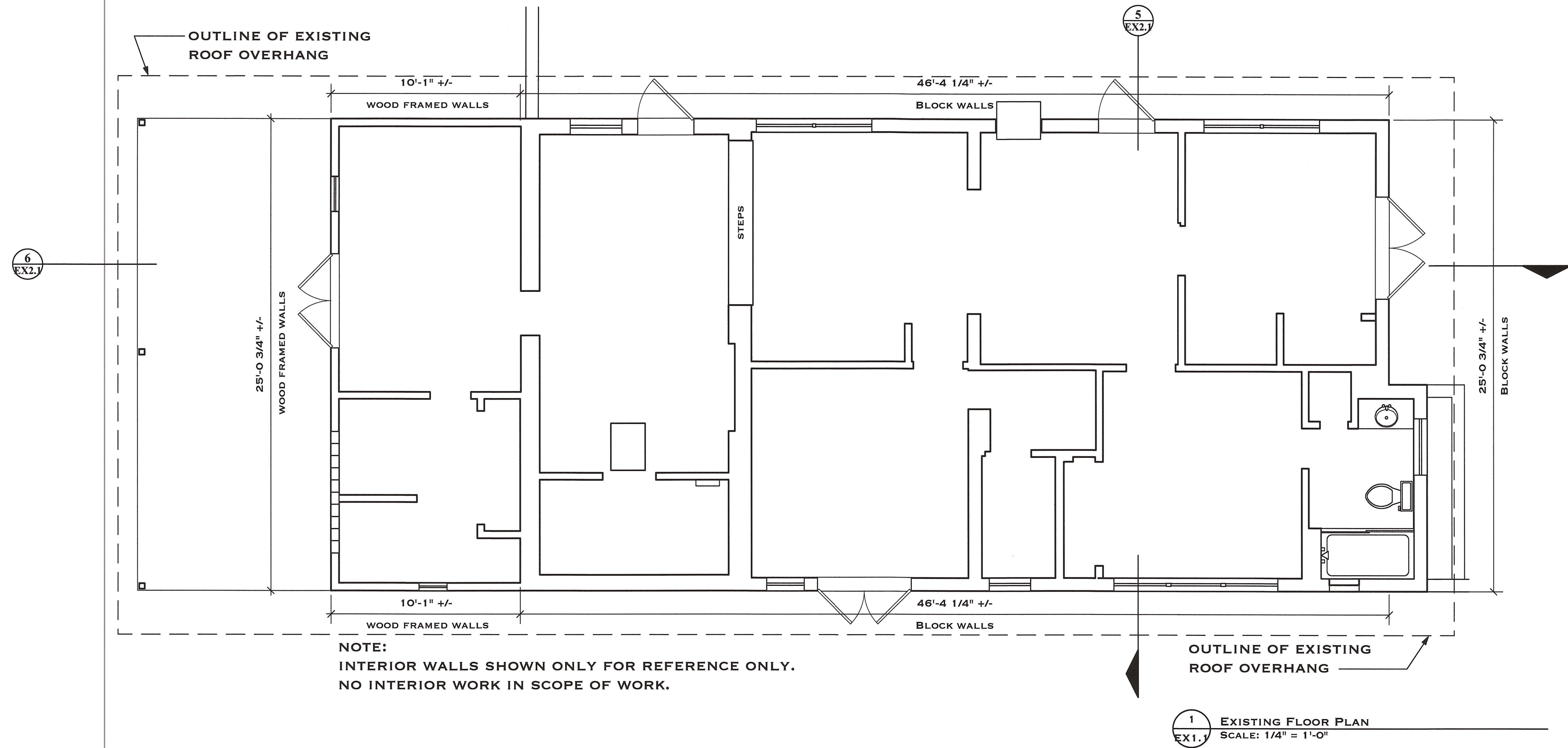


**A RENOVATION FOR**  
**CHARLES WICHT**  
1301 FIRST STREET  
KEY WEST, FL 33040

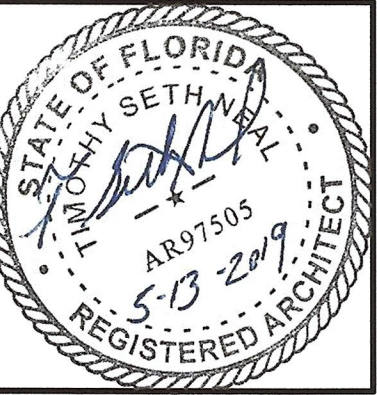
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**EXISTING FLOOR & ROOF PLAN**

**DRAWN:** EDNA - TSN  
**CHECKED:** TSN  
**DATE:** 05-13-2019

**REVISION #**   **DATE**  
  
**EX1.1**  
SHEET #







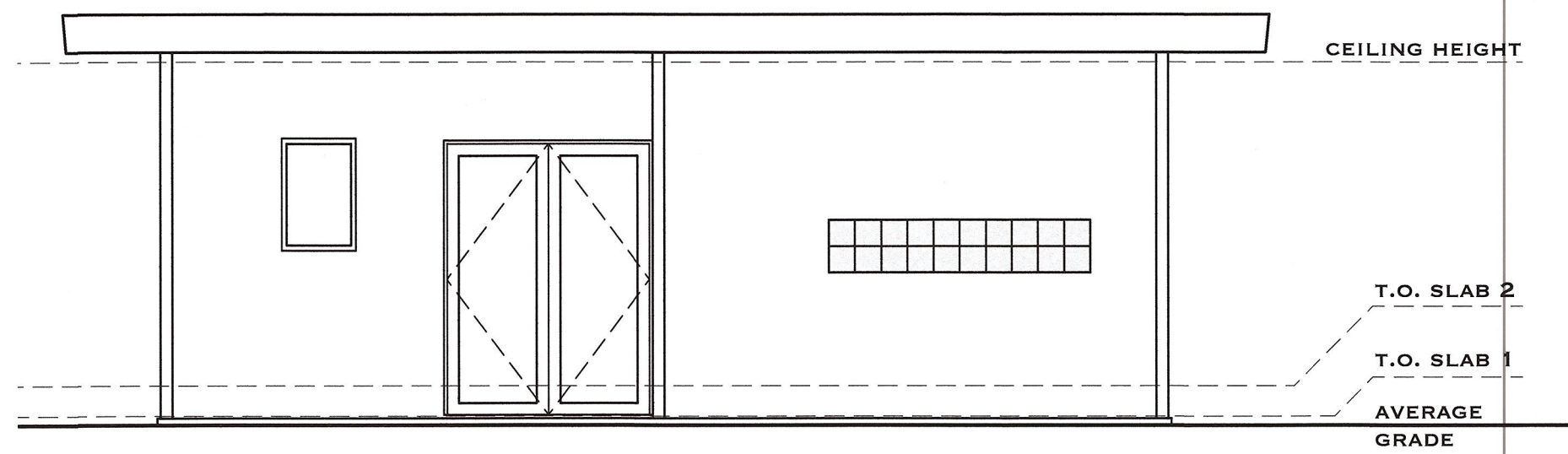
A RENOVATION FOR  
**CHARLES WICHT**  
1301 FIRST STREET  
KEY WEST, FL 33040

DRAWING TITLE:  
EXISTING ELEVATIONS

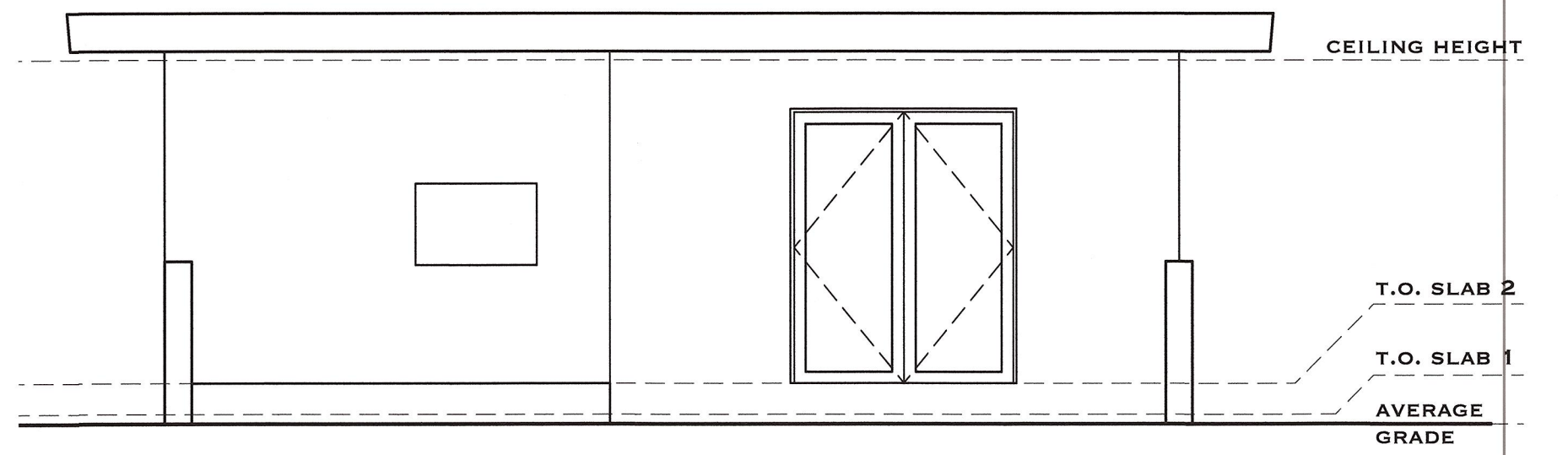
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CHECKED: TSN  
DATE: 05-13-2019


