

# **APPLICATION**



**DEVELOPMENT PLAN AND  
CONDITIONAL USE APPLICATION**  
CITY OF KEY WEST, FLORIDA • PLANNING DEPARTMENT

Address: 1300 White Street • Key West, Florida 33040  
Phone: 305-809-3764  
Website: [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov)

**RECEIVED**  
FEB 16 2024  
BY: AM

Fees listed below include a \$341.78 advertising/noticing fee and a \$121.55 fire review fee where applicable. Any Major or Minor Development Plan returned to the Planning Board after initial approval will require a new application fee equivalent to one-half of the current fee schedule

Development Plan and Conditional Use Application Fee Schedule	
Development Plan	
Minor Development Plan	
Within Historic District Total Application Fee	\$ 3,745.19
Outside Historic District Total Application Fee	\$ 3,015.88
Conditional Use Total Application Fee	\$ 1,800.38
Extension Total Application Fee	\$ 1,071.07
Major Development Plan Total Application Fee	\$ 4,960.69
Conditional Use Total Application Fee	\$ 1,800.38
Extension Total Application Fee	\$ 1,071.07
Administrative Modification Fee	\$ 882.00
Minor Modification Fee	\$ 1,681.31
Major Modification Fee	\$ 2,839.21
Conditional Use (not part of a development plan) Total Application Fee	\$ 3,502.09
Extension (not part of a development plan) Total Application Fee	\$ 1,071.07
Revision or Addition (not part of a development plan) Fee	\$ 2,205.00

**Applications will not be accepted unless complete**

<u>Development Plan</u>	<u>Conditional Use</u>	<u>Historic District</u>
Major _____	<u>X</u>	Yes _____
Minor <u>X</u>		No <u>X</u>

Please print or type:

- Site Address: 1817 Staples Ave (aka 1414 First Street), Key West, FL 33040
- Name of Applicant: Trepanier & Associates Inc (Thomas Francis-Siburg)
- Applicant is:  
Property Owner: \_\_\_\_\_  
Authorized Representative: X  
(attached Authorization and Verification Forms must be completed)
- Address of Applicant: 1421 First Street, Unit 101, Key West, FL 33040
- Applicant's Phone #: (305) 293-8983 Email: thomas@owentrepanier.com
- Email Address: thomas@owentrepanier.com
- Name of Owner, if different than above: Conch Tour Train Inc
- Address of Owner: 201 Front Street, Suite 204, Key West, FL 33040

9) Owner Phone #: c/o (305) 293-8983 Email: c/o thomas@owentrepanier.com

10) Zoning District of Parcel: CL RE# 00047070-000100

11) Is Subject Property located within the Historic District? Yes \_\_\_\_\_ No X

If Yes: Date of approval \_\_\_\_\_

HARC approval # \_\_\_\_\_

OR: Date of meeting \_\_\_\_\_

12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).

This project proposes to redevelop this nonconforming storage lot used mostly to park tour trolleys and trains into a two-story mixed-use structure. The property has many existing nonconformities and is 100% impervious. The project proposes to improve the nonconforming impervious surface, open space, landscaping, and parking. Parking is provided on the ground level, office space on the first level, and 3 apartments on the second (top) floor. The first finished floor will be above flood and the second floor will be developed into 3 residential housing units to address the ever-increasing housing shortage in Key West and the Florida Keys.

13) Has subject Property received any variance(s)? Yes \_\_\_\_\_ No X

If Yes: Date of approval \_\_\_\_\_ Resolution # \_\_\_\_\_

Attach resolution(s).

14) Are there any easements, deed restrictions or other encumbrances on the subject property?

Yes \_\_\_\_\_ No X

If Yes, describe and attach relevant documents.

---

---

---

---

---

- A. For both *Conditional Uses* and *Development Plans*, provide the information requested from the attached **Conditional Use and Development Plan** sheet.
- B. For *Conditional Uses* only, also include the **Conditional Use Criteria** required under Chapter 122, Article III, Sections 122-61 and 122-62 of the Land Development Regulations (see attached copy of criteria).
- C. For *Major Development Plans* only, also provide the **Development Plan Submission Materials** required under Chapter 108, Article II, Division 7, Sections 108-226 through 108-248 of the Land Development Regulations (see attached copy of criteria) and any additional information as determined by the Planning Staff.
- D. For both *Conditional Uses* and *Development Plans*, one set of plans **MUST** be signed & sealed by an Engineer or Architect.

# Minor Development Plan, Conditional Use & Landscape Waiver

## Development Analysis

**1817 Staples Avenue (aka 1414 First Street)**

(RE# 00047070-000100)

TREPANIER



**& ASSOCIATES INC.**  
LAND USE PLANNING  
DEVELOPMENT CONSULTANTS



### **Solution Statement:**

This project proposes to redevelop this nonconforming storage lot used mostly to park tour trolleys and trains into a two-story mixed-use structure. The property has many existing nonconformities and is 100% impervious. The project proposes to improve the nonconforming impervious surface, open space, landscaping, and parking. Parking is provided on the ground level, office space on the first level, and 3 apartments on the second (top) floor. The first finished floor will be above flood and the second floor will be developed into 3 residential housing units to address the ever-increasing housing shortage in Key West and the Florida Keys.

### **Background:**

The property currently exists as a nonconforming storage lot used mostly to park tour trolleys and trains.

### **Analysis:**

The following is an analysis of the proposed project pursuant to minor development plan approval criteria.

Existing development is depicted in attached surveys and plans, including:

- Name of Development
- Name of Owner/Developer
- Scale
- North arrow
- Preparation and revision dates
- Location/street address



- Size of site
- Buildings/structures
- Adjacent driveways
- Parking
- FEMA flood zones
- Topography

- Easements
- Utility locations
- Existing vegetation
- Existing storm water
- Adjacent land uses
- Adjacent buildings

Proposed development is depicted in attached plans prepared by licensed engineers, including:

- Buildings
- Setbacks
- Parking
- Driveway dimensions and material
- Utility locations
- Garbage and recycling
- Signs
- Lighting

- Project Statistics
- Building Elevations
- Height of buildings
- Finished floor elevations
- Height of existing and proposed grades
- Drainage plan
- Landscape Plan

**Title block (Sec. 108-227)**

Name of Development:	1414 First Street / 1817 Staples Ave
Name of Owner/Developer:	Conch Tour Train Inc.
Scale: (Architectural)	As noted on plans
North Arrow:	As noted on plans
Preparation and revision dates:	As noted on plans
Location of Development:	1817 Staples Ave (aka 1414 First St)

**Key persons and entities (Sec. 108-228) involved in this project are as follows:**

Owner:	Conch Tour Train Inc. <ul style="list-style-type: none"> <li>• Edwin O. Swift III</li> <li>• Christopher C. Belland</li> </ul>
Authorized Agent:	Trepanier & Associates, Inc.
Engineer/Architect:	William P. Horn, Architect, PA
Surveyor:	J. Lynn O'Flynn, Inc.
Landscape Architect:	Keith Oropeza, PLA, ASLA (GAI Consultants, Inc.)
Land Planner:	Trepanier & Associates, Inc.

**Project Description (Sec. 108-229):**

The project is proposed to be developed in one (1) phase.

Site Data Table:

Site Data	Permitted / Required	Existing	Proposed	Compliance
Zoning	CL	CL	No Change	-
FLUM	GC	GC	No Change	-
FEMA Flood	AE-7	AE-7	No Change	-
Site Size	10,000 sq ft	9,884 sq ft	No Change	-
Height	40'-0"	0'-0"	39'-4"	Complies
Building Coverage	40% (3,954 sq ft), or improvement	0.0%	31.2% (3,086 sq ft)	Complies

Impervious Surface	60% (5,930 sq ft), or improvement	100.0%	81.3% (8,038 sq ft)	Improvement; Complies
Open Space	27.5% (2,718 sq ft), or improvement	0.0%	14.7% (1,456 sq ft)	Improvement; Complies
Landscaping	20% (1,977 sq ft), or improvement	0.0%	18.7% (1,847 sq ft)	Improvement; Complies
Density	16 du/acre (3.62 du)	0 du	3 du	Complies
FAR	0.8 (7,907 sq ft)	0.0	0.3 (3,086 sq ft) Office: 2,205 sq ft Covered walks & stairs: 881 sq ft	Complies
Front Setback (Staples Ave)	19.6', or improvement	0.0'	10.0' ft	Variance: 9.6'
Side Setback	15.0, or improvement	0.0'	28.5'	Complies
Street Side Setback	20.0', or improvement	0.0'	30.5'	Complies
Rear Setback	19.6', or improvement	0.0'	10.0'	Variance: 9.6'
Parking	<i>Existing:</i> Auto: 16 spaces Bike-Scooter: 2 spaces  <i>Proposed:</i> Auto: 13 spaces Bike-Scooter: 2 spaces	Auto: 0 spaces  Bike-Scooter: 0 spaces	Auto: 8 spaces (1 ADA + 7 standard)  Bike-Scooter: 12 spaces	Improvement; Complies

**Other Project Information (Sec. 108-230):**

1. This is a single-phased proposal.
2. The target date for commencement shall immediately follow entitlement approvals.
3. The expected date of completion is within 2 years of commencement.
4. The proposed development plan is contained herewith.
5. 2,205 sq. ft. office space with 3 market-rate residential units with linkage to existing affordable units, per Sec. 122-1467(1)(b).
6. Project is not a planned unit development.
7. The project will comply with federal flood insurance regulations.
8. This project is not located in an environmentally sensitive area.

**Residential Developments (Sec. 108-231):**

This project proposes 3 non-transient market-rate residential units with affordable linkage pursuant to Sec. 122-1467(1)(b).

Unit	Bed-rooms	Sq. Ft.	Tenure	Structure Type	Affordability/ Rental Rate
1414 Staples Av., No. 1	1	534	Rental	MF	Market Rate
1414 Staples Av., No. 2	2	631	Rental	MF	Market Rate
1414 Staples Av., No. 3	2	816	Rental	MF	Market Rate
Linkage Unit – Existing Developed Affordable Unit: TBD	TBD	TBD	Rental	TBD	Deed Restricted Affordable (Official Record Bk-Pg: TBD)
Linkage Unit – Existing Developed Affordable Unit: TBD	TBD	TBD	Rental	TBD	Deed Restricted Affordable (Official Record Bk-Pg: TBD)

**Intergovernmental Coordination (Sec. 108-232):**

Coordination will occur through the Development Review Process of the City of Key West and as otherwise required.

**Schedule of Approval Process:**

The following development approval schedule and process is anticipated:

Step	Date
1. Submit Minor Development Plan and Conditional Use Application	02/16/24
2. Submit Variance Application	02/16/24
3. Submit Tree Commission Application	03/13/24
4. Development Review Committee ("DRC") Meeting	03/28/24
5. Tree Commission Hearing (Conceptual Plan)	04/02/24
6. Planning Board Meeting	05/16/24
7. Planning Board Appeal Period (10 days)	+10 days
8. Florida Department of Commerce Appeal Period (45 days)	+45 days

**Concurrency Facilities and Other Utilities or Services (Sec. 108-233):**

Levels of Service – The impacts of the proposed project are generally summarized as follows:

- **Potable Water Supply (FKAA):** The anticipated impact to the potable water LOS will be an increase of approximately 557 gallons per day. See concurrency analysis below.
- **Wastewater Management (Richard Heyman Environmental Protection Facility):** The anticipated impact to the wastewater flow will be an increase of approximately 557.5 gallons per day. See concurrency analysis below.
- **Water Quality (FKAA):** No adverse impacts to the quality of receiving water are anticipated before, during or after construction.
- **Stormwater Management:** The expected impacts to stormwater LOS, as well as changes to the existing stormwater management system, are depicted on the attached stormwater management plans.
- **Solid Waste (Waste Management of Florida):** The anticipated impact to solid waste LOS will be approximately 2.6 pounds per day. See concurrency analysis below.
- **Roadways:** See attached traffic statement by KBP Consulting, Inc.
- **Recreation:** The impact to the Recreation LOS is expected to comply with Comp Plan Policy 7-1.1.9, inclusive of all three (3) types of parks identified; urban open spaces, neighborhood, and community.
- **Fire Protection:** The team will coordinate with FKAA to ensure the water pressure and flow will be adequate for fire protection for the type of construction proposed.
- **Reclaimed Water System:** There is no impact on the reclaimed water system.



**Appearance, design, and compatibility (Section 108-234):**

This development plan satisfies criteria established in Chapter 102; Articles III, IV and V of Chapter 108; Section 108-956; and Article II of Chapter 110 of the Key West City Code in the following manner:

- **Chapter 102** – N/A. This property is not located in nor impacts the Historic District.
- **Articles III, IV and V of Chapter 108** – As demonstrated by the site plan, trip generation analysis, and the site data calculations, the project complies with the requirements of the Articles.
- **Section 108-956** - The project team will coordinate with FCAA to ensure access to potable water and a wastewater disposal system exists.
- **Chapter 110** – As demonstrated in this application, the proposed development complies with the resource protection requirements of Chapter 110.

**Site location and character of use (Section 108-235):**

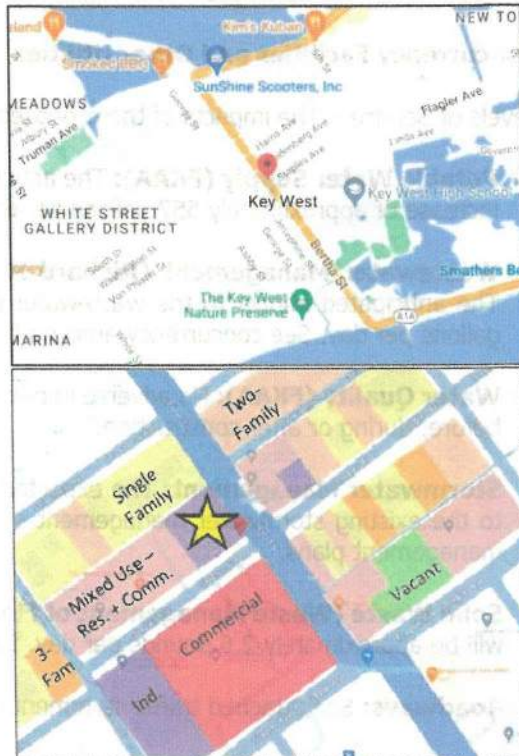
(a) Compliance. – This development plan complies with the requirements set forth in the Key West City Code as they pertain to Concurrency Management, Outdoor Displays and Nuisances, Resource Protection, Signs, and Articles I and III to IX of Chapter 108 of the Key West City Code.

(b) Vicinity Map. – See the map to the right.

(c) Land Use Compatibility. – The project site is located in the LIMITED COMMERCIAL (CL) zoning district. Per sec. 122-386, the purpose and intent of the Limited Commercial district (CL) is to implement comprehensive plan policies for areas designated "CL"<sup>1</sup> on the comprehensive plan future land use map. The subject property currently contains a non-conforming outdoor storage and parking lot.

(d) Historic and archeological resource protection. – The site is not affected by the Historic District. Any archeological resources will be protected as required.

(e) Subdivision of Land. – No subdivisions are anticipated.



<sup>1</sup> Sec. 122-386(a) is inconsistent with the comprehensive plan future land use map, whereby the comprehensive plan future land use map does not have a CL designation.

**Legal Description:**

Please see attached survey.

**Flood Zone:**

The property is located within the AE-7 base flood elevation (BFE) zone (NGVD 29). Pursuant to O'Flynn Surveying the proposed elevation of the drawings are elevated more than 1.5' above the AE-7 BFE.

**Future Land Use Map Designation ("FLUM"):**

The property's FLUM designation is General Commercial ("CG"). Objective 1-1.3 of the comprehensive plan establishes that the City shall promote redevelopment of mixed use and general commercial activities. The mixed-use development shall be planned and designed to create infill non-transient residential units and implement the policies such as Policy 1-1.3.2: Designate Various Types of Mixed Use Commercial Nodes to Accommodate Diverse Commercial Uses which encourage mixed use residential and commercial developments which include residential uses with particular emphasis on the provision of affordable housing.

**Zoning ("CL")**

According to the City of Key West Zoning Map, the property is located in the Limited Commercial zoning district ("CL"). The CL district shall accommodate limited commercial land uses with maximum gross floor area not exceeding 5,000 square feet, including total area both under roof and outside sales area, and which shall include shops catering primarily to the following markets:

- (1) Neighborhood residential markets within the immediate vicinity as opposed to citywide or regional markets;
- (2) Specialized markets with customized market demands; or
- (3) Tourist-oriented markets in the immediate vicinity.

**Appearance of Site and Structures (Sec. 108-236):**

The attached site plan complies with Sections 108-278 through 108-288 of the Key West City Code.

**Site Plan (Sec. 108-237):**

Site plan of proposed development drawn consistently with Sec. 108-237 is attached.

**Architectural Drawings (Sec. 108-238):**

All architecture or engineering designs were prepared and sealed by a professional architect or engineer registered in the state pursuant to F.S. Ch. 471 and 481, respectively, consistent with the provisions of this Section.

**Site Amenities (Sec 108-239):**

The attached site plan includes existing and proposed amenities which are required to comply with appearance, design and compatibility regulations outlined in chapter 102; articles III, IV and V of this chapter; section 108-956; and article II of chapter 110.

**Site Survey (Sec 108-240):**

A survey of the site is attached.

**Soil Survey (Sec 108-241):**

Soil surveys are not anticipated as part of this project.

**Environmentally Sensitive Areas (Sec. 108-242):**

This project is not located within an environmentally sensitive area.

**Land clearing, excavation and fill, tree protection, landscaping, and irrigation plan (Sec. 108-243):**

All proposed clearing, excavation and landscaping is depicted on attached plans. Code requires 20% (1,977 sq ft) landscaping and 27.5% (2,718 sq ft) open space for the mixed-use development, or improvements to existing landscaping and/or open space. The proposed mixed-use development complies with permitted landscaping and open space by proposing improvements to existing landscaping and open space. Storm water management will be addressed by a rainwater catchment system as well as appropriate landscape design.

**On-site and off-site parking and vehicular, bicycle, and pedestrian circulation (Sec. 108-244):**

The property has an existing nonconforming parking situation: 0 existing approved auto and bike-scooter spaces; 2 (1.7) bike-scooter spaces and 16 (16.47) auto spaces required. The project proposes an improving parking: 12 bicycle-scooter spaces and 8 auto spaces (1 ADA auto space and 7 standard auto spaces), and 4 accessory parking spaces for historic tours train and trolleys; 3 bicycle-scooter and 13 auto spaces required.

Parking Demand Table.

	Use		Auto Demand		Bike-Scooter Demand	
			Rate	Total	Rate	Total
Existing	Outdoor Storage	9,884 sq. ft.	1 sp. / 600 sq. ft.	16.47 sp.	10% auto	1.64 sp.
	<b>Total</b>			<b>16 spaces</b>		<b>2 spaces</b>
Proposed	Office	2,205 sq. ft. F.A.	1 sp. / 300 sq. ft. f.a.	7.35 sp.	25% auto	1.84 sp.
	Market-Rate DU	3 DU	2 spaces / DU	6.00 DU	10% auto	0.60 sp.
	<b>Total</b>			<b>13 spaces</b>		<b>2 spaces</b>

**Housing (Sec 108-245):**

This project proposes 3 non-transient market-rate residential units with affordable linkage pursuant to Sec. 122-1467(1)(b).

Unit	Bed-rooms	Sq. Ft.	Tenure	Structure Type	Affordability/ Rental Rate
1414 Staples Av., No. 1	1	534	Rental	MF	Market Rate
1414 Staples Av., No. 2	2	631	Rental	MF	Market Rate
1414 Staples Av., No. 3	2	816	Rental	MF	Market Rate
Linkage Unit – Existing Developed Affordable Unit: TBD	TBD	TBD	Rental	TBD	Deed Restricted Affordable (Official Record Bk-Pg: TBD)
Linkage Unit – Existing Developed Affordable Unit: TBD	TBD	TBD	Rental	TBD	Deed Restricted Affordable (Official Record Bk-Pg: TBD)

**Economic Resources (Sec 108-246):**

(a) Ad Valorem Estimates – The project is proposed as a single phase. Ad valorem estimates to be determined upon permitting analysis by the Monroe County Tax Collector and Property Appraiser.

(b) Construction expenditure – The project is proposed as a single phase. Construction expenditures will be determined at the time of permitting.

(c) Employees – The proposed office space is anticipated to accommodate 2 full-time equivalent employees.

