

Application

**ALCOHOL SALES SPECIAL EXCEPTION
APPLICATION INFORMATION SHEET**

City of Key West Planning Department
1300 White Street, Key West, FL 33040
(305) 809-3720



Please read the following carefully before filling out the application

Application Process

- **When the application is determined to be complete**, it will be brought forth to the Planning Board. If the application is approved, there is a 10 day appeal period.
- After the 10 day appeal period, the application will be sent to the Department of Community Affairs (DCA) for rendering. The rendering period is 45 days.

PLEASE NOTE:

- Applicants are notified of their scheduled Planning Board hearing date.
- Attendance at the formal public hearing is mandatory.
- Notice of Public Meeting is published in the newspaper.
- Owners of property within 300 feet of the subject property or parcels are notified by mail.
- Notice of public hearing will be posted on the property and must be left up until after the hearing.

FEE SCHEDULE

Alcohol Sales Special Exception	\$2,000.00
Advertising and Noticing Fee	\$ 100.00
Fire Department Review Fee	\$ 50.00

REQUIRED SUBMITTALS: All of the following must be submitted in order to have a complete application. Please submit one paper copy and one electronic copy of all materials.

- Correct application fee. Check may be payable to "City of Key West." Please note address on check.
- Notarized verification form signed by property owner or the authorized representative.
- Notarized authorization form signed by property owner, if applicant is not the owner.
- Copy of recorded warranty deed
- Monroe County Property record card
- Signed and sealed ~~Specific Purpose Survey~~ *Boundary Survey*
- Photographs showing the proposed project area
- Electronic copy of entire application

If you have any questions, please call the Planning Department. We will be happy to assist you in the application process.



RECEIVED
DEC 11 2017
BY: NLH

THE CITY OF KEY WEST
Planning Department

**SPECIAL EXCEPTIONS ARE QUASI-JUDICIAL HEARINGS
AND IT IS IMPROPER TO SPEAK TO PLANNING BOARD
MEMBERS ABOUT THE REQUEST
OUTSIDE OF THE HEARING**

**Alcohol Sales Special Exception
Application**

Please print or type a response to the following:

1. Site Address 516 Fleming Street, Key West, FL 33040
2. Name of Applicant Eleisha Gallant / Clemente's Wood-Fired Trolley Pizzeria, SCOP
3. Applicant is: Owner X Authorized Representative Glenn Tanner / Tanner Partners LLP
(please see the attached Verification & Authorization Forms)
4. Address of Applicant 9A East Circle Drive
Key West, FL 33040
5. Phone # of Applicant 774-222-5025 Mobile# _____ Fax# _____
6. E-Mail Address clementestrolley.pizzeria@gmail.com
7. Name of Owner, if different than above Glenn Tanner / Tanner Partners LLP
8. Address of Owner 516 Fleming St. # 201
Key West FL 33040
9. Phone Number of Owner 404-649-1557 Fax# _____
10. Email Address glenn.tanner2@icloud.com
11. Zoning District of Parcel HRCC-2 RE# _____
12. Description of Use and Exception Requested
family friendly pizzeria

Please note that any special exception granted hereunder may be approved with conditions, which conditions shall be monitored in accordance with Section 18-610. The exception shall be to the applicant only, shall not be transferable and shall only be effective in conjunction with the use(s) specified in the application. The Planning Board recognizes public input and how the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the application, and by addressing the objections expressed by these neighbors. Further, the Planning Board can consider any other factors they determine relevant to the public's health, safety and welfare.

The Planning Board may only grant the requested alcohol sales special exception after considering the following criteria. Please provide a response as to how this proposed use and exception meet or fulfill these criteria:

13. Demonstrate compatibility with surrounding existing uses:

Sandy's Cafe, Thirsty Mermaid, Uva Wines
The Roost Bar

14. Demonstrate the extent of conflict between the proposed use and the hours of operation of the facilities:

hours of operation 12pm - 3am
2 fulltime employees, 2 part time

15. What are the mitigative measures proposed to be implemented by the applicant:

We are open to work with any concerns neighboring properties may have. However, we believed that our family restaurant is more in line w/ the neighboring businesses oppose to an adult entertainment

Clemente's Wood-Fired Pizzeria

All Pizzas Are Made To Order In Our 600° Wood-Fired Pizza Oven. Our Dough Is Made Daily Here In House, And We Only Use D.O.P. San Marzano Tomatoes and Whole Milk Mozzarella Cheese

10" Gluten Free Crust Available

12" Thin Crust Pies

Traditional Cheese	13.5
Pepperoni	15
Meatball	16
Meatball & Ricotta	18
Sausage, Pepper & Onion	18
House Made Sausage, Caramelized Onion & Hot Peppers	
Honey Bacon	18
Roasted Garlic & Oil, Caramelized Onion, Bacon, Honey	
Mushroom	16
Fresh Roasted Baby Bella Mushrooms	
Roasted Vegetable	17.5
Bell Pepper, Caramelized Onion, Mushroom, Squash & Zucchini	
Meat Lovers	18.5
Bacon, Pepperoni, Sausage, Meatball	
Hot Peppers & Sausage	17.5
Hawaiian	17.5
Supreme	19

Our 4x6" Siscilian Thick Crust Slices Are Amazingly Light and Airy!

By the Slice¹

Traditional Cheese	4.5
Pepperoni	5
Meatball	5.5
Meatball & Ricotta	6
Sausage, Pepper & Onion	6.5
House Made Sausage, Caramelized Onion & Hot Peppers	
Mushroom	6
Fresh Roasted Baby Bella Mushrooms	
Roasted Vegetable	6
Bell Pepper, Caramelized Onion, Mushroom, Squash & Zucchini	
Meat Lovers	6.5
Bacon, Pepperoni, Sausage, Meatball	
Hot Peppers & Sausage	5.5
Hawaiian	5
Supreme	6.5

¹ We Deliver!

Clemente's Wood-Fired Pizzeria

Bacon, Pepperoni, Meatball, Onion,
Mushroom, Bell Pepper

Salami, Cheddar Cheese, Chipotle
Stuffed Olives, Cornichons,
Crostini.....18

Garlic Bread

Italian Bread Smothered With
Garlic Butter

8

Fresh Pasta

Fettuccini Marinara.....12
Add Grilled Chicken.....14
Hand Rolled Pasta w/ Marinara Sauce

Pesto Linguini.....13
Add Grilled Chicken.....15
Hand Rolled Pasta w/ House Made Pesto

Salads

Caprese Salad.....8
Fresh Tomato, Mozzarella, Basil,
Baslamic Reduction

Caesar Salad.....13
Add Grilled Chicken.....15

Antipasto

Prosciutto, Pickled Hot Peppers,
Fresh Mozzarella, Cornichons,
Crostini.....18

Dessert

Cannoli.....4.5
Sweet Cream Filling & Chocolate Chips
2" Cannoli, 2 Per Order

Key Lime Pie Slice.....6

Italian Cheese Cake Slice.....6

Coffee + Espresso

Large Coffee.....4
Small Coffee.....3
Single Shot.....3
Double Shot.....4

Beverages

Bottled Water.....2
San Pellegrino Small.....3.5
San Pellegrino Large.....7.5
Boyland Soda.....3
Root Beer
Cream Soda
Black Cherry
Ginger Ale
Orange Soda

Warranty Deed

Prepared By: Monica Hornyak
Chicago Title of the Florida Keys
801 Eisenhower Drive
Key West, FL 33040
FILE NO. 410780219

Doc# 1681476 DT/06/2007 11 04AM
Filed & Recorded in Official Records of
MONROE COUNTY DISTRICT 1, MONROE

07-08-2007 11 04AM
DEED DOC STAMP CL: 04 \$4,700.00

WARRANTY DEED

This Indenture, Made this 7th day of June, 2007, A.D., Between

Anna K. Sanders, a single woman,
grantor,
to

Doc# 1681476
Doc 2306 Pgs 2000

Tanner Partners, L.L.P., a Georgia Limited Liability Limited Partnership,
grantee,
whose address is: 516 Fleming St. Key West, FL 33040

Witnesseth, that the GRANTOR, for and in consideration of the sum of TEN DOLLARS (\$10.00), and other good and valuable consideration to GRANTOR in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Miami-Dade, State of Florida to wit:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

PARCEL ID NO: 00009530-000000

Subject to restrictions, reservations, and encumbrances of record and taxes for the current year and subsequent years.