REVISION #    DATE

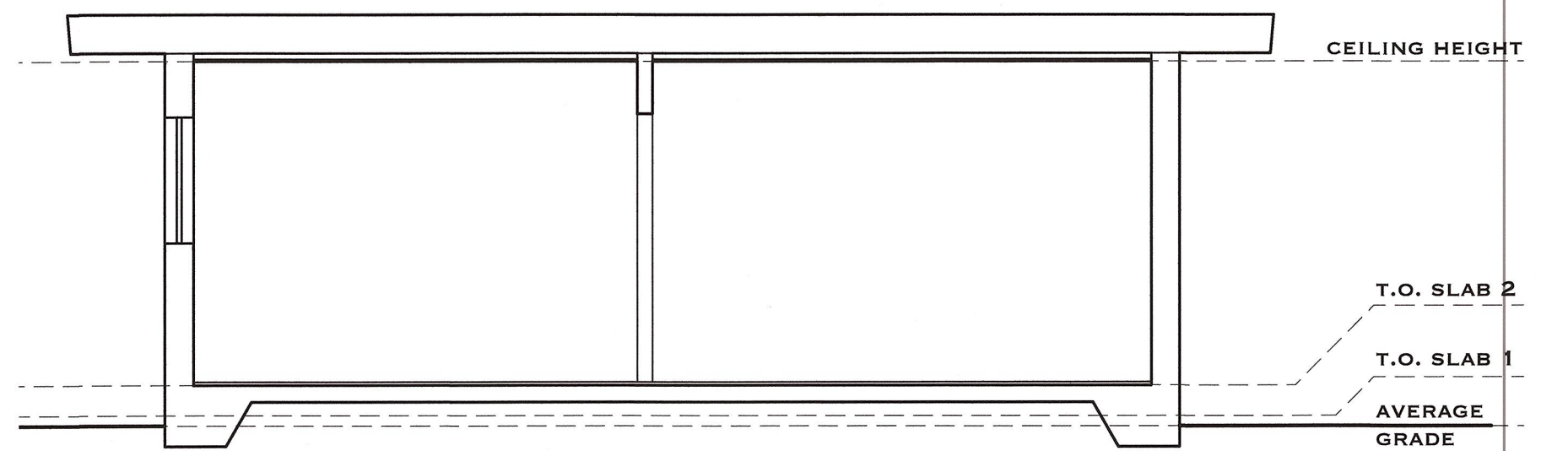
**EX1.2**  
SHEET #



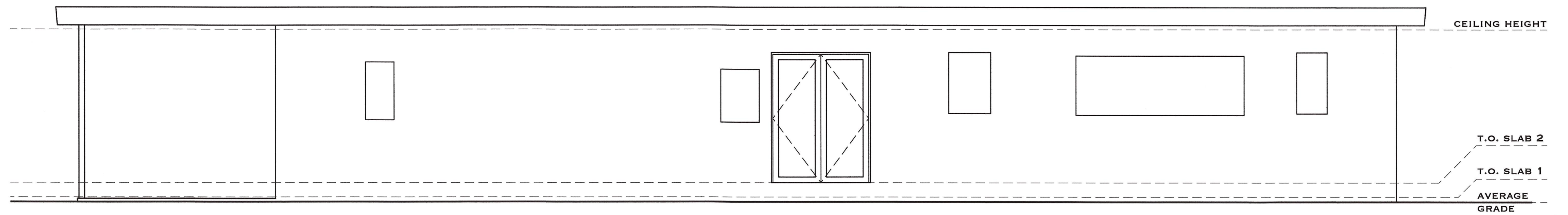
3 EXISTING ELEVATION - REAR  
SCALE: 1/4" = 1'-0"



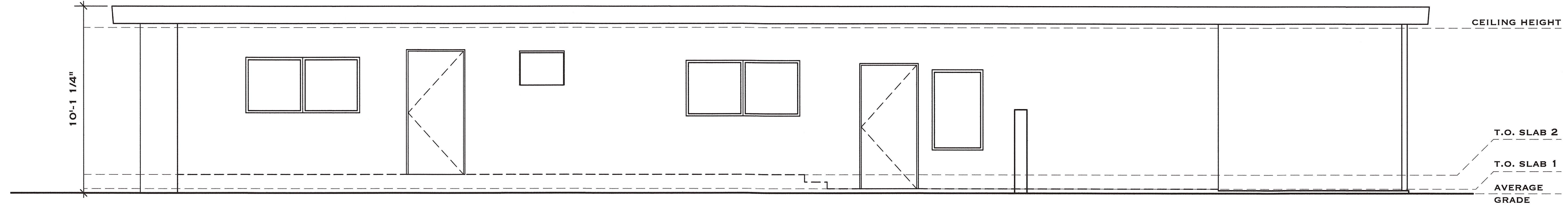
4 EXISTING ELEVATION - FRONT  
SCALE: 1/4" = 1'-0"



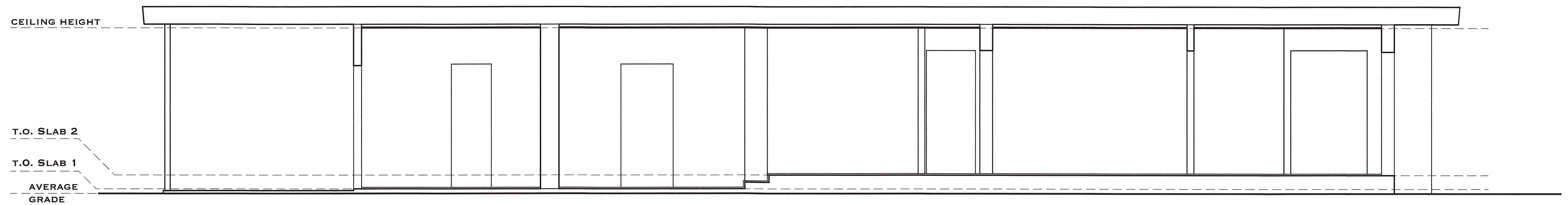
5 EXISTING CROSS SECTION  
SCALE: 1/4" = 1'-0"



1 EXISTING ELEVATION - SIDE  
SCALE: 1/4" = 1'-0"



2 EXISTING ELEVATION - SIDE  
SCALE: 1/4" = 1'-0"



6 EXISTING LONGITUDINAL SECTION  
SCALE: 1/4" = 1'-0"





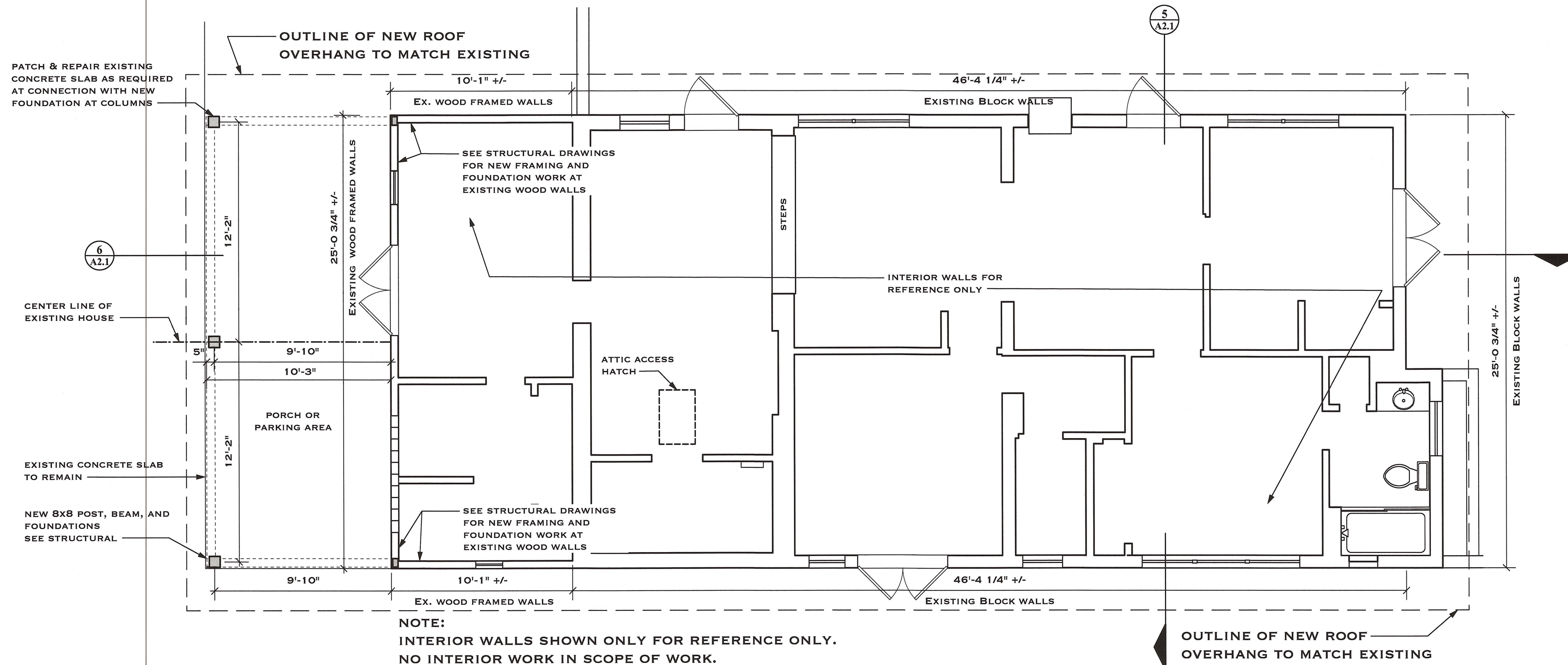
A RENOVATION FOR  
**CHARLES WICHT**  
1301 FIRST STREET  
KEY WEST, FL 33040