**Special Considerations (Sec 108-247):**

The proposal complies with the goals, objectives and policies of the comprehensive plan as demonstrated by:

- Goal 3-1: Housing
  - Objective 3-1.1: Provide quality affordable housing and adequate sites for low and moderate income housing

**Construction Management Plan and Inspection Schedule (Sec 108-248):**

The proposed development is a single-phase project. Construction is proposed to progress steadily based on Key West LDRs, and Florida Building Code. Construction is expected to commence as soon as possible.

**Truman Waterfront Port Facilities (Sec 108-249):**

N/A – This project is not located at the Truman Waterfront Port.

**SITE PLAN**

**Scope (Sec 108-276):**

This site plan conforms to all necessary and applicable sections of land development regulations.

**Site Location and Character of Use (Sec. 108-277):**

As depicted, the site has sufficient size, adequate specifications, and infrastructure to accommodate the proposed uses in the manner proposed. Business and professional offices are a permitted use in the CL zoning district. Multi-family residences require a Conditional Use.

**Appearance of Site and Structures (Sec. 108-278):**

This application's development plan exhibits harmonious overall design characteristics in compliance with the performance standards stipulated in sections 108-278 through 108-288.

**Location and screening of mechanical equipment, utility hardware and waste storage areas (Section 108-279):**

All mechanical equipment and utility hardware will be appropriately screened. All waste storage areas will be screened from adjacent properties.

**Front-end loaded refuse container requirements (Sec. 108-280):**

The refuse container will be located in such a manner to facilitate convenient access.

**Roll-off Compactor Container location requirements (Sec. 108-281):**

A roll-off container shall meet the requirements of 108-281, as depicted on the site plan.

**Utility lines (Section 108-282):**

The proposed project will require installation of new utility services. Installation will be coordinated with the appropriate utility agencies and in accordance with Section 108-282.

**Commercial and manufacturing activities conducted in enclosed buildings (Section 108-283):**

N/A – No new commercial activities are proposed for this development.

**Exterior Lighting (Section 108-284):**

All proposed lighting shall be shielded, and lighting sources shall be arranged to eliminate glare from roadways and streets and shall direct light away from properties lying outside the district. Shielding of lighting elements shall be accomplished by using directional fixtures or opaque shades.

**Signs (Section 108-285):**

All new signage proposed will adhere to Section 108-285.

**Pedestrian sidewalks (Section 108-286):**

The project, as proposed, complies with this section of the LDC. Refer to plans for precise placement of sidewalks and concrete paths that align with existing sidewalks on adjacent sites.

**Loading docks (Section 108-287):**

N/A – No loading docks are required or proposed.

**Storage Areas (Section 108-288):**

Storage areas, if developed for the use of tenants in each unit, will be located at the rear of the principal structure per code section 108-288.

**Land Clearing, Excavation, and Fill (Sec 108-289):**

N/A – There is no land clearing proposed for this project.

**Open Space, Screening, Buffers and Landscaping (Article V and VI) of Chapter 108:**

Open space and landscaping will be enhanced as depicted on the plans.

**Sec. 108-517. - Waivers or modifications.**

No waivers or modifications to open space and landscaping are proposed. This project proposes significant improvements to existing non-conformities in impervious surface, open space, and landscaping.

**Off-street parking and loading (Article VII):**

Please see "On-site and off-site parking and vehicular, bicycle, and pedestrian circulation (Sec. 108-244)" above for a complete discussion regarding parking

**Storm water and Surface Water Management (Article VIII):**

The property is located in the AE-7 FEMA flood zone. The project proposes compliance with flood zone, stormwater, and surface water management article of the LDC. Therefore, the redevelopment will improve nearshore water quality.

**Utilities (Article IX):**

**Concurrency Analysis:**

**Concurrency Facilities and Other Utilities or Services (Sec. 108-233):**

The City's Comprehensive Plan directs the City to ensure that facilities and services needed to support development are available concurrent with the impacts of new development.

The following specific issues are outlined:

- Roads/Trip Generation
- Sanitary Sewer
- Recyclables
- Potable Water
- Solid Waste
- Drainage

**Policy 2-1.1.1- Transportation**

See attached traffic statement, prepared by KBP Consulting, Inc. Per the traffic statement, the anticipated change in overall trip generation as part of this project is de minimis.

Notwithstanding the proposed trip generation, Policy 2-1.1.3: Dense Urban Land Area effectively eliminates the transportation concurrency requirement in favor of a prioritization of safety and function of existing roads and multi-modal transportation improvements (i.e. transit, air, boat, bicycles, pedestrianism, mixed-use development)

Policy 2-1.1.3: Dense Urban Land Area. The City of Key West is a substantially developed dense urban land area and is thereby exempted from transportation concurrency requirements for roadways. The City recognizes that its development characteristics make substantive expansion of capacity of the roadway system prohibitive. The City will therefore prioritize improving the safety and function of existing roads and multi-modal transportation improvements (i.e. transit, air, boat, bicycles, pedestrianism, mixed-use development) as its primary strategies for addressing current and projected transportation needs.

**Policy 4-1.1.2.C – Potable Water**

	Commercial		Residential		Total Daily Capacity
	LOS	Daily Capacity	LOS	Daily Capacity	
Existing	650 gal/acre/day	147.5 (.23 acre)			147.5 gal
Proposed	650 gal/acre/day	32.5 (.05 acre)	100 gal/capita/day	672 gal	704.5 gal
				<b>Change:</b>	<b>+557 gal</b>

Residential per capita: Key West has an average of 2.24 persons per household<sup>2</sup>. 3 residential units have an average of 6.72 persons.

Potable water to the City of Key West is provided by the Florida Keys Aqueduct Authority (FKAA). FKAA has the capacity to provide 23 million gallons per day to Monroe County as a result of:

- The South Florida Water Management District’s issuance of Water Use Permit #13-0005, which allocates 17 million gallons per day in the dry season,
- 17.79 million gallons per day which can be withdrawn from the Biscayne Aquifer,
- Six million gallons per day provided by a reverse osmosis treatment plant in Florida City.

As documented above, the City is meeting its Level of Service Standard for Potable Water. The City projects a slight permanent population decrease, and only a slight increase in its functional population and non-residential development during short and long-range planning periods, so the

<sup>2</sup> United State Census Bureau, 2018-2022

current capacity should remain adequate. Ongoing capital improvements will be necessary to maintain and improve standards and service delivery.

Potable water is expected to **increase by 557 gallons/day.**

**Policy 4-1.1.2.A - Sanitary Sewage**

	Commercial		Residential		Total Daily Capacity
	LOS	Daily Capacity	LOS	Daily Capacity	
Existing	660 gal/acre/day	147.5 (.23 acre)			147.5 gal
Proposed	660 gal/acre/day	33 (.05 acre)	100 gal/capita/day	672 gal	705 gal
				<b>Change:</b>	<b>+557.5 gal</b>

Residential per capita: Key West has an average of 2.24 persons per household<sup>3</sup>. 3 residential units have an average of 6.72 persons.

The City contracts out the operation of the Richard A. Heyman Environmental Pollution Control Facility, its wastewater treatment plant (Plant), and the associated collection system to Operations Management International, Inc. (OMI). The Plant currently has the capacity to treat 10 million gallons per day, exceeding the capacity required to achieve the existing Level of Service Standard by approximately seven million gallons per day. Actual daily flow is 4.5 million gallons per day. This is a reduction from eight (8) million gallons per day due to a 67 million dollars capital improvement to the City’s wastewater treatment during the past short-term planning period, including \$56 million for collection system rehabilitation.

As documented above, the City is exceeding its Level of Service Standard for Wastewater. The City projects a slight permanent population decrease, and only a slight increase in its functional population and non-residential development, during the short and long-range planning periods, so the current capacity should remain adequate. Ongoing capital improvements and continuing conservation efforts will continue to maintain and improve service delivery.

Sanitary sewage is expected to **increase by 557.5 gallons/day.**

**Policy 4-1.1.2.D - Solid Waste**

	Commercial		Residential		Total Daily Capacity
	LOS	Daily Capacity	LOS	Daily Capacity	
Existing	6.37 lbs/capita/day	28.0 lbs			28.0 lbs
Proposed	6.37 lbs/capita/day	12.7 lbs	2.66 lbs/capita/day	17.9 lbs	30.6 lbs
				<b>Change:</b>	<b>+2.6 lbs</b>

In a non-fulfillment operations warehouse, the typical number of workers is one per 1,500-3,000 sq. ft.<sup>4</sup> As such, approx. 4.4 workers occupy the existing 9,884 sq. ft. of outdoor storage space. The proposed office space is expected to house 2 full-time equivalent employees. Residential per

<sup>3</sup> United State Census Bureau, 2018-2022

<sup>4</sup> Wonolo, 2022



capita: Key West has an average of 2.24 persons per household<sup>5</sup>. 3 residential units have an average of 6.72 persons.

The City currently contracts with Waste Management of Florida, Inc. to collect, transfer and dispose of solid waste and residential recyclables. Commercial recyclables and other non-franchised collection services such as construction and demolition debris and yard waste are available on the open market to all licensed haulers. The City owns and operates a solid waste transfer station on Rockland Key that received 45,402.10 tons of solid waste for disposal and 3,607 tons of recyclables in 2009/10. Waste Management disposes of the solid waste collected in Monroe County, including the City of Key West, at its Central Sanitary Landfill in Broward County. In 2009 Waste Management Inc. reported a reserve capacity of 17 years at this facility. There is therefore an estimated reserve capacity of 15 years as of the date of this report.

As documented above, the City is meeting its Level of Service Standard for solid waste. The City projects a slight permanent population decrease, and only a slight increase in its functional population and non-residential development, during the short and long-range planning periods, and the current capacity should remain adequate. Ongoing capital improvements will be necessary to improve standards and service delivery.

Solid waste is expected to **increase by 2.6 lbs./day.**

**Policy 4-1.1.2. D - Recyclable Waste Generation Level of Service**

	Commercial		Residential		Total Daily Capacity
	LOS	Daily Capacity	LOS	Daily Capacity	
Existing	0.25 lbs/capita/day	1.1 lbs			1.1 lbs
Proposed	0.25 lbs/capita/day	0.5 lbs	0.5 lbs/capita/day	3.4 lbs	3.9 lbs
				<b>Change:</b>	<b>+2.8 lbs</b>

In a non-fulfillment operations warehouse, the typical number of workers is one per 1,500-3,000 sq. ft.<sup>6</sup> Approximately 4.4 workers occupy the existing 9,884 sq. ft. of outdoor storage space. The proposed office space is expected to house 2 full-time equivalent employees. Residential per capita: Key West has an average of 2.24 persons per household<sup>7</sup>. 3 residential units have an average of 6.72 persons.

Recyclable Waste is expected to **increase by 2.8 lbs./day.**

**Policy 4-1.1.2. E- Drainage Facilities Level of Service**

Please refer to the attached Drainage plans for pre and post-development analysis. The redevelopment will comply with all applicable federal, state and local standards.

Existing Level of Service Standard

<sup>5</sup> United State Census Bureau, 2018-2022

<sup>6</sup> Wonolo, 2022

<sup>7</sup> United State Census Bureau, 2018-2022

1. Post development runoff shall not exceed the pre-development runoff rate for a 25-year storm event, up to and including an event with a 24-hour duration.
2. Storm water treatment and disposal facilities shall be designed to meet the design and performance standards established in Chapter 62-25 Section 25.025, Florida Administrative Code, with treatment of the runoff from the first one inch of rainfall on-site to meet the water quality standards required by Chapter 62-302, Florida Administrative Code. Storm water facilities which directly discharge into "Outstanding Florida Waters" (OFW) shall provide an additional treatment pursuant to Section 62-25.025 (9), Florida Administrative Code.
3. Storm water facilities must be designed so as to not degrade the receiving water body below the minimum conditions necessary to assure the suitability of water for the designated use of its classification as established in Chapter 62-302 Florida Administrative Code.



# KBP CONSULTING, INC.

February 13, 2024

Thomas Francis-Siburg, AICP  
Planning Manager  
Trepanier & Associates, Inc.  
1421 First Street  
Key West, FL 33040

**Re: 1414 First Street – Key West, Florida  
Traffic Statement**

Dear Thomas:

There is a 9,884 square foot (+/- 0.227 acre) parcel of land located in the northwest quadrant of the intersection at First Street and Staples Avenue in Key West, Monroe County, Florida. More specifically, the subject site is located at 1414 First Street (a.k.a. 1817 Staples Avenue) and the Monroe County Parcel ID number is 00047070-000100. This site is currently utilized by Historic Tours of America as an outdoor storage area and parking lot for their vehicles. Vehicular access is provided on Staples Avenue. A project location map is presented in Attachment A to this memorandum.

A multi-story building is proposed for the subject site that will allow for vehicle parking to occur on the ground level, office space (2,205 square feet) on the first floor, and three (3) dwelling units on the second floor. Vehicular access will be provided in its current location on Staples Avenue and a new access point will be added along First Street. The ground floor plan for this proposed development is presented in Attachment B. The purpose of this memorandum is to document the trip generation characteristics and traffic impacts associated with the proposed development.

## **Trip Generation Analysis**

A trip generation analysis for the existing and proposed uses has been conducted utilizing the trip generation information published by the Institute of Transportation Engineers (ITE) in their *Trip Generation Manual (11<sup>th</sup> Edition)*. According to the subject documentation, the most appropriate land use categories for this development are Land Use #151 – Mini-Warehouse (Storage), Land Use #220 – Multifamily Housing (Low-Rise) and Land Use #712 – Small Office Building. The trip generation rates and equations used to determine the vehicle trips associated with this analysis are presented below.

### **Mini-Warehouse (Storage) – ITE Land Use #151**

- Daily:  $T = 1.45 (X)$   
*where  $T$  = number of trips and  $X$  = 1,000 square feet of gross floor area*
- AM Peak Hour:  $T = 0.09 (X)$  (59% in / 41% out)
- PM Peak Hour:  $T = 0.15 (X)$  (47% in / 53% out)

### **Multifamily Housing (Low-Rise) – ITE Land Use #220**

- Daily:  $T = 6.74 (X)$   
*where  $T$  = number of trips and  $X$  = number of dwelling units*
- AM Peak Hour:  $T = 0.40 (X)$  (24% in / 76% out)
- PM Peak Hour:  $T = 0.51 (X)$  (63% in / 37% out)

8400 North University Drive, Suite 309, Tamarac, Florida 33321

Tel: (954) 560-7103 Fax: (954) 582-0989

**Small Office Building – ITE Land Use #712**

- Daily:  $T = 14.39 (X)$   
where  $T = \text{number of trips}$  and  $X = 1,000 \text{ square feet of gross floor area}$
- AM Peak Hour:  $T = 1.67 (X)$  (82% in / 18% out)
- PM Peak Hour:  $T = 2.16 (X)$  (34% in / 66% out)

Table 1 below summarizes the trip generation characteristics associated with the site at 1414 First Street in Key West and relevant excerpts from the referenced ITE manual are presented in Attachment C.

Land Use	Size	Daily Trips	AM Peak Hour Trips			PM Peak Hour Trips		
			In	Out	Total	In	Out	Total
<i>Existing</i> Storage / Parking Area	9,884 SF	14	1	0	1	0	1	1
<i>Proposed</i> Small Office Building	2,205 SF	32	3	1	4	2	3	5
MF Housing - Low-Rise	3 DU	20	0	1	1	1	1	2
<b>Total</b>		<b>52</b>	<b>3</b>	<b>2</b>	<b>5</b>	<b>3</b>	<b>4</b>	<b>7</b>
<b>Difference (Proposed - Existing)</b>		<b>38</b>	<b>2</b>	<b>2</b>	<b>4</b>	<b>3</b>	<b>3</b>	<b>6</b>

*Compiled by: KBP Consulting, Inc. (February 2024).*

*Source: Institute of Transportation Engineers (ITE) Trip Generation Manual (11th Edition).*

As indicated in Table 1 above, the proposed development is anticipated to generate 52 daily vehicle trips, five (5) AM peak hour vehicle trips (3 inbound and 2 outbound), and seven (7) PM peak hour vehicle trips (3 inbound and 4 outbound). When considering the existing vehicle parking / storage activities on the subject site, this represents an increase of 38 daily vehicle trips, an increase of four (4) AM peak hour vehicle trips and an increase of six (6) PM peak hour vehicle trips.

**Traffic Impacts**

In accordance with Section 18-358 of the City’s Code of Ordinances, the traffic impacts associated with the proposed development must be addressed. More specifically, insignificant (or “de minimis”) impacts are defined as those that constitute an impact of less than three percent (3.0%) of the capacity on the local transportation network.

Based upon the location of the subject site, it is expected that these vehicles will quickly disperse throughout the City’s street grid network. As a result of this trip dispersion, impacts to any single roadway or intersection will be minimal. However, for the purposes of this traffic impact analysis, the focus is on First Street, Staples Avenue, George Street. And concerning trip distribution, it has been assumed that the project traffic on Staples Avenue will be distributed equally in both directions. And similarly, it is assumed that traffic will be distributed equally on both First Street and George Street.

**Capacity Analyses**

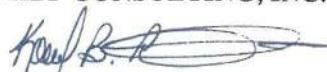
The capacities of the study roadway segments were determined based upon data published by the Florida Department of Transportation (FDOT) in their latest *2023 Multimodal Quality / Level of Service Handbook (January 2023)*. The first step to determine the capacity of this roadway segment is to establish the FDOT context classification. This was done by reviewing the step-by-step guide in the *FDOT Context Classification Guide (February 2022)*. Within this study area, there is a mix of retail, office, institutional and residential uses with small blocks and a well-connected roadway network. As a result, this area has the characteristics associated with a “C4 – Urban General” classification.

The resulting daily capacity of the two-lane roadways within the project study area is 12,672 vehicles per day (vpd) (i.e. LOS “D” service volume of 17,600 vpd with a 0.90 adjustment factor for a non-State signalized roadway and a 0.80 adjustment factor to account for the absence of exclusive left-turn lanes). In a similar manner, the hourly capacity for these roadways was established. The resulting peak hour / two-way LOS “D” capacity is 1,137 vehicles per hour (vph) (i.e. LOS “D” service volume of 1,580 vpd with a 0.90 adjustment factor for a non-State signalized roadway and a 0.80 adjustment factor to account for the absence of exclusive left-turn lanes). Please see Attachment D for the referenced level of service thresholds. The daily and peak hour traffic impacts on the surrounding (and primarily impacted) roadway segments are summarized in Table 2 below.

Table 2 Roadway Impact Analyses 1414 First Street - Key West, Florida						
Roadway	Daily			Peak Hour		
	Capacity	Project Traffic	% Impact	Capacity	Project Traffic	% Impact
Staples Avenue - Northeast of Site	12,672	19	0.15%	1,137	3	0.26%
Staples Avenue - Southwest of Site	12,672	19	0.15%	1,137	3	0.26%
First Street - North of Staples Ave	12,672	10	0.08%	1,137	2	0.18%
First Street - South of Staples Ave	12,672	10	0.08%	1,137	2	0.18%
George Street - North of Staples Ave	12,672	10	0.08%	1,137	1	0.09%
George Street - South of Staples Ave	12,672	10	0.08%	1,137	2	0.18%

As indicated in Table 2, the projected daily and peak hour vehicle trips associated with the proposed development at 1414 First Street are substantially less than the 3.0% significance thresholds on each of the directly impacted roadway segments in close proximity to the site. Therefore, these volumes will not have a significant impact on the local street network. If you have any questions or require additional information, please do not hesitate to contact me.