And the grantor does hereby fully warrant the title to said land, and will defend that same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantor has hereunto set my hand and seal the day and year first above written.

Signed, sealed and delivered in our presence.




Anna K. Sanders

1. Teresa Mench
Witness
Teresa Mench
Printed Name of Witness

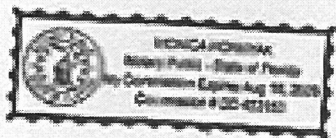
2. Monica Hornyak
Witness
MONICA HORNYAK
Printed Name of Witness

STATE OF FL
COUNTY OF MONROE

The foregoing instrument was acknowledged before me this 7th day of June, 2007, by Anna K. Sanders, who is personally known to me or who produced



Notary Public
Commission Expires



Verification Form

City of Key West
Planning Department



Verification Form

(Where Authorized Representative is an entity)

I, GLENN TANNER, in my capacity as Resident
(print name) (print position; president, managing member)
of TANNER PARTNERS LLP
(print name of entity serving as Authorized Representative)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

516 FLEMING ST, KEY WEST, FL 33040
Street Address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

[Signature]
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 27 Nov 2017 by
date

Glenn Tanner
Name of Authorized Representative

He/She is personally known to me or has presented DLT 560-285-50-449-0 as identification.

[Signature]
Notary's Signature and Seal

Natalie Hill
Name of Acknowledger typed, printed or stamped



GG.051262
Commission Number, if any

City of Key West
Planning Department



Verification Form

(Where Authorized Representative is an entity)

I, Eleisha Gallant, in my capacity as Manager
(print name) (print position; president, managing member)
of Clemente's Wood-Fired Trolley Pizzeria, SCOP
(print name of entity serving as Authorized Representative)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

516 Fleming Street, Key West, FL 33040
Street Address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Eleisha Gallant
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 27 Nov 2017 by
date

Eleisha Gallant
Name of Authorized Representative

He/She is personally known to me or has presented DL S32975002 as identification.

Natalie L Hill
Notary's Signature and Seal

Natalie Hill
Name of Acknowledger typed, printed or stamped



GG 051262
Commission Number, if any

Authorization Form

**City of Key West
Planning Department**

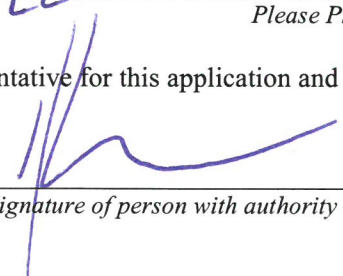


Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, GLENN TANNER as
Please Print Name of person with authority to execute documents on behalf of entity
PRESIDENT
GENERAL PARTNER of TANNER PARTNERS LLLP
Name of office (President, Managing Member) *Name of owner from deed*
authorize GLENN TANNER
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.


Signature of person with authority to execute documents on behalf on entity owner

Subscribed and sworn to (or affirmed) before me on this 27 Nov 2017 by
date

Glenn Tanner
Name of Authorized Representative

He/She is personally known to me or has presented DL T 560-285-50-449-0 as identification.

Natalie L Hill
Notary's Signature and Seal

Natalie Hill
Name of Acknowledger typed, printed or stamped



GG 051262
Commission Number, if any

**City of Key West
Planning Department**



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Eleisha Gallant as
Please Print Name of person with authority to execute documents on behalf of entity

Manager of Clemente's Wood-Fired Trolley Pizzeria, S Corp.
Name of office (President, Managing Member) Name of owner from deed

authorize Eleisha Gallant
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

Eleisha Gallant
Signature of person with authority to execute documents on behalf on entity owner

Subscribed and sworn to (or affirmed) before me on this 27 Nov 2017
Date

by Eleisha Gallant
Name of person with authority to execute documents on behalf on entity owner

He/She is personally known to me or has presented DL S 32975002 as identification.

Natalie L Hill
Notary's Signature and Seal

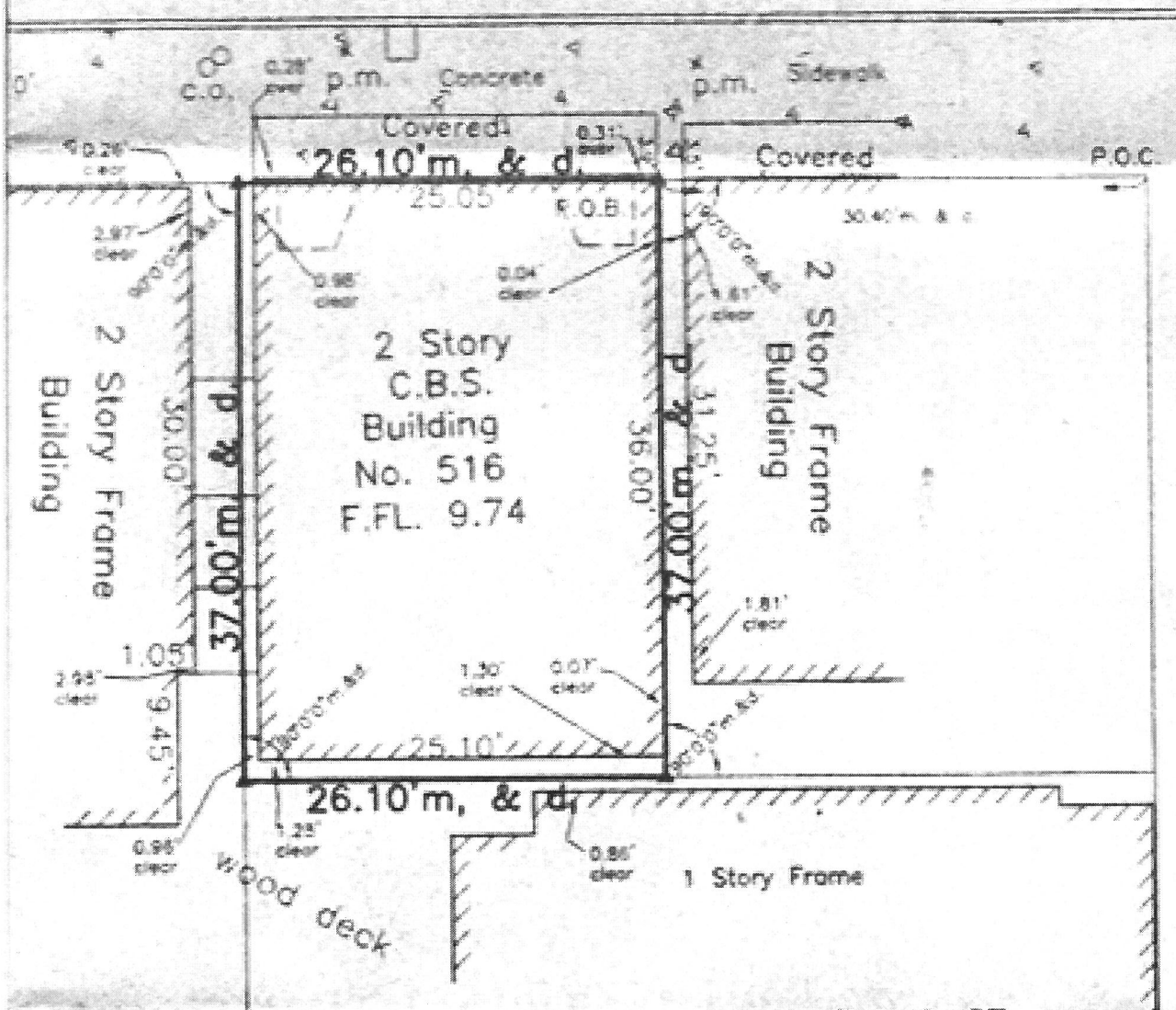
Natalie Hill
Name of Acknowledger typed, printed or stamped



GG 051262
Commission Number, if any

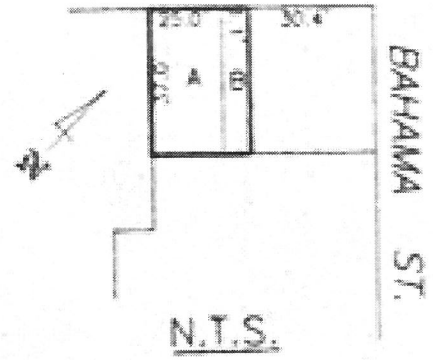
Survey

FLEMING STREET (50' R/W)



BAHAMA STREET (30' R/W)

FLEMING ST.