DRAWING TITLE:  
**PROPOSED FLOOR PLAN**

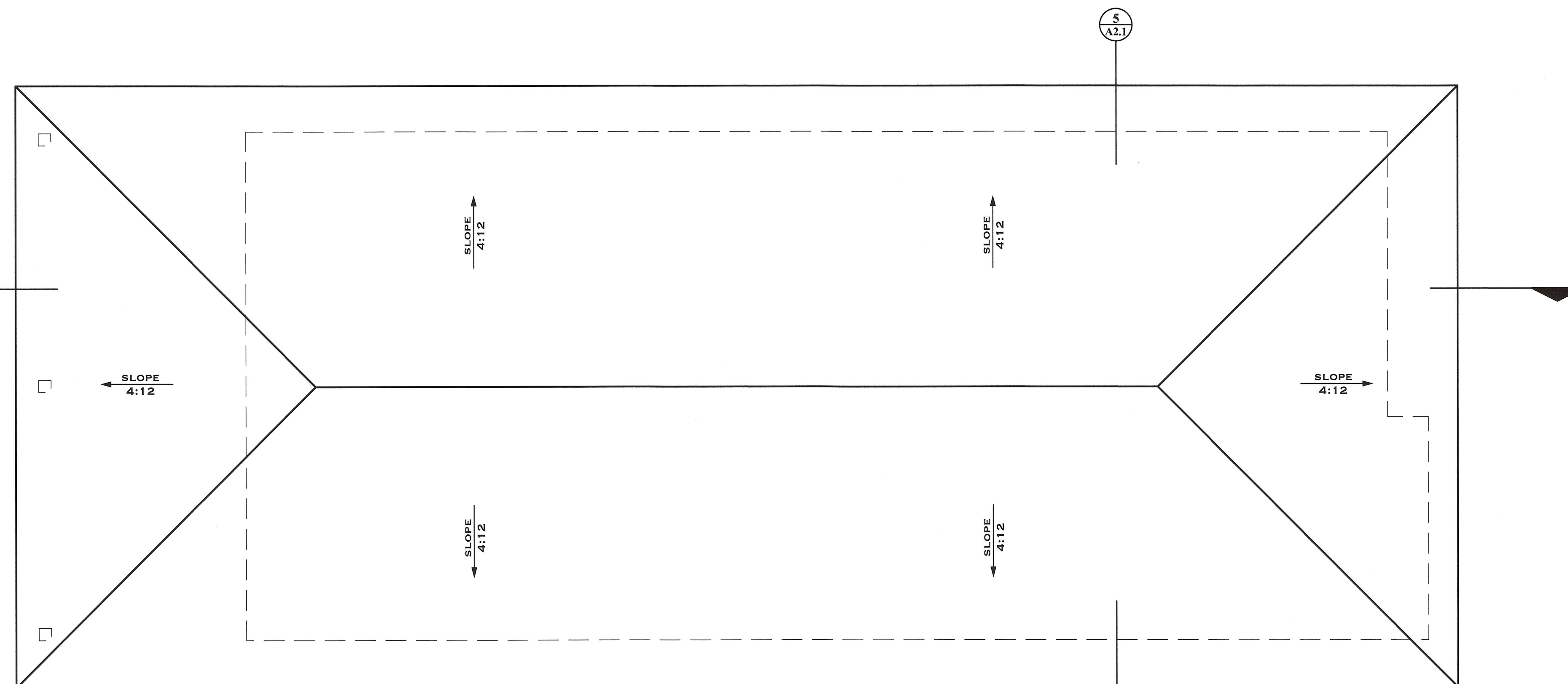
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CHECKED: TSN  
DATE: 05-13-2019

REVISION # DATE

**A1.1**  
SHEET #



1  
A1.1  
PROPOSED FLOOR PLAN  
SCALE: 1/4" = 1'-0"



2  
A1.1  
PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"

**ROOFING NOTES:**

PROVIDE METAL ROOFING SYSTEM & ALL REQUIRED COMPONENTS SIMILAR OR EQUAL TO BERRIDGE DOUBLE RIB, 24-GAUGE STEEL V-CRIMP.

REFER STRUCTURAL DRAWINGS FOR WIND PRESSURES AND DECKING REQUIREMENTS.

INSTALL NEW PEEL & STICK MEMBRANE UNDERLAYMENT.

VERIFY COMPATIBILITY OF ROOFING AND UNDERLAYMENT WITH MANUFACTURER.

ROOFING MANUFACTURER SHALL CONFIRM THAT METAL ROOFING MEETS ALL GOVERNING CODES REGARDING UPLIFT & WIND CRITERIA AND ANY OTHER DESIGN OR SPECIFIC CRITERIA AFFECTING THE ROOFING. PROVIDE NOA OR FLORIDA APPROVAL FOR ROOFING PRODUCT AND INSTALLATION. MANUFACTURERS INSTALLATION INSTRUCTIONS & RECOMMENDATION SHALL BE STRICTLY ADHERED TO.

ROOFING MANUFACTURER SHALL SUPPLY ALL PRODUCTS & COMPONENTS INCLUDING BUT NOT LIMITED TO FLASHING, TRIM, MITERED CORNERS, FASTENERS, SEALANT, ETC. COMPATIBLE WITH ROOFING SYSTEM FOR A COMPLETE AND WEATHERTIGHT ROOFING SYSTEM INSTALLED IN A FIRST-CLASS WORKMAN-LIKE MANNER. PROVIDE FLASHING AND TRIM AS PER MANUFACTURER'S RECOMMENDATIONS AND SMACNA'S REFERENCE MANUAL DETAILS.

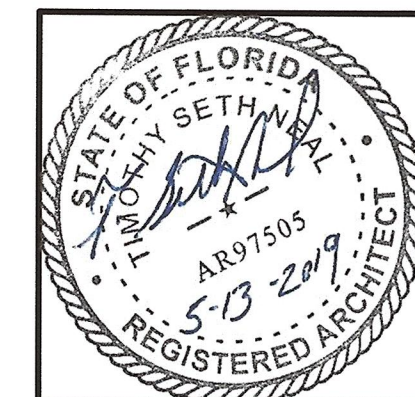
PROVIDE 20 YEAR MINIMUM FINISH WEATHERTIGHTNESS & CORROSION WARRANTY.





22974 OVERSEAS HWY  
CUDJOE KEY, FL  
33042

305-340-8857  
251-422-9547



**A RENOVATION FOR  
CHARLES WICHT  
1301 FIRST STREET  
KEY WEST, FL 33040**

**DRAWING TITLE:**  
**PROPOSED ELEVATIONS**

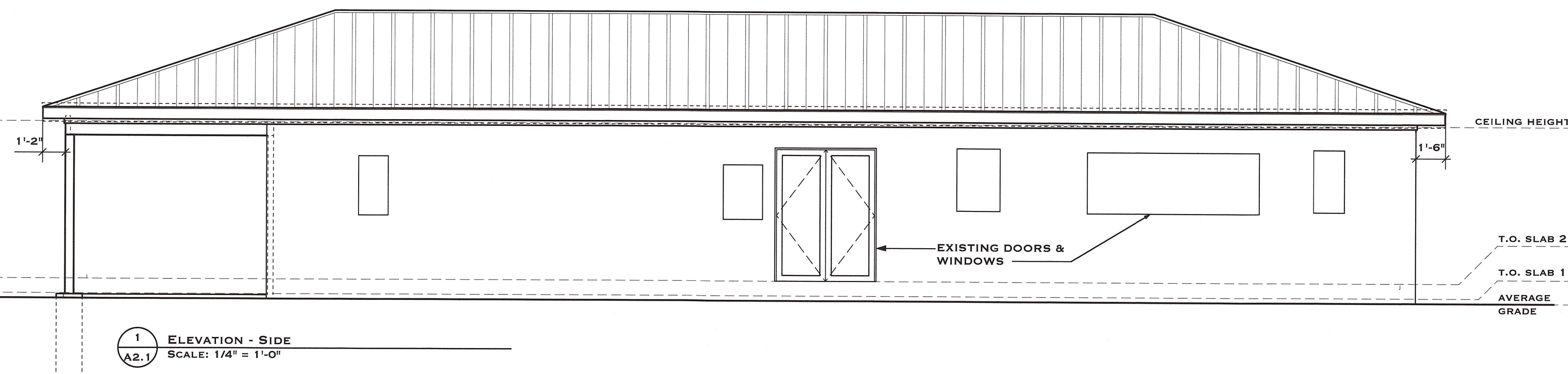
**DRAWN:** EDSA - TSN  
**CHECKED:** TSN  
**DATE:** 05-13-2019

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<b>REVISION #</b>	<b>DATE</b>

