

Application



CITY OF KEY WEST Fax 809-3978
BUILDING DEPARTMENT

CERTIFICATE of APPROPRIATENESS

APPLICATION # H11-01-938

OWNER NAME:

ANDREA AMATO

DATE:

7/14/11

OWNERS ADDRESS:

405 FRANCES ST

PHONE #:

APPLICANT'S NAME:

MICHAEL MILLER

PHONE #:

2947687

APPLICANT'S ADDRESS:

517 DUVAL ST

ADDRESS OF CONSTRUCTION:

405 FRANCES

OF UNITS:

773 255 -

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT 0903

DETAILED DESCRIPTION OF WORK:

RAISE HOUSE 8"
CHANGE FRONT STAIR
CHANGE REAR STAIR
ADD SIDING, TRIM & LATTICE
ADD FENCING



Chapter 837.06 F.S.- False Official Statements- Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or s. 775.083

This application for Certificate of Appropriateness must precede applications for building permits, variances and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the minimum

REQUIRED SUBMITTALS

<input checked="" type="checkbox"/>	TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
<input type="checkbox"/>	TREE REMOVAL PERMIT (if applicable)
<input checked="" type="checkbox"/>	PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
<input checked="" type="checkbox"/>	PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings or additions)
<input type="checkbox"/>	ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

Staff Use Only

Date: _____

HISTORIC ARCHITECTURAL REVIEW APPLICATION

HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

Approved _____

Denied _____

Deferred _____

Reason for Deferral or Denial:

HARC Comments:

new construction

Limit of Work Approved, Conditions of Approval and/or Suggested
Changes:

Date: _____

Signature: _____

Historic Architectural
Review Commission

Site Plans



WEST SIDE OF HOUSE FROM FRANCES STREET



VIEW LOOKING DOWN ELGIN LANE TOWARD FRANCES STREET



SOUTHWEST SIDE OF HOUSE FROM FRANCES STREET

- RAISE ENTIRE HOUSE 8" TO REQUIRED FEMA ELEVATION
- REPLACE EXISTING STAIR WITH NEW STAIR AND LANDING
- REPLACE PLASTIC LATTICE WITH FULL THICKNESS WOOD LATTICE
- EXTEND STAIR AROUND CORNER

MICHAEL MILLER • ARCHITECT
 517 DUVAL STREET
 KEY WEST, FLORIDA
 (305) 294 - 7587
 mlrarch@bellsouth.net

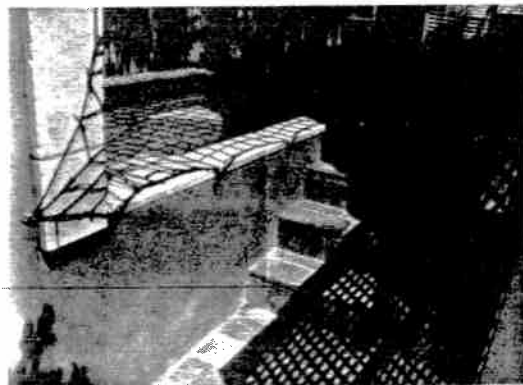
NEW ENTRANCE STAIR

405 FRANCES STREET
 KEY WEST, FLORIDA

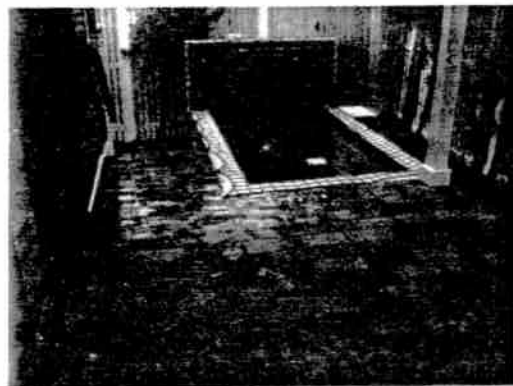
DATE: JULY 14, 2011
 SCALE: NONE
 DRAWN BY:
 CHECKED BY: MM
 PROJECT NO: 1108