**KBP CONSULTING, INC.**

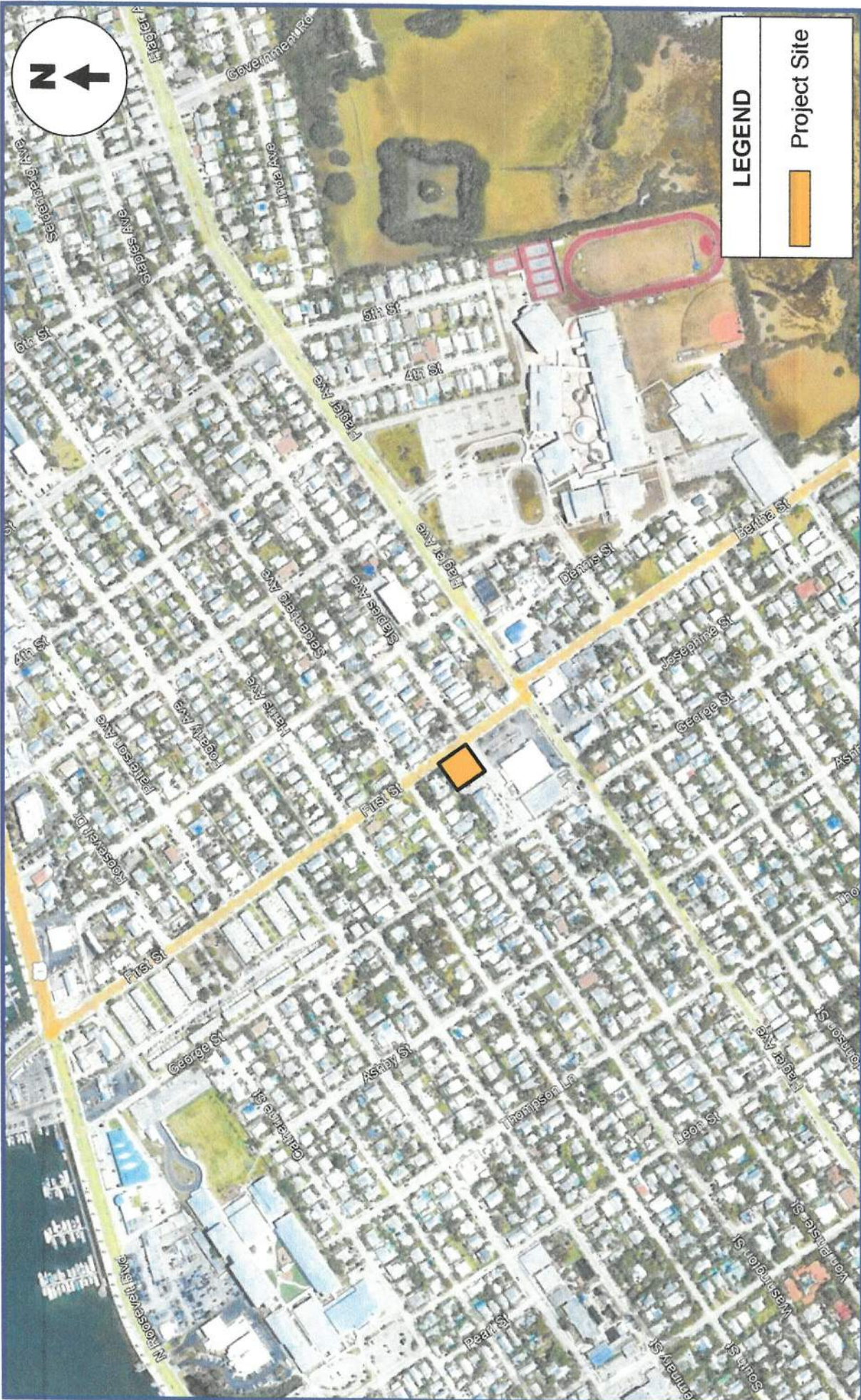


Karl B. Peterson, P.E.  
Senior Transportation Engineer


# **Attachment A**

**1414 First Street – Key West**

**Project Location Map**



**LEGEND**

 Project Site

**Attachment A**  
 1414 First Street  
 Key West, Florida

**Project Location Map**

**KBP**  
 CONSULTING, INC.



# **Attachment B**

**1414 First Street – Key West**

**Preliminary Ground Floor Plan**



### SITE DATA

SITE AREA: 0.884 AC (3,827 SQ. FT.)  
 LAND USE: CL  
 FLOOD ZONE: AE-7 (FUTURE) - AC-9 + 1.24 BAR-9 + 46.10.347  
 FIRM: REQUIRED = MAX. 0.6 (7.8022 S.F.)  
 PROPOSED = 0.392 (3,088.2 S.F.)  
 COND. IT: MAX. 18 UNITS/AC/CK  
 ALLOWED = 3.02 UNITS  
 PROPOSED = 3 RESIDENTIAL UNITS TOTAL

HEIGHT: ALLOWED = MAX. 40'  
 PROPOSED = 30'-4"

#### SETBACKS

FRONT SETBACK: REQUIRED = 15'-0"  
 EXISTING = 15'-0"  
 PROPOSED = 10'-0"

#### SIDE SETBACK

REQUIRED: 15'-0"  
 EXISTING: 0'-0"  
 PROPOSED: 38'-8"

#### STREET SIDE SETBACK

REQUIRED: 15'-0"  
 EXISTING: 15'-0"  
 PROPOSED: 30'-8"

#### REAR SETBACK

REQUIRED: 15'-0"  
 EXISTING: 10'-0"  
 PROPOSED: 10'-0"

#### BUILDING COVERAGE AREA

ALLOWED: 3,088.2 S.F. (100% MAX.)  
 PROPOSED: 3,088.2 S.F. (100% MAX.)

#### IMPERVIOUS AREA

ALLOWED: 8,830.40 S.F. (100% MAX.)  
 EXISTING: 9,884.5 S.F. (100%)  
 PROPOSED: 8,651.1 S.F. (88.54%)

#### LANDSCAPE AREA

REQUIRED: 1,379.8 S.F. (35% MIN.)  
 EXISTING: 1,379.8 S.F. (35%)  
 PROPOSED: 1,429.9 S.F. (35.4%)

#### OPEN SPACE AREA

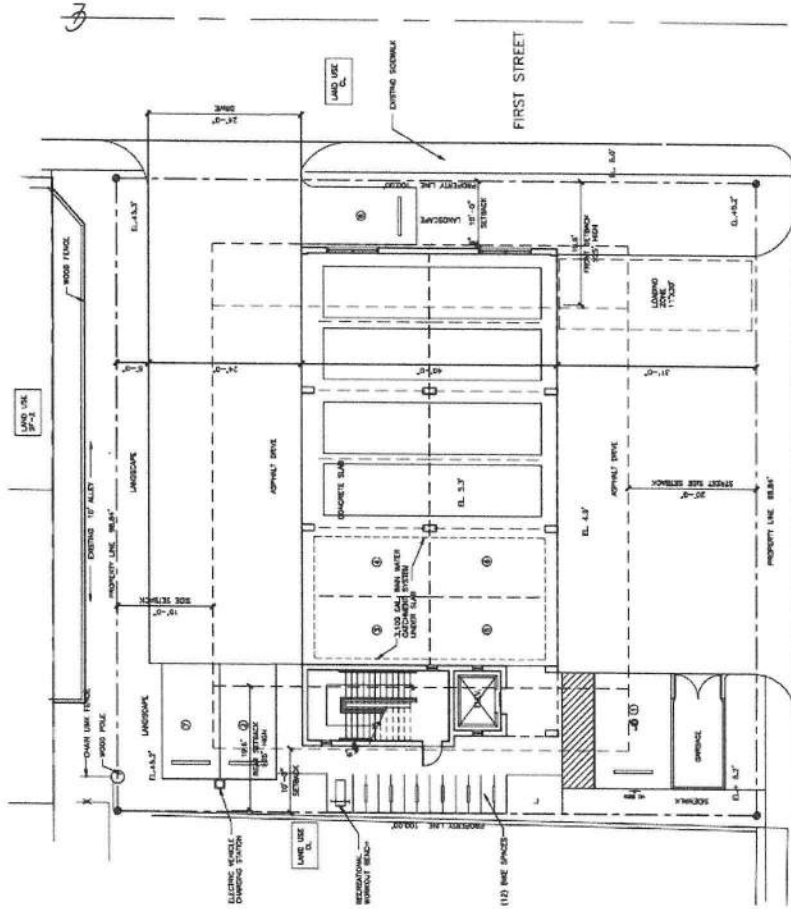
REQUIRED: 2,718.5 S.F. (70% MIN.)  
 EXISTING: 0 S.F. (0%)  
 PROPOSED: 1,429.9 S.F. (14.68%)

#### PARKING

TYPE	NO.	AREA (SQ. FT.)	AREA (SQ. YD.)	PERCENT
REQUIRED	1	1,429.9	1.43	35.4%
EXISTING	0	0	0	0%
PROPOSED	1	1,429.9	1.43	35.4%
<b>TOTAL</b>	<b>1</b>	<b>1,429.9</b>	<b>1.43</b>	<b>35.4%</b>

### BUILDING DATA

FLOOR	ENCLOSURE	AREA (SQ. FT.)	AREA (SQ. YD.)
GROUND FLOOR	REQUIRED	3,088.2	3.09
	PROPOSED	3,088.2	3.09
FIRST FLOOR	REQUIRED	2,813.0	2.81
	PROPOSED	2,813.0	2.81
SECOND FLOOR	REQUIRED	2,514.6	2.51
	PROPOSED	2,514.6	2.51



STAPLES AVENUE  
 EL. 1.57  
 PROPERTY LINE 10.00'  
 STREETSIDE SETBACK 25'-0"  
 EL. 1.57  
 PROPERTY LINE 10.00'  
 FIRST STREET  
 EL. 1.57  
 PROPERTY LINE 10.00'

LAND USE CL  
 LAND USE CL  
 LAND USE CL

GROUND FLOOR PLAN  
 SCALE 1/8" = 1'-0"  
 SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY  
 PREPARED BY J. LYNN O'LYNN, INC., DATED ON 03-13-23

1414 FIRST STREET - NEW BUILDING  
 KEY WEST, FLORIDA

# **Attachment C**

**1414 First Street – Key West**

**Relevant Excerpts from the ITE  
*Trip Generation Manual (11<sup>th</sup> Edition)***

# Land Use: 151

## Mini-Warehouse

---

### Description

A mini-warehouse is a building in which a number of storage units or vaults are rented for the storage of goods. They are typically referred to as “self-storage” facilities. Each unit is physically separated from other units, and access is usually provided through an overhead door or other common access point.

### Additional Data

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in California, Colorado, Massachusetts, Minnesota, Nevada, New Jersey, Texas, and Utah.

### Source Numbers

212, 403, 551, 568, 642, 708, 724, 850, 868, 876, 1024, 1035

# Mini-Warehouse (151)

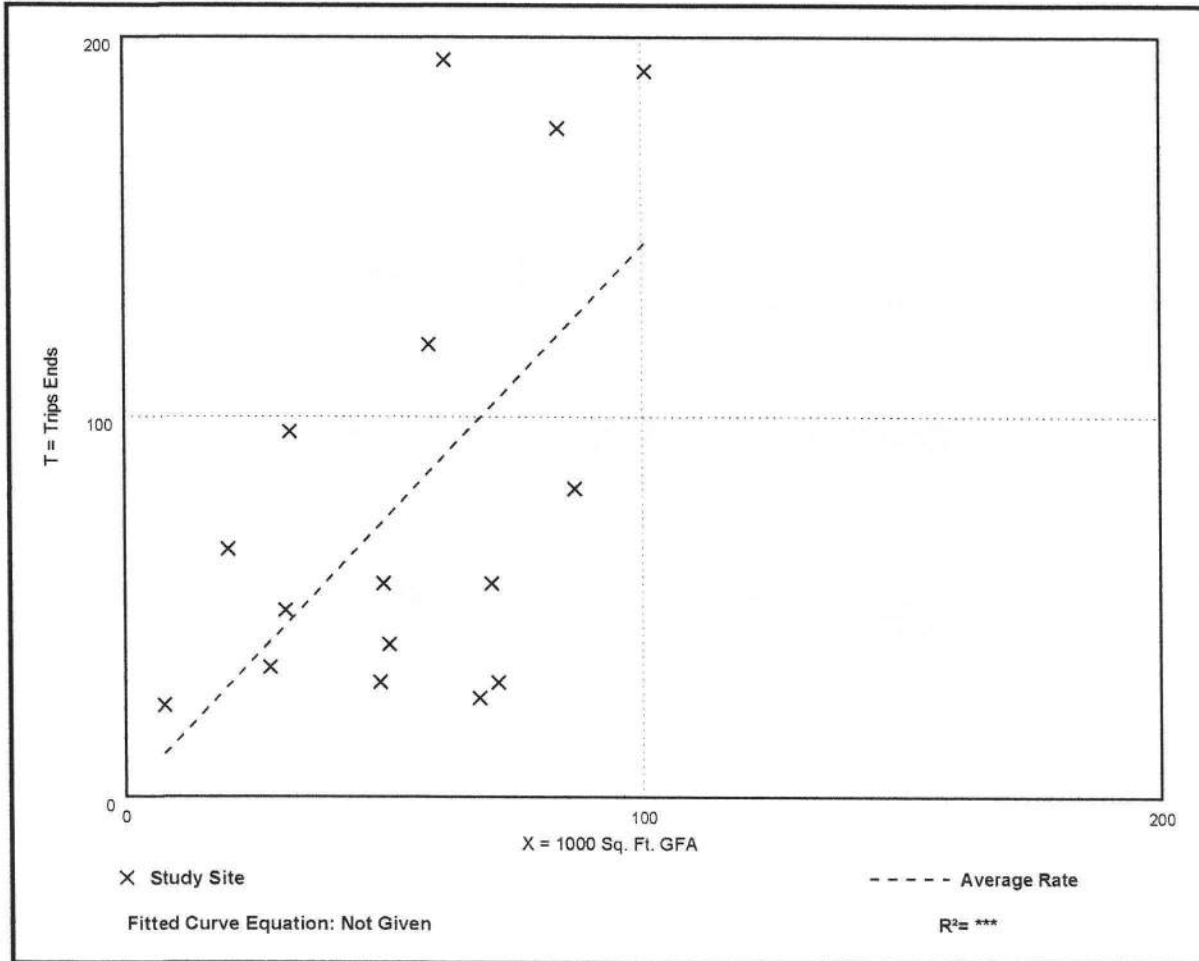
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA  
On a: Weekday

Setting/Location: General Urban/Suburban  
Number of Studies: 16  
Avg. 1000 Sq. Ft. GFA: 55  
Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
1.45	0.38 - 3.25	0.92

## Data Plot and Equation



# Mini-Warehouse (151)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 13

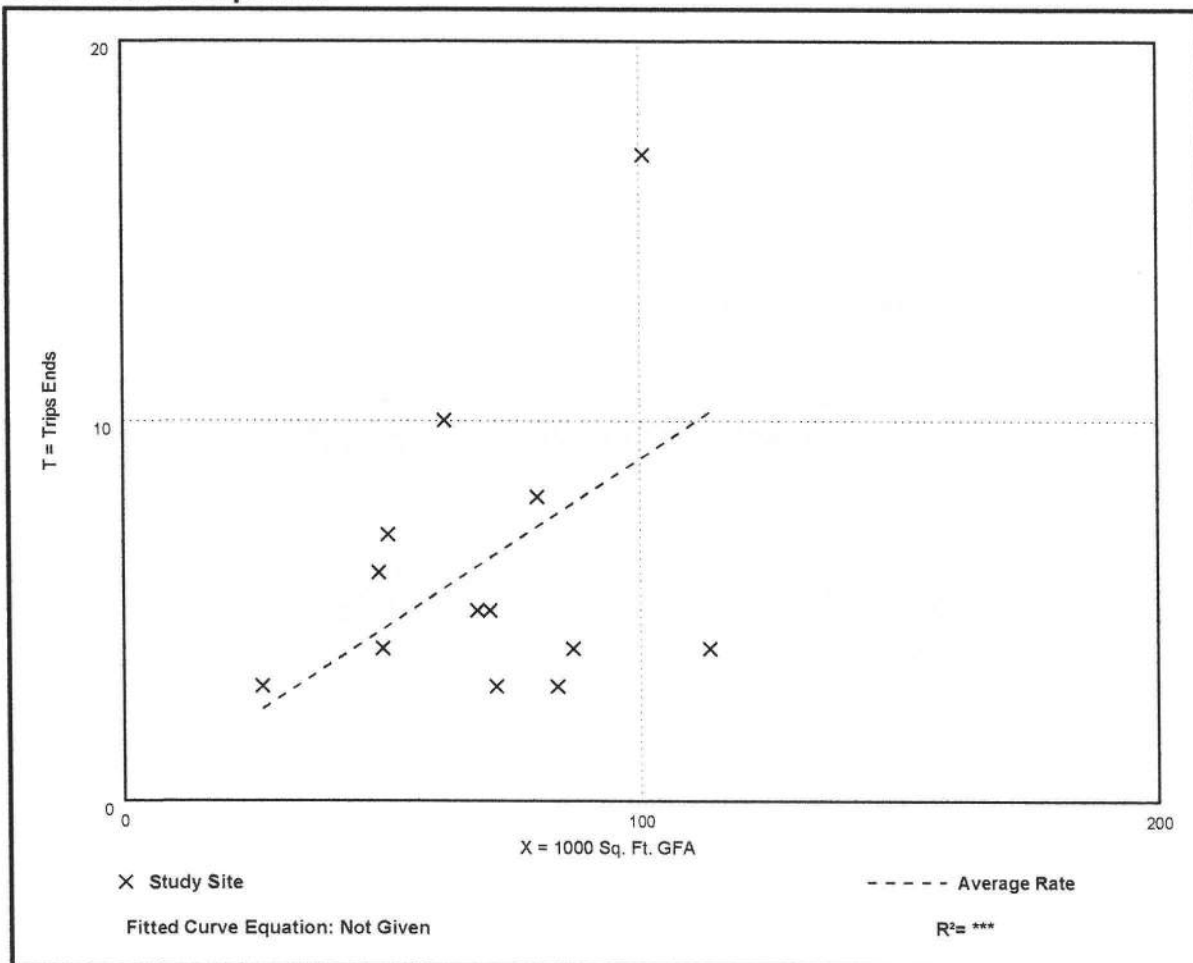
Avg. 1000 Sq. Ft. GFA: 70

Directional Distribution: 59% entering, 41% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
0.09	0.04 - 0.17	0.05

## Data Plot and Equation



# Mini-Warehouse (151)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 18

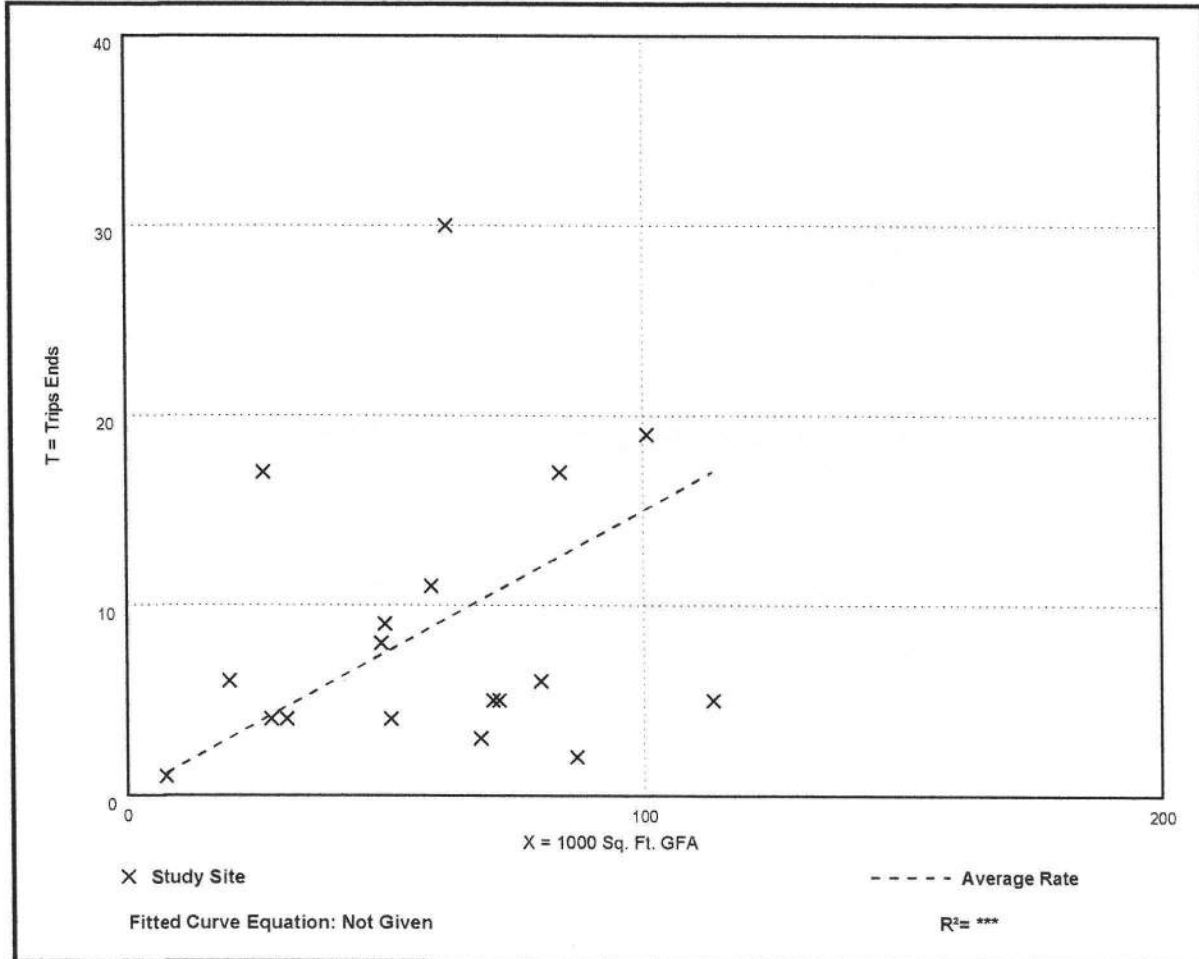
Avg. 1000 Sq. Ft. GFA: 59

Directional Distribution: 47% entering, 53% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
0.15	0.02 - 0.64	0.14

## Data Plot and Equation



# Land Use: 220

## Multifamily Housing (Low-Rise)

---

### Description

Low-rise multifamily housing includes apartments, townhouses, and condominiums located within the same building with at least three other dwelling units and that have two or three floors (levels). Various configurations fit this description, including walkup apartment, mansion apartment, and stacked townhouse.