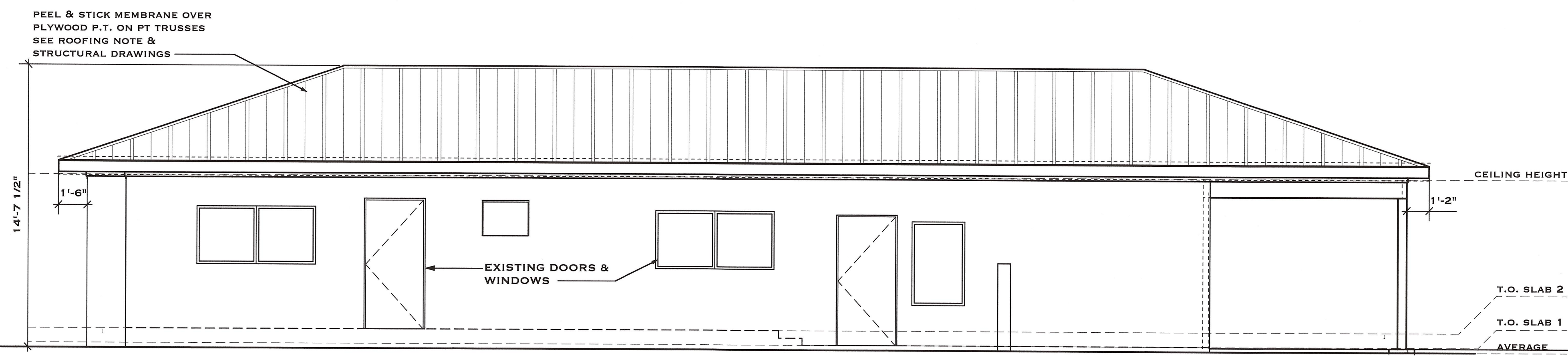
**A2.1**  
SHEET #



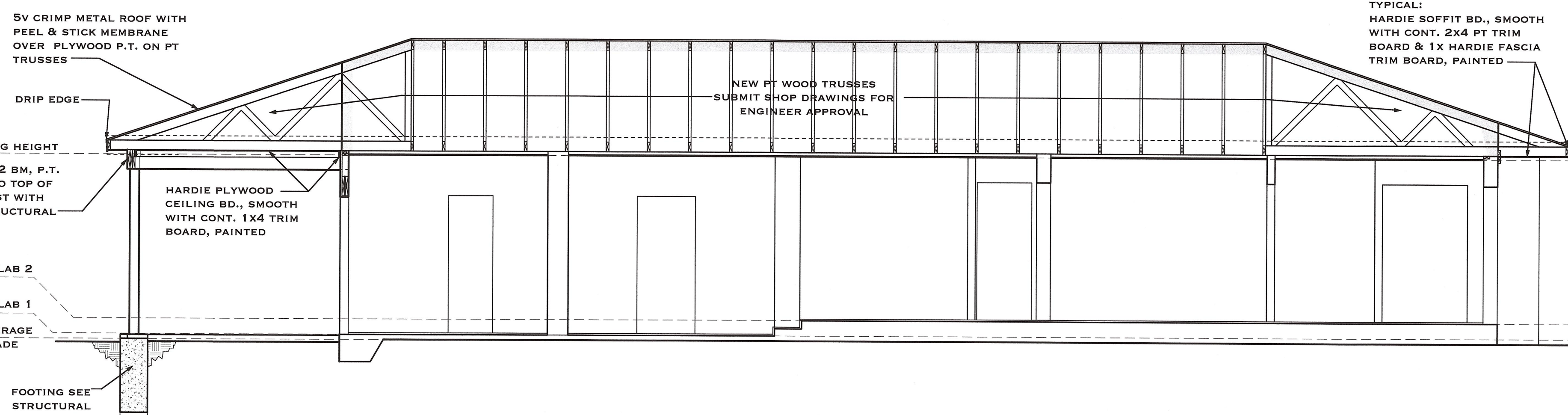
T. S. NEAL ARCHITECTS, INC.



1 ELEVATION - SIDE  
A2.1 SCALE: 1/4" = 1'-0"



2 ELEVATION - SIDE  
A2.1 SCALE: 1/4" = 1'-0"



6 LONGITUDINAL SECTION  
A2.1 SCALE: 1/4" = 1'-0"

5 CROSS SECTION  
A2.1 SCALE: 1/4" = 1'-0"

**TIMOTHY SETH NEAL FLA. REGISTRATION # AR97505**



## DESIGN DATA

THE WORK DEPICTED HEREIN WAS DESIGNED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 6TH EDITION (2017) - RESIDENTIAL BUILDING CODE & EXISTING BUILDING CODE ASCE 7-10, ASCE 24-14

THE WORK DEPICTED HEREIN WILL NOT YIELD ADDITIONAL IMPERVIOUS COVERAGE

OCCUPANCY CLASSIFICATION: R3  
CONSTRUCTION TYPE: V

THE FOLLOWING LOADINGS WERE USED:  
WIND LOAD: 180 MPH (ASCE 7-10) 3 SECOND GUST, RISK CATEGORY II  
EXPOSURE D, INTERNAL PRESSURE COEF. = ±0.18 (ENCLOSED)  
ROOF LIVE LOAD: 20 PSF  
UNINHABITABLE ATTIC WITH STORAGE - LIVE LOAD: 20 PSF

## GENERAL NOTES

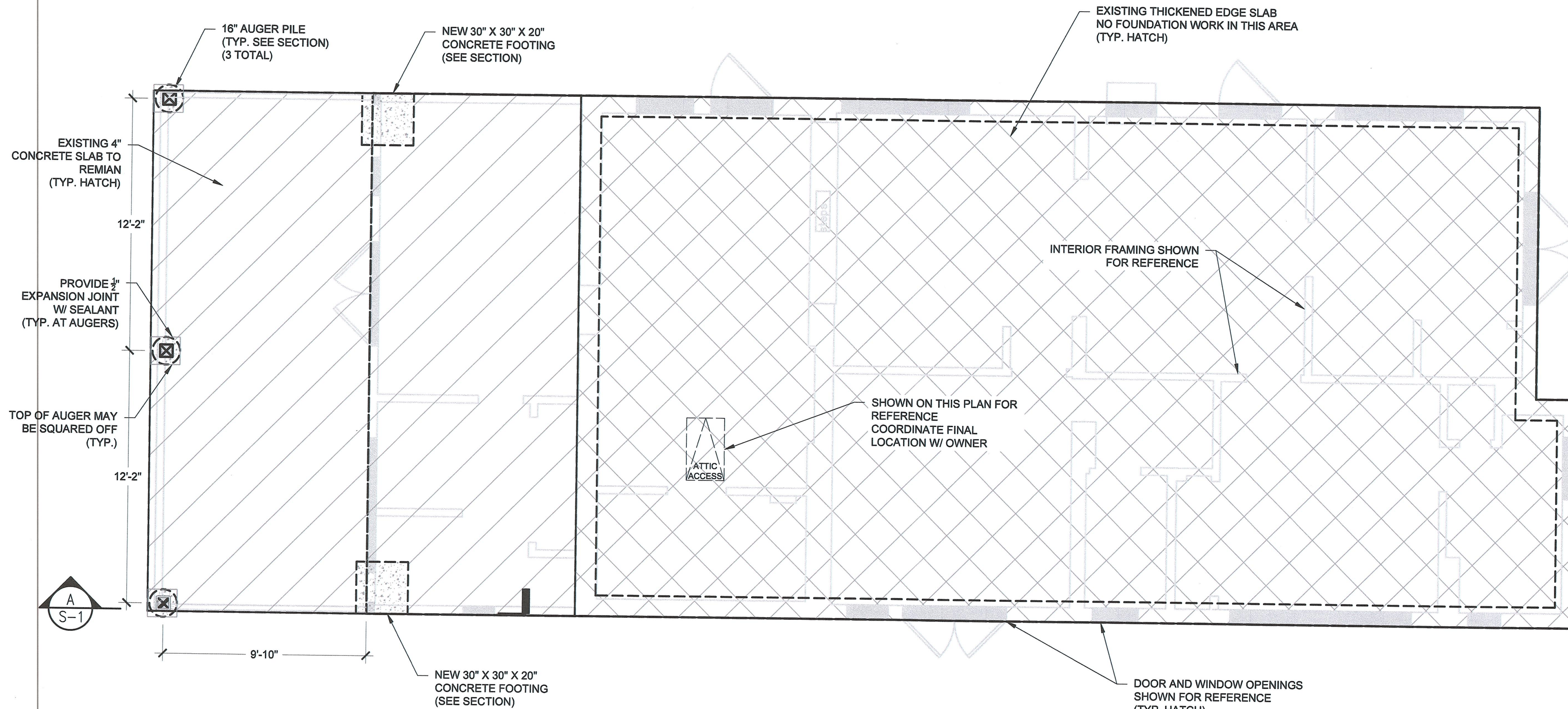
1. THESE PLANS ARE FOR THE WORK AT THE LOCATION SO DESIGNATED HEREIN.
2. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO COMPLETE THE WORK AND MAKE STRUCTURE READY FOR USE.
3. THERE SHALL BE NO DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE BID. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SITE AND REPORT ANY DISCREPANCIES, DIFFERENCES OR CONDITIONS THAT ARE UNSATISFACTORY OR UNSAFE.
5. NOTIFY THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCIES, DIFFERENCES, UNSATISFACTORY OR UNSAFE CONDITIONS. ANY MODIFICATIONS OR CHANGES MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND ENGINEER OF RECORD SHALL NOT BE ALLOWED. ANY REWORK, RESTORATION OR OTHER IMPACT AS A RESULT OF NOT OBTAINING SUCH PRIOR APPROVAL WILL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR COMPENSATION FROM THE OWNER.
6. THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY OR OTHER LOSS AT THE JOB TO ALL PERSONS EMPLOYED IN THE WORK, PERSONS VISITING THE WORK AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE, DUE TO THE WORK, TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
7. NO RESEARCH AS TO THE PRESENCE OF UNDERGROUND UTILITIES HAS BEEN INCLUDED ON OR PERFORMED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING SUNSHINE UTILITY LOCATE SERVICE PRIOR TO ANY CONSTRUCTION WITHIN ANY PUBLIC RIGHT-OF-WAY OR OTHER AREAS WHERE UNDERGROUND UTILITIES MAY BE PRESENT (I.E. IN AND AROUND UTILITY EASEMENTS, ETC.)
8. THE GENERAL CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL AND CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
9. THE CONTRACTOR SHALL PERFORM ALL WORK IN STRICT CONFORMANCE WITH THE PLANS, THE FLORIDA BUILDING CODE, 6TH EDITION (2017), LOCAL CODES AND ORDINANCES, MANUFACTURER RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. ANY CONFLICT BETWEEN THESE REQUIREMENTS AND THE MOST STRINGENT REQUIREMENTS SHALL GOVERN THE WORK.
10. SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL FLOOR AND ROOF SYSTEMS AND MECHANICAL SYSTEMS SHALL BEAR THE SEAL OF A FLORIDA PROFESSIONAL ENGINEER AS REQUIRED BY THE FLORIDA BUILDING CODE, 6TH EDITION (2017) AND SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY THE CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
11. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT THE CONTRACTOR CANNOT OBTAIN FROM DIMENSIONS, DETAIL OR SCHEDULE SHALL BE OBTAINED FROM THE ENGINEER OF RECORD.
12. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO PREVENT ANY CONFLICTS.
13. THE CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS. ALL CHANGES SHALL BE NOTED ON THE DRAWINGS AND (2) COMPLETE AS-BUILT SETS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF WORK.