PHOTOS OF EXISTING CONDITIONS

HARC 1



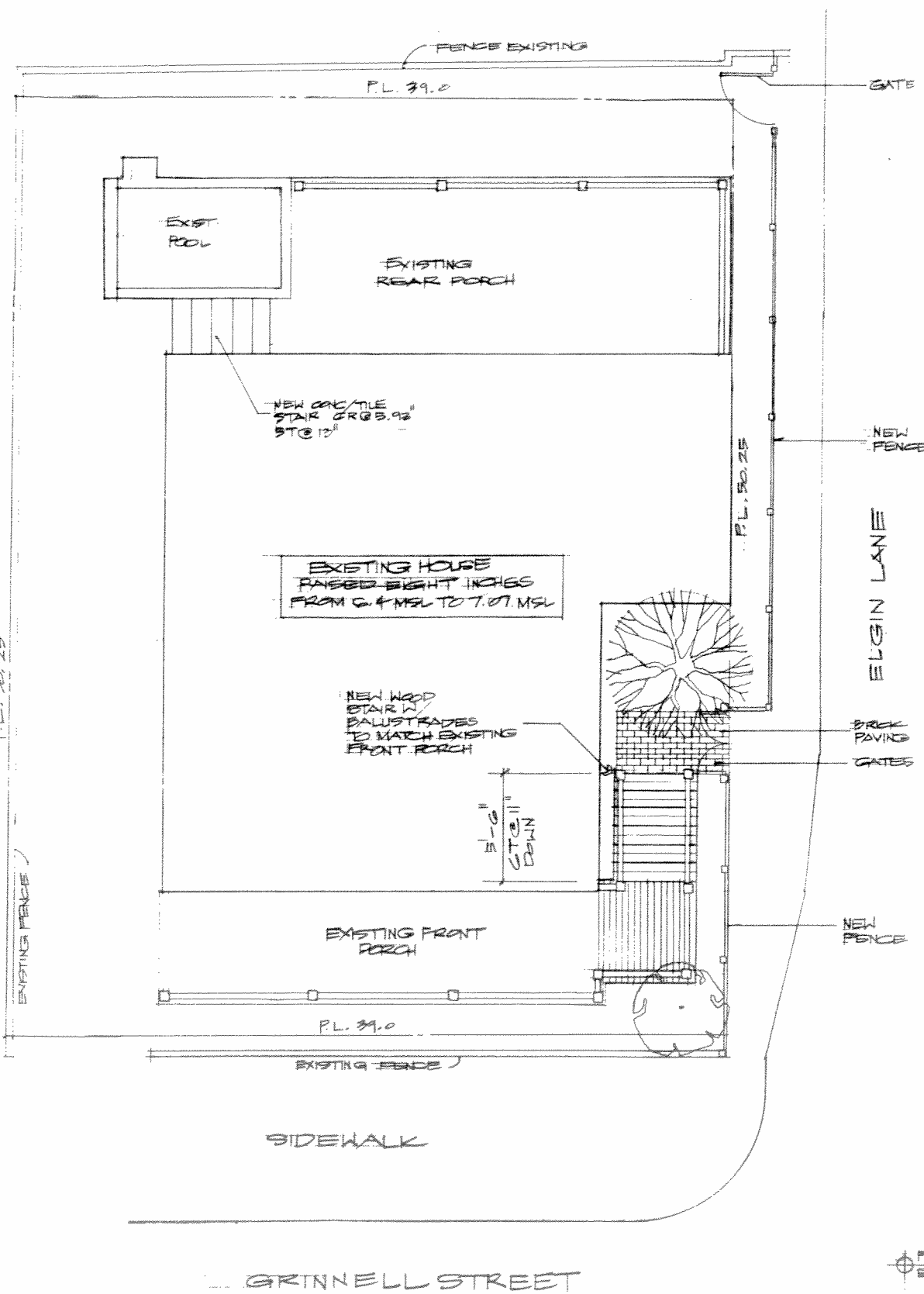
REAR PORCH STEPS



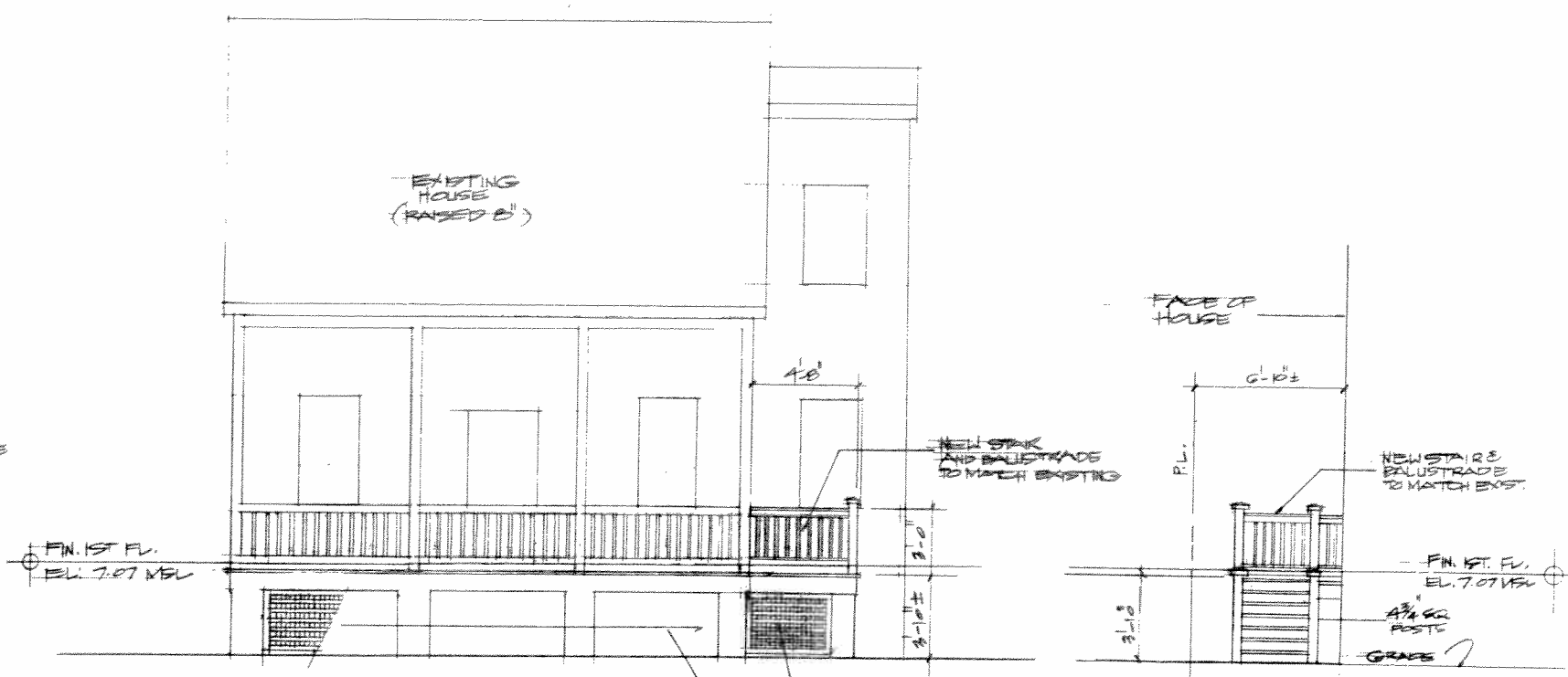