- A walkup apartment typically is two or three floors in height with dwelling units that are accessed by a single or multiple entrances with stairways and hallways.
- A mansion apartment is a single structure that contains several apartments within what appears to be a single-family dwelling unit.
- A fourplex is a single two-story structure with two matching dwelling units on the ground and second floors. Access to the individual units is typically internal to the structure and provided through a central entry and stairway.
- A stacked townhouse is designed to match the external appearance of a townhouse. But, unlike a townhouse dwelling unit that only shares walls with an adjoining unit, the stacked townhouse units share both floors and walls. Access to the individual units is typically internal to the structure and provided through a central entry and stairway.

Multifamily housing (mid-rise) (Land Use 221), multifamily housing (high-rise) (Land Use 222), affordable housing (Land Use 223), and off-campus student apartment (low-rise) (Land Use 225) are related land uses.

### Land Use Subcategory

Data are presented for two subcategories for this land use: (1) not close to rail transit and (2) close to rail transit. A site is considered close to rail transit if the walking distance between the residential site entrance and the closest rail transit station entrance is ½ mile or less.

### Additional Data

For the three sites for which both the number of residents and the number of occupied dwelling units were available, there were an average of 2.72 residents per occupied dwelling unit.

For the two sites for which the numbers of both total dwelling units and occupied dwelling units were available, an average of 96.2 percent of the total dwelling units were occupied.

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip



generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

For the three sites for which data were provided for both occupied dwelling units and residents, there was an average of 2.72 residents per occupied dwelling unit.

***It is expected that the number of bedrooms and number of residents are likely correlated to the trips generated by a residential site. To assist in future analysis, trip generation studies of all multifamily housing should attempt to obtain information on occupancy rate and on the mix of residential unit sizes (i.e., number of units by number of bedrooms at the site complex).***

The sites were surveyed in the 1980s, the 1990s, the 2000s, the 2010s, and the 2020s in British Columbia (CAN), California, Delaware, Florida, Georgia, Illinois, Indiana, Maine, Maryland, Massachusetts, Minnesota, New Jersey, Ontario (CAN), Oregon, Pennsylvania, South Carolina, South Dakota, Tennessee, Texas, Utah, and Washington.

### **Source Numbers**

188, 204, 237, 300, 305, 306, 320, 321, 357, 390, 412, 525, 530, 579, 583, 638, 864, 866, 896, 901, 903, 904, 936, 939, 944, 946, 947, 948, 963, 964, 966, 967, 1012, 1013, 1014, 1036, 1047, 1056, 1071, 1076

# Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units  
On a Weekday

Setting/Location: General Urban/Suburban

Number of Studies: 22

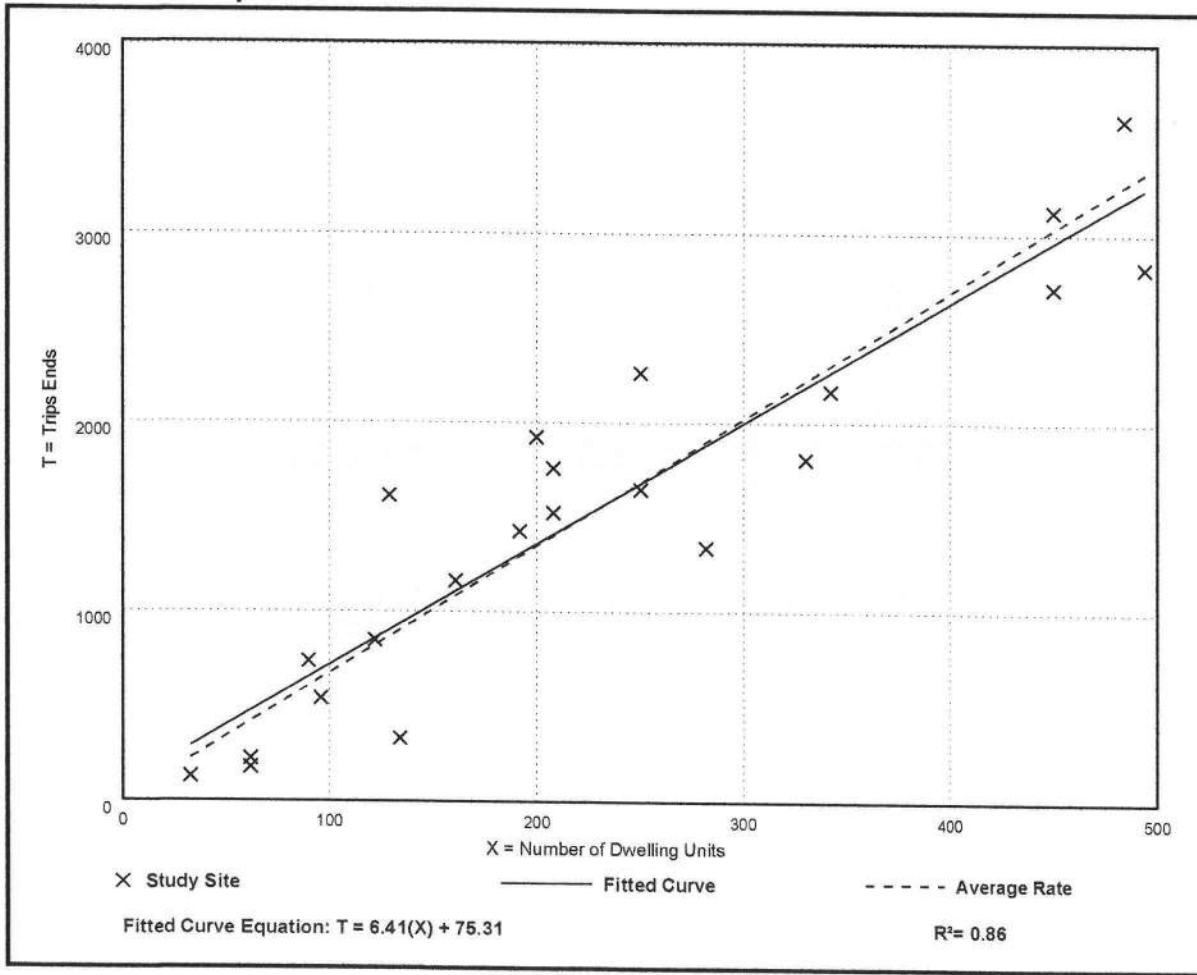
Avg. Num. of Dwelling Units: 229

Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
6.74	2.46 - 12.50	1.79

## Data Plot and Equation



# Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 49

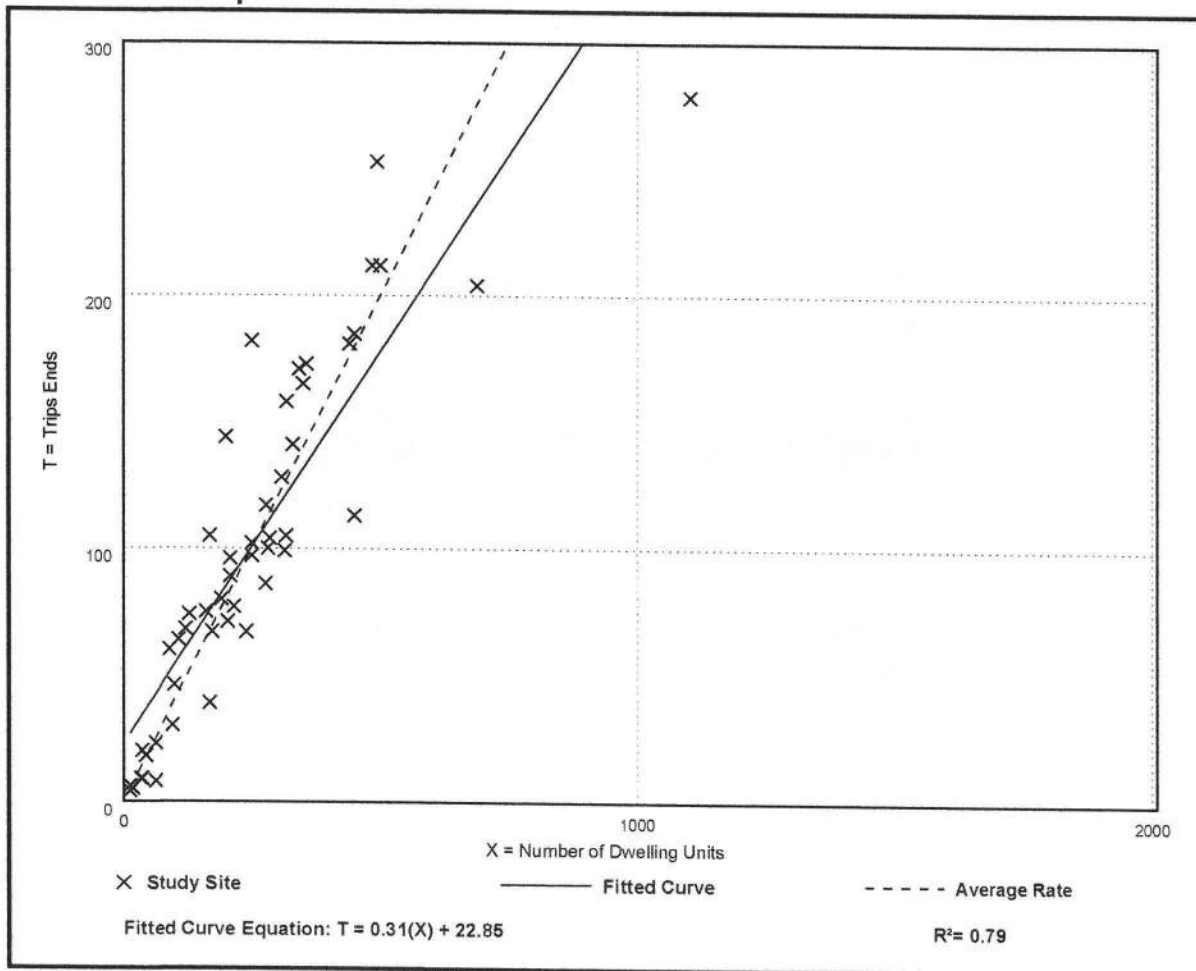
Avg. Num. of Dwelling Units: 249

Directional Distribution: 24% entering, 76% exiting

## Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.40	0.13 - 0.73	0.12

## Data Plot and Equation



# Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 59

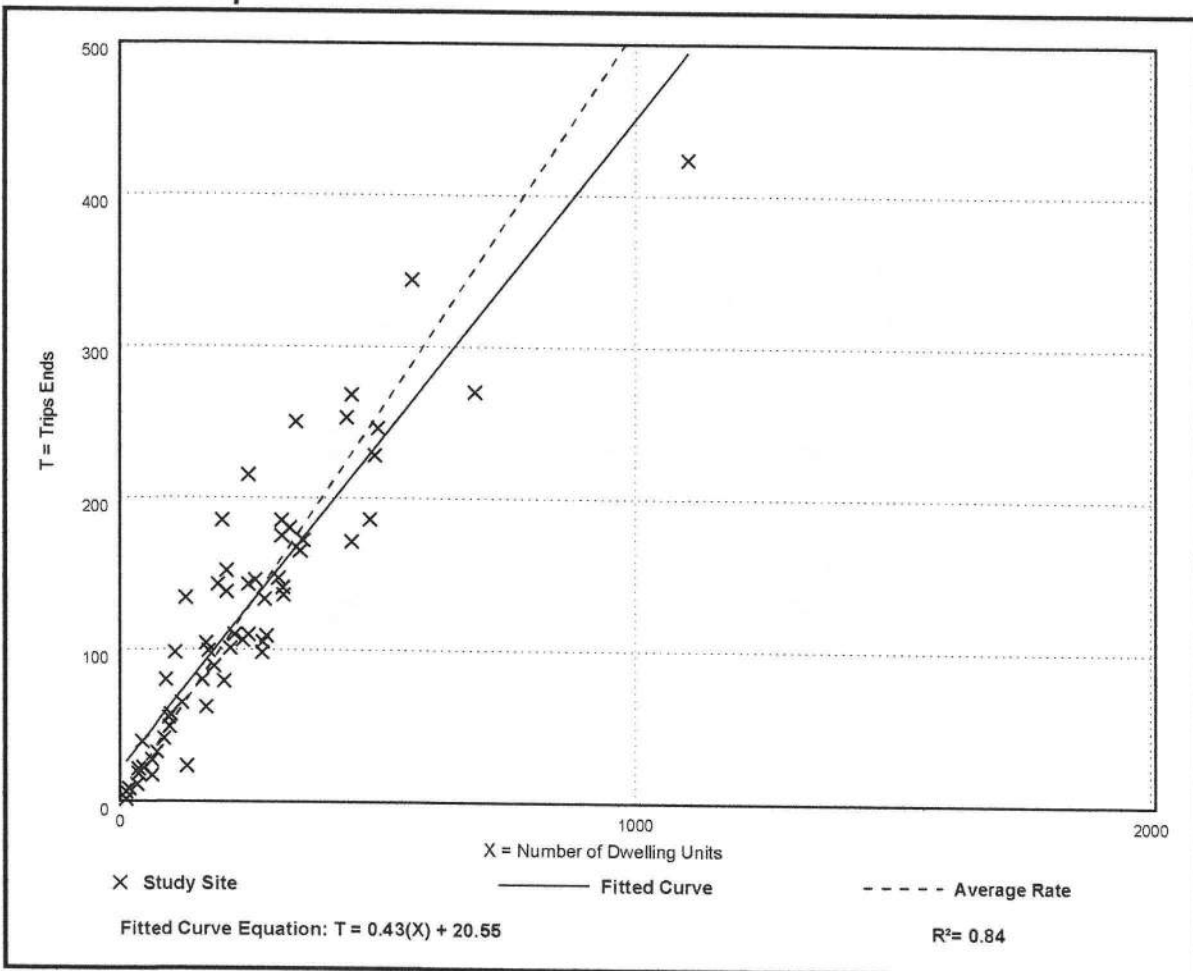
Avg. Num. of Dwelling Units: 241

Directional Distribution: 63% entering, 37% exiting

## Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.51	0.08 - 1.04	0.15

## Data Plot and Equation



# Land Use: 712

## Small Office Building

---

### Description

A small office building is the same as a general office building (Land Use 710) but with less than or equal to 10,000 square feet of gross floor area. The building typically houses a single tenant. It is a location where affairs of a business, commercial or industrial organization, or professional person or firm are conducted. General office building (Land Use 710) is a related use.

### Additional Data

Attorney office, mortgage company, financial advisor, insurance agency, home health care provider, and real estate company are examples of tenants included in the small office building database. The diversity of employer types results in a wide range in employee density in the database. Densities range from a high of 1,300 to a low of 240 square feet per employee with an overall average of nearly 600 square feet per employee (a value much larger than the average observed in a general office building study sites).

In addition to the significant difference in employee density, small office buildings tend to be dominated by a single tenant (or very few) that are more service-oriented than a typical general office building. The result is more frequent and regular visitors and higher trip generation rates.

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

The sites were surveyed in the 1980s and the 2010s in Alberta (CAN), California, Texas, and Wisconsin.

### Source Numbers

418, 890, 891, 959, 976

# Small Office Building (712)

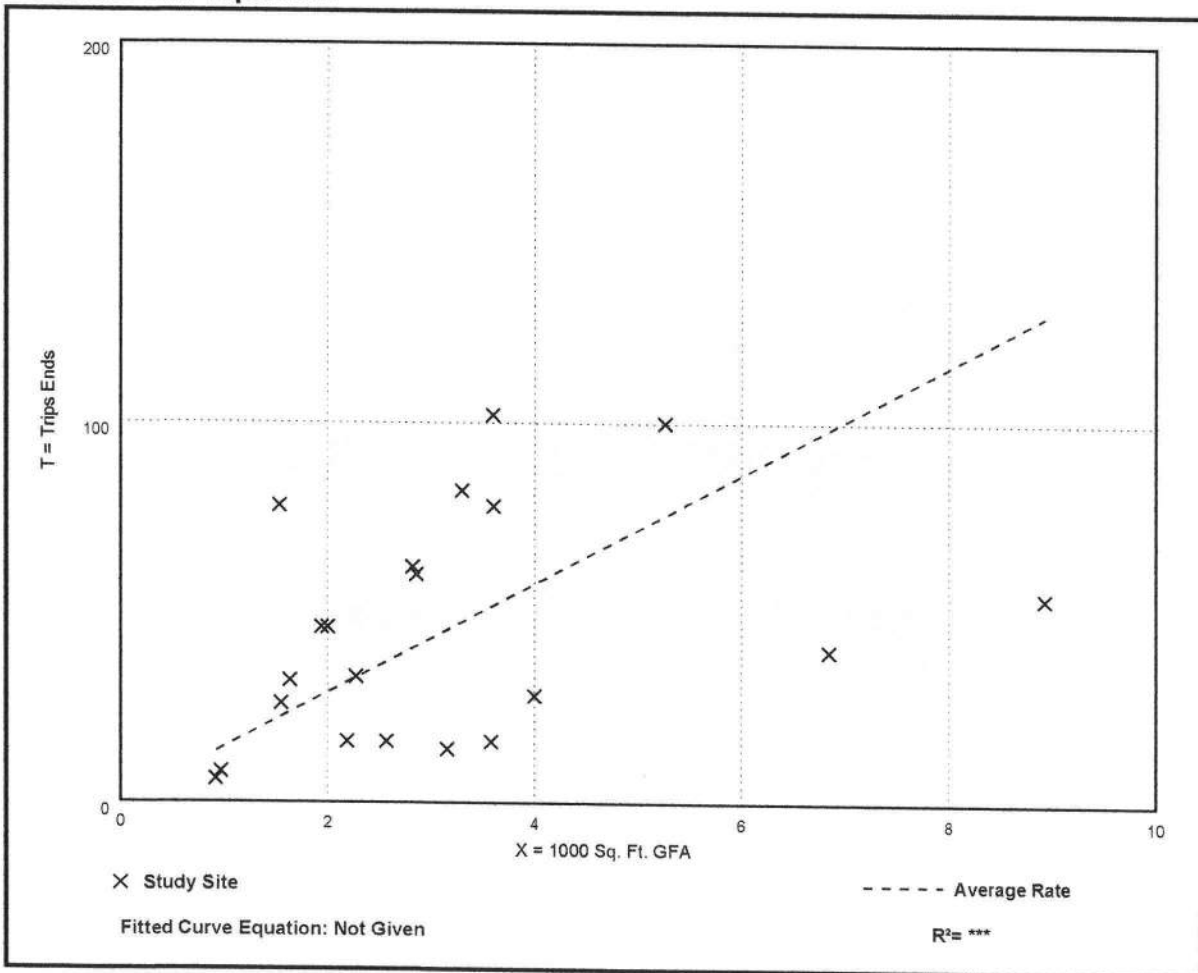
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA  
On a: Weekday

Setting/Location: General Urban/Suburban  
Number of Studies: 21  
Avg. 1000 Sq. Ft. GFA: 3  
Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
14.39	4.44 - 50.91	10.16