## DEMOLITION NOTES

1. PRIOR TO SUBMITTING A BID, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON THE JOB SITE, AND ALSO AFTER AWARD, BUT PRIOR TO THE START OF CONSTRUCTION.
2. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE, AND SHALL BE PROPERLY REMOVED FROM THE SITE. COMPLY WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
3. ALL COST OF DEMOLITION INCLUDING PERMIT FEES, DISPOSAL FEES, ETC. ARE THE RESPONSIBILITY OF THE CONTRACTOR.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF AND TO CONFORM WITH ALL APPLICABLE DEMOLITION AND DISPOSAL CODES, SAFETY REQUIREMENT, AND ENVIRONMENTAL PROTECTION REGULATIONS OF ANY GOVERNMENTAL BODY HAVING JURISDICTION OVER THE WORK.
5. PROVIDE SAFETY BARRICADES AS REQUIRED TO PROTECT THE SAFETY OF THE GENERAL PUBLIC AND WORKERS ASSOCIATED WITH THE PROJECT.
6. PROVIDE BRACING AND SHORING AS REQUIRED TO TEMPORARILY SUPPORT STRUCTURAL MEMBERS DURING CONSTRUCTION. BRACING & SHORING OF STRUCTURAL MEMBERS SHALL BE DESIGNED AND/OR APPROVED BY A PROFESSIONAL ENGINEER.
7. DEMOLISHED MATERIAL CLASSIFIED AS CLEAN FILL MAY BE DISTRIBUTED ONSITE WHEN SPECIFICALLY APPROVED BY THE ENGINEER.

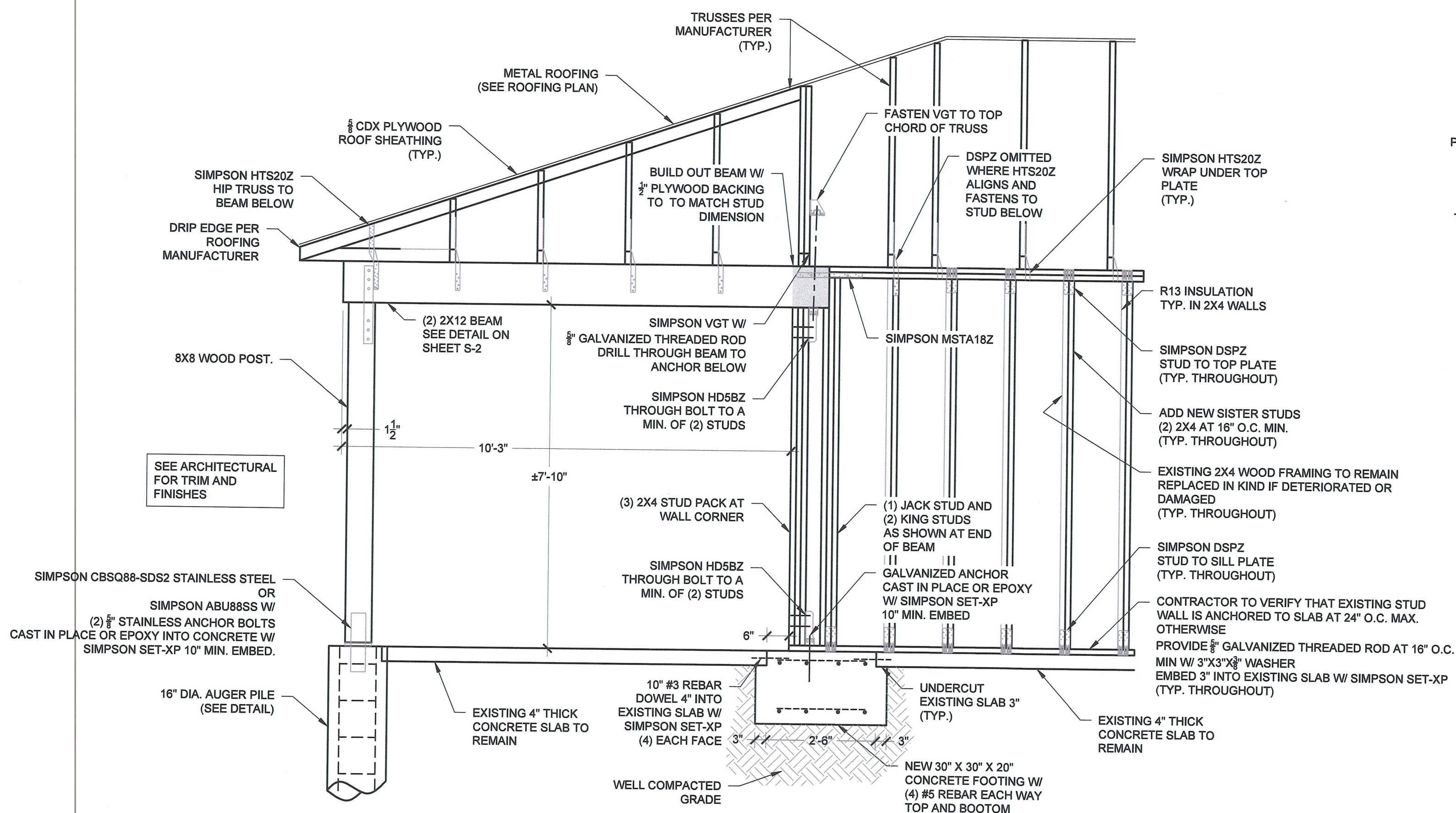
## FOUNDATION & CONCRETE NOTES

1. ALL FOOTINGS ARE TO BE PLACED ON FIRM, UNDISTURBED, NATURAL ROCK UNLESS OTHERWISE NOTED.
2. AUGER PILE DIAMETERS AND EMBEDMENT INTO ROCK SHALL BE NO LESS THAN 16" DIAMETER NOR LESS THAN 3' INTO ROCK. CONCRETE SHALL NOT BE MIXED IN PLACE IN A WET AUGER HOLE.
3. CENTER ALL FOOTINGS UNDER WALLS, COLUMNS OR GRID LINES UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL FURNISH FIELD DENSITY TESTS ON COMPACTED FILL UNDER FOOTINGS AND SLABS PRIOR TO PLACING CONCRETE. A MINIMUM OF 3 REPRESENTATIVE TESTS SHALL BE TAKEN FOR EACH FOOTING AND SLAB FOUR.
5. ALL CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE III PORTLAND CEMENT, STONE AGGREGATE AND SHALL DEVELOP AT LEAST 4000 PSI COMPRESSIVE STRENGTH IN 28 DAYS. (UNLESS OTHERWISE NOTED.)
6. SLABS, TOPPING, FOOTINGS, BEAMS AND WALLS SHALL NOT HAVE JOINTS IN THE HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE AT THE CENTER OF SPAN WITH VERTICAL BULKHEADS AND SHEAR KEYS, UNLESS OTHERWISE NOTED. ALL CONSTRUCTION JOINTS SHALL BE AS DETAILED OR OTHERWISE APPROVED BY THE ENGINEER.
7. ALL CONCRETE WORK AND REINFORCING DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 318. EXPOSED EDGES OF CONCRETE SHALL HAVE 1/2" CHAMFER. USE STANDARD HOOKS ON REBAR UNLESS OTHERWISE NOTED.
8. CONCRETE FORMS SHALL BE WETTED IMMEDIATELY PRIOR TO PLACING CONCRETE.
9. MIXING, PLACING AND CURING OF ALL CONCRETE MUST BE IN ACCORDANCE WITH ACI 305R, HOT WEATHER CONCRETING. NEW CONCRETE EXPOSED TO DIRECT SUNLIGHT SHALL BE SPRAYED OR MOPPED WITH A CURING COMPOUND AFTER THE FINISH HAS SET OR THE CONCRETE SHALL COVERED AND WETTED.
10. PROVIDE PLASTIC SLEEVES IN MASONRY PARTITIONS AND CONCRETE FOUNDATIONS AS INDICATED AND REQUIRED FOR UTILITY SERVICES. NO OTHER PIPE, CONDUIT OR ACCESSORY SHALL BE PLACED IN STRUCTURAL SLABS, COLUMNS OR BEAMS UNLESS SPECIFICALLY SHOWN ON STRUCTURAL DRAWINGS.
11. ALL REINFORCING SHALL BE HIGH STRENGTH DEFORMED BARS CONFORMING TO ASTM A-615, GRADE 60.
12. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 AND SHALL BE LAPPED ONE FULL MESH AND AT SIDE AND END SPLICES AND WIRE TOGETHER.
13. REINFORCEMENT COVERAGE SHALL BE 2" MINIMUM WHEN FORMS ARE USED AND 3" MINIMUM WHEN POURED AGAINST THE EARTH, UNLESS OTHERWISE NOTED.
14. LAP SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS. MAKE ALL BARS CONTINUOUS AROUND CORNERS.
15. PROVIDE ALL ACCESSORIES NECESSARY TO SECURE REINFORCING IN PROPER POSITION AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH ACI 318. ALL ACCESSORIES THAT DO NOT MEET REINFORCEMENT COVERAGE REQUIREMENTS SHALL BE NONMETALLIC.
16. MANUFACTURED STRAPS AND ANCHORS SHALL BE GALVANIZED AND SHALL BE FASTENED PER THE MANUFACTURER RECOMMENDATIONS. IN NO EVENT SHALL A STRUCTURAL MEMBER SUCH AS PIER, SILL, JOIST, PLATE, RAFTER OR TRUSS BE WITHOUT ANCHORAGE DEVICES FOR HURRICANE PROTECTION, UNLESS SPECIFICALLY NOTED AND ADDRESSED BY OTHER MEANS.