REAR PORCH AND POOL



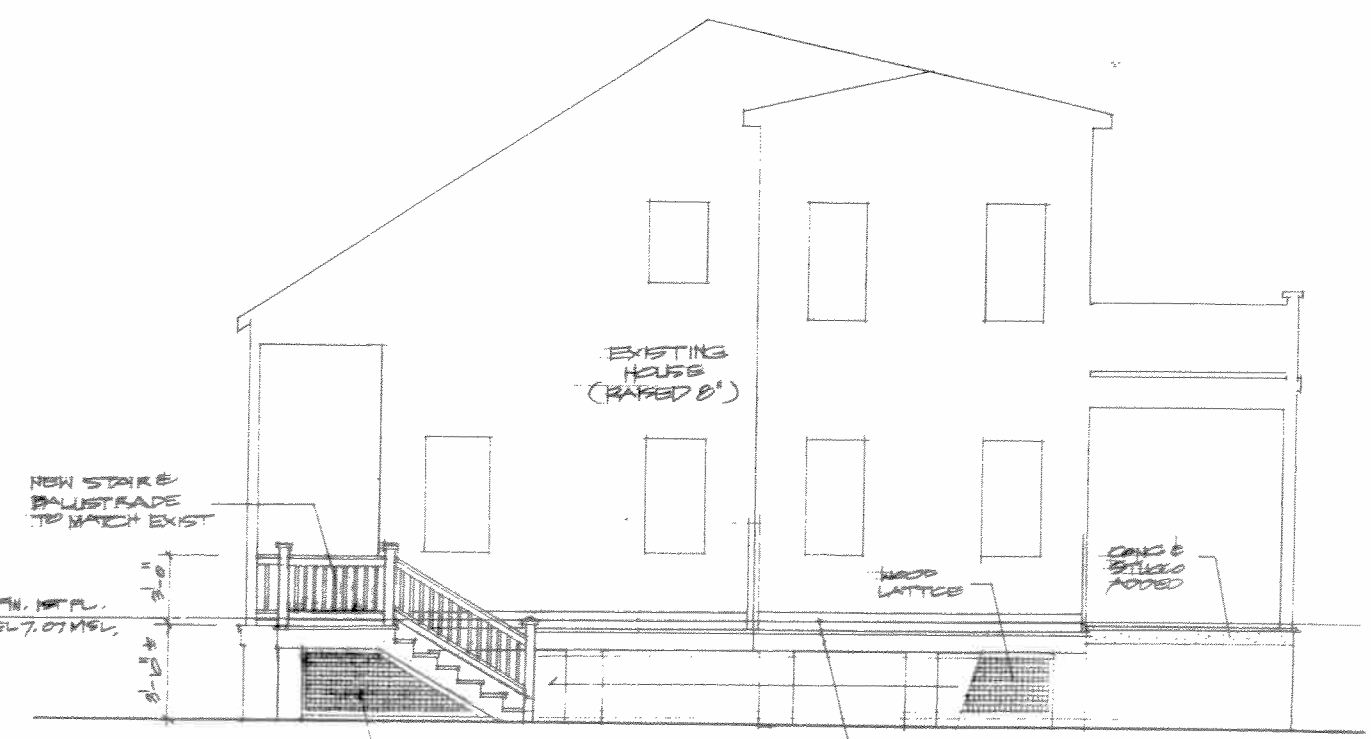
REAR PORCH LOOKING TOWARD ELGIN LANE



① SITE PLAN
 H1 SCALE: 1/4" = 1'-0"