CERTIFICATION made to:
 Glenn E. Tanner
 Key West Bank
 Chicago Title of the Florida Keys

Block 44

Glenn E. Tanner 516 Fleming Street, Key West, Fl. 33040	
BOUNDARY SURVEY	Den. No.: 07-260

FREDERICK H. HILDEBRANDT
 ENGINEER PLANNER SURVEYOR

Site Plans

CLEMENTE'S WOOD FIRED PIZZERIA NEW KITCHEN

516 FLEMING STREET KEY WEST, FLORIDA 33040

GENERAL NOTES

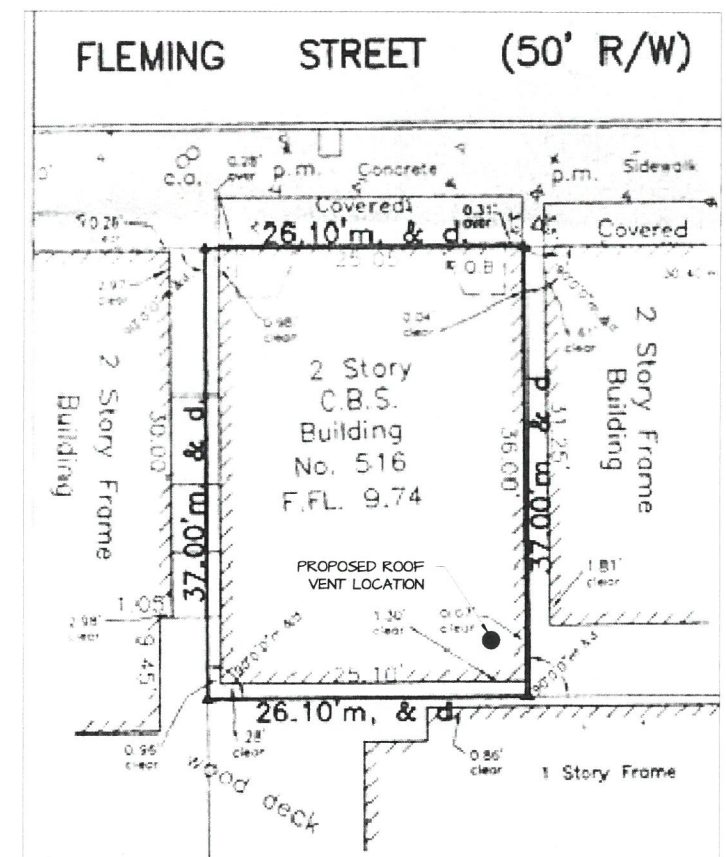
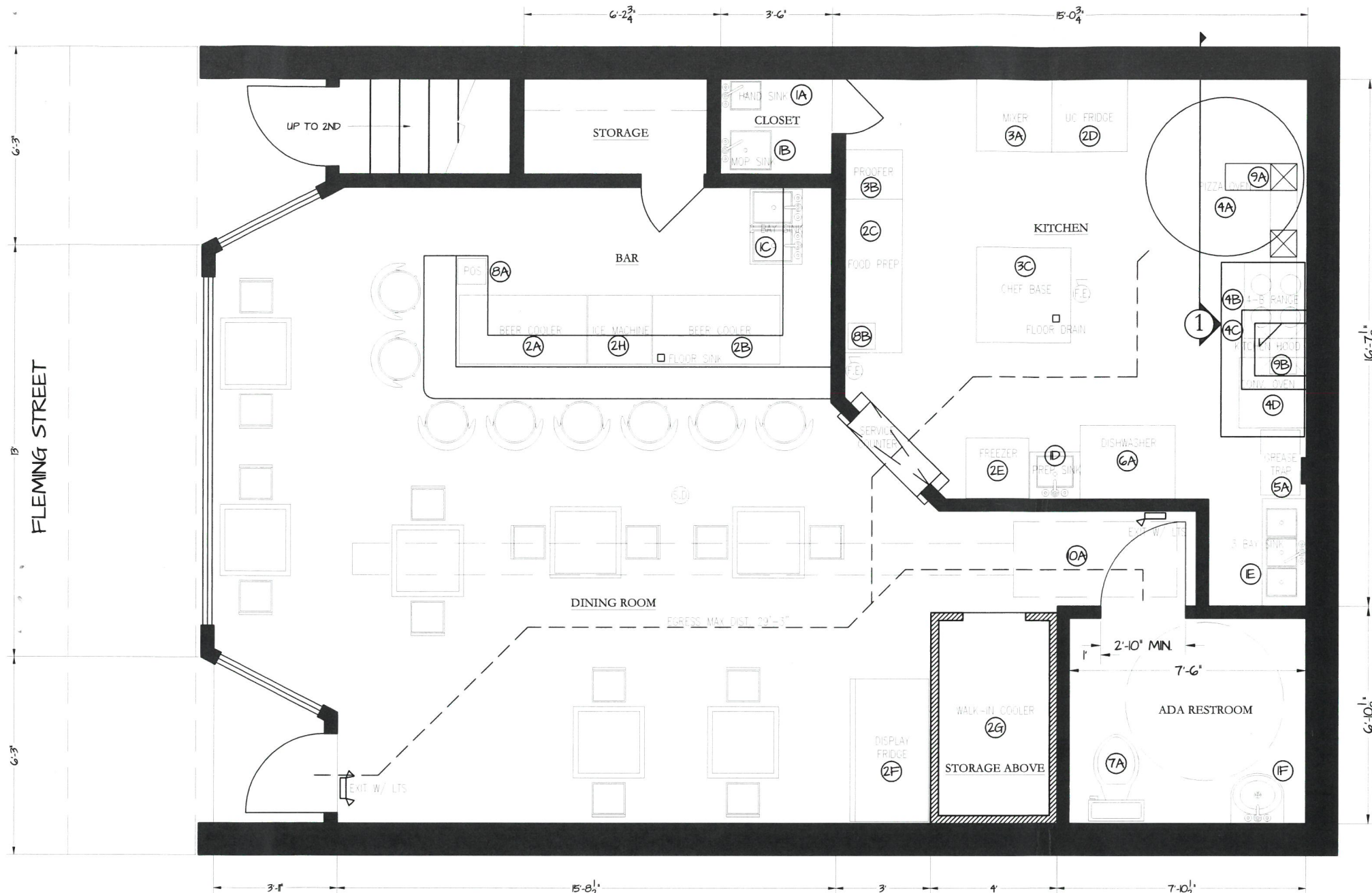
All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the city, county, and the state of Florida. In the city of Key West, applicable Codes forming the basis of this design and compliance requirements for the contractor include:

- BUILDING: Florida Building Code, 2010
- ELECTRICAL: National Electrical Code, 2010
- PLUMBING: Florida Building Code (Plumbing), 2010
- MECHANICAL: Florida Building Code (Mech.), 2010
- GAS: LP Gas Code, 2010 edition (NFPA 58)

This project is designed in accordance with A.S.C.E. 7-10 to resist wind loads 180 mph (gusts) (Exposure C)

AREA	# OF SEATS
INSIDE/TABLES	14
BAR 1	8
TOTAL	22

SHEET INDEX	
NO.	DESCRIPTION
1	C COVER - LOCATION FLOOR PLAN, GENERAL NOTES
2	A1 SECTION DETAILS, MEP, NOTES



MECHANICAL NOTES

Note to Contractor on Existing Conditions:

1. Contractor shall visit the site prior to bid and survey all existing conditions and equipment prior to submitting bid for work required by these documents. This includes above the ceiling and on the top of the roof.
2. If at any time, there is discrepancy between the plans & specs, or confusion/concern over required work, contractor shall immediately notify architect, engineer, or owner and get direction before proceeding with work in question.
3. For all existing equipment to be re-located &/or re-used, contractor shall be responsible for disconnection, safe storage and re-connection of said equipment completely.
4. For all existing equipment to be demolished, contractor shall be responsible for disconnection, removal and disposal off site per code of said equipment.
5. Existing a/c to be enclosed with min. 1hr FR from kitchen.
6. Existing exhaust fans to remain in bathroom.