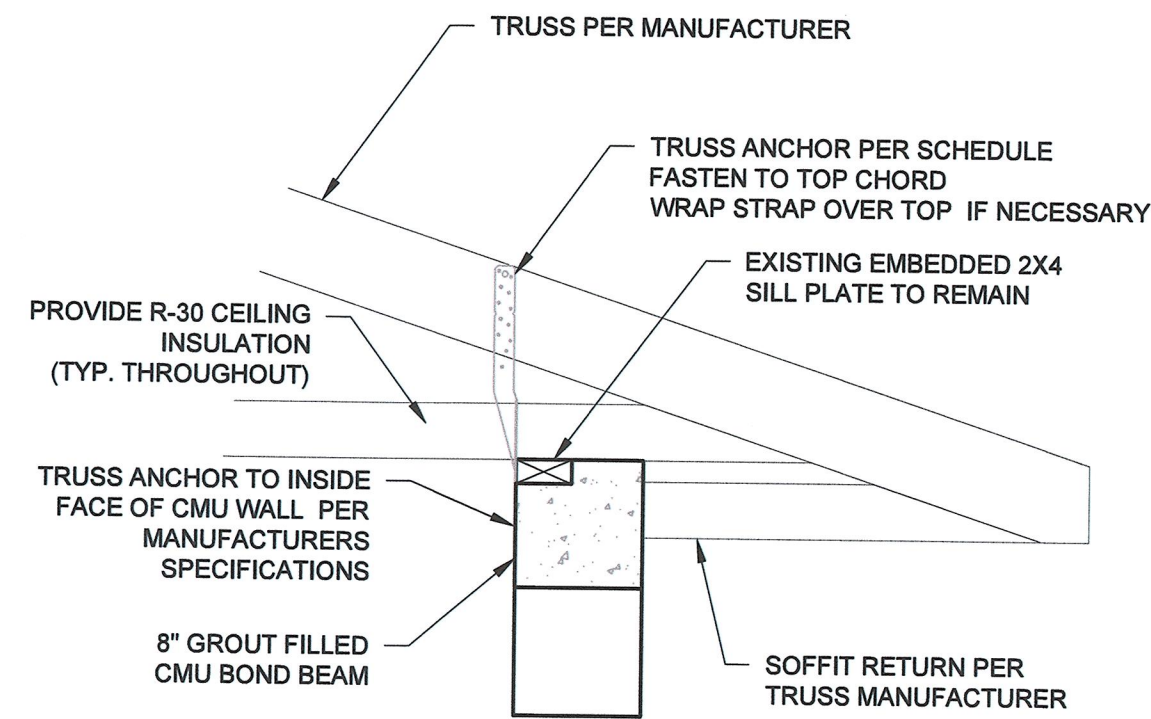
## FOUNDATION PLAN

SCALE: 1/4"=1'-0"



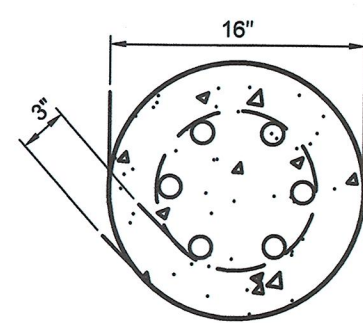
## SECTION DETAIL

SCALE: 1/2"=1'-0"



## DETAIL - CMU TRUSS ANCHOR

SCALE: NTS



## DETAIL - AUGER PILE

SCALE: NTS

CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT

**PEREZ ENGINEERING & DEVELOPMENT, INC.**

Key West Office  
1010 East Kennedy Drive, Suite 202  
Key West, Florida 33040  
Tel: (305) 293-9440

Florida P.E. No. 46835  
May 9, 2019  
305-265-1200

CERTIFICATE OF AUTHORIZATION No. 8579

**Reynolds Engineering Services, Inc.**

CERTIFICATE OF AUTHORIZATION No. 26597  
2478 OVERSEAS HWY. SUMMERLAND KEY, FL

REVISIONS:	ORIGINAL	APRIL 2019
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5		
6		