## Data Plot and Equation



# Small Office Building (712)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 21

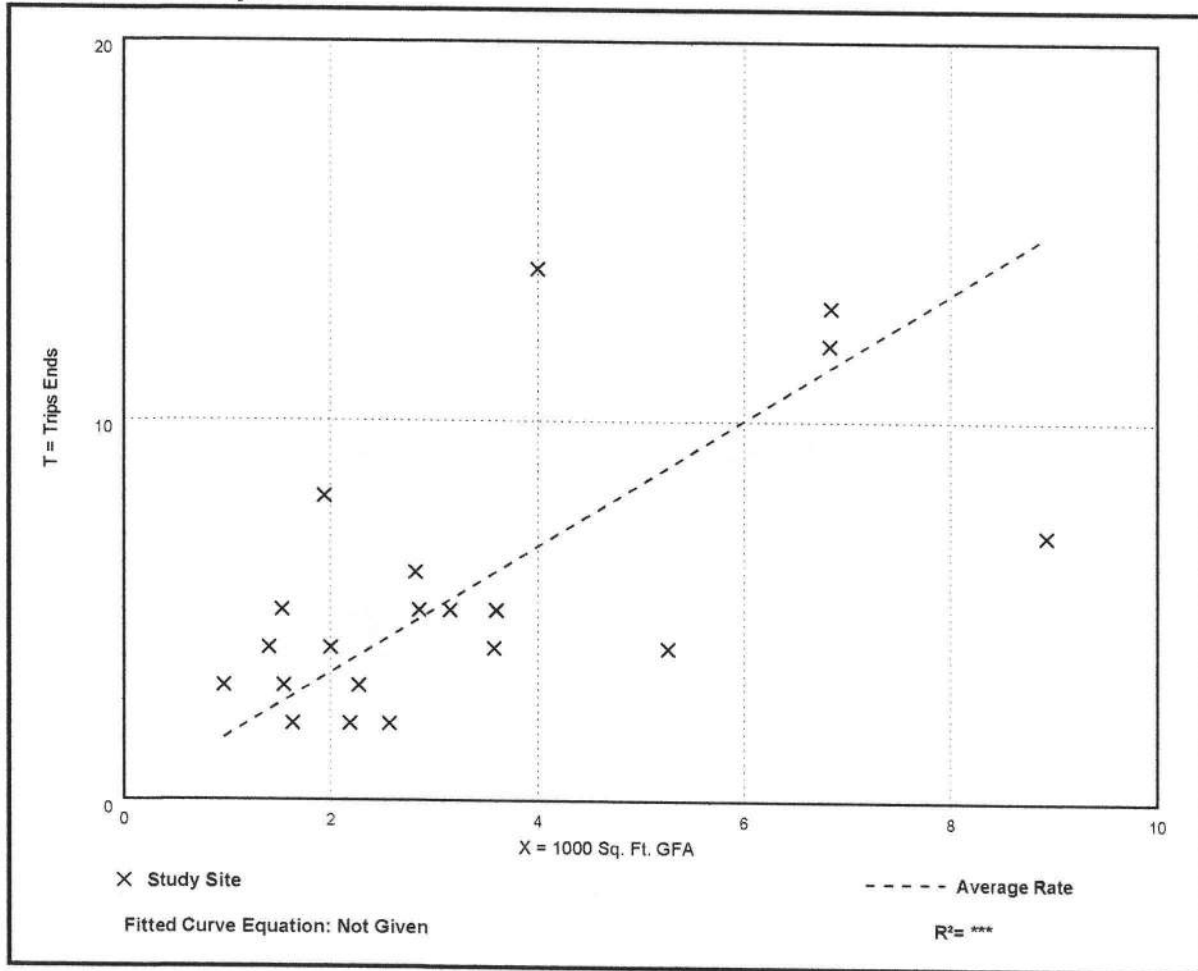
Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 82% entering, 18% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
1.67	0.76 - 4.12	0.88

## Data Plot and Equation



# Small Office Building (712)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 21

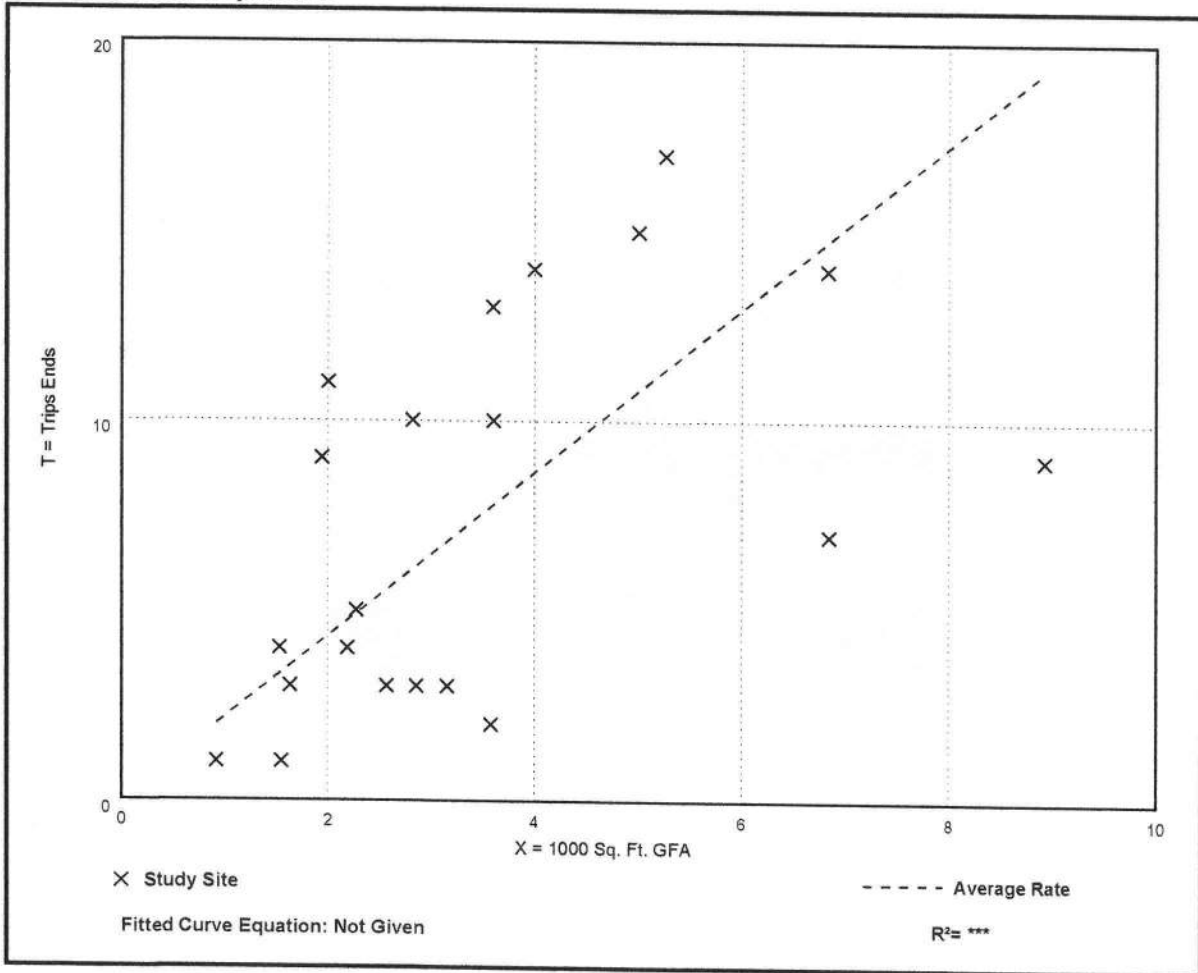
Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 34% entering, 66% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
2.16	0.56 - 5.50	1.26

## Data Plot and Equation





# **Attachment D**

**1414 First Street – Key West**

**FDOT Level of Service Tables**

# C2T, C4, C5, & C6

## Motor Vehicle Arterial Generalized Service Volume Tables

### Peak Hour Directional

	B	C	D	E
1 Lane	*	720	940	**
2 Lane	*	1,140	1,640	**
3 Lane	*	2,120	2,510	**

### Peak Hour Two-Way

	B	C	D	E
2 Lane	*	1,310	1,710	**
4 Lane	*	2,070	2,980	**
6 Lane	*	3,850	4,560	**

### AADT

	B	C	D	E
2 Lane	*	13,800	18,000	**
4 Lane	*	21,800	31,400	**
6 Lane	*	40,500	48,000	**



(C2T-Rural Town)



(C4-Urban General)



(C5-Urban Center)



(C6-Urban Core)

	B	C	D	E
1 Lane	*	*	870	1,190
2 Lane	*	1,210	1,790	2,020
3 Lane	*	2,210	2,810	2,990
4 Lane	*	2,590	3,310	3,510

	B	C	D	E
2 Lane	*	*	1,580	2,160
4 Lane	*	2,200	3,250	3,670
6 Lane	*	4,020	5,110	5,440
8 Lane	*	4,710	6,020	6,380

	B	C	D	E
2 Lane	*	*	17,600	24,000
4 Lane	*	24,400	36,100	40,800
6 Lane	*	44,700	56,800	60,400
8 Lane	*	52,300	66,900	70,900

	B	C	D	E
1 Lane	*	*	690	1,080
2 Lane	*	1,290	1,900	2,130
3 Lane	*	1,410	2,670	3,110
4 Lane	*	2,910	3,560	3,640

	B	C	D	E
2 Lane	*	*	1,250	1,960
4 Lane	*	2,350	3,450	3,870
6 Lane	*	2,560	4,850	5,650
8 Lane	*	5,290	6,470	6,620

	B	C	D	E
2 Lane	*	*	13,900	21,800
4 Lane	*	26,100	38,300	43,000
6 Lane	*	28,400	53,900	62,800
8 Lane	*	58,800	71,900	73,600

	B	C	D	E
1 Lane	*	***	790	1,030
2 Lane	*	***	1,490	1,920
3 Lane	*	***	2,730	2,940
4 Lane	*	***	3,250	3,490

	B	C	D	E
2 Lane	*	***	1,440	1,870
4 Lane	*	***	2,710	3,490
6 Lane	*	***	4,960	5,350
8 Lane	*	***	5,910	6,350

	B	C	D	E
2 Lane	*	***	16,000	20,800
4 Lane	*	***	30,100	38,800
6 Lane	*	***	55,100	59,400
8 Lane	*	***	65,700	70,600

### Adjustment Factors

The peak hour directional service volumes should be adjusted by multiplying by 1.2 for one-way facilities  
 The AADT service volumes should be adjusted by multiplying 0.6 for one way facilities 2 Lane Divided  
 Roadway with an Exclusive Left Turn Lane(s): Multiply by 1.05  
 2 Lane Undivided Roadway with No Exclusive Left Turn Lane(s): Multiply by 0.80

Exclusive right turn lane(s): Multiply by 1.05  
 Multilane Undivided Roadway with an Exclusive Left Turn Lane(s): Multiply by 0.95  
 Multilane Roadway with No Exclusive Left Turn Lane(s): Multiply by 0.75  
 Non-State Signalized Roadway: Multiply by 0.90

This table does not constitute a standard and should be used only for general planning applications. The table should not be used for corridor or intersection design, where more refined techniques exist.  
 \*\*Cannot be achieved using table input value defaults. \*\*\*Not applicable for that level of service letter grade. For the automobile mode, volumes greater than level of service D become F because intersection capacities have been reached.  
 \*\*\*LOS C thresholds are not applicable for C6 as C6 roadway facilities are neither planned nor designed to achieve automobile LOS C.

# **PROPERTY CARD**

# Monroe County, FL

## Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

## Summary

Parcel ID 00047070-000100  
 Account# 8887850  
 Property ID 8887850  
 Millage Group 10KW  
 Location Address 1817 STAPLES Ave, KEY WEST  
 Legal KW KW REALTY CO'S FIRST SUB PB1-43 LOTS 6 & 7 SQR 17 TR 21 OR1409-668  
 Description OR1754-112/32F/J OR1758-887/88Q/C OR1966-1243  
 (Note: Not to be used on legal documents.)  
 Neighborhood 31050  
 Property Class COMMERCIAL (1000)  
 Subdivision Key West Realty Co's First Sub  
 Sec/Twp/Rng 05/68/25  
 Affordable No  
 Housing



## Owner

[CONCH TOUR TRAIN INC](#)  
 201 Front St  
 Ste 204  
 Key West FL 33040

## Valuation

	2023 Certified Values	2022 Certified Values	2021 Certified Values	2020 Certified Values
+ Market Improvement Value	\$0	\$0	\$0	\$0
+ Market Misc Value	\$22,759	\$22,892	\$23,025	\$23,158
+ Market Land Value	\$503,217	\$140,901	\$140,901	\$140,901
= Just Market Value	\$525,976	\$163,793	\$163,926	\$164,059
= Total Assessed Value	\$180,172	\$163,793	\$163,926	\$164,059
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$525,976	\$163,793	\$163,926	\$164,059

## Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2022	\$140,901	\$0	\$22,892	\$163,793	\$163,793	\$0	\$163,793	\$0
2021	\$140,901	\$0	\$23,025	\$163,926	\$163,926	\$0	\$163,926	\$0
2020	\$140,901	\$0	\$23,158	\$164,059	\$164,059	\$0	\$164,059	\$0
2019	\$140,901	\$0	\$23,292	\$164,193	\$164,193	\$0	\$164,193	\$0
2018	\$140,901	\$0	\$12,799	\$153,700	\$153,700	\$0	\$153,700	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

## Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	9,867.00	Square Foot	0	100

## Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
ASPHALT PAVING	1973	1974	0 x 0	1	9488 SF	2
CH LINK FENCE	2012	2014	6 x 300	1	1800 SF	1

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
1/9/2004	\$625,000	Warranty Deed		1966	1243	C - Unqualified	Improved		
5/1/1996	\$160,000	Warranty Deed		1409	0668	U - Unqualified	Vacant		

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
12-3908	10/30/2012	12/31/2012	\$6,500	Commercial	ERECT 300 L.F. OF 6' HIGH GALVANIZED CHAIN LINK FENCE TWO (2) 20' X 6' ROLL GATES (BY PARTING) OPU ON TRAILER AWNINGS SERVICE FOR AMBULANCE SEWER LINE FOUNDATION FOR MOBILE HOM
9903116	9/7/1999	10/19/1999	\$1,500	Commercial	
9703719	10/1/1997	11/1/1997	\$1,400		
9702205	7/1/1997	11/1/1997	\$2,000		
9702235	7/1/1997	11/1/1997	\$300		
9701815	6/1/1997	11/1/1997	\$6,000	Commercial	

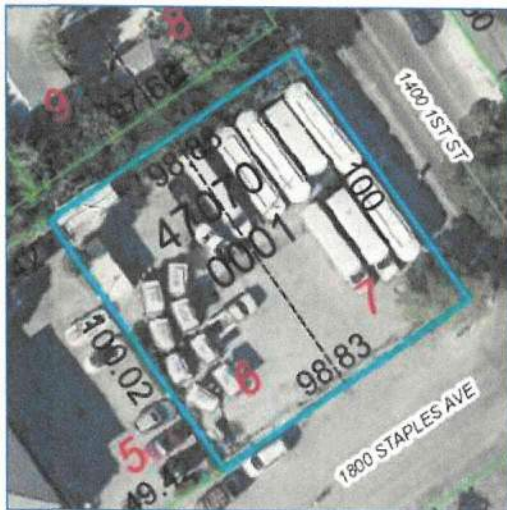
View Tax Info

[View Taxes for this Parcel](#)

Photos



Map



TRIM Notice

[2023 TRIM Notice \(PDF\)](#)

No data available for the following modules: Buildings, Sketches (click to enlarge).

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to assess a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Information provided regarding one tax year may not be available in prior or subsequent years. By requesting such data, you hereby acknowledge and agree that the

Contact Us



[User Privacy Policy](#) | [GDPR Privacy Notice](#)  
Last Data Upload: 2/15/2024, 5:21:25 AM

**AUTHORIZATION  
FORM**

City of Key West  
Planning Department



Authorization Form  
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, EDWIN O SWIFT, III as  
*Please Print Name of person with authority to execute documents on behalf of entity*

PRESIDENT of CONCH TOUR TRAIN, INC.  
*Name of office (President, Managing Member)* *Name of owner from deed*

authorize TREPANIER & ASSOCIATES, INC.  
*Please Print Name of Representative*

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]  
*Signature of person with authority to execute documents on behalf on entity owner*

Subscribed and sworn to (or affirmed) before me on this 12-12-18  
*Date*

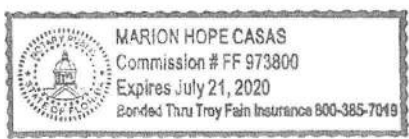
by EDWIN O SWIFT, III  
*Name of person with authority to execute documents on behalf on entity owner*

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

Marion Hope Casas  
*Notary's Signature and Seal*

MARION HOPE CASAS  
*Name of Acknowledger typed, printed or stamped*

\_\_\_\_\_  
*Commission Number, if any*





**VERIFICATION  
FORM**



**City of Key West  
Planning Department  
Verification Form**  
*(Where Applicant is an entity)*

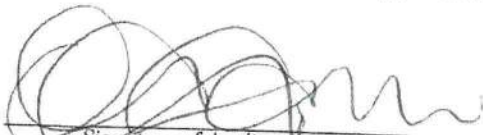
I, Owen Trepanier, in my capacity as President  
*(print name)* *(print position; president, managing member)*  
of Trepanier & Associates Inc  
*(print name of entity)*

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

1817 Staples Avenue (aka 1414 First Street), Key West, FL 33040  
*Street address of subject property*


I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that I am the Authorized Representative of the property involved in this application; that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

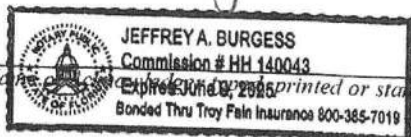
In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

  
*Signature of Applicant*

Subscribed and sworn to (or affirmed) before me on this 9/27/23 by  
Owen Trepanier  
*Name of Applicant* *date*

He/She is personally known to me or has presented NA as identification.

  
*Notary's Signature and Seal*



*Name of Notary, if printed or stamped*

*Commission Number, if any*

**SUNBIZ  
INFORMATION**



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

### Detail by Entity Name

Florida Profit Corporation  
CONCH TOUR TRAIN, INC.

**Filing Information**

<b>Document Number</b>	G39497
<b>FE/EIN Number</b>	59-2289967
<b>Date Filed</b>	05/09/1983
<b>State</b>	FL
<b>Status</b>	ACTIVE
<b>Last Event</b>	AMENDMENT
<b>Event Date Filed</b>	10/05/2010
<b>Event Effective Date</b>	NONE

**Principal Address**

201 FRONT ST  
SUITE 224  
KEY WEST, FL 33040

Changed: 03/26/2002

**Mailing Address**

201 FRONT ST  
SUITE 224  
KEY WEST, FL 33040

Changed: 04/07/2019

**Registered Agent Name & Address**

SWIFT, EDWIN O., III  
201 FRONT ST  
SUITE 224  
KEY WEST, FL 33040

Name Changed: 03/06/2013

Address Changed: 03/26/2002

**Officer/Director Detail**

**Name & Address**

Title PD

SWIFT, EDWIN O., III  
201 FRONT STREET, SUITE 224  
KEY WEST, FL 33040

Title SD

BELLAND, CHRISTOPHER C  
201 FRONT ST, STE 224  
KEY WEST, FL 33040

**Annual Reports**

Report Year	Filed Date
2021	03/16/2021
2022	02/10/2022
2023	03/21/2023

**Document Images**

<a href="#">03/21/2023 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/10/2022 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/16/2021 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">01/24/2020 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">04/07/2019 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/06/2018 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/08/2017 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/14/2016 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">04/24/2015 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/06/2014 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/06/2013 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/22/2012 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/15/2011 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">10/05/2010 -- Amendment</a>	View image in PDF format
<a href="#">02/10/2010 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">04/13/2009 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/22/2008 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/26/2007 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">01/19/2006 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/07/2005 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/04/2004 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/03/2003 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/26/2002 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">05/03/2001 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">05/07/2000 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">04/23/1999 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/27/1998 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">01/31/1997 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/08/1996 -- ANNUAL REPORT</a>	View image in PDF format

[04/26/1995 -- ANNUAL REPORT](#)

[View image in PDF format](#)

**DEED**

MONROE COUNTY  
OFFICIAL RECORDS

FILE #1419120  
BK#1966 PG#1243

RCD Jan 09 2004 03:13PM  
DANNY L KOLHAGE, CLERK

DEED DOC STAMPS 4375.00  
01/09/2004 DEP CLK

This Instrument Prepared by and Return to:  
JOHN M. SPOTTSWOOD, JR.  
SPOTTSWOOD, SPOTTSWOOD & SPOTTSWOOD  
500 FLEMING STREET  
Key West, FL 33040

Parcel ID Number: 00047070-000000

# Warranty Deed

This Indenture, Made this 9th day of January, 2004 A.D. Between BARRY BARROSO, JR., a single man

of the County of Monroe, State of Florida, grantor, and CONCH TOUR TRAIN, INC., a corporation existing under the laws of the State of Florida, whose address is: 201 Front Street, Key West, FL 33040

of the County of Monroe, State of Florida, grantee.