MECHANICAL SPECIFICATIONS

Scope: The contractor shall visit the site and examine the drawing and specifications before submitting a proposal. All work shall be in accordance with the 2007 FBC and with all amendments, and local codes and ordinances; installation shall comply with the standards set by the NFPA, ASHRAE, ASPE, SMACNA, NEC and UL. The systems, equipment, devices, and accessories shall be installed, finished, tested and adjusted for continuous and proper operation. The contractor shall be responsible for his work fitting in place and shall coordinate with the other trades to avoid interference with their work. The information given herein and on the drawings is as exact as could be secured, but its extreme accuracy is not guaranteed. The drawings are diagrammatic, intended to show general arrangement, capacity and location of various components, equipment, and devices, if work is required in a manner to make it impossible to produce first class work, or should discrepancies appear among the contract documents or between the contract documents and manufacturers' recommendations, the contractor shall request interpretation from the owner or architect before proceeding with work. Contractor shall furnish all minor items which are obviously and reasonably necessary to complete the installation whether or not specific in the documents.

Required Coordination: All work shall be coordinated with all trades involved. Offsets in ducts and piping (including divided ducts) and transitions around obstructions shall be included in the bid price.

Construction Plans: In general, plans and diagrams are schematic only and should not be scaled.

Required Access: Contractor shall ensure that all equipment and devices that require replacement, servicing, adjusting or maintenance shall be located to allow access and space for removal of internal assemblies, if required. Contractor shall provide access panels where required to allow access, even if not indicated on the drawings and these shall be included in the bid price.

Wind Resistance: All equipment, appliance and supports located exterior of the facility shall be installed to resist 180mph wind loads as detailed in FBC.

Cutting and Patching: All openings around duct or pipe penetrations through smoke or fire rated floors, ceiling or walls shall be sealed airtight with materials having a rating equal to the material of the ceiling, wall or floor penetrated.

Fire Stopping: UL approved materials and methods shall protect the penetrations of fire and/or smoke rated walls, ceiling or floors. The rating of fire stopping shall equal the rating of the rated assembly. All insulation shall have composite fire and smoke hazard ratings as tested by procedure ASTM E-84, NFPA-225, UL-723, not exceeding flame spread - 25, Smoke developed - 50, Fuel distributed - 50.

PROJECT NORTH



FLOOR PLAN (PROPOSED)
1ST FLOOR 1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

1. Do not scale drawings, written dimensions govern. All partition locations shall be as shown on the partition plan. In case of conflict, verify with the owner or architect.
2. All new gypsum board partitions shall be taped and sanded smooth with no visible joints. Patch and repair surfaces to match adjacent or adjoining surfaces where required. All surfaces shall be aligned and sanded smooth.
3. All partitions are dimensioned from finish face of gypsum board to finish face of gypsum board unless otherwise noted. All dimensions marked "clear" or "cl" shall be maintained and shall allow for thicknesses of all wall finishes, UNO.
4. Dimensions noted "clear" or "cl" must be accurately maintained and shall not vary more than +/- 1/8" without instruction from architect and/or owner, as applicable.
5. Dimensions marked +/- mean a tolerance not greater nor smaller than 2 inches from indicated dimension, UNO. Verify field dimensions exceeding tolerance with architect or owner.
6. All dimensions to the exterior window wall are to the inside face of sill, UNO.
7. Notify architect or owner of any discrepancies of conflicts in the locations of the new construction.
8. All work shall be directed and installed, plumb, level, square, and true and in proper alignment.
9. Refer to cover sheet for additional notes, legends, symbols, abbreviations, and schedules.
10. Obtain approval from architect or owner, as applicable, prior to modifying building components, systems and items not identified prior to adjusting any and all other field conditions required to fit plans.
11. All existing and new floor slab penetrations for piping shall be fully packed and sealed in accordance with the applicable building fire codes.

CLEMENTE'S WOOD FIRED PIZZERIA
NEW KITCHEN

516 FLEMING STREET KEY WEST, FLORIDA 33040

[Signature]

12/10/17

WILLIAM ROWAN N
ARCHITECTURE

KEY WEST, FLORIDA
FLORIDA LICENSE #AC607751

PROJECT NO:

DATE: 12/9/2017

1 OF 2

FIRE SAFETY

1. Provide audio/visual fire strobes and fire extinguishers as necessary for code compliance. See electrical plans as applicable.
 2. Fire extinguisher, bracket mounted, mtg height (B.O. extinguisher) = 30' AFF
 3. Fire extinguishers to be field located prior to final CO during walk thru with local fire inspector having jurisdiction.
 4. Lighted exit signs shall be located in accordance with NFPA 101 Section 5-10, 'Marking means of egress'
 5. Portable fire extinguishers shall be installed in accordance with NFPA 10 (Verify with Fire Marshal), the plan located fire extinguishers are the suggested minimum to be verified by the authority having jurisdiction.
 6. Existing smoke detectors to remain.
 7. New exhaust fan(s) @ prep kitchen to have backdraft damper installed per specifications.
 8. Air fixture in field for best performance.
- Floor and ceiling runners (not shown) channel shaped runners, 3-5/8 inch wide (min), 1/4 inch legs, formed from NO. 25 MSG (min) galv steel, attached to floor and ceiling with fasteners spaced 24 inches OC max.
- Steel studs - channel shaped, 3-5/8 inch wide (min) 1/4 inch legs, 3/8 inch folded back returns formed from no. 25 MSG (min) galv steel, spaced 24 inches OC max.
- Batts and blankets (optional) - mineral wool or glass fiber batts partially or completely filling stud cavity.
- Wallboard, gypsum - 5/8 inch thick, 4ft wide attached to steel studs and floor and ceiling track with inch long, type S self-tapping steel screws spaced 8 inches OC along edges of board and 12 inches OC in the field of the board. Joints oriented vertically and staggered on opposite sides of the assembly. Kitchen walls to be finished in stainless steel or approved kitchen rated FRP.
- Existing floor at second is (2) layer 5/8" ply, (1) layer 3/4" ply, (1) layer 3/4" t&g. New drop ceiling to be fire rated kitchen approved panels and grid.

ELECTRICAL NOTES

1. All switches and dimmers shall be located 48" above finished floor to center of switch, UNO. Multiple switches at one location shall be ganged together and finished with one cover plate, UNO.
2. Outlets at bar are to be located at 38" above finished floor unless noted otherwise.
3. Verify existing conditions (see prior permit for KW).

PLUMBING NOTES

Dielectric Unions provide dielectric unions or flanges at connections or contact between pipes of dissimilar metals.

Water Hammer Arrestors: Install water hammer arrestors at fixture hot and cold supplies (at all lavatories and sinks and other quick acting fixtures).

Exposed Piping: Exposed piping shall be polished chromium on either brass or bronze. Provide ADA insulated water and waste line coverings for wall hung sinks and lavs.

Valves: All valves shall have a minimum of 125 psig working pressure. Valves and cocks may not be indicated in every instance on the drawings, but whether or not shown, all valves, cocks and check valves necessary for the proper operation of the system shall be furnished and installed. Install isolation/shut-off valves at all main risers, main branch takeoffs and at the entry to resident rooms. Install isolation/shut off on each inlet and outlet of each piece of equipment. Provide a flange or union between the valve and the equipment to permit disconnection, removal and service.