② WEST ELEVATION
 H1 SCALE: 1/4" = 1'-0"



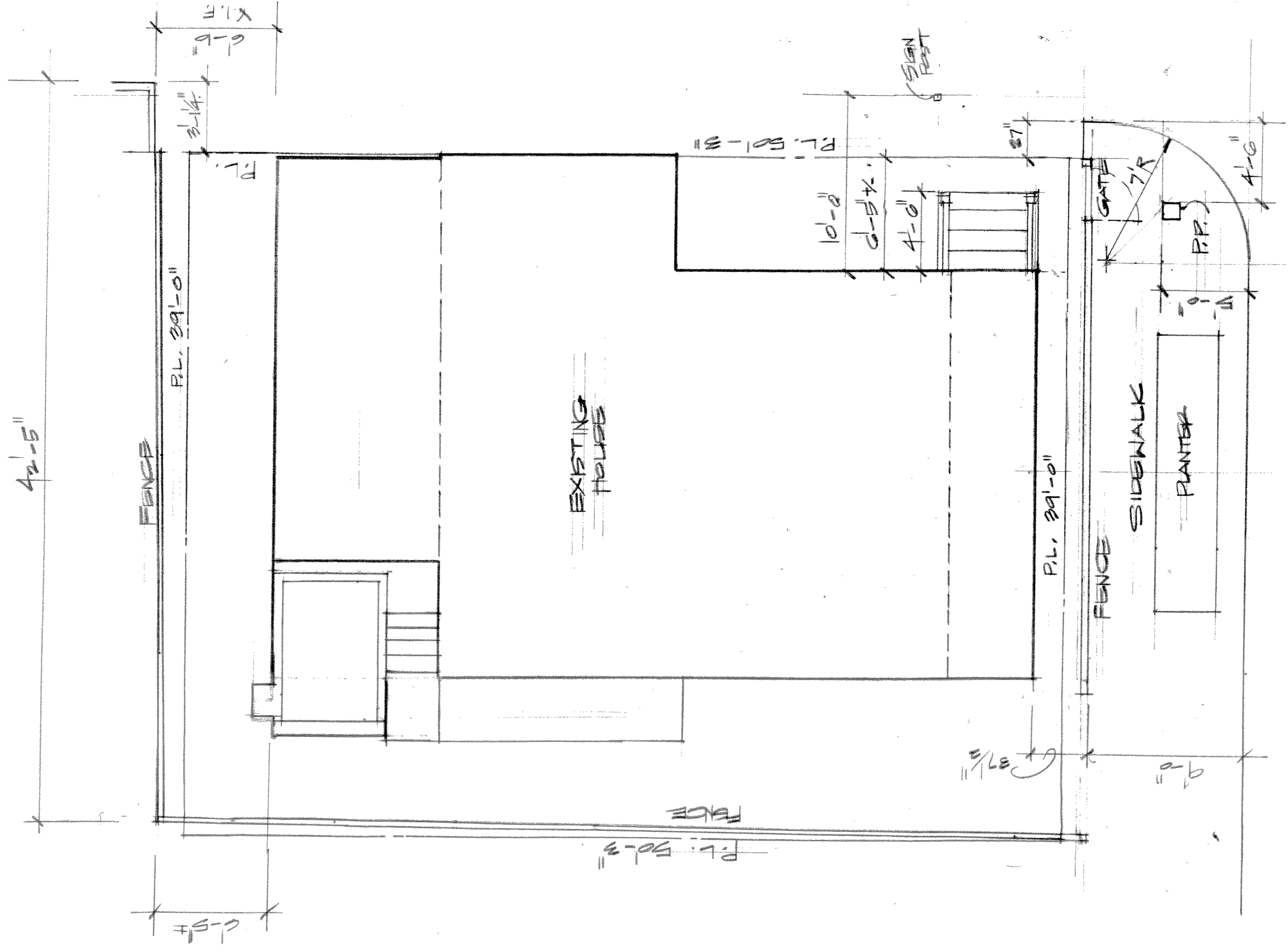
④ SOUTH ELEVATION
 H1 SCALE: 1/4" = 1'-0"