Witnesseth that the GRANTOR, for and in consideration of the sum of TEN DOLLARS (\$10) DOLLARS, and other good and valuable consideration to GRANTOR in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Monroe, State of Florida to wit:

On the Island of Key West known on the KEY WEST REALTY COMPANY'S FIRST SUBDIVISION OF PART OF TRACT 21 and Salt Pond Lots 1, 2, 3, 4 and 5, according to diagram of said subdivision recorded in Plat Book 1, Page 43, of the Public Records of Monroe County, Florida, as Lots 6 and 7, in Block 17.

### MORE CORRECTLY DESCRIBED AS:

On the Island of Key West and known as Lots 6 and 7 in Square 17, of KEY WEST REALTY CO'S First Subdivision of Part of Tract 21, and Lots 1, 2, 3, 4, 5, Island of Key West, as recorded in Plat Book 1 at Page 43 of the Public Records of Monroe County, Florida.

Subject to restrictions, reservations and easements of record, if any, and taxes subsequent to 2004.

and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantor has hereunto set his hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

*Erica N. Hughes*  
Printed Name: ERICA N. HUGHES  
Witness

*B. Barroso* (Seal)  
BARRY BARROSO, JR.  
P.O. Address: 1014 White Street, Key West, FL 33040

*Sarah L. Vega*  
Printed Name: Sarah L. Vega  
Witness

STATE OF Florida  
COUNTY OF Monroe

The foregoing instrument was acknowledged before me this 9th day of January, 2004 by BARRY BARROSO, JR., a single man

he is personally known to me or he has produced his Florida driver's license identification

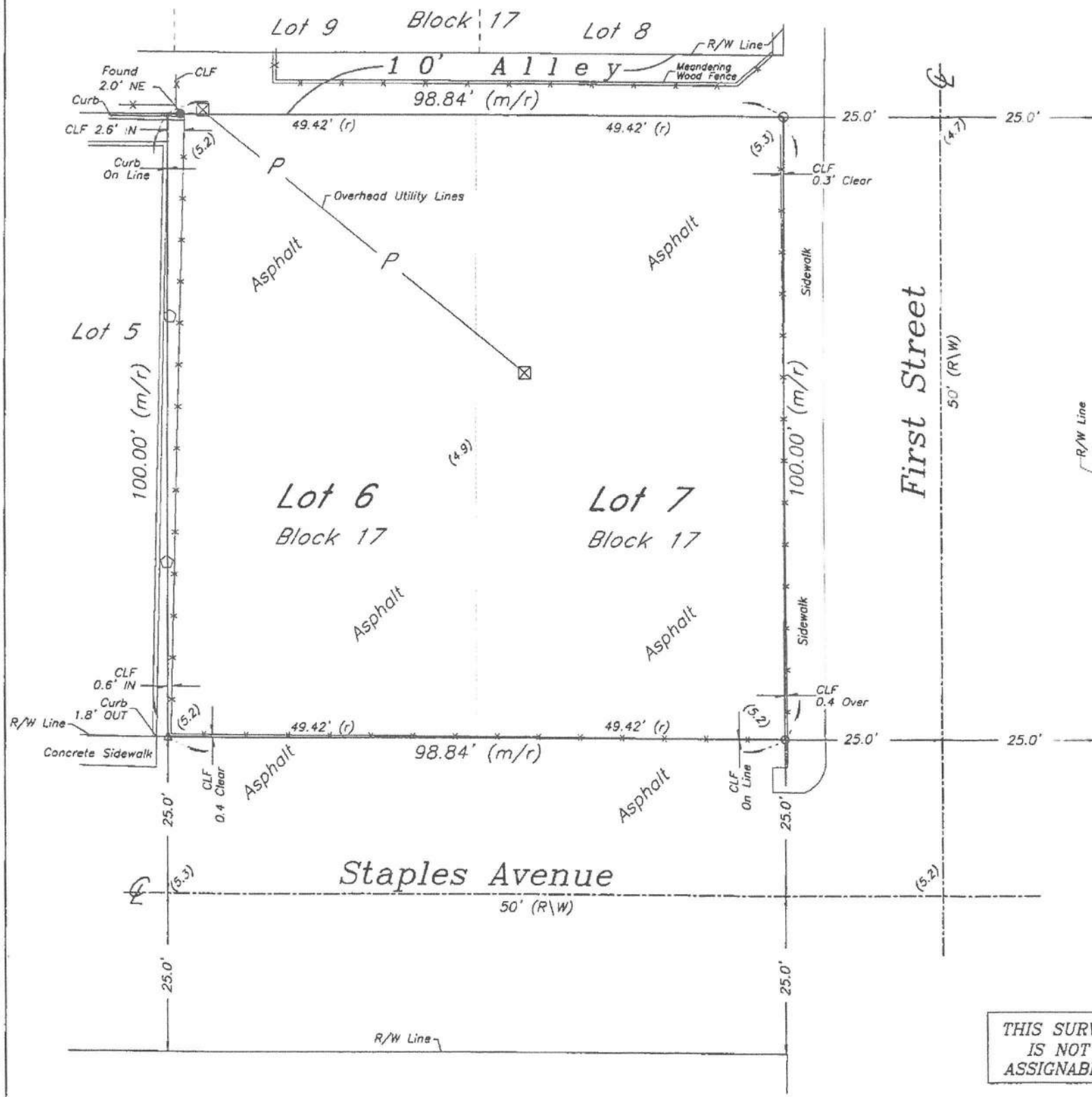
MONROE COUNTY  
OFFICIAL RECORDS

*Sarah L. Vega*  
Printed Name: Sarah L. Vega  
Notary Public  
My Commission Expires: November 14, 2005



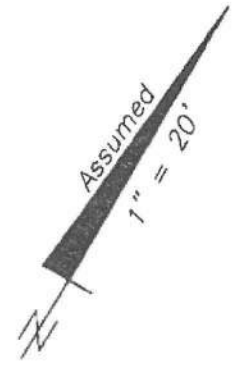
# **SURVEY**

# Boundary Survey Map of Lots 6 & 7, Block 17 KEY WEST REALTY CO'S First Sub.



### LEGEND

- ⊙ Found 1" Iron Pipe (No ID)
- Set 3/4" Iron Pipe w/cap (6298)
- Found 1/2" Iron Rod (No ID)
- ▲ Found Nail & Disc (5234)
- △ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R/W Right of Way
- CLF Chain Link Fence
- ⊕ Centerline
- ⊠ Utility Pole
- P- Overhead Utility Lines
- Lightpole
- (4.9) Spot Elevation (Typical)



### NOTES:

1. The legal description shown hereon was furnished by the client or their agent. This survey does not determine or imply ownership.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 1414 First Street, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Date of field work: January 11, 2023
9. Ownership of fences is undeterminable, unless otherwise noted.
10. Elevations are shown in parenthesis and refer to Mean Sea Level N.G.V.D. 1929 Datum.
11. Flood Insurance Rate Map Zone: AE (EL7); Community Panel No. 120168; 1517K; dated 2/18/05.

**BOUNDARY SURVEY OF:** On the Island of Key West known on the KEY WEST REALTY COMPANY'S FIRST SUBDIVISION OF PART OF TRACT 21 and Salt Pond Lots 1, 2, 3, 4, and 5, according to diagram of said subdivision recorded in Plat Book 1, Page 43 of the Public Records of Monroe County, Florida, as Lots Nos. 6 and 7 in Block 17.

**BOUNDARY SURVEY FOR:** Conch Tour Train Inc.

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J 17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM  
Florida Reg. #5298

March 18, 2023

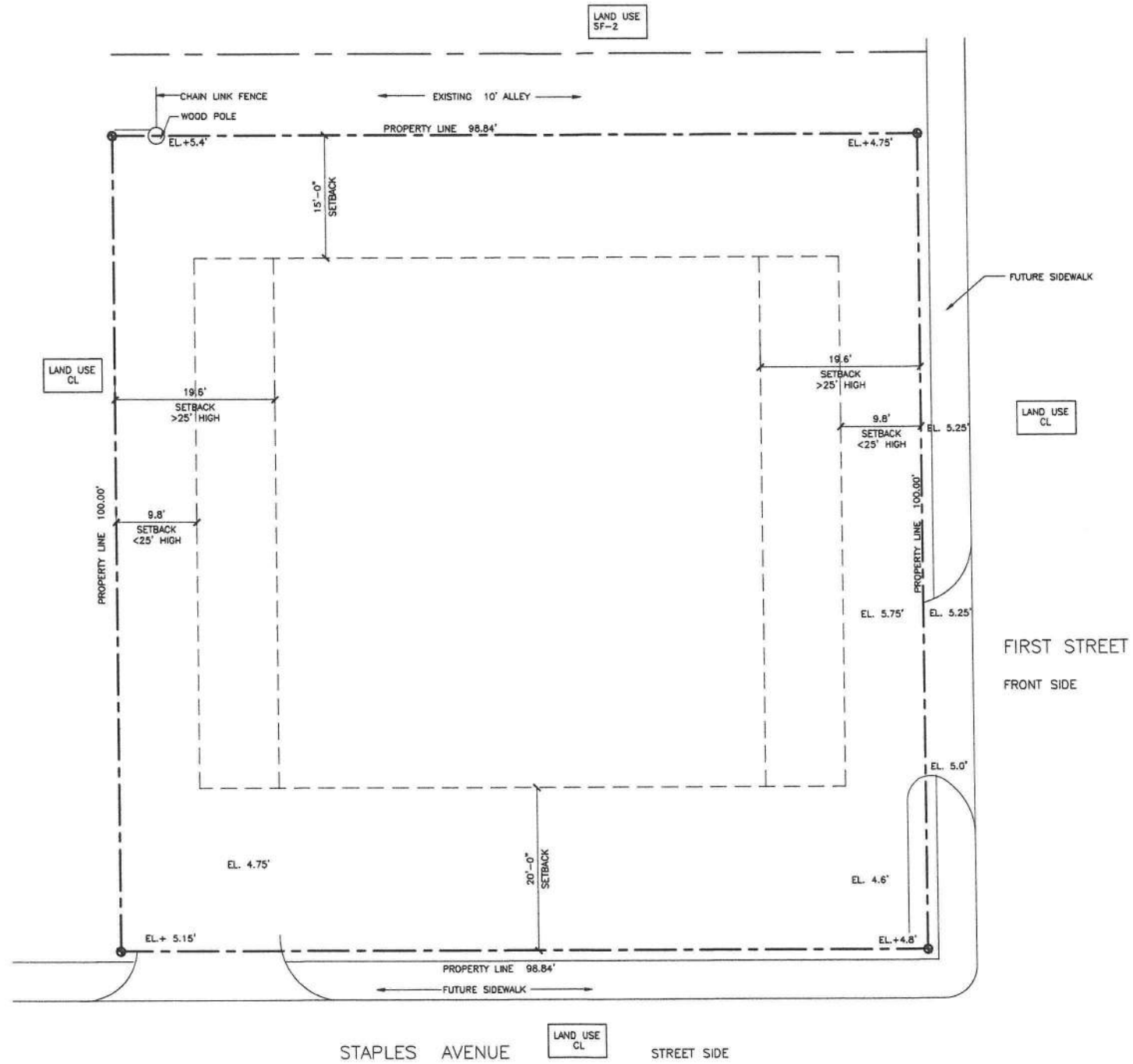
THIS SURVEY  
IS NOT  
ASSIGNABLE

**J. LYNN O'FLYNN, Inc.**

Professional Surveyor & Mapper  
PSM #6298

3430 Duck Ave., Key West, FL 33040  
(305) 296-7422 FAX (305) 296-2244

# **SITE PLAN**



**SITE PLAN**

SCALE: 1/8" = 1'-0"

**SITE DATA**

SITE AREA: 9,884 S.F.  
 FLOOD ZONE: AE +7.0'  
 LAND USE: CL (LIMITED COMMERCIAL)  
 LOT COVERAGE ALLOWABLE: 40% (3,953.6 S.F.)  
 F.A.R. ALLOWABLE: 80% (7,907 S.F.)  
 SETBACKS REQUIRED: 10% OF LOT WIDTH  
 (FOR BLDGS. UNDER 25' HIGH), 20%  
 (FOR BLDGS. OVER 25' HIGH,  
 STREET SIDE = 20.0'  
 DENSITY ALLOWABLE: 16 UNITS/ ACRE  
 ALLOWABLE HEIGHT: 40.0' MAX.

WILLIAM P. HORN  
 ARCHITECT, P.A.

915 EATON ST.  
 KEY WEST,  
 FLORIDA  
 33040

TEL. (305) 296-8302  
 FAX (305) 296-1033

LICENSE NO.  
 AA 0003040

1414 FIRST STREET -  
 NEW BUILDING  
 KEY WEST, FLORIDA.

SEAL

DATE  
 03-09-21

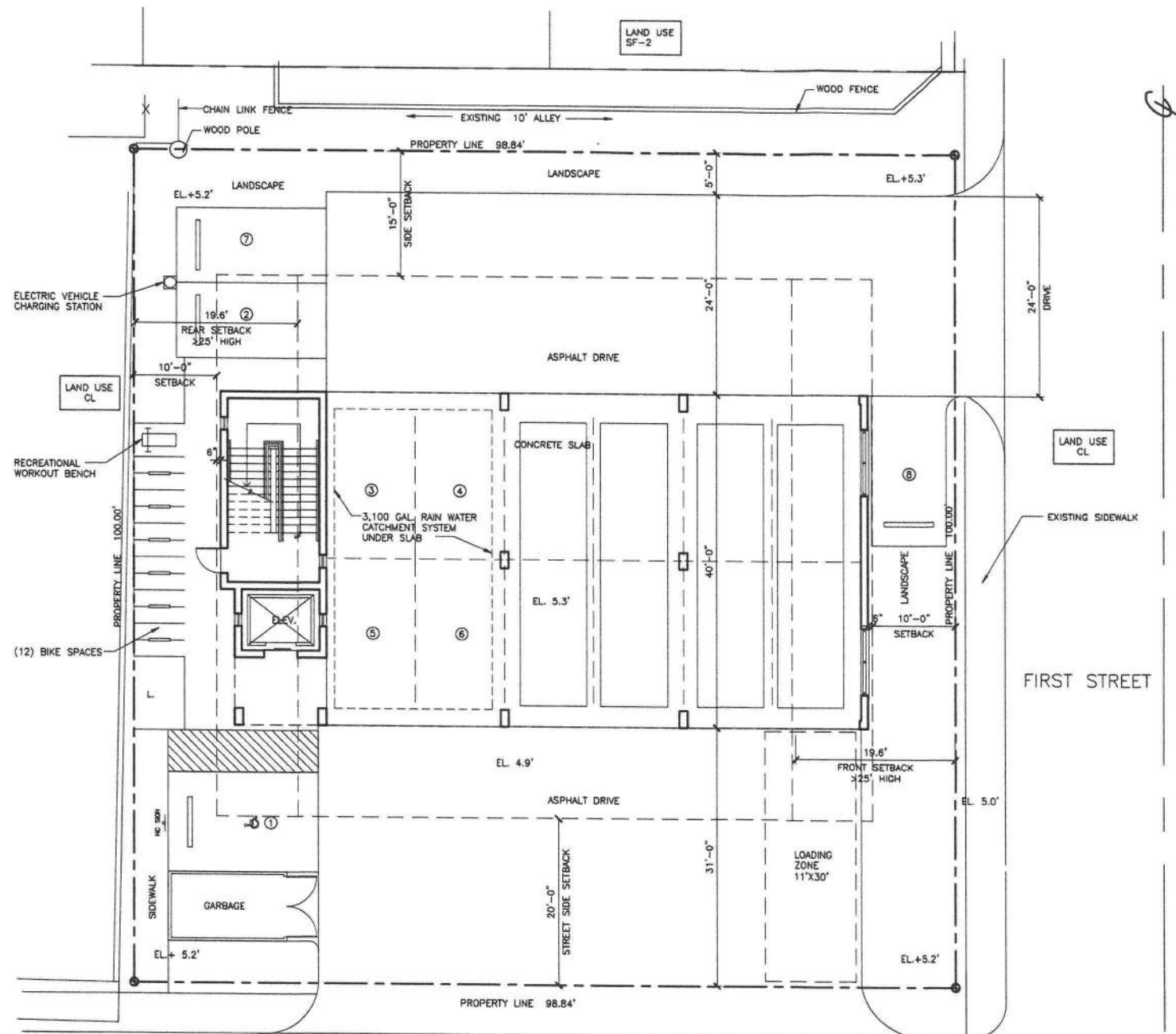
REVISIONS

DRAWN BY  
 EMA

PROJECT  
 NUMBER  
 2206



1414 FIRST STREET - NEW BUILDING  
 KEY WEST, FLORIDA



EL+ 5.3'
 EL+ 5.2'
  
**GROUND FLOOR PLAN**
  
 SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY SCALE: 1/8" = 1'-0"
   
 PREPARED BY J. LYNN O'FLYNN, INC., DATED ON 03-13-23

### SITE DATA

**SITE AREA:** 9,884 S.F. (0.227 ACRES)  
**LAND USE:** CL  
**FLOOD ZONE:** AE-7 (FUTURE= AE-9 + 1.34 DATUM=AE+10.34')  
**FAR:** REQUIRED = MAX. 0.8 (7,907.2 S.F.)  
 EXISTING = 0  
 PROPOSED = 0.312 (3,086.2 S.F.)  
**DENSITY:** MAX. 16 UNITS/ACRE  
 ALLOWED = 3.62 UNITS  
 PROPOSED = 3 RESIDENTIAL UNITS TOTAL  
**HEIGHT:** ALLOWED = MAX. 40'  
 EXISTING = N/A  
 PROPOSED = 39'-4"  
**SETBACKS:**  
**FRONT SETBACK:** REQUIRED = 19.6'  
 EXISTING = N/A  
 PROPOSED = 10'-0"  
**SIDE SETBACK:** REQUIRED = 15'-0"  
 EXISTING = 0'-0"  
 PROPOSED = 28'-6"  
**STREET SIDE SETBACK:** REQUIRED = 20'-0"  
 EXISTING = N/A  
 PROPOSED = 30'-6"  
**REAR SETBACK:** REQUIRED = 19.6'  
 EXISTING = N/A  
 PROPOSED = 10'-0"  
**BUILDING COVERAGE AREA:**  
 ALLOWED: 3,953.60 S.F. (40% MAX.)  
 EXISTING: 0 S.F. (0.00 %)  
 PROPOSED: 3,086.2 S.F. (31.22 %)  
**IMPERVIOUS AREA:**  
 ALLOWED: 5,930.40 S.F. (60% MAX.)  
 EXISTING: 9,884 S.F. (100%)  
 PROPOSED: 8,454.1 S.F. (85.54%)  
**LANDSCAPE AREA:**  
 REQUIRED: 1,976.8 S.F. (20% MIN.)  
 EXISTING: 0 S.F. (0.00 %)  
 PROPOSED: 1,429.9 S.F. (14.46%)  
**OPEN SPACE AREA:**  
 REQUIRED: 2,718.1 S.F. (27.5% MIN.)  
 EXISTING: 0 S.F. (0.00%)  
 PROPOSED: 1,429.9 S.F. (14.46%)  
**PARKING:**

Use	Code-Requirement		Code Calculation		Project Site	
	Auto	Bike	Auto	Bike	Auto	Bike
Existing Outdoor Storage	1 space / 600 sq. ft.	10% auto	16.5	1.7	0.0	0.0
		<b>Total</b>	<b>16.5</b>	<b>1.7</b>	<b>0.0</b>	<b>0.0</b>
Proposed Office	1 space / 300 sq. ft.	25% auto	7.4	1.8	8.0	12.0
Proposed Market-rate Multifamily	2 spaces / unit	10% auto	6.0	0.6	8.0	12.0
		<b>Total</b>	<b>13.4</b>	<b>2.4</b>	<b>8.0</b>	<b>12.0</b>
					Improvement: Complies	Improvement: Complies

### BUILDING DATA

**GROUND FLOOR:** ENCLOSED: 390.67 S.F.  
 COVERED: 2,695.59 S.F.  
 TOTAL: 3,086.26 S.F.  
**FIRST FLOOR:** ENCLOSED: 2,819.30 S.F.  
 (OFFICE=2,205 S.F.)  
 COVERED: 266.96 S.F.  
 TOTAL: 3,086.26 S.F.  
**SECOND FLOOR:** ENCLOSED: 2,574.66 S.F.  
 COVERED: 511.60 S.F.  
 TOTAL: 3,086.26 S.F.