Sterilization of Domestic Water System: The entire domestic water distribution system shall be thoroughly sterilized as required by the health authority or water purveyor having jurisdiction, or in the absence of a prescribed method, the procedure described in either AWWA C651 or AWWA C652, or as described in Section 610 FBC-P.

Venting: The stacks shall be extended through roof of building to points not less than 12' above roof. Vents shall be offset as required to penetrate roofs at least 3 feet from the ridge or edge of building and 10 feet from any fresh air intake or operable window or door.

Sanitary, Waste, Grease, and Vent Piping: All below ground piping and fittings shall be sch 40 PVC-DWW (solid core). All above grade piping and fittings shall be no-hub service weight cast iron soil pipe. Slope of sanitary or drainage piping 2-1/2" and smaller shall be a minimum of 1/8" per foot; piping 3" and larger shall be sloped a minimum of 1/8" per foot. Cleanouts will be located not more than 100 feet apart and at each change of direction greater than 45° along the horizontal drain. Cleanouts shall be installed at base of each stack. Concealed cleanouts shall have cast brass chromium plated flat access cover plate or equiv.

Floor Drains: Floor Drains shall be cast iron and adjustable to accommodate the finished floor. Floor sinks shall have an acid-resistant enameled interior. Strainers shall be provided with trapped boss and trap primer connection and flashing flange or clamp unless otherwise indicated.

Plumbing Fixtures and Trim: Plumbing fixtures shall be furnished and installed in a neat and workmanlike manner with proper connections to supply and drainage piping. All fixtures shall be free of flaws and defects of any sort in material and workmanship and shall operate perfectly when installed in accordance with manufacturer's directions. Contractor shall provide rough-in and shall connect all fixtures to the plumbing systems. All fixtures to be provided with chrome plated supplies and stops. Provide 17 gauge chrome plated brass traps for all fixtures without integral traps. Provide concealed arm carriers and supports for all fixtures requiring same.

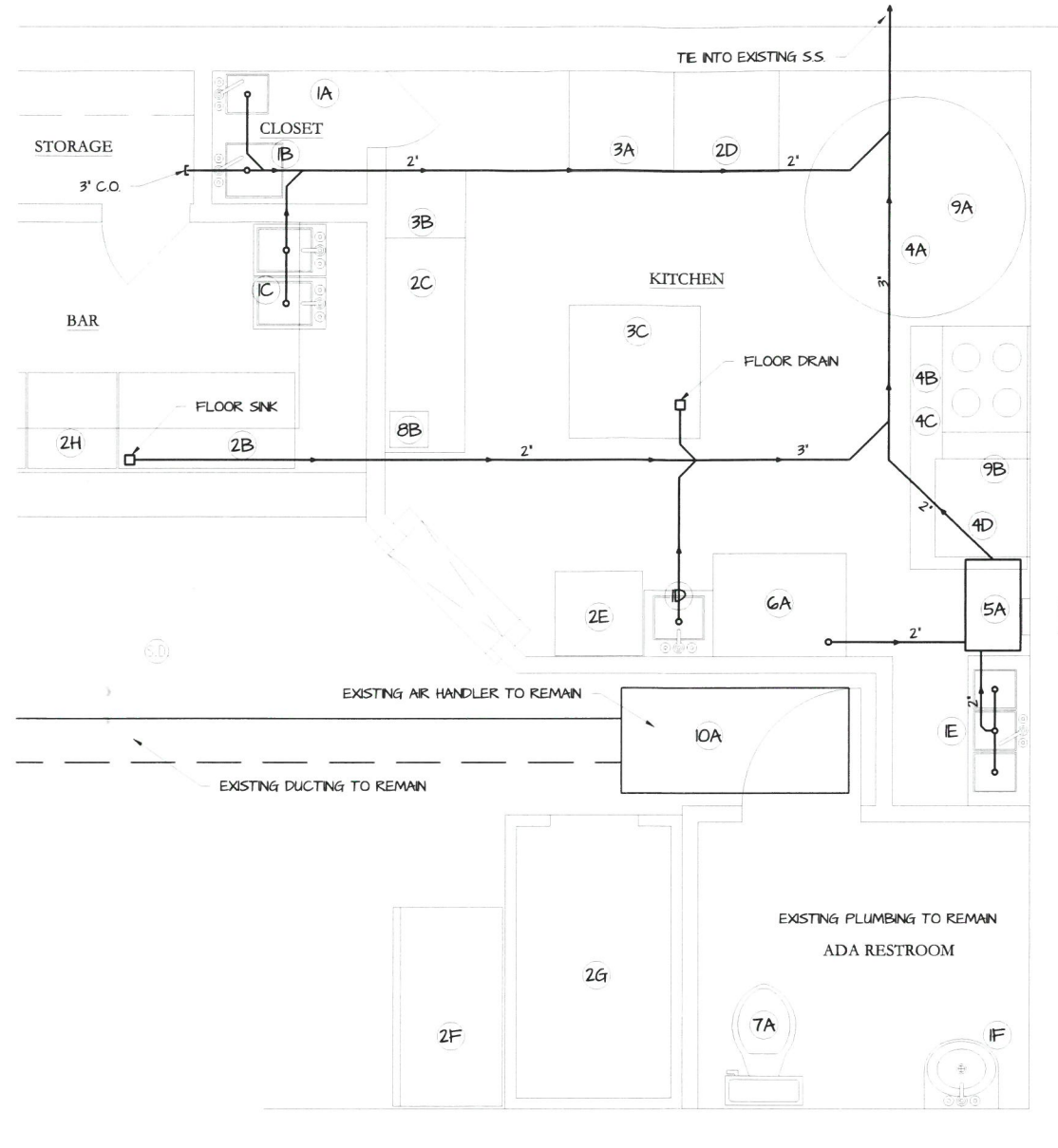
Pipe Insulation: Install insulation products in accordance with the manufacturer's instructions and in accordance with recognized industry practices. Seal all joints, breaks, tears, and penetrations with fire retardant, vapor barrier mastic. Cover valves, fittings and similar items in each piping systems. Insulate all domestic hot water with 1" thick fiberglass sectional pipe covering with canvas jacket or ArmaFlex AP pipe insulation kits or equivalent.

Testing: Test all waste and vent piping for a period of not less than 8 hours by capping or plugging all joints to a level of the highest fixture or fittings, filling the system with water and observe for leaks. Test water piping at 100 psig for a period of 8 hours, observing for any visible leaks. Test piping again with fixtures installed. Repair any leaks found by remaking joint. Do not use caulking or similar methods.

Equipment Furnished by Others: Where shown on the drawings, the contractor shall make all piping connections to equipment furnished by others. This work shall include furnishing and installation of all water and drain piping. All work shall be performed in accordance with recommendations of equipment manufacturer.

Guarantee: The one-year guarantee period shall not start until the project is fully completed, passed final inspection and the owner has received the certificate of occupancy. All equipment and all work shall be fully guaranteed, parts and labor for one year from the date of the certificate of occupancy (or the temporary certificate of occupancy, if applicable). Repairs made during this period must be fully guaranteed for an additional one year period from the date of repairs. In addition, the contractor shall assume full responsibility for any damage to the building and its contents or to other equipment caused by defects or improper installation of equipment or material installed.