MICHAEL MILLER - ARCHITECT
 517 DUVAL STREET
 KEY WEST, FLORIDA
 (305) 284 - 7687
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**HOUSE RAISING
 AND
 NEW ENTRANCE STAIR**
 405 FRANCES STREET
 KEY WEST, FLORIDA

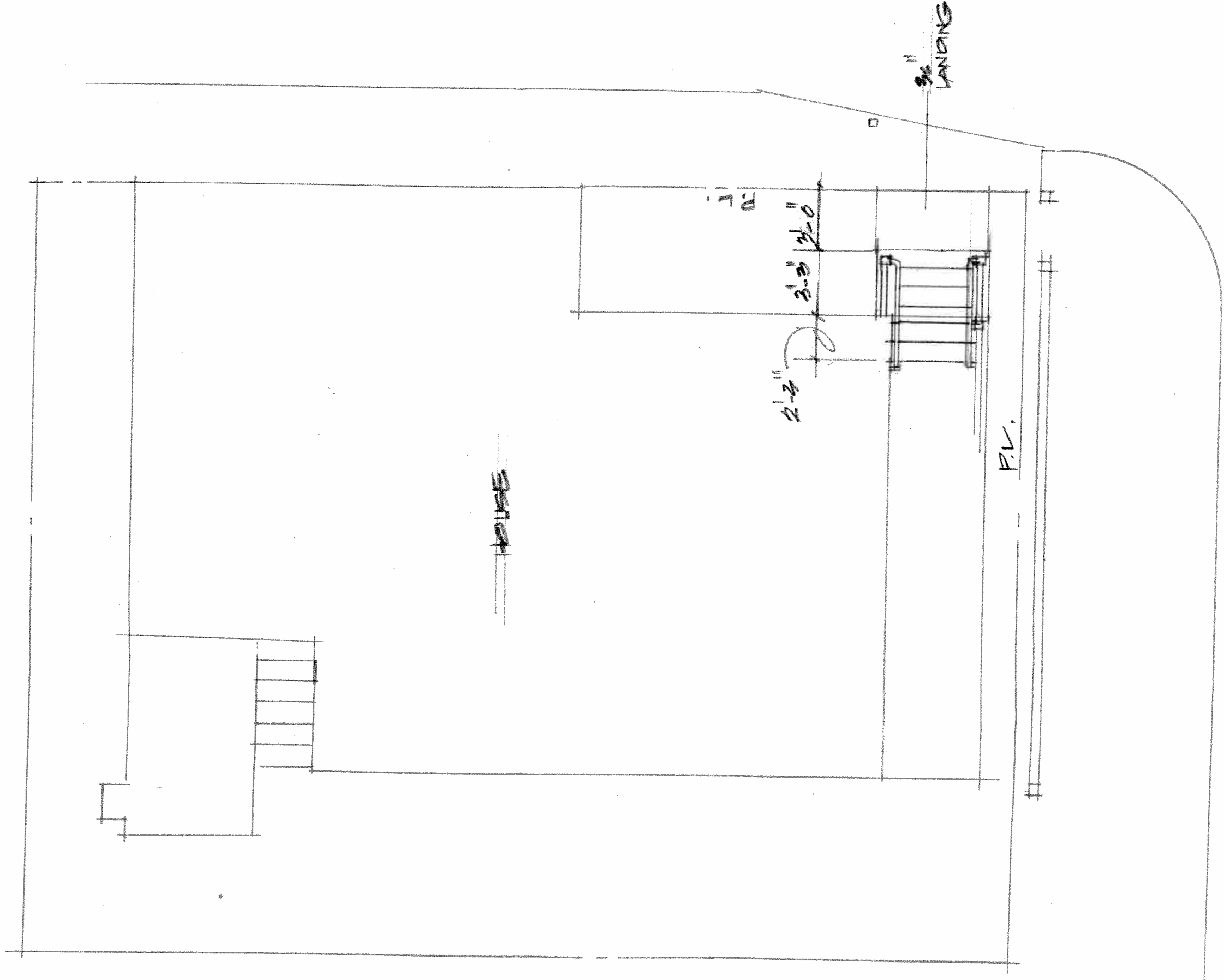
DATE:	JULY 14, 2011
SCALE:	NONE
DRAWN BY:	
CHECKED BY:	MM
PROJECT NO.:	1106