**RENOVATION**  
1301 FIRST STREET  
KEY WEST, FL 33040

**CHARLES WICHT**  
1301 FIRST STREET  
KEY WEST, FL 33040

JOB NO.	191022
DRAWN	JDH
DESIGNED	JDH
CHECKED	JCR
SHEET	S-1



WOOD AND FRAMING NOTES

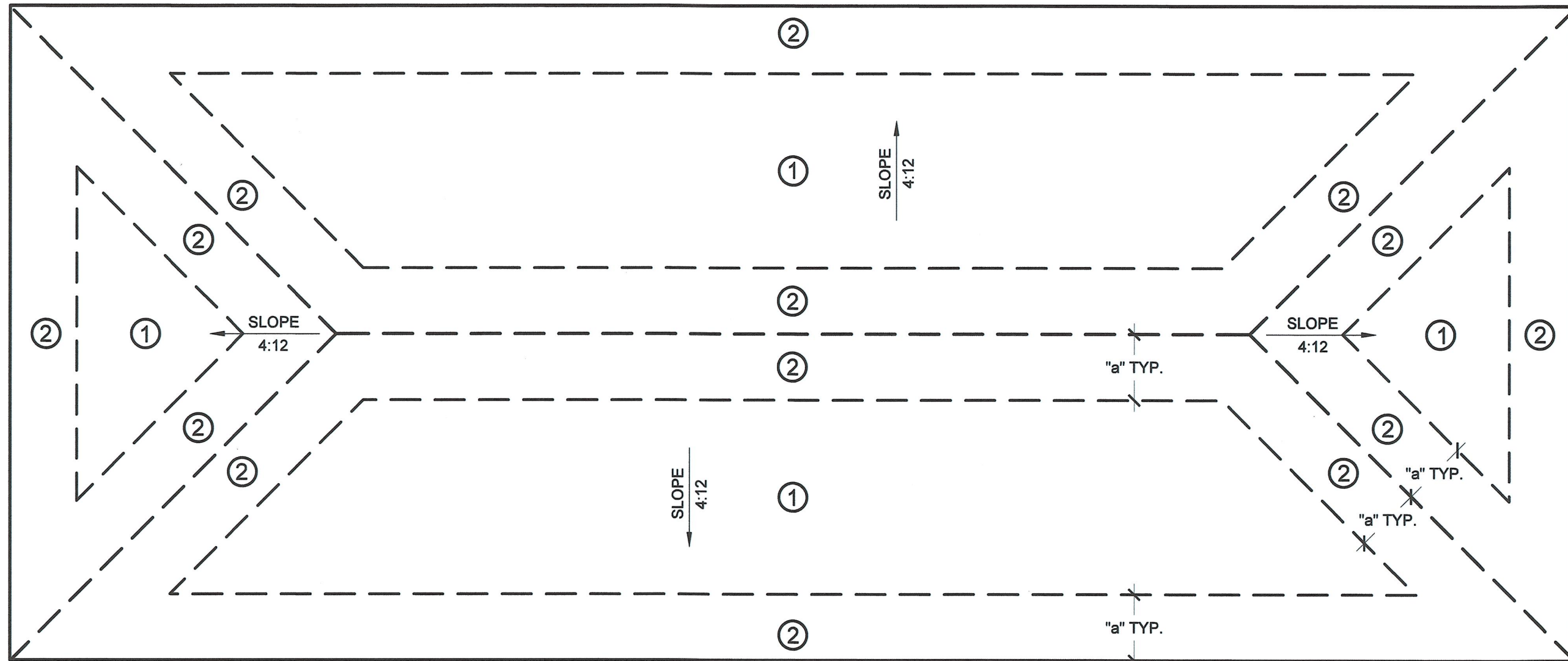
- EXCEPT WHERE NOTED OTHERWISE, ALL FRAMING LUMBER SHALL BE SOUTHERN PINE, MC 19%, NO. 2 DENSE, REQUIRED. ALLOW TO DRY AFTER TREATMENT. PROVIDE CONNECTORS AND FASTENERS COMPATIBLE WITH PRESSURE TREATED WOOD FRAMING. PROVIDE SEPARATION BARRIER SUCH AS BUILDING PAPER FOR NON-COMPATIBLE COMPONENTS SUCH AS ALUMINUM WINDOW FRAMES.
- ALL WOOD CONNECTIONS SHALL HAVE SIMPSON STRONG-TIE CO. OR EQUAL CONNECTORS. ALL CONNECTORS SHALL BE INSTALLED WITH MANUFACTURER RECOMMENDED FASTENERS BEFORE LOADING.
- HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED ONE-THIRD OF STUD.
- PROVIDE 1X4 PRESSURE TREATED FURRING AT 16" OC FOR ALL TRUSSES THAT WILL HAVE A FINISHED CEILING BELOW UNLESS NOTED OTHERWISE.
- PROVIDE SOLID BLOCKING AT MID HEIGHT ON CENTER BETWEEN STUDS. (MINIMUM).
- ALL WALL STUDS SHALL BE SPF NO. 2 DENSE GRADE OR BETTER.
- SEE PLANS FOR WALL STUD SIZE AND SPACING.
- ALL STUD BEARING WALLS SHALL BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND CONTINUOUS BOTTOM PLATES WITH A MINIMUM OF ONE ROW OF HORIZONTAL BRIDGING AT MID-HEIGHT OF WALL UNLESS NOTED OTHERWISE. SPLICES OF TOP PLATE SHALL OCCUR OVER STUD. SPLICES SHALL BE STAGGERED A MINIMUM OF FOUR FEET.
- HEADER BEAMS OVER ALL FRAMED OPENINGS SHALL BE AS SHOWN BELOW, UNLESS NOTED OTHERWISE.
  - 2 X 6 FOR INTERIOR OPENINGS UP TO 4'-0", (3) 2 X 8 FOR EXTERIOR OPENINGS UP TO 4'-0"
  - 2 X 8 FOR INTERIOR OPENINGS UP TO 6'-0", (3) 2 X 8 FOR EXTERIOR OPENINGS UP TO 6'-0"
  - 2 X 10 FOR INTERIOR OPENINGS UP TO 8'-0", (3) 2 X 10 FOR EXTERIOR OPENINGS UP TO 8'-0"
  - 2 X 12 FOR INTERIOR OPENINGS UP TO 10'-0", (3) 2 X 12 FOR EXTERIOR OPENINGS UP TO 10'-0"
- EXTERIOR WALL STUDS SHALL BE STRAPPED TO ROOF TRUSSES OR RAFTERS WITH SIMPSON CONNECTORS OR EQUAL. PROVIDE 3 STUDS (MIN.) FOR GIRDER TRUSS AND BEAM BEARING POINTS.
- FIRESTOPPING SHALL BE PROVIDED IN ALL WALLS AND PARTITIONS TO SEAL ALL CONCEALED DRAFT OPENINGS BOTH HORIZONTAL AND VERTICAL AND TO FORM A FIRE BARRIER BETWEEN FLOORS AND BETWEEN THE UPPER FLOOR AND THE ROOF SPACE.
- FIRESTOPPING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
  - A. IN CONCEALED SPACE OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES AT CEILING AND FLOOR LEVELS.
  - B. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVER CEILING, ETC.
  - C. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
  - D. IN CONCEALED SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS, FIRESTOPPING SHALL BE PROVIDED OF THE FULL DEPTH OF THE JOISTS AT THE ENDS AND OVER THE SUPPORTS.
- FIRESTOPPING SHALL CONSIST OF TWO (2) INCH NOMINAL LUMBER, OR TWO (2) THICKNESS OF ONE (1) INCH NOMINAL LUMBER WITH BROKEN LAP JOISTS, OR ONE (1) THICKNESS OF THREE-FOURTHS (3/4) INCH PLYWOOD WITH JOINTS BACKED BY THREE-FOURTHS (3/4) INCH PLYWOOD, OR OTHER APPROVED MATERIALS.
- SOLID DECKING SHALL BE TONGUE & GROOVE, SOUTHERN PINE, SELECT GRADE OF 5/8" X 6", NOMINAL SIZE AND PLACED IN A CONTINUOUS RANDOM LAY-UP. THE 5/8" X 6" SHALL BE TOE-NAILED THROUGH THE TONGUE AND FACE-NAILED WITH TWO NAILS PER SUPPORT USING 16D COMMON NAILS.
- PLYWOOD DECKING SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION (APA). PLYWOOD SHEATHING SHALL BE APA STRUCTURAL I, IDENTIFIED WITH APA GRADE-TRADEMARK AND SHALL MEET THE REQUIREMENTS OF US PRODUCT STANDARD PSI OR APA PRP-108. ALL PLYWOOD WITH AN EDGE EXPOSED TO THE EXTERIOR SHALL BE EXTERIOR GRADE. FLOOR DECKING SHALL BE 3/4" MINIMUM AND GLUED AND FASTENED TO FLOOR FRAMING. ROOF DECKING SHALL BE 5/8" MINIMUM AND NAILED WITH 8D NAILS @ 6" IN THE FIELD AND 4" ALONG THE EDGES.
- BOLTS SHALL BE A MINIMUM OF A307 GRADE A, GALVANIZED. UNLESS NOTED OTHERWISE.

TRUSS NOTES - DEFERRED SUBMITTAL

- TRUSS DETAILS HEREIN ARE FOR SCHEMATIC PURPOSES ONLY. THE TRUSS MANUFACTURER SHALL VERIFY TRUSS LAYOUT AND PROVIDE TRUSS DESIGN.
- WOOD TRUSSES SHALL BE FABRICATED BY A LICENSED FABRICATOR AND FURNISHED IN ACCORDANCE WITH DESIGNS AND CALCULATIONS PREPARED, SIGNED AND SEALED BY A STATE OF FLORIDA REGISTERED PROFESSIONAL ENGINEER. WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENINGS" BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (LATEST REVISION) AND "DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WITH TRUSSES" BY TRUSS PLATE INSTITUTE.
- ALL TRUSSES SHALL BE CONSTRUCTED OF PRESSURE TREATED LUMBER, WITH COMPATIBLE FASTENERS
- WOOD TRUSSES SHALL BE DESIGNED FOR THE WIND SPEED AND LOADINGS NOTED ON SHEET S-1
- THE DESIGN AND SHOP DRAWINGS AS WELL AS THE FABRICATION OF WOOD TRUSSES, WILL BE SUBJECT TO THE INSPECTIONS AND APPROVAL OF THE ENGINEER OF RECORD.
- PER F.B.C. - BUILDING, CH. 1, SEC. 107.3.4.1, DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
- THE HANDLING, ERECTION, AND FIXING OF WOOD TRUSSES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS NOTED ON THE DESIGN DRAWINGS FOR THE WOOD TRUSSES.
- ALL TRUSSES, INCLUDING GIRDERS AND GIRDER TRUSSES, SHALL BE ANCHORED IN COMPLIANCE WITH THE TRUSS MANUFACTURER'S FINAL TRUSS REQUIREMENTS USING APPROPRIATE TRUSS TIES DESIGNED TO MEET THE UPLIFT AND LATERAL LOADS AS SPECIFIED BY THE TRUSS MANUFACTURER. TRUSS MANUFACTURER SHALL PROVIDE ALL HURRICANE STRAPPING AND DETAILS FOR TRUSS TO TRUSS CONNECTIONS.

NAILING OF ROOF & EXTERIOR SHEATHING

- ALL EXTERIOR SURFACES SHALL BE SHEATHED WITH CDX PLYWOOD UNLESS NOTED OTHERWISE
- EXTERIOR WALL SHEATHING SHALL EXTEND FROM TOP OF TOP PLATE TO BOTTOM OF SILL BEAM.
- SHEATHING SHALL BE THE THICKNESS INDICATED ON THE DRAWINGS BUT NOT LESS THAN 1/2" FOR SIDING SHEATHING AND 3/4" FOR ROOF SHEATHING.
- THE LONG DIMENSION OF THE PLYWOOD SHEATHING SHALL BE INSTALLED PERPENDICULAR TO THE FRAMING AND END JOINTS SHALL BE STAGGERED.
- SHEATHING SHALL BE FASTENED TO ROOF FRAMING WITH 8d RING-SHANK NAILS AT 4" OC ALONG PANEL EDGES AND 6" OC IN THE FIELD. UNLESS OTHERWISE NOTED.
- SHEATHING SHALL BE FASTENED TO WALL FRAMING WITH 10d NAILS AT 4" OC ALONG PANEL EDGES, 6" IN THE FIELD AND DOUBLE ROW STAGGERED 4" OC ALONG TOP PLATE. UNLESS OTHERWISE NOTED.
- CEILING SHEATHING SHALL BE FASTENED TO FLOOR FRAMING WITH 8d RING-SHANK NAILS AT 4" OC ALONG PANEL EDGES AND 6" OC IN THE FIELD. UNLESS OTHERWISE NOTED.