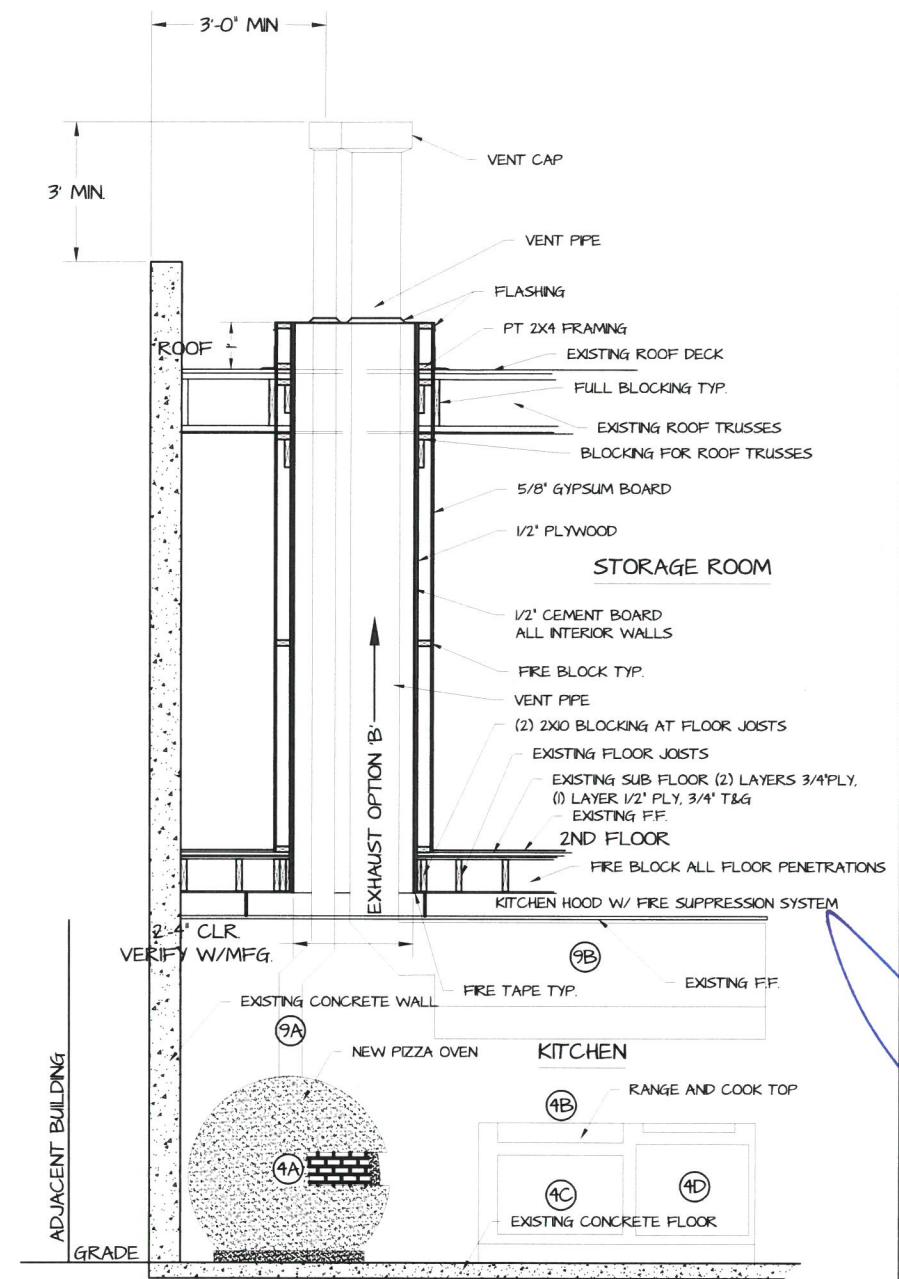
Substitutions: Unless as otherwise agreed, plumbing contractor shall pay for added costs associated with any substitution, including substitutions that require changes to the other building components, such as electrical, structural reinforcing, ceilings, walls, roofs, etc. Burden of reasonable proof that a substitution is equivalent lies with the plumbing contractor.



NOTE: **VERIFY EXISTING PLUMBING AND MECHANICAL REFER TO PREVIOUS PERMITS**

1 MEP (PROPOSED) 1/4" = 1'-0"

- (1A) HAND SINK
BK Resources Model No. BKHS-D-SS-SS-P or similar: ea. Space Saver Hand Sink, wall mounted, 9"W x 9"D x 4-3/8" deep bowl size, 1-7/8" basket drain with crumb cup standard duty faucet, 3-1/2" gooseneck spout, 4" OC deck mount, dual side splash, 1/4 turn ceramic
- (1B) MOP SINK
Existing, FBC kitchen approved
- (1C) 2 BAY SINK
Existing, with BK Resources faucet Model No. BKFB-8W-12-G Packed ea. WorkForce Standard Duty Faucet, lead free, 12" swing spout, 8" c/c splash mount, 1/4 turn ceramic cartridges, check valves, ANSI/NSF GI
- (1D) PREP SINK
Tabco FE-1812 prep sink with 5F-8WLX08 wall mount swivel base mixing faucet with 8" centers
- (1E) THREE COMPARTMENT SINK
48" S.S. 3 bay sink by owner (EXISTING)
- (1F) LAVATORY / BATHROOM SINK
ADA compliant sink and fixtures (EXISTING)
- (2A) BEER COOLER
True TD-48-18 horizontal 48" beer bottle cooler or equal
- (2B) BEER COOLER
True TD-48-18 horizontal 48" beer bottle cooler or equal
- (2C) UNDER COUNTER FRIDGE WITH PREP TOP
BB#8HC-1F-S 48" under counter refrigerator w/ two solid doors and stainless steel exterior and prep top
- (2D) UNDER COUNTER REFRIGERATOR
Existing, owner tbd
- (2E) FREEZER
24" freezer, owner TBD
- (2F) AVANTICO gds-47-hc 53" 2 door merchandising refrigerator or sim.
- (2G) WALK-IN COOLER
4'-5" X 5'-5" insulated panel custom walk in cooler by others
- (3A) MIXER
Hobart spiral mixer H5180, existing
- (3B) PROOFER
Metro C53 proofing cabinet, existing
- (3C) CHEF TABLE
Remote chef table, owner TBD
- (4A) WOOD PIZZA OVEN
60" dia DiFurio wood oven
- (4B) RANGE
Garland 25" 4 burner stove with oven
- (4C) OVEN
Garland oven, included with 4 burner stove
- (4D) CONVECTION OVEN
Convection oven tbd
- (5A) GREASE TRAP
Grease trap to be sized and installed by lic. R plumber
- (6A) DISHWASHER
Hobart LX-1 high temp under counter dishwasher
- (7A) TOILET
ADA accessible toilet, existing
- (8A) POINT OF SALE SYSTEM
Owner tbd
- (8B) KITCHEN PRINTER
Remote kitchen printer, owner tbd
- (9A) VENT
Pizza oven vent, mechanical contractor tbd
- (9B) KITCHEN HOOD
Stainless hood with auto suppression system by others, vent per mfg specs



1 SECTION (PROPOSED) 1/4" = 1'-0"

- (3A) MIXER
Hobart spiral mixer H5180, existing
- (3B) PROOFER
Metro C53 proofing cabinet, existing
- (3C) CHEF TABLE
Remote chef table, owner TBD
- (4A) WOOD PIZZA OVEN
60" dia DiFurio wood oven
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Hobart LX-1 high temp under counter dishwasher
- (7A) TOILET
ADA accessible toilet, existing
- (8A) POINT OF SALE SYSTEM
Owner tbd
- (8B) KITCHEN PRINTER
Remote kitchen printer, owner tbd
- (9A) VENT
Pizza oven vent, mechanical contractor tbd
- (9B) KITCHEN HOOD
Stainless hood with auto suppression system by others, vent per mfg specs
- (10A) A/C unit
Existing air handler to remain. (Frame around existing unit per code)