ARCHITECTURAL
 DETAILS



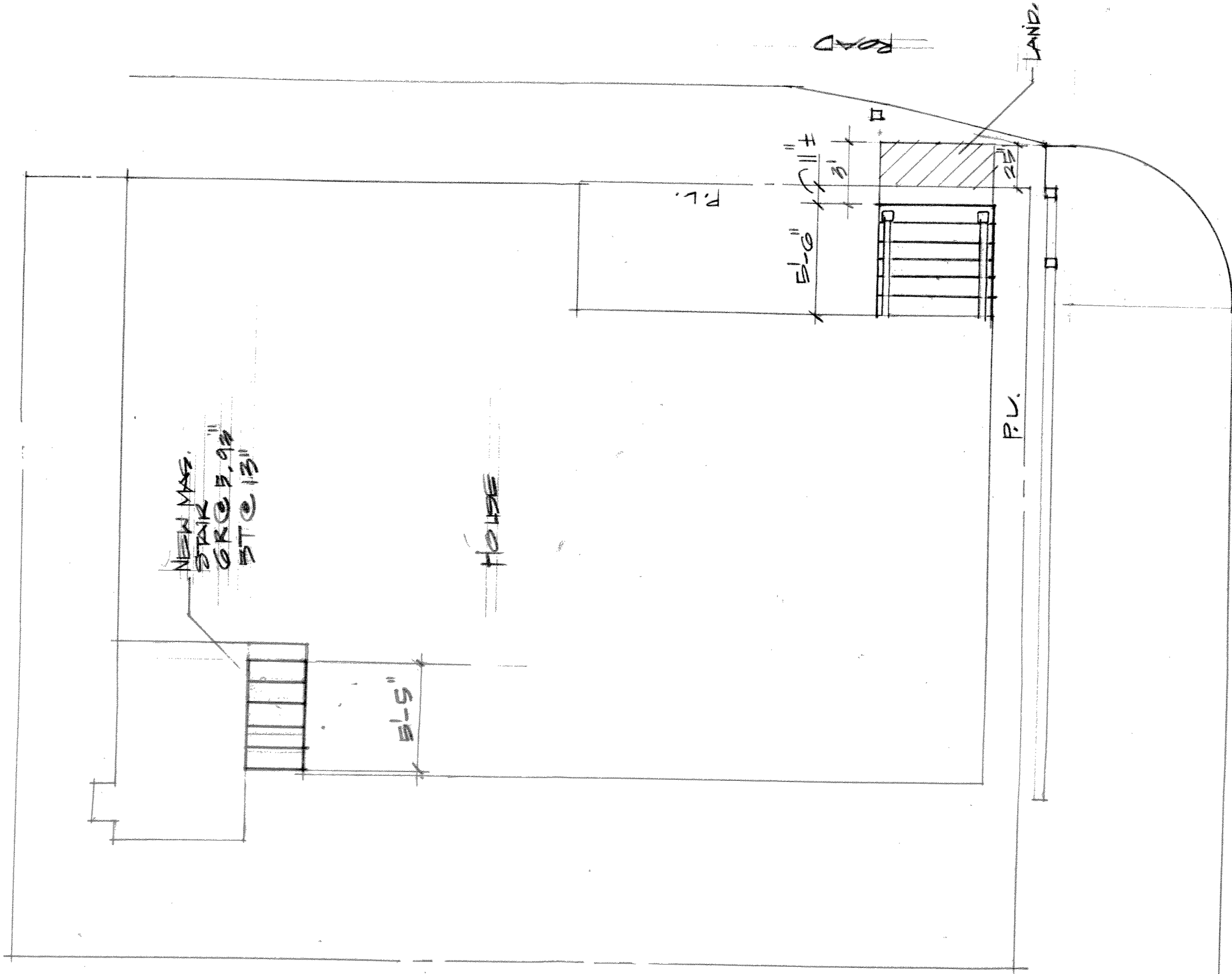
EXISTING SITE PLAN

SCALE: 3/16" = 1'-0"



STAR SCHEME 2 - NO EASEMENT REQ'D

3/6" = 1'-0"



ROAD

STAIR SCHEME | - 36" x 25" EASEMENT REQD

3/16" = 1'-0"

**Property Appraiser
Information**

Karl D. Borglum
Property Appraiser
Monroe County, Florida

office (305) 292-3420
fax (305) 292-3501

Property Record View

Alternate Key: 1005096 Parcel ID: 00004910-000000

Ownership Details

Mailing Address:
405 FRANCES LLC
911 FLEMING ST
KEY WEST, FL 33040

Property Details

PC Code: 01 - SINGLE FAMILY
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 31-67-25
Property Location: 405 FRANCES ST KEY WEST