ROOF ZONE PRESSURES	
HIP ROOF	
Zone 1:	-47.0 psf, +30.0 psf
Zone 2:	-81.9 psf, +30.0 psf
Zone 3:	N/A
EDGE ZONE	
a = 3.0'	
UNDERLAYMENT:	
GRACE ICE & WATER SHIELD - NOA 15-0728.08	
ROOF COVERING:	
METAL SALES, 5 V CRIMP PANEL - NOA 19-0313.02	

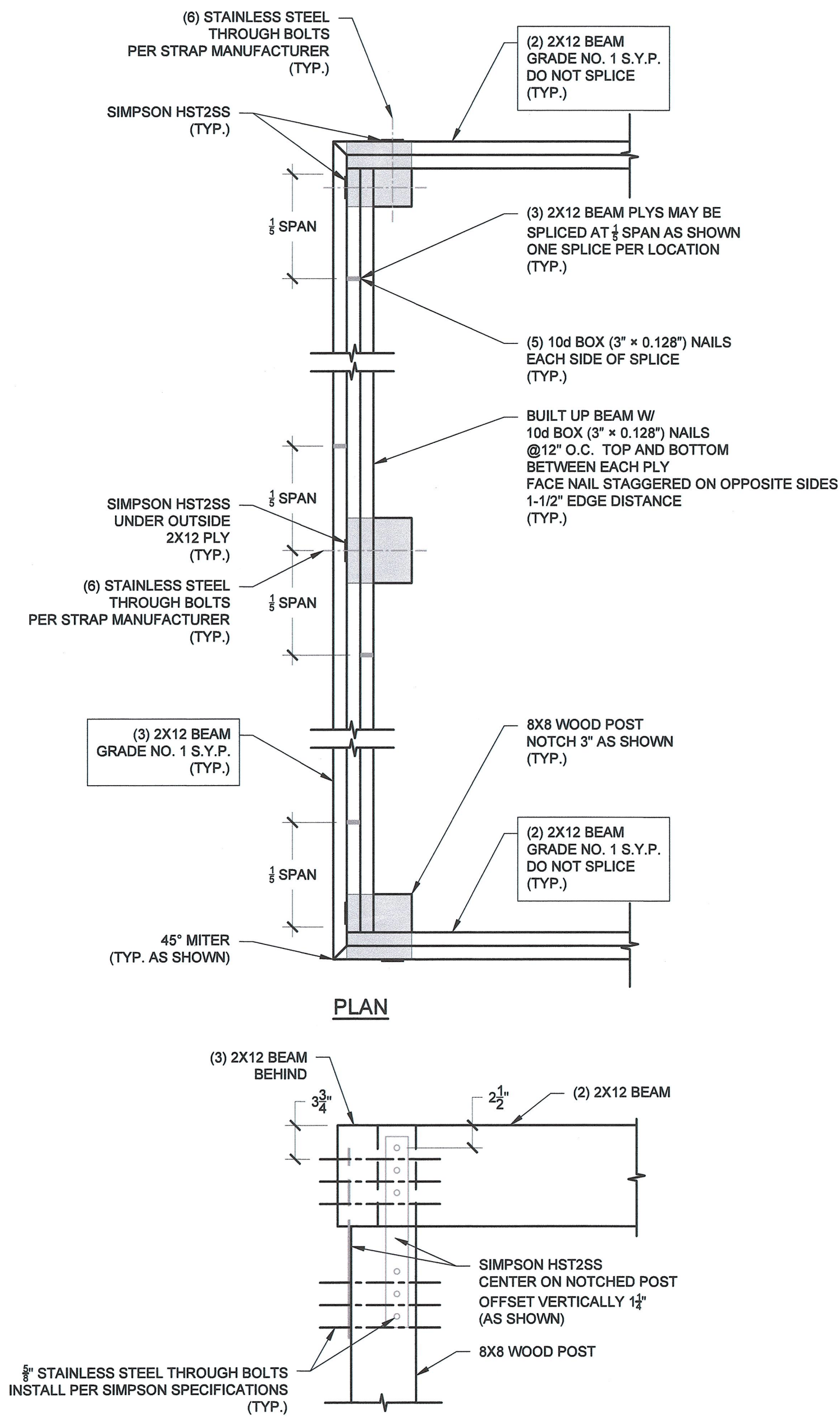
ROOFING AND UNDERLAYMENT SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS, INCLUDING ALL FLASHING AND ACCESSORIES.

ROOF PRESSURE PLAN

SCALE: 3/16"=1'-0"

TRUSS TO WALL CONNECTIONS					
MEMBER	BEARING	MANUF.	ITEM	QTY	UPLIFT CAPACITY
SINGLE TRUSS	WOOD FRAME	SIMPSON	HTS20Z*	1	1,310 lb
GIRDER TRUSS	WOOD FRAME	SIMPSON	VGTR*	1	4,940 lb
SINGLE TRUSS	CMU BOND BEAM	SIMPSON	HTSM20*	1	1,110 lb
GIRDER TRUSS	CMU BOND BEAM	SIMPSON	FGTR*	1	4,725 lb

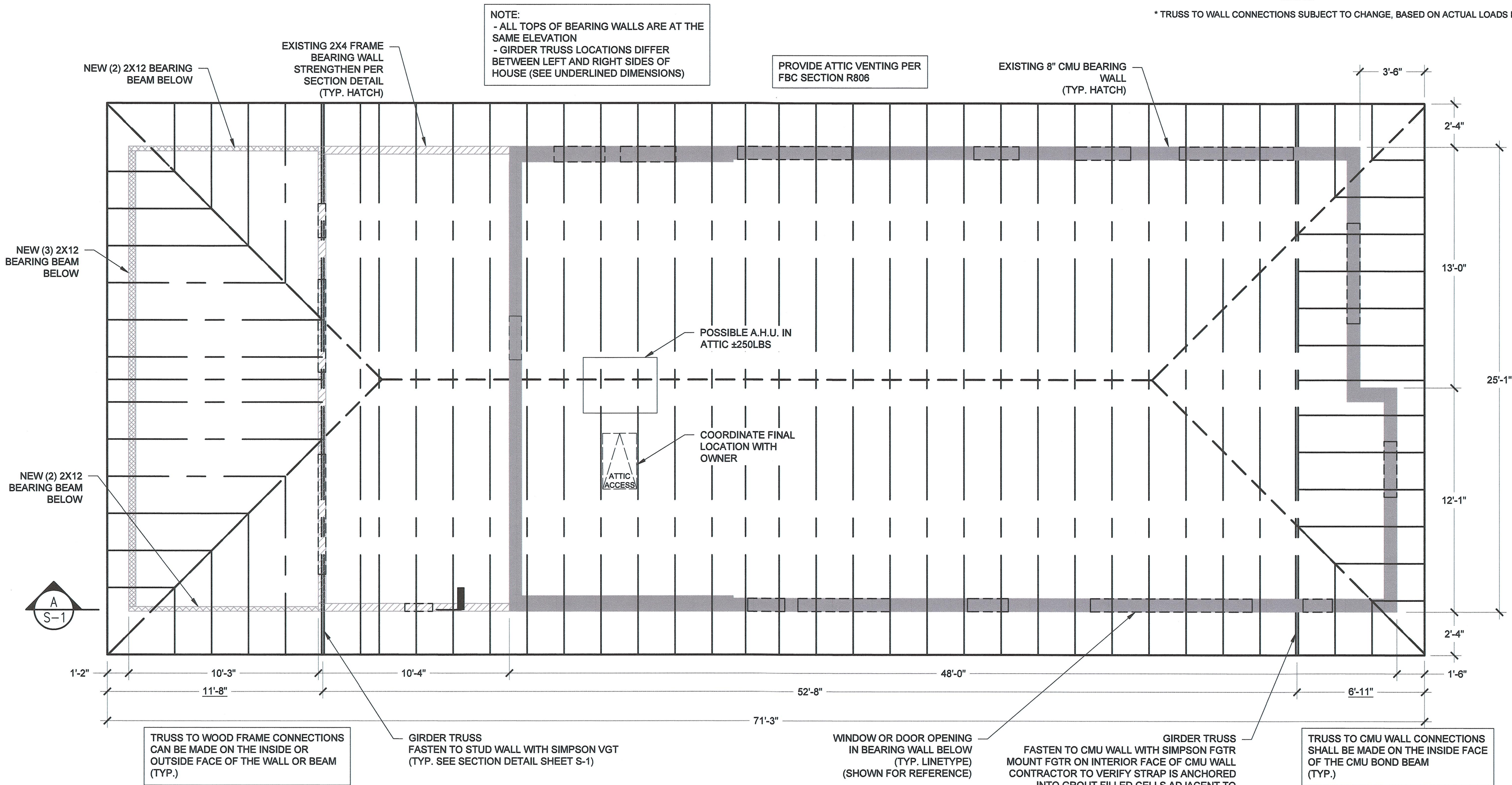
\* TRUSS TO WALL CONNECTIONS SUBJECT TO CHANGE, BASED ON ACTUAL LOADS FROM TRUSS DESIGN



ELEVATION - CORNER POST

DETAIL - PORCH BEAM

SCALE: 1/4"=1'-0"



ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"

CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT

**Perez Engineering & Development, Inc.**

Key West Office  
1010 East 1st Street, Suite 202  
Key West, Florida 33040  
Tel: (305) 293-9440

CERTIFICATE OF AUTHORIZATION No. 1579

RENOVATION  
1301 FIRST STREET  
KEY WEST, FL 33040

CHARLES WICHT  
1301 FIRST STREET  
KEY WEST, FL 33040

REVISIONS: ORIGINAL - APRIL 2019

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JAMES C. REYNOLDS, P.E.  
Florida P.E. NO. 46885  
May 9, 2019  
24478 OVERSEAS HWY. SUMMERLAND KEY, FL 34055-9451/200

Reynolds Engineering Services, Inc.

JOB NO. 191022  
DRAWN JDH  
DESIGNED JDH  
CHECKED JCR  
SHEET S-2



# Photos



















# **Authorization Form**



# Verification Form

City of Key West  
Planning Department



Verification Form

(Where Authorized Representative is an Individual)

I, SETH NEAL, being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

1301 FIRST STREET KEY WEST, FL 33040  
Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

[Signature]  
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 5-13-2019 by  
date

SETH NEAL  
Name of Authorized Representative

He She is personally known to me or has presented \_\_\_\_\_ as identification.

[Signature]  
Notary's Signature and Seal

MIA SANTOS  
Name of Acknowledger typed, printed or stamped

66176318  
Commission Number, if any