CLEMENTE'S WOOD FIRED PIZZERIA
NEW KITCHEN

WILLIAM ROWAN N
ARCHITECTURE

PROJECT NO:
DATE: 12/9/2017

2
2 OF 2

516 FLEMING STREET KEY WEST, FLORIDA 33040

KEY WEST, FLORIDA
FLORIDA LICENSE AR601751

516 BEACON LANE
305 256 3184

Handwritten signature and date:
12/10/17

Site Visit

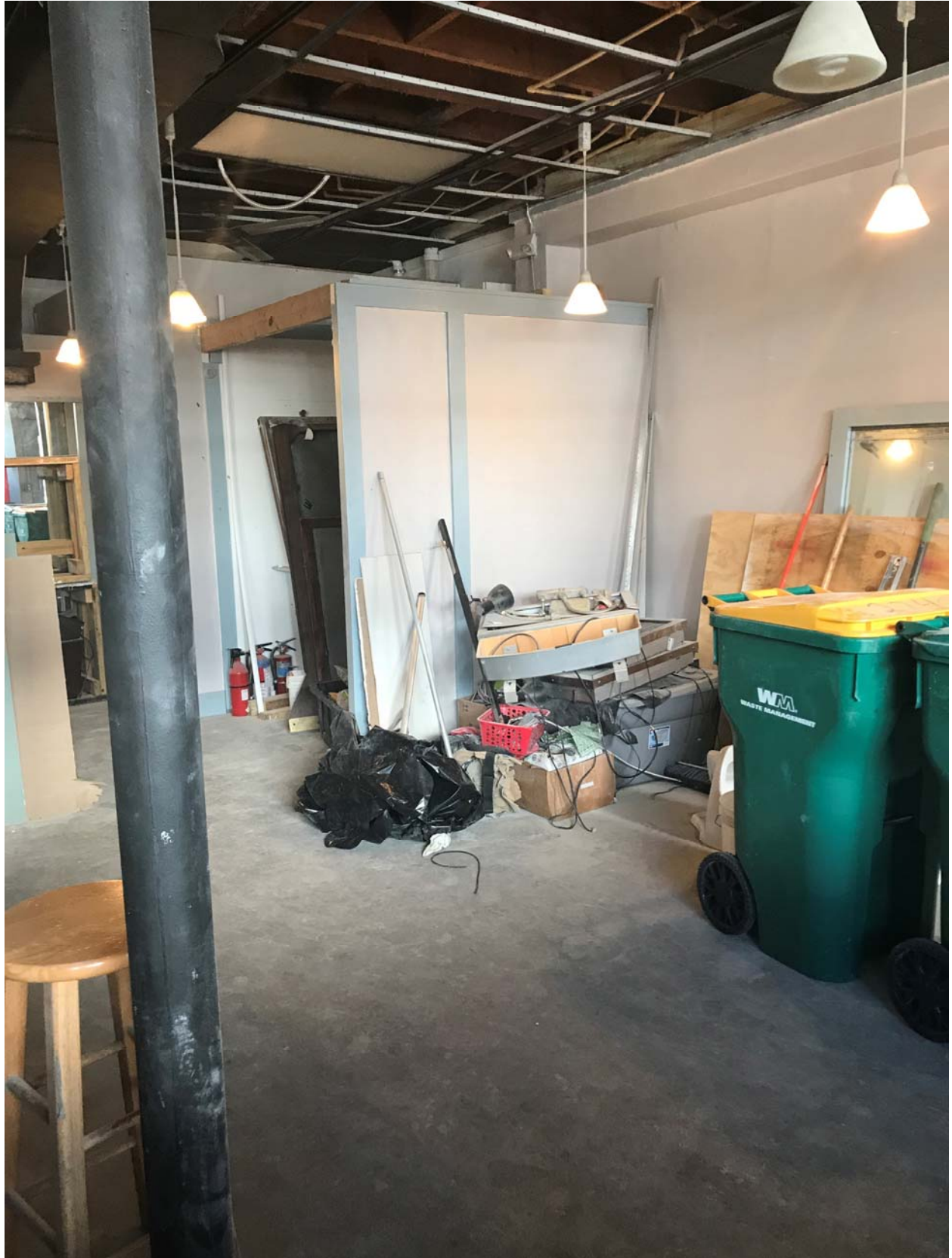




















Additional Information

Summary

Parcel ID 00009530-000000
Account # 1009784
Property ID 1009784
Millage Group 10KW
Location 516 FLEMING ST , KEY
Address WEST
Legal KW PT LOT 3 SQR 50
Description G64-388/89 OR1239-
411/12 OR1243-
1268/69C OR1336-
1907/08 OR1336-
1909/10Q/C OR1341-
1/2R/S OR1632-907D/C
OR1872-2189/2191
OR2306-1005/06
(Note: Not to be used on
legal documents)
Neighborhood 32040
Property Class STORE COMBO (1200)
Subdivision
Sec/Twp/Rng 06/68/25
Affordable No
Housing



Owner

TANNER PARTNERS LLLP
516 FLEMING ST
KEY WEST FL 33040

Valuation

	2017	2016	2015	2014
+ Market Improvement Value	\$236,811	\$236,844	\$236,844	\$236,844
+ Market Misc Value	\$252	\$252	\$220	\$200
+ Market Land Value	\$271,639	\$264,866	\$264,866	\$257,708
= Just Market Value	\$508,702	\$501,962	\$501,930	\$494,752
= Total Assessed Value	\$508,702	\$501,962	\$501,930	\$494,752
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$508,702	\$501,962	\$501,930	\$494,752

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	966.00	Square Foot	25	37

Commercial Buildings

Style	APTS-A / 03A
Gross Sq Ft	1,800
Finished Sq Ft	1,768
Perimeter	0
Stories	2
Interior Walls	
Exterior Walls	C.B.S.
Quality	450 ()
Roof Type	
Roof Material	
Exterior Wall1	C.B.S.

Exterior Wall2
Foundation
Interior Finish
Ground Floor Area
Floor Cover
Full Bathrooms 2
Half Bathrooms 0
Heating Type
Year Built 1960
Year Remodeled 0
Effective Year Built 1995
Condition GOOD