Legal Description: KW PT LOT 3 SQR 31 E6-225 OR821-189Q/C OR1862-1917D/C OR2103-2279/2281P/R OR2420-1893/95

Parcel Map



Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	0	0	1,959.00 SF

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 0

Total Living Area: 1638
Year Built: 1925

Building 1 Details

Building Type R1
Effective Age 82
Year Built 1925
Functional Obs 0

Condition P
Perimeter 236
Special Arch 0
Economic Obs 0

Quality Grade 350
Depreciation % 74
Grnd Floor Area 1,638

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type GABLE/HIP
Heat 1 NONE
Heat Src 1 NONE

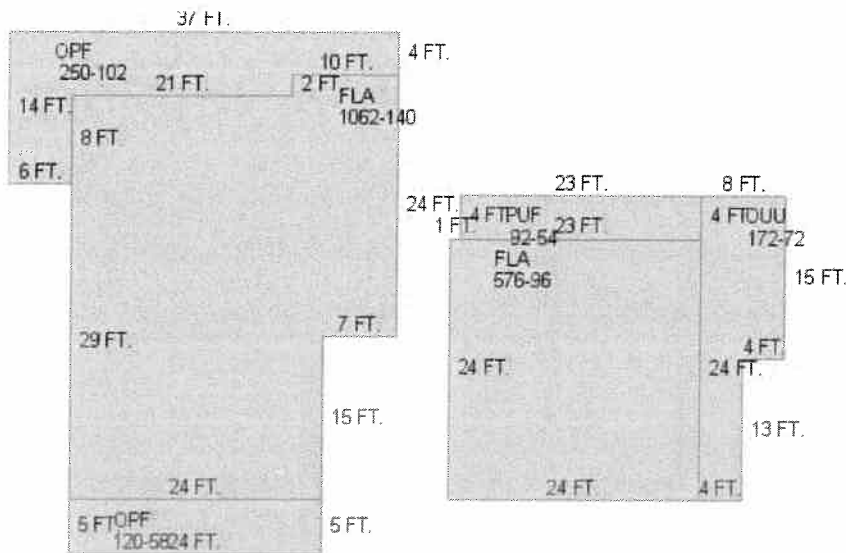
Roof Cover METAL
Heat 2 NONE
Heat Src 2 NONE