WILLIAM P. HORN  
ARCHITECT, P.A.

915 EATON ST.  
KEY WEST,  
FLORIDA  
33940

TEL: (305) 296-8302  
FAX: (305) 296-1033

LICENSE NO.  
AR 13337

1414 FIRST STREET -  
NEW BUILDING  
KEY WEST, FLORIDA

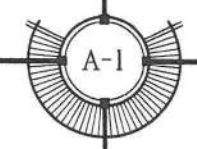
SEAL

DATE  
03-09-21  
10-30-23 BPAS  
02-14-24 DRC

REVISIONS

DRAWN BY  
EMA

PROJECT NUMBER  
2206



WILLIAM P. HORN  
ARCHITECT, P.A.

915 EATON ST.  
KEY WEST,  
FLORIDA  
33040

TEL: (305) 296-6302  
FAX: (305) 296-1033

LICENSE NO.  
AR 13537

1414 FIRST STREET -  
NEW BUILDING  
KEY WEST, FLORIDA

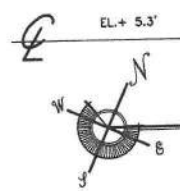
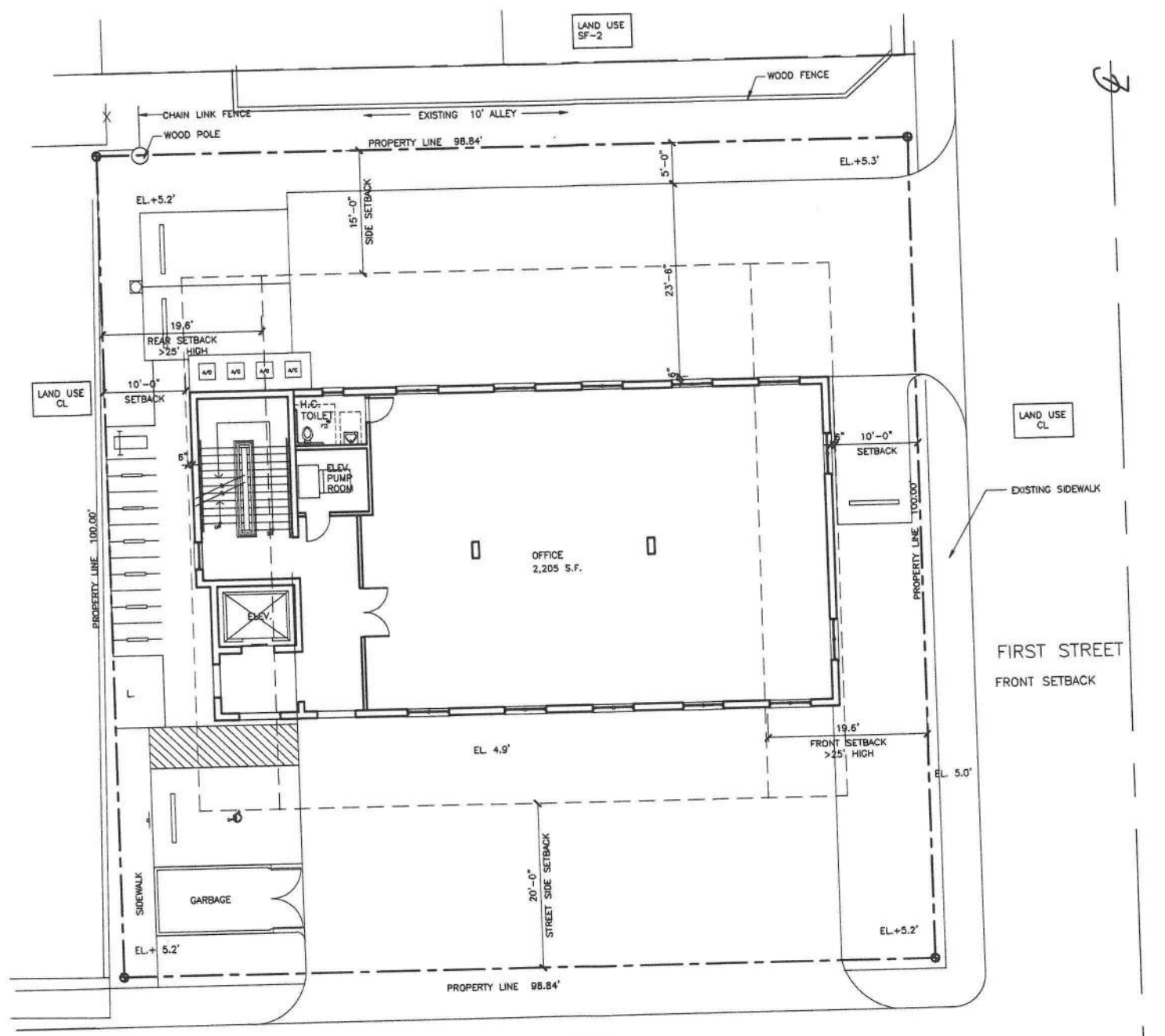
SEAL

DATE  
03-09-21  
10-30-23 BPAS  
02-14-24 DRC

REVISIONS

DRAWN BY  
EMA

PROJECT  
NUMBER  
2206

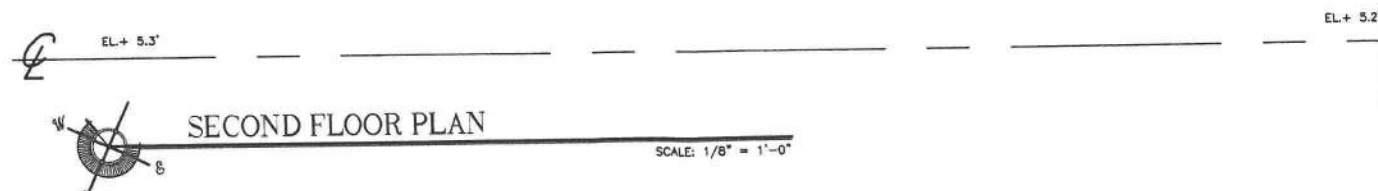
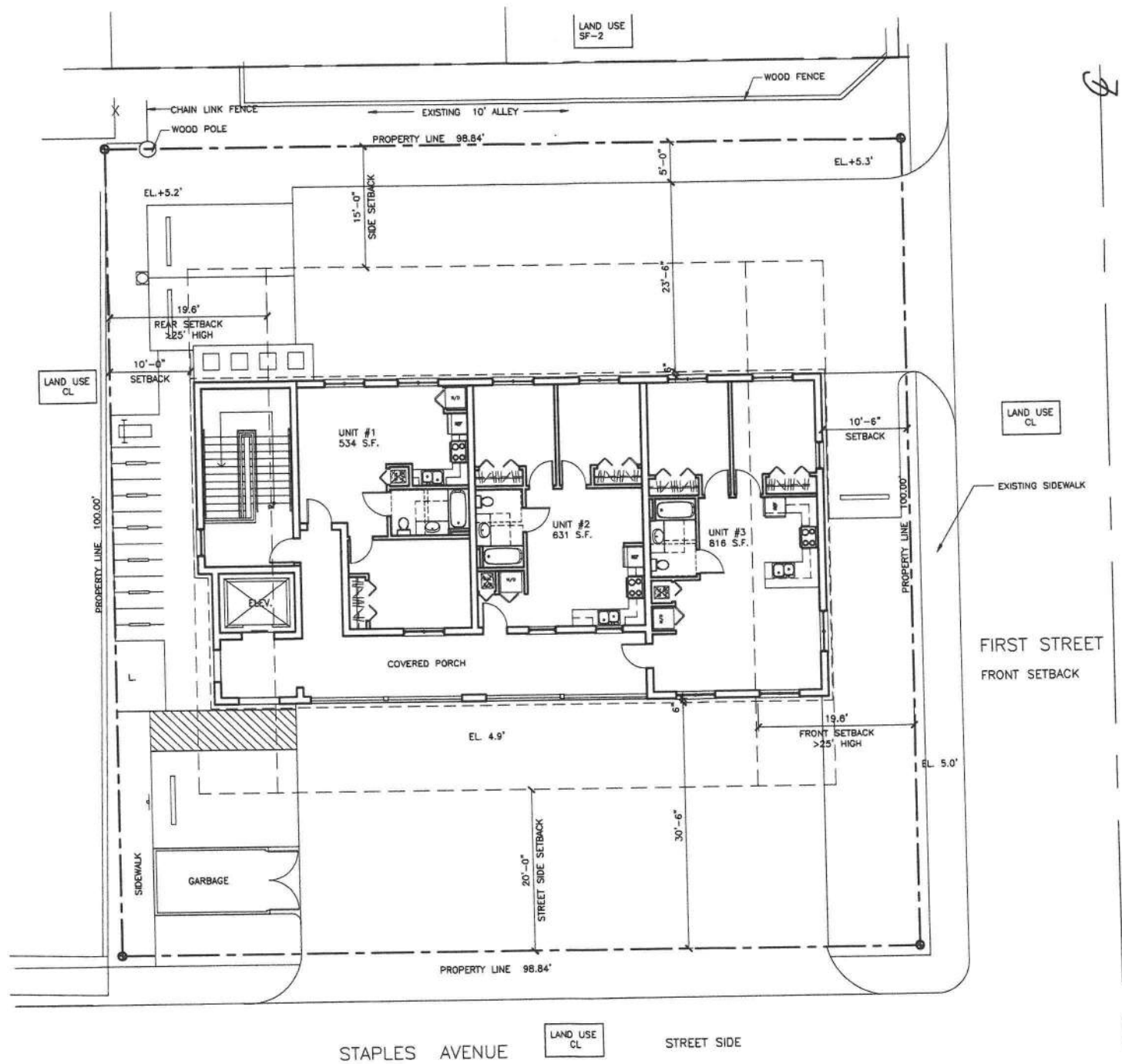


FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

1414 FIRST STREET - NEW BUILDING  
KEY WEST, FLORIDA





SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

WILLIAM P. HORN  
ARCHITECT, P.A.

915 EATON ST.  
KEY WEST,  
FLORIDA  
33940

TEL (305) 296-8302  
FAX (305) 296-1033

LICENSE NO.  
AR 13537

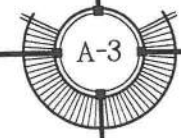
1414 FIRST STREET -  
NEW BUILDING  
KEY WEST, FLORIDA

DATE  
03-09-21  
10-30-23 BPAS  
02-14-24 DRC

REVISIONS

DRAWN BY  
EMA

PROJECT  
NUMBER  
2206



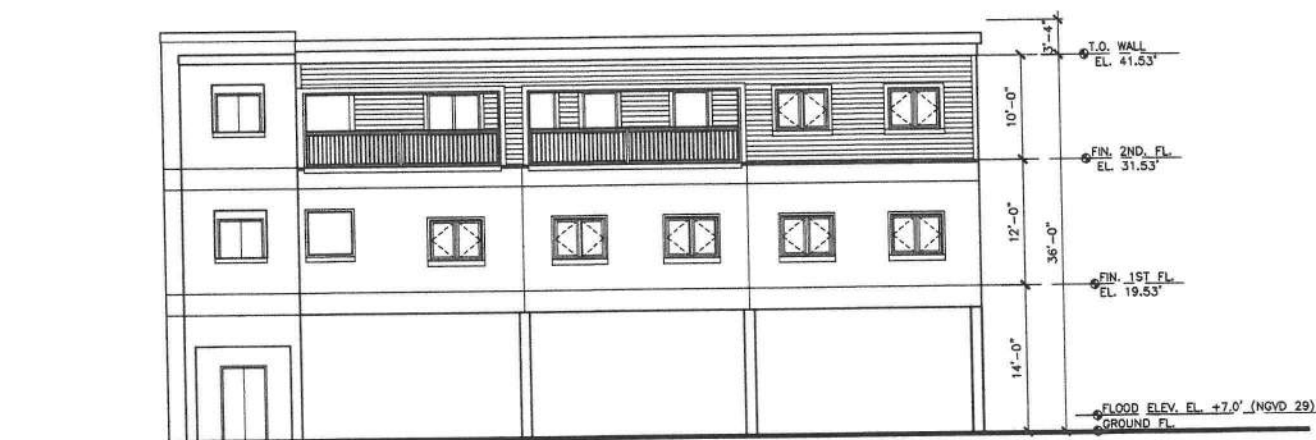
WILLIAM P. HORN  
ARCHITECT, P.A.

915 EATON ST.  
KEY WEST,  
FLORIDA  
33910

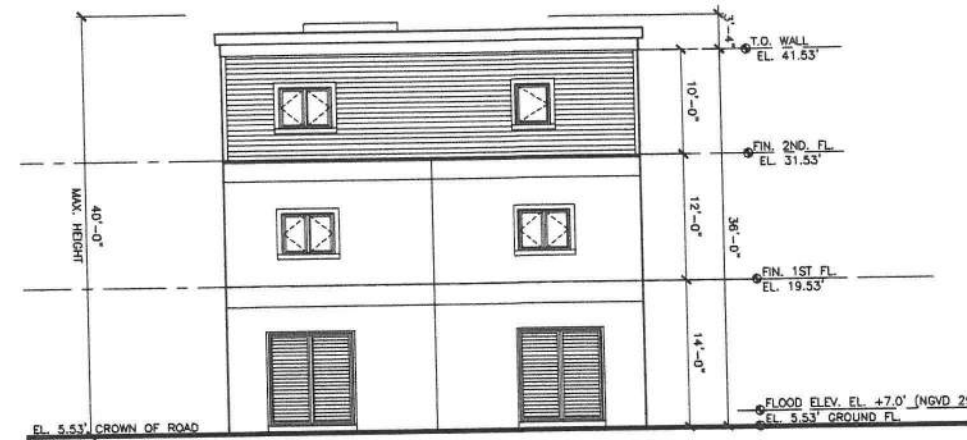
TEL: (305) 296-6302  
FAX: (305) 296-1033

LICENSE NO.  
AR 13537

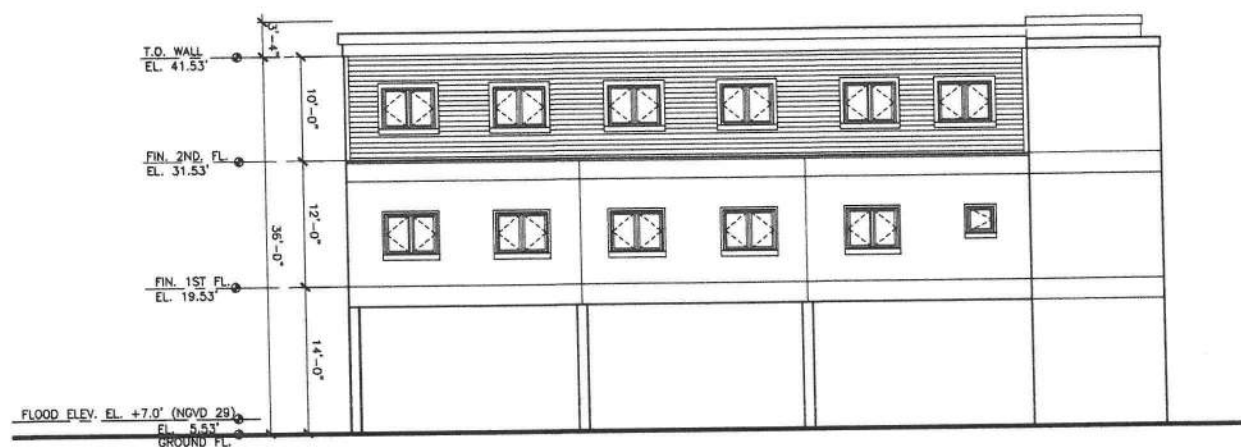
1414 FIRST STREET -  
NEW BUILDING  
KEY WEST, FLORIDA



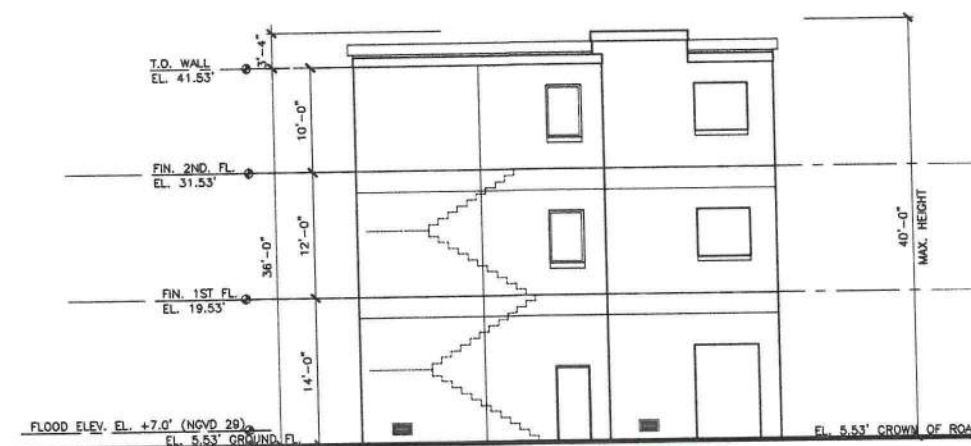
1 FRONT ELEVATION  
A-4 SCALE: 1/8"=1'-0"



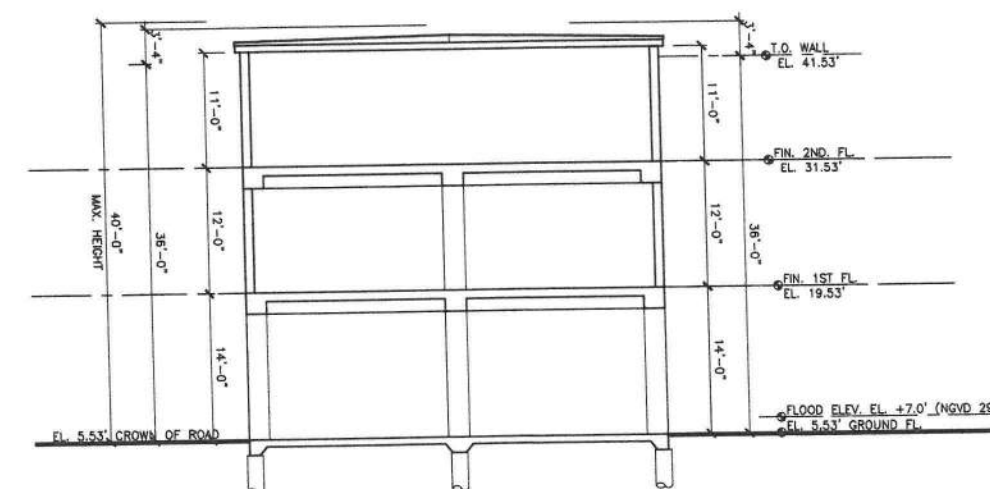
2 SIDE ELEVATION  
A-4 SCALE: 1/8"=1'-0"



3 BACK ELEVATION  
A-4 SCALE: 1/8"=1'-0"



4 SIDE ELEVATION  
A-4 SCALE: 1/8"=1'-0"



5 CROSS SECTION  
A-4 SCALE: 1/8"=1'-0"

SEAL

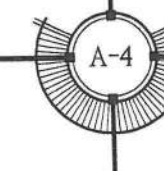
DATE  
03-09-21  
10-30-23 BPAS  
02-14-24 DRC