Yard Items

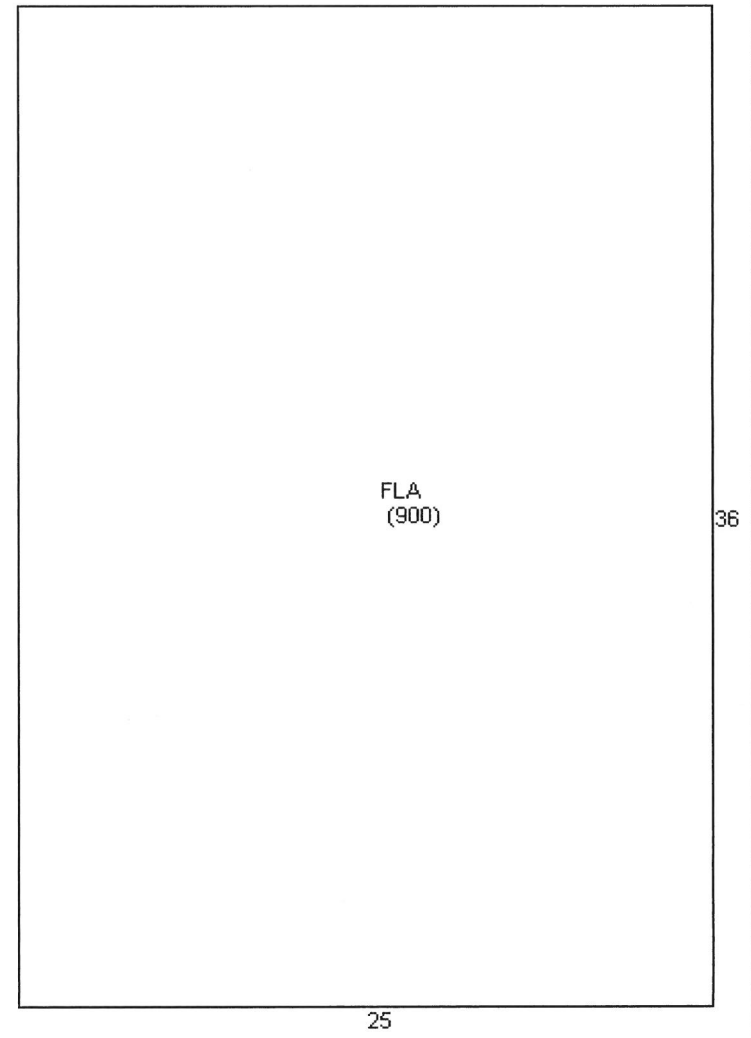
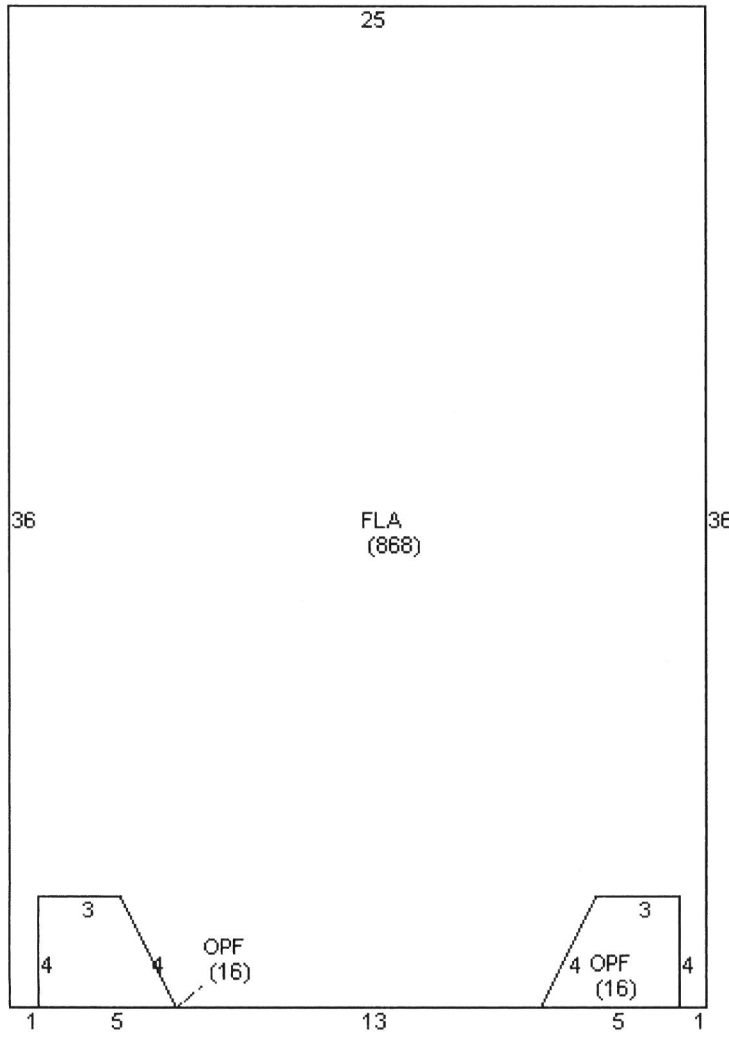
Description	Year Built	Roll Year	Quantity	Units	Grade
WALL AIR COND	1995	1996	1	1 UT	2

Sales

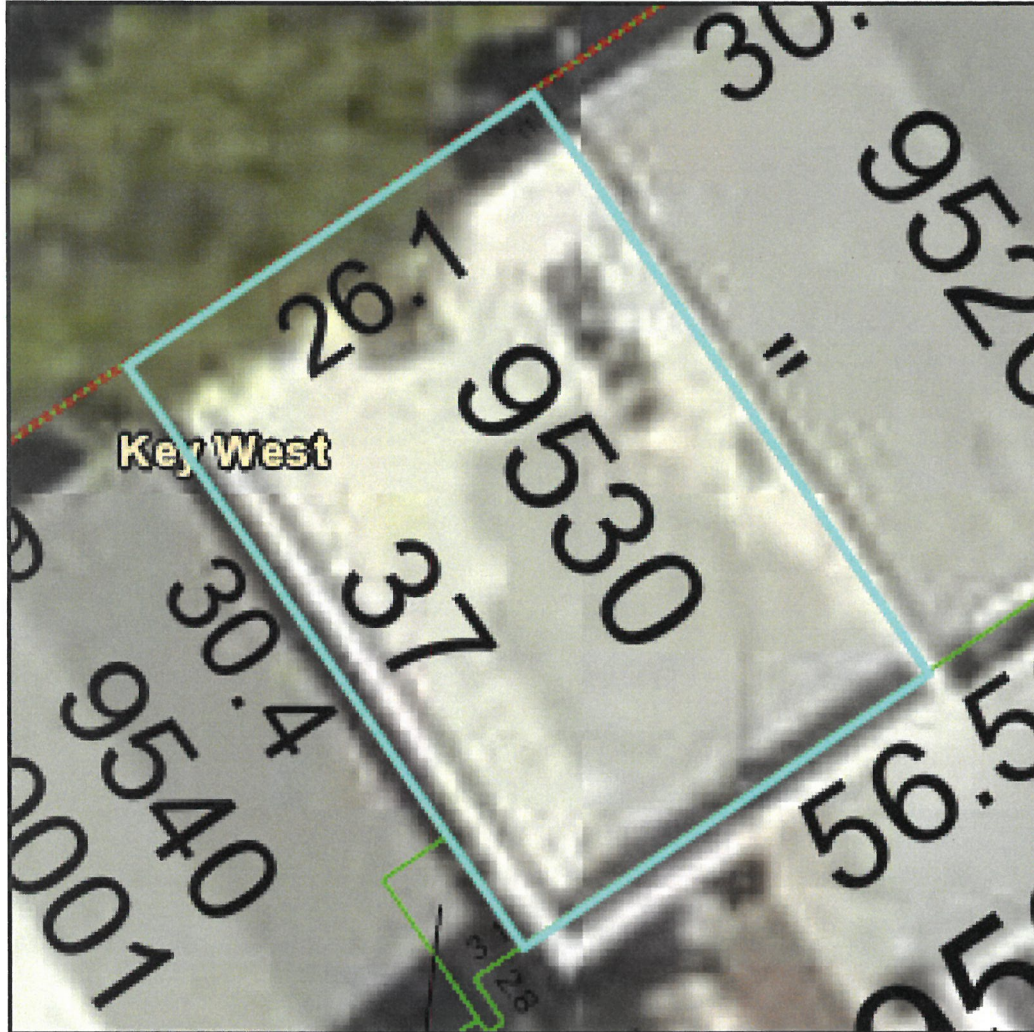
Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
6/29/2008	\$680,000	Warranty Deed		2306	1005	Q - Qualified	Improved
3/14/2003	\$515,000	Warranty Deed		1872	2189	Q - Qualified	Improved
12/1/1994	\$250,000	Warranty Deed		1336	1907	Q - Qualified	Improved

Permits

Number ◆	Date Issued ◆	Date Completed ◆	Amount ◆	Permit Type ◆	Notes ◆
13- 1419	4/12/2013		\$1,800	Commercial	REPAIR APPROX. 60 L.F. OF WALL THAT HAS SURFACE CRACK, STUCCO FINISH AND PAINT.
08- 0315	2/6/2008	2/13/2008	\$2,000	Commercial	REPAIR CRACKED STUCCO & FILL CRACKS
05- 0805	3/14/2005	10/4/2005	\$2,480	Commercial	4 WINDOWS
05- 0764	3/9/2005	10/4/2005	\$500	Commercial	SMOKE DETECTORS
03- 2616	7/25/2003	8/7/2003	\$1,500	Commercial	PARTION WALL
01- 2008	5/21/2001	10/9/2001	\$1,500	Commercial	INTERIOR WORK
96- 1128	3/1/1996	8/1/1996	\$3,200	Commercial	AWNINGS
95- 0191	12/1/1995	8/1/1996	\$500	Commercial	RENOVATIONS
A95- 3998	11/1/1995	12/1/1995	\$2,450	Commercial	WASH/PAINT EXTERIOR
A95- 2065	6/1/1995	10/1/1995	\$4,140	Commercial	12 SQS SGL PLY ROOFING
M94- 2073	6/1/1994	12/1/1994	\$3,325	Commercial	3.5 TON AC



Map



No data available for the following modules: Buildings, Mobile Home Buildings, Exemptions.