Foundation WD CONC PADS
Bedrooms 3

Extra Features:

2 Fix Bath 0
3 Fix Bath 0
4 Fix Bath 0
5 Fix Bath 0
6 Fix Bath 0
7 Fix Bath 0
Extra Fix 0

Vacuum 0
Garbage Disposal 0
Compactor 0
Security 0
Intercom 0
Fireplaces 0
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	OPF	12: ABOVE AVERAGE WOOD	1	1990	N N	0.00	0.00	250
2	FLA	12: ABOVE AVERAGE WOOD	1	1990	N N	0.00	0.00	1,062
3	OPF	12: ABOVE AVERAGE WOOD	1	1990	N N	0.00	0.00	120

4	FLA	12:ABOVE AVERAGE WOOD	1	1990	N	N	0.00	0.00	576
5	OUU	12:ABOVE AVERAGE WOOD	1	1990	N	N	0.00	0.00	172
6	PUF	12:ABOVE AVERAGE WOOD	1	1990	N	N	0.00	0.00	92

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
09-3424	12/11/2009		800		BOARD UP ALL OPENINGS, SECURE STRUCTURE
09-2303	07/31/2009		3,000		CONSTRUCT 50lf OF 6'H PICKET FENCE. APPROX 70lf FO 4'H PICKET AT FRONT & SIDES, 2 GATES PAINT WHITE
09-2564	08/24/2009		3,600		REMOVE ALL INTERIOR FINISHES. REMOVE EXTERIOR 2ND FLR DECK & STAIRS, REMOVE FENCE q@ RIGHT SIDE, ROTTEN ADDITIONS @ REAR OF BLDG AS PER PLANS

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2010	52,560	0	212,121	264,681	264,681	0	264,681
2009	160,519	0	322,423	482,942	482,942	0	482,942
2008	149,521	0	382,005	531,526	531,526	0	531,526
2007	237,376	0	346,253	583,629	583,629	0	583,629
2006	337,986	0	186,105	524,091	524,091	0	524,091
2005	337,986	0	146,925	484,911	408,434	25,000	383,434
2004	185,158	0	137,130	322,288	322,288	25,000	297,288
2003	178,300	0	68,565	246,865	110,666	26,000	84,666
2002	178,179	0	68,565	246,744	108,073	25,500	82,573
2001	141,163	0	68,565	209,728	106,372	25,500	80,872
2000	129,872	0	37,221	167,093	103,274	25,500	77,774
1999	121,127	0	37,221	158,348	100,559	25,500	75,059
1998	97,517	0	37,221	134,739	98,976	25,500	73,476
1997	92,385	0	33,303	125,688	97,322	25,500	71,822
1996	69,289	0	33,303	102,592	94,488	25,500	68,988
1995	63,130	0	33,303	96,433	92,184	25,500	66,684
1994	56,458	0	33,303	89,761	89,761	25,500	64,261
1993	56,458	0	33,303	89,761	89,761	25,500	64,261
1992	56,458	0	33,303	89,761	89,761	25,500	64,261
1991	56,458	0	33,303	89,761	89,761	25,500	64,261
1990	36,429	0	24,977	61,406	61,406	25,500	35,906

1989	30,107	0	24,488	54,595	54,595	25,500	29,095
1988	26,556	0	21,059	47,615	47,615	25,500	22,115
1987	23,970	0	13,281	37,251	37,251	25,500	11,751
1986	24,064	0	12,835	36,899	36,899	25,500	11,399
1985	23,464	0	7,937	31,401	31,401	25,500	5,901
1984	21,999	0	7,937	29,936	29,936	25,500	4,436
1983	21,999	0	7,937	29,936	29,936	25,500	4,436
1982	22,358	0	7,937	30,295	30,295	25,500	4,795

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
6/25/2009	2420 / 1893	216,500	WD	03
10/1/1980	821 / 189	40	QC	U

This page has been visited 29,676 times.

Monroe County Property Appraiser
Karl Borglum
P.O. Box 1176
Key West, FL 33041-1176