REVISIONS

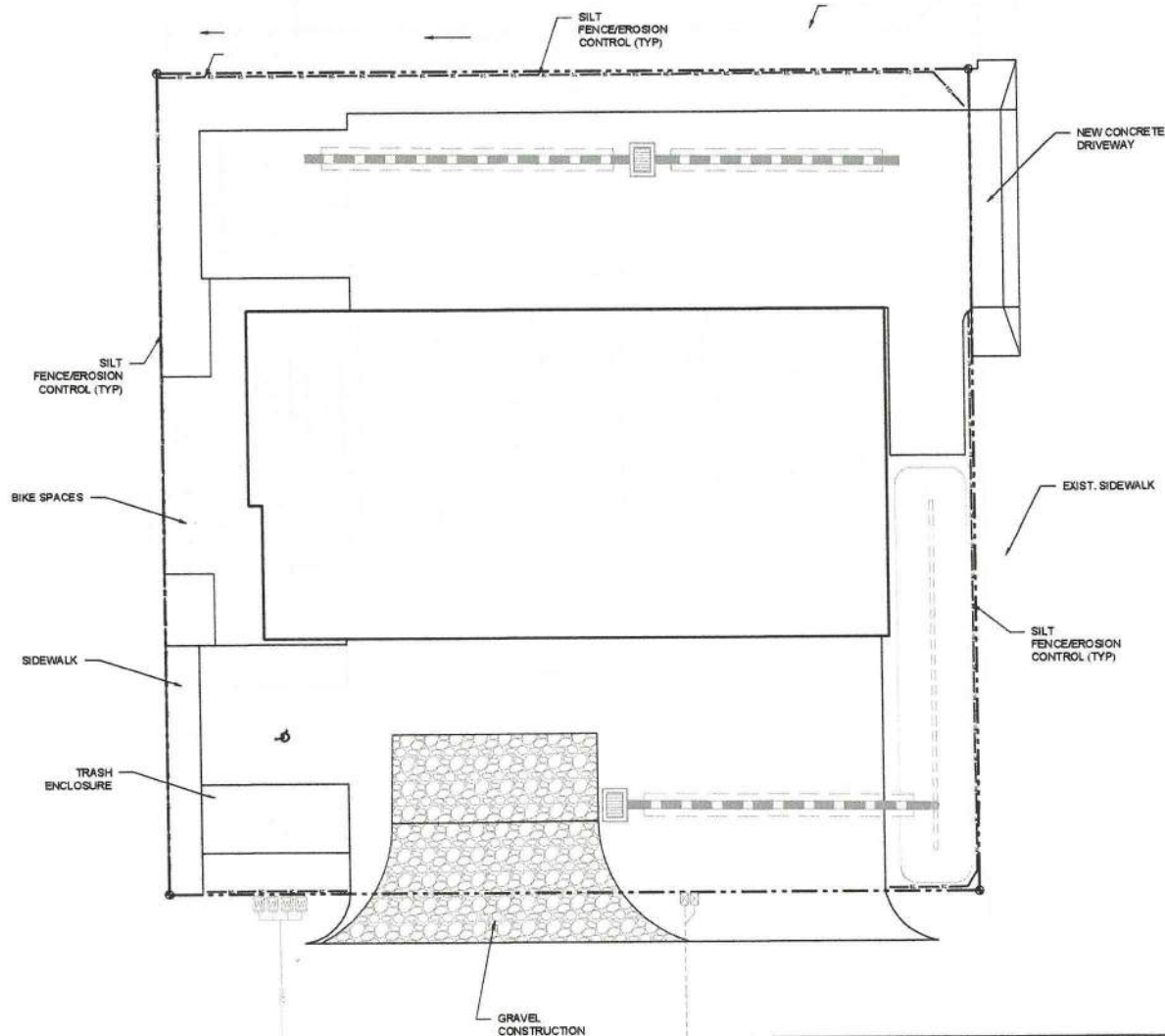
DRAWN BY  
EMA

PROJECT NUMBER  
2206

1414 FIRST STREET - NEW BUILDING  
KEY WEST, FLORIDA







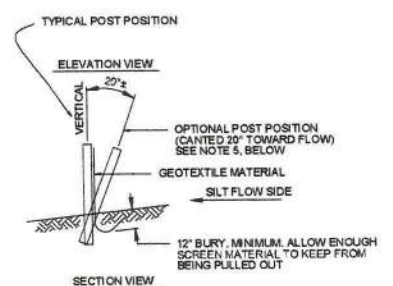
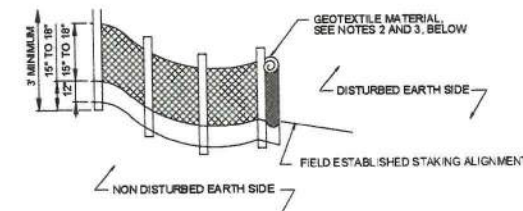
**EROSION CONTROL PLAN**



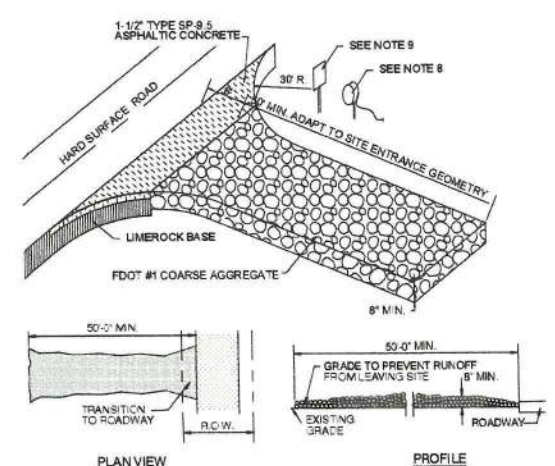
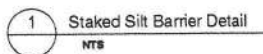
- SWPPP GENERAL NOTES**
- ALL AREAS WITHIN THE PROJECT LIMITS WILL BE SUBJECTED TO SOIL DISTURBANCE.
  - THE ATTACHED BEST MANAGEMENT PRACTICES (BMP'S) DETAILS AND SPECIFICATIONS ARE ONLY A SUGGESTED APPROACH DEVELOPED FOR USE BY THE OWNER/CONTRACTOR TO ASSIST THEM IN IMPLEMENTING APPROPRIATE POLLUTION PREVENTION TECHNIQUES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING THE SWPPP.
  - THE CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. DEP FORM 62-621.300(4)(B); ALSO KNOWN AS NOTICE OF INTENT OR NOI. TO THE DEPARTMENT; AND SUBMIT THE PERMIT FEE.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE BEST MANAGEMENT PRACTICES AS OUTLINED IN THE CIVIL DOCUMENTS, THE STORMWATER POLLUTION PREVENTION PLAN, AND SPECIFICATION.
  - THE CONTRACTOR SHALL SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN FOR APPROVAL PRIOR TO STARTING CONSTRUCTION.

**EROSION CONTROL NOTES**

- EROSION, SEDIMENT, AND TURBIDITY CONTROL MEASURES SHALL BE PROVIDED THROUGHOUT CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND REPAIRING ALL SLOPES AND SURFACES THROUGHOUT CONSTRUCTION AND UNTIL A STABLE SURFACE CONDITION EXISTS. THE CONTRACTOR SHALL MINIMIZE THE EXPOSED AREA AT ANY POINT DURING CONSTRUCTION AS MUCH AS PRACTICAL.
- FILTER FABRIC SILT FENCE SHALL BE IN CONFORMANCE WITH FDOT STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL INSTALL EROSION CONTROLS NOTED ON DRAWINGS AND APPLICABLE PERMITS. EROSION CONTROLS SHALL BE MAINTAINED UNTIL A PERMANENT STAND OF GRASS IS PLANTED ON SITE.
- BALED HAY OR STRAW BARRIERS SHALL BE CONSTRUCTED AND MAINTAINED IN CONFORMANCE WITH FDOT STANDARDS AND SPECIFICATIONS.
- SILT FENCE LOCATIONS SHOWN HEREON ARE FOR CLARITY ONLY AND SHOULD BE CONSTRUCTED WITHIN PROPERTY LINES.
- PROVIDE EROSION CONTROL MEASURES CONSISTING OF STAKED SILT FENCES AND FILTER SOCK ALONG THE PROPOSED LIMITS OF CONSTRUCTION AS INDICATED ON THE DRAWINGS. PROVIDE ADDITIONAL MEASURES AS NECESSARY TO AVOID ADVERSE IMPACTS TO JURISDICTIONAL AREAS (WETLANDS OR WATER BODIES) AND OFF-SITE LANDS AND WATERBODIES. MAINTAIN THESE MEASURES DAILY UNTIL CONSTRUCTION ACCEPTANCE BY THE OWNER AND THEN REMOVE AND LEGALLY DISPOSE OF SAID MEASURES.
- EROSION CONTROL SHALL MAINTAINED WITHIN CONSTRUCTION AREA BY QUICKLY STABILIZING DISTURBED AREA TO PREVENT THE RELEASE OF SEDIMENT. THIS SHALL BE ACCOMPLISHED USING GRASS COVER, FILTER SOCK AND OTHER MEANS ACCEPTABLE TO OWNER, ENGINEER AND REGULATORY AGENCIES.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL, AT THE REQUEST OF THE OWNER OR AS NECESSARY MODIFY, RELOCATE THE ENVIRO-FENCE AND/OR SILT FENCE TO ALLOW FOR ACCESS AND TO COMPLETE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ADEQUATE EROSION CONTROL AT ALL TIMES.
- DURING CONSTRUCTION, THE CONTRACTOR WILL PROVIDE TEMPORARY SEEDING AND MULCHING FOR AREA THAT HAVE BEEN CLEARED (INCLUDING AREAS OF CONCRETE AND PAVEMENT REMOVAL) AND NOT REWORKED WITHIN 7 CALENDAR DAYS DURING THE WET SEASON (APRIL THROUGH SEPTEMBER AND 14 CALENDAR DAYS DURING THE DRY SEASON (OCTOBER THROUGH MARCH). ALSO, ALL SIDE SLOPES SHALL BE SODDED OR SEEDED AND MULCHED WITHIN 7 DAYS DURING WET SEASON AND 14 DAYS DURING THE DRY SEASON.
- ALL SURFACE WATER DISCHARGE FROM SITE, INCLUDING DEWATERING DISCHARGE SHALL MEET STATE WATER QUALITY STANDARDS (LESS THAN 29 NTU ABOVE BACKGROUND) PRIOR TO REACHING ANY WATERS OF THE STATE INCLUDING WETLAND.
- IN THE EVENT THAT THE EROSION PREVENTION AND CONTROL DEVICES SHOWN IN THESE PLANS PROVE NOT TO BE EFFECTIVE. ALTERNATE METHODS FOR MAINTAINING STATE WATER QUALITY STANDARDS FOR DISCHARGE FROM THE CONSTRUCTION SITE WILL BE REQUIRED. ANY ALTERNATE EROSION PREVENTION AND CONTROL DEVICES MUST BE APPROVED BY THE CITY AND SFWMD COMPLIANCE PERSONNEL PRIOR TO PLACEMENT.



- NOTES:**
- POST: 2"x2" WOOD, P.T. OR 2-1/2" Ø STEEL AT 8' CENTERS, MAXIMUM
  - GEOTEXTILE: GRAB TENSILE AT 50 LBS. TRAPEZOIDAL TEAR AT 35 LBS. MULLEN BURST AT 150 PSI
  - GEOTEXTILE MATERIAL SHALL BE BURIED IN THE GROUND A MINIMUM OF 12" AND BACK FILLED.
  - ALSO SEE FDOT INDEX 199 "GEOTEXTILE CRITERIA" EROSION CLASS.
  - OPTIONAL POST POSITION REQUIRED WHEN SLOPE IS GREATER THAN 1:2.



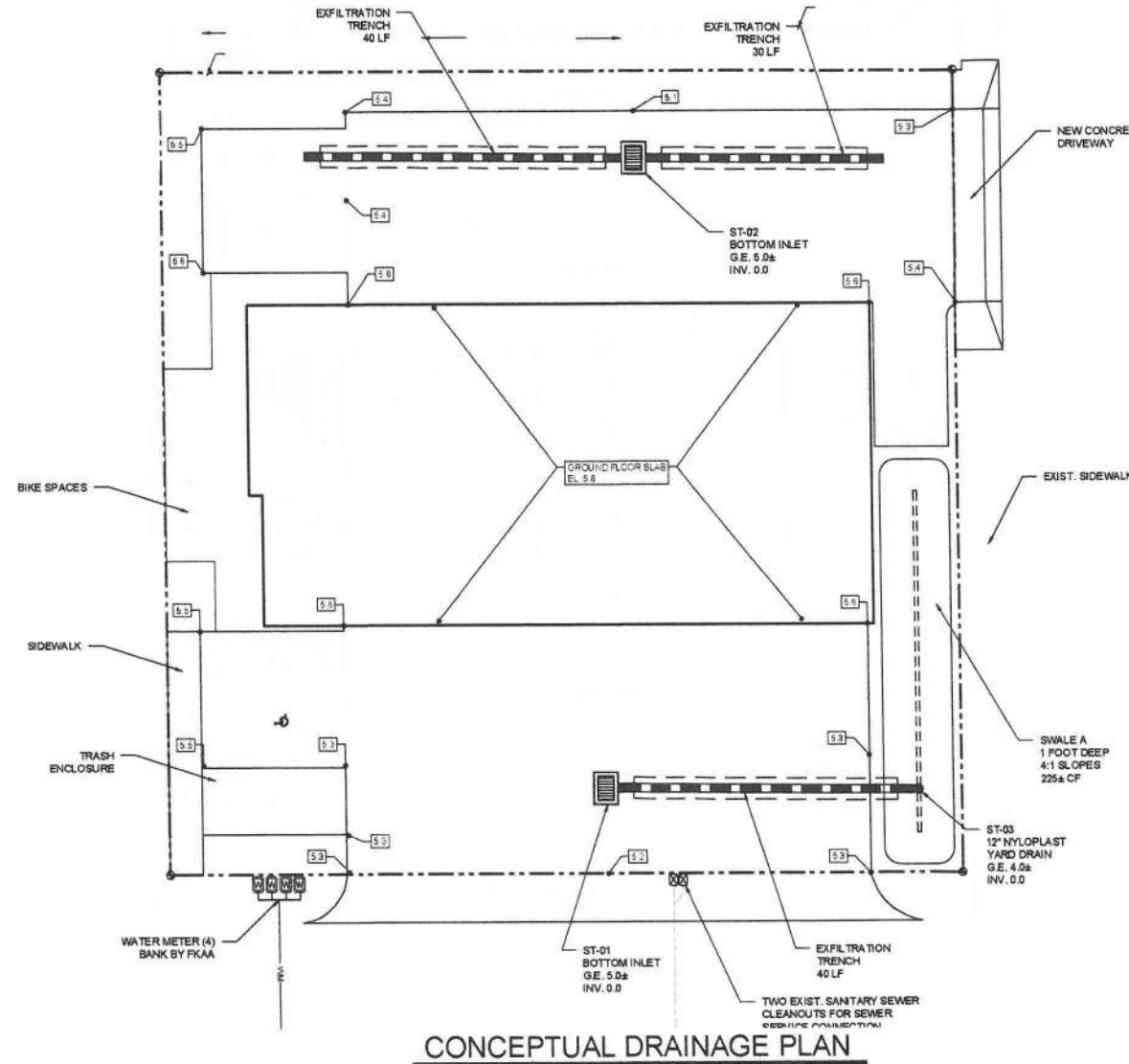
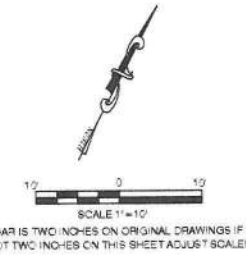
- NOTES:**
- STONE SIZE: 3 TO 5 INCH OPEN GRADED ROCK
  - LENGTH: AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
  - THICKNESS: NOT LESS THAN 8 INCHES
  - WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
  - WASHING OF ALL VEHICLE UNDERCARRIAGE WHEEL WELLS AND WHEELS IS MANDATORY TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED STRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE USING APPROVED METHODS.
  - MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPOILED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
  - DRAINAGE: ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
  - PROVIDE WATER SUPPLY AND MINIMUM 100 FT. LONG HOSE AND SPOGOT AT EACH DESIGNATED CONSTRUCTION EXIT.
  - PROVIDE SIGNAGE AT EACH DESIGNATED EXIT REQUIRING WASHING OF ALL VEHICLES LEAVING SITE.
  - ENTRANCE LOCATIONS FOR SCHEMATIC PURPOSES ONLY AND ARE APPROXIMATE. CONTRACTOR TO COORDINATE ACTUAL LOCATIONS ACCORDING TO PHASING PLANS.



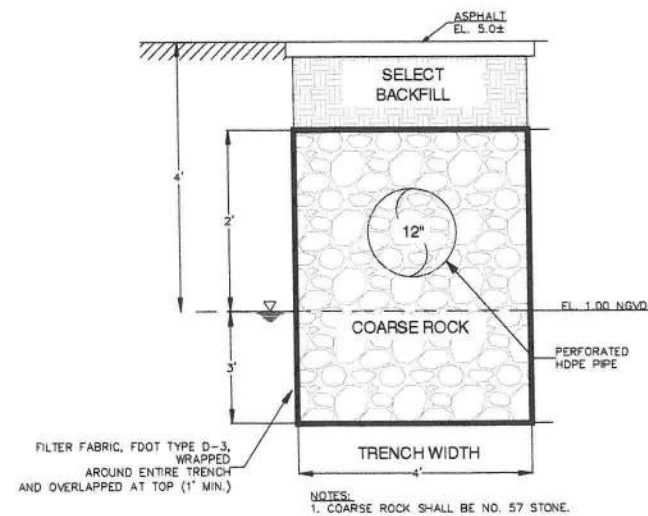
CIVIL ENGINEERING - REGULATORY PERMITTING - CONSTRUCTION MANAGEMENT  
**PEREZ ENGINEERING**  
 & DEVELOPMENT, INC.  
 CERTIFICATE OF AUTHORIZATION No. 679  
 1010 East Kennedy Drive, Suite 202  
 Kissimmee, FL 34746  
 Tel: (888) 293-9440  
 ORIGINAL: JANUARY 2024  
 REVISIONS:  
 1  
 2  
 3  
 4  
 5  
 6  
 NEW BUILDING  
 1414 FIRST STREET  
 KEY WEST, FL. 33040  
 EROSION CONTROL PLAN  
 WILLIAM P. HORN, ARCHITECT  
 915 EATON STREET  
 KEY WEST, FL. 33040  
 JOB NO. 241002  
 DRAWN: AEP  
 DESIGNED: AEP  
 CHECKED: AEP  
 SHEET C-100



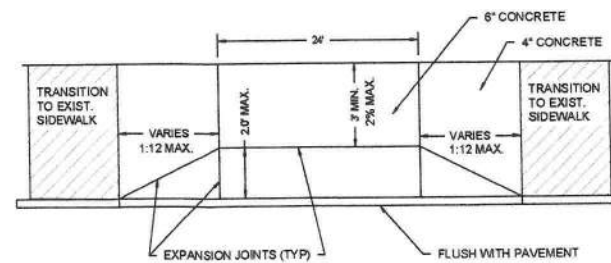
Know what's below.  
Call before you dig.



CONCEPTUAL DRAINAGE PLAN



1 EXFILTRATION TRENCH DETAIL  
Not to Scale



2 TYPICAL DRIVEWAY DETAIL  
Not to Scale

Water Quantity Calculations - 25yr/72hr Design Storm

Water Quantity - Prerevelopment table with columns for Total basin Area, Pervious Area, Impervious Area, Rainfall, Depth to Water Table, etc.

Water Quantity - Postdevelopment

Water Quantity - Postdevelopment table with columns for Project Area, Pervious Area, Impervious Area, Rainfall, etc.

Postdevelopment - Prerevelopment

Postdevelopment - Prerevelopment table with columns for Qpr-post, Qpre, and PrePost Volume.

Water Quality Calculations

Water Quality Calculations table with columns for Project Area, Surface Water, Roof Area, etc., and rows for runoff volume and treatment requirements.

Exfiltration Trench Design table with columns for Required trench length (L), Assumed Hydraulic Conductivity (K), H, W, Du, Ds, Volume of Trench (V), and Trench Length Provided.

NOTE: EXFILTRATION TRENCH HYDRAULIC CONDUCTIVITY VALUE PER GEOTECHNICAL REPORT PREPARED BY NITTING ENGINEERS, DATED 2/18/23.

PRELIMINARY - NOT FOR CONSTRUCTION

Vertical sidebar containing project information: PEREZ ENGINEERING & DEVELOPMENT, INC., WILLIAM P. HORN, ARCHITECT, 915 EATON STREET, KEY WEST, FL. 33040, and sheet number C-200.

C:\Users\perez\OneDrive\Engineering\Dropbox\Projects\2024\241002\dwg\preliminary\SITE.dwg, 1/26/2024 9:34:13 AM



